

# INSPECTION REPORT



For the Property at:  
**61 ORCHARD WAY**  
WARKWORTH, ON K0K 3K0

---

Prepared for: TEAM VANRAHAN  
Inspection Date: Saturday, August 7, 2021  
Prepared by: David Sharman



County Home Inspection  
459 George Street North  
Peterborough, ON K9H 3R6  
7059573642

[www.countyhomeinspection.ca](http://www.countyhomeinspection.ca)  
[david@countyhomeinspection.ca](mailto:david@countyhomeinspection.ca)

A fully insured and professionally accredited inspection.



August 7, 2021

Dear Team VanRahan,

RE: Report No. 3572  
61 Orchard Way  
Warkworth, ON  
K0K 3K0

Thank you for choosing County Home Inspection to perform your home inspection.

The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients can sometimes assume that a home inspection includes many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of you, our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Our Home Inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection.

If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thank you for choosing County Home Inspection.

Sincerely,

David Sharman  
on behalf of  
County Home Inspection

County Home Inspection  
459 George Street North  
Peterborough, ON K9H 3R6  
7059573642  
[www.countyhomeinspection.ca](http://www.countyhomeinspection.ca)  
[david@countyhomeinspection.ca](mailto:david@countyhomeinspection.ca)

# SUMMARY

61 Orchard Way, Warkworth, ON August 7, 2021

Report No. 3572

[www.countyhomeinspection.ca](http://www.countyhomeinspection.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

## Roofing

### **RECOMMENDATIONS \ Overview**

**Condition:** • No roofing recommendations are offered as a result of this inspection.

## Exterior

### **RECOMMENDATIONS \ Overview**

**Condition:** • No exterior recommendations are offered as a result of this inspection.

## Structure

### **FOUNDATIONS \ General notes**

**Condition:** • Typical minor cracks

**Implication(s):** Chance of water entering building

**Location:** Rear elevation

**Task:** Monitor

**Time:** Ongoing

## Electrical

### **DISTRIBUTION SYSTEM \ Outlets (receptacles)**

**Condition:** • Test faulty on GFCI/GFI (Ground Fault Circuit Interrupter)

**Implication(s):** Electric shock

**Location:** Exterior wall

**Task:** Replace

**Time:** Discretionary

**Cost:** Minor

## Heating

### **GAS FURNACE \ Mechanical air filter**

**Condition:** • Replace - regular maintenance

**Implication(s):** Increased heating & maintenance costs, Reduced comfort

**Location:** Cold air return

**Task:** Replace

**Time:** Regular maintenance

**Cost:** Regular maintenance item

# SUMMARY

61 Orchard Way, Warkworth, ON August 7, 2021

Report No. 3572

[www.countyhomeinspection.ca](http://www.countyhomeinspection.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## HEAT RECOVERY VENTILATOR \ Heat exchanger cores

**Condition:** • Clean core - regular maintenance

**Implication(s):** Reduced operability & comfort

**Location:** Unit interior

**Task:** Clean

**Time:** Regular maintenance

**Cost:** Regular maintenance item

## HEAT RECOVERY VENTILATOR \ Filters

**Condition:** • Clean filters - regular maintenance

**Implication(s):** Reduced operability & comfort

**Location:** Unit interior

**Task:** Clean

**Time:** Regular maintenance

**Cost:** Regular maintenance item

## Cooling & Heat Pump

### AIR CONDITIONING \ Life expectancy

**Condition:** • Aging

**Location:** Exterior condenser

**Task:** Monitor

**Time:** Ongoing

## Insulation and Ventilation

### RECOMMENDATIONS \ Overview

**Condition:** • No insulation recommendations are offered as a result of this inspection.

## Plumbing

### RECOMMENDATIONS \ Overview

**Condition:** • No plumbing recommendations are offered as a result of this inspection.

## Interior

### WINDOWS \ Glass (glazing)

**Condition:** • Lost seal on double glazing

**Implication(s):** Shortened life expectancy of material

**Location:** Basement

**Task:** Repair or replace

**Time:** Discretionary

# SUMMARY

61 Orchard Way, Warkworth, ON August 7, 2021

Report No. 3572

[www.countyhomeinspection.ca](http://www.countyhomeinspection.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

**Cost:** Minor

**GARAGE \ Door between garage and living space**

**Condition:** • No self closer

**Implication(s):** Hazardous combustion products entering home

**Location:** Hall

**Task:** Provide

**Time:** As soon as is practicable

**Cost:** Minor

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

# ROOFING

61 Orchard Way, Warkworth, ON August 7, 2021

Report No. 3572

[www.countyhomeinspection.ca](http://www.countyhomeinspection.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Description

**The home is considered to face:** • North

**Sloped roofing material:**

- Asphalt shingles



1. Asphalt shingles



2.

**Sloped roof flashing material:** • Aluminum

**Probability of leakage:** • Low

**Approximate age:** • 10 years

**Typical life expectancy:** • 25-30 years

**Roof Shape:** • Gable

## Limitations

**Roof inspection limited/prevented by:** • Lack of access (too high/steep)

**Inspection performed:** • From the ground • Telescopic video inspection equipment

**Age determined by:** • Visual inspection from ground • Visual inspection with telescopic inspection equipment • Reported by seller

## Recommendations

### **RECOMMENDATIONS \ Overview**

1. **Condition:** • No roofing recommendations are offered as a result of this inspection.

# EXTERIOR

61 Orchard Way, Warkworth, ON August 7, 2021

Report No. 3572

[www.countyhomeinspection.ca](http://www.countyhomeinspection.ca)

SUMMARY

ROOFING

**EXTERIOR**

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Description

**Gutter & downspout material:** • Aluminum

**Gutter & downspout type:** • Eave mounted

**Downspout discharge:** • Below grade

**Lot slope:** • Flat

**Soffit (underside of eaves) and fascia (front edge of eaves):** • Aluminum

**Wall surfaces and trim:** • Vinyl siding

**Wall surfaces - masonry:** • Stone

**Driveway:** • Asphalt • No performance issues were noted.

**Deck:** • Raised • Wood • Railings • No performance issues were noted.

**Porch:** • Concrete • No performance issues were noted.

**Exterior steps:** • Wood • No performance issues were noted.

**Balcony:** • Wood railings • No performance issues were noted.

**Balcony:** • Concrete

**Patio:** • Patio stones • No performance issues were noted.

**Garage:** • Attached

## Limitations

**Inspection limited/prevented by:** • Car/storage in garage

**Exterior inspected from:** • Ground level

## Recommendations

### RECOMMENDATIONS \ Overview

**2. Condition:** • No exterior recommendations are offered as a result of this inspection.

SUMMARY

ROOFING

EXTERIOR

**STRUCTURE**

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Description

**Configuration:** • Basement

**Foundation material:** • Poured concrete

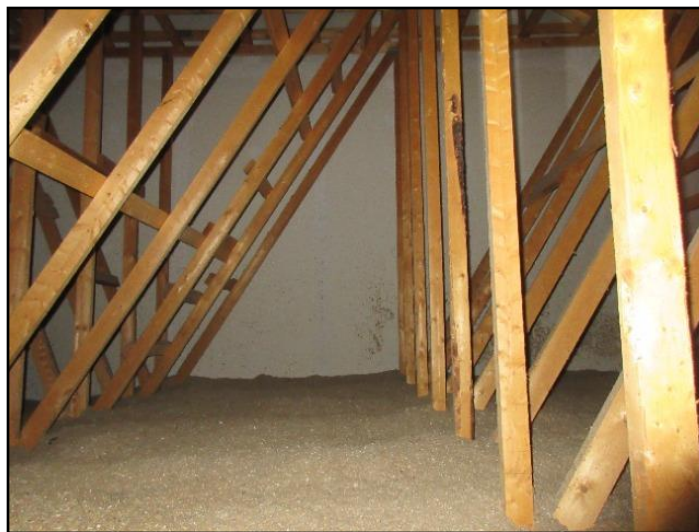
**Floor construction:** • Wood I-joists • Subfloor - OSB (Oriented Strand Board)

**Exterior wall construction:** • Wood frame / Masonry veneer

**Roof and ceiling framing:** • Trusses • Plywood sheathing

**Party wall:**

- Wood frame
- Extends through roof



3. Extends through roof

## Limitations

**Inspection limited/prevented by:** • Ceiling, wall and floor coverings • Insulation

**Attic/roof space:** • Inspected from access hatch

**Percent of foundation not visible:** • 80 %

## Recommendations

### FOUNDATIONS \ General notes

**3. Condition:** • Typical minor cracks

**Implication(s):** Chance of water entering building

**Location:** Rear elevation

**Task:** Monitor

**Time:** Ongoing





4. *Typical minor cracks*

## **FOUNDATIONS \ Performance opinion**

4. **Condition:** • Not determined

## Description

**Service entrance cable and location:** • Underground - cable material not visible

**Service size:** • 100 Amps (240 Volts)

**Main disconnect/service box rating:** • 125 Amps

**Main disconnect/service box type and location:**

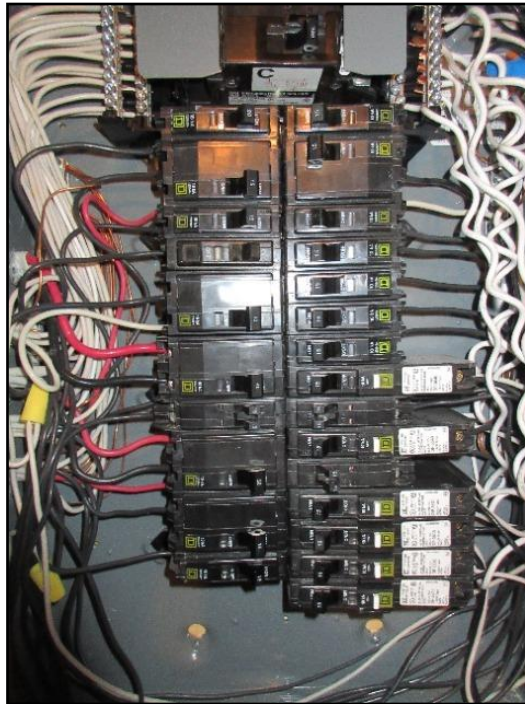
- Breakers - utility room



5. Main electrical disconnect

**Distribution panel type and location:**

- Breakers - utility room



6. Breakers - utility room

**Distribution panel rating:** • 125 Amps

**Electrical panel manufacturers:** • Square D

**Number of circuits installed:** • 27

**Distribution wire (conductor) material and type:** • Copper - non-metallic sheathed

**Type and number of outlets (receptacles):** • Grounded - typical

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • GFCI - exterior • GFCI - bathroom • AFCI - panel

**Smoke alarms (detectors):** • Present

**Carbon monoxide (CO) alarms (detectors):** • Present

## Limitations

**System ground:** • Quality of ground not determined

**Circuit labels:** • The accuracy of the circuit index (labels) was not verified.

**Not included as part of a building inspection:** • Testing of smoke and/or carbon monoxide alarms

**Recommendations**

**DISTRIBUTION SYSTEM \ Outlets (receptacles)**

**5. Condition:** • Test faulty on GFCI/GFI (Ground Fault Circuit Interrupter)

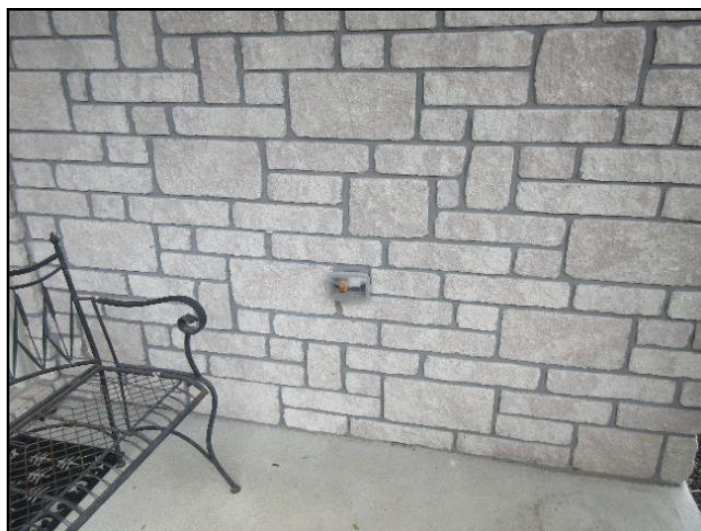
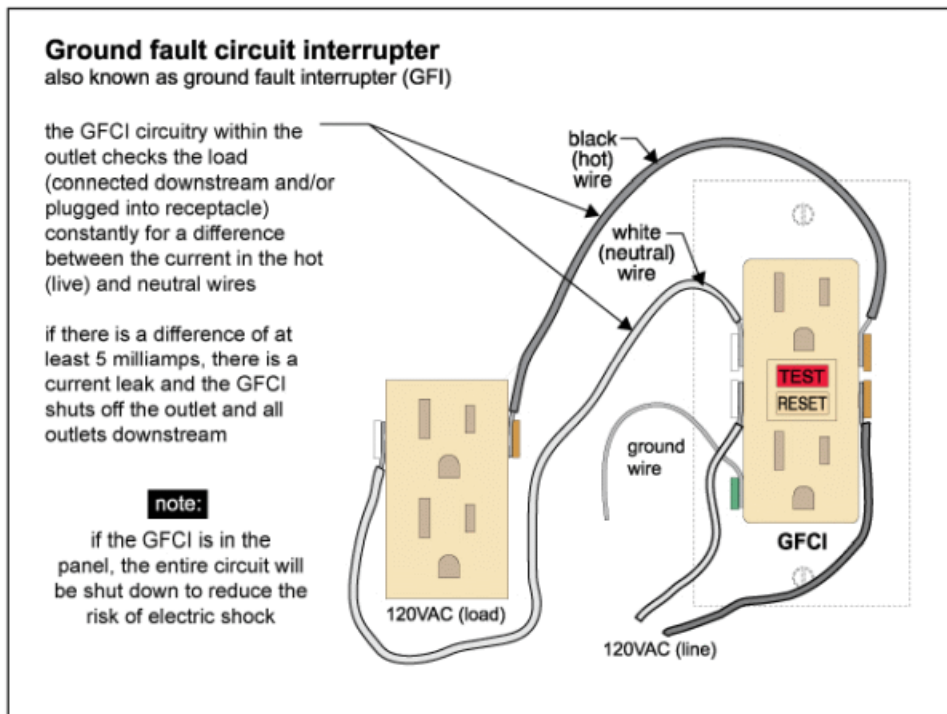
**Implication(s):** Electric shock

**Location:** Exterior wall

**Task:** Replace

**Time:** Discretionary

**Cost:** Minor



7. Test faulty on GFCI/GFI (Ground Fault...

## Description

**System type:**

- Furnace



8. Furnace

**Fuel/energy source:** • Gas

**Furnace manufacturer:** • Ducane

*Model number: 92G1UH045BP12-01 Serial number: 5910M32743*

**Heat distribution:** • Ducts and registers

**Approximate capacity:** • 45,000 BTU/hr

**Efficiency:** • High-efficiency

**Exhaust venting method:** • Direct vent - sealed combustion

**Combustion air source:** • Outside - sealed combustion

**Approximate age:** • 11 years

**Typical life expectancy:** • Furnace (high efficiency) 15 to 20 years

**Main fuel shut off at:**

- Utility room



# HEATING

61 Orchard Way, Warkworth, ON August 7, 2021

Report No. 3572

[www.countyhomeinspection.ca](http://www.countyhomeinspection.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



9. Main fuel shut off



10. Electrical disconnect

**Failure probability:** • Low

**Air filter:** • Disposable • 16" x 25" • 1" thick

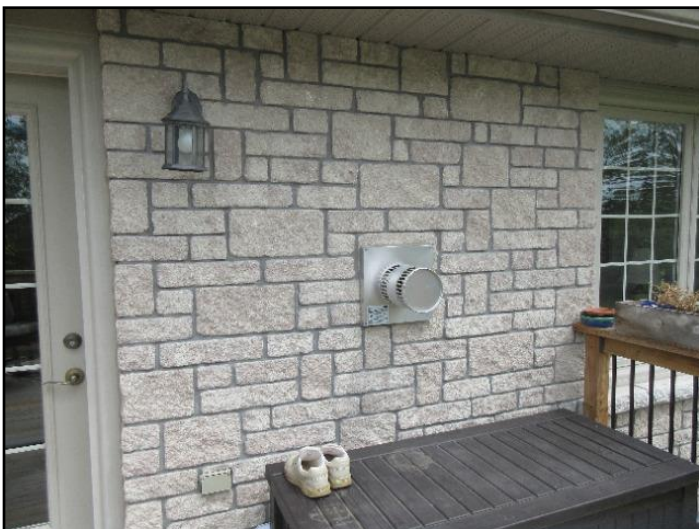
**Exhaust pipe (vent connector):** • PVC plastic

**Fireplace/stove:**

• Gas fireplace

Kingsman

Model number: HBZDV3624N Serial number: 74225



11. Sidewall vented



12. Gas fireplace

**Chimney/vent:**

• Sidewall venting



13. Sidewall venting

**Mechanical ventilation system for building:**

- Heat recovery ventilator (HRV)

Lifebreath

Model number: RNC5-TPD Serial number: 072211798



14. Heat recovery ventilator (HRV)

- Bathroom exhaust fan
- Laundry room exhaust fan

**Condensate system:** • Discharges through floor slab

## Limitations

**Safety devices:** • Not tested as part of a building inspection

**Warm weather:** • Prevented testing in heating mode

**Fireplace/wood stove:** • Turned off

**Heat exchanger:** • Not visible

**Not included as part of a building inspection:** • Interiors of vent systems, flues, and chimneys

## Recommendations

### GAS FURNACE \ Mechanical air filter

**6. Condition:** • Replace - regular maintenance

**Implication(s):** Increased heating & maintenance costs, Reduced comfort

**Location:** Cold air return

**Task:** Replace

**Time:** Regular maintenance

**Cost:** Regular maintenance item



15. Replace - regular maintenance

### HEAT RECOVERY VENTILATOR \ Heat exchanger cores

**7. Condition:** • Clean core - regular maintenance

**Implication(s):** Reduced operability & comfort

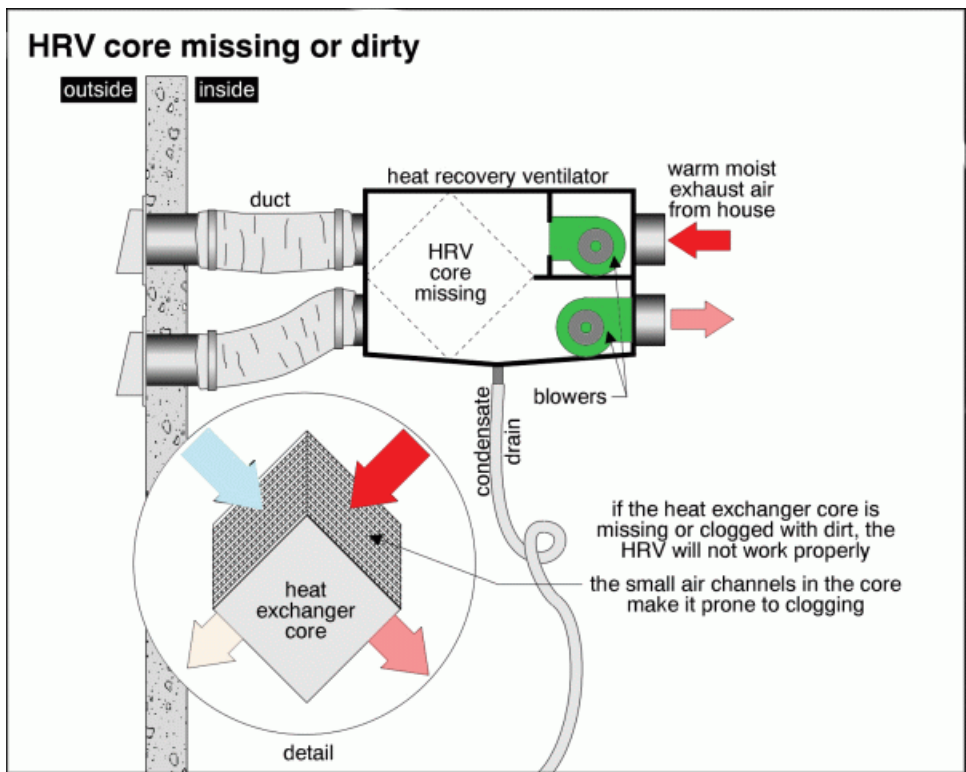
**Location:** Unit interior

**Task:** Clean

**Time:** Regular maintenance

**Cost:** Regular maintenance item





16. Clean core - regular maintenance

### HEAT RECOVERY VENTILATOR \ Filters

**8. Condition:** • Clean filters - regular maintenance

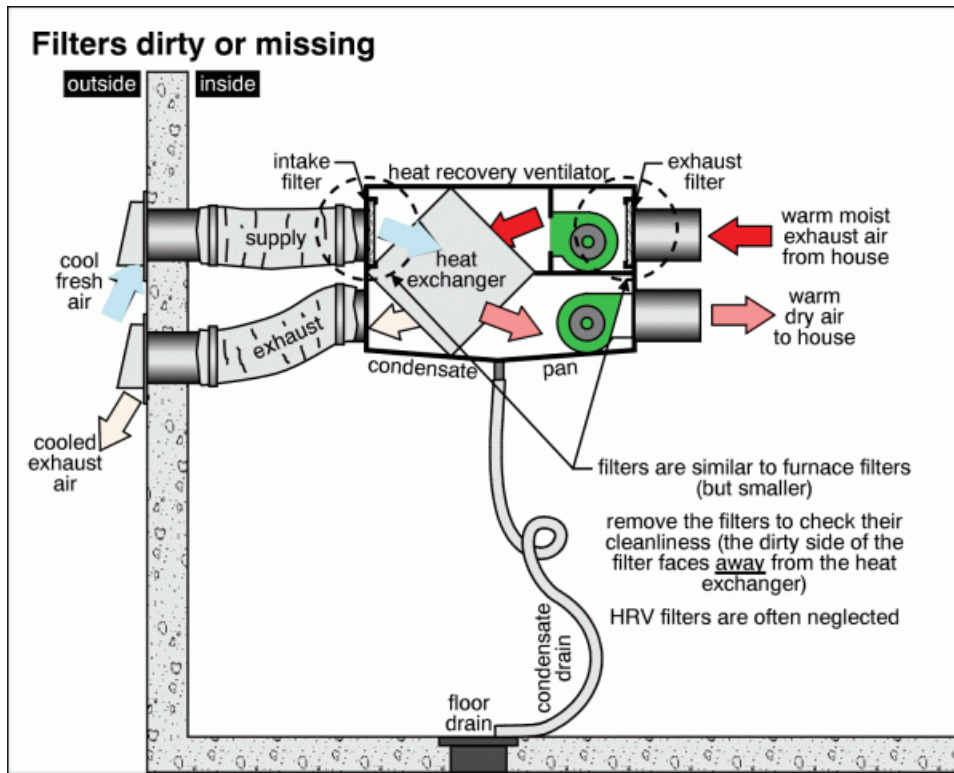
**Implication(s):** Reduced operability & comfort

**Location:** Unit interior

**Task:** Clean

**Time:** Regular maintenance

Cost: Regular maintenance item



17. Clean filters - regular maintenance

# COOLING & HEAT PUMP

61 Orchard Way, Warkworth, ON August 7, 2021

Report No. 3572

[www.countyhomeinspection.ca](http://www.countyhomeinspection.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Description

### Air conditioning type:

- Air cooled



18. Air cooled

### Manufacturer:

- Ducane  
Model number: 4AC13B24P-3A Serial number: 1910C31542

**Cooling capacity:** • 24,000 BTU/hr • 2 Tons

**Compressor type:** • Electric

**Compressor approximate age:** • 11 years

**Typical life expectancy:** • 12 to 15 years

**Failure probability:** • Medium

**Evaporative cooler damper location:** • Front of building

**Refrigerant type:** • R-410A

**Condensate system:** • Discharges through floor slab

## Limitations

**Not part of a home inspection:** • Home inspectors cannot typically access or inspect the indoor coil • Home inspectors do not verify that the size of the indoor coil matches the outdoor coil

# COOLING & HEAT PUMP

61 Orchard Way, Warkworth, ON August 7, 2021

Report No. 3572

[www.countyhomeinspection.ca](http://www.countyhomeinspection.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Recommendations

### AIR CONDITIONING \ Life expectancy

**9. Condition:** • Aging

**Location:** Exterior condenser

**Task:** Monitor

**Time:** Ongoing

## Description

### Attic/roof insulation material:

- Cellulose



19. Cellulose

### Attic/roof insulation amount/value:

- R-40
- 13 inches



20. 13 inches

Attic/roof air/vapor barrier: • Plastic

Attic/roof ventilation: • Roof and soffit vents

Wall insulation material: • Not determined

Wall insulation amount/value: • Not determined



# INSULATION AND VENTILATION

61 Orchard Way, Warkworth, ON August 7, 2021

Report No. 3572

[www.countyhomeinspection.ca](http://www.countyhomeinspection.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

**INSULATION**

PLUMBING

INTERIOR

REFERENCE

**Wall air/vapor barrier:** • Not determined

**Foundation wall insulation material:**

- Glass fiber



21. Glass fiber

- Mineral wool (rock wool)



22. Mineral wool (rock wool)

**Foundation wall insulation amount/value:** • R-12

**Foundation wall insulation amount/value:** • R-14

**Foundation wall air/vapor barrier:** • Plastic

# INSULATION AND VENTILATION

61 Orchard Way, Warkworth, ON August 7, 2021

Report No. 3572

[www.countyhomeinspection.ca](http://www.countyhomeinspection.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

**INSULATION**

PLUMBING

INTERIOR

REFERENCE

## Limitations

**Inspection limited/prevented by lack of access to:** • Wall space

**Attic inspection performed:** • From access hatch

**Roof space inspection performed:** • From access hatch

**Roof ventilation system performance:** • Not evaluated

**Air/vapor barrier system:** • Continuity not verified

## Recommendations

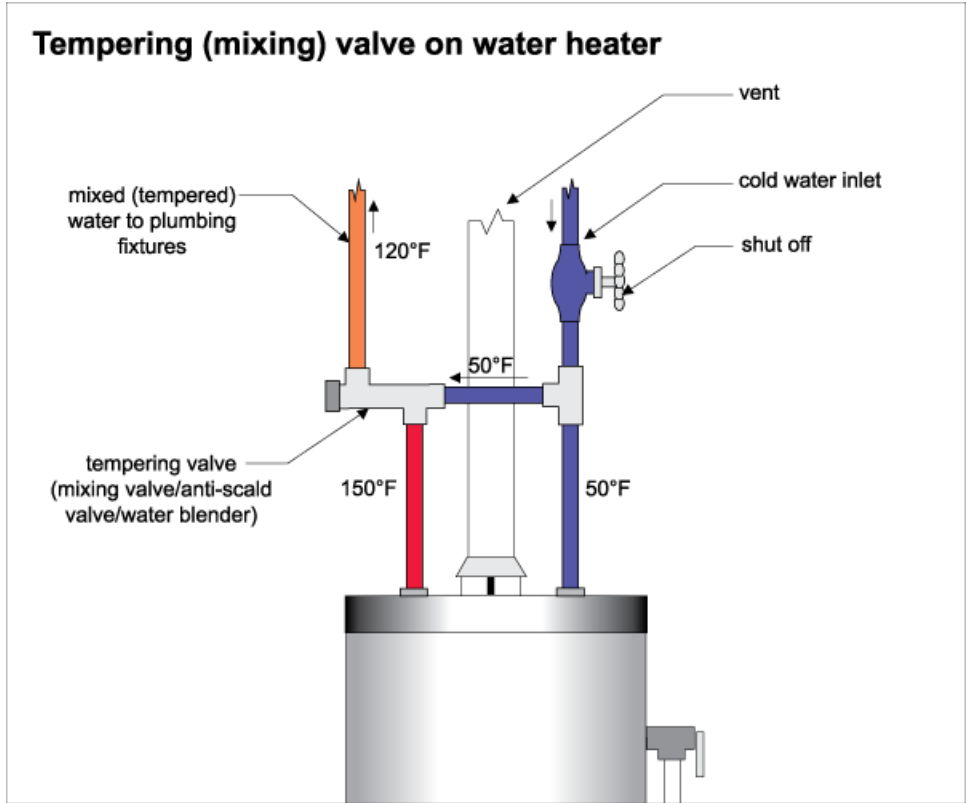
### RECOMMENDATIONS \ Overview

**10. Condition:** • No insulation recommendations are offered as a result of this inspection.

**Description**

**General:**

- Tempering/mixing valve installed



23. Tempering/mixing valve installed

Water supply source (based on observed evidence): • Public



# PLUMBING

61 Orchard Way, Warkworth, ON August 7, 2021

Report No. 3572

[www.countyhomeinspection.ca](http://www.countyhomeinspection.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

**Service piping into building:** • Copper

**Supply piping in building:** • Copper • PEX (cross-linked Polyethylene)

**Main water shut off valve at the:**

- Utility room



24. Main water shut off

**Water flow and pressure:** • Typical for neighborhood

**Water heater type:** • Owned

**Water heater location:** • Utility room

**Water heater fuel/energy source:**

- Electric



25. Electric

**Water heater manufacturer:**

- John Wood

*Model number: JW850SDE-30 250 Serial number: 1518A018026*

**Water heater tank capacity:** • 182 Liters

**Water heater approximate age:** • 6 years

**Water heater typical life expectancy:** • 12 -15 years

**Water heater failure probability:** • Low

**Waste disposal system:** • Public

**Waste and vent piping in building:** • ABS plastic

**Pumps:**

- Solid waste pump (ejector pump)



26. Solid waste pump (ejector pump)

**Floor drain location:** • None found

**Water treatment system:**

- Water softener



27. Water softener

# PLUMBING

61 Orchard Way, Warkworth, ON August 7, 2021

Report No. 3572

[www.countyhomeinspection.ca](http://www.countyhomeinspection.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

**PLUMBING**

INTERIOR

REFERENCE

**Backwater valve:** • None noted

**Exterior hose bibb (outdoor faucet):** • Present

## Limitations

**Items excluded from a building inspection:** • Isolating/relief valves & main shut-off valve • Concealed plumbing • Water treatment equipment • Performance of floor drains

**Not included as part of a building inspection:** • Washing machine connections

## Recommendations

### RECOMMENDATIONS \ Overview

**11. Condition:** • No plumbing recommendations are offered as a result of this inspection.

# INTERIOR

61 Orchard Way, Warkworth, ON August 7, 2021

Report No. 3572

[www.countyhomeinspection.ca](http://www.countyhomeinspection.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Description

**Major floor finishes:** • Carpet • Laminate • Ceramic • Vinyl

**Major wall finishes:** • Plaster/drywall

**Major ceiling finishes:** • Plaster/drywall

**Windows:** • Fixed • Sliders • Casement • Vinyl

**Glazing:** • Double

**Exterior doors - type/material:** • Hinged • French • Metal-clad • Garage door - metal

**Doors:** • Inspected

**Oven type:** • Conventional

**Oven fuel:** • Electricity

**Range fuel:** • Electricity

**Appliances:** • Refrigerator • Dishwasher • Microwave/Exhaust Fan Combo

**Laundry facilities:** • Washer • Hot/cold water supply • Dryer • Vented to outside • 120-Volt outlet • 240-Volt outlet • Waste standpipe

**Kitchen ventilation:** • Range hood discharges to the exterior

**Bathroom ventilation:** • Heat Recovery Ventilator

**Laundry room ventilation:** • Clothes dryer vented to exterior

**Laundry room ventilation:** • HRV

**Counters and cabinets:** • Inspected

**Stairs and railings:** • Inspected

## Limitations

**Inspection limited/prevented by:** • Storage/furnishings

**Not tested/not in service:** • Range • Oven • Microwave • Dishwasher

**Not included as part of a building inspection:** • Perimeter drainage tile around foundation, if any

**Cosmetics:** • No comment offered on cosmetic finishes

**Appliances:** • Appliances are not inspected as part of a building inspection

**Percent of foundation not visible:** • 80 %

## Recommendations

### WINDOWS \ Glass (glazing)

**12. Condition:** • Lost seal on double glazing

**Implication(s):** Shortened life expectancy of material

**Location:** Basement

**Task:** Repair or replace

**Time:** Discretionary

**Cost:** Minor



*28. Lost seal on double glazing*

### GARAGE \ Door between garage and living space

**13. Condition:** • No self closer

**Implication(s):** Hazardous combustion products entering home

**Location:** Hall

**Task:** Provide

**Time:** As soon as is practicable

**Cost:** Minor



# INTERIOR

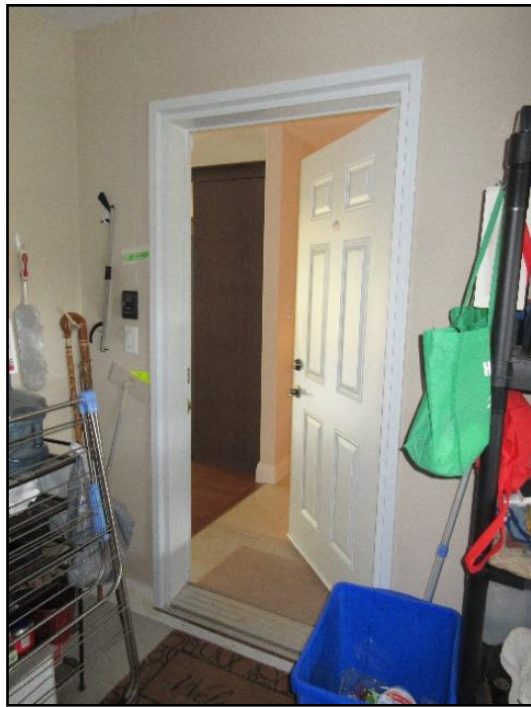
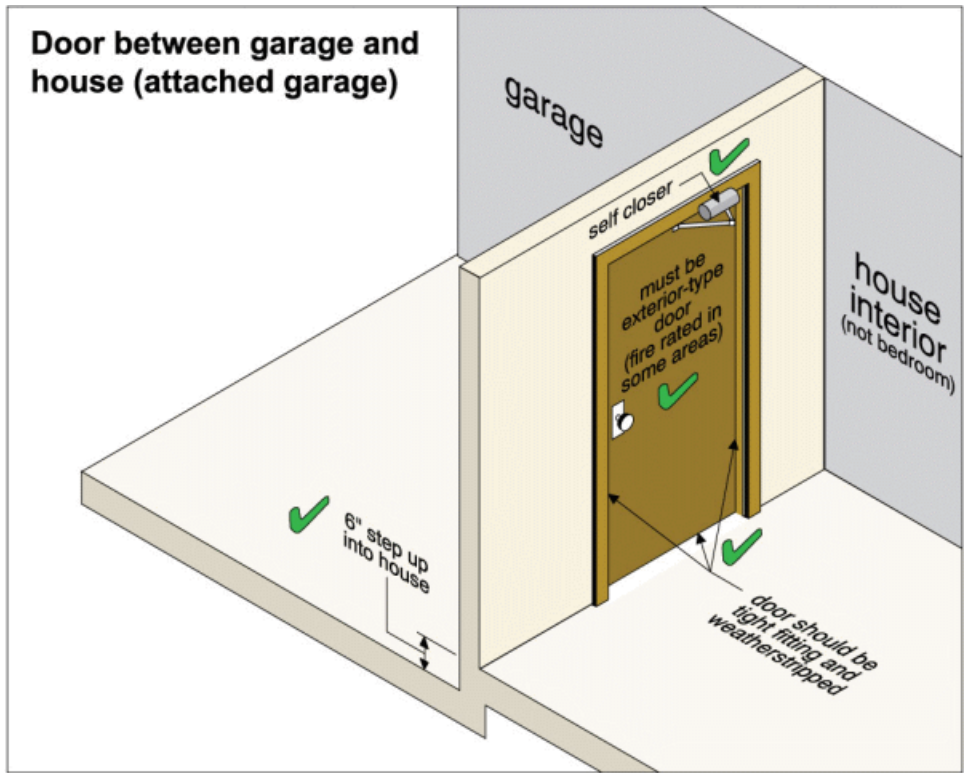
61 Orchard Way, Warkworth, ON August 7, 2021

Report No. 3572

[www.countyhomeinspection.ca](http://www.countyhomeinspection.ca)

- SUMMARY
- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR

## REFERENCE



29. No self closer

**END OF REPORT**

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS

