

REVIEWS AND ADVICE
FROM 250+ MBA STUDENTS

FUQUA MBA

HOUSING GUIDE

— 2016-2017 —

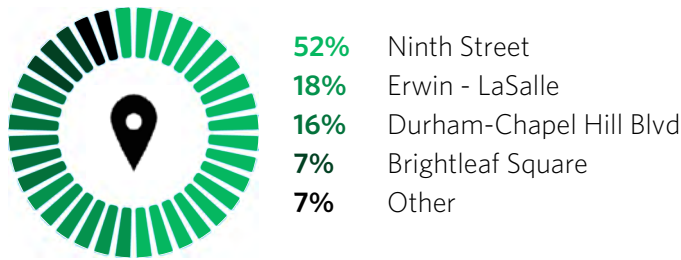
- ✓ HOUSING DATA
- ✓ NEIGHBORHOODS EXPLAINED
- ✓ APARTMENT RATINGS

- ✓ TOP PROPERTIES
- ✓ LANDLORD INFO
- ✓ RENTER RESOURCES

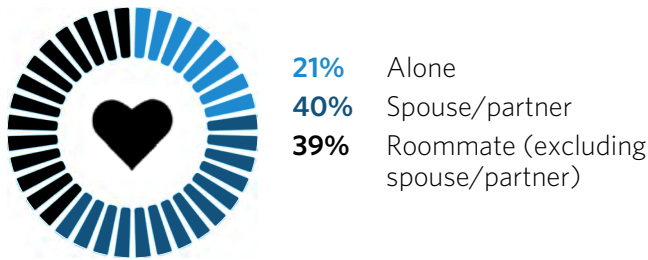
VeryApt

Intelligent Apartment Search

Where Fuqua MBA Students Live

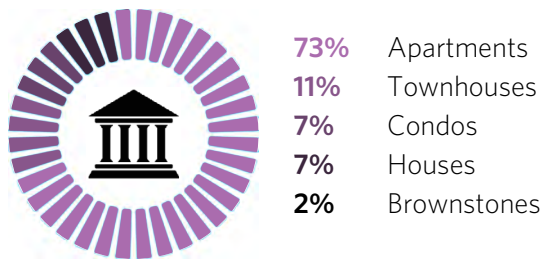


Who Fuqua MBA Students Live With

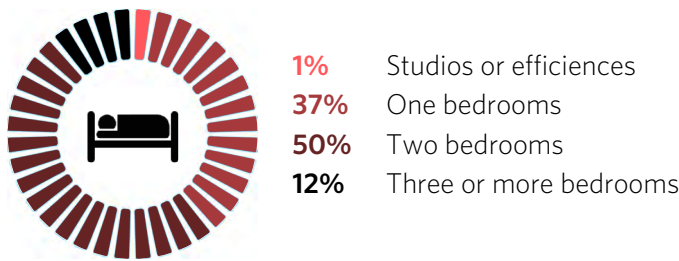


17% of students live with pets
7% of students have children

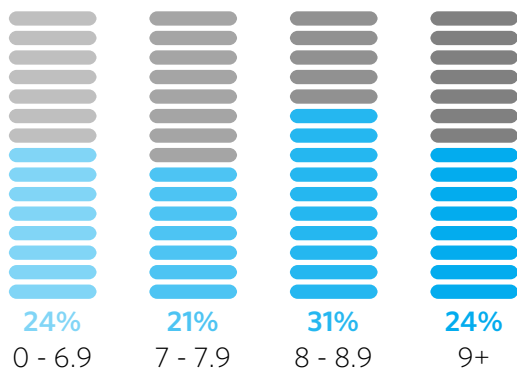
What Type of Properties Fuqua MBA Students Live In



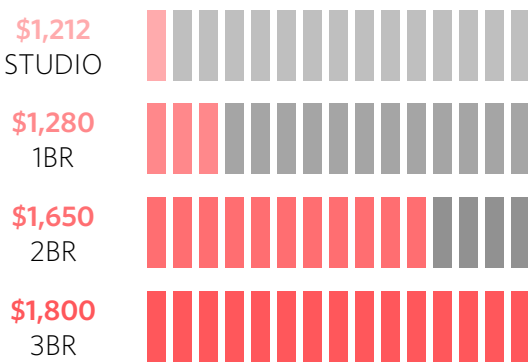
What Size Residences Fuqua MBA Students Live In



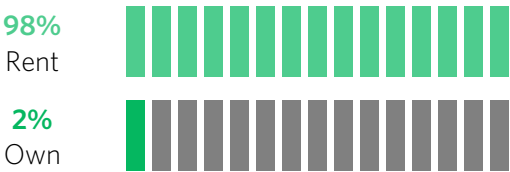
Distribution of Property Ratings



Average Rent by Apartment Size



Rent Versus Own



CONTENTS



If you enjoy the guide, like us on Facebook and follow us on Twitter!



facebook.com/veryaptco



[@veryapt](https://twitter.com/veryapt)

DISCLAIMER

The reviews and ratings presented throughout this guide and the VeryApt website do not reflect the opinions, position or endorsement of VeryApt or the Fuqua School of Business. The responses and reviews presented are solely those of the survey respondents. VeryApt and the Fuqua School of Business assume no responsibility for readers' or users' interpretation of the data. The results do not in any way constitute a warranty or representation by VeryApt or the Fuqua School of Business as to the quality, safety, or other features of a property. Students are encouraged to check all available sources of information about properties prior to leasing. The data in this guide is compiled from Fuqua MBA students, though this guide is not an official publication of the Fuqua School of Business. Finally, we do not alter results or edit reviews based on any outside partnerships. However, "Featured" content (unlike "Top" content) is often supplied by partners who helped support this guide, or are from new properties that lack reviews but are likely relevant to students.

2

Housing facts

Our data on Fuqua MBA housing

3

Table of Contents

What's in the 2016-2017 Fuqua MBA housing guide

4

VeryApt.com and Durham Overview

Using the VeryApt website alongside this guide with Scott Bierbryer, Co-Founder of VeryApt

6

Neighborhood Guides

Ninth Street, Erwin-LaSalle, Durham-Chapel Hill Blvd, Brightleaf Square

10

Apartment Ratings

Compiled from 250+ student reviews

11

Most popular apartments

13

Highest rated apartments

14

Best for families

16

Best for pet owners

17

Best for value

18

Best for amenities

19

Renter resources

Landlord grades, renting process explained

Questions or comments on the housing guide?

Contact Scott Bierbryer, Co-Founder of VeryApt at:
scott@veryapt.com | (561) 271-3202



Use our intelligent search algorithm to receive a list of top properties

Explore property details and reviews

Book viewings directly with property managers and leasing agents

INTELLIGENT APARTMENT SEARCH

Why we started VeryApt, and how we can help you find your perfect apartment

My housing search began around this time a few years ago. After the initial excitement of getting accepted into grad school and I ran out of Game of Thrones episodes to watch on my company computer, I figured I needed to find a place to live. I really didn't know anything about the city, so I approached every person I knew who went to school or worked in the area to learn more.

Countless Google searches, Craigslist refreshes, and spreadsheet tables later, I figured out where I wanted to live. That process helped me find an apartment I love - I managed to balance my desire for space, proximity to students, and high-quality amenities. That said, it didn't make sense that the process should be so time consuming. My Co-Founder (and neighbor), Ashrit Kamireddi, who worked at TripAdvisor prior to School of Medicine, went through the same process as I did and thought that the review and data model he knew so well would be a great one to apply to apartments where grad students and working professionals live.

Two years and thousands of reviews later, we're proud to offer this guide along with our companion site VeryApt.com. We want this guide to be a starting point for your search: an idea of where you should be looking given your unique situation. The site allows you to

go through all of our data in detail and sort buildings by ratings and features. In addition, we've partnered with the most popular buildings to offer you accurate and up-to-date information, so you don't have to sit in front of your computer refreshing Craigslist.

Try out our Intelligent Apartment Search that will provide you with personalized apartment recommendations based on your unique needs and budget. Please contact us with questions or feedback on the site or this guide, and good luck with your housing search!



**SCOTT
BIERBRYER**

scott@veryapt.com

Scott Bierbryer is a recent Penn Grad student. Prior to UPenn, he worked at Glenview Capital Management in NYC. He is a Co-Founder of VeryApt and lives in Center City Philadelphia.

ABOUT THE DATA IN THIS GUIDE

This guide was compiled from survey data of 250+ students

We asked students to rate their residences on a 1-10 scale

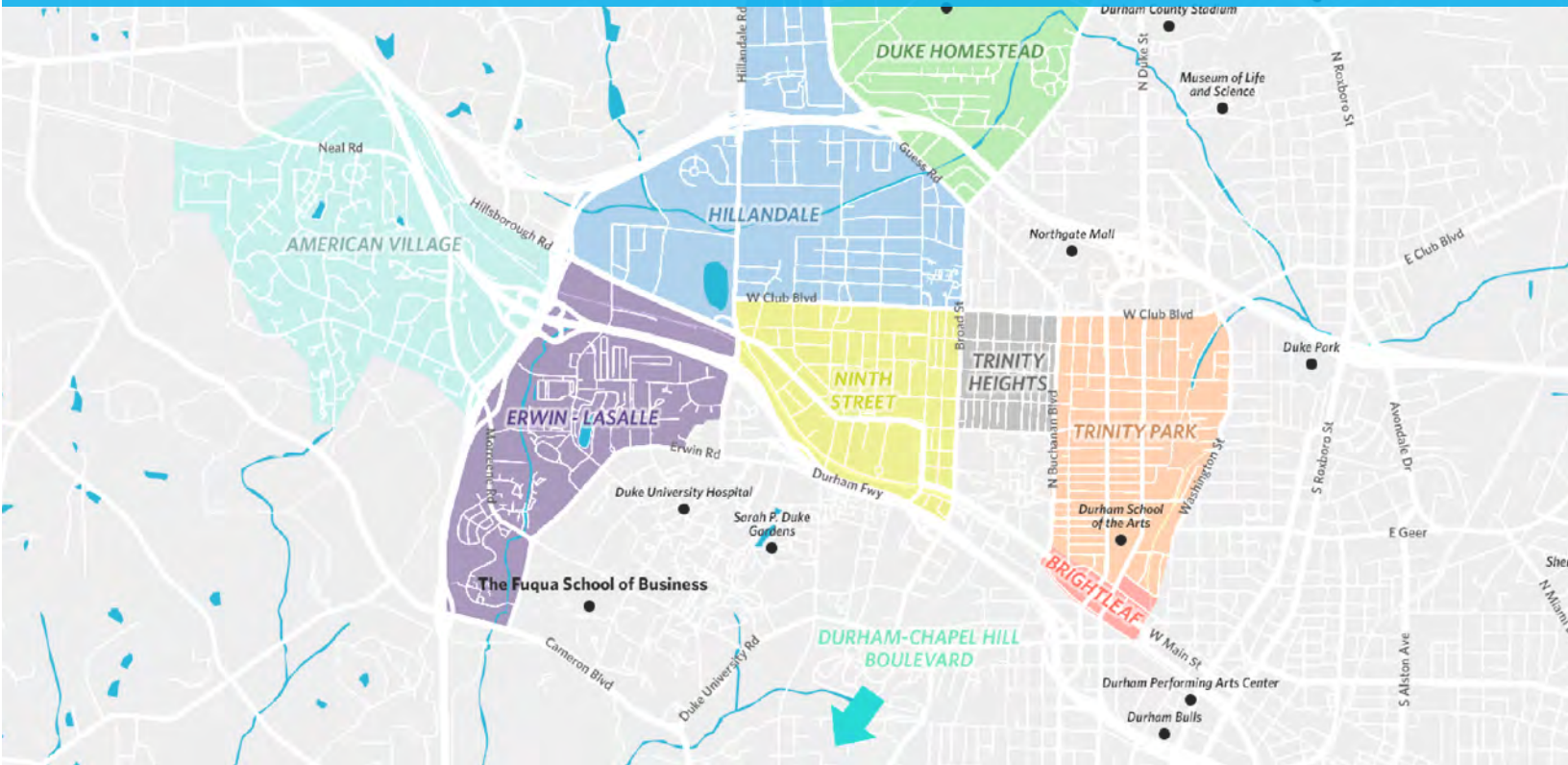
Building ratings are determined by averaging these scores from residents

Visit VeryApt.com to search quickly for more detailed amenity and rating information

At VeryApt.com, you can read reviews on buildings in the guide as well as other great properties in Durham

DURHAM NEIGHBORHOODS EXPLAINED

The most popular neighborhoods for Fuqua MBA students



1 Ninth Street

52% of Fuqua MBA Students

Living around Ninth Street makes it easy to get to know fellow MBAs. Pregames, study groups, and convenient grocery shopping are some top reasons for living here.

3 Durham-Chapel Hill Boulevard

16% of Fuqua MBA Students

Living off 15/501, or "Durham-Chapel Hill Blvd", gives you access to the entire Raleigh-Durham area. That said, the area is farther from Fuqua's campus and you'll probably depend more on driving.

2 Erwin-LaSalle

18% of Fuqua MBA Students

The apartments on Erwin Road, LaSalle Street, and Maureen Road offer unbeatable convenience to class and a quieter alternative to some of the more social buildings in town.

4 Brightleaf Square

7% of Fuqua MBA Students

Brightleaf is home to some of the most beloved bars, restaurants, and shops in Durham. You can experience everything Downtown has to offer and walk home to an amenity-filled apartment building.

Other Neighborhoods

Less than 3% each

5 American Village

6 Trinity Heights

7 Trinity Park

8 Hillandale

9 Duke Homestead

NINTH STREET

A social hub for MBAs



LOCATIONS AND FEATURES

This neighborhood refers to the apartments (Station Nine, Berkshire Ninth, Berkshire Main, etc.), townhouses, and houses on Ninth Street and surrounding roads like Hillsborough Road and Main Street.

Ninth Street is by far the most popular neighborhood for Fuqua MBAs and the lively social scene is one big reason why. Expect frequent pregames, pool parties, and barbecues at Station Nine, and plenty of nearby events like Tav Tuesdays. Beyond the social scene, Ninth Street is also a convenient neighborhood by most measures. There's a Harris Teeter within walking distance, a restaurant for every occasion, and a bus (H5 Line) that drops students off directly in front of Fuqua. Additionally, living alongside so many other MBAs makes it easy to form study groups and set up meetings.

GETTING TO BREEDEN HALL



45 - 55
Minutes



15 - 20
Minutes



20 - 25
Minutes



8 - 12
Minutes

WHAT'S GREAT

- ✓ Where most of the socializing goes on
- ✓ Walk to Harris Teeter
- ✓ Great restaurants and bars
- ✓ Easy to set up meetings and study groups

WHAT COULD BE BETTER

- ✗ Apartments can get noisy
- ✗ Generally considered to be out of walking distance to Fuqua
- ✗ Relatively expensive rent for Durham
- ✗ Can be overwhelming for students with families/children

SIGNATURE SPOTS

Grocery

Harris Teeter, Whole Foods

Restaurants

Burger Bach, JuJu, Local 22, Parizade, Cosmic Cantina, Monuts, Elmo's

Shopping

The Duck Shop, Cozy, The Regulator Bookshop

Entertainment

The Tavern, Dain's Place, Metro 8

Fitness

Pure Barre, Brodie Gym

Parks

East Campus Trail

ERWIN-LASALLE

Live in a quieter building and easily commute to class



LOCATIONS AND FEATURES

This area includes Erwin Road, LaSalle Street and Morreene Rd, which run just north of campus and lead towards Breeden Hall on Science Drive.

The Erwin-LaSalle area offers unbeatable convenience to class. Many students make the 15 minute walk to class, while others opt to catch the bus (LL line), which makes stops on LaSalle and Morreene. Students appreciate having a Kroger just down the road on Hillsborough and a selection of nearby restaurants on Erwin Road. The area has some popular amenity apartment buildings like The Belmont, Lofts at Lakeview, and The Heights, which offer quieter alternatives to the more-social apartments like Station Nine. If you like to go out, prepare for plenty of rides to Ninth Street and Downtown.

WHAT'S GREAT

- ✓ Convenient to Fuqua
- ✓ Generally quieter than Ninth Street
- ✓ Selection of restaurants on Erwin
- ✓ Some more-affordable housing options

WHAT COULD BE BETTER

- ✗ Removed from popular social scenes around Ninth Street
- ✗ Few nearby bars
- ✗ Limited interaction with neighbors
- ✗ Far from Downtown

GETTING TO BREEDEN HALL



15 - 20
Minutes



5 - 10
Minutes



10-15
Minutes



Under 5
Minutes

SIGNATURE SPOTS

Grocery

Kroger

Restaurants

Nosh, Chipotle, Sushi Love, Another Broken Egg, Smash Burger, Mediterra

Entertainment

Black Twig Cider House, Washington Duke Inn

Fitness

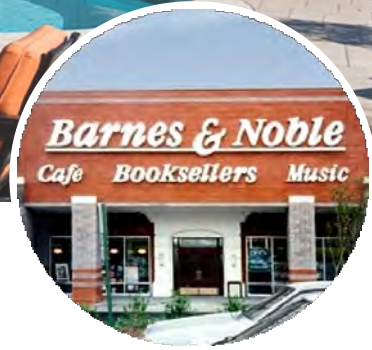
Wilson Recreation Center, Blue Point Yoga Center

Parks

Belmont Lake Loop, Washington Duke Trail

DURHAM-CHAPEL HILL BOULEVARD

Access the entire Triangle area



LOCATIONS AND FEATURES

15-501 (aka "Durham-Chapel Hill Boulevard") is a highway that runs between Durham and Chapel Hill, that offers housing options on adjacent roads like Picket Road and Garrett Road.

Living off 15-501 puts you in great position to access the entire Raleigh-Durham Area, making it a logical choice for Fuqua students with partners who study or work in other parts of the Triangle. Downtown Durham and Chapel Hill are both down the road, and there's a nearby exit to I-40, which runs to Research Triangle Park, the RDU Airport, and Raleigh. Aside from its access to highways, this area offers plenty of retail stores, chain restaurants, and grocery providers. You'll be farther away from campus and the highway is not very walkable, so expect to be fairly reliant on driving.

GETTING TO BREEDEN HALL



60+
Minutes



25+
Minutes



45+
Minutes



10 - 15
Minutes

WHAT'S GREAT

- ✓ Access the entire Triangle Area
- ✓ Department stores and grocery stores
- ✓ Quiet amenity apartment complexes
- ✓ Convenient restaurants

WHAT COULD BE BETTER

- ✗ Farther from campus than other Durham neighborhoods
- ✗ Removed from nightlife
- ✗ The Highway is less charming than the streets of Durham
- ✗ More reliance on driving

SIGNATURE SPOTS

Grocery

Target, Kroger, Walmart, Trader Joe's, Whole Foods

Restaurants

Chili's, Kanki, Outback Steakhouse, Chipotle, Five Guys, PDQ

Shopping

Marshalls, Barnes & Noble, Best Buy, Home Depot, Kohl's, Dick's

Entertainment

AMF Durham Lanes, K-mix Karaoke Bar

Fitness

Prime Athletic Training & Fitness Institute

BRIGHTLEAF SQUARE

Experience everything Downtown Durham has to offer



LOCATIONS AND FEATURES

Brightleaf Square is located at the western-most part of Downtown Durham, just east of Duke's East Campus. The neighborhood's most popular property is West Village, which is a warehouse that's been re-purposed as a loft-style apartment complex.

This neighborhood puts you within walking distance to some of Durham's best dining and nightlife scenes: Brightleaf itself is home to favorites like Alivia's, The Social, and Shooters; by Geer Street, there are hip breweries and outdoor venues like Fullsteam and MotorCo; Downtown, you'll find swanky bars and restaurants like the Durham Hotel rooftop and Revolution; and by the ballpark, there are fun sports bars like Tyler's and Tobacco Road. Students also appreciate feeling in-touch with the Durham community. As a potential downside, it can be tough to get to Fuqua or Station Nine without a car.

GETTING TO BREEDEN HALL



55+
Minutes



20 - 25
Minutes



25 - 30
Minutes



8 - 12
Minutes

WHAT'S GREAT

- ✓ Popular Fuqua nightlife spots
- ✓ Luxury loft-style apartments
- ✓ Easier to feel in-touch with greater Durham community
- ✓ Plenty of graduate students and young professionals

WHAT COULD BE BETTER

- ✗ A bit removed from campus and Station Nine
- ✗ No direct access to Duke bus system
- ✗ Fewer Fuqua students
- ✗ Limited nearby grocery options

SIGNATURE SPOTS

Grocery

Durham Coop, Whole Foods

Restaurants

Alivia's, Revolution, Dos Perros, Tobacco Road, The Pitt, Lilly's Pizza

Shopping

Morgan Imports, Hamilton Hill, Jack Mens Provisions, Vert & Vogue

Entertainment

Fullsteam, Tyler's, The Social, James Joyce, DPAC, Durham Bulls Park

Fitness

Crossfit Durham, Brodie Gym, Bikram Yoga Durham, Pantanjali's Place

Parks

S Ellerbee Creek Trail, East Campus Trail

APARTMENT RATINGS

KEY

- Top 25% for a category
- Top 50%
- ... Bottom 50%
- ... Bottom 25%

- \$\$\$\$ \$1,500+ per renter
- \$\$\$ \$1,000 - \$1,499
- \$\$ \$500 - \$999
- \$ < \$500

* Prices subject to change and varies significantly by room type

	Property Type	Rating	Price Range	Best for Families	Best for Pets	Most Popular	Management	Amenities	Value
300 Swift	Apt	9.0	\$\$\$				.....	.....	..
ARIUM Pinnacle Ridge	Apt	8.0	\$		✓		.....	...	.....
Alden Place	Apt	7.5	\$	✓		✓	...	..	.....
Bell West End	Apt	7.3	\$\$\$\$				.	...	...
Berkshire Main Street	Apt	6.4	\$\$\$\$			✓	.	...	..
Berkshire Ninth Street	Apt	6.8	\$\$\$\$			✓	..	.....	.
Century Trinity Estates	Apt	7.0	\$		✓	✓	.	.	...
Garrett West	Apt	8.0	\$\$			✓	...	.....	.....
Lenox at Patterson Place	Apt	9.0	\$\$		✓		.....	..	...
Lofts at Lakeview	Apt	7.5	\$\$\$\$			✓	...	.....	..
Realm Patterson Place	Apt	8.3	\$\$	✓			.....	.....	.....
Southpoint Village	Apt	10.0	\$\$\$				.....	.....	.....
Springfield Apartments	Apt	6.0	\$				.	.	...
Station Nine	Apt	6.6	\$\$\$		✓	✓	..	..	.
The Belmont Apartments	Apt	8.2	\$\$	✓	✓	✓	.....	...	.....
The Flats at 55Twelve	Apt	7.0	\$				..	..	...
The Heights at LaSalle	Apt	8.4	\$\$\$			✓	.	...	...
Trinity Commons	Apt	8.8	\$\$	✓			.....	.....	...
West Village	Apt	8.0	\$	✓		✓	..	...	..

ABOUT OUR CATEGORIES

Property Type

- Apartment (Apt)** Properties with one building manager. Often have consistent pricing/features.
- Condo** Properties with multiple owners. Lease terms and features can vary significantly by unit.

Key Building Factor Ratings

- Overall Rating** Overall feedback on building quality.
- Popularity** Estimated # of students in the building.

Living Situation Ratings

- Families** How students with partners and/or children rated the building.
- Pet Owners** How students with pets rated the building.

Building Quality Ratings

- Management** Maintenance and service quality.
- Amenities** In-room and building features beyond the basics.
- Value** Building quality given cost of rent.
- Social** Building community and social scene.

MOST POPULAR

Buildings with the most Fuqua MBA students

[READ MORE REVIEWS AT VERYAPT.COM](#)

What Fuqua MBA students typically look for:



- ✓ Lots of Fuqua MBA students
- ✓ Excellent location
- ✓ Affordable apartments with solid amenities

MOST POPULAR NEIGHBORHOODS

Ninth Street
Erwin-LaSalle

TOP 10

1 ST	STATION NINE	165+ STUDENTS
2 ND	THE BELMONT APARTMENTS	42+ STUDENTS
3 RD	BERKSHIRE NINTH STREET	35+ STUDENTS
4 TH	BERKSHIRE MAIN STREET	27+ STUDENTS
5 TH	GARRETT WEST	25+ STUDENTS
5 TH	LOFTS AT LAKEVIEW	25+ STUDENTS
7 TH	WEST VILLAGE	23+ STUDENTS
8 TH	CENTURY TRINITY ESTATES	16+ STUDENTS
8 TH	THE HEIGHTS AT LASALLE	16+ STUDENTS
10 TH	ALDEN PLACE	13+ STUDENTS

1ST

STATION NINE

Ninth Street, 2211 Hillsborough Rd

165+ STUDENTS



Review by *Esteban C.*

One of the most important features of living at S9 (that can't be replicated elsewhere) is having access to your classmates. If you need help on an assignment or with interview prep, then your neighbor is probably doing the same thing so you can quickly access help. This is very key in the business school experience.

2ND

THE BELMONT APARTMENTS

Erwin - LaSalle, 1000 McQueen Dr

42+ STUDENTS



Review by *Fuqua School of Business Student*

It's easy to get to school with the bus stop super close. Also, walking distance is easy - you just take the bus if you don't want to sweat on a hot NC day or if it's raining. I saved on a parking pass at school living here and paid cheaper rent than a lot of classmates. The gym is great and the pool space is dope. You can run laps around the lake on a nice track if you feel like running outside but don't want to leave the complex. A lot of bang for your buck here. Great access to 15-501 too and Kroger is around the corner.

3RD

BERKSHIRE NINTH STREET

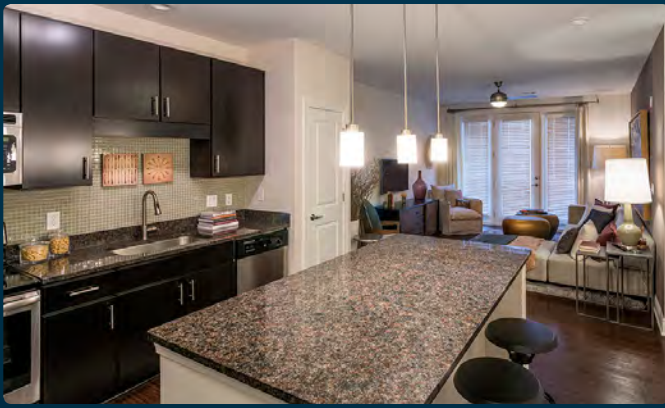
Ninth Street, 749 9th St

35+ STUDENTS



Review by *Fuqua School of Business Student*

Berkshire offers arguably the nicest apartments in Durham, in a great location that puts you within a two minute walk of Harris Teeter, restaurants, and Station Nine, where most MBA students live. The down sides are increased price, and an inconsistent management



Berkshire

NINTH STREET

Brand new studio, 1, 2, and 3 bedroom apartment homes

- Gourmet kitchens with granite countertops & satin nickel fixtures
- Washers & dryers in all apartment homes
- Coffee Bar, Media Room, & Gaming Lounge w/ Wi-Fi
- 4000+ square foot athletic center
- Resort-style saltwater pool plaza
- Bike Storage Room
- 100% Smoke Free Community
- Walk Score 82 – steps from Ninth Street's entertainment, shopping, restaurants, and Harris Teeter

FORMERLY CRESCENT NINTH STREET



Berkshire
COMMUNITIES



HIGHEST RATED

Buildings with the best overall ratings

[READ MORE REVIEWS AT VERYAPT.COM](https://www.veryapt.com)

What the best properties typically offer:



- ✓ High-end amenities
- ✓ Close proximity to Fuqua
- ✓ Nearby stores/grocery
- ✓ Excellent management

TOP 10

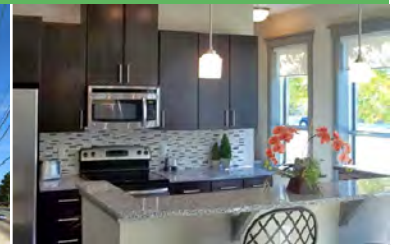
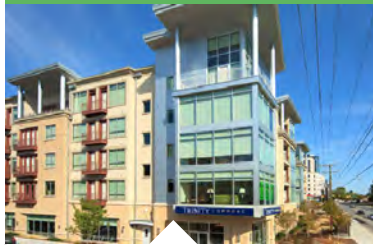
1 ST	TRINITY COMMONS	8.8 OVERALL RATING
2 ND	THE HEIGHTS AT LASALLE	8.4 OVERALL RATING
3 RD	REALM PATTERSON PLACE	8.3 OVERALL RATING
4 TH	THE BELMONT APARTMENTS	8.2 OVERALL RATING
5 TH	GARRETT WEST	8.0 OVERALL RATING
5 TH	WEST VILLAGE	8.0 OVERALL RATING
7 TH	LOFTS AT LAKEVIEW	7.5 OVERALL RATING
7 TH	ALDEN PLACE	7.5 OVERALL RATING
9 TH	BELL WEST END	7.3 OVERALL RATING
10 TH	CENTURY TRINITY ESTATES	7.0 OVERALL RATING

1ST

TRINITY COMMONS

Erwin - LaSalle, 2530 Erwin Rd

8.8
OVERALL
RATING



Review by *Fuqua School of Business Student*

10 min. walk, and 5 min. drive to Fuqua. Excellent amenities, extremely secure building. Overall, just a beautiful building that I would definitely recommend to anyone who wants a nice apartment complex with all amenities (gym, garage parking, hot tub, pool, grill area) and wants an easy commute to school.

2ND

THE HEIGHTS AT LASALLE

Erwin - LaSalle, 500 S LaSalle St

8.4
OVERALL
RATING



Review by *Fuqua School of Business Student*

The Heights at LaSalle has been a great place to live. The complex is new so the amenities are pretty modern. It is within walking distance to campus or you can easily catch the LaSalle Loop bus which has a stop in front on the complex. The units are a fairly good size. Overall the complex is solid.

3RD

REALM PATTERSON PLACE

Durham, 3767 SW Durham Dr

8.3
OVERALL
RATING



Review by *Fuqua School of Business Student*

We love Realm Patterson. It's a hidden gem (new complex) half way between Durham and Chapel Hill. The units are stunning and it's very cheap. The pool and gym look like a spa. Lots of families and dogs. Hiking trails in the back, dog park, playground. Not a huge Fuqua contingent (I think there's somewhere between 5-10 of us) but that's been really nice for us. Highly recommend if you don't mind being about a 10 minute drive from Fuqua.

BEST FOR FAMILIES

Highest rated properties by couples and families

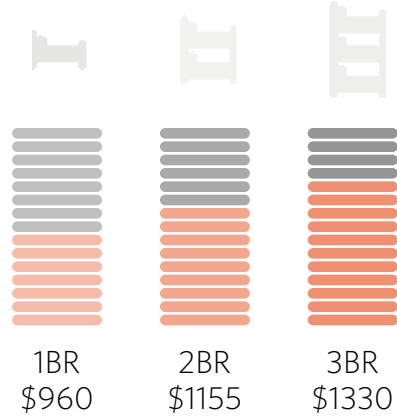
[READ MORE REVIEWS AT VERYAPT.COM](#)

Properties in the Best for Families List typically offer:



- ✓ Safe and secure properties
- ✓ Outdoor areas
- ✓ Nearby parking
- ✓ Quiet buildings

AVERAGE RENTS FOR HIGHEST RATED PROPERTIES BY FAMILIES



TOP 5

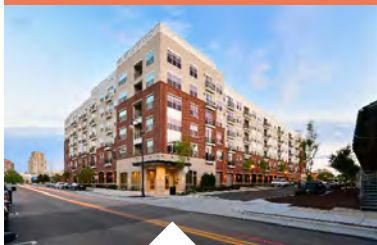
1 ST		WEST VILLAGE	8.7 FAMILY RATING
2 ND		TRINITY COMMONS	8.5 FAMILY RATING
2 ND		ALDEN PLACE	8.5 FAMILY RATING
4 TH		REALM PATTERSON PLACE	8.3 FAMILY RATING
5 TH		THE BELMONT APARTMENTS	8.0 FAMILY RATING

1ST

WEST VILLAGE

Brightleaf, 605 W Main St

8.7 FAMILY RATING



Review by *Myles N.*

West Village is in Downtown Durham close to a lot of the nice cafes, restaurants, and bars. The campus has a mix of new and old buildings, but they all share great amenities. Most of the tenants are young professionals with a few grad students. I love the location, but the only downside is that it's not quite walking distance to Station 9 where most of the Fuqua students live.

2ND

TRINITY COMMONS

Erwin - LaSalle, 2530 Erwin Rd

8.5 FAMILY RATING



Review by *Fuqua School of Business Student*

Great place for people who want to be close to the action and want the option of having some down time. Its walking distance to Fuqua and a short uber ride to 9th Street and Station 9.

2ND

ALDEN PLACE

Durham, 100 Alexan Dr

8.5 FAMILY RATING



Review by *Fuqua School of Business Student*

Great value for your money, about 3 miles from Fuqua. Safety is good, clean and nice landscaping and apartments. No stainless steel or granite, but you aren't paying the premium for them either! Not a party complex, so you get leave and quiet when home, then go over to the other complex to party.

lofts

AT LAKEVIEW

It's different here.

Wi-fi internet cafe

Entrepreneurial business conference room

On-site social director

Two resort-style pools

Premier fitness club with on-site fitness director

24 Hour coffee and hot tea bar

Plush lounge with billiard table, shuffle board,
Playstation, and HDTV

Movie theater with stadium style seating

Gorgeous dark walnut stained concrete or luxurious German
beech hardwood flooring

Controlled access to covered garage parking

Outdoor fireplace and poolside grills

Walking distance to Duke Medical Center and Duke's west campus



Sentinel 

apart | ment



919.382.8184

2616 Erwin Road · Durham, North Carolina 27705

www.loftsatlakeview.com

All leaseholders must be at least 21 years of age.



BEST FOR PET OWNERS

Highest rated properties for students with pets

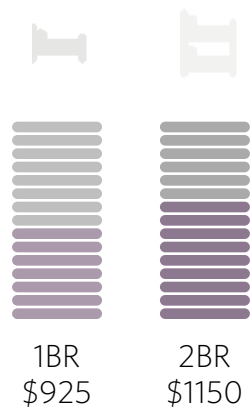
READ MORE REVIEWS AT [VERYAPT.COM](https://www.veryapt.com)

Properties in the Best for Pet Owners List typically offer:



- ✓ Larger floorplans
- ✓ Nearby parks and green space
- ✓ Flexible pet policies
- ✓ Great management

AVERAGE RENTS FOR HIGHEST RATED PROPERTIES BY PET OWNERS



TOP 5

1 ST	CENTURY TRINITY ESTATES	8.2 PET RATING
2 ND	THE BELMONT APARTMENTS	8.0 PET RATING
3 RD	LENOX AT PATTERSON PLACE	7.9 PET RATING
4 TH	ARIUM PINNACLE RIDGE	7.8 PET RATING
5 TH	STATION NINE	7.5 PET RATING

1ST

CENTURY TRINITY ESTATES

Garrett Road, 240 Ivy Meadow Ln

8.2

PET RATING



Review by *Scott B.*

Overall, I am quite satisfied with my townhouse apartment. It is a short 8-10 minute drive to Fuqua and equally convenient to Target, Harris Teeter, and a ton of restaurants just down the road. There is also a nice tennis court, pool, and lots of green space for pets. Apartments always offer a lot of trade offs between amenities, location, space, and price. I feel like Century Trinity is a good balance of all of those.

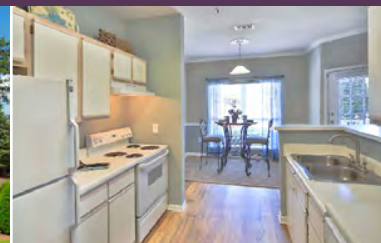
2ND

THE BELMONT APARTMENTS

Erwin - LaSalle, 1000 McQueen Dr

8.0

PET RATING



Review by *Fuqua School of Business Student*

The Belmont has great proximity to Fuqua and a small collection of fast food, as well as a cluster of students who live in the surrounding buildings (Lofts, Trinity, Heights). We chose it for the large pond for walking our dog, and it has been great. Management is okay, and maintenance is responsive and generally quick.

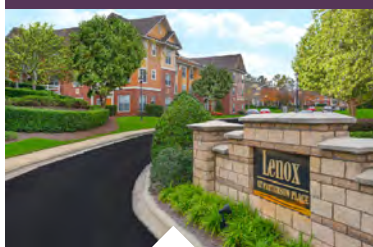
3RD

LENOX AT PATTERSON PLACE

Durham, 100 Rose Garden Ln

7.9

PET RATING



Review by *Valerie J.*

I really like my apartment. It's about 10 minutes from school. It doesn't feel like I am far away, and I am only a short car ride away from all of the school related activities. The only thing is I wish the space was a tad bigger (its 700sq ft so its definitely a decent size). It is not a popular student building at all, but it is a super quiet complex.

BEST FOR VALUE

Highest rated properties for value

[READ MORE REVIEWS AT VERYAPT.COM](#)

Housing Advice For

INTERNATIONAL STUDENTS

Advice from current international students at Fuqua:

Apartment recommendations:

"Most international students (especially those who are single) live in [Station Nine](#), which allows for further contact among us."

"[The Belmont](#) is a great option if you don't have a car and want to be close to school."

"[The Lofts at Lakeview](#) makes it very easy to get to school."

Location advice:

"Look for places close to supermarkets, restaurants, and public transportation."

"Opt to live closer to where other international students live or where the rest of the Fuqua community for your year decides to live."

"If you're moving in with family, make sure you pick a location that can help your partner integrate and engage with the community."

Search tips:

"Try to set an objective of what you're looking for in housing. Ask current students studying at Fuqua of their experience."

"I suggest international students to set up key priorities for housing such as social, location, rent fee, etc."

1ST

REALM PATTERSON PLACE

Durham, 3767 SW Durham Dr

9.3
VALUE
RATING



Review by [Anonymous](#)

It's a 10 min drive from school, but it's quiet, new, friendly staff, nice clean apts and amenities, and probably half of what you would pay for the same space near school. Worth it for me and my fiancée.

2ND

GARRETT WEST

Garrett Road, 4130 Garrett Rd

8.8
VALUE
RATING



Review by [Fuqua School of Business Student](#)

Besides the social aspect of living in downtown, it's a great cost benefit. It's much cheaper to have a two bedroom apartment here than in other complexes in downtown. The big "but" is that it's not close to the parties and pre-games, so you'll Uber a lot.

2ND

THE BELMONT APARTMENTS

Erwin - LaSalle, 1000 McQueen Dr

8.8
VALUE
RATING



Review by [Fuqua School of Business Student](#)

Living at the Belmont is very convenient as a Fuqua student. The complex is slightly older than the newer apartment complexes nearby (Lofts, Trinity, etc.) but is a much better price, similar amenities, and more comfortable apartment.

BEST FOR AMENITIES

Highest rated properties for amenities

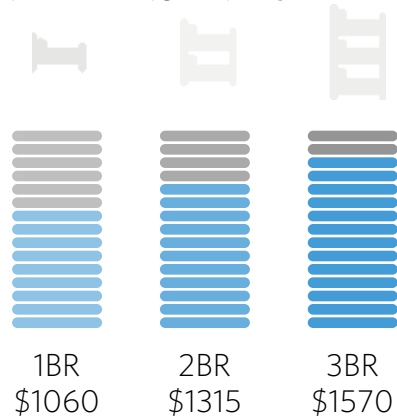
[READ MORE REVIEWS AT VERYAPT.COM](#)

What top amenity properties typically offer:

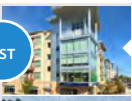


- ✓ Great common spaces
- ✓ Convenient location
- ✓ Excellent management
- ✓ Newer construction

AVERAGE RENTS FOR HIGHEST RATED AMENITY PROPERTIES



TOP 5

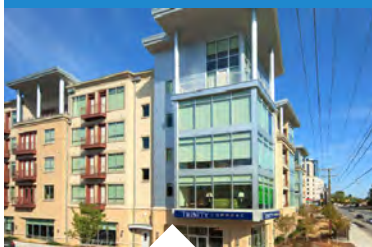
1 ST		TRINITY COMMONS	9.8 AMENITY RATING
2 ND		REALM PATTERSON PLACE	8.5 AMENITY RATING
3 RD		GARRETT WEST	8.4 AMENITY RATING
3 RD		BERKSHIRE NINTH STREET	8.4 AMENITY RATING
5 TH		LOFTS AT LAKEVIEW	8.1 AMENITY RATING

1ST

TRINITY COMMONS

Erwin - LaSalle, 2530 Erwin Rd

9.8
AMENITY
RATING



Review by *Fuqua School of Business Student*

Overall, just a beautiful building that I would definitely recommend to anyone who wants a nice apartment complex with all amenities (gym, garage parking, hot tub, pool, grill area) and wants an easy commute to school.

2ND

REALM PATTERSON PLACE

Durham, 3767 SW Durham Dr

8.5
AMENITY
RATING



Review by *Fuqua School of Business Student*

The units are stunning and it's very cheap. The pool and gym look like a spa. Lots of families and dogs. Hiking trails in the back, dog park, playground.

3RD

GARRETT WEST

Garrett Road, 4130 Garrett Rd

8.4
AMENITY
RATING



Review by *Fuqua School of Business Student*

Perfect for roommates, my apartment gives us plenty of shared living space while maximizing the distance between our private spaces. We have a ton of natural light and an updated, open floorplan. The gym is open 24 hours with a pool, grilling area, entertainment room, and computer lab.

LANDLORD GRADES AND THE RENTING PROCESS

Grade Landlord

- A** Bainbridge Companies
- B** Berkshire Communities
- A** Carroll Management Group
- B+** Greystar
- A+** Northwood Ravin
- A+** The Worthing Companies
- A** Weinstein Properties

LANDLORD GRADES

Grades were assigned to landlords that received two or more reviews by using a combination of management ratings and overall ratings for the properties they manage. Letter grades correspond to the following:

- A+** Over 9.5
- A** 9.0-9.4
- B+** 8.0-8.9
- B** 7.0-7.9
- C+** 6.0-6.9
- C** 5.0-5.9

Understanding

THE RENTING PROCESS

If this is your first time renting, here is a heads up on what the process is like:

APPLICATION PROCESS

You will be asked to **fill out an application** for an apartment. Likely this will include an **application fee (\$30-50)** and potentially a deposit (up to one month's rent). If you're coming from abroad, you **may have to provide alternate information** - in the absence of a social security number, bank accounts, etc., often landlords will accept your visa documents and acceptance letter. Landlords will use your information to approve you based only on your credit history and income. In the event where there are issues, a landlord may grant the application on the condition that a guarantor cosigns the lease.

AFTER YOU'RE APPROVED

A landlord will often ask for a **security deposit** and **prepaid rent**. A landlord typically charges up to two months rent as a security deposit and will ask for up to two months in prepaid rent. At the end of your lease and after you **give proper notification that you are moving out** (typically 60-90 days), the **landlord has 30 days to return the security deposit at the end of the lease**. The landlord may not return the deposit in full if there are claimed damages to the property or other charges outstanding.

WHAT TO LOOK OUT FOR

Check for additional charges or obligations that could cost you more than the listed price of a property. This could include move-in/move-out fees, renters insurance requirements, condo fees, common electrical fees, etc. Definitely ask about previous electrical/utility bills to get a feel for what additional monthly costs there may be. Be sure to research the landlord and management company before placing any sort of deposit. If you have any specific questions, feel free to reach out to us at contact@veryapt.com.

The background of the entire page is a blue geometric pattern composed of various shades of blue diamonds and triangles, creating a textured, crystalline effect.

FOR DETAILED REVIEWS AND PERSONALIZED RECOMMENDATIONS VISIT

www.VeryApt.com