

Site Plans

Issued for	Local Approvals
Date Issued	October 10, 2018
Latest Issue	October 10, 2018

Hotel & Residential Development

20 Inner Belt Road
Somerville, MA

Applicant:

CPC-T Innerbelt, LLC
1601 Trapelo Road, Suite 174
Waltham, Massachusetts 02451

Owner - Residential

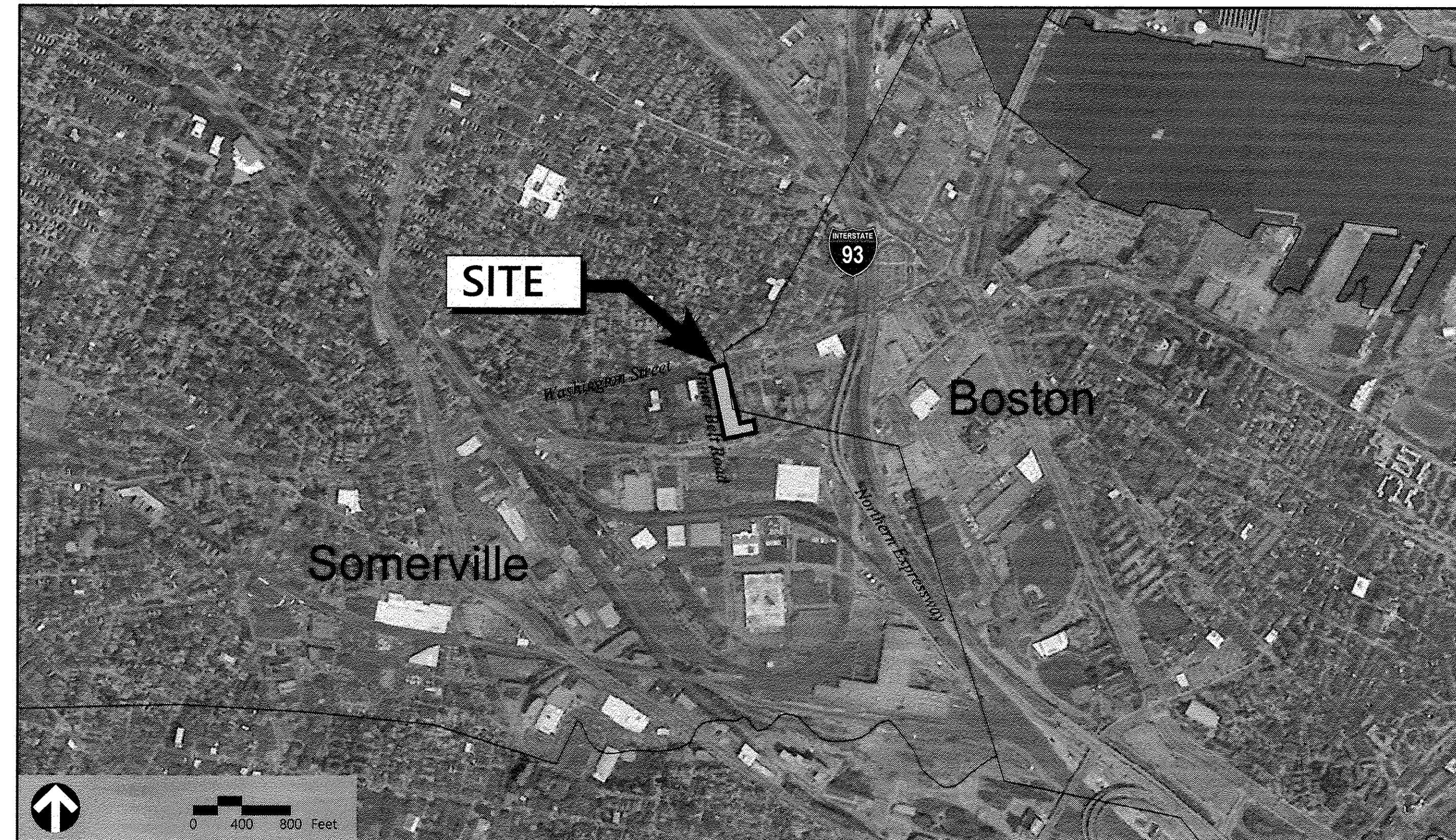
Paradigm Direct Roland LLC &
Somerville City Club
20 Inner Belt Road
Somerville, Massachusetts 02145

Owner - Hotel

Paradigm Direct Roland LLC
c/o Paradigm Properties LLC
93 Summer Street
Boston, Massachusetts 02110

Assessor's Map: 107

Lot: B-1A, B-1, B-2, B-3, B-4



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No.	Drawing Title	Latest Issue
C-1	Legend and General Notes	October 10, 2018
C-2	Overall Site Plan	October 10, 2018
C-3	Utility Plan	October 10, 2018
C-4	Site Details 1	October 10, 2018
C-5	Site Details 2	October 10, 2018

Reference Drawings

No.	Drawing Title	Latest Issue
Sv-1	Existing Conditions Plan of Land	August 20, 2018

Landscape Architect Drawings

No.	Drawing Title	Latest Issue
L-0	Existing Landscape Plan	October 10, 2018
L-1	Landscape Improvement Plan	October 10, 2018
L-2	Landscape Details	October 10, 2018

Architect Drawings - Hotel

No.	Drawing Title	Latest Issue
A1.0	Proposed Ground Floor Plan	October 10, 2018
A1.2	Proposed Typical Floor Plan (2-6)	October 10, 2018
A2.0	Proposed Building Elevations	October 10, 2018
P1.0 - P1.2	Perspective View	October 10, 2018

Architect Drawings - Residential

No.	Drawing Title	Latest Issue
A-101	Shadow Study	October 10, 2018
A-102 - A-109	Ground Floor - Roof Plan	October 10, 2018
A-201, -202	Overall Building Elevations	October 10, 2018
P-1 - P-3	Perspectives	October 10, 2018

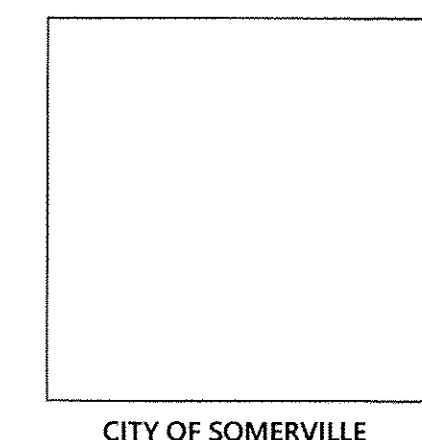


101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

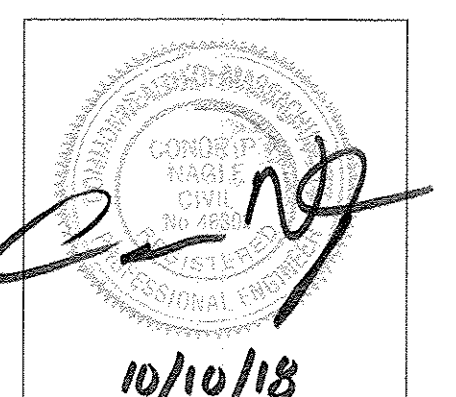
Architect - Residential
ICON Architecture, Inc.
101 Summer Street
Boston, MA 02110
617.451.3333

Architect - Hotel
Group One Partners
21 W 3rd Street
Boston, MA 02127
617.268.7000

Landscape Architect
GroundView
5 Dell Street
Somerville, MA 02145
617.548.9688



CITY OF SOMERVILLE



Legend			
Exist.	Prop.	Exist.	Prop.
		PROPERTY LINE	
		PROJECT LIMIT LINE	
		RIGHT-OF-WAY/PROPERTY LINE	
		EASEMENT	
		BUILDING SETBACK	
		PARKING SETBACK	
		BASELINE	
		CONSTRUCTION LAYOUT	
		ZONING LINE	
		TOWN LINE	
		LIMIT OF DISTURBANCE	
		WETLAND LINE WITH FLAG	
		FLOODPLAIN	
		BORDERING LAND SUBJECT TO FLOODING	
		WETLAND BUFFER ZONE	
		NO DISTURB ZONE	
		200' RIVERFRONT AREA	
		GRAVEL ROAD	
		EDGE OF PAVEMENT	
		BITUMINOUS BERM	
		BITUMINOUS CURB	
		CONCRETE CURB	
		CURB AND GUTTER	
		EXTRUDED CONCRETE CURB	
		MONOLITHIC CONCRETE CURB	
		PRECAST CONC. CURB	
		SLOPED GRAN. EDGING	
		VERT. GRAN. CURB	
		LIMIT OF CURB TYPE	
		SAWCUT	
		BUILDING	
		BUILDING ENTRANCE	
		LOADING DOCK	
		BOLLARD	
		DUMPSTER PAD	
		SIGN	
		DOUBLE SIGN	
		STEEL GUARDRAIL	
		WOOD GUARDRAIL	
		PATH	
		TREE LINE	
		WIRE FENCE	
		FENCE	
		STOCKADE FENCE	
		STONE WALL	
		RETAINING WALL	
		STREAM / POND / WATER COURSE	
		DETENTION BASIN	
		HAY BALES	
		SILT FENCE	
		SILT SOCK / STRAW WATTLE	
		MINOR CONTOUR	
		MAJOR CONTOUR	
		PARKING COUNT	
		COMPACT PARKING STALLS	
		DOUBLE YELLOW LINE	
		STOP LINE	
		CROSSWALK	
		ACCESSIBLE CURB RAMP	
		ACCESSIBLE PARKING	
		VAN-ACCESSIBLE PARKING	

Abbreviations	
General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EX	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
DOM	DOMESTIC
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PIV	POST INDICATOR VALVE
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

Notes	
General	Layout and Materials
1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.	1. SEE LANDSCAPE DRAWINGS FOR LAYOUT, GRADING, LANDSCAPE, AND PLANTING DETAIL.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.	2. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).	3. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
4. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE SIX (6) INCHES LOAM AND SEED.	4. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
5. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.	5. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURER'S LITERATURE, SHOP DRAWINGS, AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
6. WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.	6. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
7. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.	
8. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES	
9. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.	
10. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.	
11. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.	
12. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.	
13. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.	
14. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.	
Utilities	
1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.	
2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE ACCURATELY COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.	
3. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.	
4. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS: <div><div>A. PAVEMENTS AND CONCRETE SURFACES: FLUSH</div><div>B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH</div><div>C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.</div></div>	
5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.	
6. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.	
7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN: <div><div>A. WATER PIPES SHALL BE COPPER TYPE 'K'</div><div>B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE</div><div>C. STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) PIPE</div><div>D. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.</div></div>	
8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEMWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.	
9. CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.	
10. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.	

101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Designed by
JRM
Issued for

Checked by
CPN
Date

October 10, 2018

Local Approvals

Not Approved for Construction

Legend and General Notes

Sheet 1 of 5

Project Number 13788.00

Zoning Summary Chart - Hotel

Zoning District(S):	BB - Commercial Residential	
Overlay District(S):	Medical Marijuana Overlay	
Zoning Regulation Requirements	Required	Provided
LOT AREA	-	21,734 SF
BUILDING FOOTPRINT	-	13,484 SF
MAXIMUM GROUND COVERAGE	80%	62%
MINIMUM LANDSCAPED AREA	10%	2.1%
NET FLOOR AREA	-	61,775 SF
MAXIMUM FLOOR AREA RATIO	2.0	2.9
MAXIMUM HEIGHT	50 Feet	69.5 Feet
MINIMUM FRONT YARD	15 Feet	0.24 Feet
MINIMUM SIDE YARD	N/A	N/A
MINIMUM REAR YARD	N/A	N/A
RESIDENTIAL SETBACK	1/3 height of building (24 Feet)	>24 Feet

Zoning Summary Chart - Residential

Zoning District(S):	BB - Commercial Residential	
Overlay District(S):	Medical Marijuana Overlay	
Zoning Regulation Requirements	Required	Provided
MINIMUM LOT AREA PER UNIT	1,000 SF/UNIT (205,000 SF)	69,200 SF
BUILDING FOOTPRINT	-	61,197 SF
MAXIMUM GROUND COVERAGE	80%	89%
MINIMUM LANDSCAPED AREA	10%	10.5% ^A
NET FLOOR AREA	-	223,750 SF
MAXIMUM FLOOR AREA RATIO	2.0	3.3
MAXIMUM HEIGHT	50 Feet	85 Feet
MINIMUM FRONT YARD	15 Feet	0.26 Feet
MINIMUM SIDE YARD	N/A	N/A
MINIMUM REAR YARD	10 feet plus 2 feet for each story above ground floor (22')	5 Feet

FOOTNOTES:
A INCLUDES AREA ON ELEVATED COURTYARDS ONLY; SEE LANDSCAPE PLANS

Parking Summary Chart - Hotel

Description	Size		Spaces	
	Required	Provided	Required	Provided
SURFACE STANDARD SPACES	9 x 18	9 x 18	98	5
SURFACE ACCESSIBLE SPACES ^A	9 x 18	9 x 18	5	1
TOTAL SPACES			103	6 ^C
LOADING AREAS			0	0
BIKE PARKING SPACES ^B			11	12
FOOTNOTES:				
A ADA/STATE/LOCAL REQUIREMENTS				
B BIKE PARKING REQUIREMENTS:				
HOTEL: 103 PARKING SPACES REQUIRED; 1 BIKE SPACE REQ'D / 10 PARKING SPACES				
C PARKING PROVIDED WITHIN THE GARAGE TO MEET HOTEL PARKING REQUIREMENTS				

Parking Summary Chart - Residential

Description	Size		Spaces	
	Required	Provided	Required	Provided
GARAGE STANDARD SPACES	9 x 18	9 x 18	520	190 ^C
GARAGE COMPACT SPACES	8 x 16 MIN.	8 x 16 MIN.	-	225
GARAGE ACCESSIBLE SPACES ^A	9 x 18	9 x 18	11	12
TOTAL SPACES			531	427
LOADING AREAS ^A	12 x 30	9 x 30	1	1
BIKE PARKING SPACES ^D			75	75
FOOTNOTES:				
A ADA/STATE/LOCAL REQUIREMENTS				
B LOADING AREA PROVIDED FOR HOTEL AND FOR RESIDENTIAL / CITY CLUB USE				
C INCLUDES 75 PARKING SPACES UNDER RESIDENTIAL BUILDING, AND 97 PARKING SPACES FOR HOTEL USE				
D BIKE PARKING REQUIREMENTS:				
RESIDENTIAL: 1 BIKE SPACE / 7 DWELLING UNITS PLUS 1 BIKE SPACE / 3 DWELLING UNITS (ADDITIONAL DU ABOVE 7)				
CITY CLUB: 67 BIKE SPACES REQUIRED 80 PARKING SPACES REQUIRED; 1 BIKE SPACE REQ'D / 10 PARKING SPACES				
8 BIKE SPACES REQUIRED				

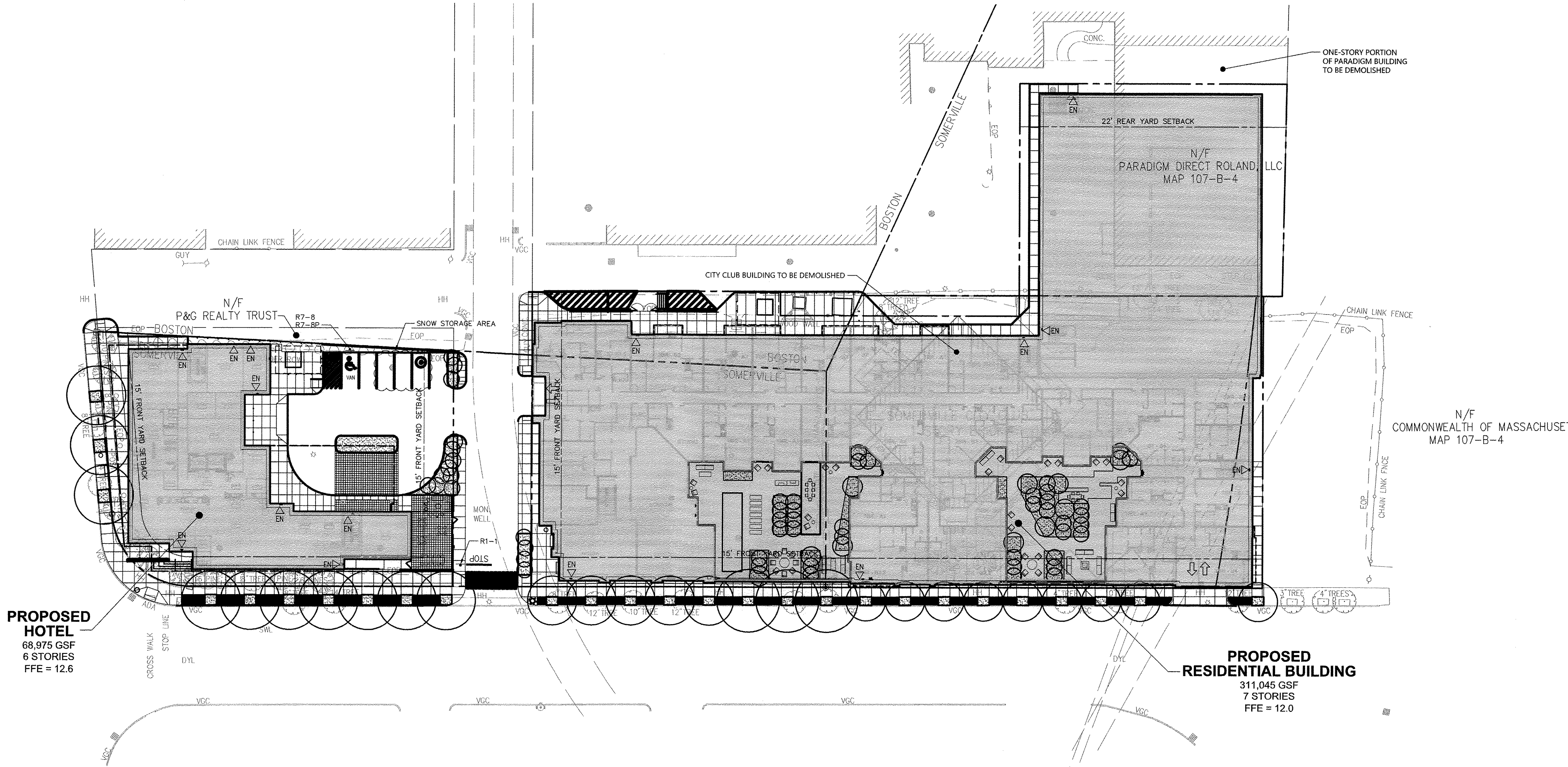
Parking Requirements:

HOTEL	14 EMPLOYEES	x	0.5 SPACE	/	1 EMPLOYEE	=	7 SPACES
	120 ROOMS	x	0.8 SPACE	/	1 ROOM	=	96 SPACES
TOTAL PARKING REQUIRED							103 SPACES

Parking Requirements:

STUDIO	37 UNITS	x	1 SPACE	/	1 UNIT	=	37 SPACES
1- & 2- BEDROOM	162 UNITS	x	1.5 SPACES	/	1 UNIT	=	243 SPACES
3-BEDROOM	6 UNITS	x	2 SPACES	/	1 UNIT	=	12 SPACES
VISITOR PARKING	205 UNITS	x	1 SPACE	/	6 UNITS	=	34 SPACES
CITY CLUB	475 VISITORS	x	1 SPACE	/	6 VISITORS	=	80 SPACES
PARADIGM PROPERTY						=	125 SPACES ^A
TOTAL PARKING REQUIRED							531 SPACES

FOOTNOTES:
A BASED ON THE EXISTING PARKING RATIO OF 1:74 AFTER BUILDING DEMOLITION, PARADIGM REMAINING BUILDING = 144,794 SF x 1.72 SPACES / 1000 SF = 250 SPACES. 125 SPACES ARE REMAINING ON THEIR PROPERTY, THEREFORE 125 SPACES ARE REQUIRED FOR USE WITHIN PARKING GARAGE.



vhb.com

101 Walnut Street
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Sign Summary		
M.U.T.C.D. Number	Specification Width Height	Desc.
R1-1	30" 30"	
R7-8	12" 18"	
R7-BP	12" 6"	

0 15 30 60 Feet

Hotel & Residential Development
0-20 Inner Belt Road
Somerville, Massachusetts

No.	Revision	Date	Appr.

Designed by: SKE

Checked by: CPN

Issued for: Local Approvals

Date: October 10, 2018

Not Approved for Construction

Drawing Title: Overall Site Plan

Drawing Number: C-2

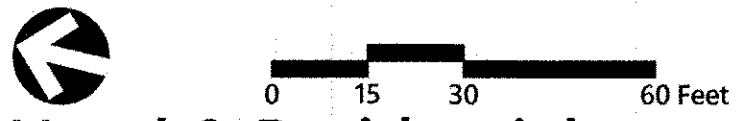
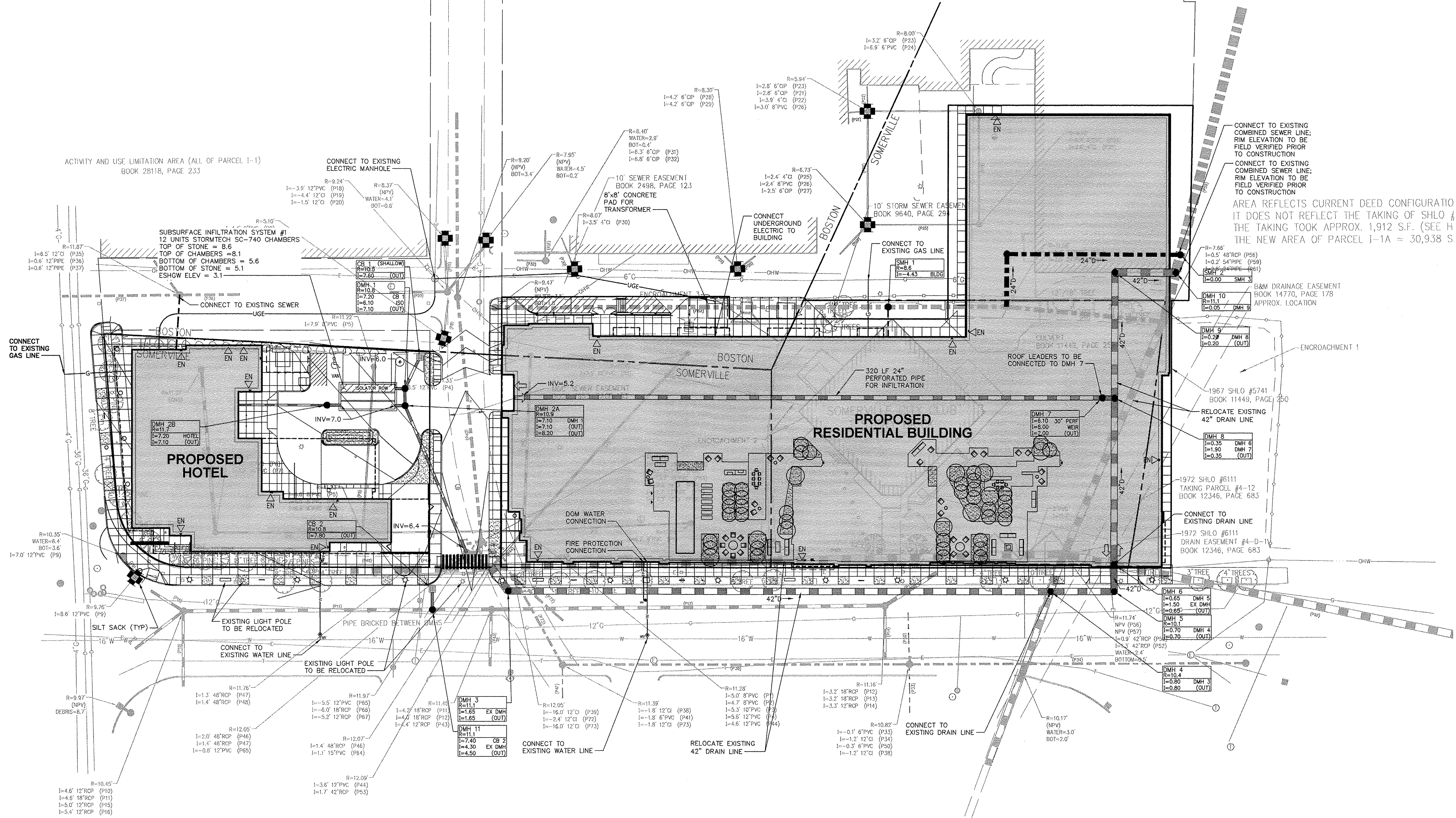
Sheet 2 of 5

Project Number: 13788.00

10/11/18



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Hotel & Residential Development

0-20 Inner Belt Road
Somerville, Massachusetts

No.	Revision	Date	Appr.

Designed by: **SKE** Directed by: **CPN**

Local Approvals October 10, 2018

Not Approved for Construction

Drawing Title
Utility Plan

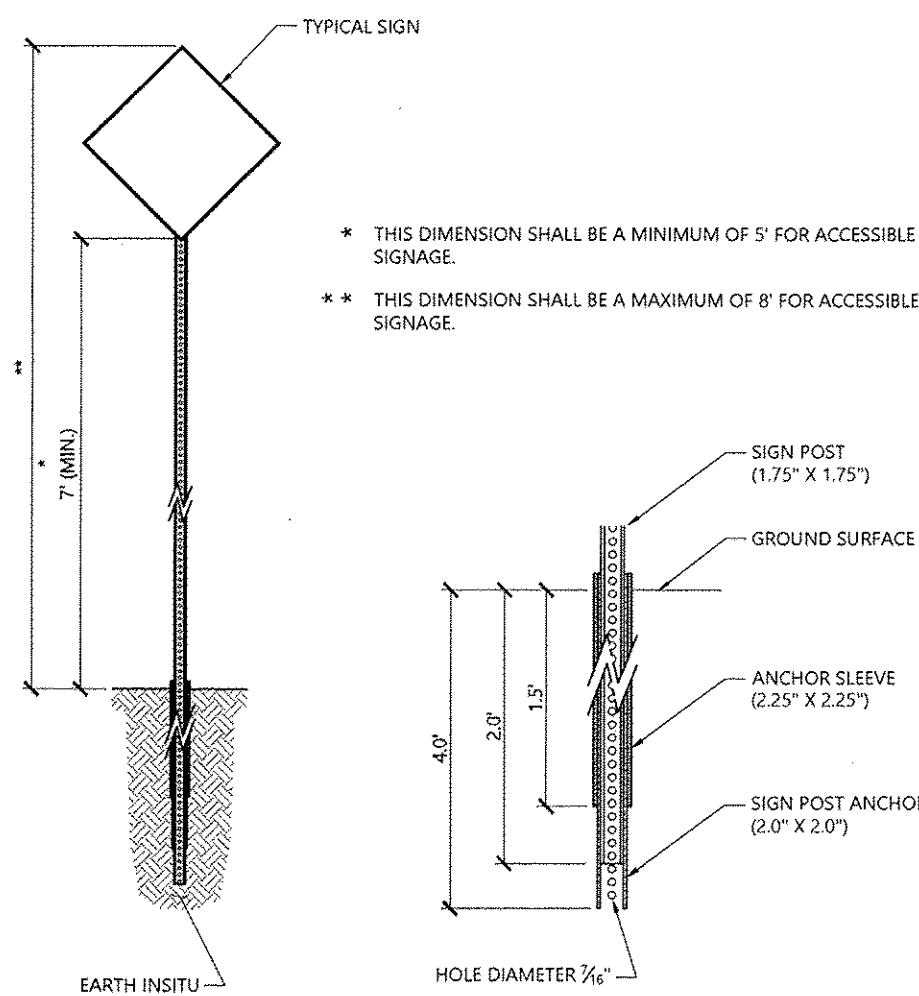


C-3

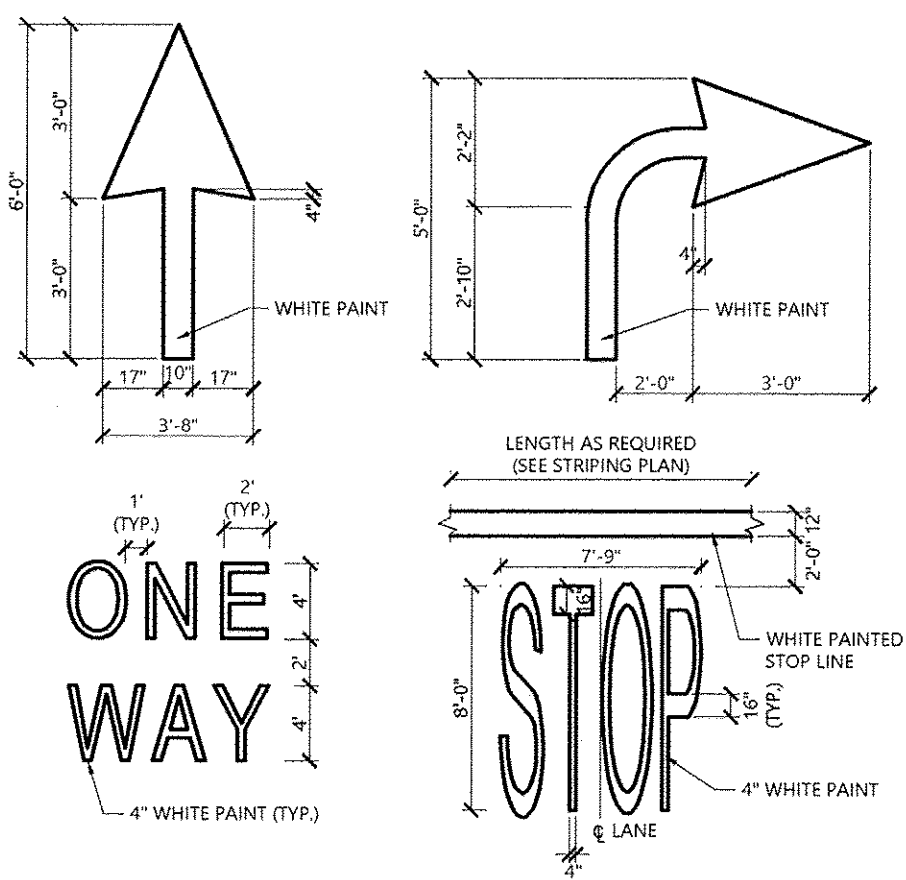
Sheet 3 of 5

Project Number
13788.00

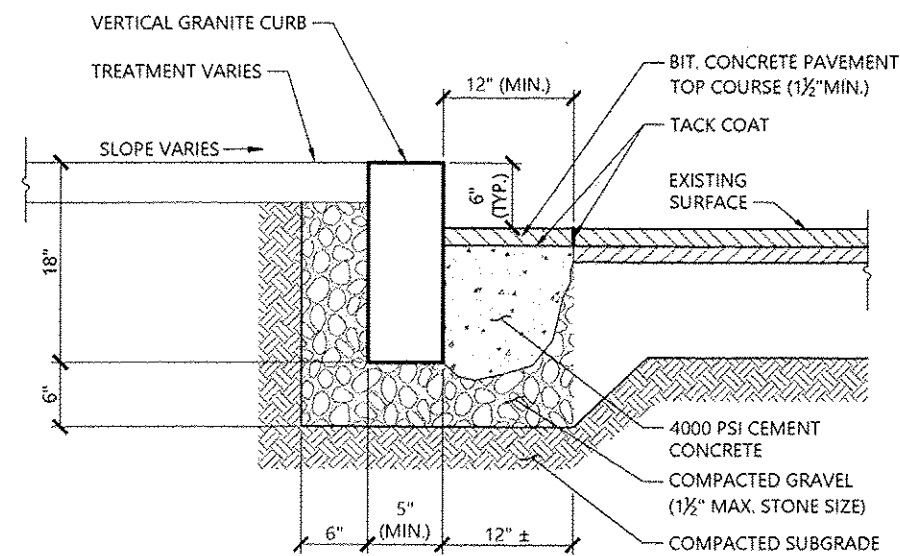
10/10/18



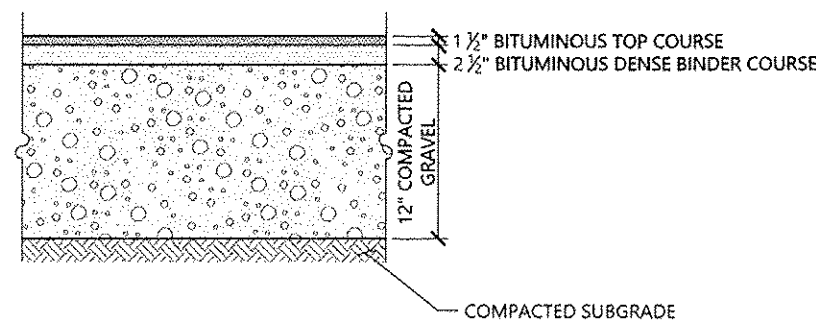
Sign Post - Type 'B' 1/16
N.T.S. Source: VHB LD_702



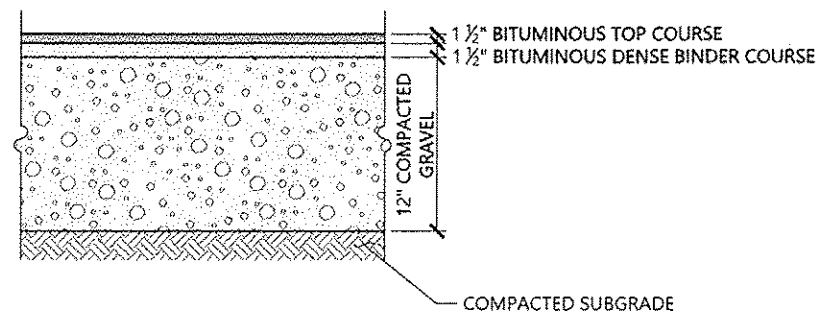
Painted Pavement Markings - On Site 1/16
N.T.S. Source: VHB LD_554



Vertical Granite Curb (VGC) Set In Existing Pavement 1/16
N.T.S. Source: VHB LD_403



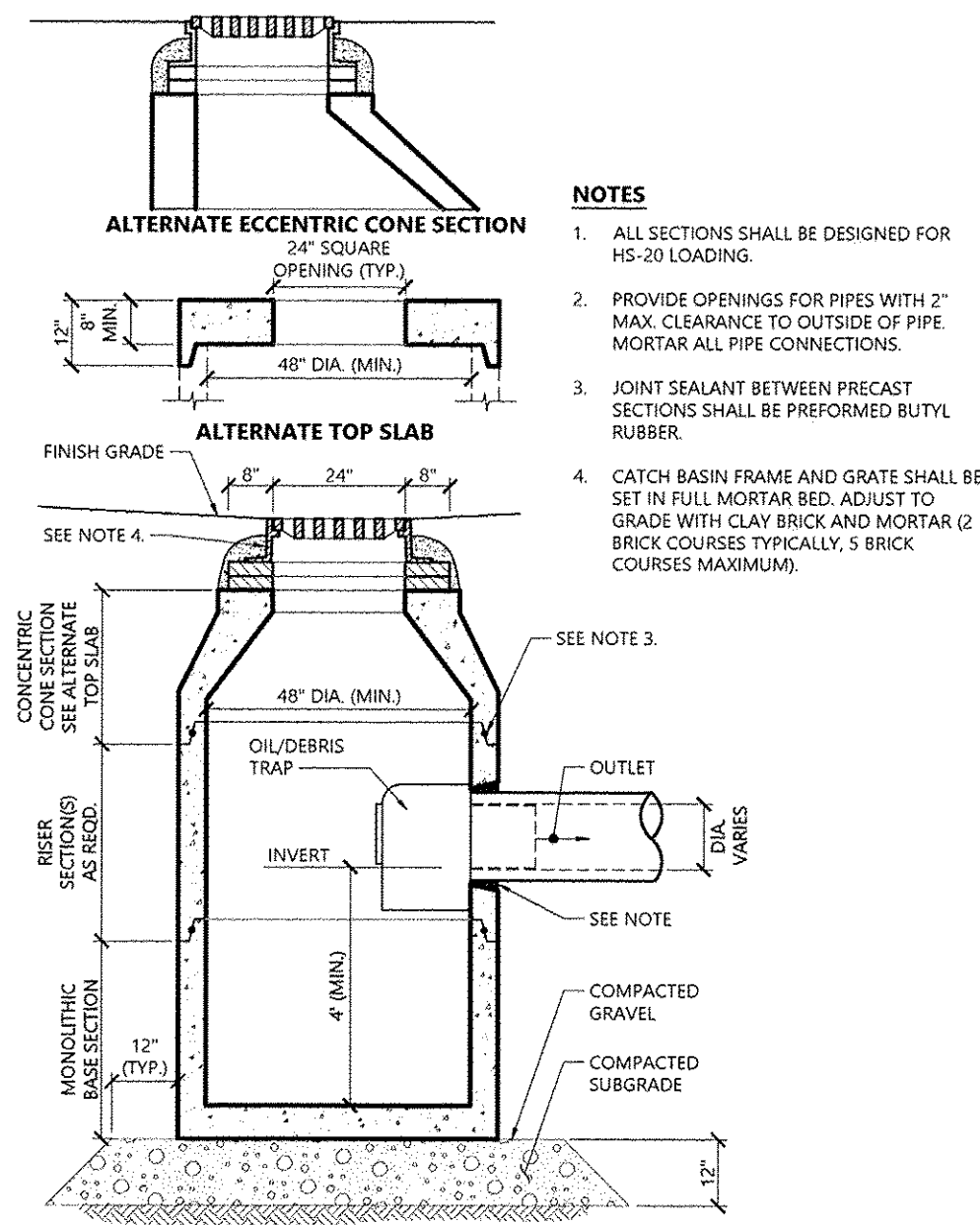
HEAVY DUTY FLEXIBLE PAVEMENT



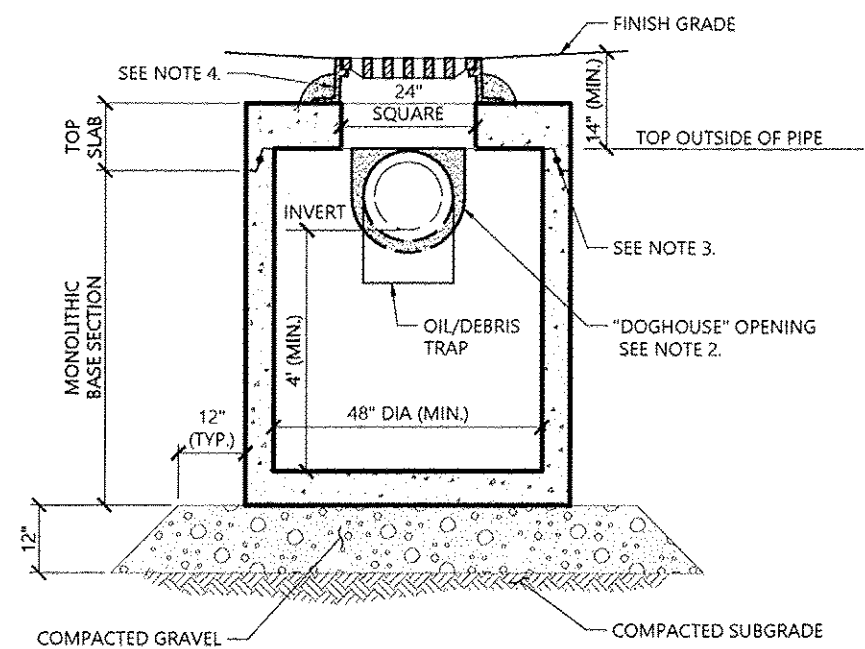
STANDARD DUTY FLEXIBLE PAVEMENT

NOTES
PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.

Bituminous Concrete Pavement Sections 1/16
N.T.S. Source: VHB LD_430

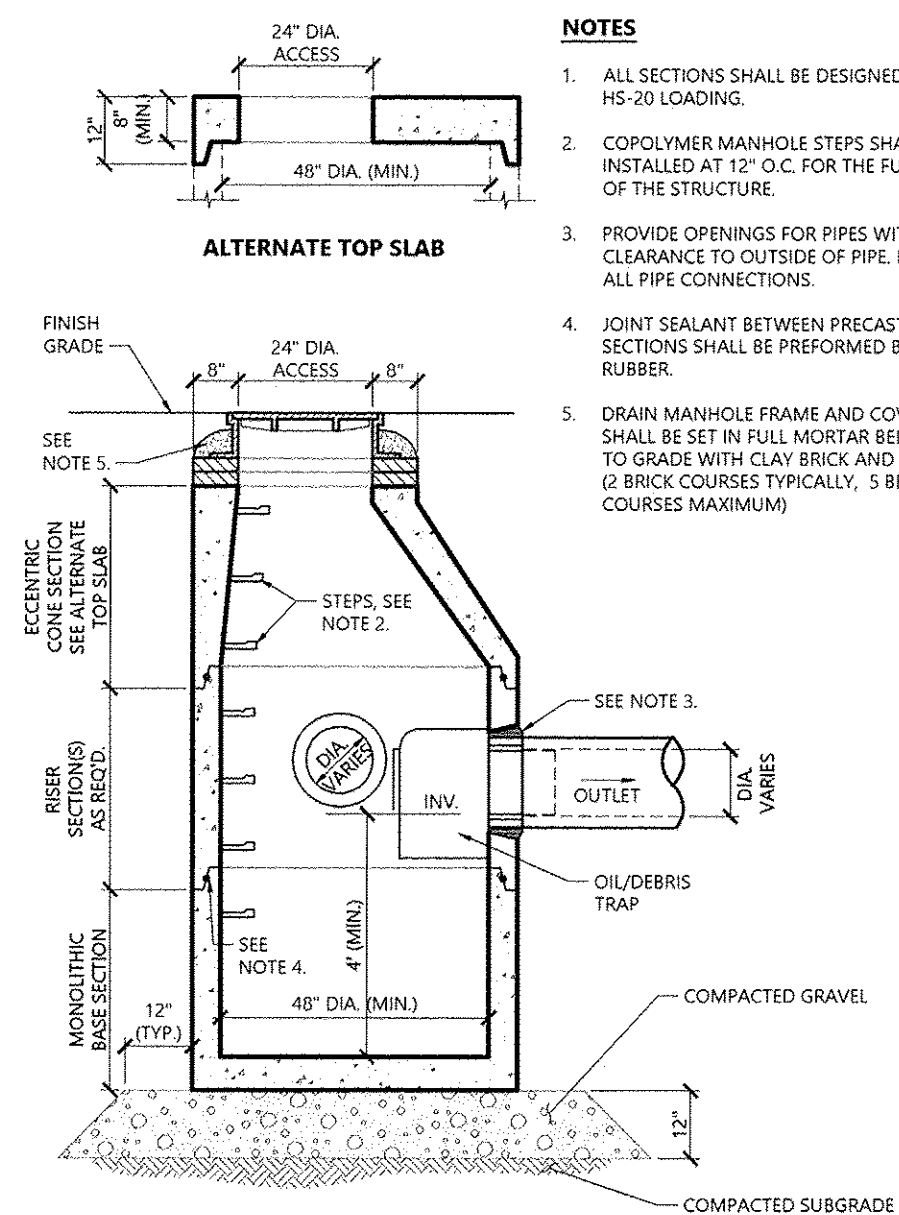


Catch Basin (CB) With Oil/Debris Trap 1/16
N.T.S. Source: VHB LD_101

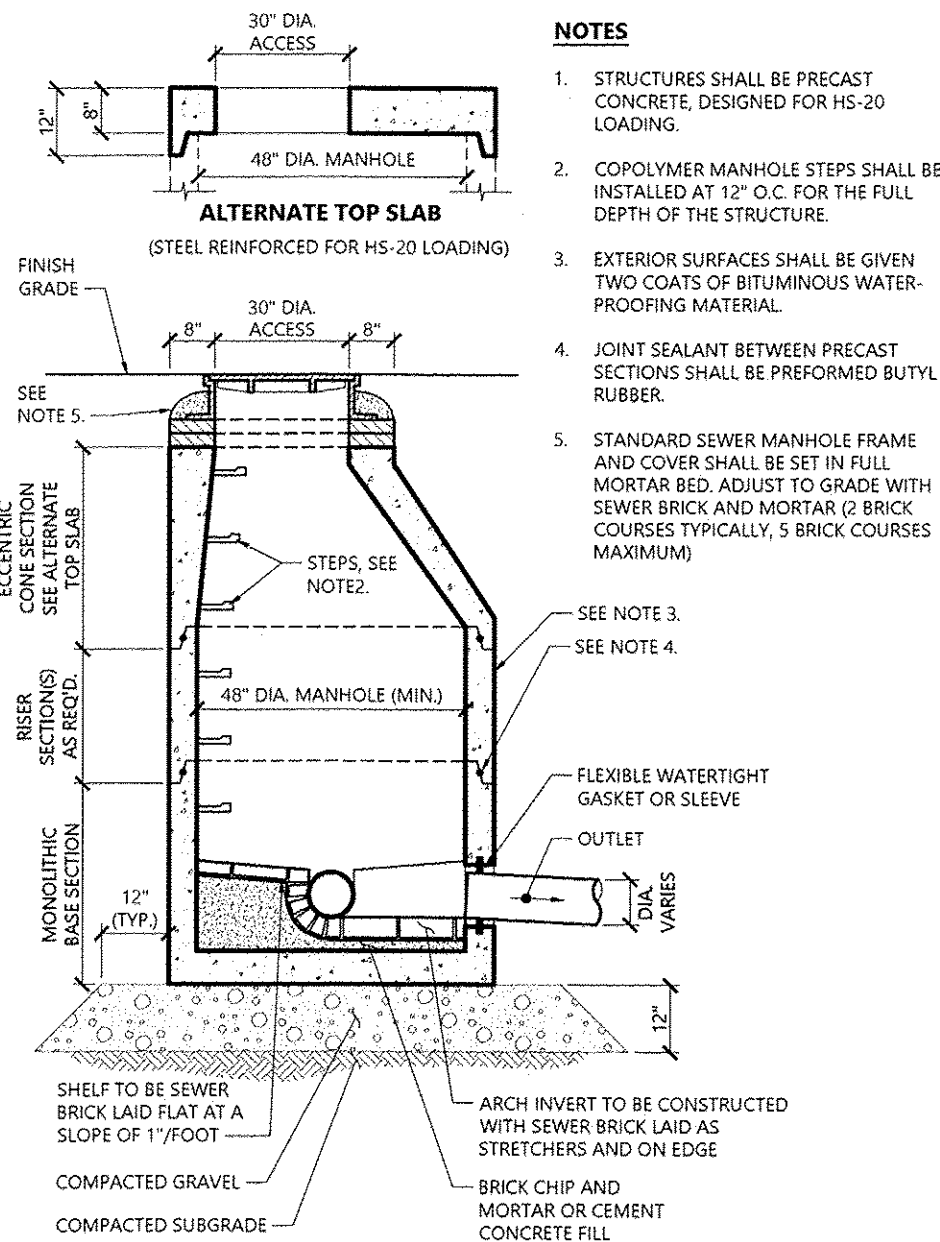


NOTES
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
2. PROVIDE DOGHOUSE OPENING FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. TOP SLAB SHALL NOT REST DIRECTLY ON PIPE. GROUT ALL PIPE CONNECTIONS (NON-SHRINK GROUT).
3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
4. CATCH BASIN FRAME AND GRATE (4" DEPTH) SHALL BE SET IN FULL MORTAR BED.
5. ADJUST TO FINISH GRADE WITH CLAY BRICK AND MORTAR AS REQUIRED.

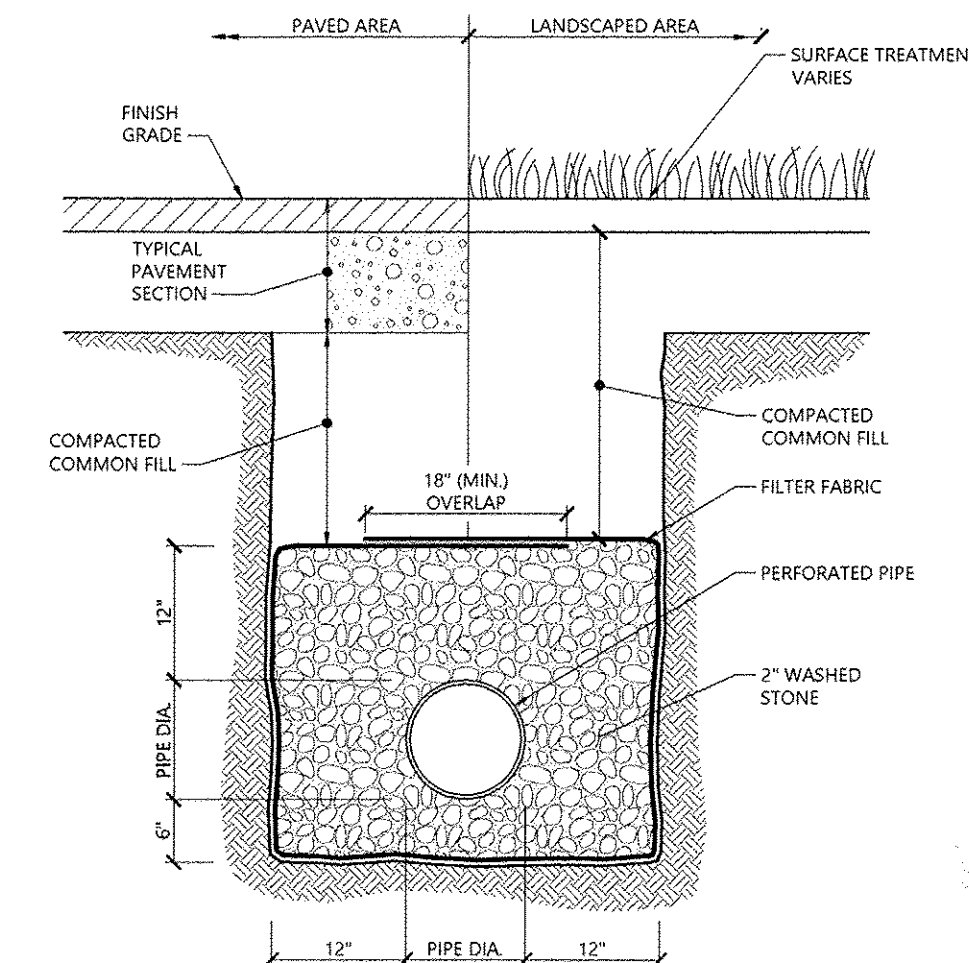
Catch Basin (CB) Shallow Cover with Oil/Debris Trap 1/16
N.T.S. Source: VHB LD_105



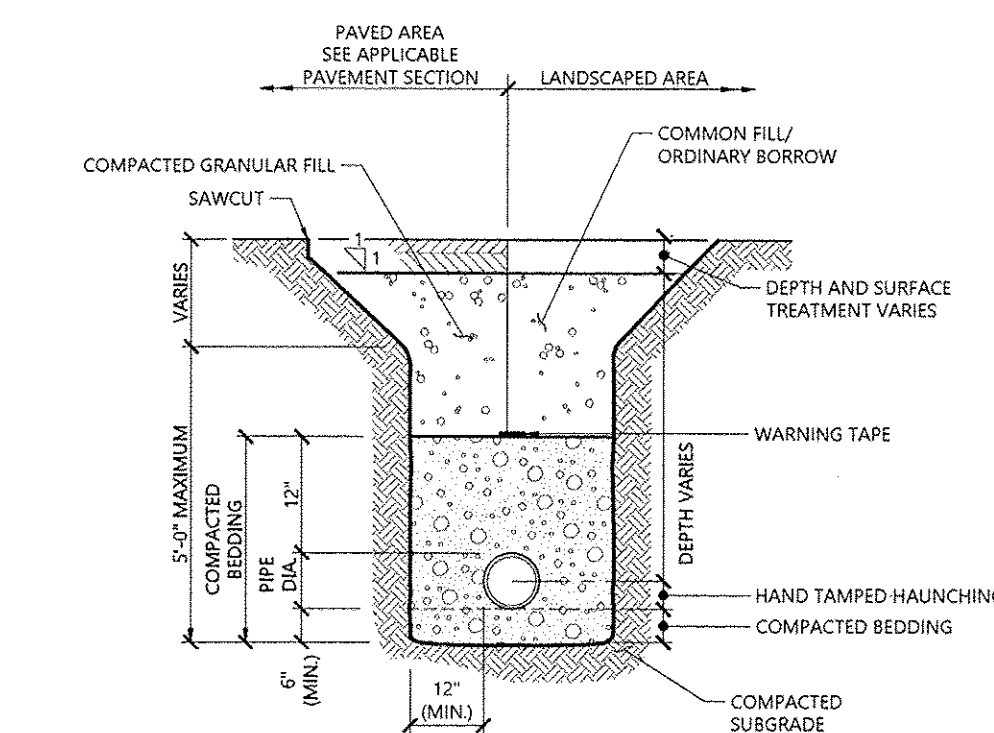
Drain Manhole (DMH) with Oil Debris/Trap 1/16
N.T.S. Source: VHB LD_116



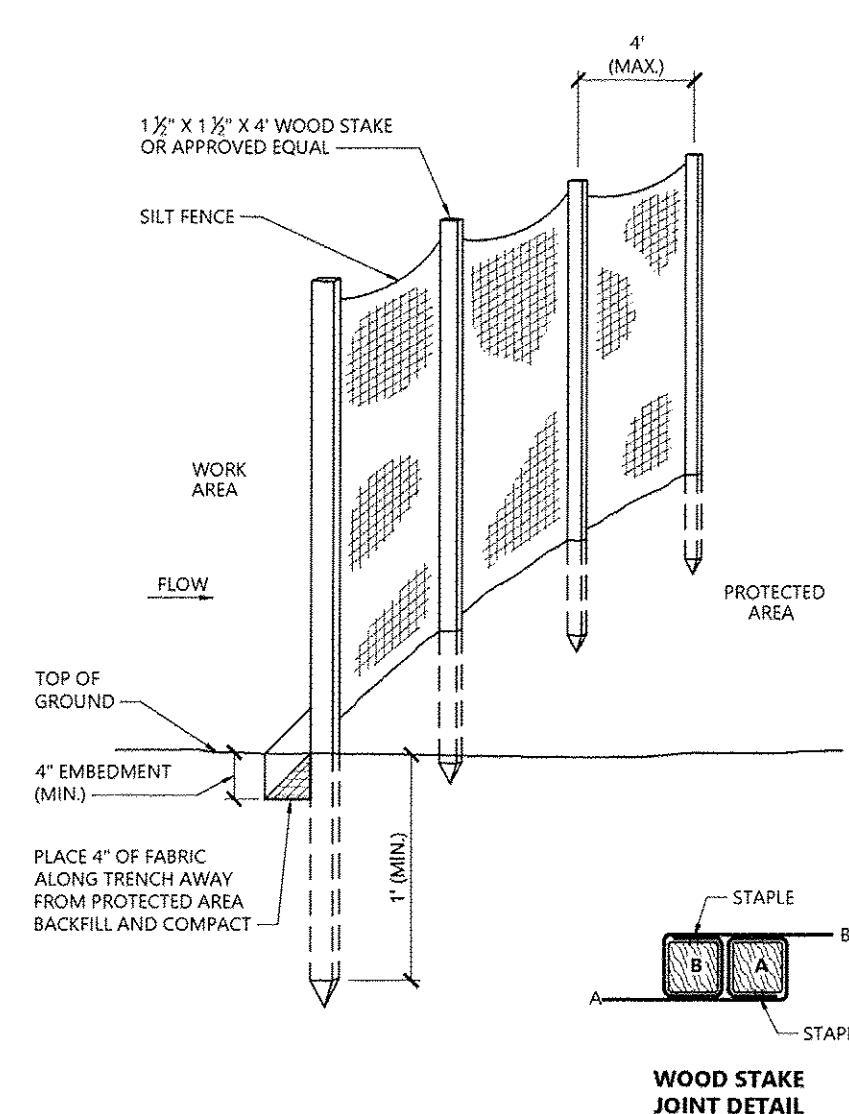
Sanitary Sewer Manhole (SMH) 1/16
N.T.S. Source: VHB LD_200



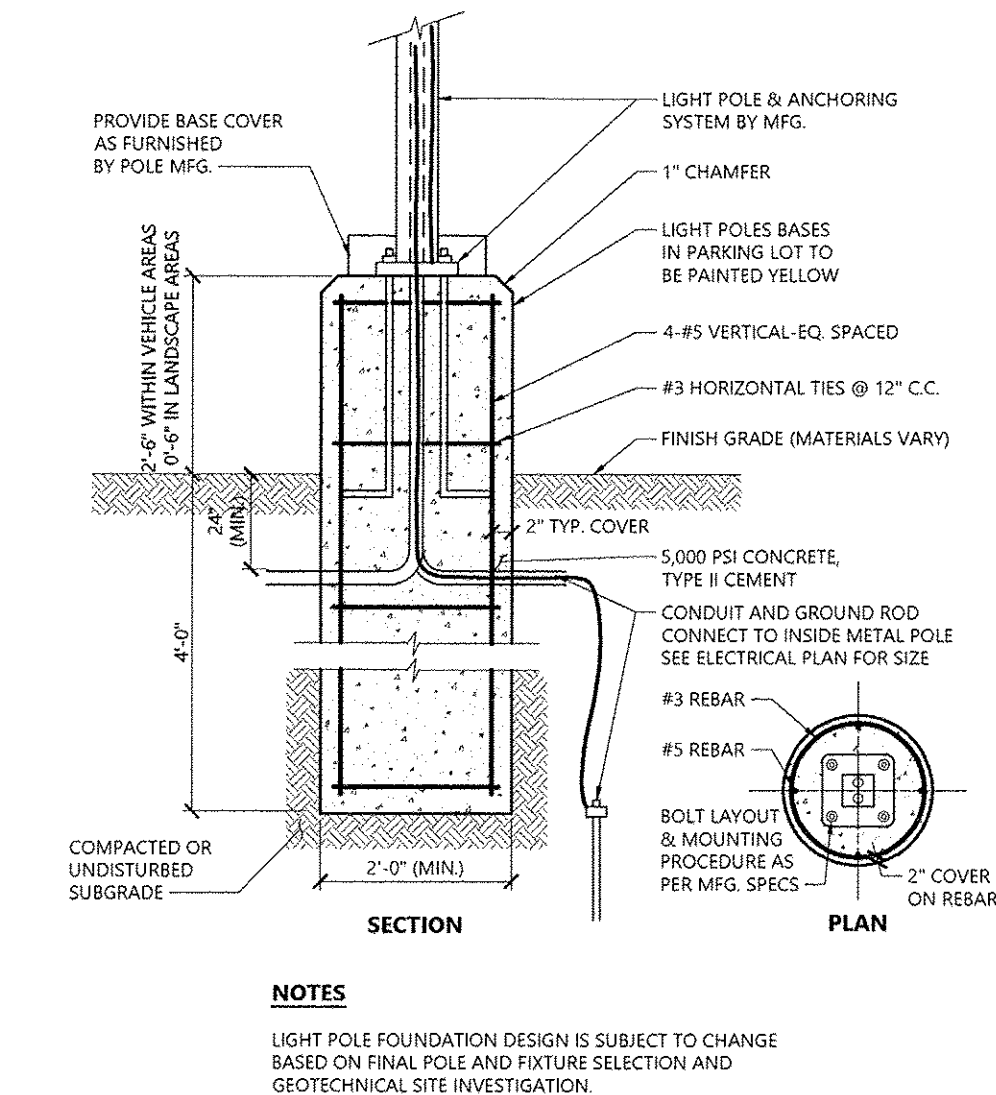
Underdrain (UD) 1/16
N.T.S. Source: VHB LD_184



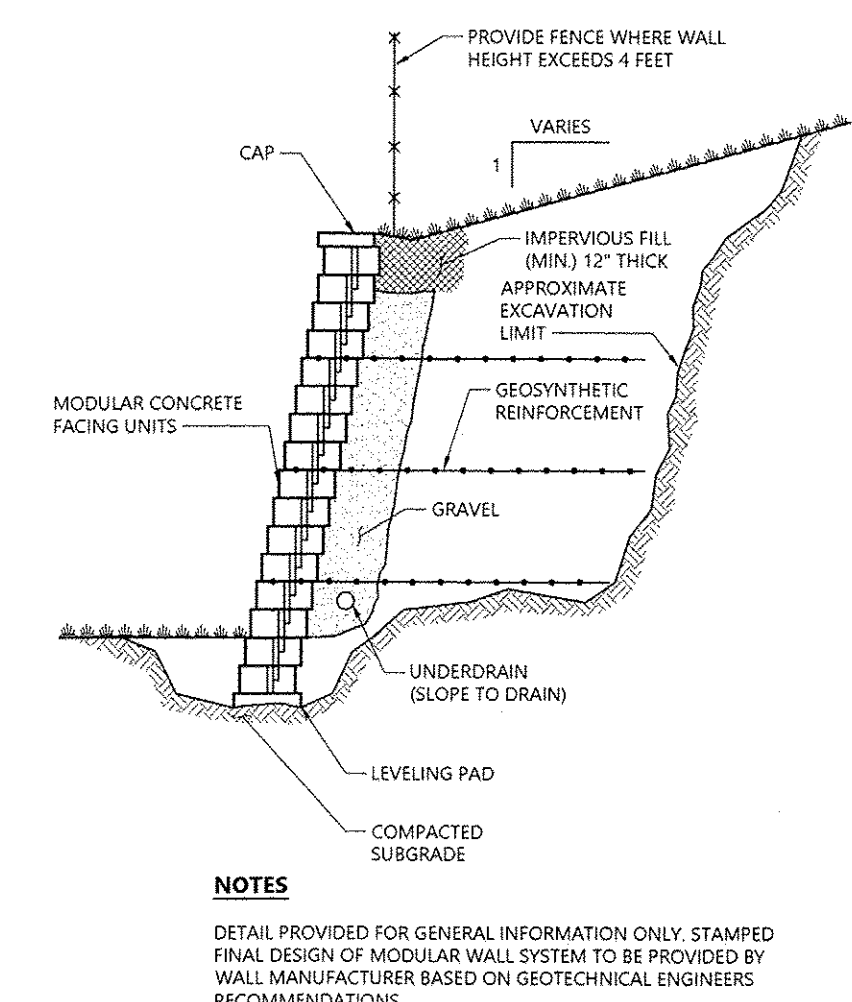
Utility Trench 1/16
N.T.S. Source: VHB LD_300



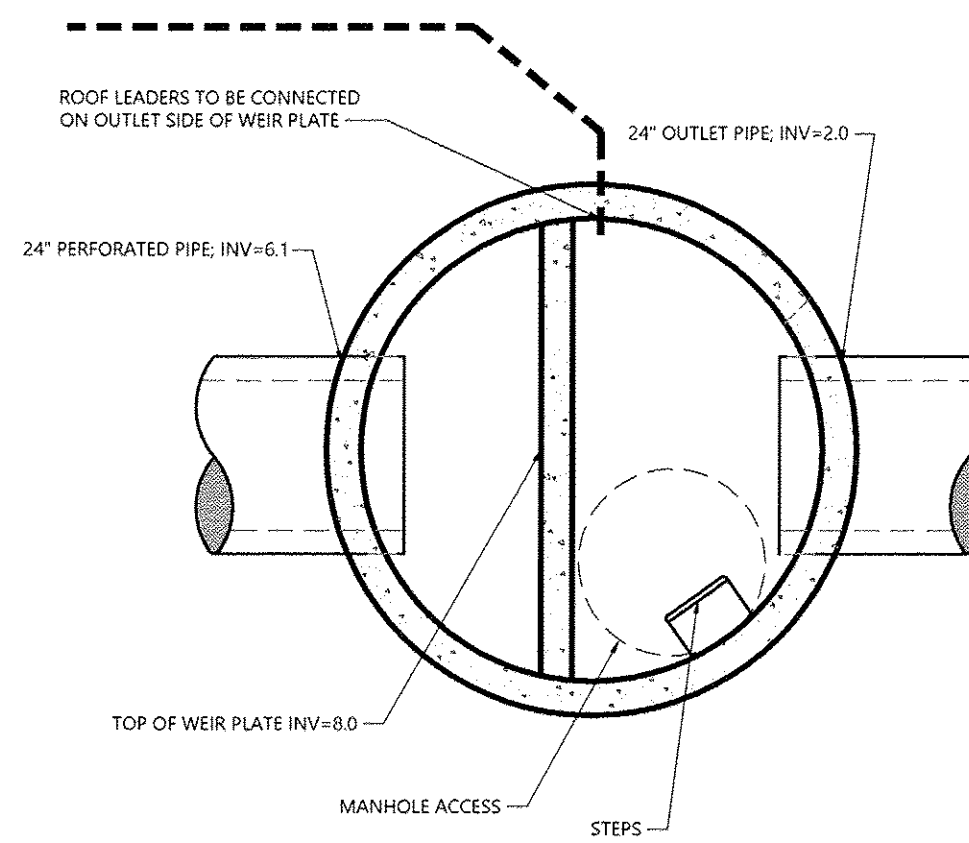
Silt Fence Barrier 1/16
N.T.S. Source: VHB LD_650



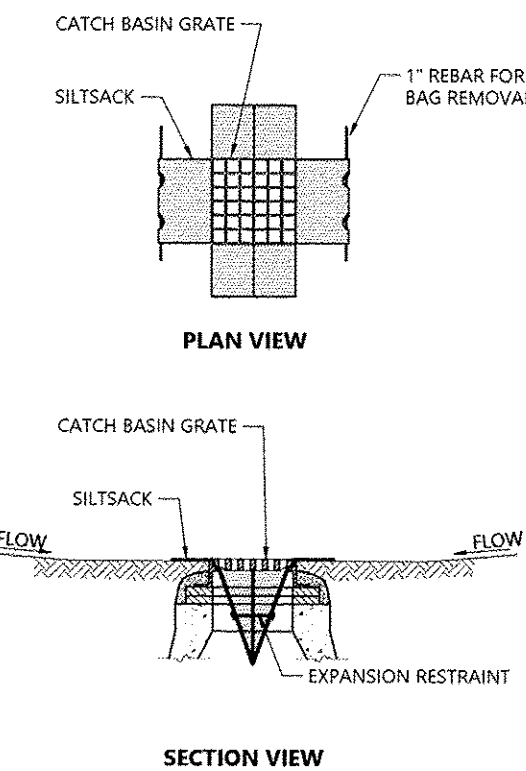
Light Pole Foundation Detail (Up to 15' Pole) 1/16
N.T.S. Source: VHB LD_310A



Modular Retaining Wall 1/16
N.T.S. Source: VHB LD_750



DMH-7 1/16
N.T.S. Source: VHB



Silsack Sediment Trap 1/16
N.T.S. Source: VHB REV LD_674

Hotel & Residential Development

0-20 Inner Belt Road
Somerville, Massachusetts

No.	Revision	Date	Appr.

Designed by: **SKE** Checked by: **CPN**
Issued for: _____ Date: _____

Local Approvals October 10, 2018

Not Approved for Construction

Site Details 1



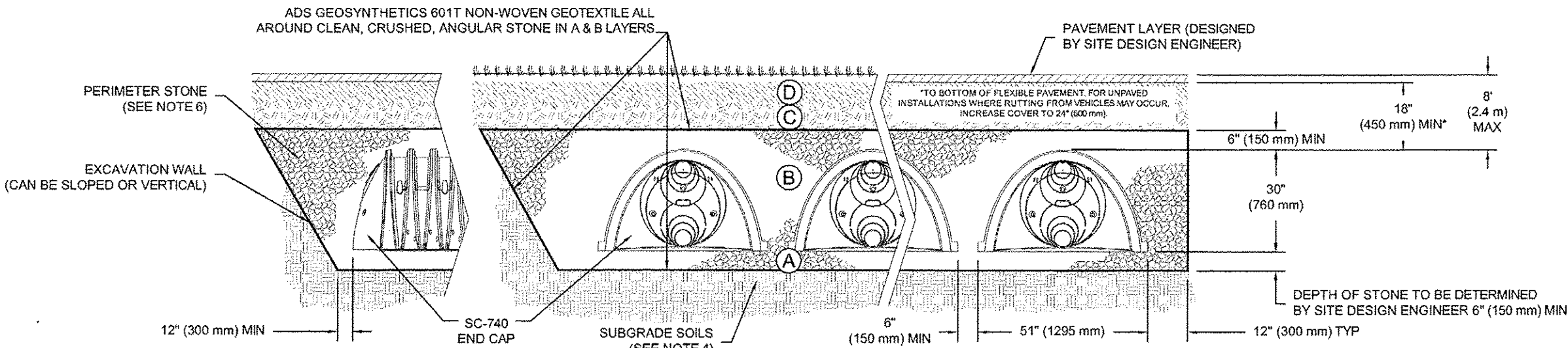
101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M43 ¹ A-1, A-2, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:

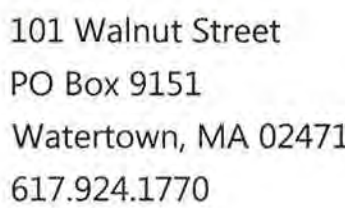
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR, FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



NOTES:

- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

REV	DATE	DESCRIPTION
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02/37/46	JLM	REVISION
03/37/46		



(U) DRAIN MANHOLE
 (C) CATCH BASIN
 (S) SEWER MANHOLE
 (E) ELECTRIC MANHOLE
 (T) TELEPHONE MANHOLE
 (M) MANHOLE
 H H HAND HOLE
 () WATER GATE
 () FIRE HYDRANT
 () GAS VALVE
 • BOLLARD w/LIGHT
 STREET SIGN
 ☆ LIGHT POLE
 ○ UTILITY POLE
 ○ GUY POLE
 ○ GUY WIRE
 () MONITORING WELL
 () FLOOD LIGHT
 () WELL
 () MARSH
 F.F.E.=45.27'
 FINISHED FLOOR ELEVATION
 CNO COULD NOT OPEN
 NPY NO PIPES VISIBLE
 DVL DOUBLE YELLOW LINE
 DSW DASHED WHITE LINE
 SYL SINGLE WHITE LINE
 LSA LANDSCAPED AREA
 () EDGE OF PAVEMENT
 CONCRETE CURB
 () VERTICAL GRANITE CURB
 () SLOPED GRANITE CURB
 () BITUMINOUS BERM
 () BITUMINOUS CURB
 () GUARD RAIL
 () CHAIN LINK FENCE
 () DRAINAGE LINE
 () SEWER LINE
 () OVERHEAD WIRE
 () UNDERGROUND ELECTRIC
 () TELEPHONE LINE
 () GAS LINE
 () WATER LINE
 () STONE WALL
 () TREE LINE
 100'-FT BUFFER ZONE
 100'-FT RIVER FRONT AREA
 200'-FT RIVER FRONT AREA
 LIMIT MEAN ANNUAL HIGH WATER
 LIMIT OF BANK
 VEGETATED WETLAND BOUNDARY

Inner Belt Road
Somerville, Massachusetts

No.	Revision	Date	Approved
Designed by		Checked by	
Issued for		Date	

August 9, 2018

August 9, 2018

Drawing Number

Sv-1

Sheet 1 of 1

Project Number
13788.00

COMMONWEALTH OF MASSACHUSETTS
 RUSSELL J. BOUSQUET
 NO. 35389
 REGISTERED
 PROFESSIONAL LAND SURVEYOR

Russell J. Bousquet
 10/10/18



PARCEL ONE

PARCEL I-1
PARADIGM DIRECT ROLAND LLC
MAP 107 BLOCK B LOT 1A
MIDDLESEX REGISTRY
BOOK 63061, PAGE 120 (AS TO PARCEL I-1)

PARCEL I-1A
SOMERVILLE CITY CLUB, INC
MAP 107 BLOCK B LOT 1
MIDDLESEX REGISTRY
BOOK 13780, PAGE 679 (AS TO PARCEL I-1A)

ALL DIMENSION SHOWN ARE THE RESULT OF A GROUND SURVEY AND MATCH THE RECORD DEED DIMENSIONS UNLESS OTHERWISE NOTE WITH A (D) REFERRING TO THE DEED DIMENSION

THE AREA OF PARCEL 1-1A REFLECTS THE RECORD DESCRIPTION OF THE PARCEL. HOWEVER THERE WAS A TAKING BY MASSDOT IN 1972 STATE HIGHWAY LAYOUT #6111, WHICH TOOK 1,912 S.F. OF LAND. VHB DID NOT FIND ANY EVIDENCE THAT THE LAND WAS NOT TAKEN OR GIVEN BACK TO THE SOMERVILLE CITY CLUB.

General Notes

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. ON JANUARY 17, 2017 AND FROM DEEDS AND PLANS OF RECORD. SEE PROPERTY NOTE HEREON.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB, INC. IN JANUARY 2017.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983.
- 5) THE LOT LIES ENTIRELY WITHIN ZONE X (UNSHADED) (AREAS TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR MIDDLESEX COUNTY, MASSACHUSETTS, MAP NUMBER 25017C0439P, EFFECTIVE DATE JUNE 4, 2010.
- 6) THE LOT LIES ENTIRELY WITHIN THE COMMERCIAL RESIDENTIAL DISTRICT (BB) AS SHOWN ON THE "CITY OF SOMERVILLE, MASSACHUSETTS, CURRENT OFFICIAL ZONING MAP", DATED NOVEMBER 26, 2013. DIMENSIONAL REQUIREMENTS FOR A (BB) AT THE TIME OF THIS SURVEY ARE:

	REQUIRED	REQUIRED**
MINIMUM LOT AREA_____	N/A	
MINIMUM FRONTAGE_____	N/A	
MINIMUM FRONT YARD SETBACK_____	15 FEET	12 FEET
MINIMUM SIDE YARD SETBACK_____	N/A FEET	10 FEET
MINIMUM REAR YARD SETBACK_____	10+2 FT./EA. STORY	
MAXIMUM BUILDING HEIGHT_____	50 FEET	

**SEE DOCUMENTS LISTED IN TITLE NOTES EXCEPTIONS #14 & 15

- 7) NO WETLAND IDENTIFICATION WAS OBSERVED.
- 8) BOTH PARCELS HAVE DIRECT ACCESS TO INNER BELT ROAD.

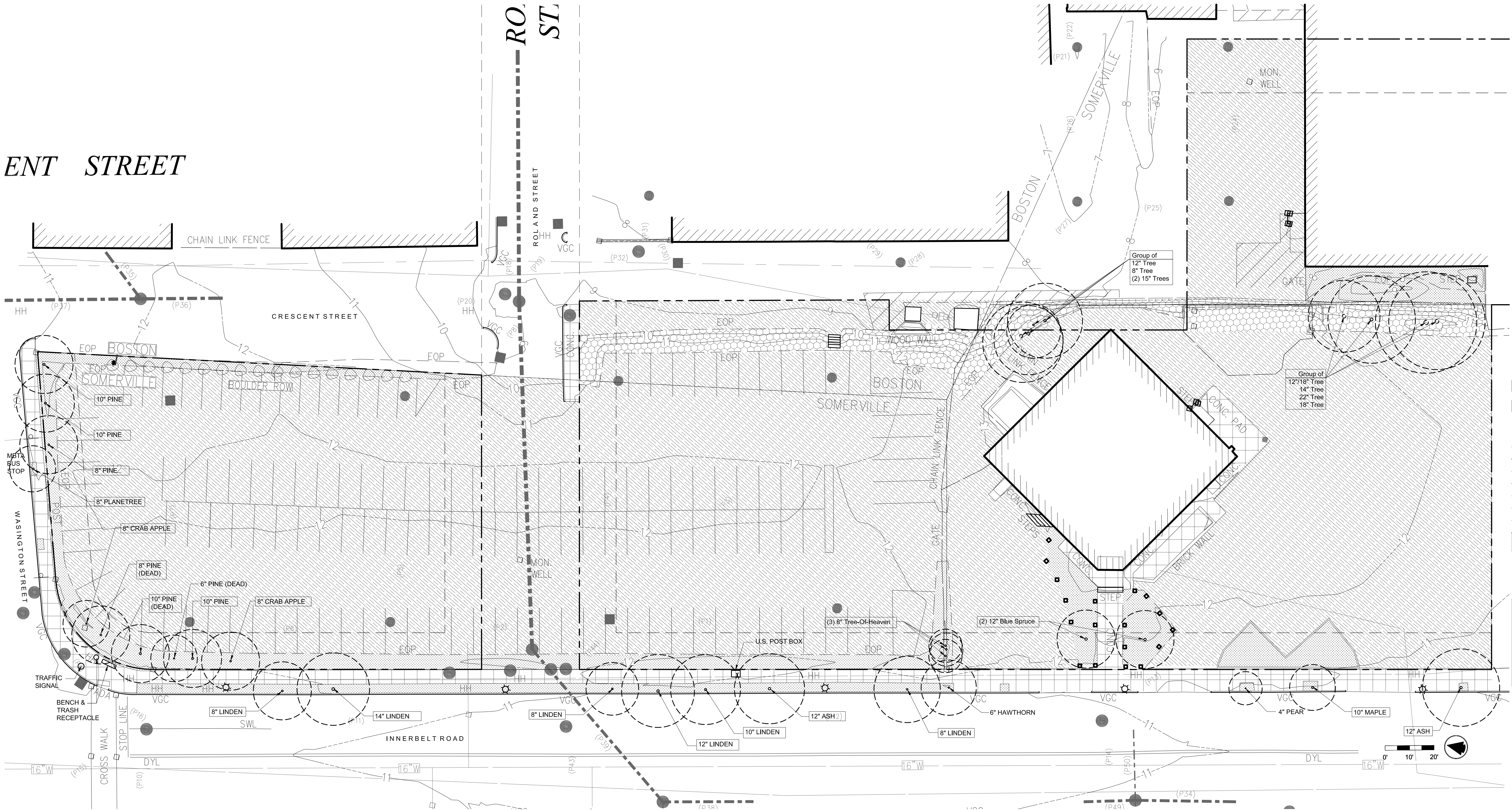


101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



LEGEND

CONCRETE WALK

BITUMINOUS PARKING LOT

Hotel & Residential
Development

0-20 Inner Belt Road
Somerville, Massachusetts

No.	Revision	Date	Appvd.

Designed by WM	Checked by ED
Issued for	Date

Local Approvals October 10, 2018

Not Approved for Construction

Existing
Landscape
Plan



L-0

Sheet of

Project Number
13788.00



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



GROUNDVIEW
© GroundView LLC

LEGEND

CONCRETE WALK

SPECIAL PAVING

MULCH

CONCRETE PAD

ROADWAY CURB

STAIR WITH HANDRAIL

WALL

2" - 2-1/2" CALIPER
DECIDUOUS SHADE TREE

3" - 3-1/2" CALIPER
DECIDUOUS SHADE TREE

8'-10' HT ORNAMENTAL TREE

6'-8' HT ORNAMENTAL TREE

PLANT BED -
25% PERENNIALS
25% ORNAMENTAL GRASSES
50% SHRUBS

BIKE RACK

BENCH

TRASH AND RECYCLING
RECEPTACLE

POST LIGHT

BOLLARD

5' HT FENCE

PROPERTY LINE
(SEE CIVIL DRAWING)

SETBACK
(SEE CIVIL DRAWING)

Hotel & Residential
Development

0-20 Inner Belt Road
Somerville, Massachusetts

No.	Revision	Date	Appvd.
1	SP&S coordination set	10/05/2018	CPN

Designed by WM	Checked by ED
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Issued for	Date
Local Approvals	October 10, 2018

Not Approved for Construction

Landscape
Improvements
Plan

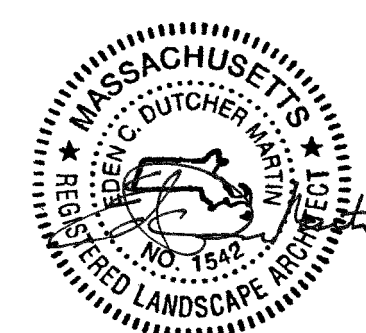
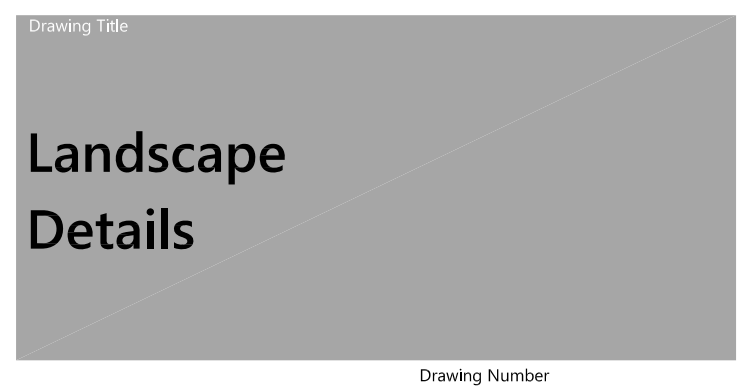
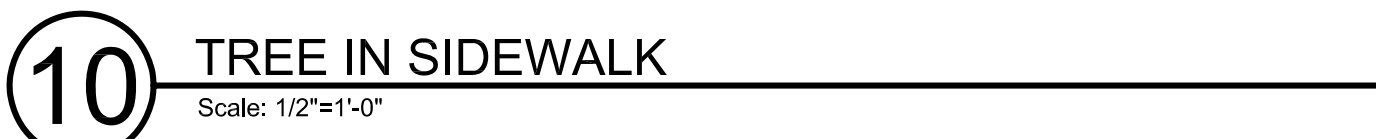
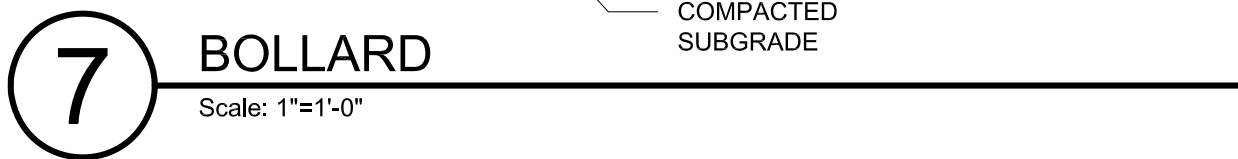
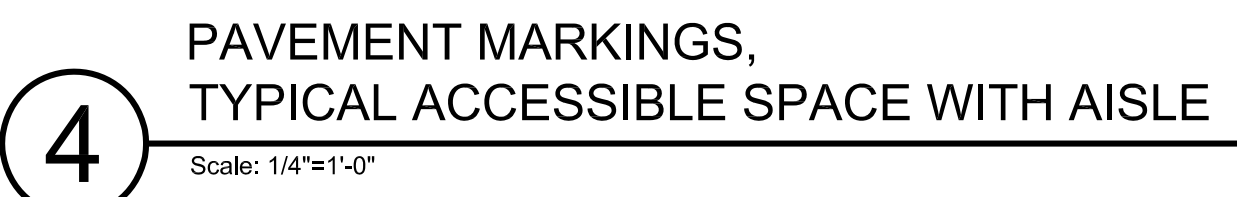
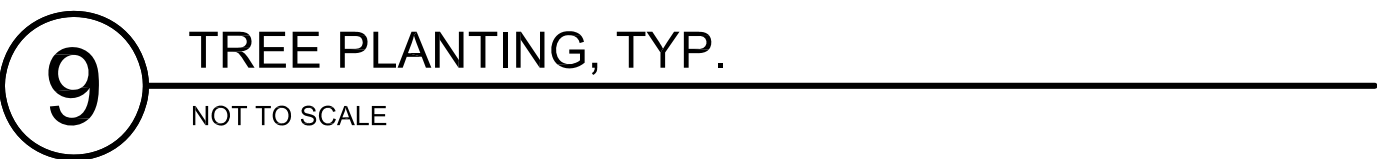
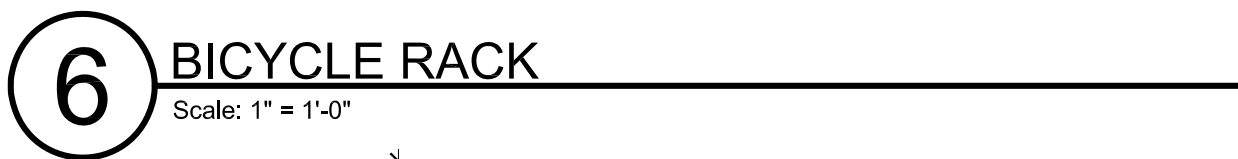
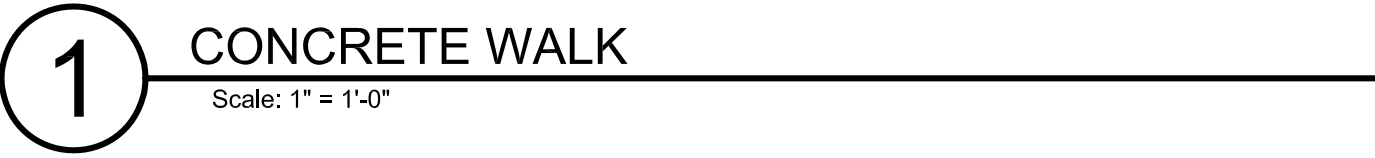
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L-1

Sheet of

Project Number
13788.00

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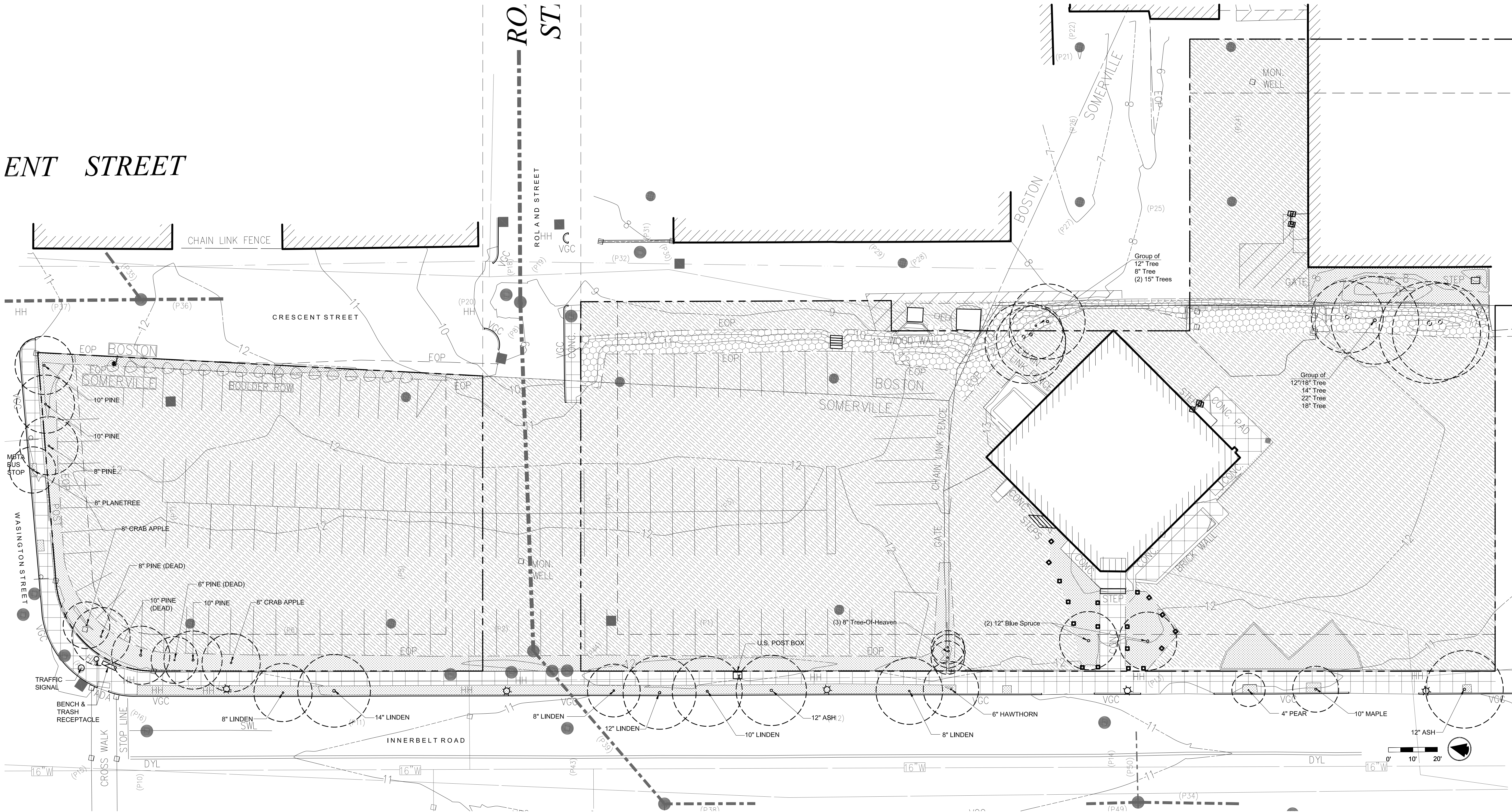
101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



GROUNDVIEW
© GroundView LLC

LEGEND

CONCRETE WALK
BITUMINOUS PARKING LOT
ROADWAY CURB
RIP RAP SLOPE
MULCH
POST LIGHT
TREE
PROPERTY LINE
(SEE CIVIL DRAWING)
SETBACK
(SEE CIVIL DRAWING)



Hotel & Residential
Development

0-20 Inner Belt Road
Somerville, Massachusetts

No.	Revision	Date	Appvd.

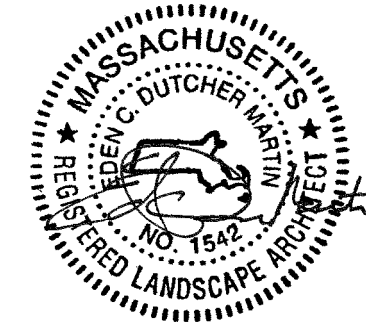
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Issued for	Date
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Local Approvals October 10, 2018

Not Approved for Construction

Existing
Landscape
Plan



L-0

Sheet of

Project Number
13788.00



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617.924.1770



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LEGEND

CONCRETE WALK

SPECIAL PAVING

MULCH

CONCRETE PAD

ROADWAY CURB

STAIR WITH HANDRAIL

WALL

2" - 2-1/2" CALIPER
DECIDUOUS SHADE TREE

3" - 3-1/2" CALIPER
DECIDUOUS SHADE TREE

8'-10' HT ORNAMENTAL TREE

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PLANT BED -
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25% ORNAMENTAL GRASSES
50% SHRUBS

BIKE RACK

BENCH

TRASH AND RECYCLING
RECEPTACLE

POST LIGHT

BOLLARD

5' HT FENCE

PROPERTY LINE
(SEE CIVIL DRAWING)

SETBACK
(SEE CIVIL DRAWING)

Hotel & Residential
Development

0-20 Inner Belt Road
Somerville, Massachusetts

No.	Revision	Date	Appvd.
1	SP&S coordination set	10/05/2018	CPN

Designed by WM	Checked by ED
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Issued for	Date
Local Approvals	October 10, 2018

Not Approved for Construction
Drawing Title
**Landscape
Improvements
Plan**

Drawing Number

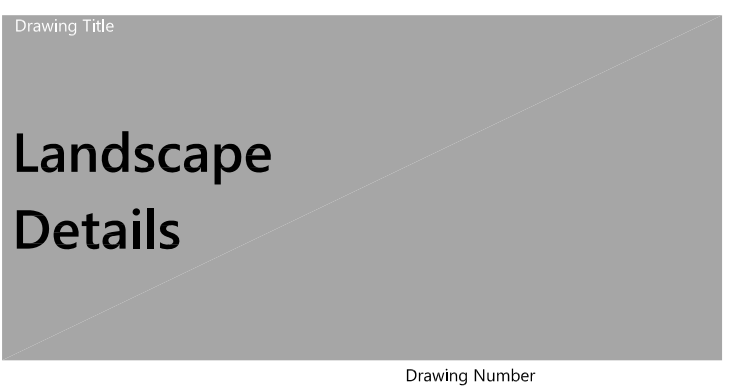
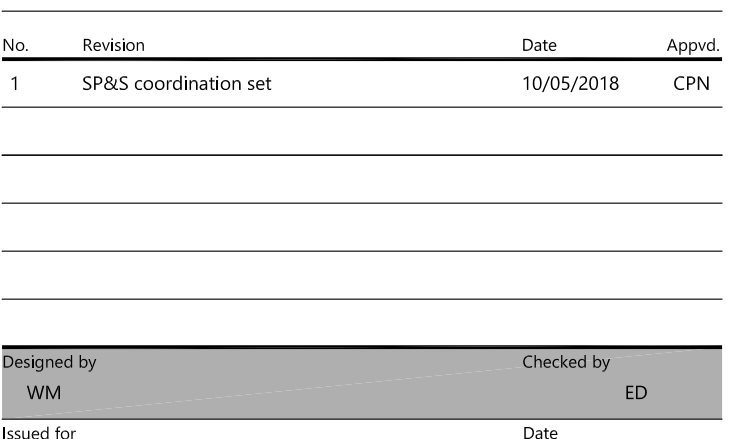
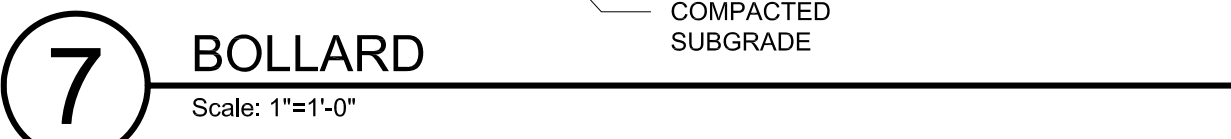
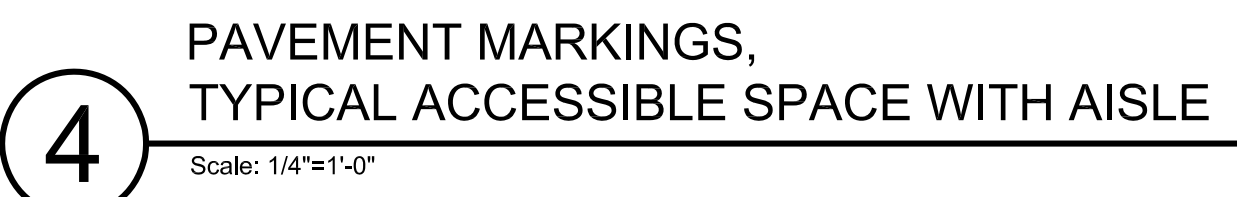
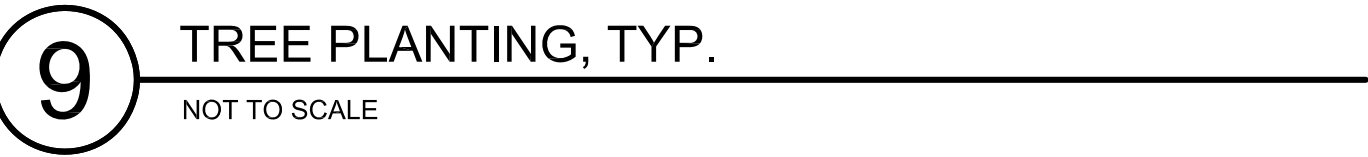
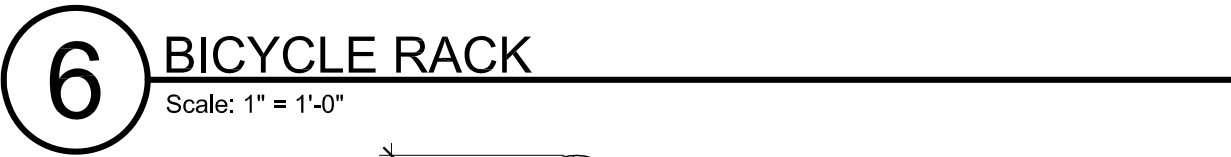
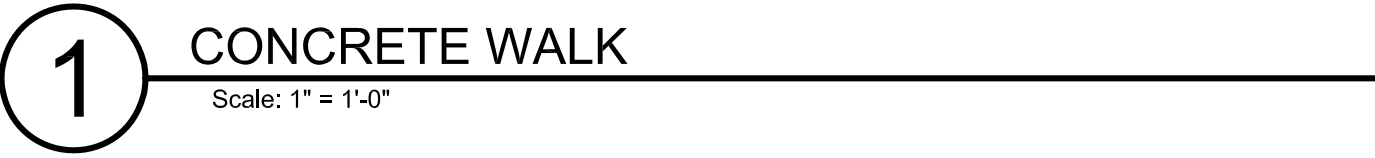
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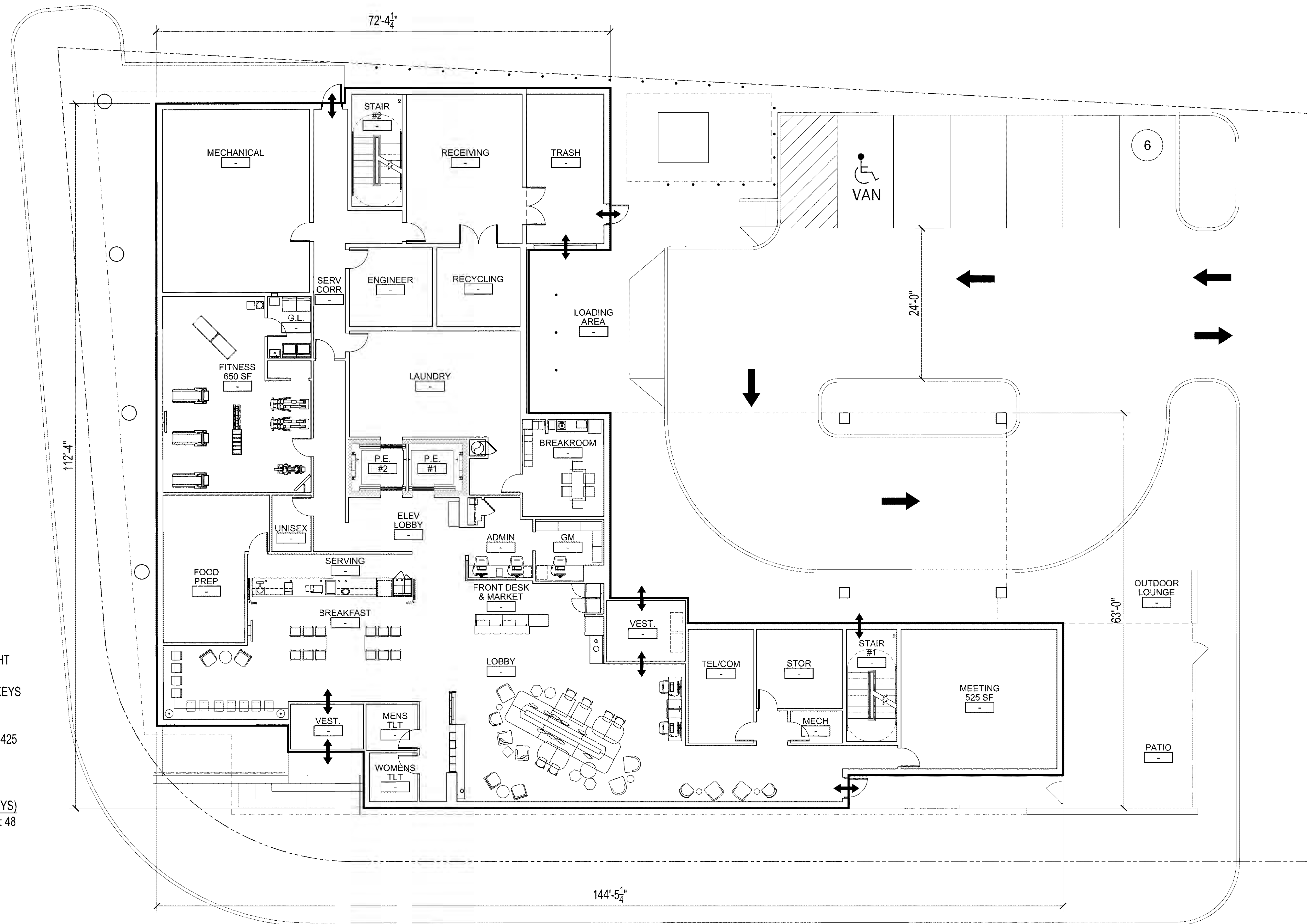
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Project Number

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9,550 SF GROUND FLOOR
11,885 TYP FLOOR x 5 = 59,425
TOTAL - 68,975 GSF

SEATING COUNTS (120 KEYS)
TOTAL SEATING (40% MIN): 48
BREAKFAST (25% MIN): 12
SOFT STG (30% MIN): 18
DINING (30% MIN): 16
PERCH STG (15% MIN): 9



No.	Description	Date
A	LOCAL	10/10
	APPROVALS	2018
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3	3	3
4	4	4
5	5	5
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Checked By: _____

161

Drawing Title _____

PROPOSED
TYPICAL
FLOOR PLAN
(2-6)

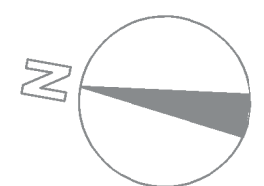
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 $1/8"=1'-0"$

Stamp _____



A1.1

Drawing Number



[illegible]

161

PROPOSED BUILDING ELEVATIONS

$$3/32" = 1'-0"$$

A2.0

Drawing Number



— ALUMINUM STOREFRONT
SYSTEM (TYP.)

[illegible]

1161

PERSPECTIVE
VIEW

Stamp _____



P1.0

Drawing Number



[illegible]

161

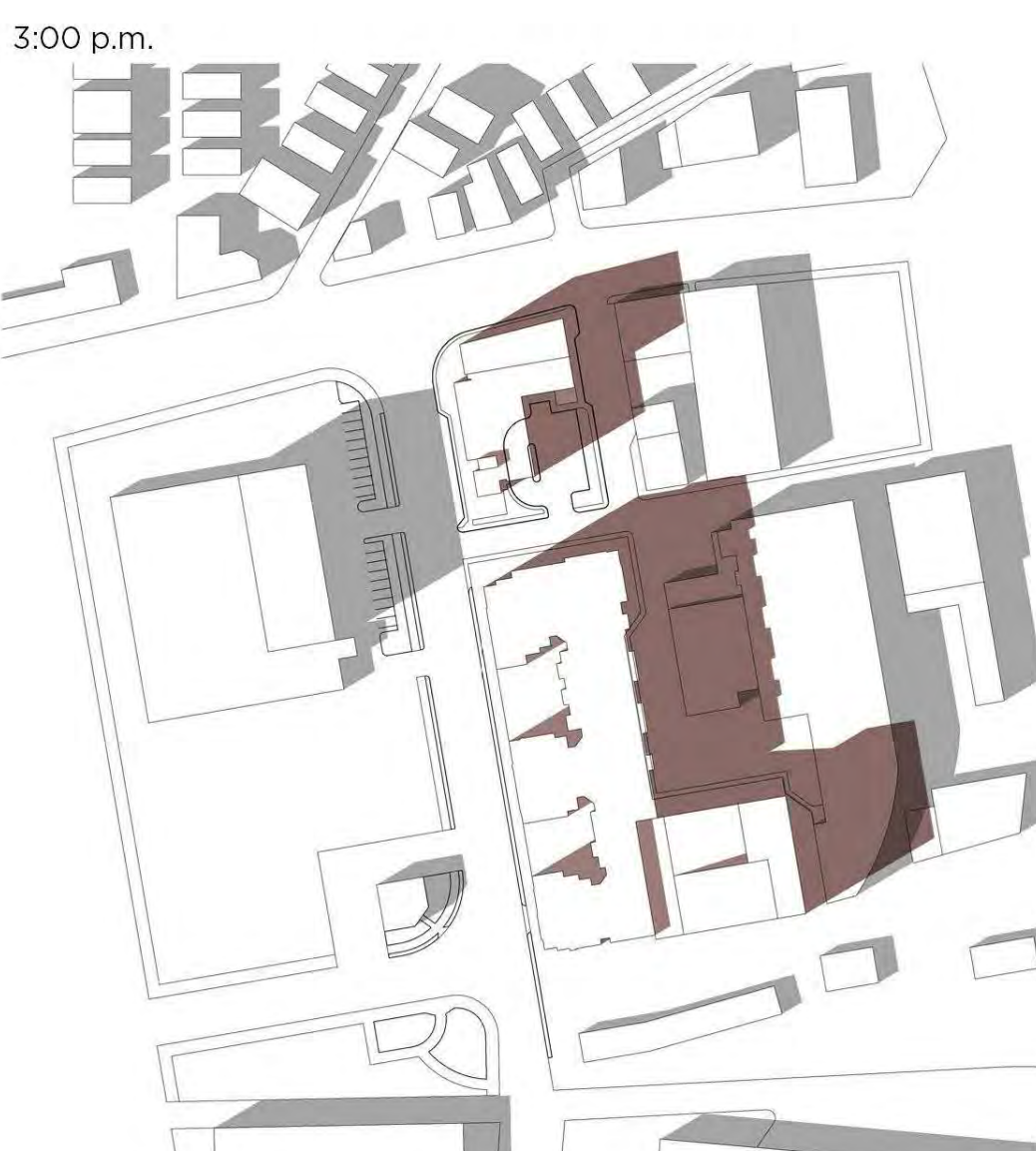
PERSPECTIVE
VIEW

A circular professional seal for Harold F. Wheeler, a Registered Architect in the Commonwealth of Massachusetts. The seal features the text "REGISTERED ARCHITECT" at the top, "HAROLD F. WHEELER" in the center, "No. 20000" below the name, and "COMMONWEALTH OF MASSACHUSETTS" at the bottom. The seal is stamped over a handwritten signature and the date "1/20/01".

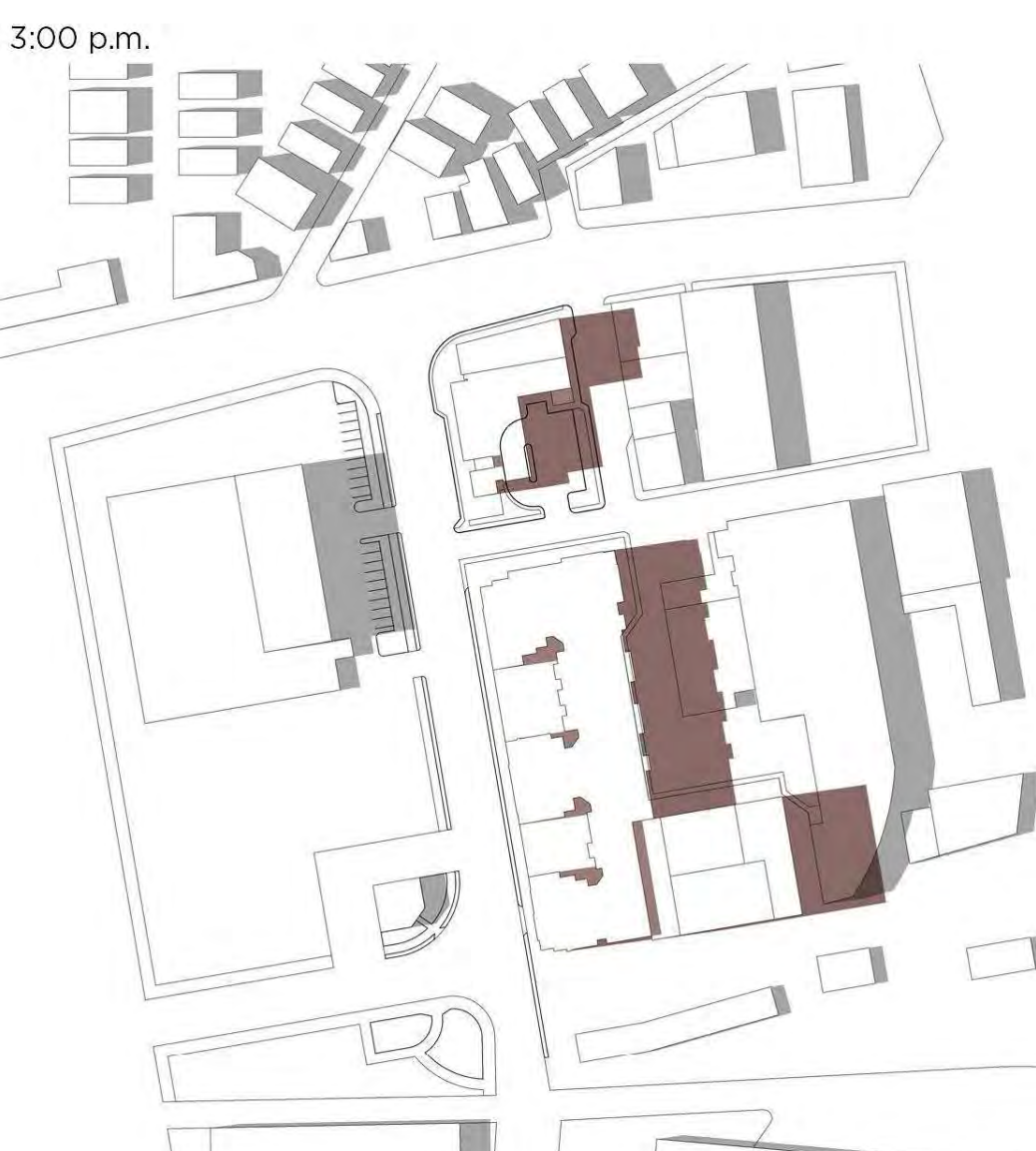
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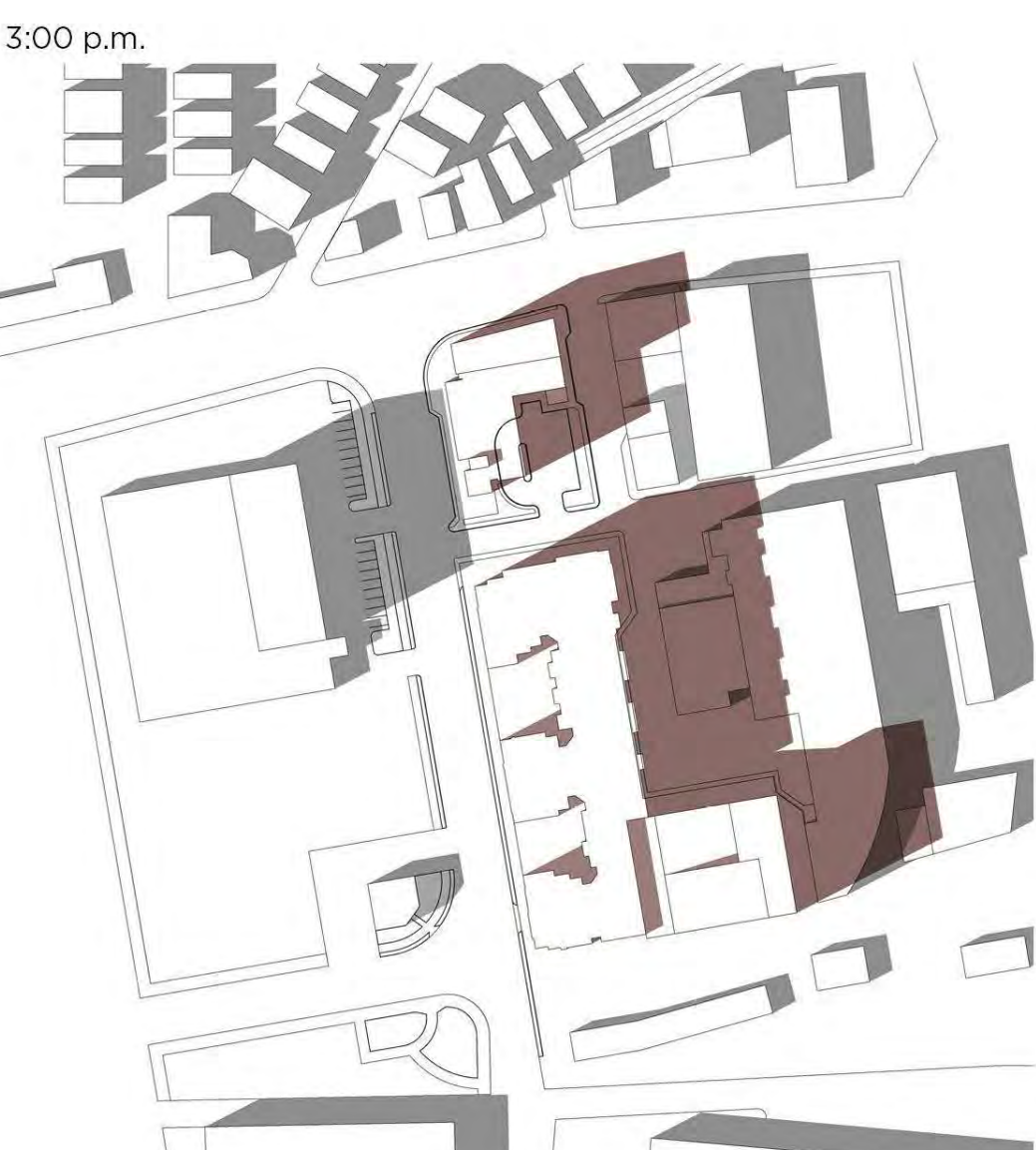
SPRING EQUINOX



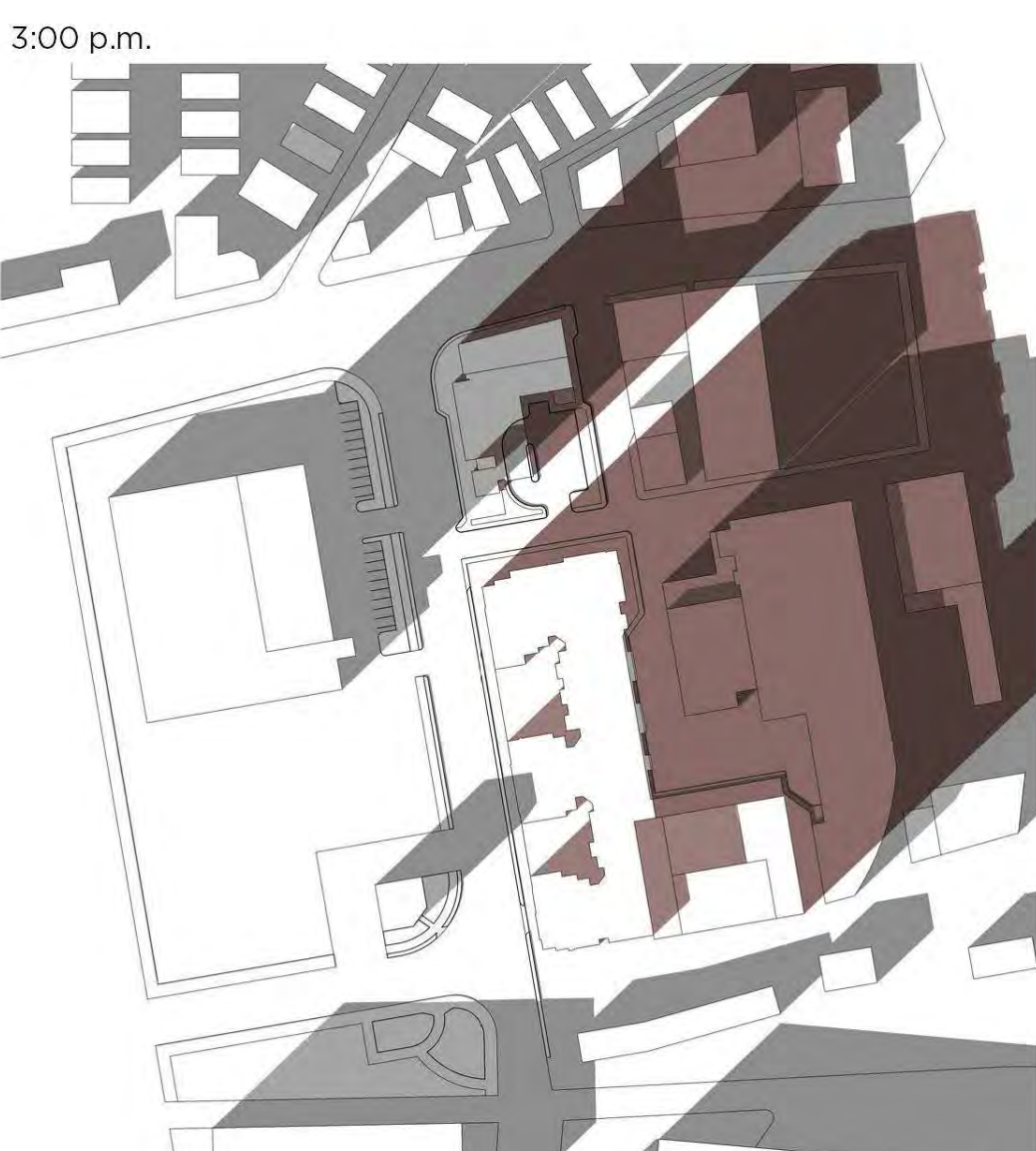
SUMMER SOLSTICE



FALL EQUINOX



WINTER SOLSTICE



Inner Belt Road

Inner Belt Road
Somerville, MA

CPC-T Inner Belt, LLC.

ARCHITECT

E-ICON
ARCHITECTURE

101 SUMMER ST BOSTON MA 02110

CONSULTANT

STAMP



KEY PLAN

2	10/11/2018	Special Permit
MARK	DATE	DESCRIPTION

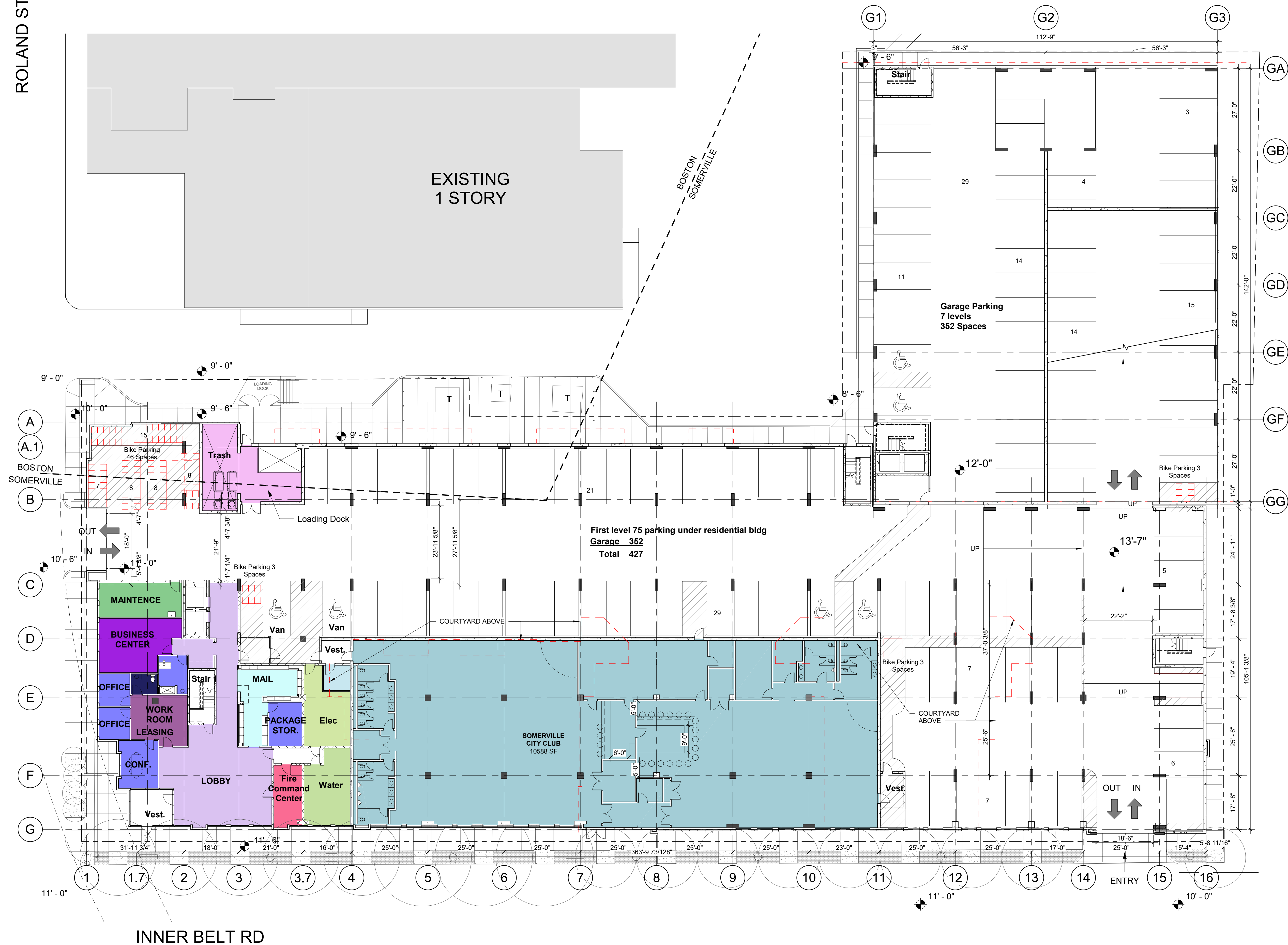
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DRAWN BY: MRM
CHECKED BY: MRM

SHEET TITLE

SHADOW STUDY

A-101

ROLAND ST



Inner Belt Road

Inner Belt Road
Somerville, MA

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ARCHITECTURE

101 SUMMER ST BOSTON MA 02110

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2	10/11/2018	Special Permit
1	09/07/2018	SD Set
MARK	DATE	DESCRIPTION

PROJECT NUMBER: 216009

DRAWN BY: CC

CHECKED BY: MRM

SHEET TITLE

GRADE LEVEL
GARAGE PLAN

A-102

PLOTTED ON: 10/9/2018 3:59:19 PM



22 LEVEL 2
1/16" = 1'-0"

Inner Belt Road

Inner Belt Road
Somerville, MA

CPC-T Inner Belt, LLC.

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ARCHITECTURE

101 SUMMER ST BOSTON MA 02110

CONSULTANT

STAMP



KEY PLAN

2	10/11/2018	Special Permit
1	09/07/2018	SD Set
MARK	DATE	DESCRIPTION

PROJECT NUMBER: 216009

DRAWN BY: CC

CHECKED BY: MRM

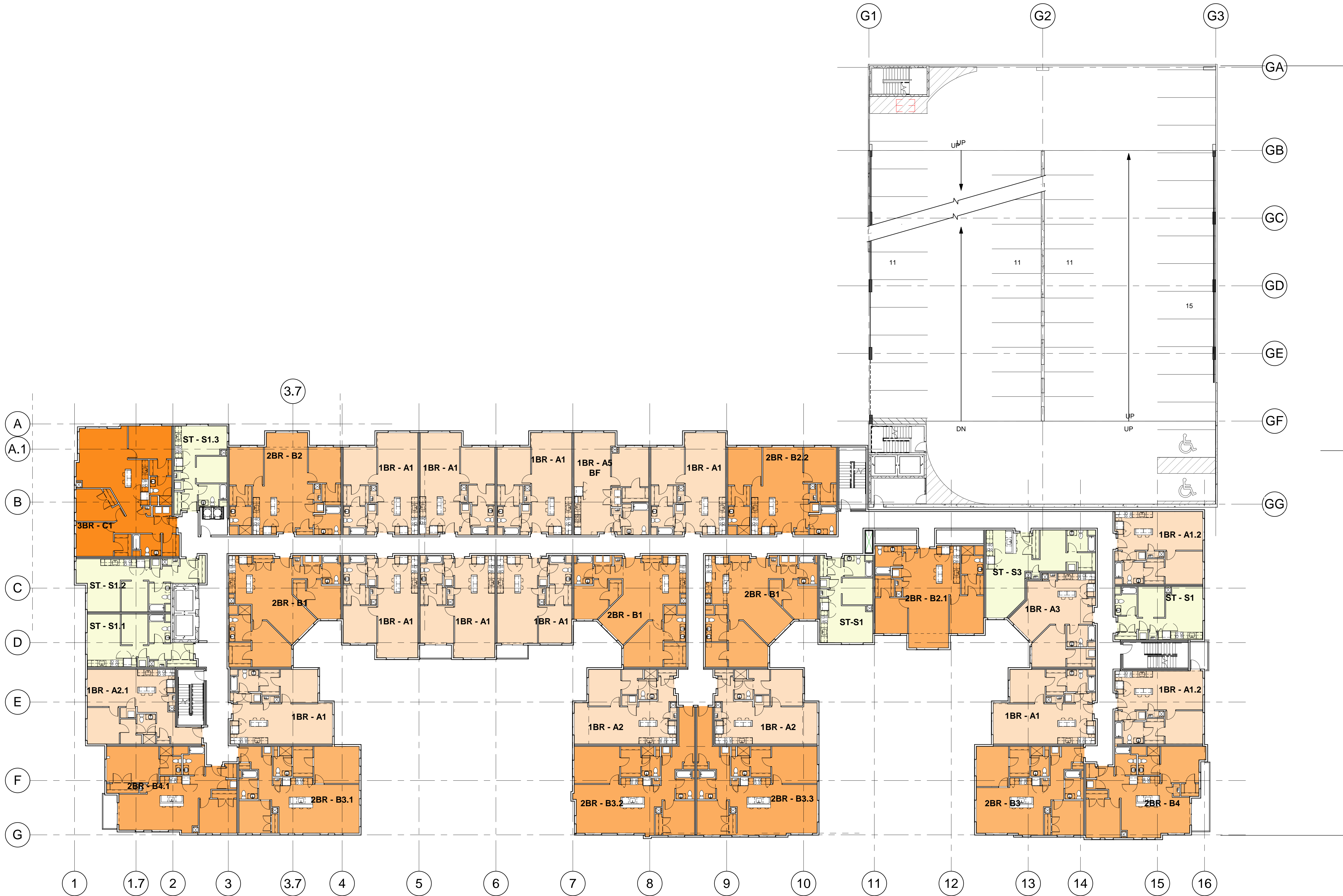
SHEET TITLE

SECOND FLOOR

A-103

PLOTTED ON: 10/9/2018 3:59:24 PM

1 LEVEL3
1/16" = 1'-0"



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KEY PLAN

2	10/11/2018	Special Permit
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PROJECT NUMBER: 216009

DRAWN BY: CC

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SHEET TITLE

THIRD FLOOR

A-104

PLOTTED ON: 10/9/2018 3:59:28 PM



1 LEVEL 4
1/16" = 1'-0"

0 4' 8' 16'

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Inner Belt Road
Somerville, MA

CPC-T Inner Belt, LLC.

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KEY PLAN

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PROJECT NUMBER: 216009

DRAWN BY: Author

CHECKED BY: Checker

SHEET TITLE

FOURTH FLOOR

A-105

Inner Belt Road

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Somerville, MA

CPC-T Inner Belt, LLC.

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ARCHITECTURE

101 SUMMER ST BOSTON MA 02110

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KEY PLAN

2	10/11/2018	Special Permit
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PROJECT NUMBER: 216009

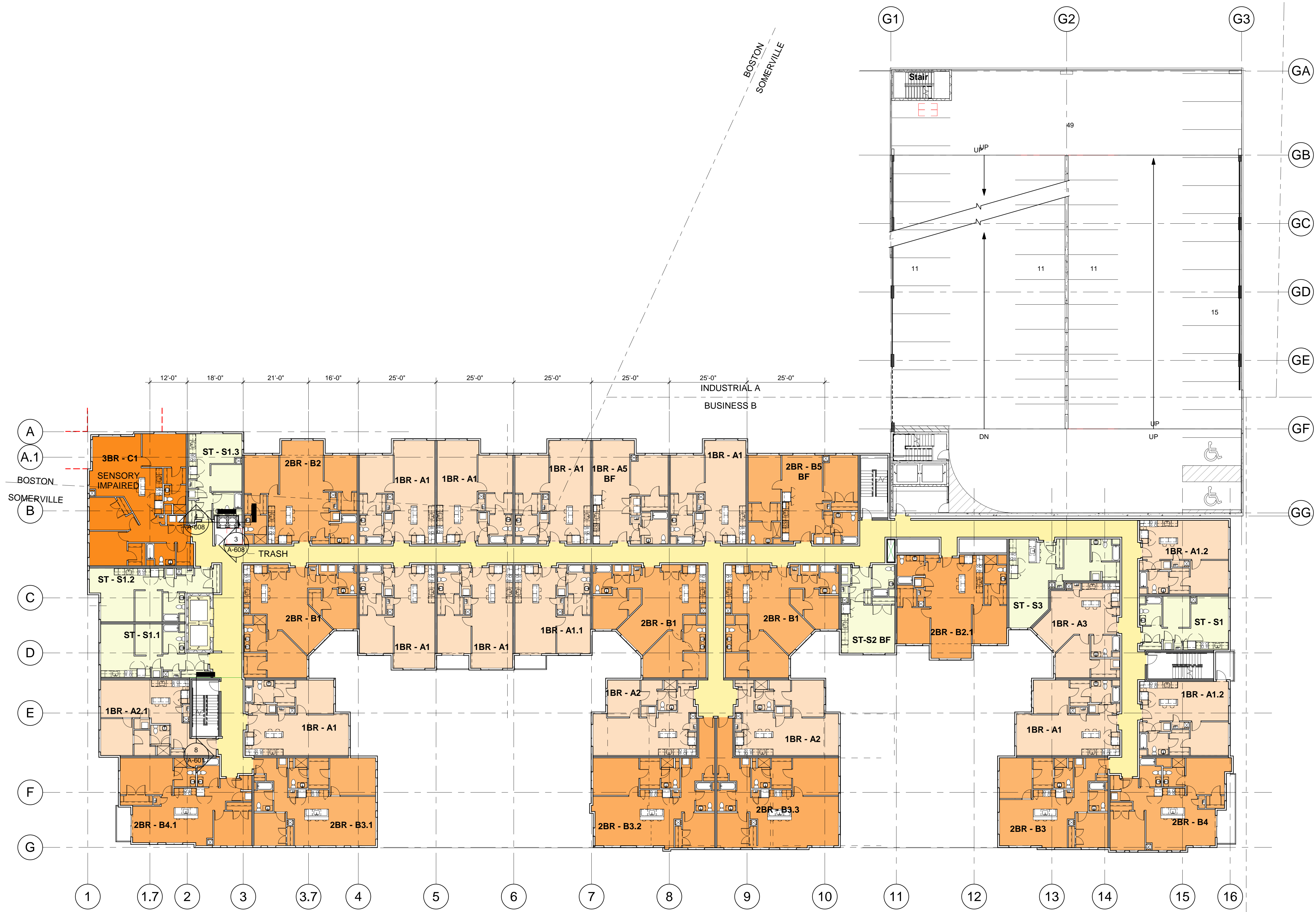
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CHECKED BY: Checker

SHEET TITLE

FIFTH FLOOR

A-106



1 LEVEL 5
1/16" = 1'-0"

PLOTTED ON: 10/9/2018 3:59:37 PM

1 LEVEL 6
 1/16" = 1'-0"



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Inner Belt Road
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KEY PLAN

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SHEET TITLE

SIXTH FLOOR

A-107

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1 LEVEL 7
1/16" = 1'-0"

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KEY PLAN

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SHEET TITLE

SEVENTH FLOOR
PLAN

A-108

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Somerville, MA

CPC-T Inner Belt, LLC.

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ARCHITECTURE

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STAMP



KEY PLAN

2	10/11/2018	Special Permit
1	09/07/2018	SD Set
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PROJECT NUMBER: 216009

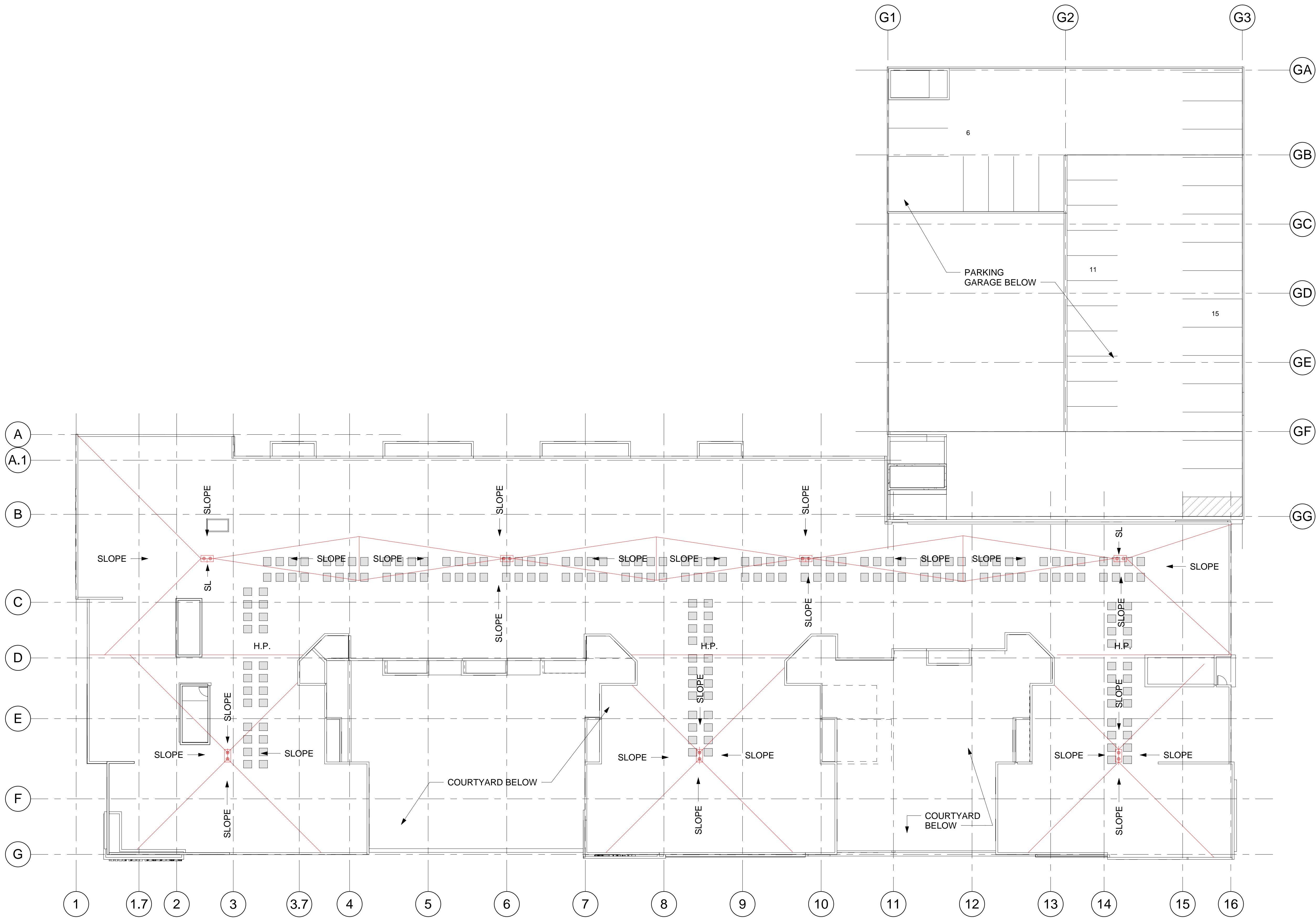
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CHECKED BY: MRM

SHEET TITLE

ROOF PLAN

A-109



1 ROOF
1/16" = 1'-0"

Inner Belt Road

Inner Belt Road
Somerville, MA

CPC-T Inner Belt, LLC.

ARCHITECT

E-ICON
ARCHITECTURE

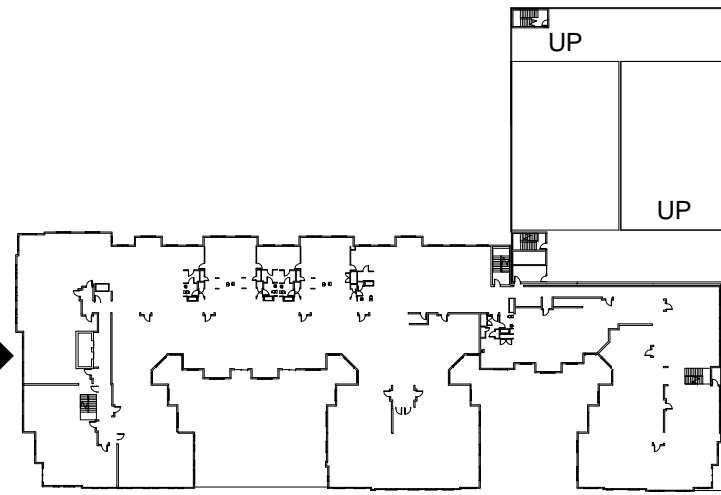
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KEY PLAN



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PROJECT NUMBER: 216009

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SHEET TITLE

OVERALL BUILDING
ELEVATIONS

A-201



Inner Belt Road

Inner Belt Road
Somerville, MA

CPC-T Inner Belt, LLC.

ARCHITECT



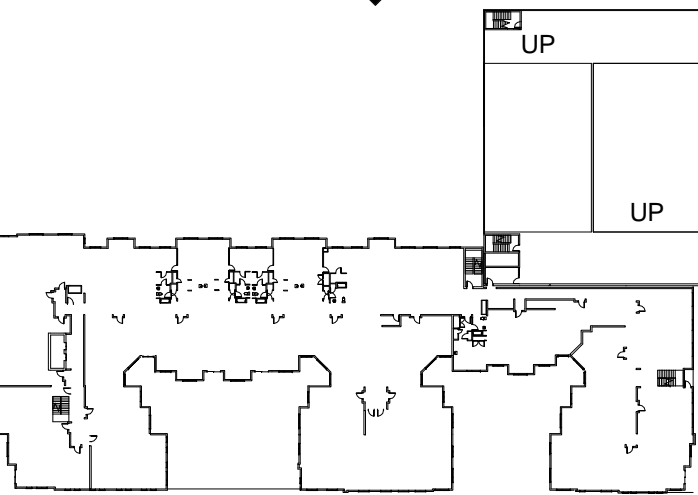
101 SUMMER ST BOSTON MA 02110

CONSULTANT

STAMP



KEY PLAN



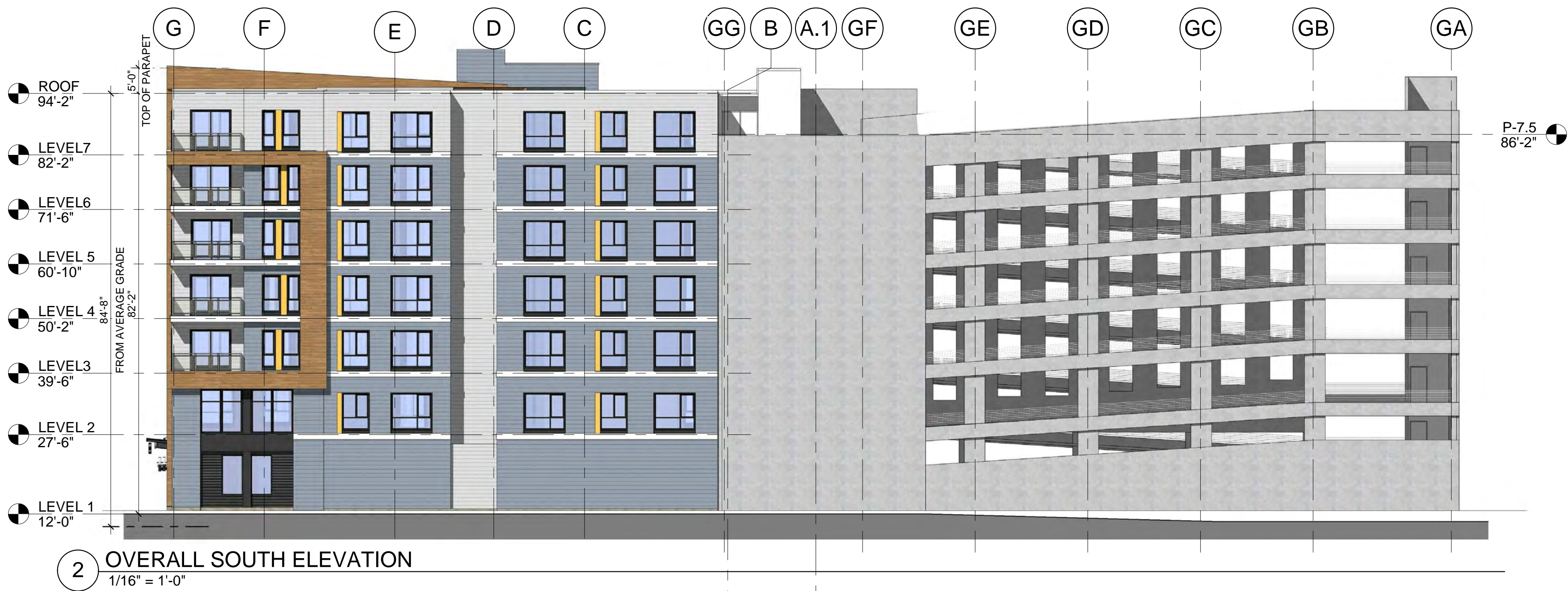
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1	09/07/2018	SD Set
MARK	DATE	DESCRIPTION

PROJECT NUMBER: 216009
DRAWN BY: CC
CHECKED BY: MRM

SHEET TITLE

OVERALL BUILDING
ELEVATIONS

A-202



PLOTTED ON: 10/9/2018 4:01:01 PM



Inner Belt Road

Inner Belt Road
Somerville, MA

CPC-T Inner Belt, LLC.

ARCHITECT
E-ICON
ARCHITECTURE
101 SUMMER ST BOSTON MA 02110

CONSULTANT



KEY PLAN

2	10/11/2018	Special Permit
MARK	DATE	DESCRIPTION
PROJECT NUMBER: 216009		
DRAWN BY: MRM		
CHECKED BY: MRM		

SHEET TITLE

PERSPECTIVE

P-1



Inner Belt Road

Inner Belt Road
Somerville, MA

CPC-T Inner Belt, LLC.

ARCHITECT

E-ICON

ARCHITECTURE

101 SUMMER ST BOSTON MA 02110

CONSULTANT



KEY PLAN

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MARK	DATE	DESCRIPTION

PROJECT NUMBER: 216009
DRAWN BY: MRM
CHECKED BY: MRM

SHEET TITLE

PERSPECTIVE

P-2



PLOTTED ON: 10/9/2018 4:01:01 PM

Inner Belt Road

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Somerville, MA

CPC-T Inner Belt, LLC.

ARCHITECT

E-ICON

ARCHITECTURE

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CONSULTANT



KEY PLAN

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PROJECT NUMBER: 216009		
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CHECKED BY: MRM		

SHEET TITLE

PERSPECTIVE

P-3