

180 Broadway Residences

176-182 Broadway, Somerville, MA 02145

ARROWSTREET
ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617-623-5555
www.arrowstreet.com

| Release Date SD | Release Date DD | Release Date CD | SHEET NUMBER | SHEET NAME |
|-----------------|-----------------|-----------------|--------------|---------------------------------|
| | | | -- | EXISTING CONDITIONS |
| | | | -- | CERTIFIED SITE PLAN |
| | | | C1.0 | SITE, UTILITY & GRADING PLAN |
| | | | C2.0 | DETAILS |
| | | | C2.1 | DETAILS |
| | | | L0.01 | LANDSCAPE PLAN - LEVEL 1 |
| | | | L0.02 | LANDSCAPE PLAN - LEVEL 4 & ROOF |
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| | | | A2.11 | FLOOR PLAN - BASEMENT |
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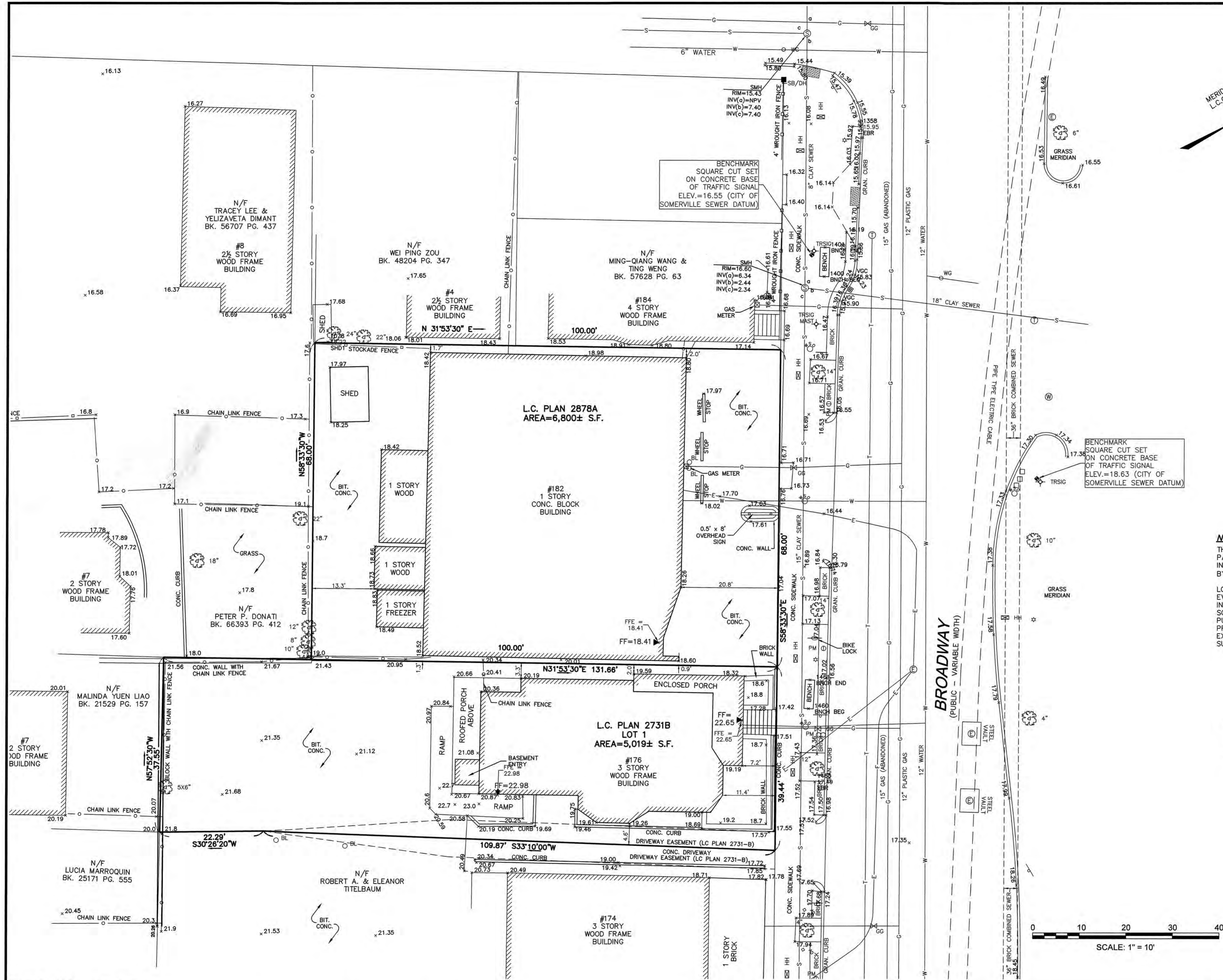
PROJECT TEAM

CLIENT
KEN YIHE C/O ATTORNEY
RICHARD DIGIROLAMO
424 BROADWAY
SOMERVILLE, MA 02145

ARCHITECT
ARROWSTREET INC.
10 POST OFFICE SQ. STE 700N
BOSTON, MA 02109
TEL: 617.623.5555

CIVIL ENGINEER
DESIGN CONSULTANTS, INC.
120 MIDDLESEX AVE, STE 20
SOMERVILLE, MA 02145
TEL: 617.776.3350

LANDSCAPE ARCHITECT
VERDANT LANDSCAPE ARCHITECTURE
318 HARVARD ST. STE 25
BROOKLINE, MA 02446
TEL: 617.735.1180



LEGEND

- CS COMBINED SEWER & DRAIN
- S SANITARY SEWER
- D DRAIN LINE
- W WATER LINE
- E ELECTRIC LINE
- G GAS LINE
- T TELEPHONE LINE
- SM SANITARY MANHOLE
- DM DRAIN MANHOLE
- UM UNKNOWN MANHOLE
- EM ELECTRIC MANHOLE
- TM TELEPHONE MANHOLE
- CB CATCH BASIN
- DT DECIDUOUS TREE
- FH FIRE HYDRANT
- WS WATER SHUTOFF
- WG WATER GATE
- GG GAS GATE
- PM PARKING METER
- TS TRAFFIC SIGNAL
- LP LIGHT POLE
- HH HANDHOLE
- SG SPOT GRADE

NOTES

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF THE LOCUS PARCEL FOR DESIGN PURPOSES. THIS PLAN IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BETWEEN DECEMBER 28, 2012 AND NOVEMBER 16, 2017, BY DESIGN CONSULTANTS, INC. (DCI).

LOCATION OF UNDERGROUND UTILITIES FEATURES SHOWN ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY: FIELD SURVEY, AERIAL PHOTOGRAMMETRY, PLANS OF RECORD, INFORMATION FURNISHED BY THE RESPECTIVE UTILITY COMPANIES, AND OTHER AVAILABLE SOURCES. OVERHEAD WIRES DEPICTED HEREON ARE SHOWN FOR GENERAL LOCATION PURPOSES ONLY. ACTUAL WIDTH, TYPE, NUMBER, AND HEIGHT SHOULD BE FIELD VERIFIED PRIOR TO ANY SITE DESIGN WORK. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED. CALL DIGSAFE PRIOR TO EXCAVATION.

LOCUS TITLE INFORMATION

176 & 182 BROADWAY

OWNER: YIHE PATSY'S CORPORATION

DEED REFERENCE: L.C. CERT. NOS. 256117 & 256118

PLAN REFERENCE: L.C.C. 2878A & 2731B

ASSESSORS: MAP 90, BLOCK C, LOTS 2 & 3

SCALE: 1" = 10'

EXISTING:

| | |
|---------|-----------------------------|
| WV | WATER GATE |
| W.G. | GAS GATE |
| G.G. | TEST PIT |
| TP | STOCKADE |
| —P— | SEWER LINE |
| —S— | GAS LINE |
| —GAS— | DOMESTIC WATER LINE |
| —DOM— | FIRE SUPPRESSION LINE |
| —FIRE— | ELECTRIC, TEL. & CABLE LINE |
| —ETC— | DRAIN LINE |
| —D— | SPOT GRADE |
| + 16.38 | CONTOUR |
| —32— | TOP OF CURB, BOTTOM OF CURB |
| TC,BC | TOP OF WALL, BOTTOM OF WALL |
| TW,BW | INSPECTION PORT |
| INS P | CLEAN OUT |
| • CO | |

SANITARY SEWER: 8" PVC ASTM D3034-SDR 35.

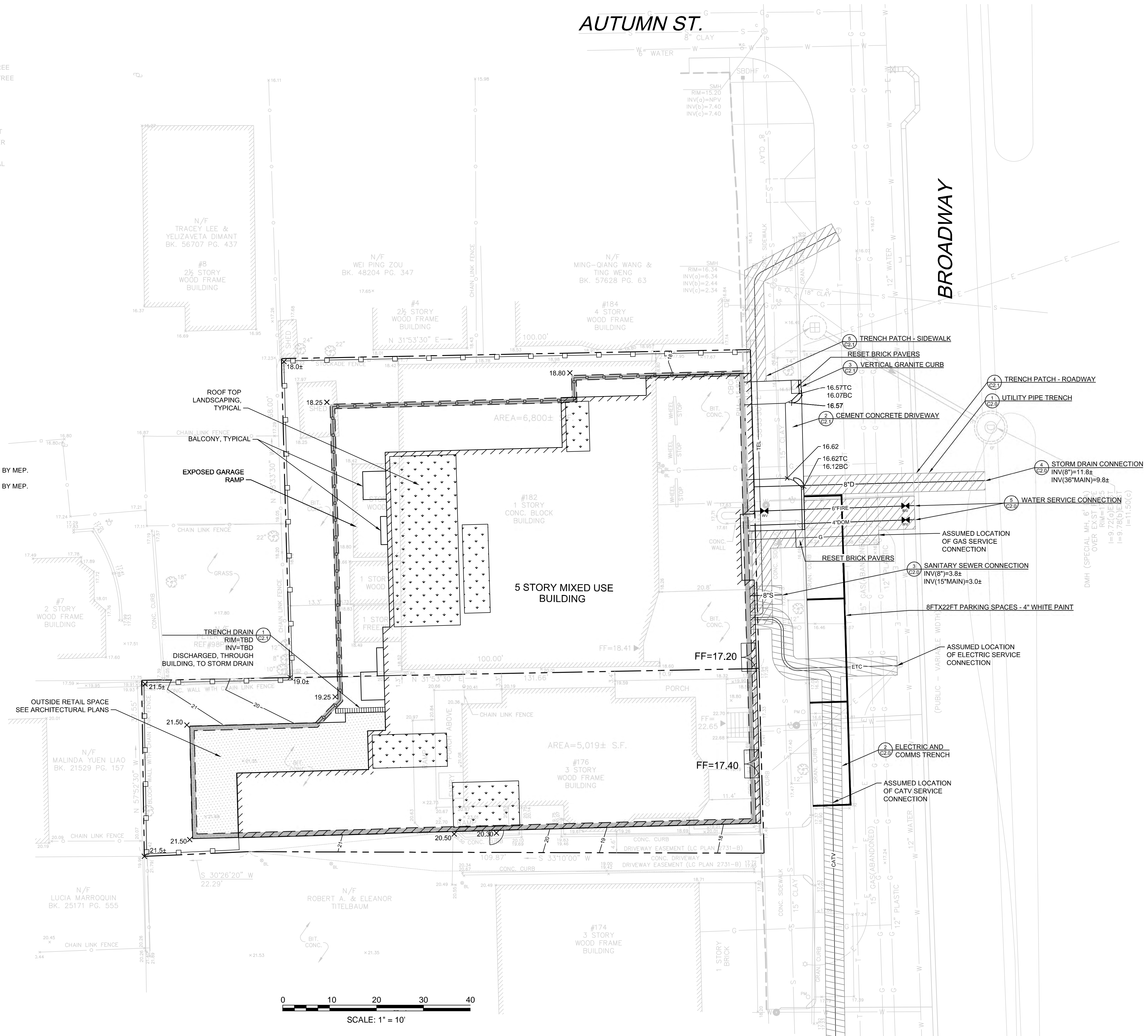
STORM DRAIN: 8" PVC SCHEDULE 40.

WATER: DOMESTIC: 4" CEMENT LINED DUC

FIRE: 6" CEMENT LINED DUCTILE IRON, CLASS 52, TO BE CONFIRMED BY MEP.

ALL LINES SHALL HAVE A MINIMUM OF 5 FEET

OF COVER.



NORTH



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PROJECT TEAM

180 BROADWAY
RESIDENCES

5-STORY, 26-UNITS+RETAIL
176-184 BROADWAY
SOMERVILLE, MA

PROJECT INFO

[illegible]

| REV | DESCRIPTION | DATE |
|-----|-------------|------|
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STAMP:

SITE, UTILITY & GRADING PLAN

SHEET NAME:

C1.0

SHT NO.

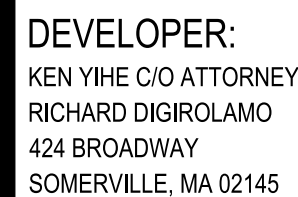
DR BY: RB

CHK BY: ES

PROJ NO: 2017-081

DATE: SEPTEMBER 6, 2017

SCALE: 1"=10'



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BASEMENT PLAN

SHEET NAME:

C1.1

SHT NO

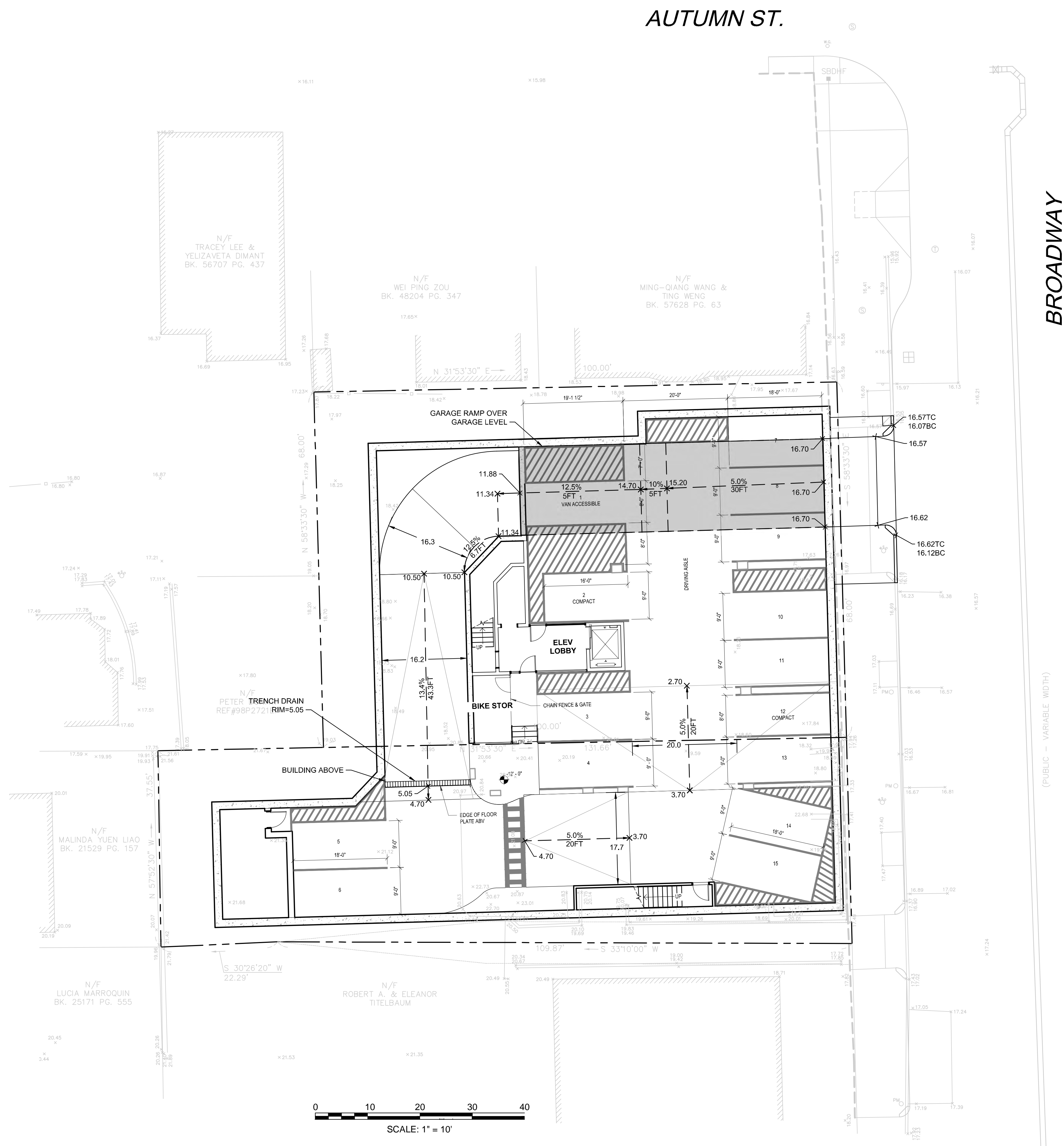
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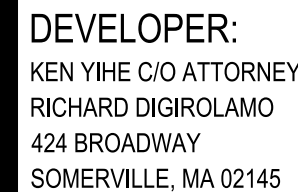
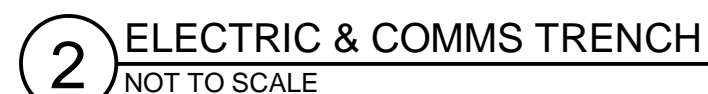
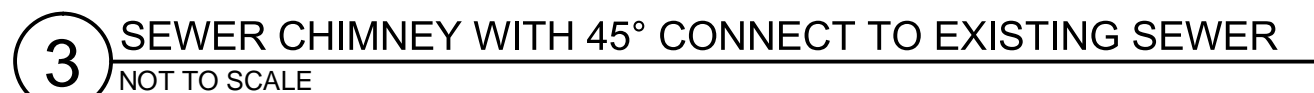
SCALE: 1"=10'



ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO THE STANDARDS OF THE CITY OF SOMERVILLE DEPT. OF PUBLIC WORKS AND ANY OTHER AGENCY WITH AUTHORITY IN THIS AREA.

AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.

1. THE LOCATION OF AND SIZE OF BURIED UTILITIES ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY BY DESIGN CONSULTANTS INC., PLANS OF RECORD & PLANS FOR RESPECTIVE UTILITY COMPANIES.
2. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET ROW, OR ON ABUTTING LOTS.
3. CONTACT DIG-SAFE AT 1-888-344-7233 OR 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO EXCAVATION. THE CITY OF SOMERVILLE MUNICIPAL UTILITIES (WATER, SEWER, & DRAIN) ARE PART OF DIG-SAFE.
4. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
5. ALL EXISTING UTILITY SERVICE CONNECTIONS SHALL BE ABANDONED UNLESS NOTED OTHERWISE. CUTTING AND CAPPING OF DESIGNATED WATER AND SEWER SERVICES SHALL OCCUR AT THE MAIN IN THE STREET, BY THE CONTRACTOR, IN ACCORDANCE WITH THE CITY OF SOMERVILLE STANDARDS. THE PROPOSED GAS, ELECTRIC AND/OR CATV INSTALLATION AND ABANDONMENT OF EXISTING CONNECTIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE COMPANIES.
6. FINAL DEMARCATION POINTS FOR GAS, ELECTRIC, TELEPHONE, AND COMMUNICATION SERVICE ENTRANCES ARE SUBJECT TO APPROVALS OF EACH PROVIDER.
7. ALL UTILITIES SHOWN ON THIS SITE ARE TO THE EXTERIOR OF THE BUILDING FOUNDATION ONLY. UTILITIES THROUGH THE FOUNDATION AND INSIDE THE BUILDING ARE THE RESPONSIBILITY OF THE MECHANICAL ENGINEER. SEE MECHANICAL ENGINEERING PLANS.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND RECORDING THE EXACT LOCATION OF ALL PROPOSED UTILITY CONNECTIONS.
9. NEW WATER SERVICES MUST BE LEFT SHUT OFF AT THE MAIN ON THE STREET UNTIL ACTIVATED BY CITY OF SOMERVILLE.
10. TEST PITS SHALL BE REQUIRED TO DETERMINE SUBSURFACE SOILS AND ESTABLISH MEAN HIGH GROUNDWATER ELEVATION PRIOR TO ORDERING AND INSTALLATION OF STORMWATER MANAGEMENT SYSTEM COMPONENTS. ADJUSTMENTS TO SYSTEM MAY BE REQUIRED PER TEST RESULTS.
11. THE CONTRACTOR SHALL SUPPLY ALL PIPING FOR THE UTILITY SERVICES AND SHALL SUPPLY ALL ASSOCIATED APPURTENANCES, FITTING AND VALVES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL PERFORM ALL WET AND DRY TAPS AS PART OF HIS/HER CONTRACT.
12. CITY OF SOMERVILLE RESERVES THE RIGHT TO INSPECT ALL FACILITIES DISCHARGING TO THE CITY OF SOMERVILLE DRAIN AND SEWER SYSTEMS. A DYE TEST SHALL BE PERFORMED PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT.
13. PRIOR TO CONSTRUCTION OF NEW SANITARY SEWER AND STORM DRAIN LINES, CONTRACTOR SHALL PERFORM TEST PITS AT LOCATIONS OF EXISTING LATERAL CONNECTIONS FOR SANITARY SEWER AND STORM DRAINS TO CONFIRM INVERTS OF LATERALS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER IMMEDIATELY.
14. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION SHALL BE FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
15. TRENCH AREAS FOR THE CONSTRUCTION OF THE UNDERGROUND UTILITIES ARE TO BE REPATCHED WITH SAME MATERIAL AT THE SAME DEPTH AS THE EXISTING MATERIAL. THE AREAS OF TRENCHING SHALL BE NEATLY SAW-CUT AND THE NEW PATCHING MATERIAL SHALL BE PROPERLY SEALED IN ACCORDANCE WITH THE CITY OF SOMERVILLE MUNICIPAL STANDARDS.
16. DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST CAVE-IN.
17. NO TRENCHES ARE ALLOWED TO REMAIN OPEN OVERNIGHT. ALL TRENCHES SHALL BE BACKFILLED AT THE END OF THE WORK DAY OR COVERED WITH STEEL PLATES PER 520 CMR 14.00 EXCAVATION AND TRENCH SAFETY. IF STEEL PLATES ARE USED, THE TOTAL LENGTH OF PLATES IN THE TRAVELED WAY SHALL LIMITED TO 50'.



PROJECT TEAM

PROJECT INFO

[illegible]**PERMIT SET**

SHEET NAME:

SHT NO:

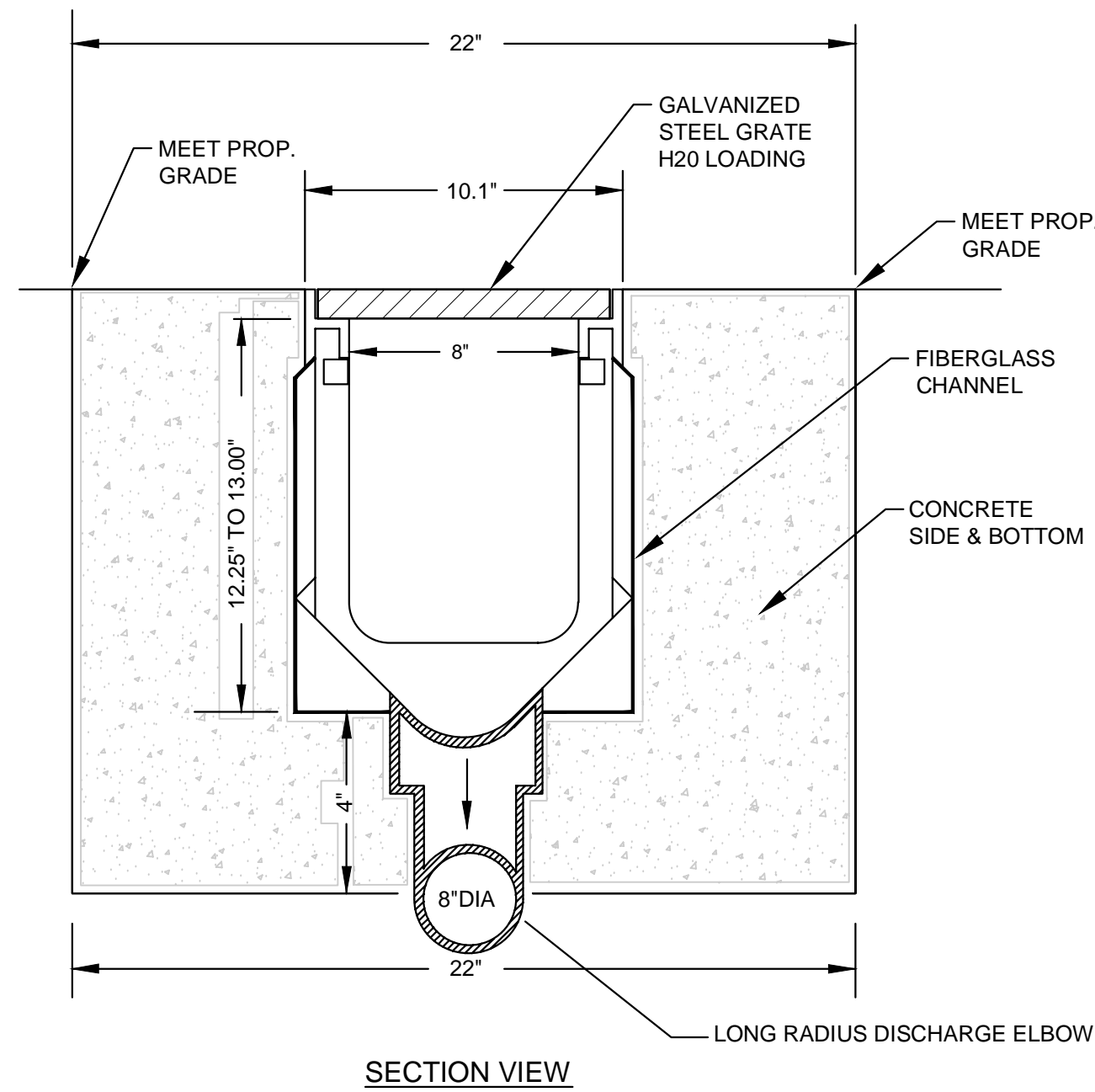
DR BY: RB

CHK BY: ES

PROJ NO: 2017-081

DATE: SEPTEMBER 6, 2017

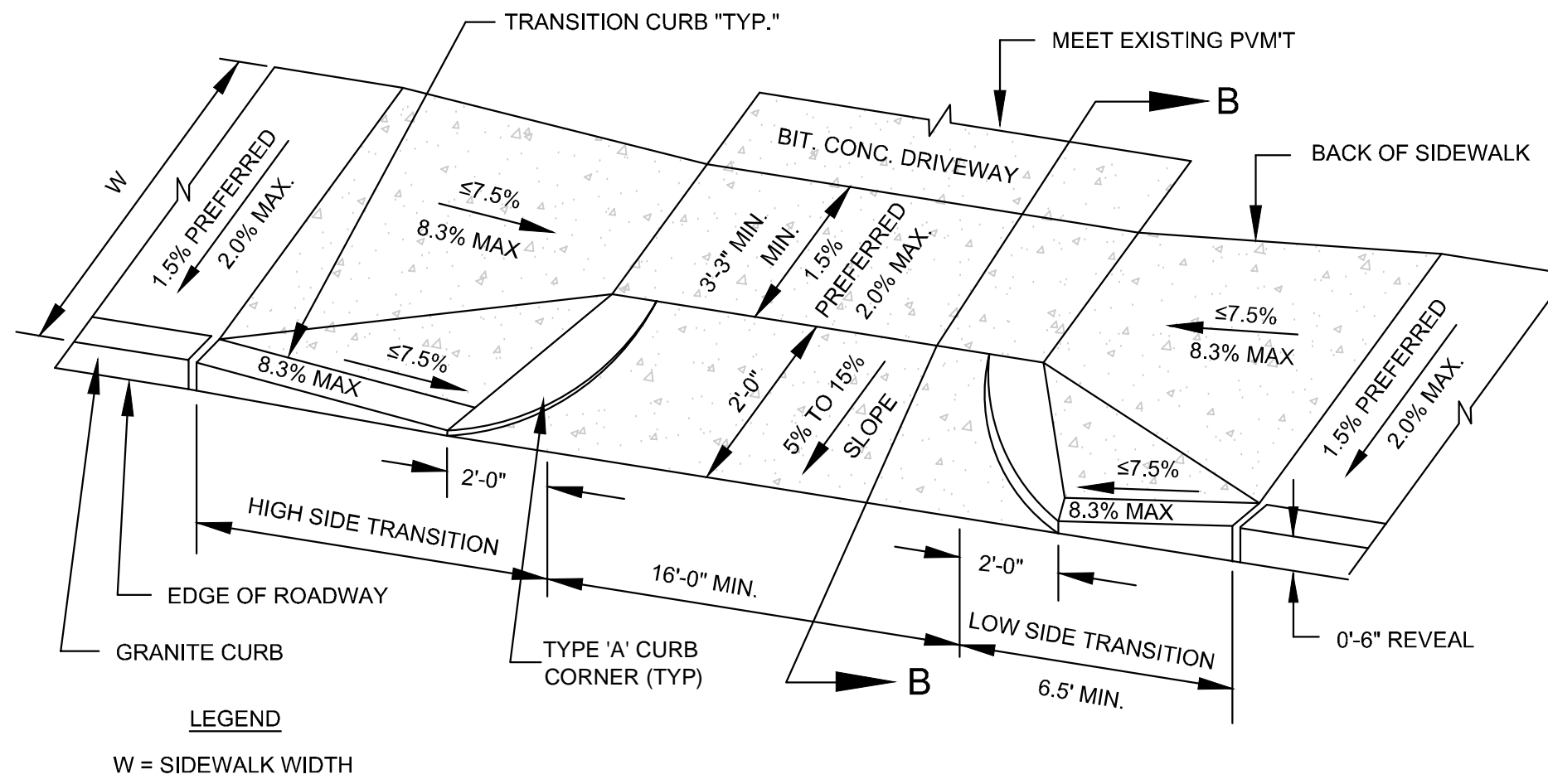
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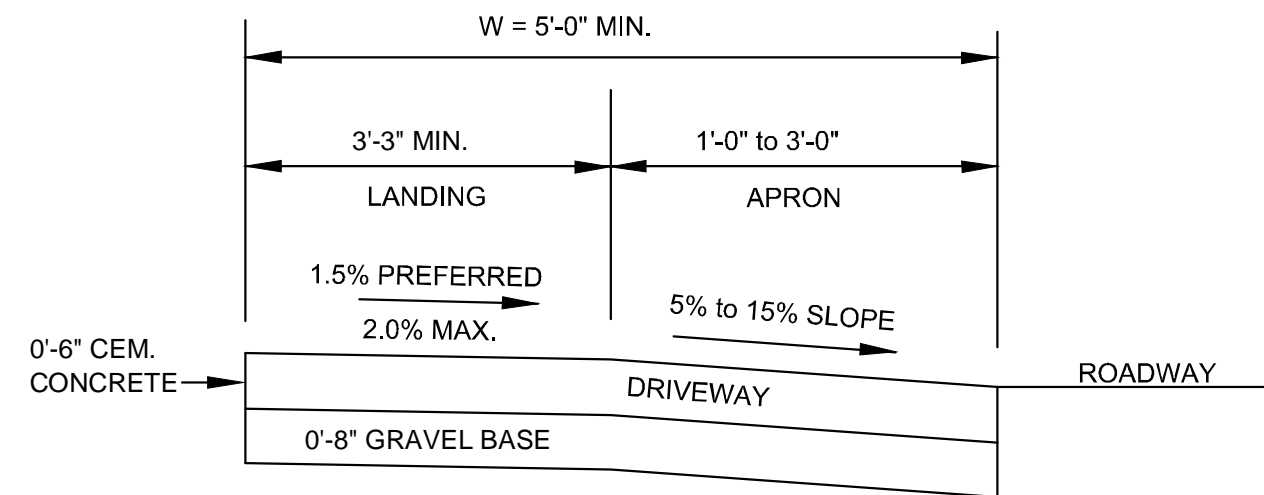
NOTE

MANUFACTURE BY JAY R. SMITH DRAINAGE SYSTEM
CHANNEL NO. 9812-810
WITH LONGITUDINAL TRENCH SLOPE = 1.04%
& 8" BOTTOM OUTLET

1 TRENCH DRAIN
NOT TO SCALE

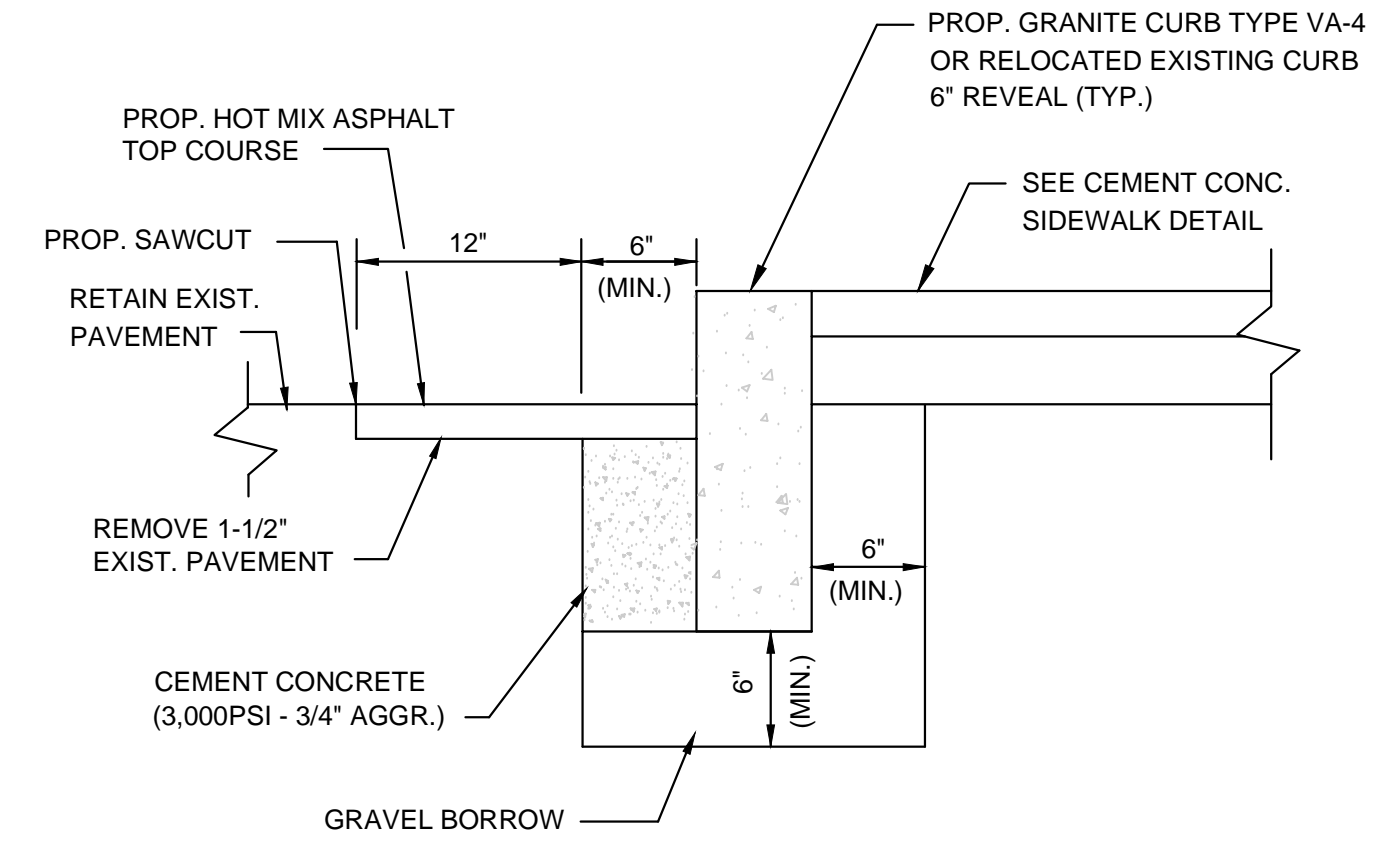


LEGEND
W = SIDEWALK WIDTH

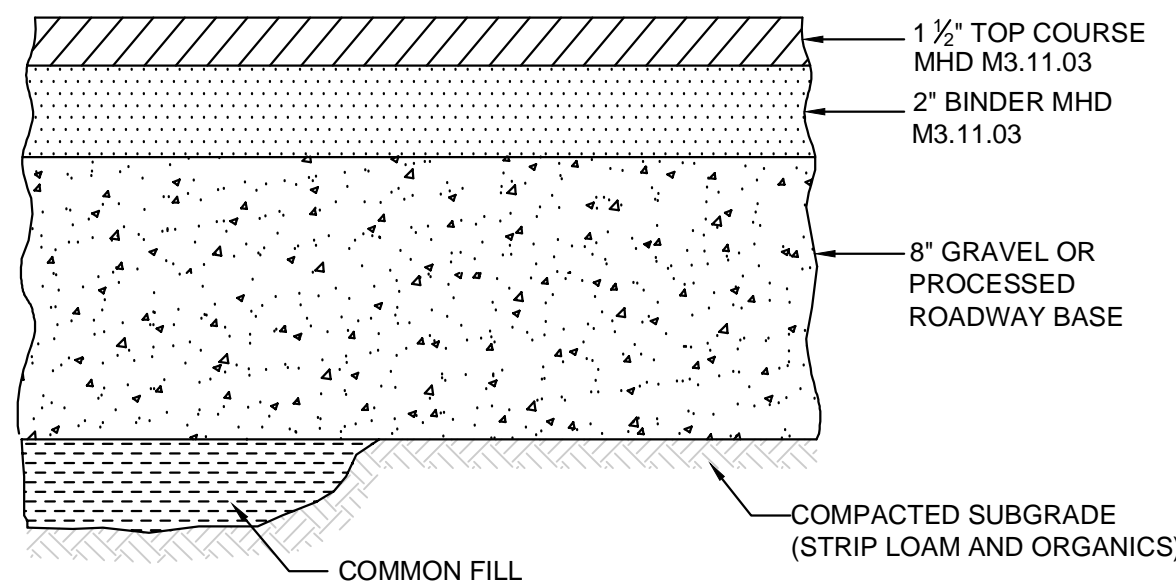


SECTION B-B

2 DRIVEWAYS - 5 FT MIN. SIDEWALK - 2 FT CURB CORNERS
NOT TO SCALE



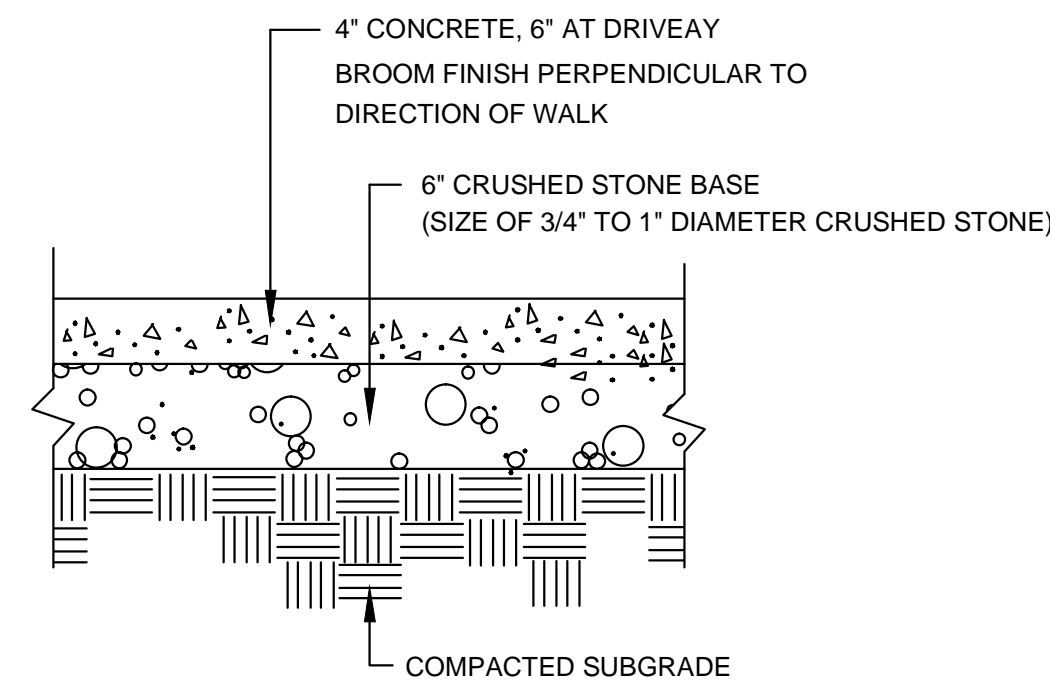
3 VERTICAL GRANITE CURB
NOT TO SCALE



NOTE:

- SEE SITE LAYOUT PLAN FOR PAVEMENT WIDTH AND LOCATION.
- SEE GRADING, DRAINAGE AND EROSION CONTROL PLANS FOR PAVEMENT SLOPE AND CROSS-SLOPE.

4 TRENCH PATCH - ROADWAY
NOT TO SCALE



NOTES:

- PROVIDE 1/2" CONSTRUCTION CONTROL JOINT WITH PREFORMED EXPANSION MATERIAL EVERY 20'-0" O.C. MAX.
- PROVIDE A TOOLED DUMMY JOINT 1/2"W x 1/2"D AS NEEDED TO PROVIDE SYMMETRY.

5 TRENCH PATCH - SIDEWALK
NOT TO SCALE



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ARCHITECT:
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PROJECT INFO

REV DESCRIPTION DATE



STAMP:

DETAILS II

PERMIT SET

SHEET NAME:

C2.1

SHT NO:

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CHK BY: EC

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DATE: SEPTEMBER 6, 2017

SCALE: N.T.S.



Virgin's Bower Vine



Arrowwood Viburnum



Clethra Alnifoliaed



Japanese



Blue Holly



Panicle Hydrangea



Fastigate Sweet Gum



Horizontal Board Fence



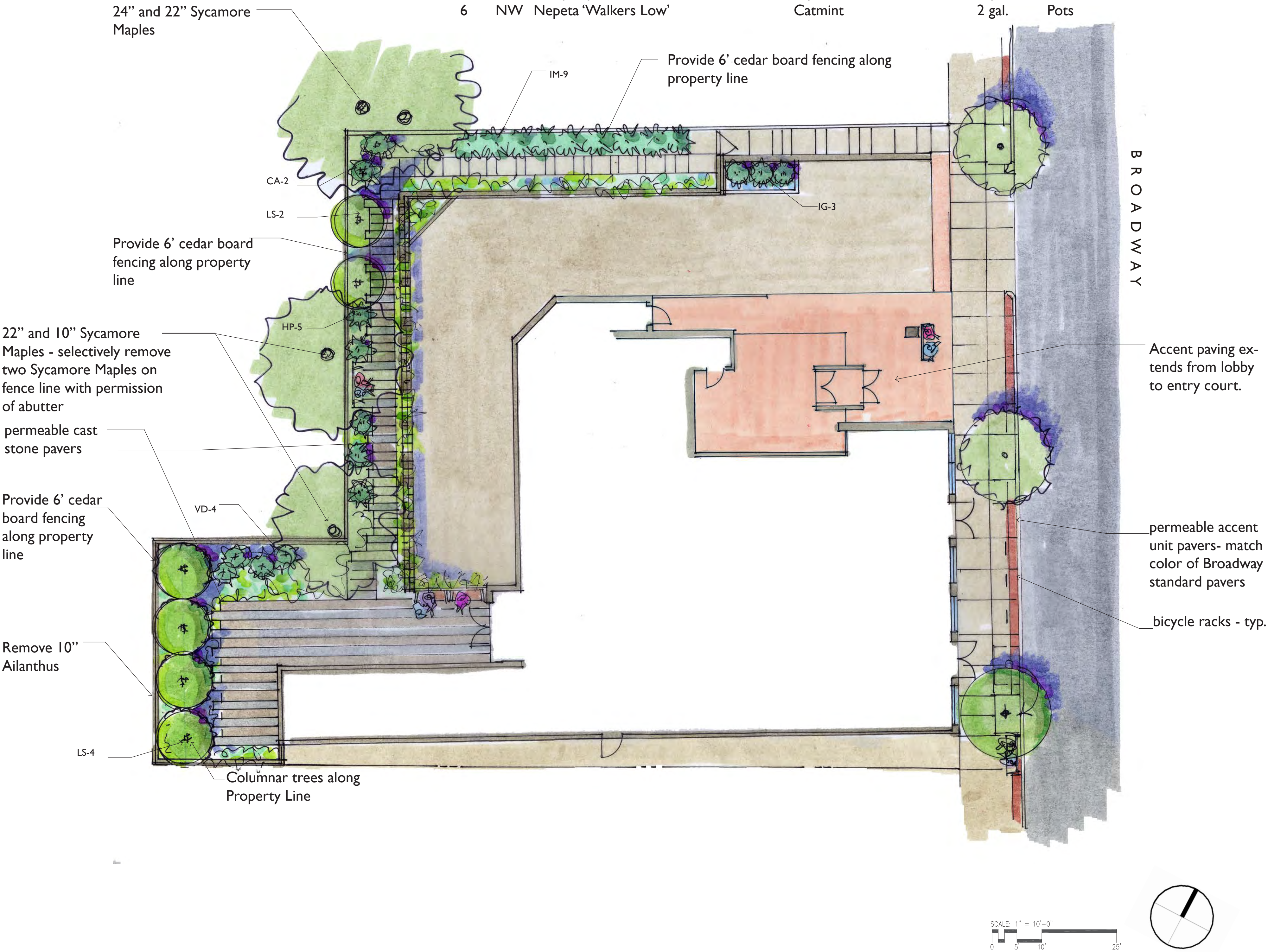
Variegated Sedge



Hachonachloa

PROPOSED PLANT LIST

| Trees: | | | | | |
|-------------|-----|---|-----------------------------|---------|-----------------|
| 6 | LS | Liquidambar styraciflua 'Slender Silhouette'Fastigiata Sweetgum | | | 3.5"-4"cal. B&B |
| Shrubs: | | | | | |
| 8 | CMR | Clematis 'Montana Rubens' | Pink Montana Clematis | 2 gal. | Pots |
| 8 | CV | Clematis virginiana | Virgins Bower Clematis | 2 gal. | Pots |
| 2 | CA | Clethra alnifolia | Summersweet | 5 gal. | Pots |
| 5 | HP | Hydrangea paniculata 'Grandiflora' | Panicle Hydrangea | 48" ht. | |
| 3 | IG | Ilex glabra 'Shamrock' | Shamrock Inberry | 24" ht. | Pots |
| 9 | IM | Ilex meservea 'Blue Girl' | Blue Holly (provide 1 male) | 5 gal. | 36-42" |
| 4 | VD | Viburnum dentatum | Arrowwood Viburnum | 4-5' | B&B |
| Perennials: | | | | | |
| 25 | JPF | Athyrium niponicum 'Pictum' | Japanese Painted Fern | 1 gal. | Pots |
| 75 | CID | Carex morrowii 'Ice Dance' | Variegated Sedge | 1 gal. | Pots |
| 50 | GM | Geranium macrorrhizum 'Bevan's Variety' | Bevans Geranium | 1 gal. | Pots |
| 40 | HMA | Hakonochloa macra 'Aureola' | Japanese Forest Grass | | |
| 100 | LS | Liriope spicata | Lilyturf | 1 gal. | Pots |
| 6 | NW | Nepeta 'Walkers Low' | Catmint | 2 gal. | Pots |





Ipe Wood Pavers



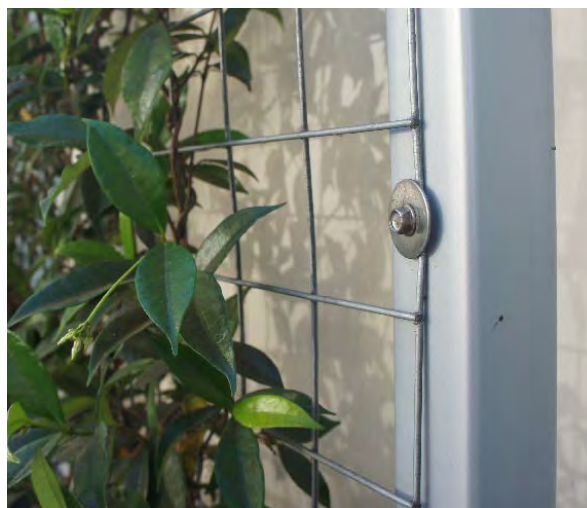
Concrete Pedestal pavers



Catmint



Roofdeck Patio



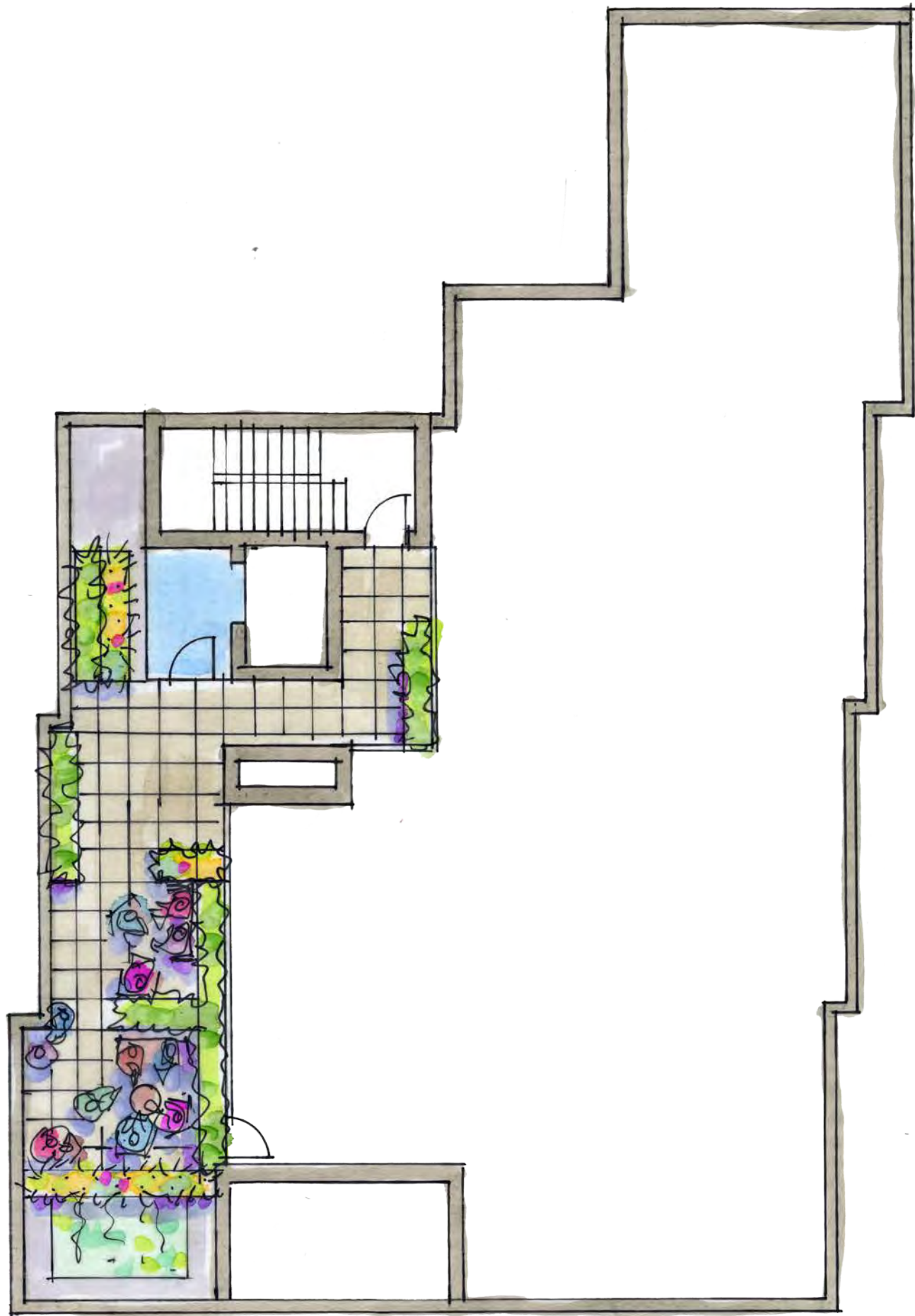
Rectangular Planters with Green Screens and Wind Attenuating Screens



Extensive Greenroof



Extensive Greenroof



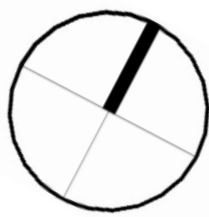
Roofdeck Plan

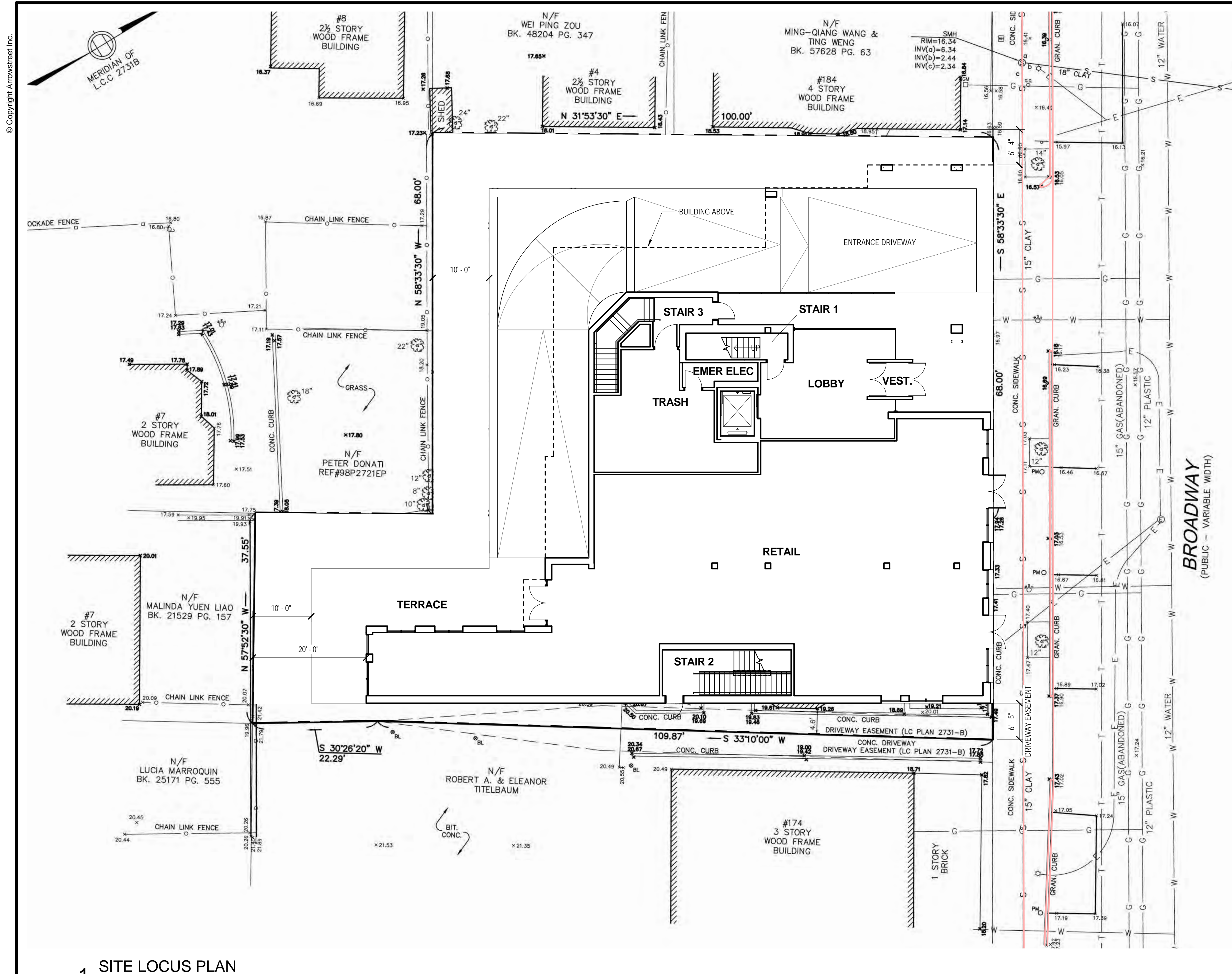


4th Floor Plan

Precast concrete or wood pedestal pavers

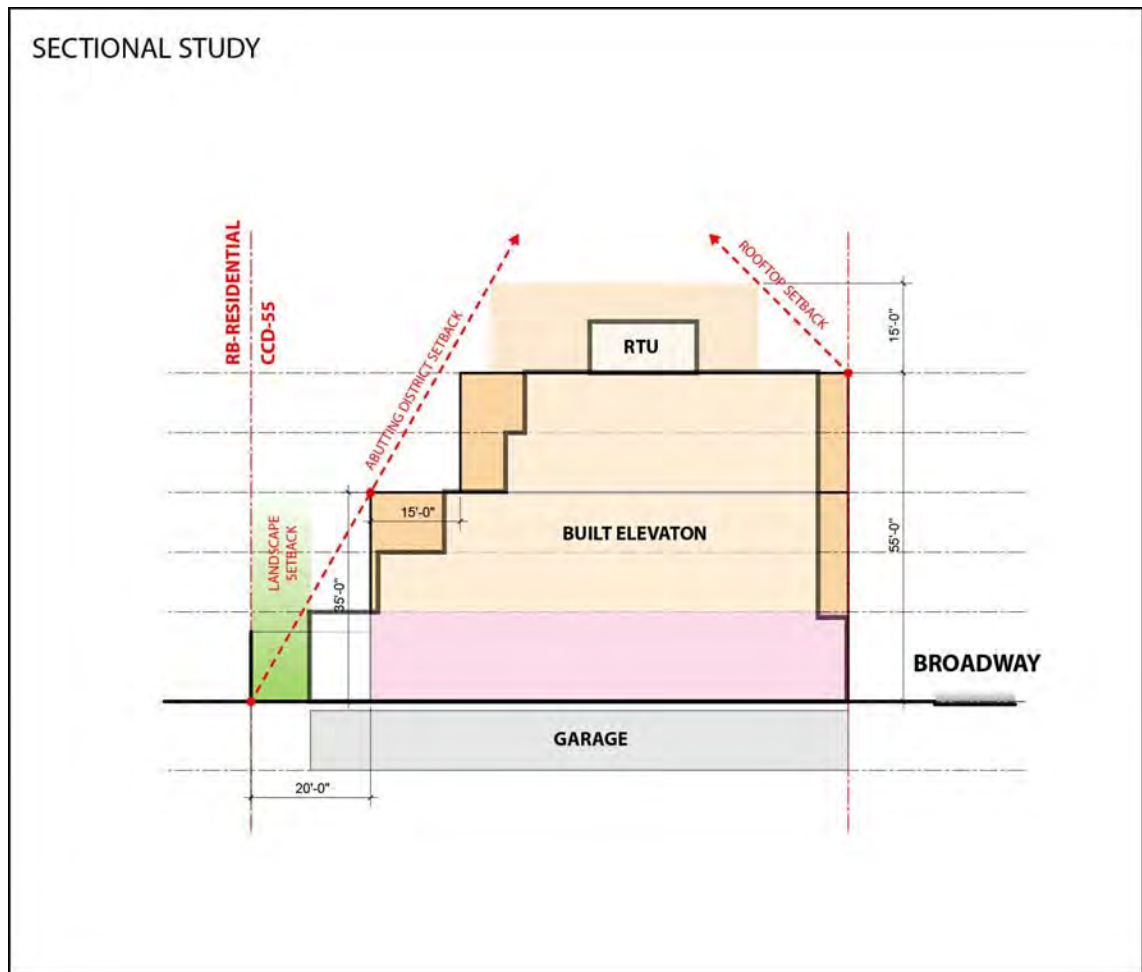
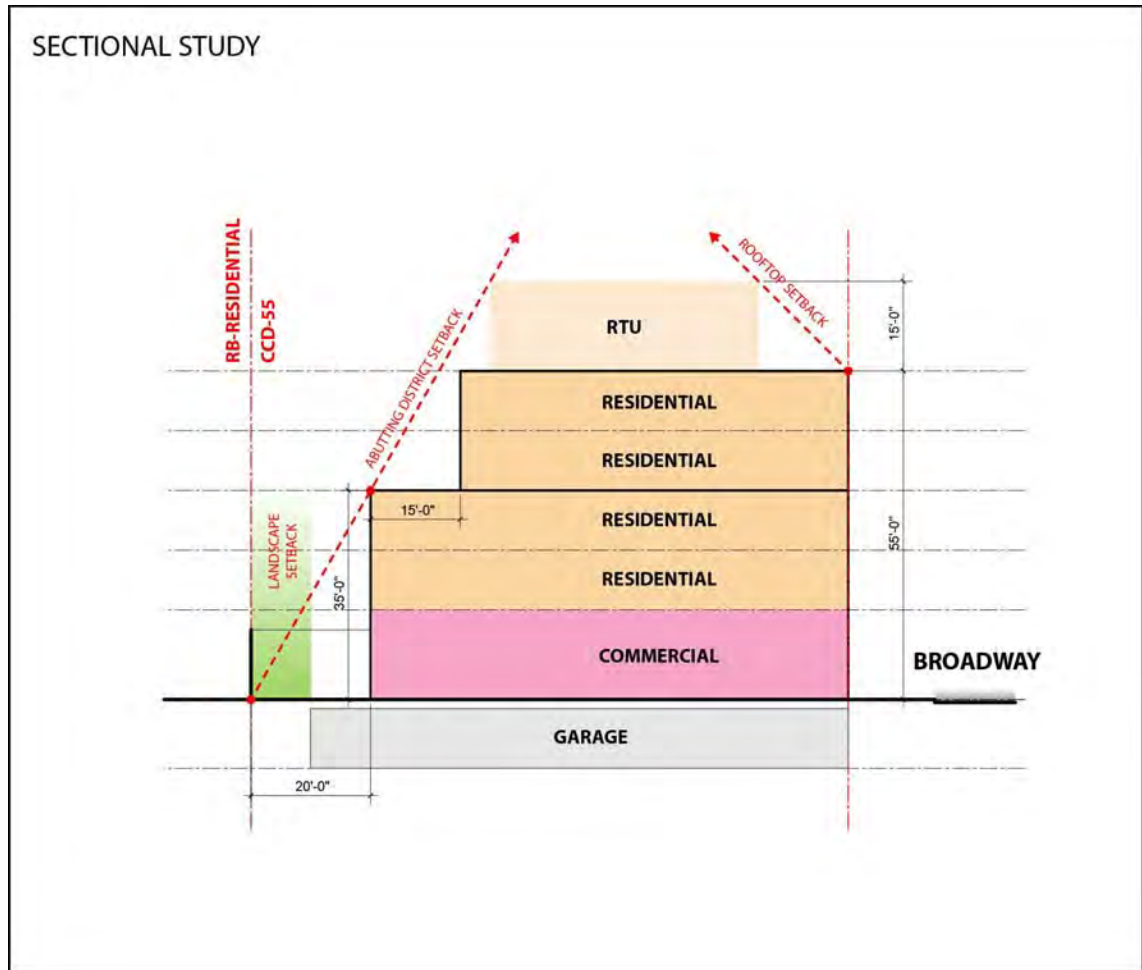
SCALE: 1" = 10'-0"





1 SITE LOCUS PLAN
3/32" = 1'-0"

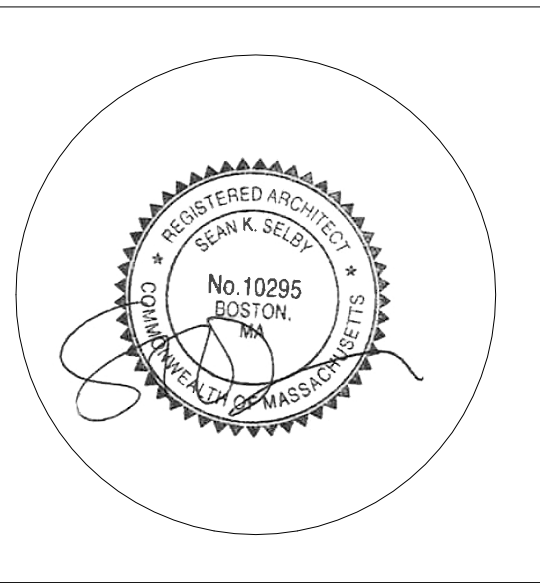
| ZONING REQUIREMENTS TABLE | | Allowed | Provided |
|---------------------------|--------------------------------|--|--|
| Site Summary | Zone CCD-55 (Assessor Lot #90) | | |
| | Lot Size | 11,778 s.f. | |
| | Floor Area Ratio (FAR) | 3.0 FAR | 2.43 FAR |
| | Maximum Buildable Area | 11,778 sf x 3.0 (FAR) = 35,334 sf | 28,667 (Gross Area) |
| | Height | 55 feet | 55 feet |
| | Setbacks | Front: N/A Side: N/A Rear: Required 20 ft. along lot line abutting Zone RB-6 First 10 ft of rear setback vegetative landscaping | 0 ft 5.4 ft (left) and 5 ft (right) 20 feet |
| Residential Use Summary | Minimum Lot per Dwelling Unit | 800 sf (10 or more units) | |
| | Residential Unit Count | 11,778 sf ÷ 800 sf/DU = 19.63 DU allowed | 26 Dwelling Units 10 Studios/ 10 1-bed/ 6 2-bed |
| Commercial Use Summary | Commercial Area | N/A | |
| | | | 3,339 sf |
| Parking | Residential Parking | 1/Dwelling Unit (in CCD-55) = 26 Spaces | 15 Residential Parking Spaces |
| | Commercial Parking | 1 per 1,500 n.s.f. for small retail (< 1,500 s.f.) = 2 Spaces 1 per 400 n.s.f. for eating and drinking | 0 Commercial Parking Space |
| | Parking Space Dimensions | 9 ft x 18 ft (Regular) 20% of parking spaces may be compact (8 ft x 16 ft) = 3 Spaces | 12 of 15 Residential Spaces Regular Size 3 of 15 Residential Spaces Compact |
| Bicycle Parking | Residential Bike Storage | 1 per 2 Dwelling Units = 13 Bike Spaces | 13 Residential Bike Spaces |
| | Commercial Bike Storage | 1 per 6,000 n.s.f. for small retail 1 per 3,000 n.s.f. for eating and drinking establishments | 1 Commercial Bike Space |



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176 - 182 BROADWAY
SOMERVILLE, MA
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BUILDING PROPOSAL



ARROWSTREET ARCHITECTURE & DESIGN

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Project Number 17015
Author EB
Checker SS
Issue date 09/06/2017

| No. | Date | Description |
|-----|------|-------------|
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| | | |

Drawing Title

SITE PLAN & LOCUS

SCALE As indicated

Drawing Number

A1.01

176 - 182 BROADWAY
SOMERVILLE, MA
02145

BUILDING PROPOSAL

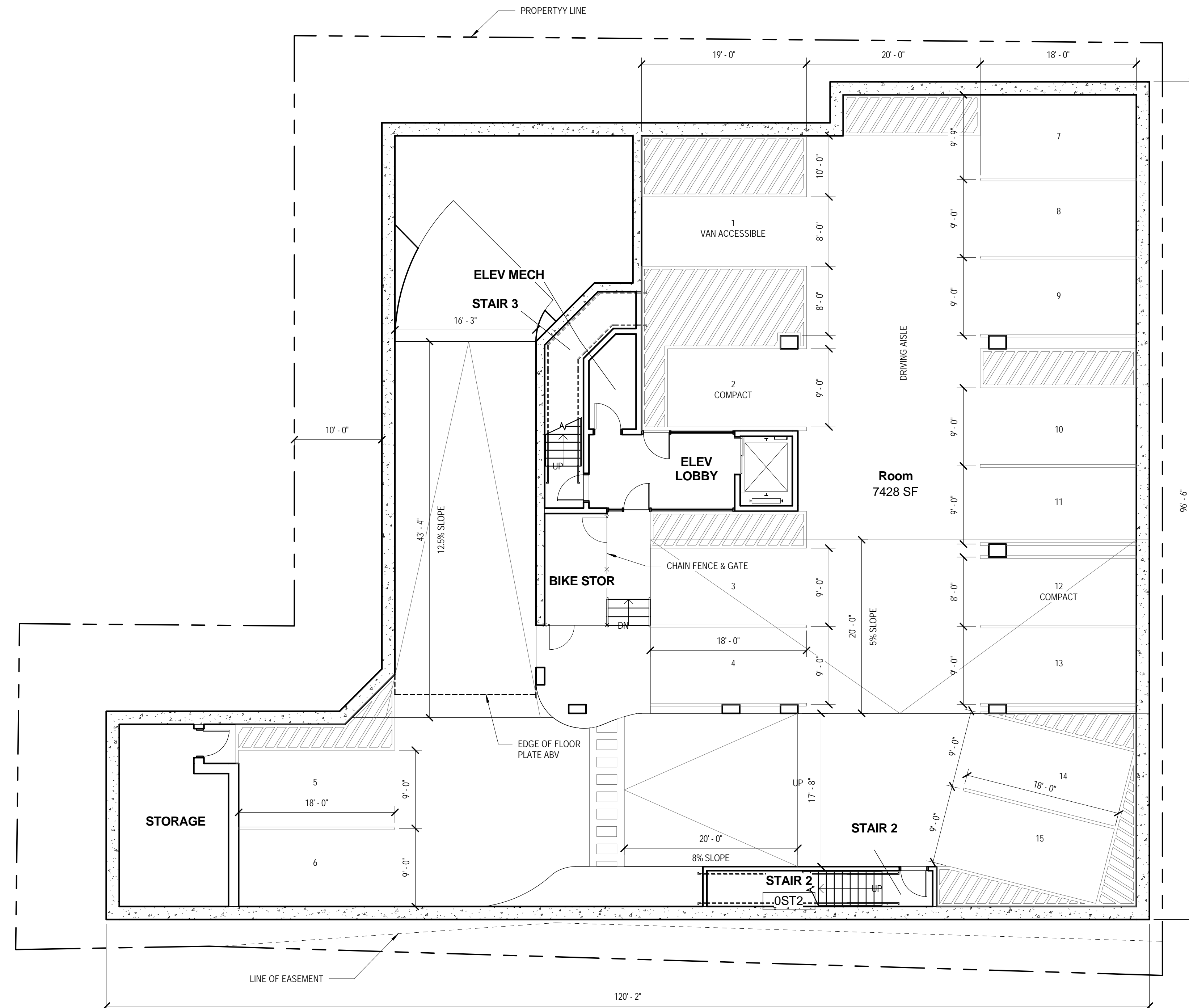


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| Checker | SS |
| Issue date | 09/06/2017 |

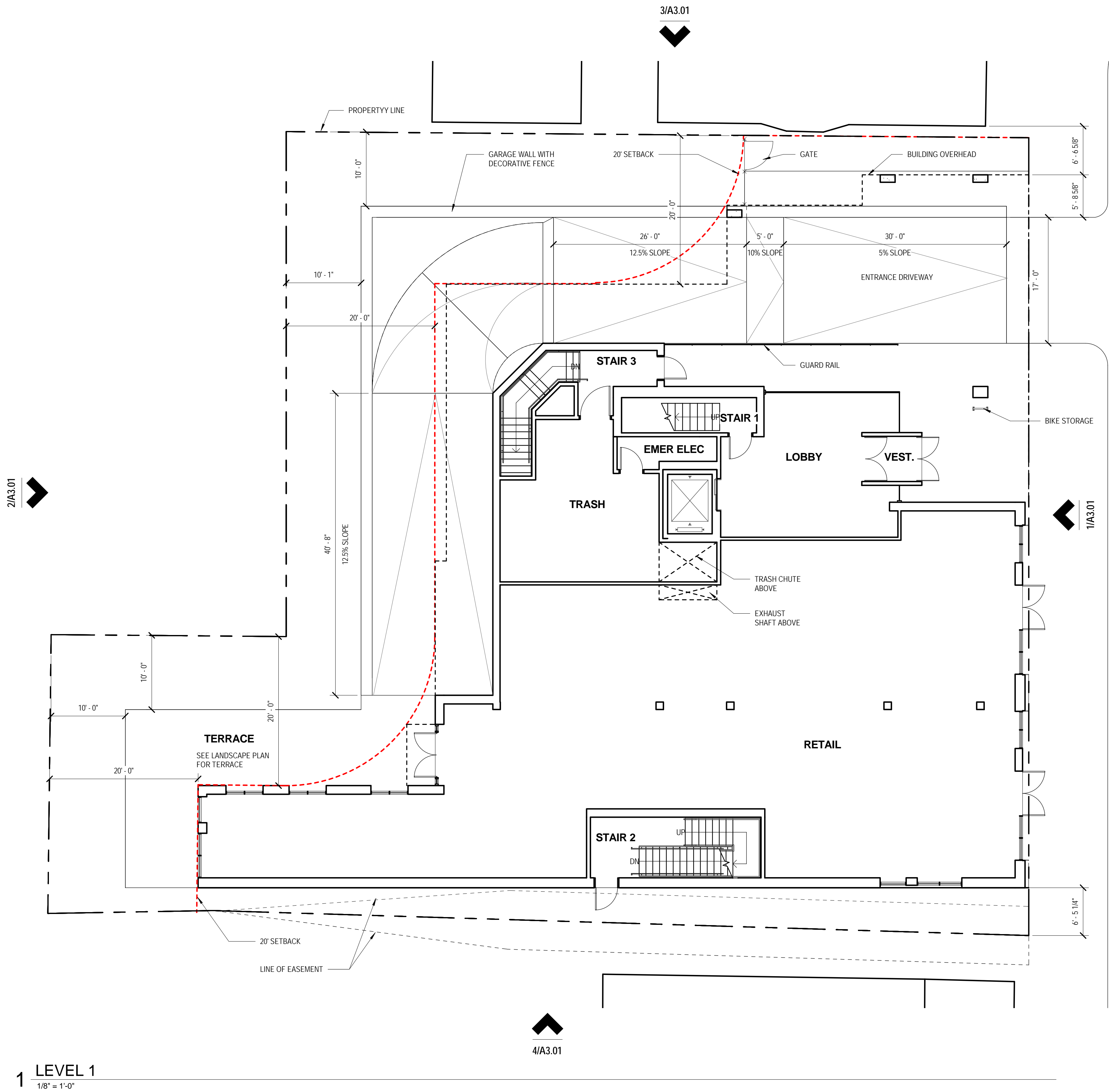
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FLOOR PLAN - BASEMENT

A2.11



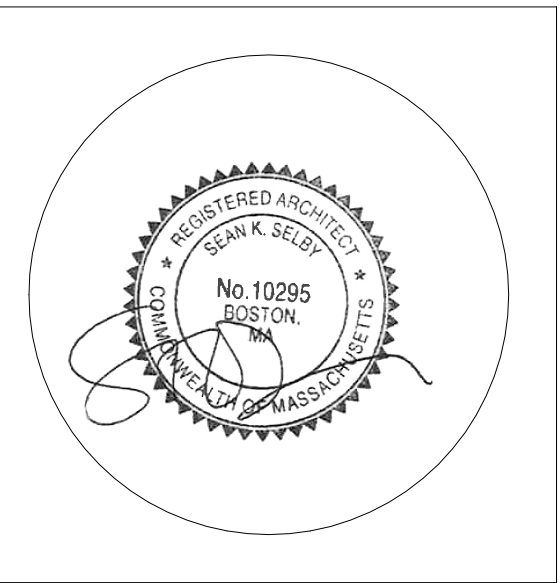
2 BASEMENT



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| Revisions | | |
|-----------|------|-------------|
| No. | Date | Description |
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Drawing Title

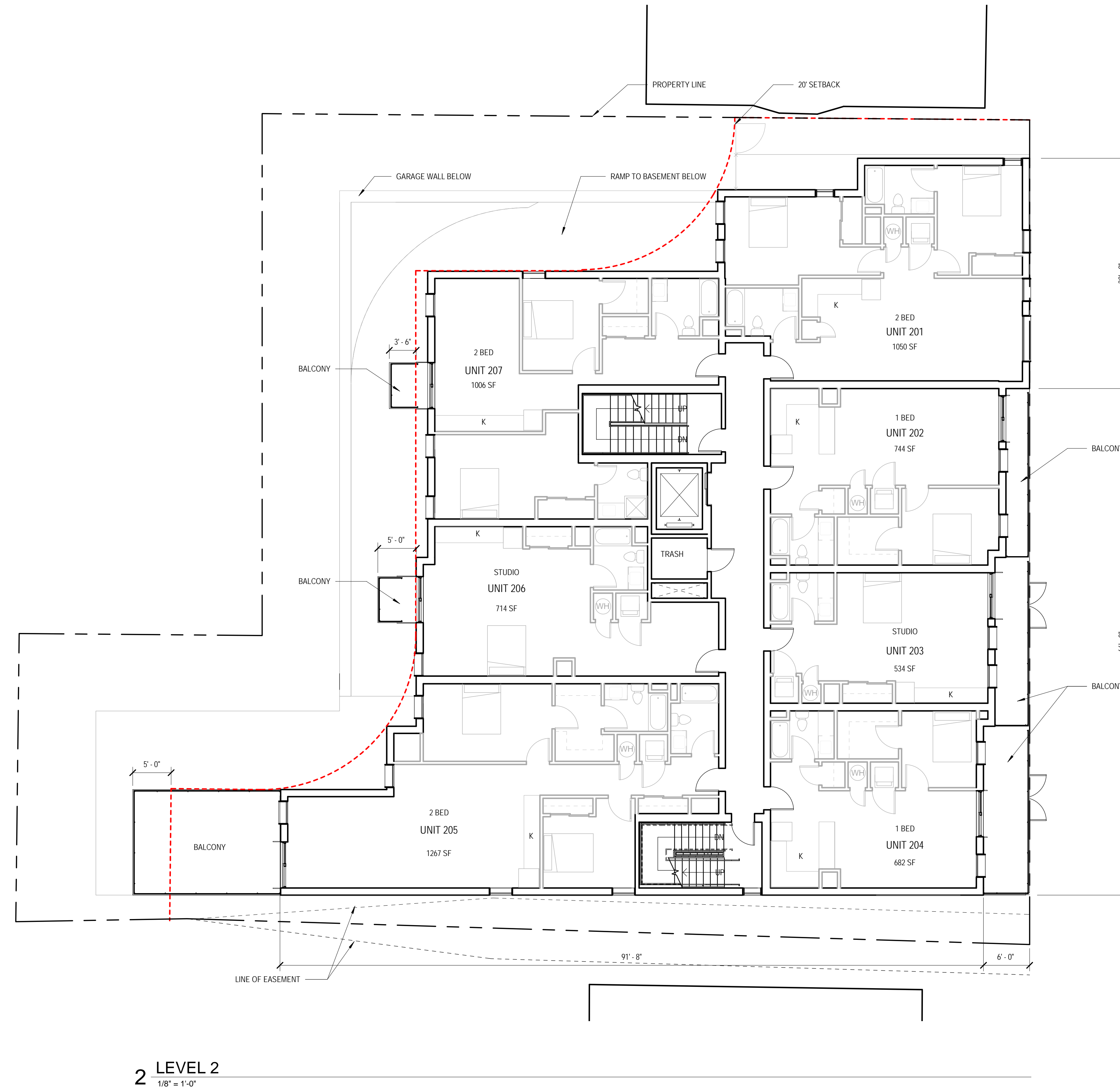
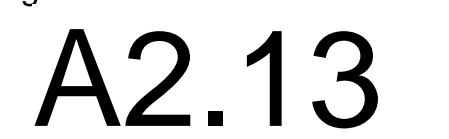
FLOOR PLAN - LEVEL 1

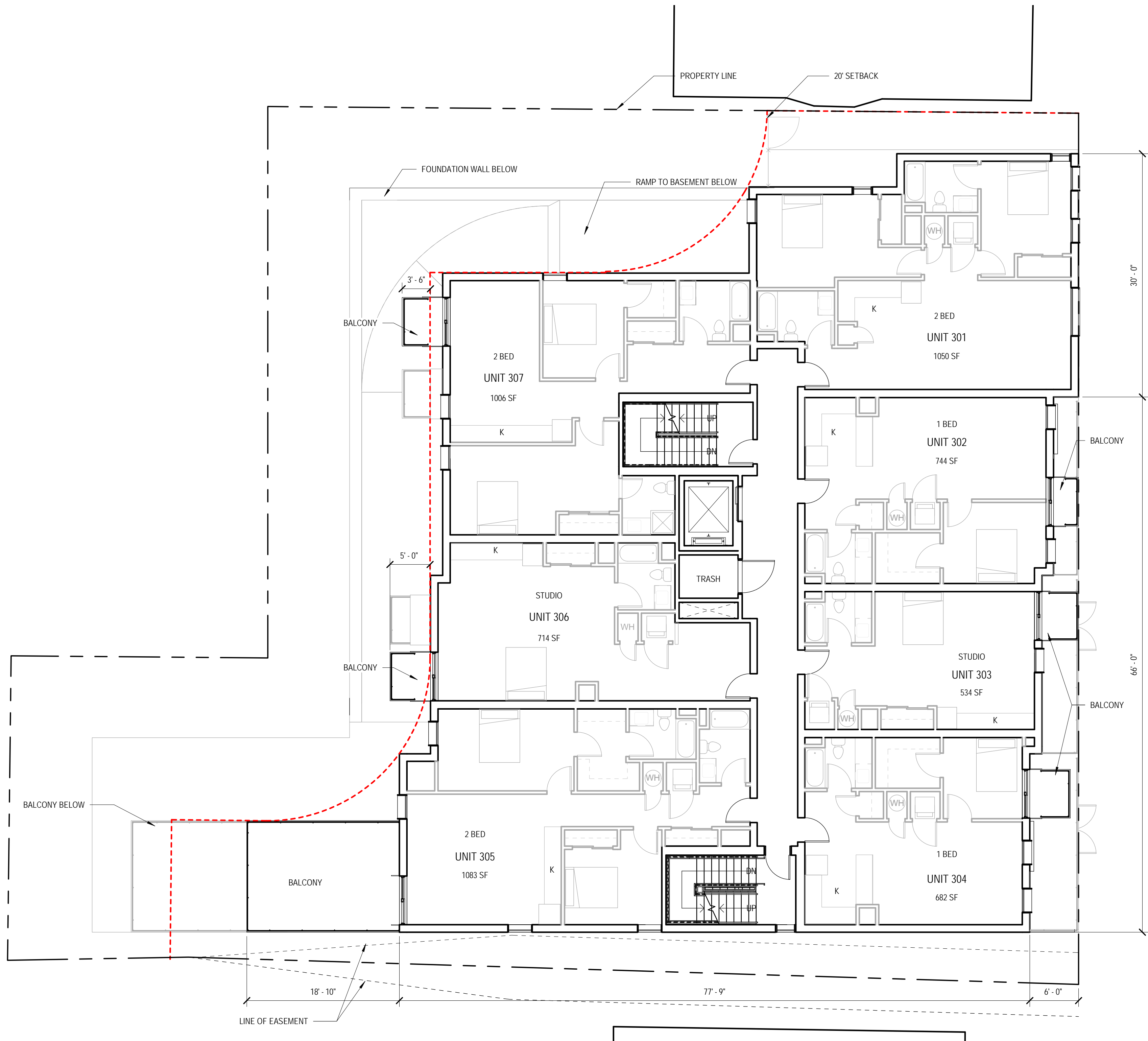
SCALE 1/8" = 1'-0"

Drawing Number

A2.12

BUILDING PROPOSAL



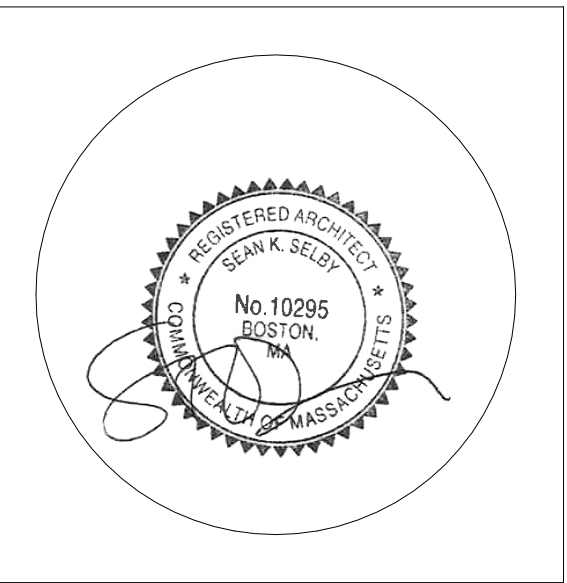


1 LEVEL 3
1/8" = 1'-0"

180 Broadway Residences

176 - 182 BROADWAY
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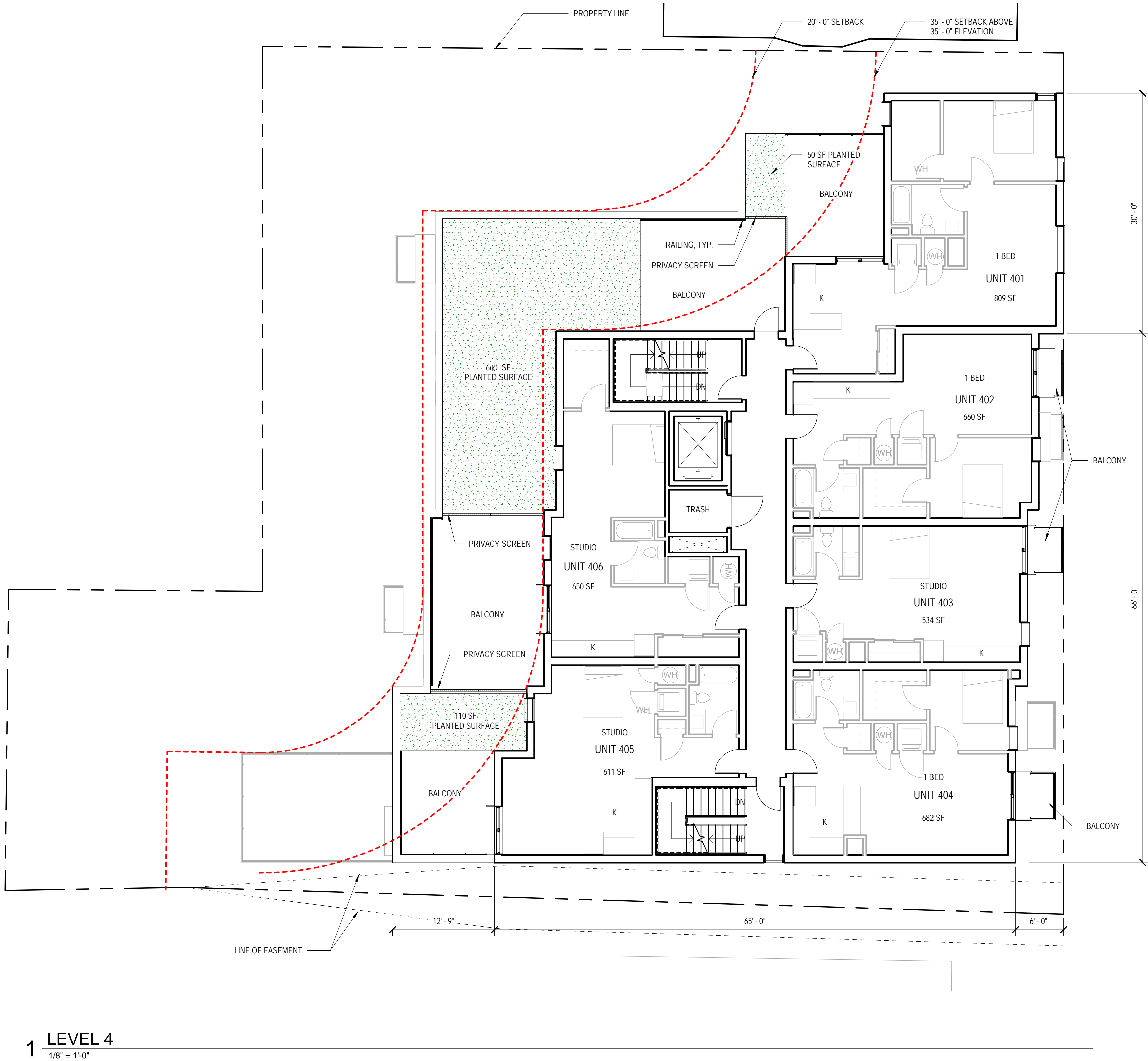
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| Project Number | 17015 |
| Author | HK |
| Checker | SS |
| Issue date | 09/06/2017 |

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Drawing Title
**FLOOR PLAN -
LEVEL 3**

SCALE 1/8" = 1'-0"

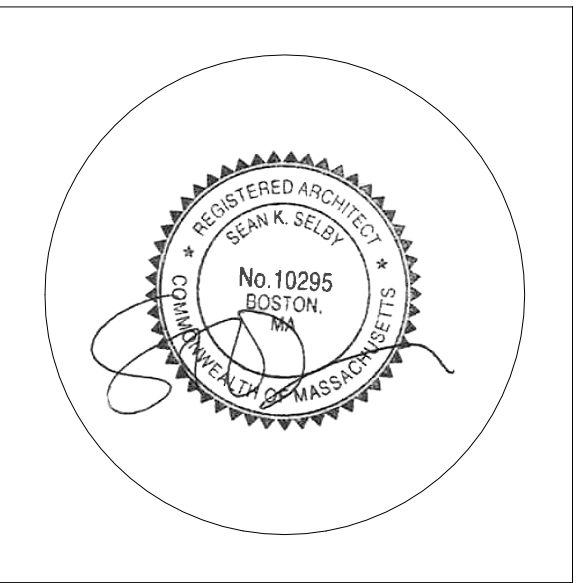
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A2.14



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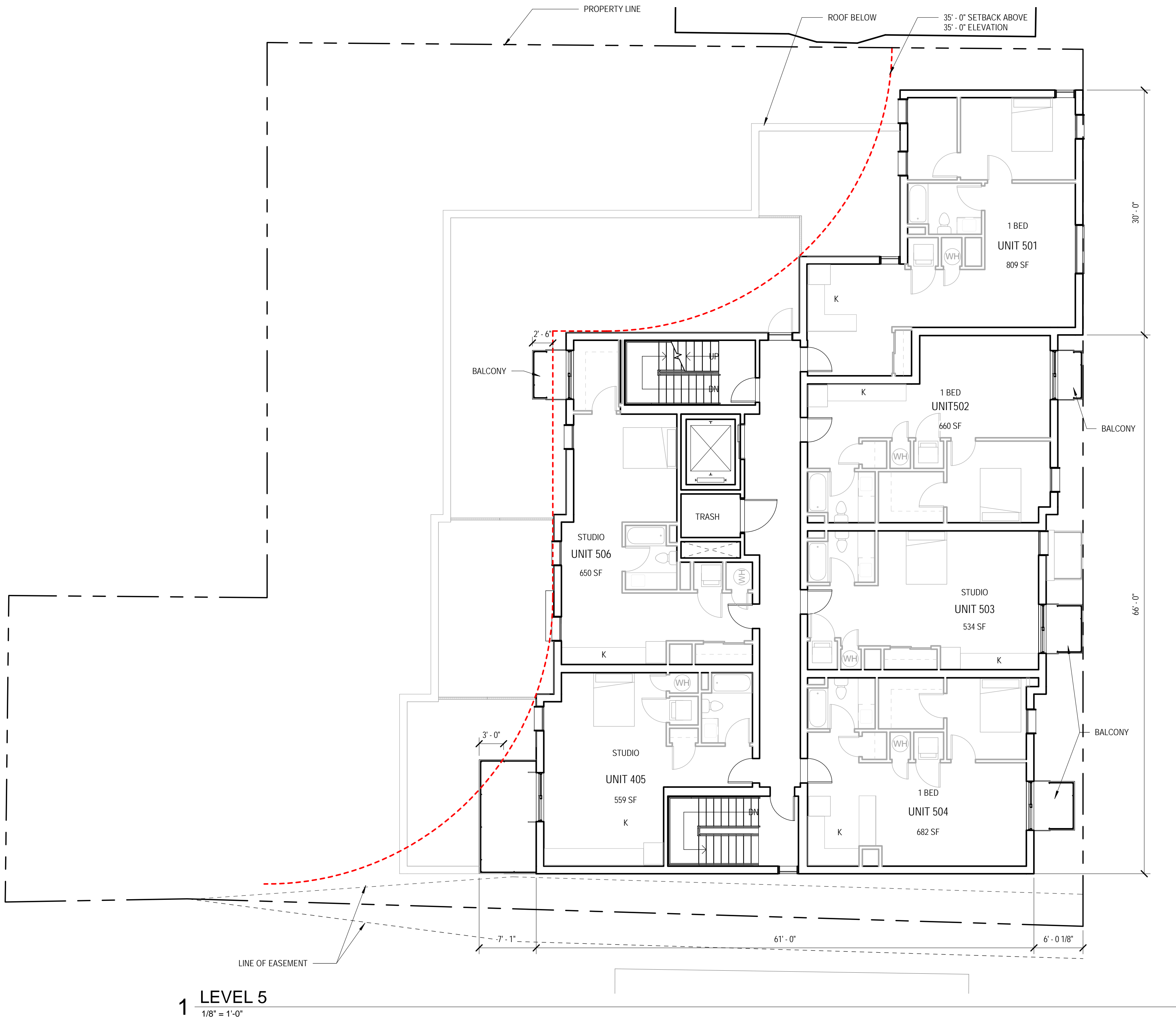
Drawing Title

FLOOR PLAN - LEVEL 4

SCALE 1/8" = 1'-0"

Drawing Number

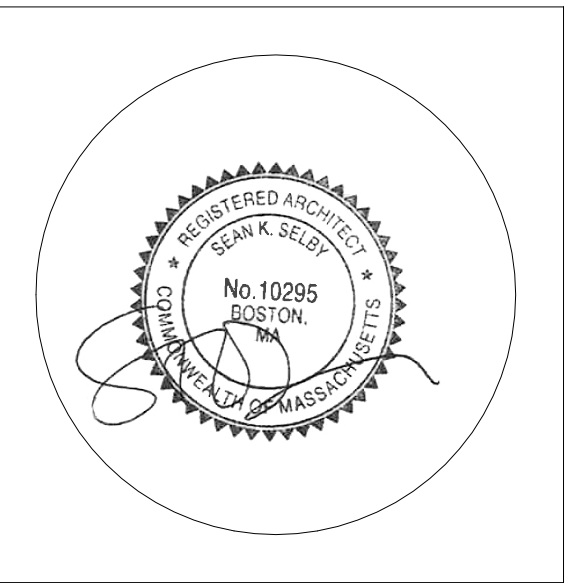
A2.15



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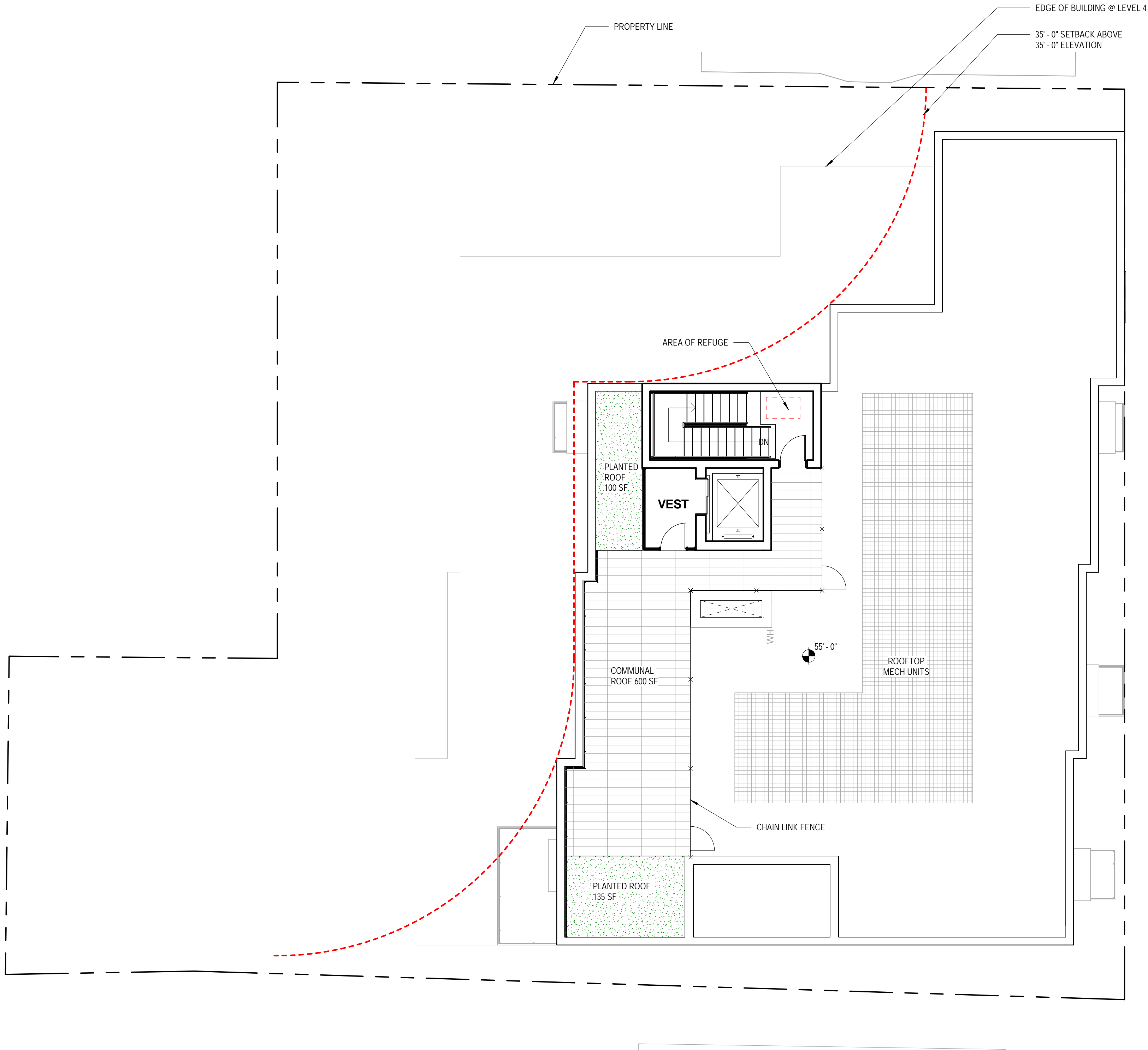
Drawing Title

FLOOR PLAN - LEVEL 5

SCALE 1/8" = 1'-0"

Drawing Number

A2.16

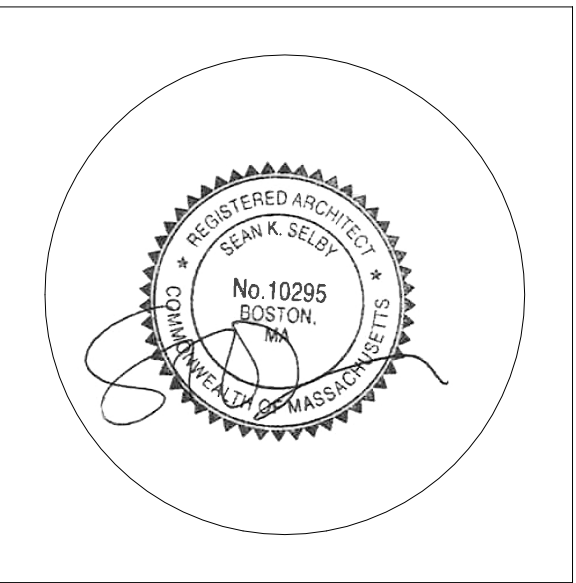


1 ROOF
1/8" = 1'-0"

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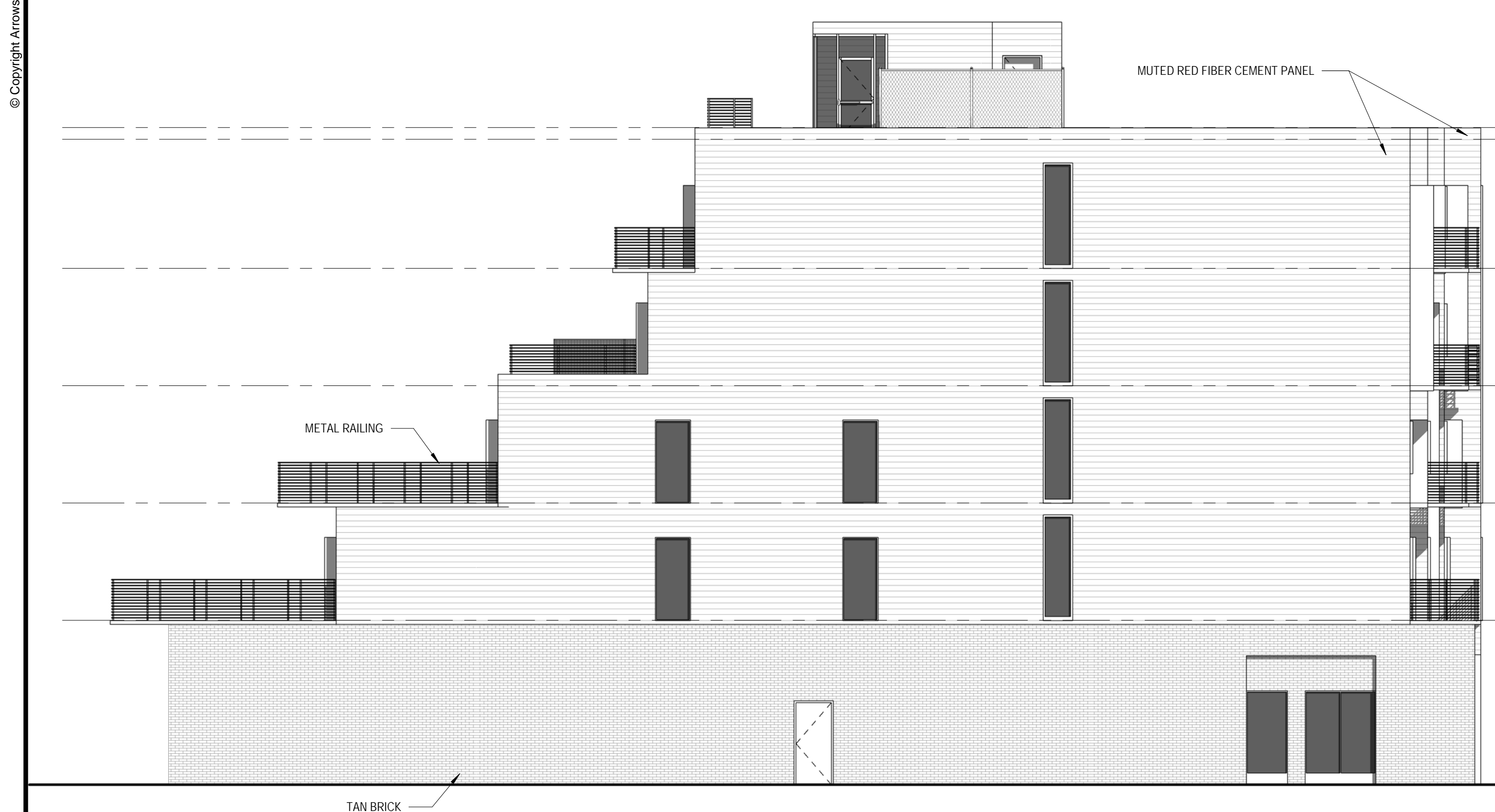
Drawing Title

ROOF PLAN

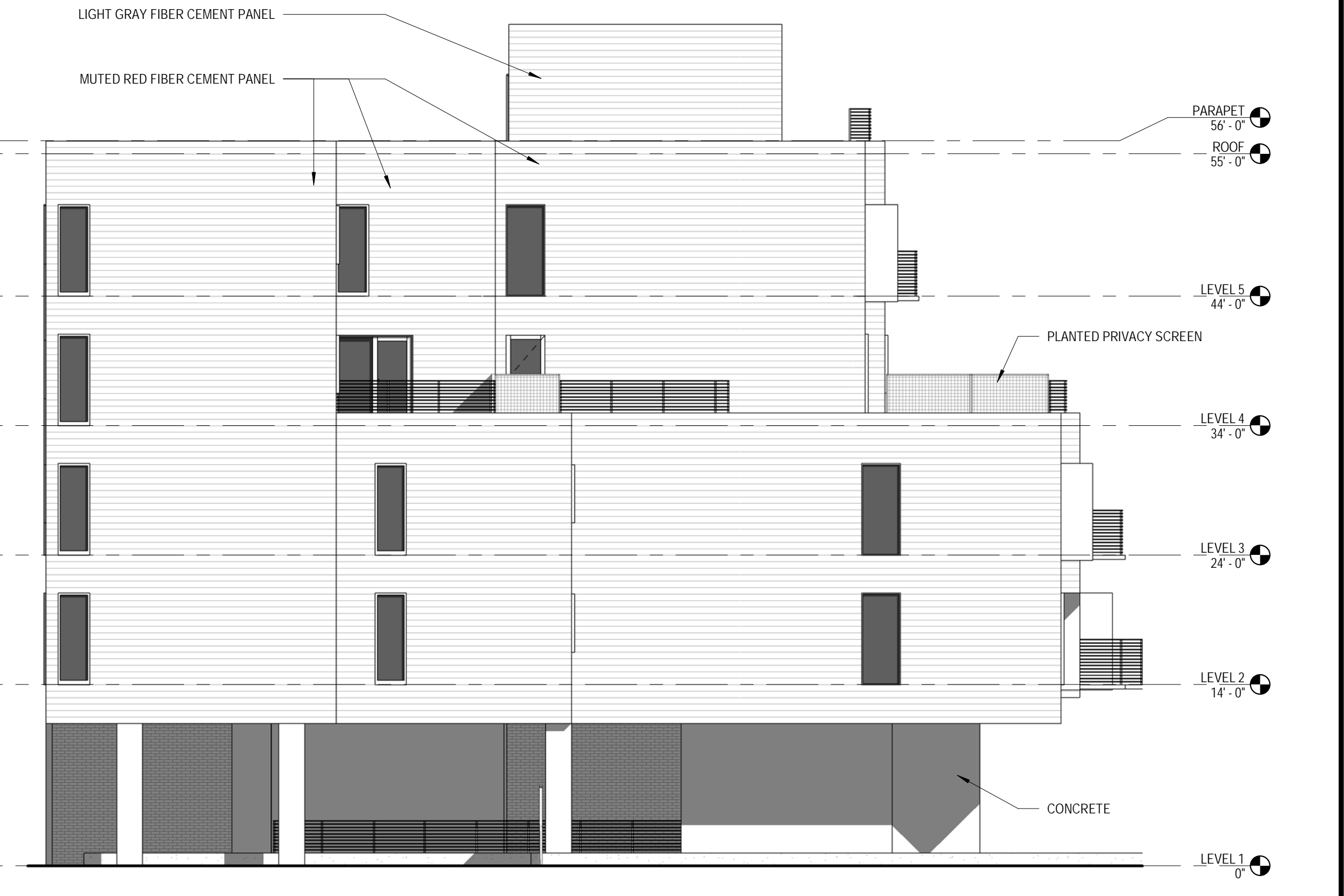
SCALE 1/8" = 1'-0"

Drawing Number

A2.17



4 EAST ELEVATION
1/8" = 1'-0"



3 WEST ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"

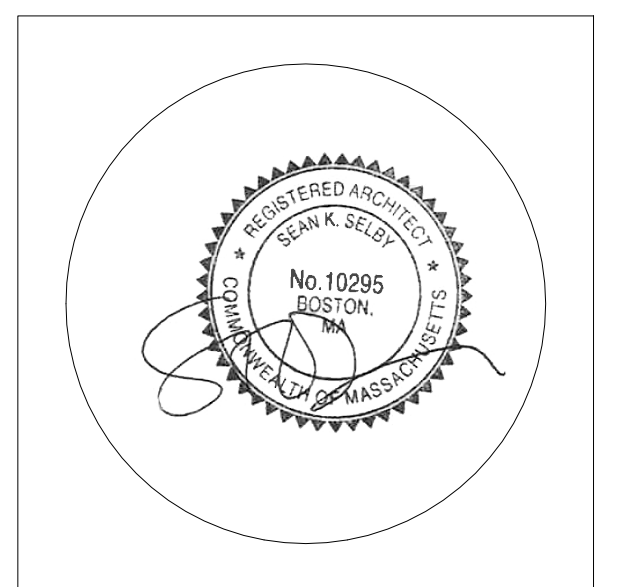


1 NORTH ELEVATION
1/8" = 1'-0"

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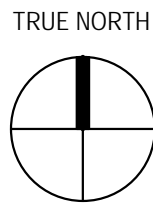
Drawing Title

BUILDING ELEVATIONS

SCALE 1/8" = 1'-0"

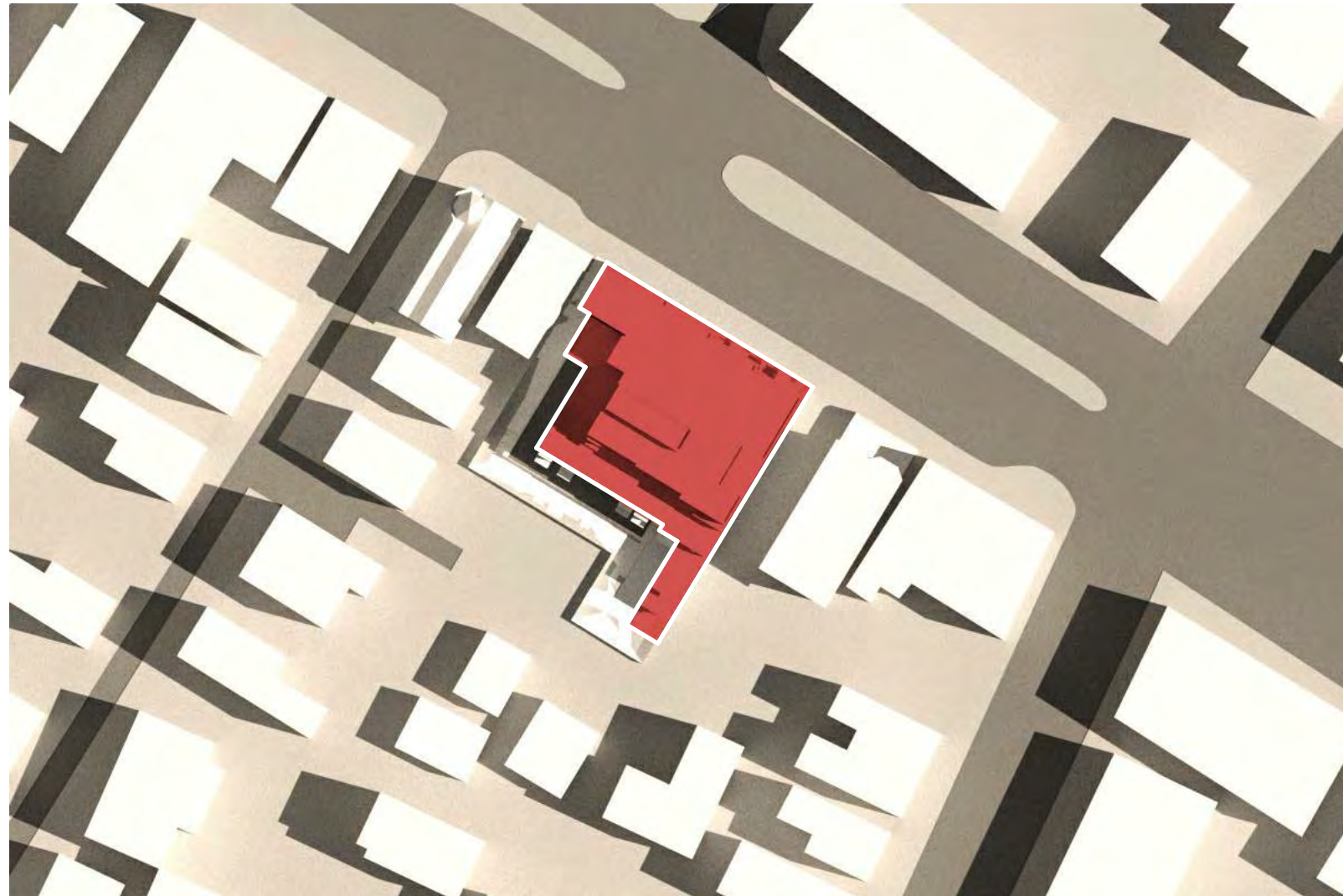
Drawing Number

A3.01

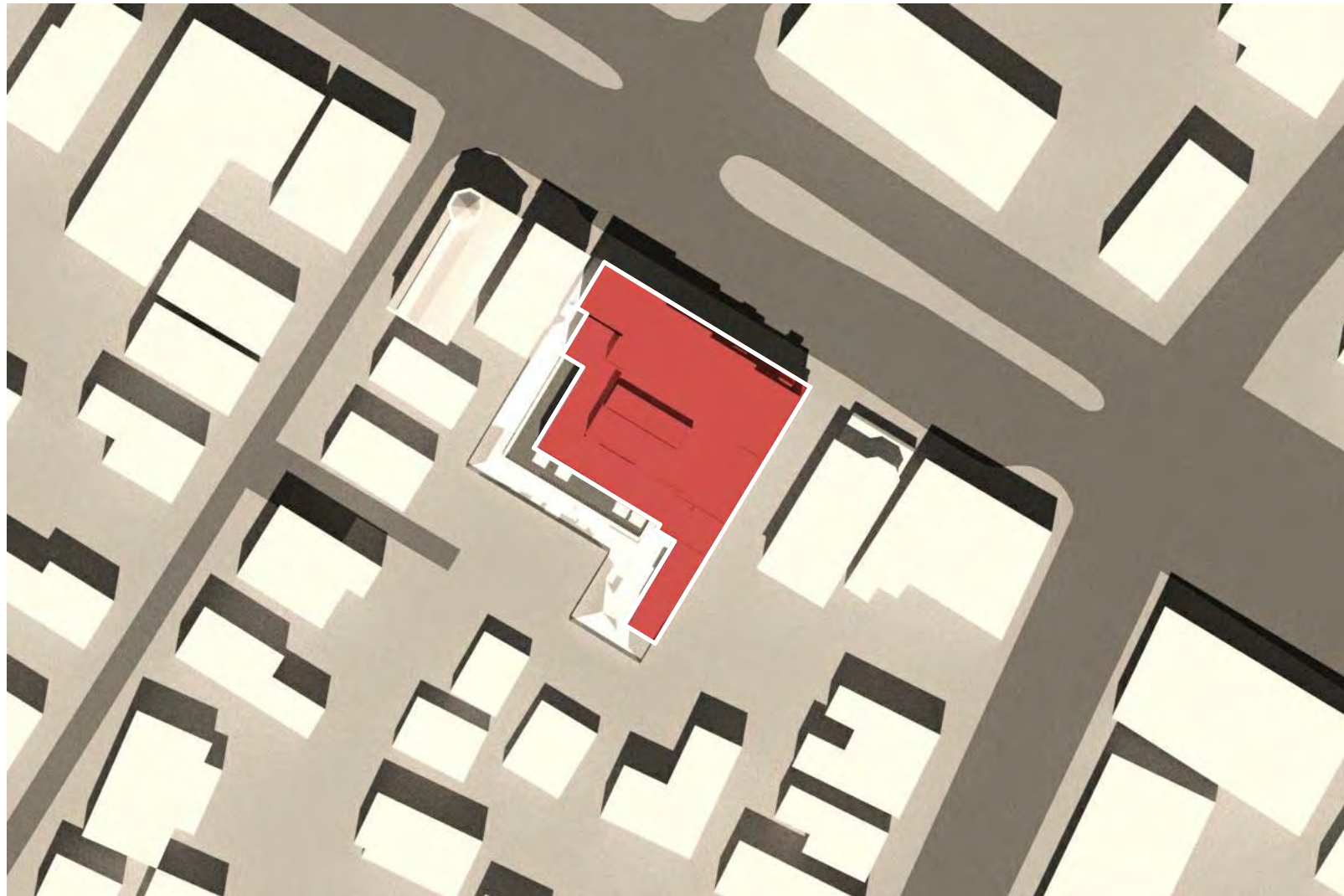


JUNE 21

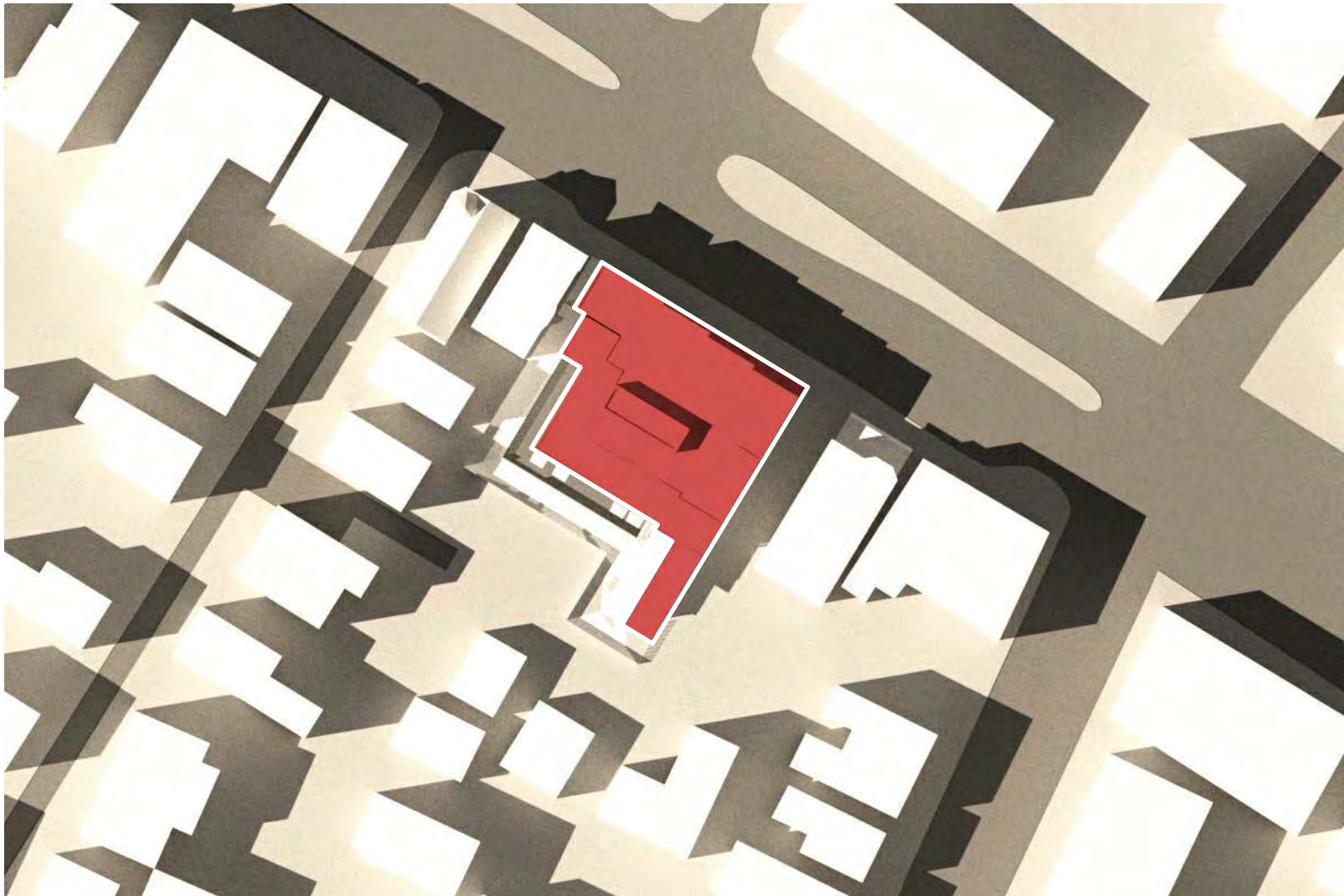
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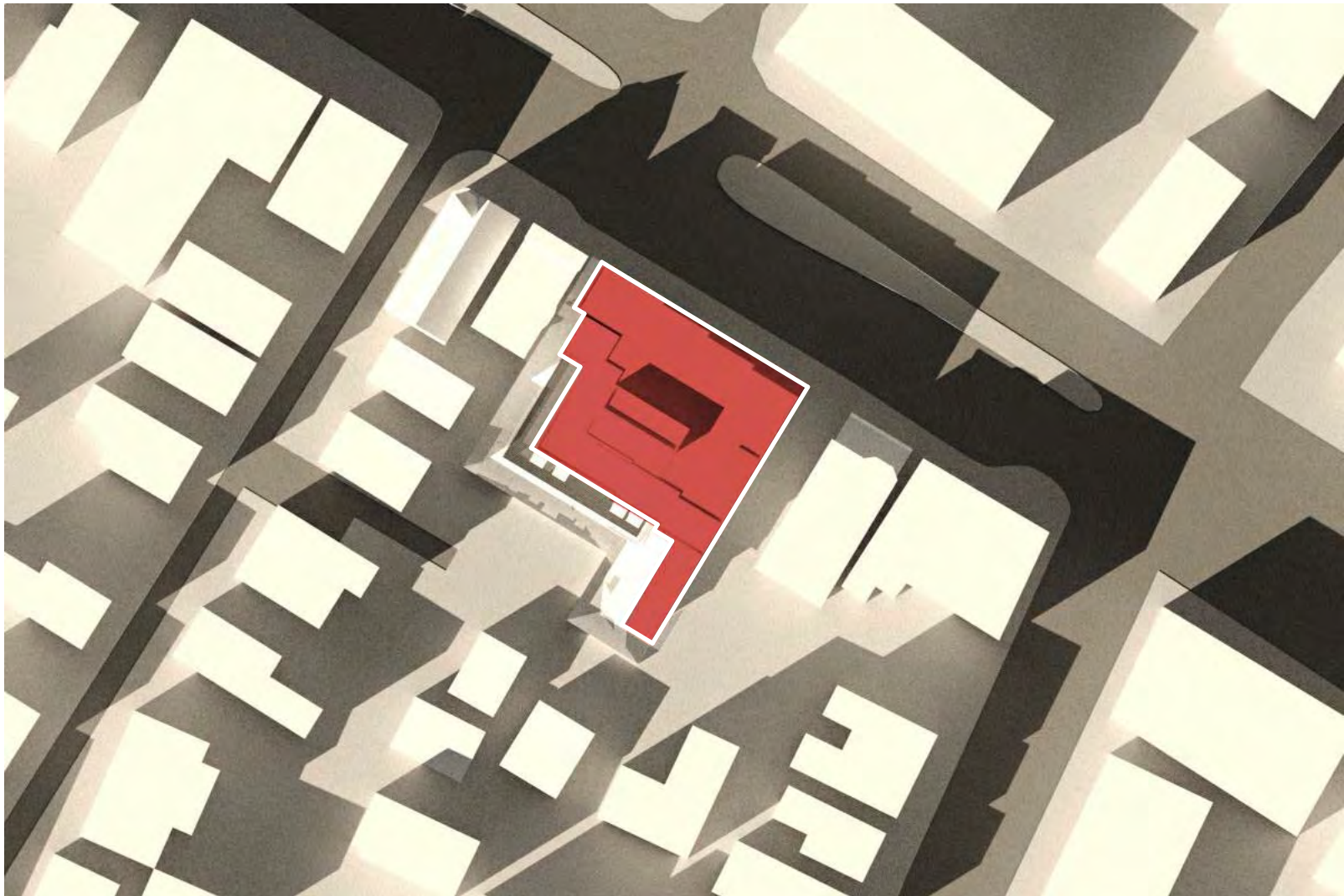
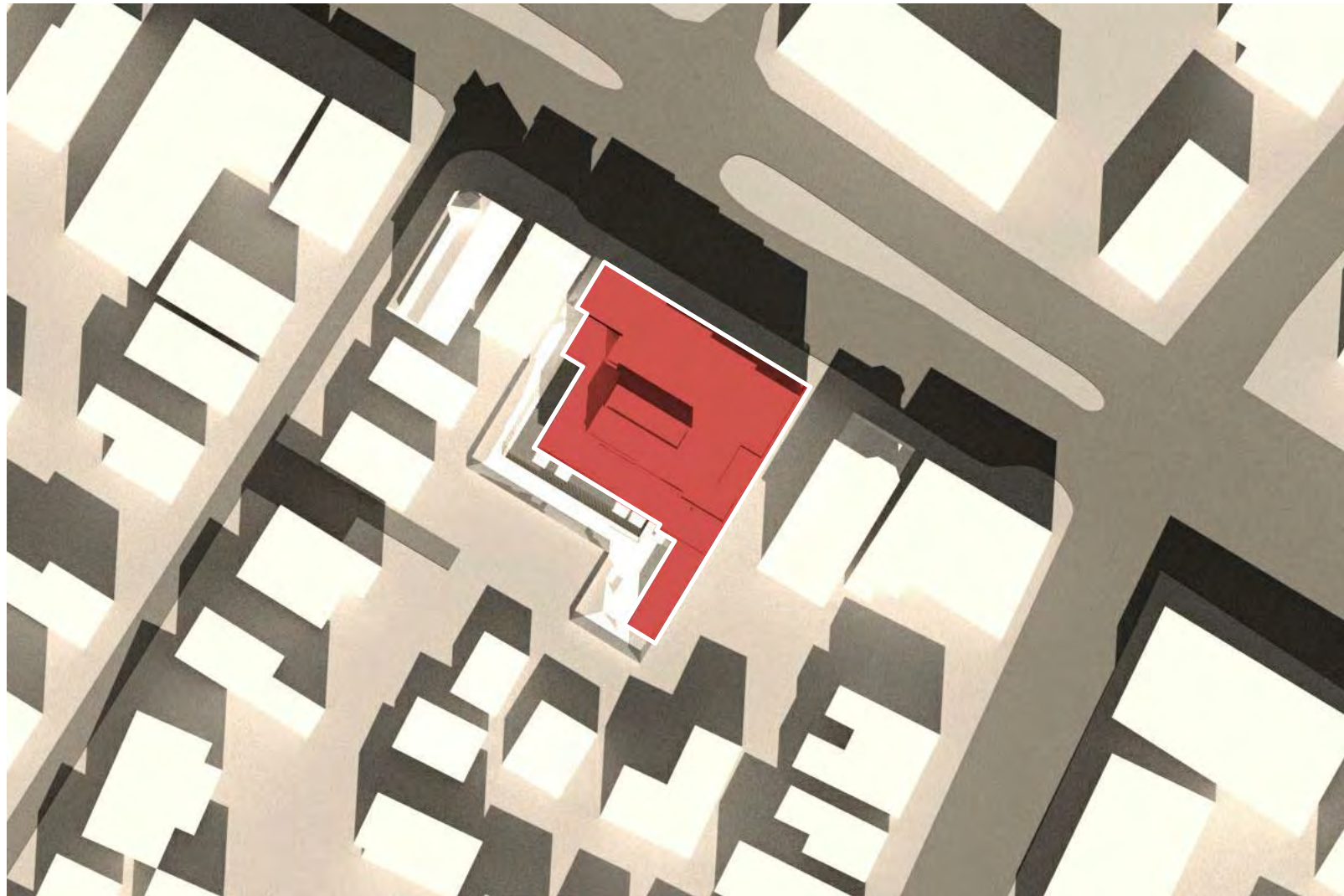
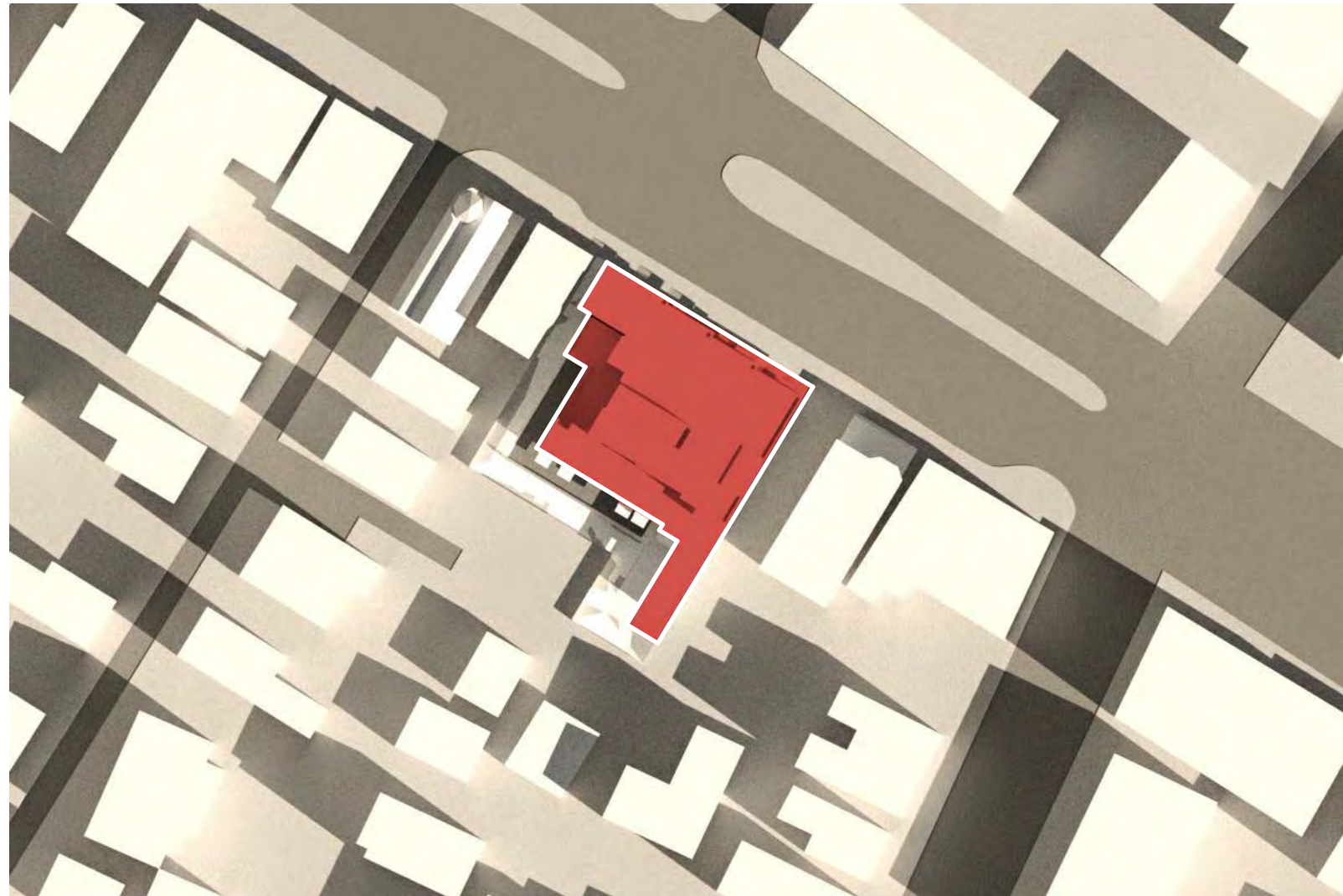
NOON



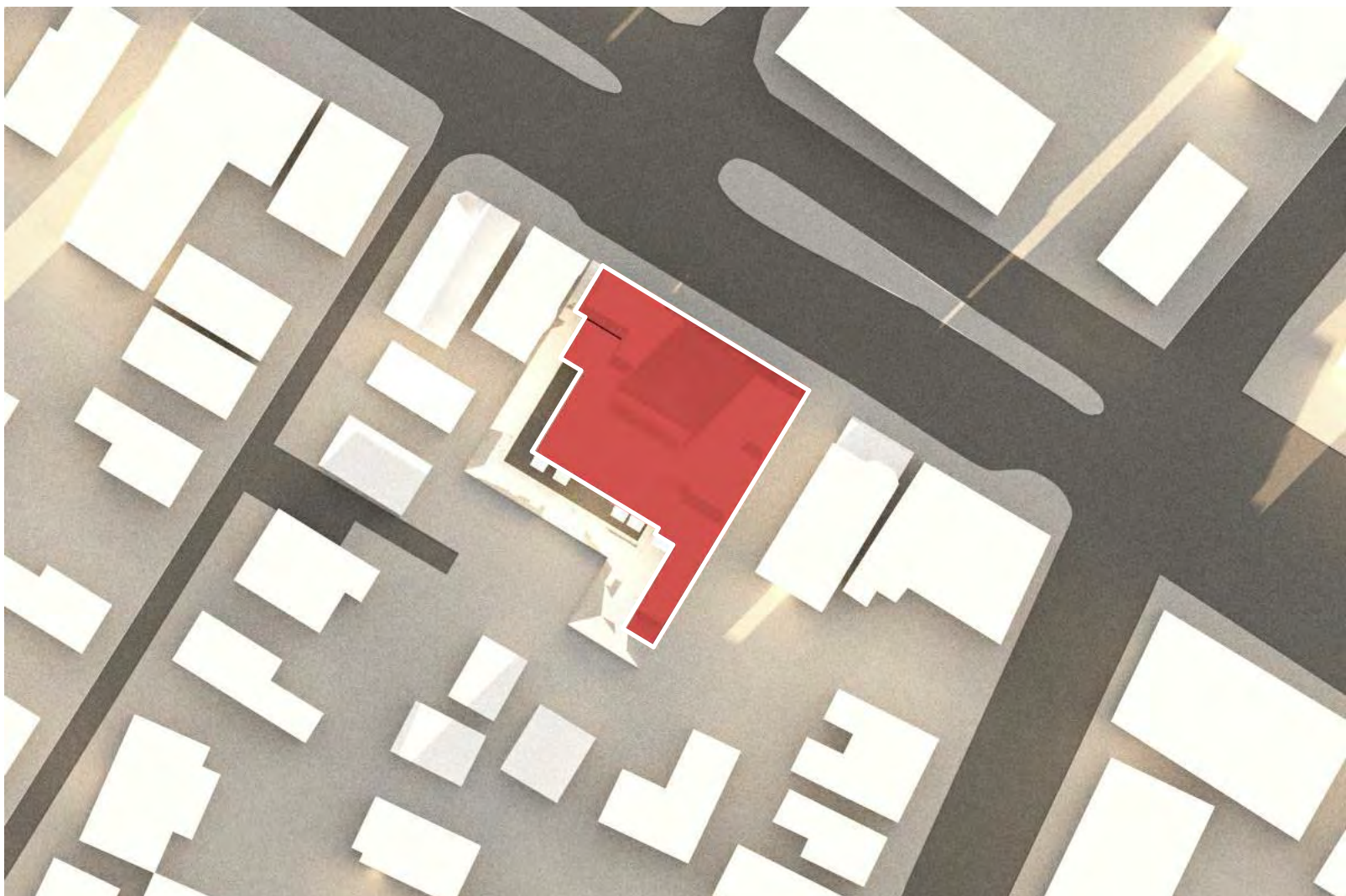
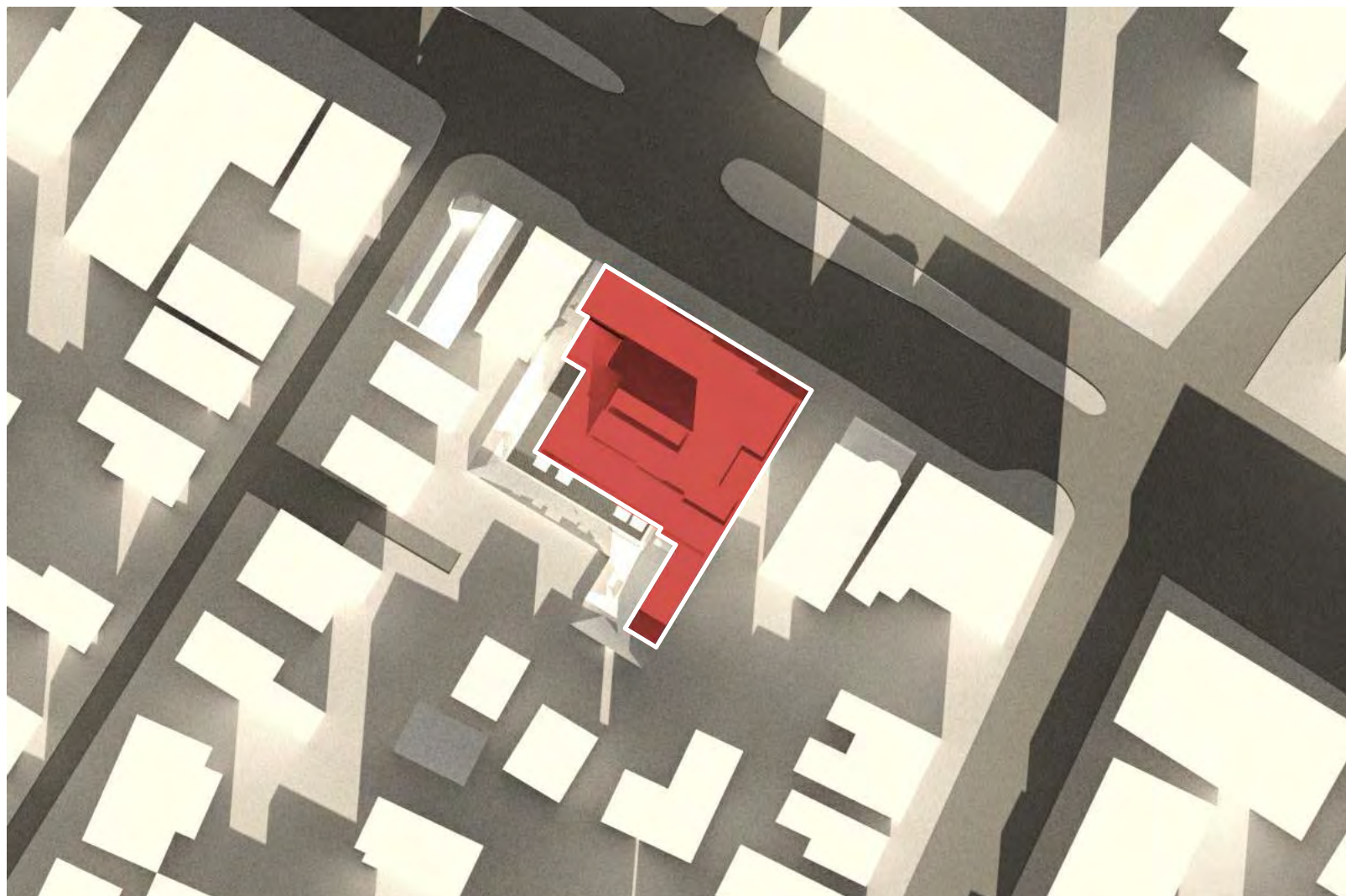
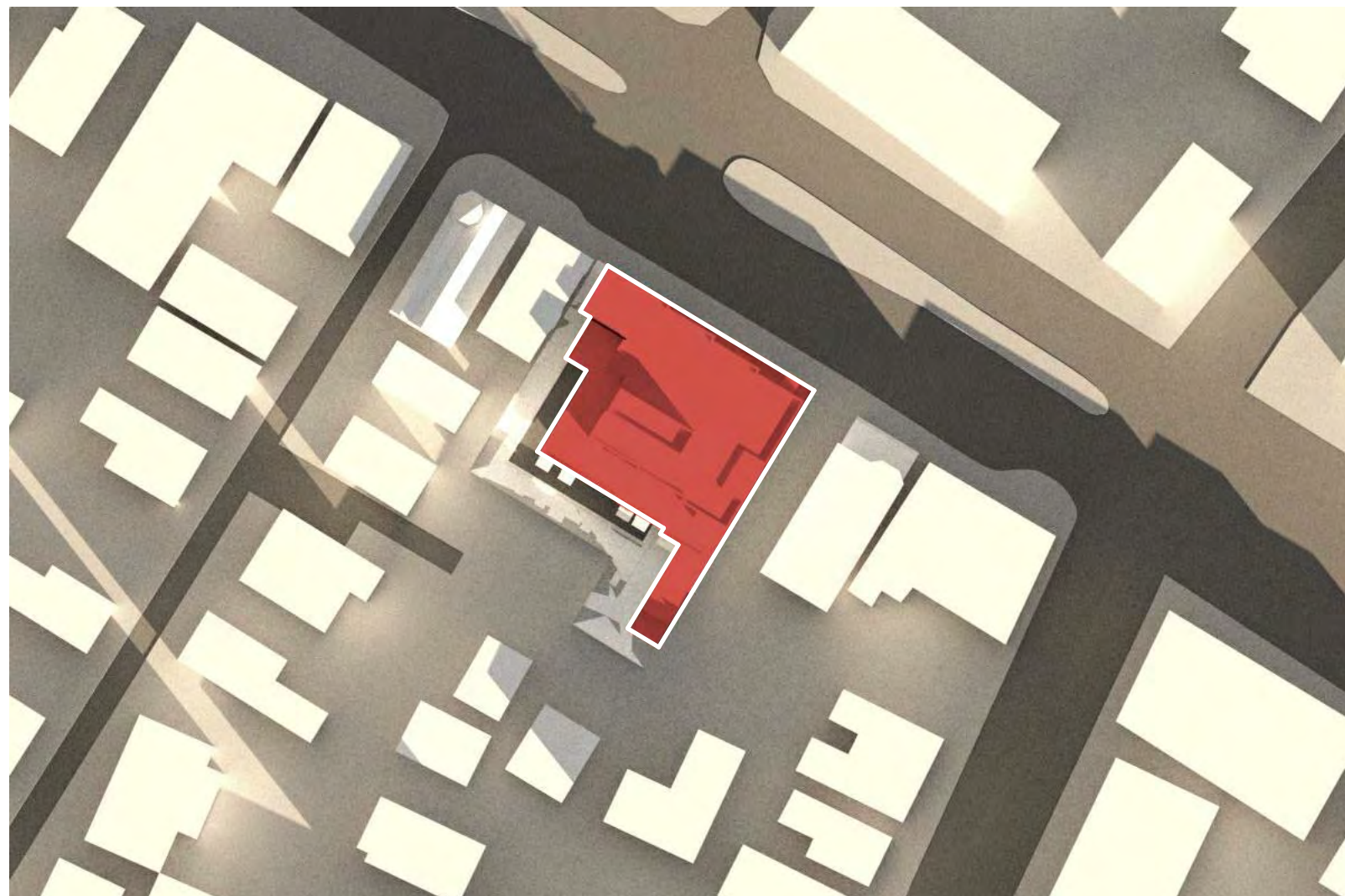
AFTERNOON



MAR/SEP 21



DEC 21



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Drawing Title

SHADOW STUDIES

SCALE

Drawing Number

A9.01



2 STREET VIEW RENDERING - NE CORNER

12" = 1'-0"



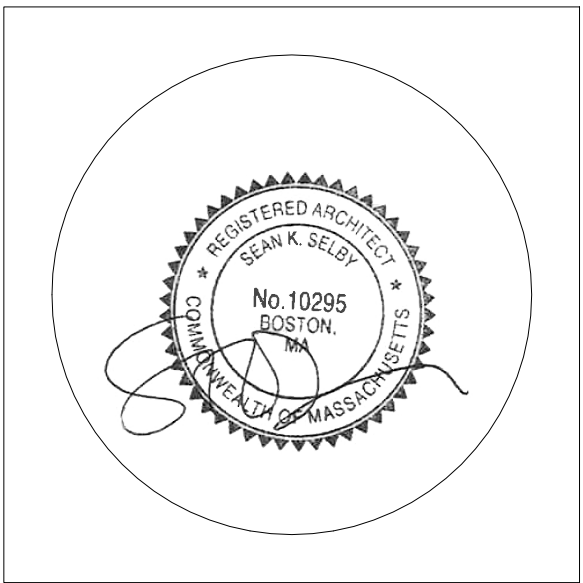
1 STREET VIEW RENDERING - NW CORNER

12" = 1'-0"

180
Broadway
Residences

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Drawing Title

PERSPECTIVE
RENDERING

SCALE 12" = 1'-0"

Drawing Number

A9.02



BROADWAY VIEW - NORTHEAST

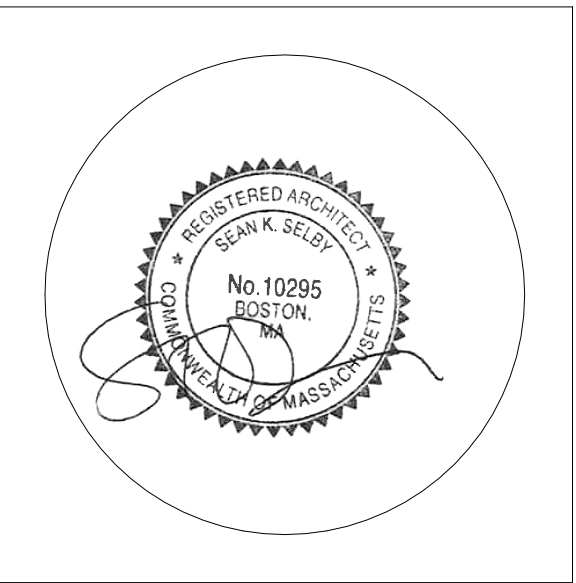


LOUISBURG PL VIEW - SOUTHWEST

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Drawing Title

PERSPECTIVES

SCALE 12" = 1'-0"

Drawing Number

A9.03

SOUTH SIDE / BROADWAY



I-93 HWY

BROADWAY

SITE

MCGRATH HWY

NORTH SIDE / BROADWAY



3 STREETScape STUDY
12" = 1'-0"



2 NEIGHBORHOOD PHOTOS



1 EXISTING STREETScape

180
Broadway
Residences

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Drawing Title
NEIGHBORHOOD
PHOTOS

SCALE 12" = 1'-0"

Drawing Number
SP