

REPORT DETAILS

Report No.	PRI-SAMPLE-001	Date	June 22, 2026	Inspector	Sample Inspector
Client / Owner	Sample Client - Demo		Phone / Email	For demonstration only	
Property Address	Fictional demo property - Charlottetown area, PE			Postal Code	N/A
Building Type	Detached residential	Roof Age	Approx. 12-15 yrs	Primary Material	Asphalt shingles

OVERALL ASSESSMENT

OVERALL ROOF CONDITION

REPAIR URGENCY

☐ Good
 ☒ Fair
 ☐ Poor
 ☐ Critical
 ☐ Routine
 ☐ 12 mo
 ☒ 90 d
 ☐ Immediate

SYSTEM / COMPONENT	GOOD	FAIR	POOR	N/I
Roof covering / membrane	☐	☒	☐	☐
Flashings / transitions	☐	☒	☐	☐
Drainage / gutters / downspouts	☐	☒	☐	☐
Eaves / soffits / fascia	☐	☒	☐	☐
Penetrations / rooftop equipment	☐	☐	☒	☐
Attic ventilation / insulation	☐	☒	☐	☐
Interior moisture / leak indicators	☐	☒	☐	☐
Decking / visible structural support	☒	☐	☐	☐

CRITICAL FLAGS

☐ Active leak
 ☐ Structural movement
 ☒ Moisture concern

☐ Safety / access hazard
 ☐ Widespread failure
 ☐ Storm / insurance indicators

Life

5-8 yrs

Life estimate is a best-guess based on visible condition at inspection; not a guarantee or warranty.

KEY FINDINGS

RECOMMENDED NEXT STEPS

Main roof is serviceable but showing age-related wear. Noted concerns include granule loss, a lifted shingle tab, debris in a rear valley, aged chimney/vent flashings, gutter debris, localized algae growth, and light historic attic staining.

Complete targeted flashing and vent repairs within 90 days, clean valleys and gutters, monitor attic staining after heavy rain, and plan for roof replacement budgeting within the next 5-8 years.

PROPERTY AND INSPECTION CONTEXT

Municipality	Charlottetown area, PE	Year Built	c. 1998	Stories	1.5	Building Use	Residential
Company / Certification		PEI Roofing Inspection - sample demonstration report					

WEATHER CONDITIONS

Weather	Overcast	Temp.	16 C	Recent Precip.	Light rain previous day	
Roof Surface	Dry at inspection		Wind	Light	Visibility	Good

METHODS USED

☒ Ground visual	☒ Ladder / eave	☒ Walked roof	☒ Drone / camera
☒ Attic	☒ Interior	☐ Moisture meter	☐ Infrared
☒ Binocular / zoom	☒ Measurements	☐ Document review	☐ Other

SCOPE NOTES

Sample visual inspection completed primarily by drone, with supplemental ground, ladder/eave, roof-surface where safe, and accessible attic views. No destructive testing was performed. Findings are synthetic and intended to show how the report should be completed.



Roof Area Inventory

Document each distinct roof area once, then reference it on photo pages

ROOF AREA A

Location	Main front/rear gable				
Material	Architectural asphalt		Pitch	6:12 approx.	
Age	12-15 yrs	Layers	1	Cond.	Fair
Remaining Life	5-8 yrs				

AREA NOTES / OBSERVED CONDITIONS

General weathering and granule loss. Roof remains serviceable with targeted repair and monitoring.

ROOF AREA B

Location	Rear valleys / dormer tie-ins				
Material	Architectural asphalt		Pitch	6:12-8:12	
Age	12-15 yrs	Layers	1	Cond.	Fair-Poor lo...
Remaining Life	3-6 yrs local				

AREA NOTES / OBSERVED CONDITIONS

Valley debris and transition flashing wear increase leak risk. Clean and repair sealants/flashings.

ROOF AREA C

Location	Lower front eave / gutter run				
Material	Architectural asphalt		Pitch	4:12 approx.	
Age	12-15 yrs	Layers	1	Cond.	Fair
Remaining Life	5 yrs				

AREA NOTES / OBSERVED CONDITIONS

Gutter debris and drip-edge weathering noted. Improve drainage maintenance.

ROOF AREA D

Location	Small rear transition				
Material	Architectural asphalt		Pitch	Varies	
Age	12-15 yrs	Layers	1	Cond.	Fair
Remaining Life	4-6 yrs				

AREA NOTES / OBSERVED CONDITIONS

Wall/roof transition has aged flashing and staining. Sealant repair recommended.

OPTIONAL ROOF SYSTEM NOTES

Sample roof story: fair overall condition with localized priority repairs. No active leak was confirmed during the sample inspection, but drainage and flashing issues should be addressed before another winter cycle.

GROUND, PERIMETER AND ROOFLINE				
Sagging, deformation, debris, vegetation, previous repairs, visible storm impact.				
STATUS	☐ Good	☒ Fair	☐ Poor	☐ N/I
	Photo Refs		1-3	Notes Drone + ground overview.
ROOF COVERING / MEMBRANE				
Missing or damaged material, curling, cracking, granule loss, open seams, exposed fasteners.				
STATUS	☐ Good	☒ Fair	☐ Poor	☐ N/I
	Photo Refs		4,5,13,14	Notes Wear; lifted tab.
FLASHINGS, VALLEYS AND TRANSITIONS				
Valleys, step flashing, headwalls, chimneys, pitch changes, drip edge, sealants.				
STATUS	☐ Good	☒ Fair	☐ Poor	☐ N/I
	Photo Refs		7,16	Notes Aged transitions.
DRAINAGE, GUTTERS, EAVES AND FASCIA				
Slope, blockage, discharge, overflow staining, soffit/fascia damage, ice-dam indicators.				
STATUS	☐ Good	☒ Fair	☐ Poor	☐ N/I
	Photo Refs		6,10,11	Notes Debris; staining.
PENETRATIONS, CHIMNEYS, SKYLIGHTS AND EQUIPMENT				
Vent boots, curbs, mounts, skylights, chimney caps, unused penetrations.				
STATUS	☐ Good	☐ Fair	☒ Poor	☐ N/I
	Photo Refs		8,9	Notes Boot/sealant wear.
ATTIC, VENTILATION, INTERIOR AND STRUCTURE				
Deck staining, active moisture, condensation, insulation, leak indicators, framing movement.				
STATUS	☐ Good	☒ Fair	☐ Poor	☐ N/I
	Photo Refs		15	Notes Historic stain, dry.
SAFETY AND ROOF ACCESS				
Ladder setup, pitch, surface traction, electrical hazards, weather, fall-protection needs.				
STATUS	☒ Good	☐ Fair	☐ Poor	☐ N/I
	Photo Refs		1-3	Notes Drone for overview.

KEY DEFICIENCIES AND RECOMMENDATIONS

ID	LOCATION	COMPONENT	PHOTO	PRIORITY	OBSERVATION / RECOMMENDED ACTION
D1	Main slopes	Covering	4,5	P3	Granule loss and one lifted tab. Repair lifted tab and monitor shingle wear.
D2	Rear valley	Drainage	3,6	P2	Leaf/pine debris in valley. Clean valley and confirm unobstructed runoff.
D3	Chimney	Flashing	7	P2	Aged flashing sealant and staining. Repair sealant/counterflashing detail.
D4	Vent boot	Penetration	8	P2	Rubber boot cracking. Replace boot before water entry develops.
D5	Eaves	Drainage	10,11	P3	Gutter debris and overflow staining. Clean gutters and review slope/discharge.
D6	North slope	Covering	12	P4	Algae/lichen staining in shaded area. Clean gently and monitor progression.
D7	Ridge	Covering	14	P3	Weathered ridge caps and minor lift. Secure/replace affected caps.
D8	Attic	Moisture	15	P4	Historic staining observed dry. Monitor after heavy rain and after exterior repairs.

PRIORITY GUIDE

P1 Immediate

P2 Urgent

P3 Planned

P4 Monitor

Keep this list to the items a client needs to act on. Use the photo pages for the supporting detail.

ACTION PLAN REGISTER

ID	RECOMMENDED WORK	PRIORITY	TRADE	BUDGET	TARGET
R1	Replace cracked plumbing vent boot	P2	Rofer	\$	90 days
R2	Repair chimney and wall-transition sealant/flashing	P2	Rofer	\$\$	90 days
R3	Clean valleys, gutters and downspout outlets	P3	Maintenance	\$	30 days
R4	Secure lifted tab and affected ridge caps	P3	Rofer	\$	90 days
R5	Trim back branches shading rear/north slopes	P4	Arborist	\$	Seasonal
R6	Recheck attic after heavy rain	P4	Inspector	\$	After repairs

IMMEDIATE / SHORT-TERM WORK

Replace cracked plumbing vent boot. Repair cracked sealant at chimney and wall transition flashings. Clear rear valley debris and confirm drainage during the next rainfall.

PLANNED WORK / REPLACEMENT STRATEGY

Roof is not an immediate full replacement candidate based on visible sample conditions. Begin budgeting for replacement in the 5-8 year range, sooner if leaks or rapid shingle deterioration are observed.

ROUTINE MAINTENANCE

Clean gutters and valleys twice yearly, especially after leaf fall. Reinspect flashings annually and after major wind/rain events. Keep tree limbs trimmed back from roof surfaces.

BUDGET NOTES / QUOTES REQUIRED

Obtain roofer quote for localized flashing/vent repairs and drainage cleaning. Budget allowances in this sample are planning notes only and are not contractor pricing.



Location	Full roof overview	Roof Area	A/B	Direction	Drone	Defect ID	CTX	Date	2026-06-22
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OBSERVATION / COMMENT

Drone overview shows the main gable roof, rear slopes, valleys and gutters. Overall condition appears fair with aging visible on shaded slopes.

LIKELY CAUSE / RISK

Drone capture helps identify drainage paths, valley debris zones and exposure patterns that are harder to see from ground level.

RECOMMENDED ACTION

Use overview for roof-area reference and compare after maintenance or future inspections.

PRIORITY

☐ P1
 ☐ P2
 ☐ P3
 ☒ P4

P1 immediate | P2 urgent

P3 planned | P4 monitor



Location	Front slope	Roof Area	A	Direction	Ground	Defect ID	CTX	Date	2026-06-22
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OBSERVATION / COMMENT

Front slope is generally serviceable with visible age-related staining and weathering.

LIKELY CAUSE / RISK

No immediate failure is visible from this overview, but roof age and exposure support continued monitoring.

RECOMMENDED ACTION

Maintain annual review and use close-up photos for repair planning.

PRIORITY

☐ P1
 ☐ P2
 ☐ P3
 ☒ P4

P1 immediate | P2 urgent

P3 planned | P4 monitor



Location	Rear roof / valleys	Roof Area	B	Direction	Drone	Defect ID	D2	Date	2026-06-22
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OBSERVATION / COMMENT

Drone view shows rear valley configuration, shaded slope staining and tree influence near drainage paths.

LIKELY CAUSE / RISK

Debris collection and slower drying increase leak risk at valleys and transitions.

RECOMMENDED ACTION

Clear valleys and trim overhanging branches where practical.

PRIORITY

☐ P1
 ☒ P2
 ☐ P3
 ☐ P4

P1 immediate | P2 urgent

P3 planned | P4 monitor



Location	Main roof field	Roof Area	A	Direction	Drone	Defect ID	D1	Date	2026-06-22
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OBSERVATION / COMMENT

Field shingles show moderate granule loss and weathering consistent with mid-to-late service life.

LIKELY CAUSE / RISK

Wear is not yet widespread failure, but protective granules are reduced.

RECOMMENDED ACTION

Monitor annually and include roof replacement in medium-term budgeting.

PRIORITY

☐ P1
 ☐ P2
 ☒ P3
 ☐ P4

P1 immediate | P2 urgent

P3 planned | P4 monitor



Location	Main slope	Roof Area	A	Direction	Drone	Defect ID	D1	Date	2026-06-22
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OBSERVATION / COMMENT

One shingle tab is lifted/creased while adjacent shingles remain mostly intact.

LIKELY CAUSE / RISK

Lifted tabs are more vulnerable to wind-driven rain and further wind damage.

RECOMMENDED ACTION

Secure or replace affected shingle tab during targeted repair visit.

PRIORITY

☐ P1
 ☐ P2
 ☒ P3
 ☐ P4

P1 immediate | P2 urgent

P3 planned | P4 monitor



Location	Rear valley	Roof Area	B	Direction	Drone	Defect ID	D2	Date	2026-06-22
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OBSERVATION / COMMENT

Leaves and pine needles are collected in the valley with staining along the drainage path.

LIKELY CAUSE / RISK

Debris holds moisture and can divert water under shingle edges.

RECOMMENDED ACTION

Clean valley promptly and review for damaged shingles after debris removal.

PRIORITY

☐ P1
 ☒ P2
 ☐ P3
 ☐ P4

P1 immediate | P2 urgent

P3 planned | P4 monitor



Location	Chimney	Roof Area	A	Direction	Drone	Defect ID	D3	Date	2026-06-22
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OBSERVATION / COMMENT

Chimney flashing shows aged sealant and staining at the roof/chimney interface.

LIKELY CAUSE / RISK

Aged sealant at masonry transitions is a common leak source under wind-driven rain.

RECOMMENDED ACTION

Have a roofer repair flashing sealant/counterflashing detail.

PRIORITY

☐ P1
 ☒ P2
 ☐ P3
 ☐ P4

P1 immediate | P2 urgent

P3 planned | P4 monitor



Location	Plumbing vent	Roof Area	A	Direction	Drone	Defect ID	D4	Date	2026-06-22
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OBSERVATION / COMMENT

Rubber vent boot is weathered and cracking near the pipe collar.

LIKELY CAUSE / RISK

Cracked boots can admit water directly at the penetration.

RECOMMENDED ACTION

Replace vent boot before the next winter cycle.

PRIORITY

☐ P1
 ☒ P2
 ☐ P3
 ☐ P4

P1 immediate | P2 urgent

P3 planned | P4 monitor



Location	Roof exhaust vent	Roof Area	A	Direction	Drone	Defect ID	D4	Date	2026-06-22
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OBSERVATION / COMMENT

Low-profile vent has aged sealant and exposed fastener heads.

LIKELY CAUSE / RISK

Sealant-only maintenance points need periodic renewal to prevent minor leaks.

RECOMMENDED ACTION

Reseal fasteners and confirm vent flashing is seated properly.

PRIORITY

☐ P1
 ☐ P2
 ☒ P3
 ☐ P4

P1 immediate | P2 urgent

P3 planned | P4 monitor



Location	Front eave / gutter	Roof Area	C	Direction	Drone	Defect ID	D5	Date	2026-06-22
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OBSERVATION / COMMENT

Gutter contains leaves and roof grit with staining at the drip edge.

LIKELY CAUSE / RISK

Restricted drainage can cause overflow, fascia staining and ice buildup.

RECOMMENDED ACTION

Clean gutters and confirm downspouts discharge away from the building.

PRIORITY

☐ P1
 ☐ P2
 ☒ P3
 ☐ P4

P1 immediate | P2 urgent

P3 planned | P4 monitor



Location	Eave / fascia	Roof Area	C	Direction	Ladder	Defect ID	D5	Date	2026-06-22
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OBSERVATION / COMMENT

Minor staining is visible at fascia/soffit near the gutter line.

LIKELY CAUSE / RISK

Pattern is consistent with intermittent overflow or slow drying at the eave.

RECOMMENDED ACTION

Clean drainage system and repaint/monitor stained areas after flow is corrected.

PRIORITY

☐ P1
 ☐ P2
 ☒ P3
 ☐ P4

P1 immediate | P2 urgent

P3 planned | P4 monitor



Location	North/shaded slope	Roof Area	A	Direction	Drone	Defect ID	D6	Date	2026-06-22
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OBSERVATION / COMMENT

Shaded roof surface has algae/lichen staining and slower drying conditions.

LIKELY CAUSE / RISK

Biological growth can retain moisture and accelerate shingle wear over time.

RECOMMENDED ACTION

Use roof-safe cleaning methods and improve sun/air exposure where practical.

PRIORITY

☐ P1 ☐ P2 ☐ P3 ☒ P4

P1 immediate | P2 urgent

P3 planned | P4 monitor



Location	Rear slope	Roof Area	B	Direction	Ground	Defect ID	D1	Date	2026-06-22
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OBSERVATION / COMMENT

A small area of mismatched or prior replacement shingles is visible on the rear slope.

LIKELY CAUSE / RISK

Prior repair appears localized, but should be monitored for recurring distress.

RECOMMENDED ACTION

Review repair area during annual inspection and after severe weather.

PRIORITY

☐ P1
 ☐ P2
 ☐ P3
 ☒ P4

P1 immediate | P2 urgent

P3 planned | P4 monitor



Location	Main ridge	Roof Area	A	Direction	Drone	Defect ID	D7	Date	2026-06-22
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OBSERVATION / COMMENT

Ridge caps show weathering with minor edge lift and sealant spots.

LIKELY CAUSE / RISK

Ridge caps receive high wind exposure and may fail before field shingles.

RECOMMENDED ACTION

Secure or replace affected ridge caps during targeted repair visit.

PRIORITY

☐ P1
 ☐ P2
 ☒ P3
 ☐ P4

P1 immediate | P2 urgent

P3 planned | P4 monitor



Location	Accessible attic	Roof Area	A	Direction	Attic	Defect ID	D8	Date	2026-06-22
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OBSERVATION / COMMENT

Light historic staining is visible on roof sheathing near a penetration area; area was dry at inspection.

LIKELY CAUSE / RISK

Staining indicates prior moisture but not confirmed active leakage in this sample scenario.

RECOMMENDED ACTION

Monitor after exterior repairs and recheck following heavy rainfall.

PRIORITY

☐ P1
 ☐ P2
 ☐ P3
 ☒ P4

P1 immediate | P2 urgent

P3 planned | P4 monitor



Location	Wall/roof transition	Roof Area	D	Direction	Drone	Defect ID	D3	Date	2026-06-22
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OBSERVATION / COMMENT

Wall transition flashing has aged sealant and staining below the siding intersection.

LIKELY CAUSE / RISK

Transitions are vulnerable to wind-driven rain when sealants age or siding clearances are tight.

RECOMMENDED ACTION

Renew sealant/flashing detail and confirm water can drain freely.

PRIORITY

☐ P1
 ☒ P2
 ☐ P3
 ☐ P4

P1 immediate | P2 urgent

P3 planned | P4 monitor

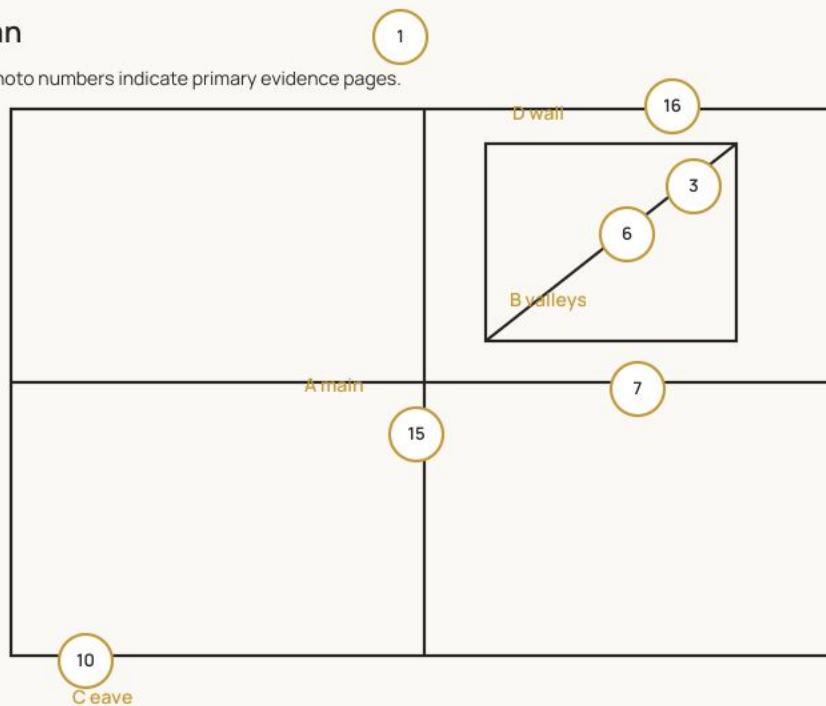
REFERENCE INFORMATION

Property Address	Fictional demo property - Charlottetown area, PE	Report No.	PRI-001	Date	June 22, 2026
North / Orientation	Front faces south	Scale	Not to scale	Measurement Source	Drone overview

ROOF PLAN / DRAINAGE PATHS / DEFECT LOCATIONS / PHOTO DIRECTIONS

Sample Roof Plan

Diagram is not to scale; photo numbers indicate primary evidence pages.



SKETCH LEGEND / MEASUREMENTS / ASSUMPTIONS

A = main gable. B = rear valley/dormer tie-ins. C = lower eave/gutter run. D = rear wall transition. Photo markers correspond to the photo evidence pages.

FINAL INSPECTOR CONCLUSION

This sample roof is rated Fair overall. The roof covering remains broadly serviceable, but age-related wear and localized flashing, penetration and drainage deficiencies require maintenance. No active leak was confirmed in this sample scenario, though attic staining and transition details justify follow-up.

AGREED IMMEDIATE ACTIONS

Repair plumbing vent boot, chimney flashing sealant and wall/roof transition sealant. Clean rear valley and gutters. Recheck attic staining after the next heavy rainfall.

FOLLOW-UP / REINSPECTION / QUOTES

Schedule roofing contractor review for localized repairs within 90 days. Reinspect after repairs and maintain annual roof review due to coastal exposure and shaded roof areas.

REPORT LIMITATIONS AND USE

This report documents visible and accessible conditions observed at the stated date and time. The inspection is visual and non-destructive unless a specific test is recorded. Concealed components, latent defects, future performance and conditions that changed after the inspection are outside the scope. This report is not a structural engineering opinion, building-code compliance certificate, warranty, guarantee, environmental assessment or contractor quotation unless explicitly stated. Budget figures are planning allowances only. Qualified trades should verify scope, quantities and pricing before work begins. Photographs form part of the report and should be read together with written findings, priorities and limitations.

☒ Inspector confirms scope notes and inspection constraints are recorded.

INSPECTOR SIGN-OFF

Inspector Name	Sample Inspector	Date	June 22, 2026	Report No.	PRI-SAMPLE-001
Signature	Digitally signed - sample only			Company / Cert.	PEI Roofing Inspection

CLIENT ACKNOWLEDGEMENT

☒ Report received and key findings reviewed.

Client Name	Sample Client	Date	June 22, 2026	Client Signature	Sample acknowledgement
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