



H - Site Plans



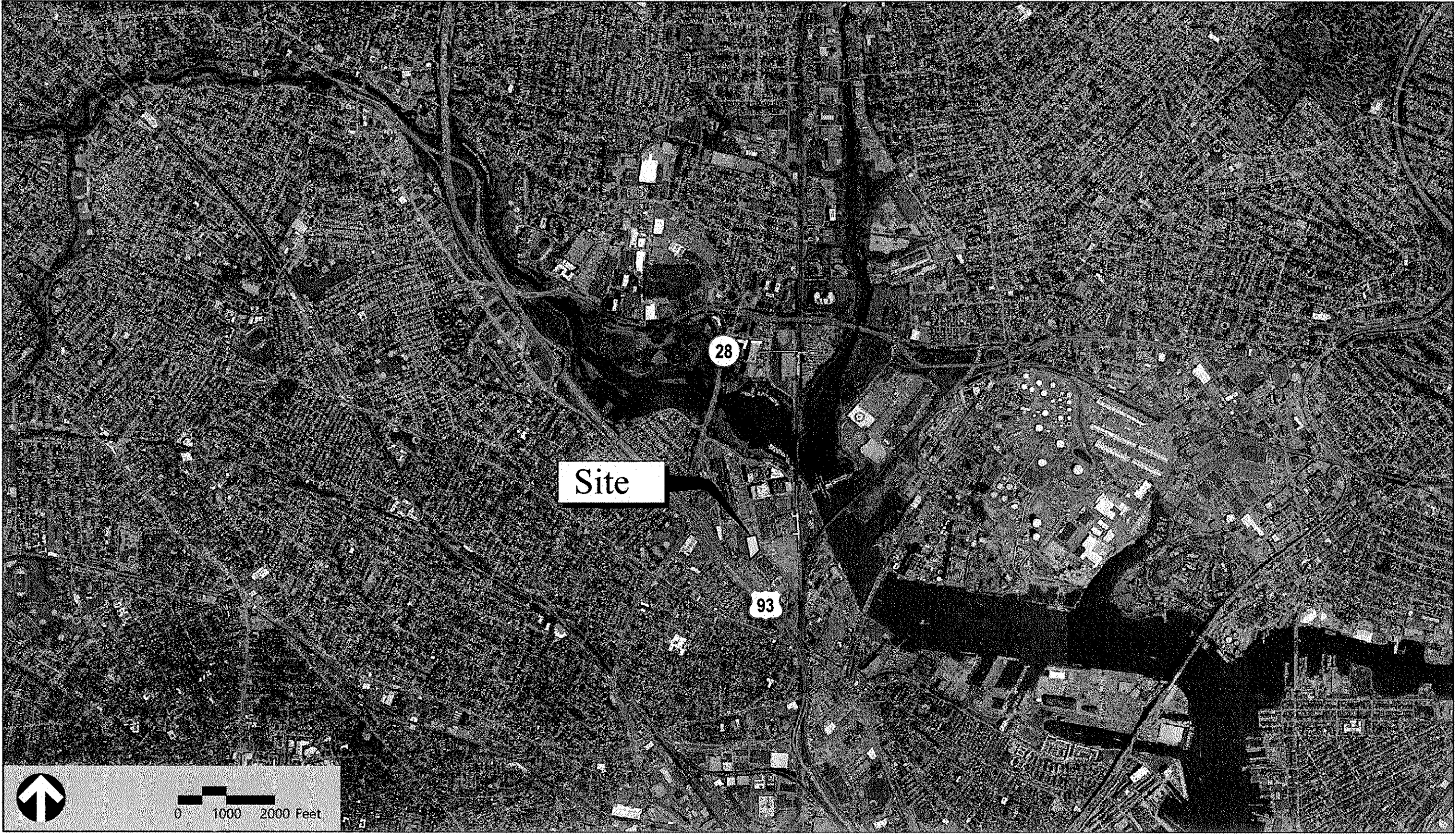
I – Civil Plans

Site Plans

Issued for	Local Approvals
Date Issued	September 28, 2018
Latest Issue	October 17, 2018

Alta XMBLY

290 Revolution Drive
Somerville, Massachusetts



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Watertown, MA 02471
617.924.1770

Architect

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Chelsea, MA 02150
Phone: (617) 889-4402

Landscape Architect

Copley-Wolff
Design Group (CWDG)
10 Post Office Square
Suite 1315
Boston, MA 02109
Phone: (617) 654-9000

Owner:

CDNV Assembly, LLC
c/o John Baxter & Ed Nardi
Cresset Development
120 Water Street
Boston, MA 02109
Phone: (617) 624-9100

Co-Owner:

Somerville Office Associates Limited Partnership
c/o Michael M. Ades
810 Seventh Avenue, 10th Floor
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Applicant:

WP East Acquisitions, L.L.C.
91 Hartwell Avenue
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Phone: (781) 541-5821



Assessor's Map: 88 and 99

Lot: 88-A-1 and 99-A-15

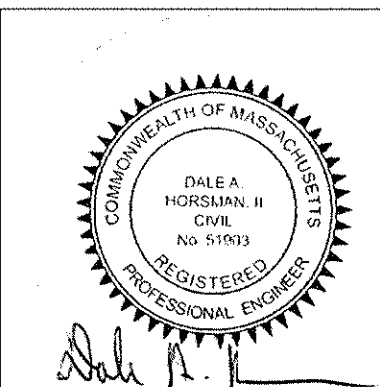
Zoning District: Assembly Square Mixed-Use District (ASMD)

Sheet Index

No.	Drawing Title	Latest Issue
C-1	Legend and General Notes	September 28, 2018
C-2	Neighborhood Context Map	September 28, 2018
C-3	Overall Site Plan	October 17, 2018
C-4	Layout and Materials Plan	October 17, 2018
C-5	Grading, Drainage, and Erosion Control Plan	October 17, 2018
C-6	Utility Plan	October 17, 2018
C-7	Site Details	September 28, 2018
C-8	Site Details	September 28, 2018

Reference Drawings

No.	Drawing Title	Latest Issue
Sv-1	Existing Conditions Plan of Land	November 28, 2017



10 - 17 - 18

Legend

Exist.	Prop.		Exist.	Prop.	
		PROPERTY LINE			PROJECT LIMIT LINE
		RIGHT-OF-WAY/PROPERTY LINE			EASEMENT
		BUILDING SETBACK			RIPRAP
		PARKING SETBACK			CONSTRUCTION EXIT
		BASILINE			TOP OF CURB ELEVATION
		CONSTRUCTION LAYOUT			BOTTOM OF CURB ELEVATION
		ZONING LINE			SPOT ELEVATION
		TOWN LINE			TOP & BOTTOM OF WALL ELEVATION
		LIMIT OF DISTURBANCE			BORING LOCATION
		WETLAND LINE WITH FLAG			TEST PIT LOCATION
		FLOODPLAIN			MONITORING WELL
		BORDERING LAND SUBJECT TO FLOODING			UNDERDRAIN
		WETLAND BUFFER ZONE			DRAIN
		NO DISTURB ZONE			ROOF DRAIN
		200' RIVERFRONT AREA			SEWER
		GRAVEL ROAD			FORCE MAIN
		EDGE OF PAVEMENT			OVERHEAD WIRE
		BITUMINOUS BERM			WATER
		BITUMINOUS CURB			FIRE PROTECTION
		CONCRETE CURB			DOMESTIC WATER
		CURB AND GUTTER			GAS
		EXTRUDED CONCRETE CURB			ELECTRIC
		MONOLITHIC CONCRETE CURB			STEAM
		PRECAST CONC. CURB			TELEPHONE
		SLOPED GRAN. EDGING			FIRE ALARM
		VERT. GRAN. CURB			CABLE TV
		LIMIT OF CURB TYPE			CATCH BASIN
		SAWCUT			DOUBLE CATCH BASIN
		BUILDING			GUTTER INLET
		BUILDING ENTRANCE			DRAIN MANHOLE
		LOADING DOCK			TRENCH DRAIN
		BOLLARD			PLUG OR CAP
		DUMPSTER PAD			CLEANOUT
		SIGN			FLARED END SECTION
		DOUBLE SIGN			HEADWALL
		STEEL GUARDRAIL			SEWER MANHOLE
		WOOD GUARDRAIL			CURB STOP & BOX
		PATH			WATER VALVE & BOX
		TREE LINE			TAPPING SLEEVE, VALVE & BOX
		WIRE FENCE			SIAMESE CONNECTION
		FENCE			FIRE HYDRANT
		STOCKADE FENCE			WATER METER
		STONE WALL			POST INDICATOR VALVE
		RETAINING WALL			WATER WELL
		STREAM / POND / WATER COURSE			GAS GATE
		DETENTION BASIN			GAS METER
		HAY BALES			ELECTRIC MANHOLE
		SILT FENCE			ELECTRIC METER
		SILT SOCK / STRAW WATTLE			LIGHT POLE
		MINOR CONTOUR			TELEPHONE MANHOLE
		MAJOR CONTOUR			TRANSFORMER PAD
		PARKING COUNT			GREASE TRAP
		COMPACT PARKING STALLS			HIGH DENSITY POLYETHYLENE PIPE
		DOUBLE YELLOW LINE			HANDHOLE
		STOP LINE			HEADWALL
		CROSSWALK			HYDRANT
		ACCESSIBLE CURB RAMP			INVERT ELEVATION
		ACCESSIBLE PARKING			INVERT ELEVATION
		VAN-ACCESSIBLE PARKING			LIGHT POLE

Abbreviations

General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE - 4" (10' LINE, 30" SPACE)
CONC	CONCRETE
DWLL	DOTTED WHITE LANE LINE - 4" (3' LINE, 9" SPACE)
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EX	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GC	GRANITE CURB
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
SYEL	SOLID YELLOW EDGE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PIV	POST INDICATOR VALVE
PWW	PAVED WATER WAY
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE
WQU	WATER QUALITY UNIT

Notes

- General
1.

CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
2.

CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
3.

ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
4.

AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE SIX (6) INCHES LOAM AND SEED.
5.

WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
6.

WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
7.

UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
8.

TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
9.

AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
10.

IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
11.

CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
12.

DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
13.

CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
14.

THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.

Utilities

1.

THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR IT'S REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
2.

WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
3.

SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
4.

RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:

A.

PAVEMENTS AND CONCRETE SURFACES: FLUSH

B.

ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH

C.

LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION

5.

THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
6.

CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
7.

UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:

A.

WATER PIPES SHALL BE CEMENT LINED DUCTILE IRON (DIP) CLASS 52

B.

SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE

C.

STORM DRAINAGE PIPES SHALL BE REINFORCED CONCRETE PIPE (RCP). ALL PIPES 18 INCHES AND SMALLER SHALL BE CLASS V. ALL OTHER PIPES SHALL BE CLASS III UNLESS INDICATED OTHERWISE ON THE PLANS.

D.

PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.
8.

CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEMWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
9.

CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
10.

ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE FIVE (5) FEET.

Layout and Materials

1.

DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2.

CURB RADII ARE THREE (3) FEET UNLESS OTHERWISE NOTED.
3.

CURBING SHALL BE VERTICAL GRANITE CURB (VGC) WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
4.

SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
5.

PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
6.

PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

Demolition

1.

CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
2.

EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
3.

CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
4.

THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.
5.

UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

Erosion Control

1.

PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
2.

CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
3.

CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
4.

CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
5.

UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information

1.

BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN OCTOBER 2017 AND FROM DEEDS AND PLANS OF RECORD. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY VHB, INC. IN OCTOBER 2017.
2.

TOPOGRAPHY: HORIZONTAL DATUM ARE BASED ON MASS GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THE PLANS HEREON REFER TO NGVD OF 1929.

Document Use

1.

THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
2.

CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
3.

SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

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Alta XMBLY
290 Revolution Drive
Somerville, Massachusetts

No.	Revision	Date	Appd.

Designed by: _____ Checked by: _____
Issued for: _____ Date: _____

Local Approvals September 28, 2018

Not Approved for Construction

Drawing Title

Legend and General Notes

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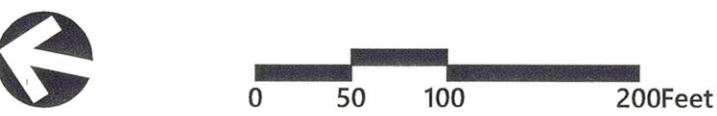
C-1

Sheet 01 of 08

Project Number 14000.01



Saved Thursday, August 30, 2018 10:35:01 AM P:\MRA Plotted Tuesday, October 16, 2018 8:10:22 PM Kara, Peter



Alta XMBLY
290 Revolution Drive
Somerville, Massachusetts

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Designed by	Checked by
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Issued for	Date
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Local Approvals September 28, 2018

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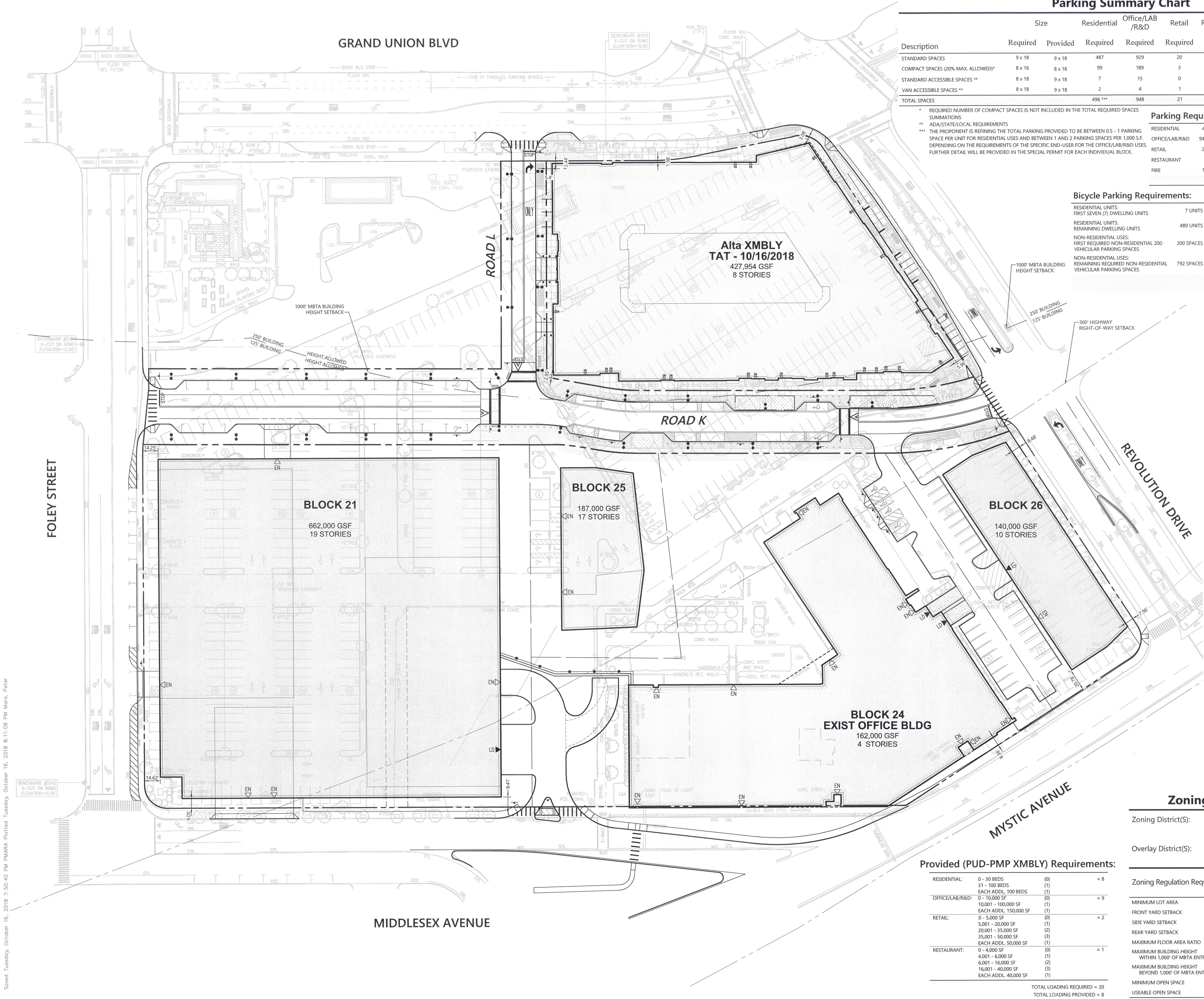
Drawing Title
**Neighborhood
Context Map**



C-2

Sheet of
02 08

Project Number
14000.01



Parking Summary Chart

Description	Size		Residential		Office/LAB /R&D		Retail	Restaurant	Fire	Total	
	Required	Provided	Required	Provided	Required	Provided	Required	Required	Required	Required	Provided
STANDARD SPACES	9 x 18	9 x 18	487	929	20	14	7	1,457	1662		
COMPACT SPACES (20% MAX. ALLOWED)*	8 x 16	8 x 18	99	189	3	1	1	293	0		
STANDARD ACCESSIBLE SPACES **	8 x 18	9 x 18	7	15	0	0	0	22	22		
VAN ACCESSIBLE SPACES **	8 x 18	9 x 18	2	4	1	1	1	9	9		
TOTAL SPACES			496 ***	948	21	15	8	1,488	1,693 ***		

* REQUIRED NUMBER OF COMPACT SPACES IS NOT INCLUDED IN THE TOTAL REQUIRED SPACES SUMMATIONS
** ADA/STATE/LOCAL REQUIREMENTS
*** THE PROPOSER IS REFINING THE TOTAL PARKING PROVIDED TO BE BETWEEN 0.5 - 1 PARKING SPACE PER UNIT FOR RESIDENTIAL USES AND BETWEEN 1 AND 2 PARKING SPACES PER 1,000 S.F. DEPENDING ON THE REQUIREMENTS OF THE SPECIFIC END-USER FOR THE OFFICE/LAB/R&D USES. FURTHER DETAIL WILL BE PROVIDED IN THE SPECIAL PERMIT FOR EACH INDIVIDUAL BLOCK.

Parking Requirements (Per Use):

RESIDENTIAL	496 UNIT	x	1 SPACES	/	1 UNIT	=	496 SPACES
OFFICE/LAB/R&D	948,000 SF	x	1 SPACES	/	1,000	=	948 SPACES
RETAIL	21,000 SF	x	1 SPACES	/	1,000	=	21 SPACES
RESTAURANT	7,140 SF	x	1 SPACES	/	500	=	15 SPACES
FIRE	16,000 SF	x	1 SPACES	/	2,000	=	8 SPACES
TOTAL PARKING REQUIRED							= 1,488 SPACES

Bicycle Parking Requirements:

RESIDENTIAL UNITS: FIRST SEVEN (7) DWELLING UNITS	7 UNITS	x	1 SPACE	/	7 UNITS	=	1 SPACES
RESIDENTIAL UNITS: REMAINING DWELLING UNITS	489 UNITS	x	1 SPACE	/	3 UNITS	=	163 SPACES
NON-RESIDENTIAL USES: FIRST REQUIRED NON-RESIDENTIAL 200 VEHICULAR PARKING SPACES	200 SPACES	x	1 SPACE	/	10 SPACES	=	20 SPACES
NON-RESIDENTIAL USES: REMAINING REQUIRED NON-RESIDENTIAL VEHICULAR PARKING SPACES	792 SPACES	x	1 SPACE	/	20 SPACES	=	40 SPACES
TOTAL BICYCLE PARKING REQUIRED							= 224 SPACES
TOTAL BICYCLE PARKING PROVIDED							= 224 SPACES

Provided (PUD-PMP XMBLY) Requirements:

RESIDENTIAL:	0 - 30 BEDS	(0)	= 8
	31 - 100 BEDS	(1)	
	EACH ADDL 100 BEDS	(1)	
OFFICE/LAB/R&D:	0 - 10,000 SF	(0)	= 9
	10,001 - 100,000 SF	(1)	
	EACH ADDL 150,000 SF	(1)	
RETAIL:	0 - 5,000 SF	(0)	= 2
	5,001 - 20,000 SF	(1)	
	20,001 - 35,000 SF	(2)	
	35,001 - 50,000 SF	(3)	
	EACH ADDL 50,000 SF	(1)	
RESTAURANT:	0 - 4,000 SF	(0)	= 1
	4,001 - 6,000 SF	(1)	
	6,001 - 16,000 SF	(2)	
	16,001 - 40,000 SF	(3)	
	EACH ADDL 40,000 SF	(1)	

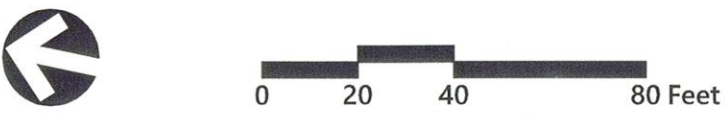
TOTAL LOADING REQUIRED = 20
TOTAL LOADING PROVIDED = 8

Zoning Summary Chart

Zoning District(S):	Assembly Square Mixed-Use District (ASMD)		
Overlay District(S):	Planned Unit Development Overlay District A (PUD-A), Medical Marijuana Overlay District		
Zoning Regulation Requirements	Required	Provided (PUD-PMP XMBLY)	
MINIMUM LOT AREA	20,000 SF	9.4 Acres	
FRONT YARD SETBACK	0 Feet	0.0 Feet (Exist Bldg)	
SIDE YARD SETBACK	0 Feet	1.98 Feet	
REAR YARD SETBACK	0 Feet	5.40 Feet	
MAXIMUM FLOOR AREA RATIO	10.0	3.7	
MAXIMUM BUILDING HEIGHT	250 Feet	85 Feet	
MAXIMUM BUILDING HEIGHT WITHIN 1,000' OF MBTA ENTRANCE			
MAXIMUM BUILDING HEIGHT BEYOND 1,000' OF MBTA ENTRANCE	125 Feet	241 Feet	
MINIMUM OPEN SPACE	25.0 %	35.4 %	
USEABLE OPEN SPACE	12.5 %	22.6 %	

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617.924.1770



Alta XMBLY
290 Revolution Drive
Somerville, Massachusetts

No.	Revision	Date	Appr.
1	RESPONSE TO CITY COMMENTS	10/17/2018	DAH

Designed by: _____ Checked by: _____

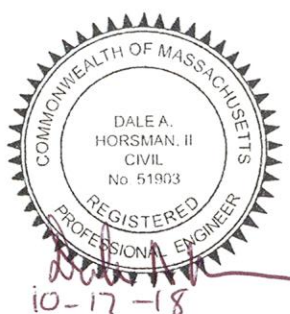
Issued for: _____ Date: _____

Local Approvals: _____ September 28, 2018

Not Approved for Construction

Drawing Title: Overall Site Plan

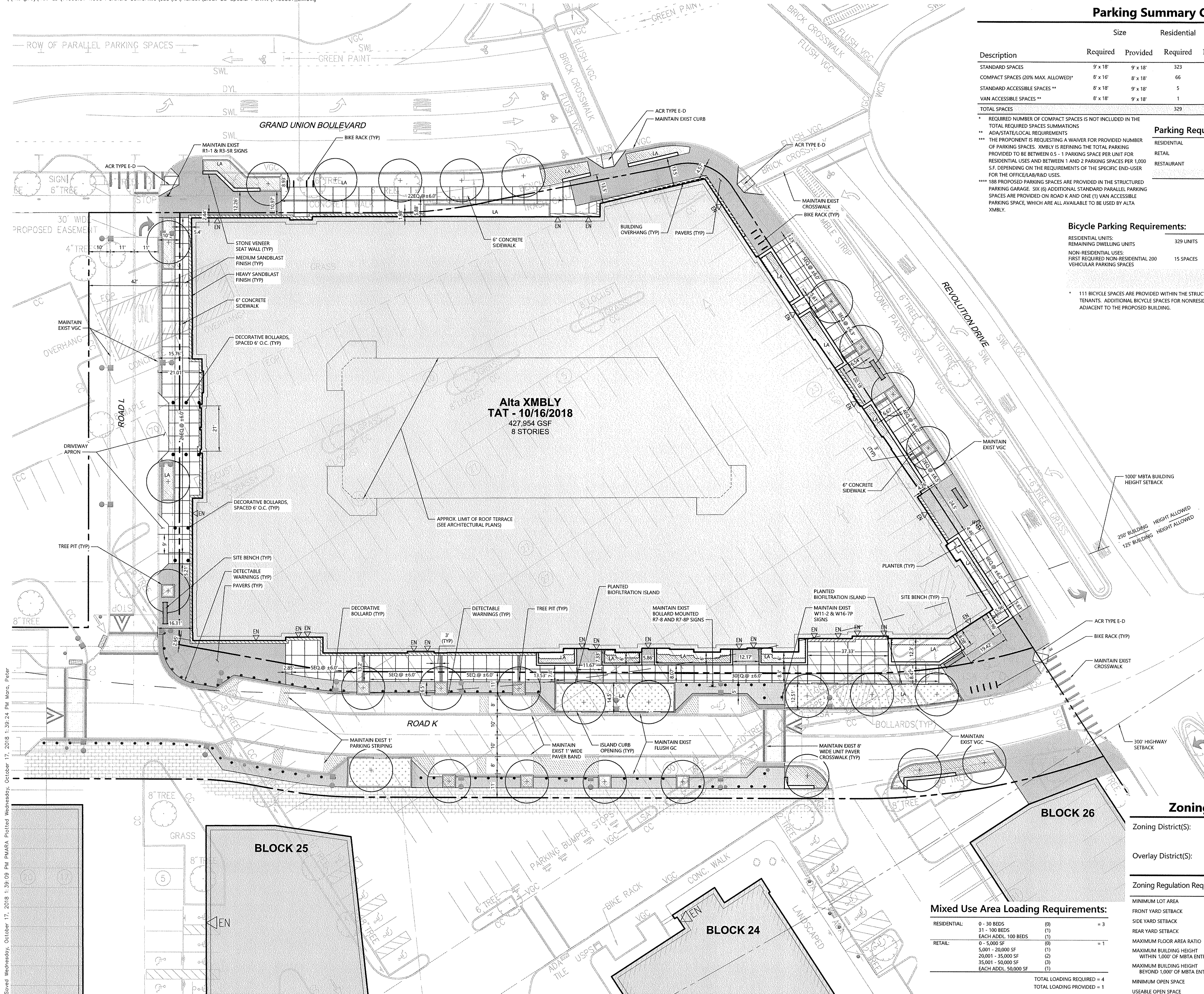
Drawing Number: _____



C-3

Sheet 03 of 08

Project Number: 14000.01



Description	Size		Residential	Retail	Restaurant	Total	
	Required	Provided	Required	Required	Required	Required	Provided
STANDARD SPACES	9' x 18'	9' x 18'	323	5	8	336	128
COMPACT SPACES (20% MAX. ALLOWED)*	8' x 18'	8' x 18'	66	1	2	69	53
STANDARD ACCESSIBLE SPACES **	8' x 18'	9' x 18'	5	0	0	5	6
VAN ACCESSIBLE SPACES **	8' x 18'	9' x 18'	1	1	1	3	1
TOTAL SPACES			329	6	9	344	188

- * REQUIRED NUMBER OF COMPACT SPACES IS NOT INCLUDED IN THE TOTAL REQUIRED SPACES SUMMATIONS
- ** ADA/STATE/LOCAL REQUIREMENTS
- *** THE PROPOSITOR IS REQUESTING A WAIVER FOR PROVIDED NUMBER OF PARKING SPACES. XMBLY IS REFINING THE TOTAL PARKING PROVIDED TO BE BETWEEN 0.5 - 1 PARKING SPACE PER UNIT FOR RESIDENTIAL USES AND BETWEEN 1 AND 2 PARKING SPACES PER 1,000 S.F. DEPENDING ON THE REQUIREMENTS OF THE SPECIFIC END-USER

RESIDENTIAL	329 UNIT	x	1 SPACES	/	1 UNIT	=	329 SPACES
RETAIL	6,280 SF	x	1 SPACES	/	1,000	=	6 SPACES
RESTAURANT	4,543 SF	x	1 SPACES	/	500	=	9 SPACES
TOTAL PARKING REQUIRED						=	344 SPACES

RESIDENTIAL UNITS:	329 UNITS	x	1 SPACE	/	3 UNITS	=	110 SPACES
REMAINING DWELLING UNITS							
NON-RESIDENTIAL USES:							
FIRST REQUIRED NON-RESIDENTIAL 200 VEHICULAR PARKING SPACES	15 SPACES	x	1 SPACE	/	10 SPACES	=	2 SPACES

* 111 BICYCLE SPACES ARE PROVIDED WITHIN THE STRUCTURED PARKING GARAGE DESIGNATED FOR RESIDENTIAL TENANTS. ADDITIONAL BICYCLE SPACES FOR NONRESIDENTIAL USES WILL BE PROVIDED ON THE SIDEWALKS ADJACENT TO THE PROPOSED BUILDING.

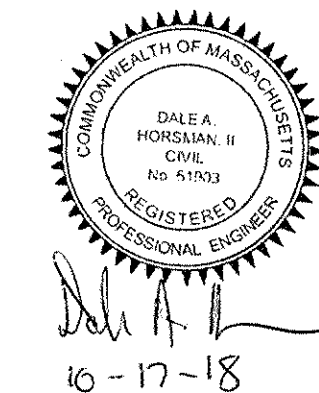
1. MAINTAIN ALL EXISTING BOLLARDS, CURBS, LIGHT POLES, AND SIGNS UNLESS OTHERWISE NOTED
2. THE LAYOUT OF ROAD K IS CURRENTLY BEING COORDINATED BETWEEN THE OWNERS AND THE CITY OF SOMERVILLE. THE WIDTH, LAYOUT, AND STYLE OF THE ROADWAY IS SUBJECT TO CHANGE.
3. ROADS K AND L AND THE RELOCATION OF THE CURB LINE ALONG REVOLUTION DRIVE WILL BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ALTA XMBLY PER THE PUD MASTER PLAN AND COMPLETE ROADWAY SUBDIVISION PLANS REVIEWED AND APPROVED BY THE CITY OF SOMERVILLE

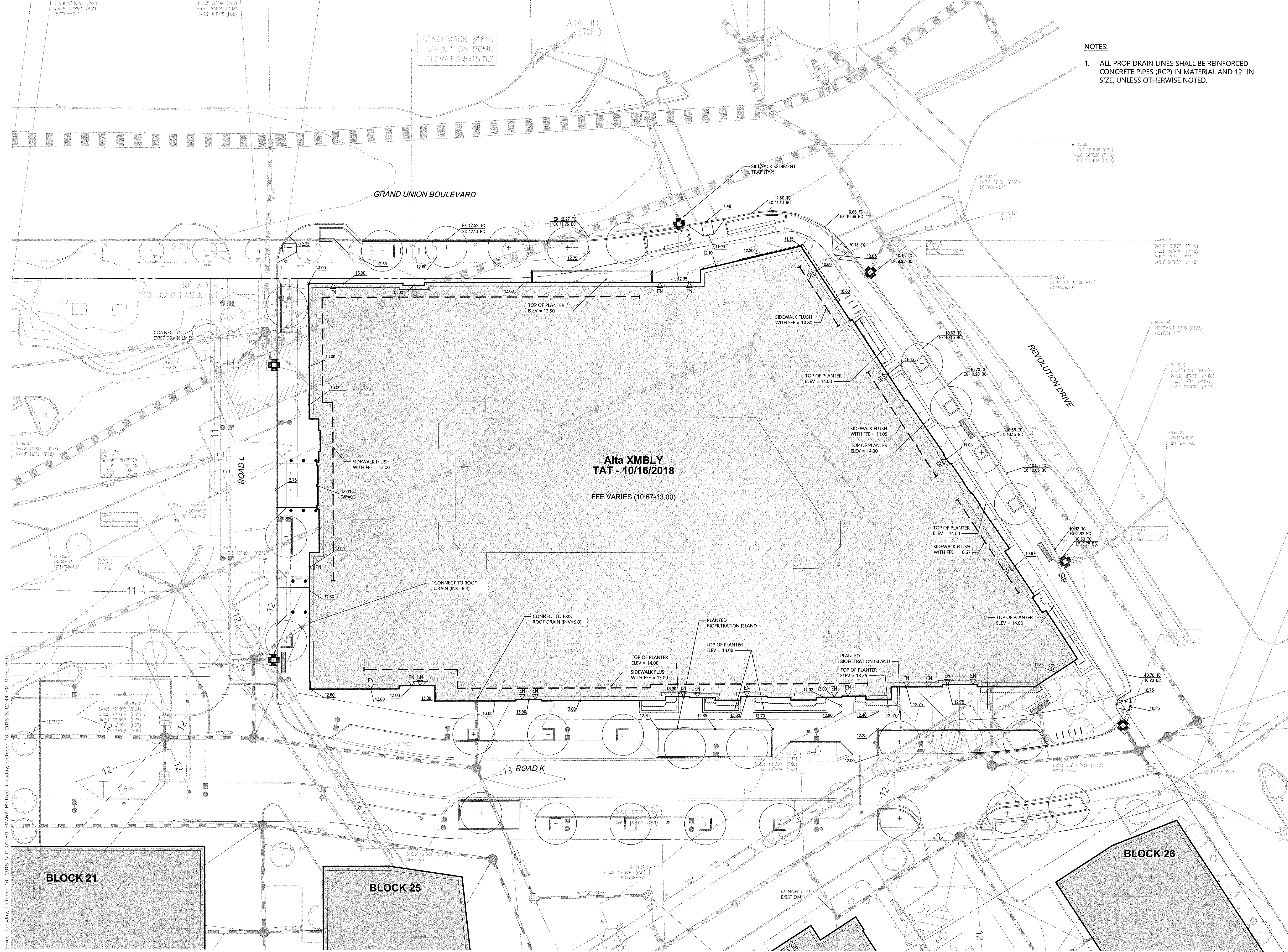
Zoning District(S):	Assembly Square Mixed-Use District (ASMD)
Overlay District(S):	Planned Unit Development Overlay District A (PUD-A), Medical Marijuana Overlay District

RESIDENTIAL:	0 - 30 BEDS	(0)	= 3
	31 - 100 BEDS	(1)	
	EACH ADDL. 100 BEDS	(1)	
RETAIL:	0 - 5,000 SF	(0)	= 1
	5,001 - 20,000 SF	(1)	
	20,001 - 35,000 SF	(2)	
	35,001 - 50,000 SF	(3)	
	EACH ADDL. 50,000 SF	(1)	
TOTAL LOADING REQUIRED =			4
TOTAL LOADING PROVIDED =			1

[illegible]

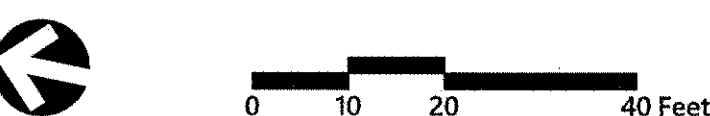
Layout and Materials Plan





NOTES:
1. ALL PROP DRAIN LINES SHALL BE REINFORCED CONCRETE PIPES (RCP) IN MATERIAL AND 12" IN SIZE, UNLESS OTHERWISE NOTED.

101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



Alta XMBLY
290 Revolution Drive
Somerville, Massachusetts

No.	Revision	Date	Appr.
1	RESPONSE TO CITY COMMENTS	10/17/2018	DAH

Designed by

Checked by

Issued for

Date

Local Approvals

September 28, 2018

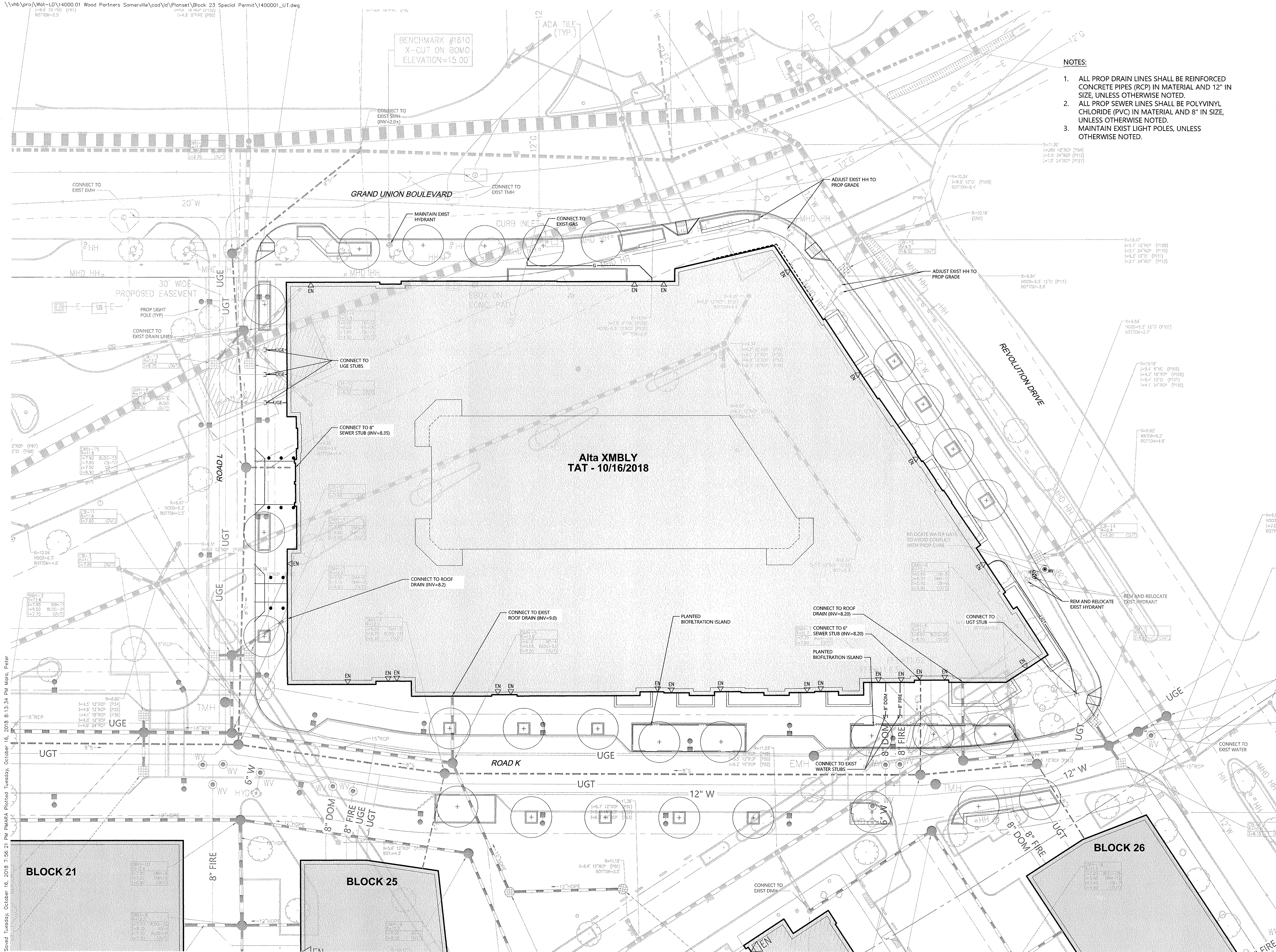
Not Approved for Construction

Grading, Drainage, and Erosion Control Plan

C-5

Sheet 05 of 08

Project Number 14000.01



- NOTES:
1. ALL PROP DRAIN LINES SHALL BE REINFORCED CONCRETE PIPES (RCP) IN MATERIAL AND 12" IN SIZE, UNLESS OTHERWISE NOTED.
 2. ALL PROP SEWER LINES SHALL BE POLYVINYL CHLORIDE (PVC) IN MATERIAL AND 8" IN SIZE, UNLESS OTHERWISE NOTED.
 3. MAINTAIN EXIST LIGHT POLES, UNLESS OTHERWISE NOTED.

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WOOD
PARTNERS



Alta XMBLY
290 Revolution Drive
Somerville, Massachusetts

No.	Revision	Date	Apprv.
1	RESPONSE TO CITY COMMENTS	10/17/2018	DAH

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Issued for: _____ Date: _____

Local Approvals September 28, 2018

Not Approved for Construction

Utility Plan

Drawing Title

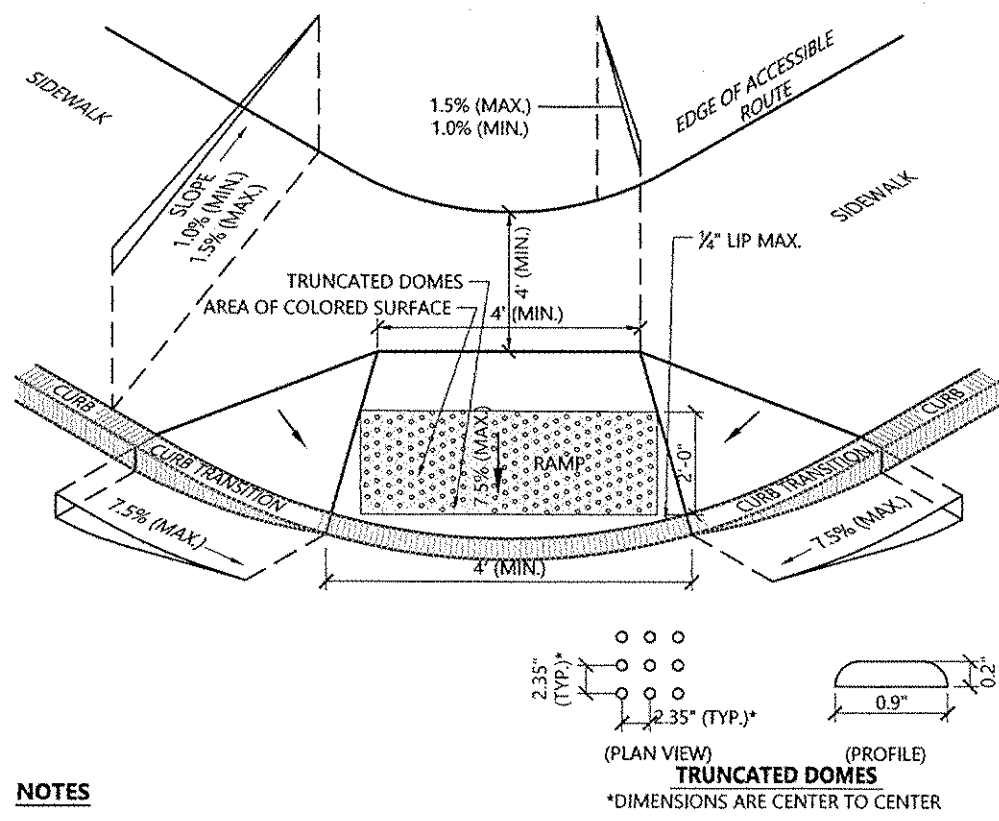
Drawing Number

C-6

Sheet 06 of 08

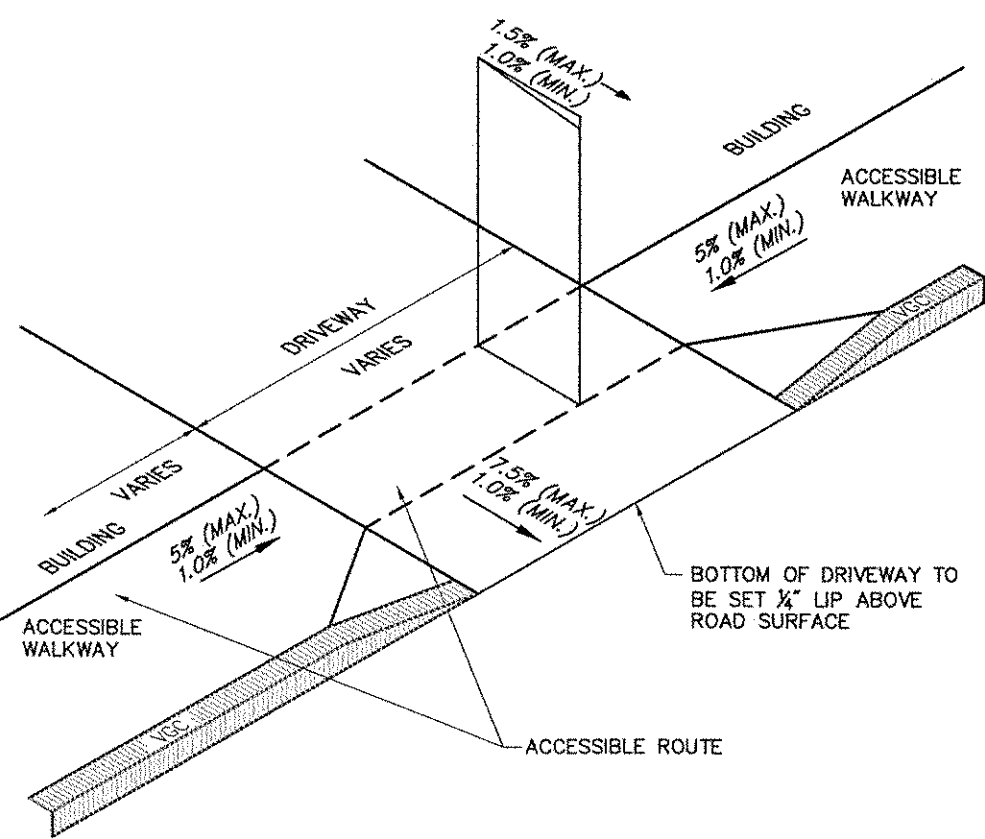
16-17-18

Project Number 14000.01



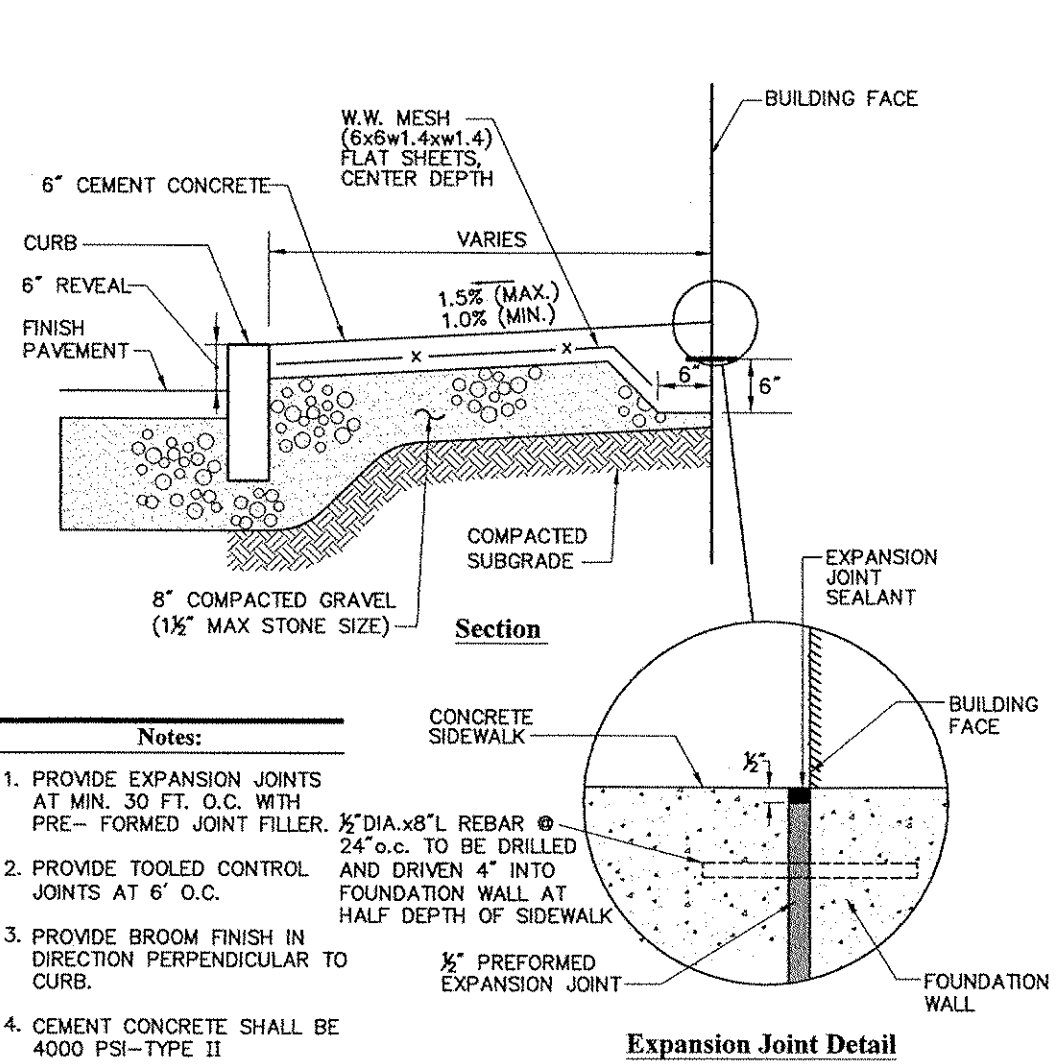
- NOTES**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN).
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMP SHALL BE 7.5%.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.
 10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
 11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.
 12. CONTRACTOR TO SUBMIT R.F.I. FOR THIS TYPE OF ACCESSIBLE CURB RAMP FOR APEX ROADWAY CROSSINGS.

Accessible Curb Ramp (ACR) Type 'E-D' 1/16
N.T.S. Source: VHB LD_504



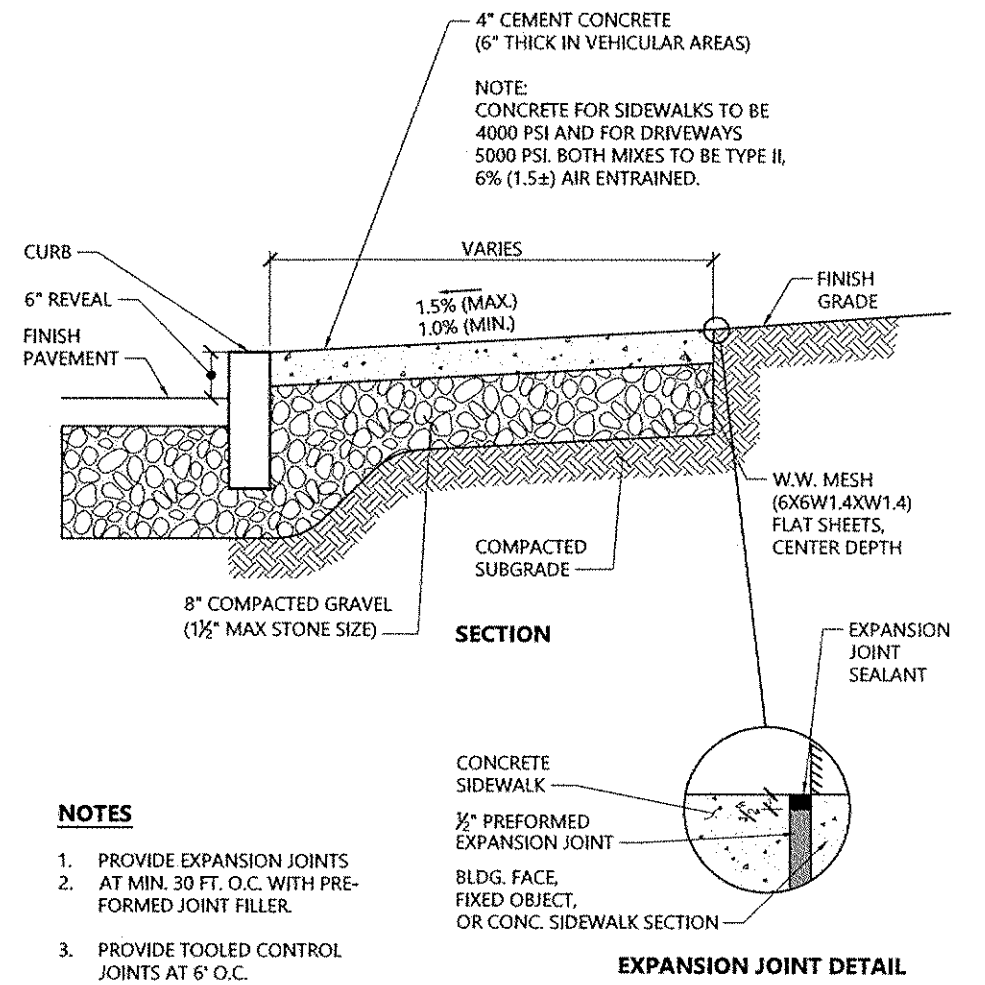
- Notes:**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN).
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
 3. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.

Driveway Apron with Sidewalk 12/04
N.T.S. Source: VHB



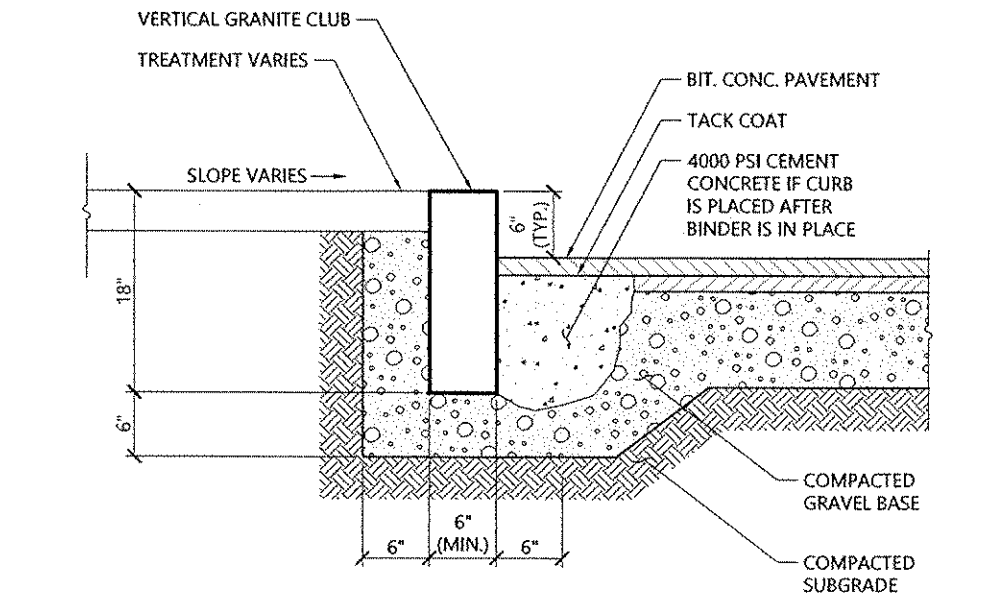
- Notes:**
1. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-FORMED JOINT FILLER. 1/2\"/>
 2. PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.
 3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
 4. CEMENT CONCRETE SHALL BE 4000 PSI--TYPE II

Concrete Sidewalk at Building Face 5/08
N.T.S. Source: VHB REV LD_420

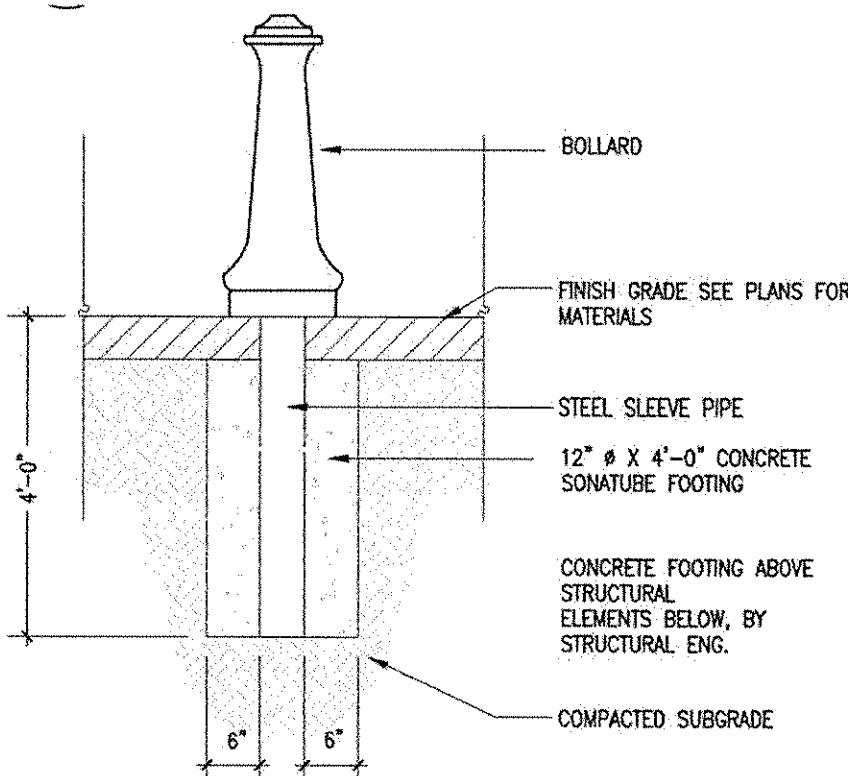


- NOTES**
1. PROVIDE EXPANSION JOINTS
 2. AT MIN. 30 FT. O.C. WITH PRE-FORMED JOINT FILLER.
 3. PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.
 4. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

Concrete Sidewalk 1/16
N.T.S. Source: VHB LD_420

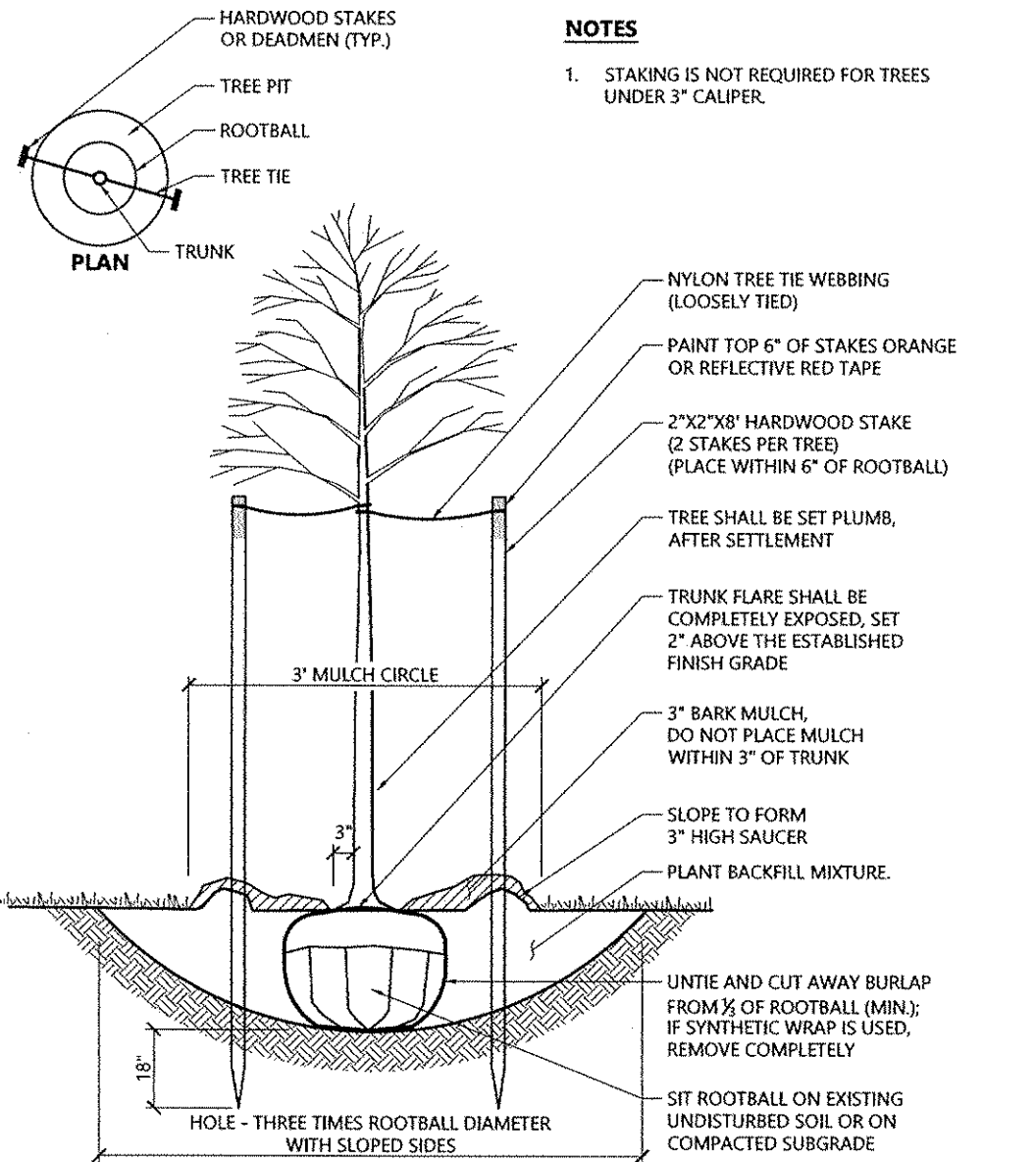


Vertical Granite Curb (VGC) 1/16
N.T.S. Source: VHB LD_402

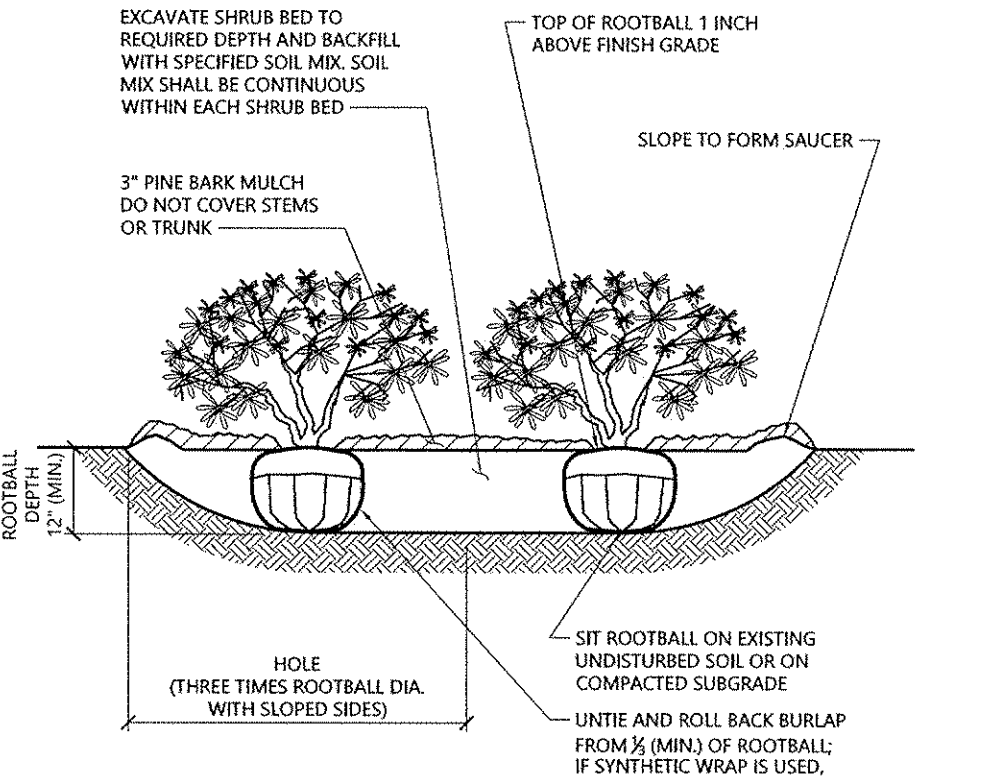


- Notes:**
- DECORATIVE BOLLARDS TO BE MANUFACTURED BY FAIRWEATHER SITE FURNISHINGS, MODEL B--88 SERIES (OR OWNER/ARCHITECT APPROVED EQUIVALENT), WITH A POWDERCOAT FINISH, COLOR TO BE BLACK, AND HAVE AN EMBEDDED MOUNT.

Decorative Bollard
N.T.S. Source: VHB



Tree Planting (For Trees Under 4\"/>

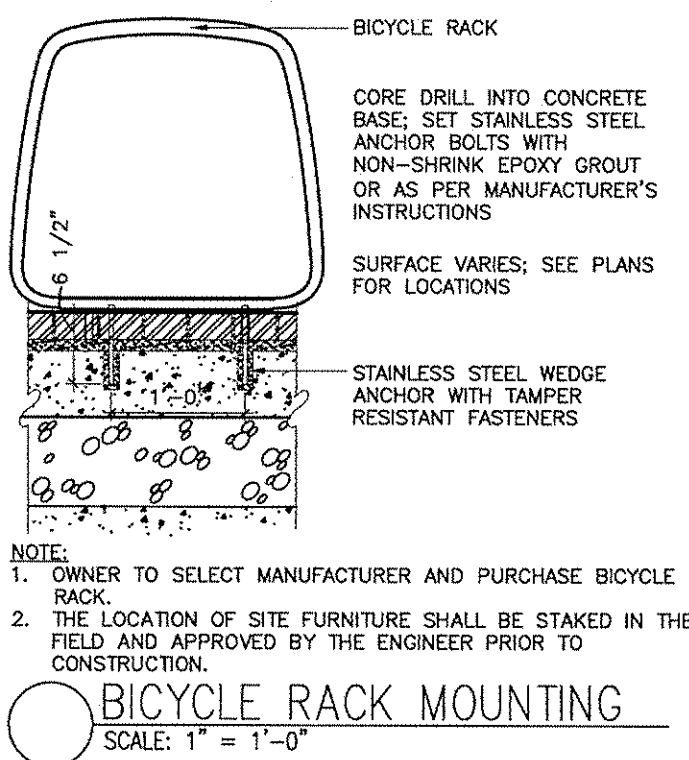


- NOTES**
1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

Shrub Bed Planting 1/16
N.T.S. Source: VHB LD_601

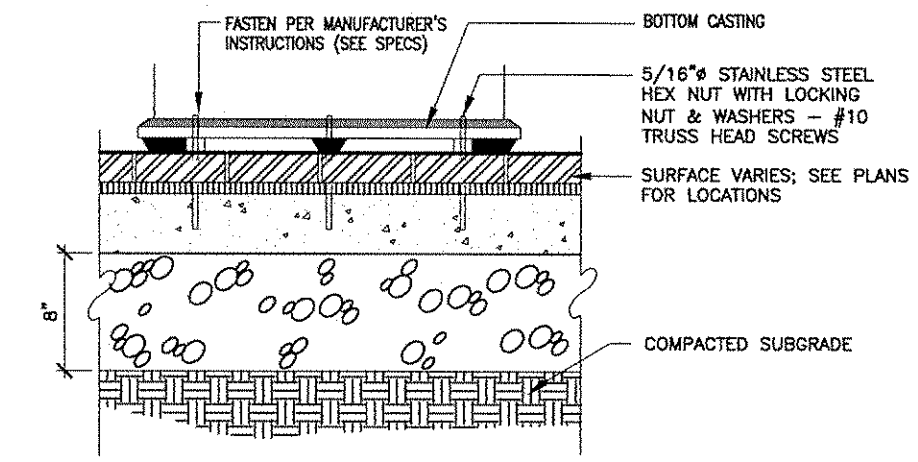
- PROPOSED FULL DEPTH PAVEMENT**
- SURFACE:**
- 4\"/>
- SUB-BASE:**
- 4\"/>
- BASE:**
- 8\"/>

Bituminous Concrete Pavement Section 9/16
N.T.S. Source: VHB



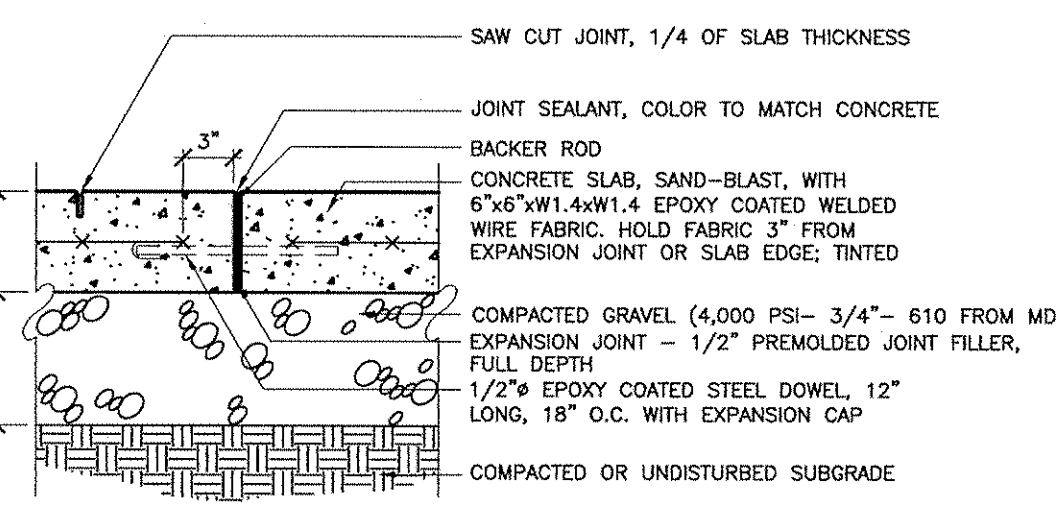
- NOTE:**
1. OWNER TO SELECT MANUFACTURER AND PURCHASE BICYCLE RACK.
 2. THE LOCATION OF SITE FURNITURE SHALL BE STAKED IN THE FIELD AND APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.

BICYCLE RACK MOUNTING
SCALE: 1\"/>



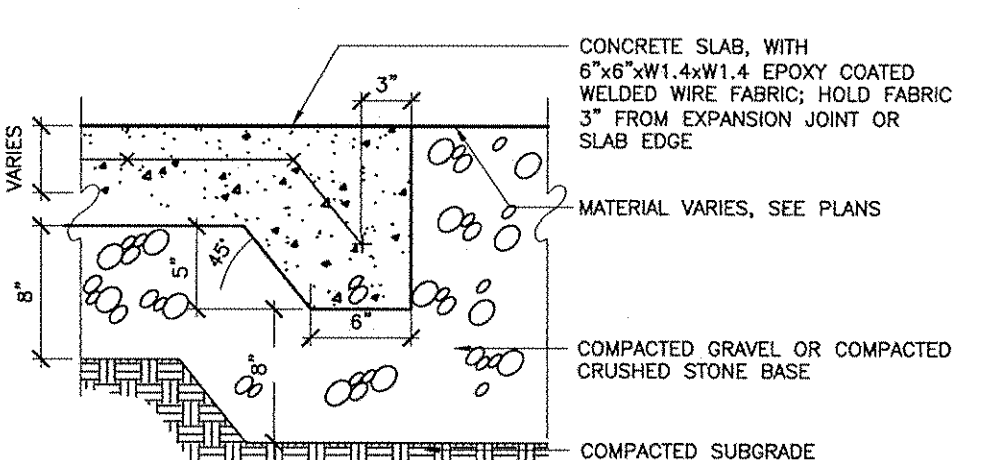
- NOTES:**
1. REACH MANUFACTURER TO PROVIDE ANCHOR TEMPLATE TO CONTRACTOR.
 2. OWNER TO SELECT MANUFACTURER AND PURCHASE TRASH RECEPTACLE.
 3. THE LOCATION OF SITE FURNITURE SHALL BE STAKED IN THE FIELD AND APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.

TRASH RECEPTACLE MOUNTING
SCALE: 1-1/2\"/>

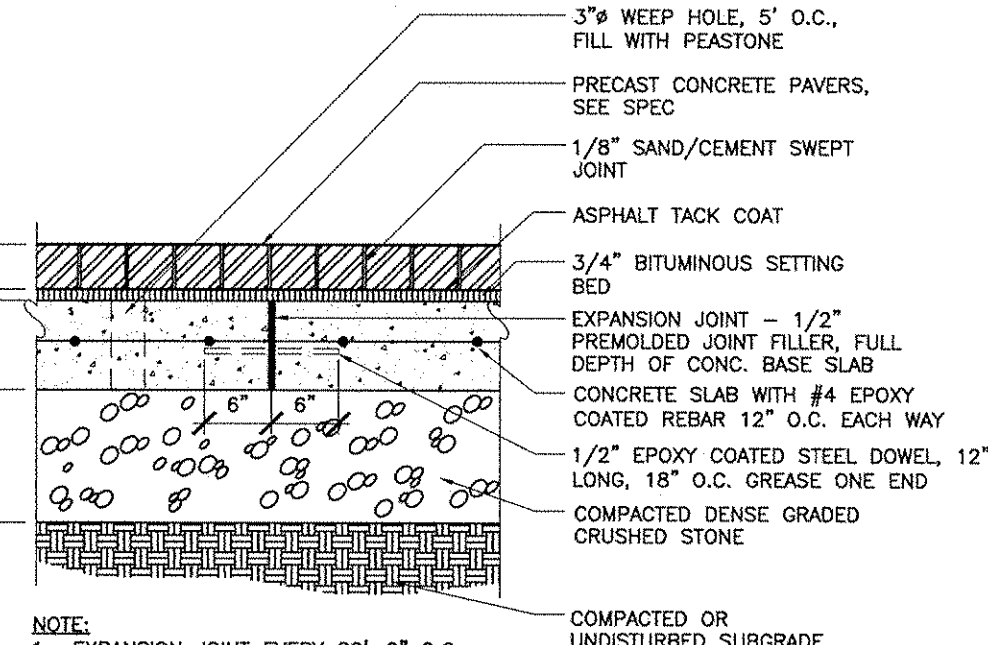


- NOTE:**
1. CONTROL JOINTS EVERY 5' O.C. UNLESS OTHERWISE SHOWN ON PLAN.
 2. EXPANSION JOINTS EVERY 20' O.C. UNLESS OTHERWISE SHOWN ON PLAN.
 3. WHERE NEW CONCRETE MEETS EXISTING CONCRETE, CORE DRILL EXISTING CONCRETE TO RECEIVE STEEL DOWEL.

6\"/>



CONCRETE PAVEMENT THICKENED EDGE
SCALE: 1-1/2\"/>



- NOTE:**
1. EXPANSION JOINT EVERY 20'-0\"/>

UNIT PAVERS ON VEHICULAR BASE
SCALE: 1\"/>

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617.924.1770

WOOD PARTNERS

Alta XMBLY

290 Revolution Drive
Somerville, Massachusetts

Designed by: _____ Checked by: _____
Issued for: _____ Date: _____

Local Approvals September 28, 2018

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Site Details

Drawing Title

Scale: 1\"/>

Project Number: 14000.01

Legend

- ## General Notes

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN OCTOBER OF 2017 AND FROM DEEDS AND PLANS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB, INC. IN OCTOBER 2017.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT GUARANTEED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NGVD OF 1929.
- 5) THE TREE SYMBOL OUTLINE SHOWN ON THIS PLAN DOES NOT REPRESENT THE ACTUAL TREE CANOPY.
- 6) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND MAY BE SUBJECT TO ADDITIONAL INFORMATION DISCLOSED IN SUCH A REPORT.
- 7) PROPERTY LINES WITHIN THE PARCEL ARE PROPOSED AND ARE BASED ON LAND COURT CASE PLAN 11592M, WE COULD NOT LOCATE LAND COURT CASE PLAN 11592L.

- ### Legend

- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
- HANDHOLE
- ELECTRIC BOX
- ELECTRIC UG PLUG BOX
- WATER GATE
- FIRE HYDRANT
- GAS GATE
- WATER IRRIGATION VALVE
- BOLLARD w/LIGHT
- PARKING METER
- STREET SIGN
- TRAFFIC SIGNAL
- PEDESTRIAN TRAFFIC SIGNAL
- LIGHT POLE
- UTILITY POLE
- GUY POLE
- GUY WIRE
- MONITORING WELL
- FLOOD LIGHT
- BOLLARD LIGHT
- WELL
- MARSH
- DOOR/ENTRANCE
- FINISHED FLOOR ELEVATION
- CANNOT BE OPEN
- NO PIPES VISIBLE
- ELEVATION UNKNOWN
- DOUBLE YELLOW LINE
- DASHED WHITE LINE
- SINGLE WHITE LINE
- LANDSCAPED AREA
- EDGE OF PAVEMENT
- CONCRETE CURB
- VERTICAL GRANITE CURB
- SLOPED GRANITE CURB
- BITUMINOUS BERM
- BITUMINOUS CURB
- METAL GUARDRAIL
- WOOD GUARDRAIL
- WOOD FENCE
- CHAIN LINK FENCE
- WROUGHT IRON FENCE
- DRAINAGE LINE
- SEWER LINE
- OVERHEAD WIRE
- UNDERGROUND ELECTRIC
- TELEPHONE LINE
- GAS LINE
- WATER LINE
- STONE WALL
- TREE LINE

Project Title

5 Middlesex Avenue
Somerville, Massachusetts

[illegible]

Existing Conditions Plan of Land

Sv-1

Sheet 1 of 1

Project Number
14000.00