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project number 324 drawing number A000 revision

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LOCUS MAP



For Permit

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Brian O. Lavelle

CLIENT ADDRESS:

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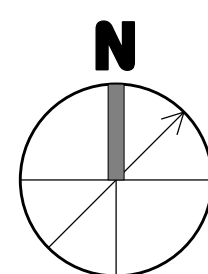
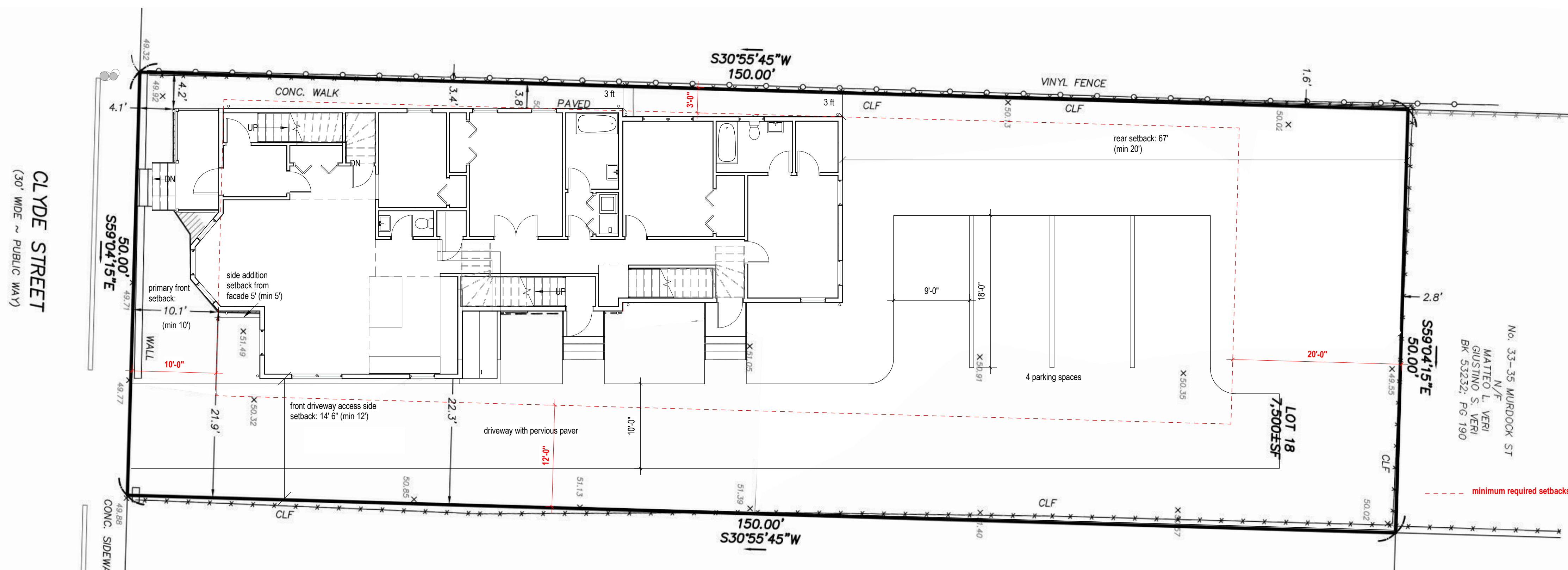
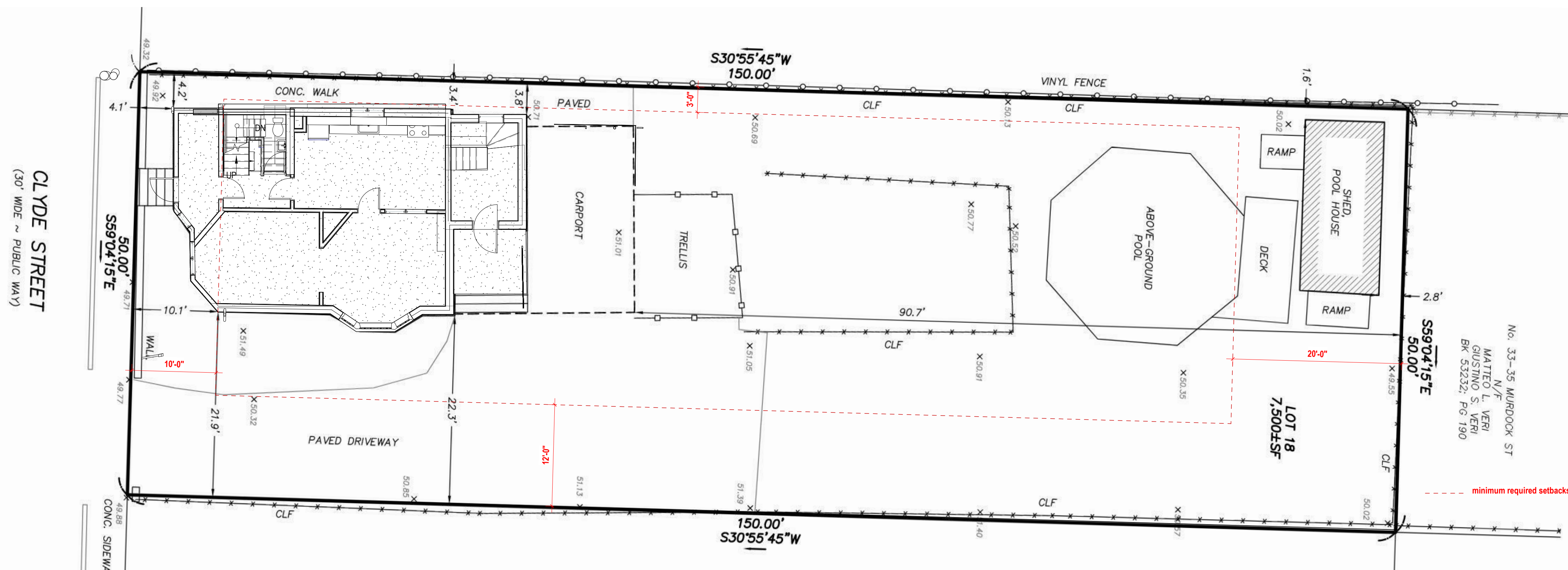
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PROJECT NAME:
CLYDE STREET RESIDENCE

PROJECT ADDRESS:
**26 Clyde Street
Somerville, MA 02145**

PROJECT NO: 324
8/18/2020 1:00:55 PM

ISSUE DATE:



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consultant / contractor information

stamp:



revision	revision description	date

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drawing title
SITE CONTEXT

project number 324	drawing scale 1/8" = 1'-0"	approver Approver
drawing number A001		revision



3 Building Additions
A002 1/4" = 1'-0"

LOCUS MAP



USE & TYPE OF CONSTRUCTION (780 CMR CH 3 & 6)

Per Massachusetts state building code 780 CMR 9th edition/ international building code		
	Existing	Proposed
Use Group (780 CMR Section 304)	R3	R3
Type of construction (780 CMR Section 602)	VB	VB
Number of stories	2.5	2.5
Fire Protection	No	No
Building Element (780 CMR Section 601)		Fire Resistance Rating
primary structural frame		0
bearing walls		0
exterior walls		0
interior walls		0
non bearing walls and interior		0
floor construction and secondary members		0
roof construction and secondary members		0
Notes		

PROJECT ZONING INFORMATION (LOCAL REGULATIONS) - Part 1

Property Class	Neighborhood Residential			
Map/Lot	33_H_18			
Neighborhood	Powder House Square Neighborhood			
Zoning Ordinance	Somerville Zoning Ordinance			
Zoning Data		Required	Existing	Proposed
Lot Dimensions				
Lot Width:				
Front Driveway Access	34	ft	50	ft
Lot Depth (min)	80	ft	150	ft
Lot Development				
Lot Coverage (max)	60	%	12	%
Green Score:				
Minimum / Ideal	0.35/0.4			0.355

PROJECT ZONING INFORMATION - Part 2

Property Class	Neighborhood Residential			
Map/Lot	33_H_18			
Neighborhood	Powder House Square Neighborhood			
Zoning Ordinance	Somerville Zoning Ordinance			
Zoning Data		Required	Existing	Proposed
Building Setbacks				
Primary Front Setback (min/max)	10/20	ft	10	ft
Side Setback (min):				
Front Driveway Access	3	ft	3	ft
Sum of Side Setbacks (min):				
Front Driveway Access	12	ft	21	ft
Rear Setback	20	ft	90.7	ft
Building Separation	10	ft	24	ft
Main Mass				
Facade Build Out (min)	50	%	50	%
Width (min/max)	22/28	ft	24	ft
Depth (min/max)	28/48	ft	36	ft
Ground Story Elevation (min)	2	ft	2.5	ft
Story Height (min/max)	10/12	ft	10	ft
Number of Stories (max)	2.5		2.5	
Roof Type	Flat, Gable, Gambrel, Hip, Mansard		Gable	Gable
Facade Composition				
Ground Story Fenestration (min/max)	15/50	%	16	%
Upper Story Fenestration (min/max)	15/50	%	6	%
Use				
Dwelling Units per Lot (max)	3	units	1	units
Dwelling Units (max)	3	units	1	units
Outdoor Amenity Space	1/10		1	

PROJECT ZONING INFORMATION - Part 3 - Building Components

Property Class	Neighborhood Residential			
Map/Lot	33_H_18			
Neighborhood	Powder House Square Neighborhood			
Zoning Ordinance	Somerville Zoning Ordinance			
Zoning Data		Required	Existing	Proposed
Shed Dormer				
Width (max)	50	%	none	50% / 24ft
Sidewall Setback (min)				
Roof with eave	0	ft		1
Front and Rear Wall Setback (min)	3	ft		12
Ridge Setback (min)	1	ft		1
Roof Slope (min)	4:12			12:12
Side Wing				
Setback from Facade	min 5	ft	none	5
Width (max)				
	50% of main massing width			8
Depth (max)				
	100% of main mass width			24
Height (max)				
	same as principle building			24
Setback Encroachment (max)				
Front, Side, Rear	0	ft		0
Rear Addition				
Setback from Exterior Walls	min 1	ft	none	1
Floor Plate (max)				
	50% of floor plate of principle building			50
Height (max)				
	Two (2) Stories			2 Stories
Setback Encroachment (max)				
Front, Side, Rear	0	ft		0
Additional Information				

APPLICABLE CODES & REGULATIONS (9th EDITION 780 CMR)

Code Type	Applicable Code
MA Building	780 CMR: Massachusetts State Building Code - 9th Edition As a reminder, the new, ninth edition code is based on modified versions of the following 2015 codes as published by the International Code Council (ICC).
Residential	International Residential Code 2015 (IRC 2015)
Existing Buildings	International Existing Building Code (IEBC)
Plumbing	248 CMR 10.00: Uniform State Plumbing Code
Energy	International Energy Conservation Code (IECC)
Accessibility	521 CMR: Massachusetts Architectural Access Board Regulations

PROJECT GENERAL INFORMATION (PROJECT DATA SHEET)

Project Number	324
Project Title	Clyde Street Residence
Project Address	26 Clyde Street, Somerville, MA 02145
Client Name	Brian O. Lavelle
Client Address	

PROJECT DESCRIPTION

Conversion of a single family house to a two family house.

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consultant / contractor information:

stamp:



revision revision description date

project title:

CLYDE STREET RESIDENCE

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Somerville, MA 02145

client information:

Brian O. Lavelle

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drawing title

**BUILDING DIAGRAM AND
CODE ANALYSIS**

project number

324

drawing scale

As indicated

approver

Approver

drawing number

A002

revision

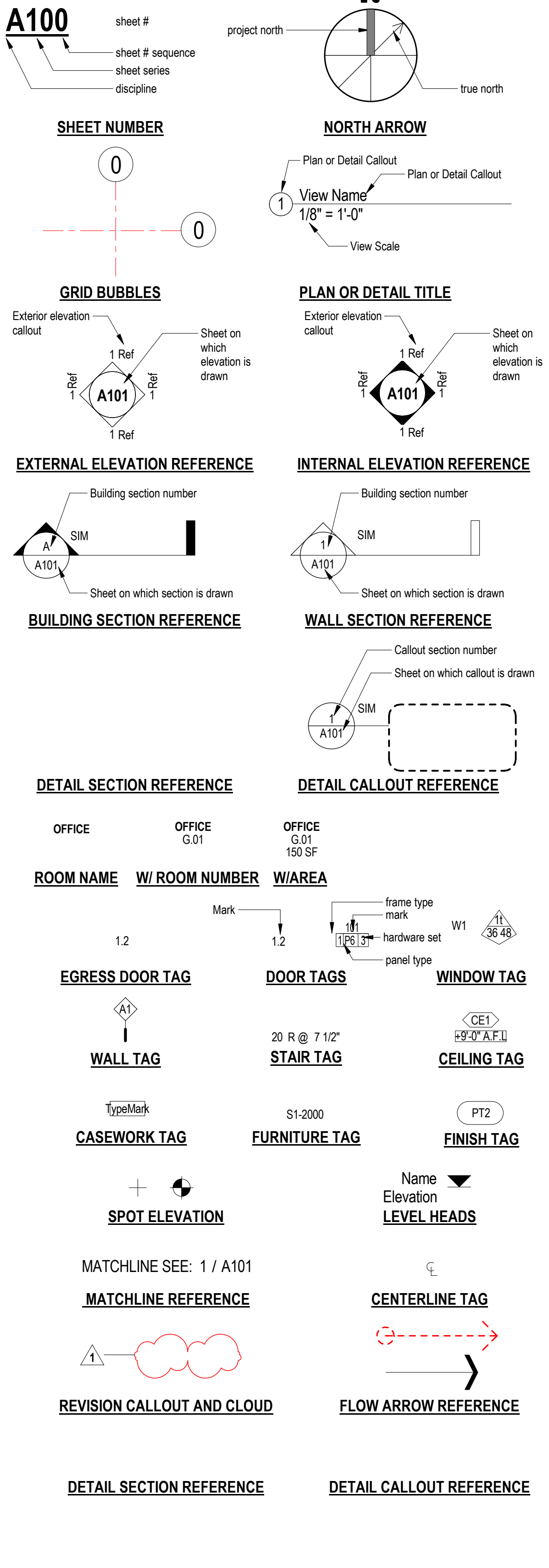
L	and
@	angle
@	at
AL	align
C	centerline
DIA	diameter
PERP.	perpendicular
C	channel
#	number or pound
/	per or divide
A	
A/C	air condition
ACT	acoustic ceiling tile
AD	adrain
ADJ	adjustable
AF	above finished floor
AGGR	aggregate
ALUM	aluminum
AP	acoustic panel
APPX	approximate
APT	apartment
ARCH	architectural
ASB	asphalt
ASPH	asphalt
AVG	average
B	
BD	board
BITUM	bituminous
BLDG	building
BLK	block
BLKG	blocking
BM	beam
BO	bottom of
B/O	by others
BOD	basis of design
BOS	bottom of steel
BR	bedroom
BSMT	basement
BTB	back to back
C	
C	caisson
CAB	cabinet
CB	catch basin
CER	ceramic
CF/CI	contractor furnished/ contractor installed
CF/OI	owner installed
CG	corner guard
CH	coat hook
CI	cast iron
CIP	cast in place
CJ	construction joint;
CJ	control joint
CL	centerline
CLG	ceiling
CLR	clear
CLD	closet
CM	curb molding
CMU	concrete masonry unit
CNTR	counter
COL	column
CONC	concrete
CONT	continuous
CORR	corridor
CPT	carpet
CSW	casework
CTSK	countersunk
CT	ceramic tile
CTR	center
CW	cabinet unit heater
CUH	curtain wall
D	
DA	deep
DBL	double
DEMO	demolition
DEPT	department
DET	detail
DF	drinking fountain
DH	double hung
DIA	diameter
DIIM	dimension
DISP	dispenser
DN	down
DO	door opening
DR	door
DS	downspout
DSP	dry stand pipe
DW	dishwasher
DWG	drawing(s)
DWR	drawer
E	
E	existing
(E)	east
EA	each
EJFS	exterior insulation and finish system
EP	expansion joint
ELEV	elevation
ELEC	electrical
ELVTR	elevator
EMER	emergency
ENCL	enclosure
EOS	edge of slab
EP	electrical panel
EPX	epoxy
EQ	equal
EPT	equipment
ERD	existing roof drain
ERC	electrical water cooler
EXH	exhaust
EXIST	existing
EXP	exposed
EXT	exterior
F	
F	fahrenheit
FA	fire alarm
FACP	fire alarm control panel
FBB	flat bar
FBO	furnished by others
FEC	fire extinguisher cabinet
FD	floor drain
FDN	fire department connection
FDN	fire
FEC	fire extinguisher
FEC	fire extinguisher cabinet
FHC	fire hose cabinet
FIN	finish
FLUOR	fluorescent
FO	finished opening
FOC	face of concrete
FOM	face of masonry
FOS	face of stud
FW	face of wall
FPL	fireplace
FPR	fire protection riser

FRG	fireproof
FRG	fiber reinforced gypsum
FRP	fiber reinforced panel
FRT	fire retardant treatment
FS	full size
FSP	fire standpipe
FTR	fire treated
FTG	footing
FURR	furring
F&I	furnish and install
FUT	future
G	
GA	gauge
GALV	galvanized
GB	grab bar
GC	general contractor
GFRG	glass fiber reinforced concrete
GFRG	glass fiber reinforced gypsum
GL	glass / glazing
GND	ground
GT	grout
GSP	gross square foot
GWB	gypsum wall board
GYP	gypsum
H	
H	high
HB	hose bib
HC	hollow core
HWD	hardwood
HDWE	hardware
HDWR	hardware
HM	hollow metal
HORIZ	horizontal
HPT	highpoint
HR	hour
HT	height
HGT	height
I	
ID	inside diameter; inside dimension
IN	inch
INFO	information
INSUL	insulation
INT	interior
J	
JAN	janitor
JT	joint
JST	jost
K	
KIT	kitchen
L	
LAB	laboratory
LAM	laminated
LAV	lavatory
LB	pound
LED	light emitting diode
LF	linear feet
LH	left hand
LKR	locker
LT	light
LVL	laminated veneer lumber
LVR	louver
LVT	luxury vinyl tile
M	
MAX	maximum
MC	medic cabinet
MDF	medium density fiberboard
MDL	modular
MECH	mechanical
MEMB	membrane
MEP	mechanical, electrical, plumbing
MFR	manufacturer
MH	manhole
MIN	minimum
MIR	mirror
MISC	miscellaneous
MLD	moulding
MO	maximum opening
MTD	mounted
MTL	metal
MUL	mullion
MWK	millwork
N	
NC	new construction
NC	not in contract
NO, or #	number
NOM	nominal
NSF	net square footage
NTS	not to scale
O	
OA	overall
OB	obscure
OC	on center
OCC	occupancy
OD	outside diameter (DIM.)
OFF	office
OFICI	owner furnished/contractor installed
OFIOI	owner furnished/owner installed
OFD	overflow drain
OHDR	overhead door
OH	opposite hand
OPNG	opening
OPP	opposite
ORIG	original
P	
P	pendant
PBF	prefabricated
PBL	plumbing fixture
PCC	precast concrete
PCF	pounds per cubic foot
PERF	perforated
PL	plate
PLAM	plastic laminate
PLA	plaster
PLF	pounds per linear foot
PLYWD	plywood
POS	point of sale
PR	pair
PRCST	precast
PRT	partition
PSF	pounds per square foot
PSI	pounds per square inch
PT	point
PTD	paper towel dispenser
PTD/R	combination paper towel dispenser and receptacle
PTL	pressure treated lumber
PTR	pressure treated
PVMT	pavement

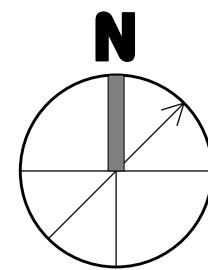
Q	
QT	quarry tile
QTY	quantity
R	
R	riser; right
RA	return air
RAD	radius
RB	resilient base
RBR	rubber base
RCP	reflected ceiling plan
RD	roof drain
REF	reference
REFR	refrigerator
RELOC	relocate
REINF	reinforced
REQ'D	required
RESIL	resilient
REST	restroom
RGTR	register
RH	right hand
RM	room
RP	resilient panel
RO	rough opening
RSF	resilient sheet flooring
RTU	rooftop unit
RWD	redwood
RWL	rain water leader
S	
S	supply air
SAB	sound attenuation blankets
SC	solid core
SCD	seat cover dispenser
SCHED	schedule
SD	smoke detector
SECT	section
SF	south
SH	square footage
SHR	shelf
SHT	shower
SHT	sheet
SIM	similar
SKL	skylight
SND	sanitary napkin dispenser
SNR	sanitary napkin receptacle
SNT	sealant
SOB	symbol on background
SO	south
SPD	soup dispenser
SPEC	specification
SQ	square
SS	solid surface
SSK	service sink
SST	stainless steel
ST	stone
STA	station
STD	standard
STL	steel
STOR	storage
STRL	structural
SUSP	suspended
SYM	symmetrical
T	
T	tile
TB	towel bar
TBD	to be determined
TC	top of curb
TEL	telephone
TEMP	temporary
TER	terrazzo
T&G	tongue and groove
THK	thick
TOC	top of concrete
TOP	top of pavement
TOS	top of slab/top of steel
TOW	top of wall
TPD	toilet paper dispenser
TR	tread
TV	television
TX	textile upholstery
TYP	typical
U	
UL	underwriters' laboratories
UNF	unfinished
UON	unless otherwise noted
UR	urinal
V	
VAR	varnish
VB	vapor barrier
VCT	vinyl composition tile
VERT	vertical
VEST	vestibule
VIF	verify in field
VNR	veneer
W	
W	west
W/	with
WB	well base
WC	well covering
WD	wood
W/O	without
WP	waterproof
WSCOT	wainscot
WT	weight
WTC	water closet
WWM	welded wire mesh

the preceding list of abbreviations is presented as a general guide and does not necessarily show all abbreviations used. other generally accepted abbreviations may be found among the drawings.

see discipline sheets for discipline specific symbols



- the drawings have been compiled from the best available information and are not intended to limit the scope of work, the contractor may uncover hidden conditions not shown in this contract set.
- the contractor shall provide and be responsible for the drawings and specifications and shall provide all items req'd for a complete functioning system, including appropriate blocking for wall mounted fixtures, shelving, accessories, etc.
- we acknowledge that the contractor's contract is noted "n.i.c.", items to be provided by owner and installed by g.c. are so noted.
- general contractor shall make all sub-contractors and suppliers aware of the requirements of these notes. all work to be performed in compliance with all applicable local, state and national building, life safety, electrical and plumbing codes having jurisdiction over this project.
- general contractor shall be responsible for securing all permits necessary for the completion of the work shown throughout the contract documents.
- general contractor shall layout in the field the entire work to be performed to verify dimensional relationships before proceeding with the construction and shall verify all existing conditions and locations / bearings before proceeding with work / installation.
- general contractor shall be responsible for the coordination of the dimensional requirements between the work of the required trades and sub-contractors.
- drawings shall not be scaled for dimensions and / or sizes, drawings may have been reproduced at a scale different than that originally drawn.
- general contractor shall field verify all existing conditions including dimensions, structure, utility lines, etc. any discrepancies found in the plans, dimensions, existing conditions or any apparent error in the classifying of a product, material or method of assembly is to be brought to the attention of the architect immediately; s/d drawings will be issued when not so ordered.
- g.c. & all trades, are responsible for coordination of the locations of all mech., elec., plumb, fixtures & devices. if conflict exist b/w drawings, exact locations shall be per architectural drawings or per field instructions by architect.
- g.c. & ea, trade subcontractors are responsible for reviewing & coordinating all trades' equipment and distribution including pipes, conduit, etc. to ensure that all fit in the allocated space. any equipment should be sized and located at the time of purchase and appropriate engineer immediately, in writing, the contractor is responsible for the repair or replacement of all finishes, framing, and utilities damaged or disturbed during the course of the work, including shop applied finishes. existing finishes disturbed during the course of the work shall be repaired such that patches will not be detectable & the new surface will be continuous w/ adjacent surfaces, wall surfaces shall be smooth, durable, and stable, free of cracks, holes, etc.
- where new walls or construction are to meet existing, repair or replace existing adjacent finishes as req. such that the joint is smooth, flush and invisible when completed.
- g.c. and all trades shall cut penetrations for mep/ep, security and data systems, through wall, through ceiling, through floor and through roof as required; patching of all surfaces w/ materials that match and align w/ that cut shall be accomplished under the direction of the architect. specifically, for each trade, each trade is responsible for providing appropriate fire rated, fire rated caul, etc. for all penetrations in fire rated separations in order to maintain/restore fire rating.
- dimensions:
 - all partition dimensions shown are to face of stud @ new wall construction u.o.n.
 - dimensions noted as "c/r" mean clear dim. to face of finish.
 - all "horiz. dims" are shown on plans and vert. dimensions interior & exterior elevations where relevant.
 - vertical dimensions are to t.o. subfloor, u.o.n.
- electrical devices including switches, outlets, fire alarm devices, emergency lights, etc. vertically & horizontally aligned with each other and with each other, and unless prevented by code, see mounting heights schedule for typ. heights, see elevations for smoke detectors. ceiling ceiling devices including speaker exceptions, sprinkler heads, etc., with ceiling mounted camera fixtures. all devices shall be aligned in all directions u.o.n. elements or within grid in both directions u.o.n.
- ea, trade is responsible for sealing air vapor any penetrations made through air / vapor barriers.
- all metal & membrane fastenings to be lapped & sealed.
- separate dissimilar metals.



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consultant / contractor information

stamp:



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project title:
CLYDE STREET RESIDENCE

26 Clyde Street
Somerville, MA 02145

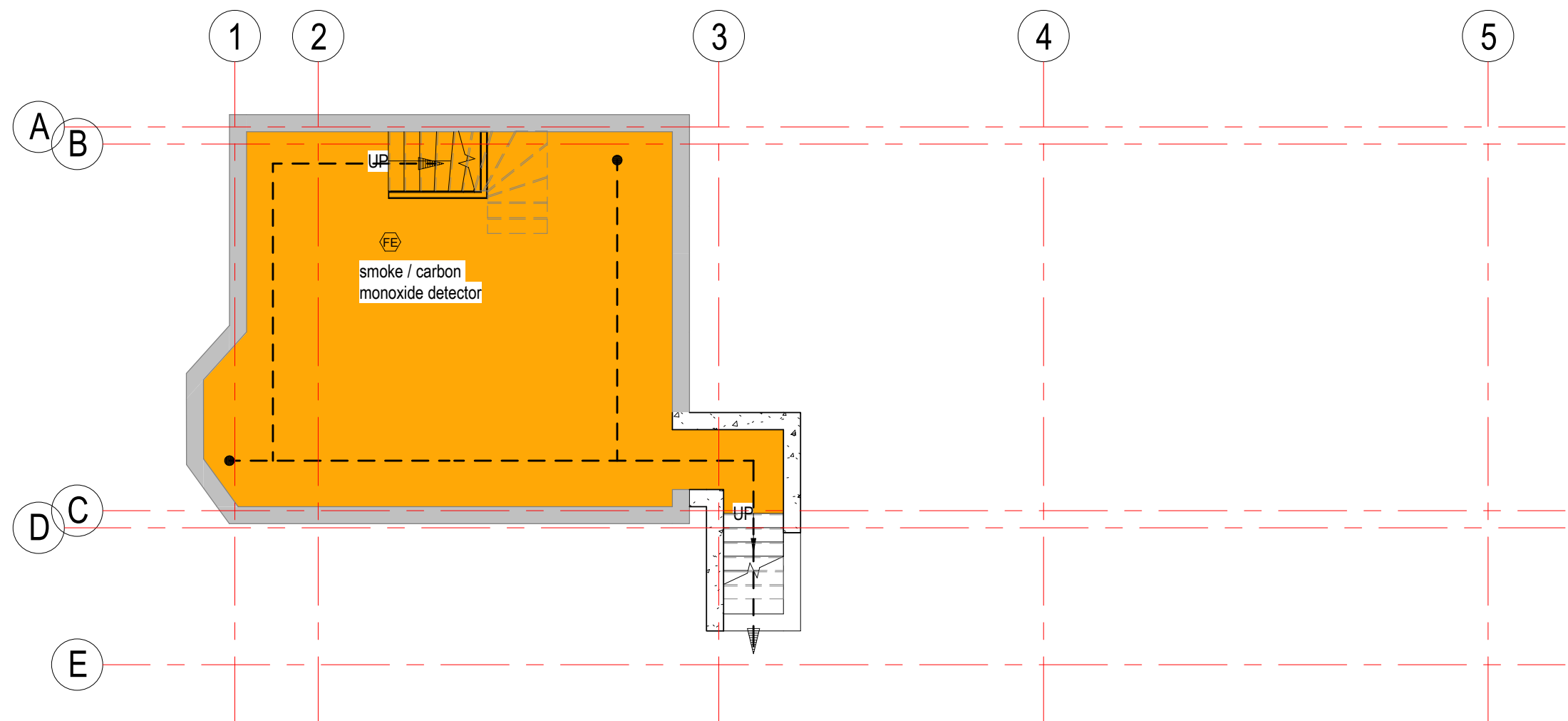
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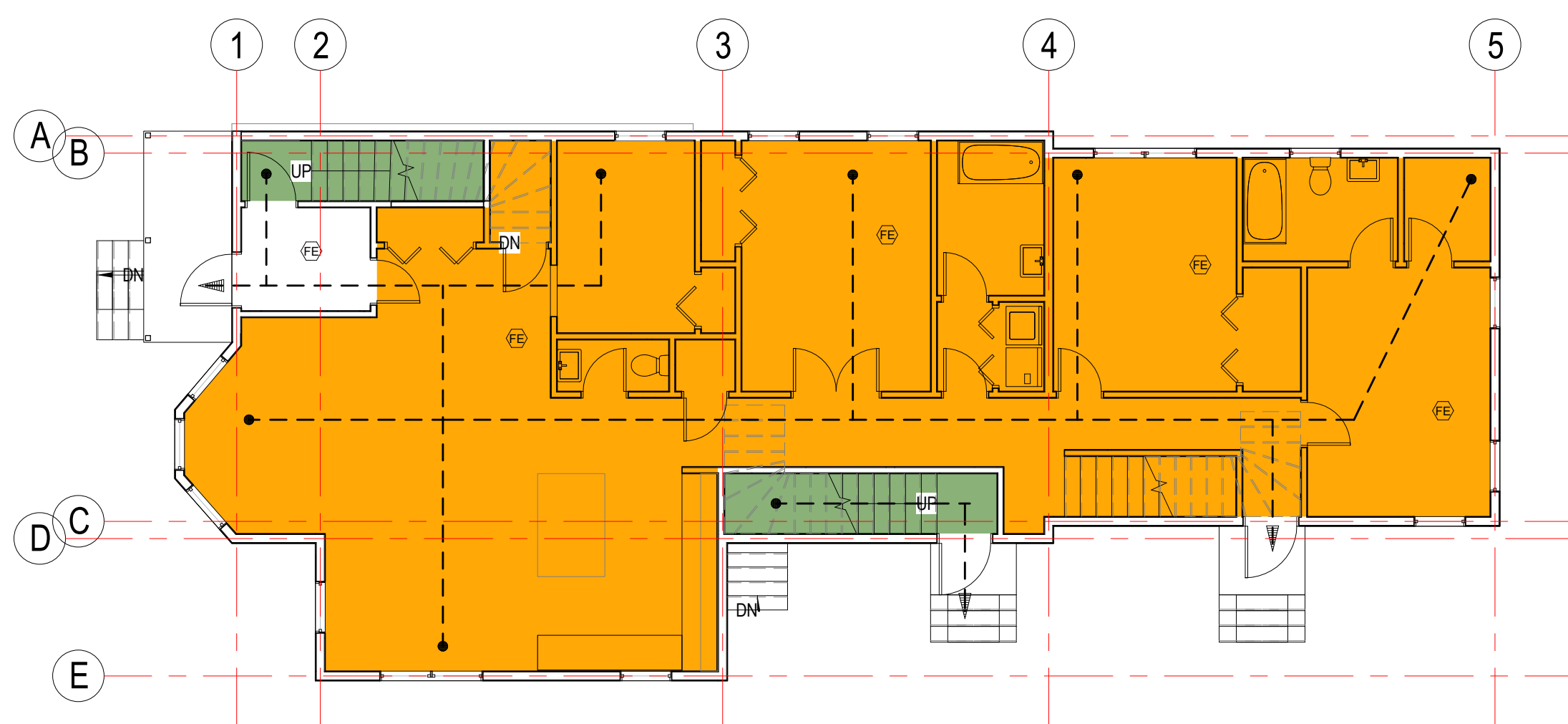
drawing title

**STANDARDS, GENERAL
NOTES &
ABBREVIATIONS**

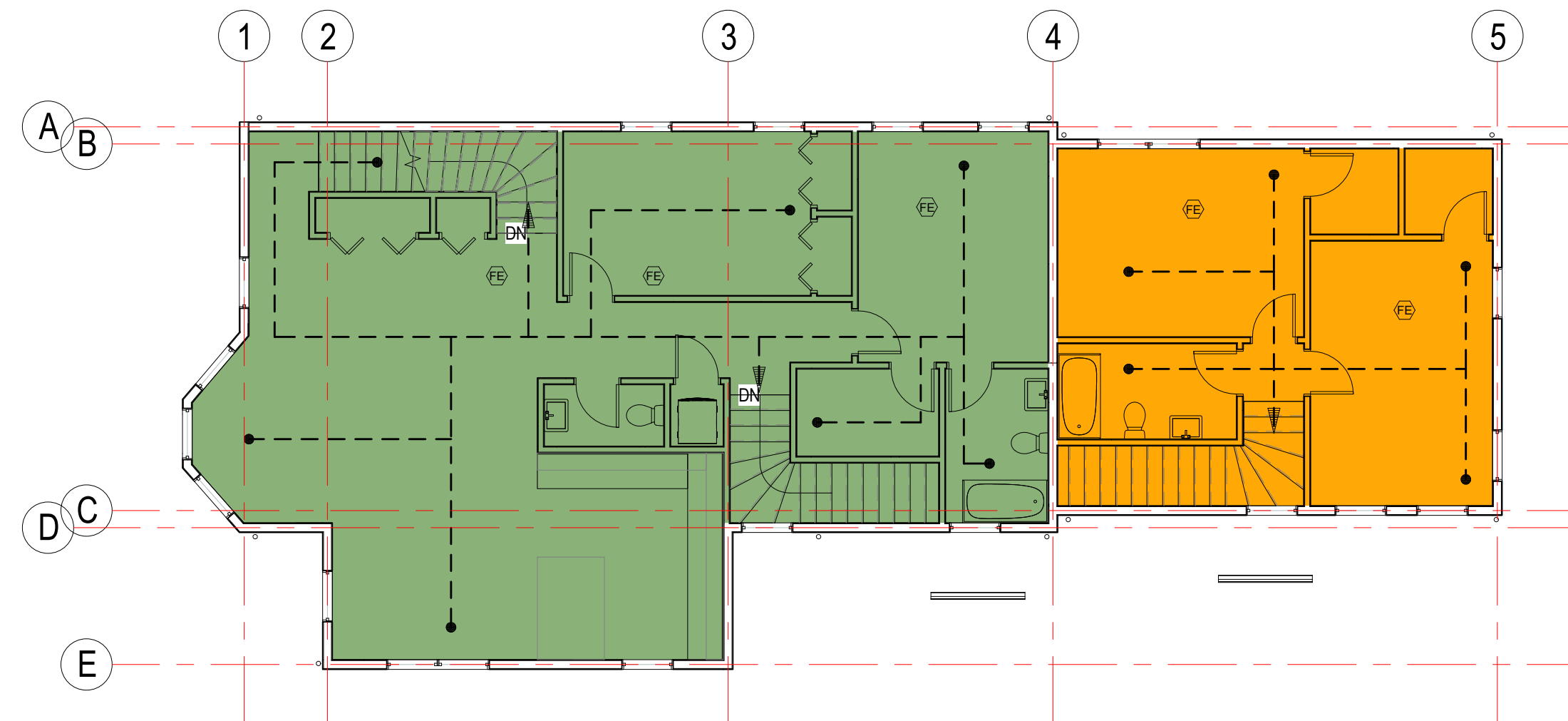
project number 324	drawing scale As indicated	approver Approver
drawing number A003		revision



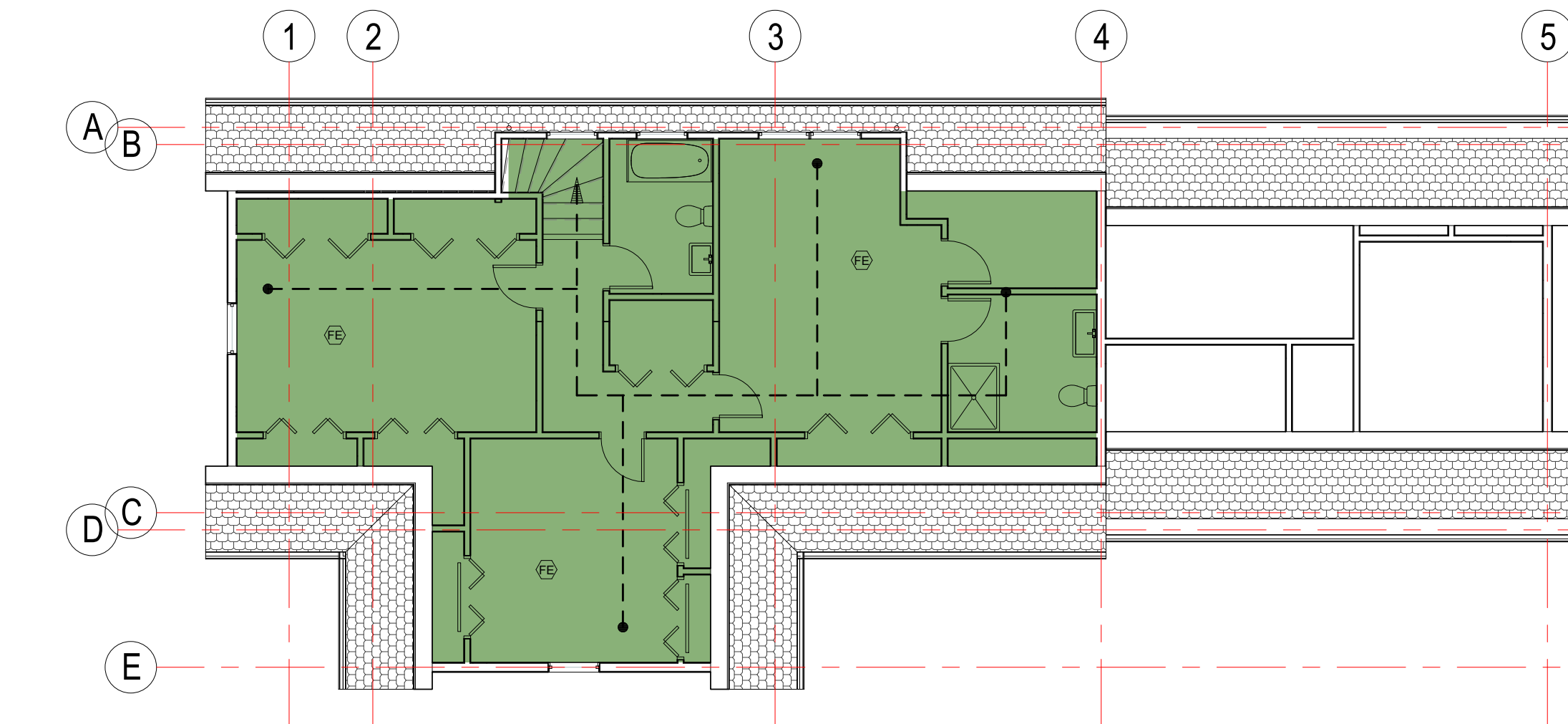
2 0 Basement Egress
A010 1/8" = 1'-0"



1 1 First Floor Egress
A010 1/8" = 1'-0"



3 2 Second Floor Egress
A010 1/8" = 1'-0"



4 3 Third Floor Egress
A010 1/8" = 1'-0"

GENERAL NOTES AND LEGENDS EGRESS NOTES

- the floor plan background for new and existing construction is shown in gray half-tone. designations for fire rated partitions, smoke partitions and other code compliance related information are shown in full black tone. refer to contract drawings to determine which components are new and which are existing.
- the fire and smoke designations for existing construction are shown for reference only and are based on information provided by the owner/client. this information has not been independently verified by Joe The Architect LLC.
- refer to electrical drawings if applicable for locations of exit lights, emergency lights, and fire alarm system.
- refer to fire protection drawings if applicable for locations of sprinklers and fire pump.
- refer to plumbing drawings if applicable for all plumbing fixture counts.
- refer to structural drawings if applicable for all structural loads.

PARTITION FIRE RATING LEGEND

key & graphic symbol	wall type
	default existing partition
	default new partition
	1 hour fire separation
	2 hour fire separation
	3 hour fire separation

GENERAL NOTES AND LEGENDS LIFE SAFETY

- sprinkler | standard/concealed/upright
- fire alarm pull station
- fire alarm control panel
- fire alarm remote panel
- fire extinguisher cabinet
- fire extinguisher wall hung
- fire alarm horn & strobe
- photoelectric smoke detector
- carbon monoxide detector
- smoke / carbon monoxide detector
- emergency lighting; battery pack
- exit signage with direction indicator
- building exit arrow indicator
- egress path of travel indicator
- egress exit triangle indicator
- egress exit triangle indicator; horizontal exit
- egress exit triangle indicator; exit discharge
- door mark indicator number

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consultant / contractor information:

stamp:



revision	revision description	date
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project title:
CLYDE STREET RESIDENCE

26 Clyde Street
Somerville, MA 02145

client information:
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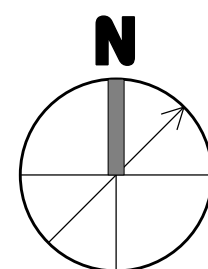
drawing title
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PLAN**

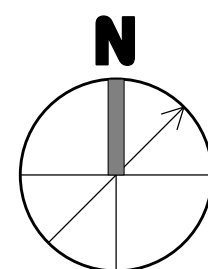
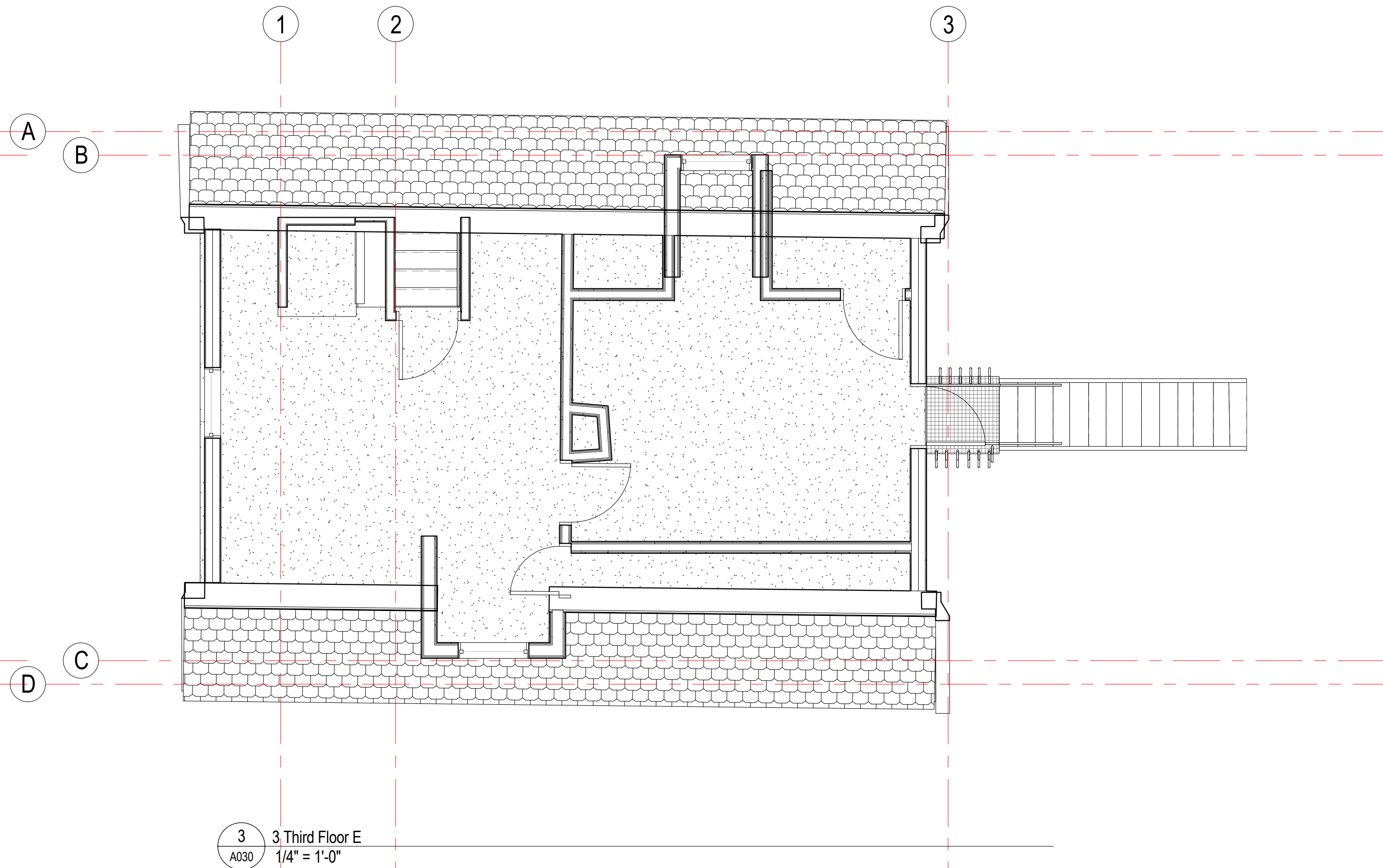
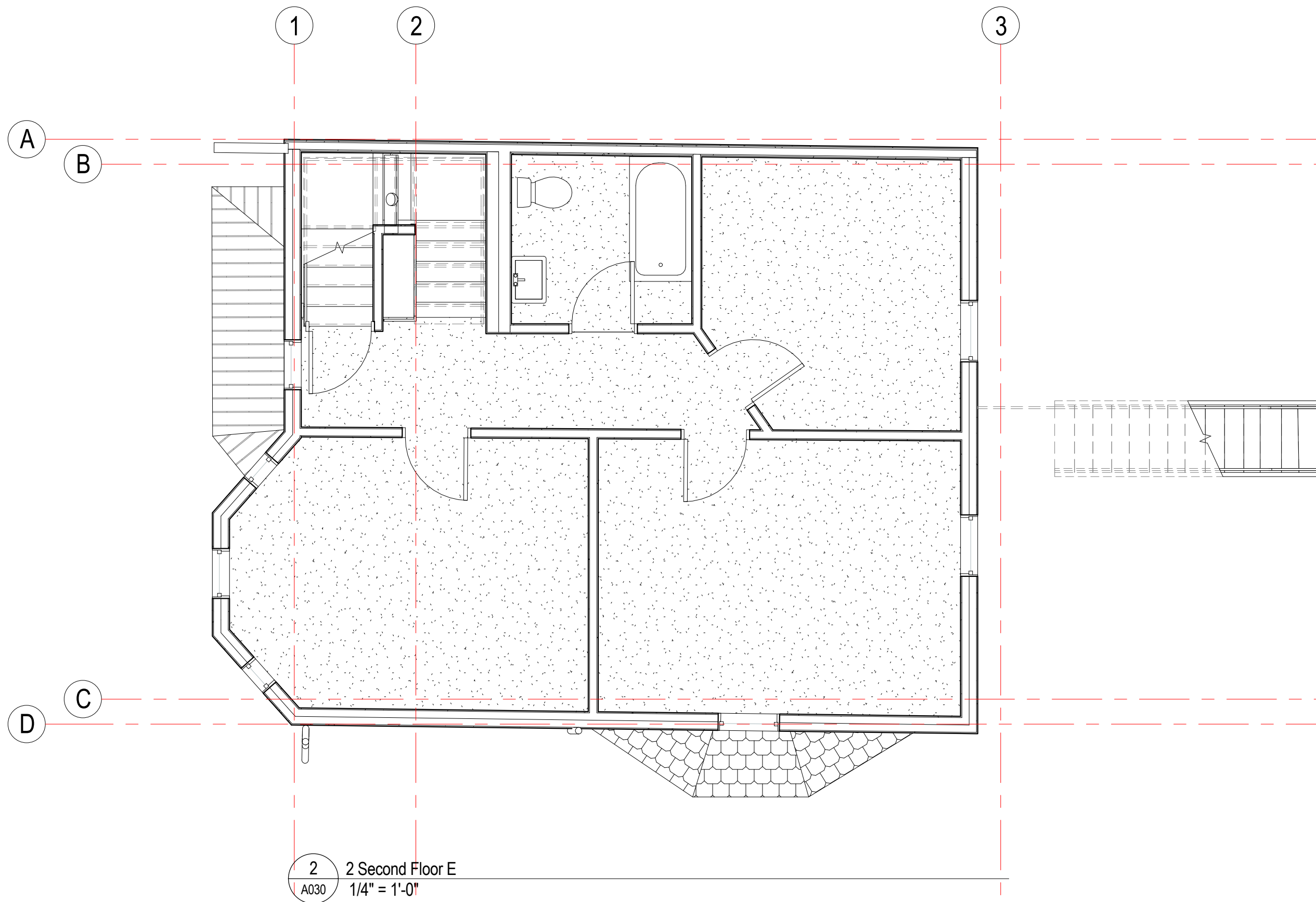
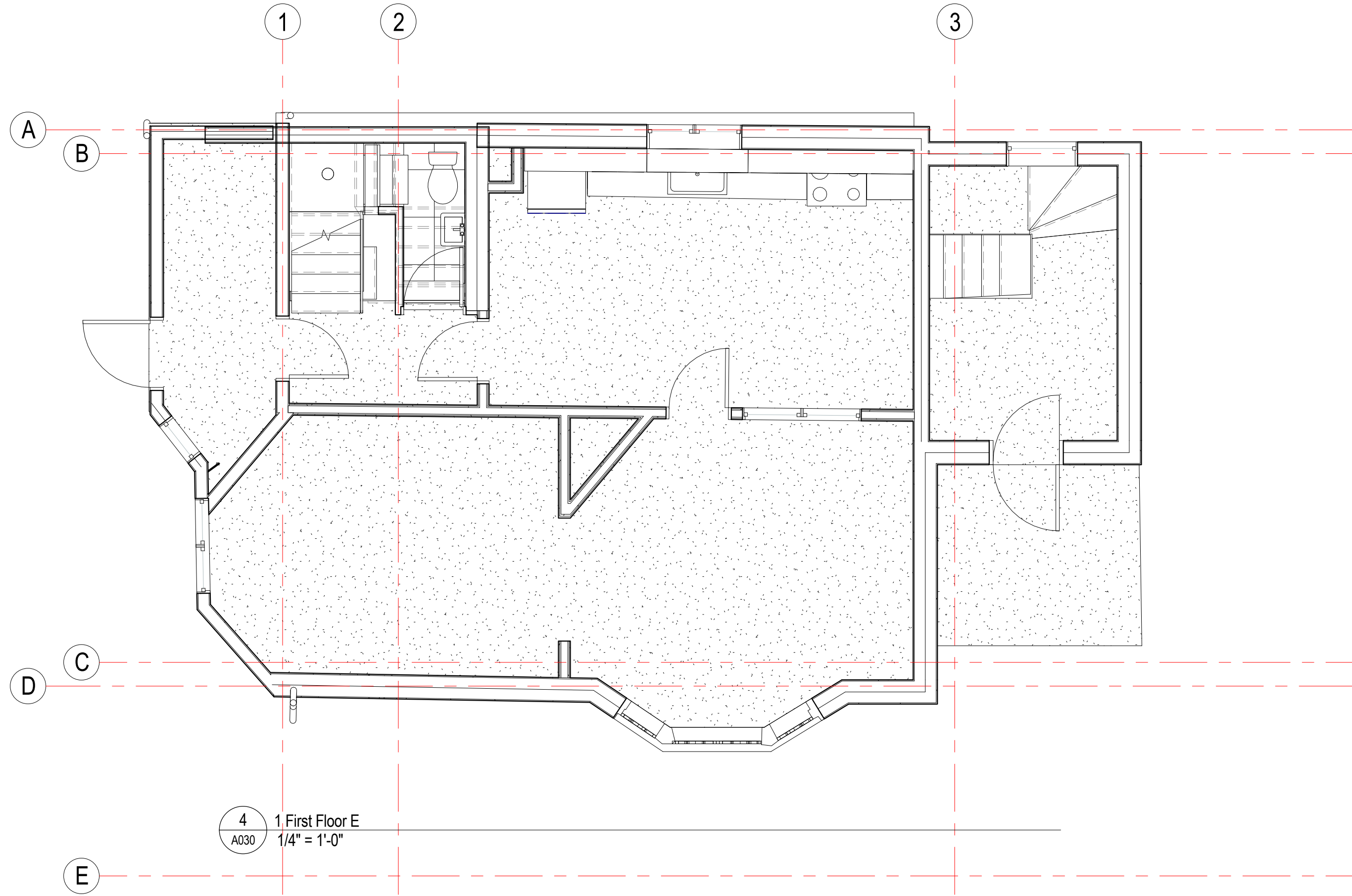
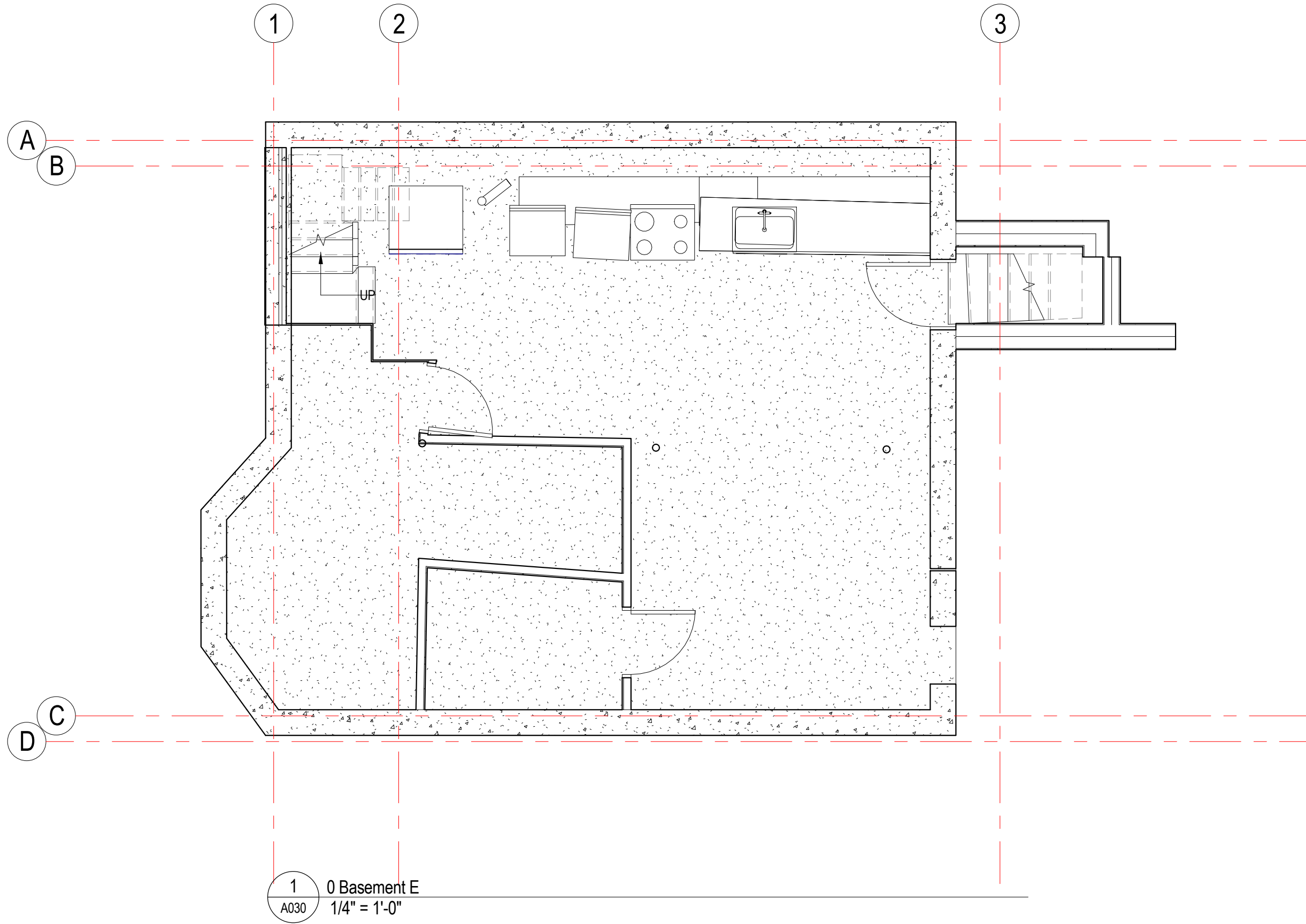
project number	drawing scale	approver
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324	As indicated	Approver
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drawing number	revision
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A010





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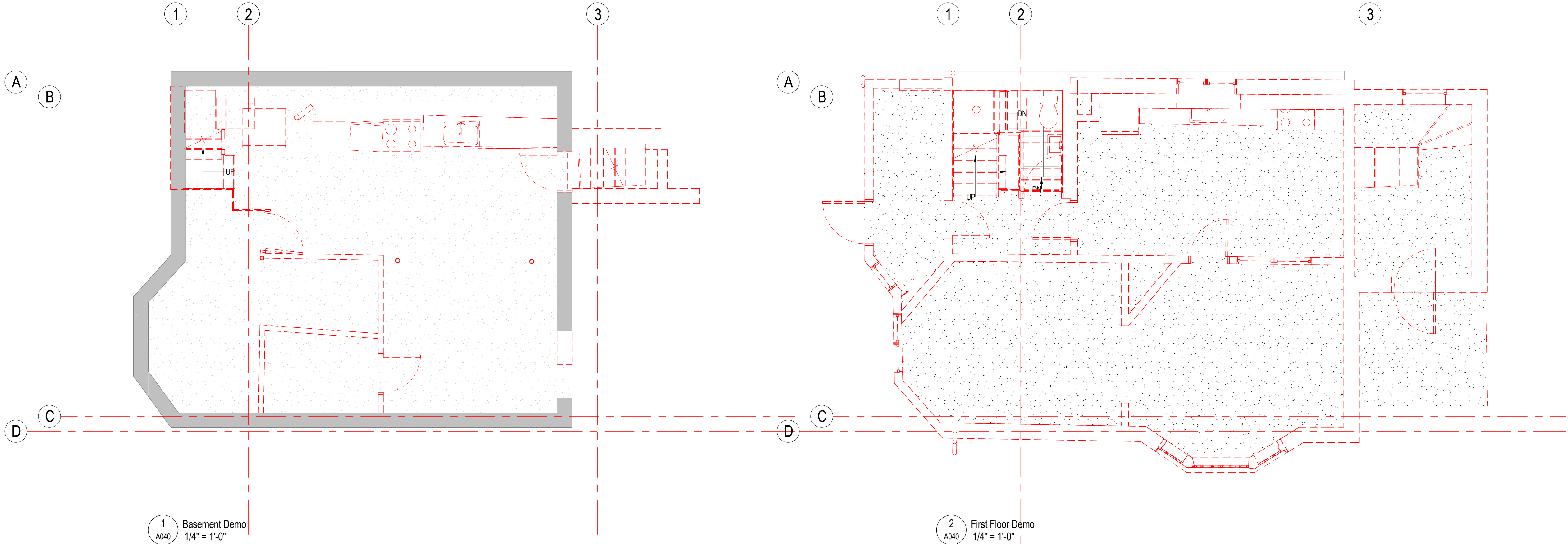
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drawing title
EXISTING FLOOR PLANS

project number 324	drawing scale 1/4" = 1'-0"	approver Approver
drawing number A030	revision	



GENERAL NOTES AND LEGENDS

DEMOLITION

- see general construction notes on sheet A000.
- the drawings have been compiled from the best available information and are not intended to limit the scope of work. the contractor may uncover hidden conditions not shown in this contract set. in such an event, the contractor shall contact the architect immediately.
- selectively demo walls, ceiling, and floor finishes as shown and as required for new layout and systems.
- gc to coordinate cutting of new door openings with required dims for units as shown on floor plans, elevations, and door schedule. notify architect of any conflicts.
- the contractor shall perform demo as required for wall mounted fixtures, shelving, accessories, etc. whether specifically shown or not.
- where removal of existing construction is required for performance of any work under this contract, removal & reinstallation shall be accomplished under the base contract, whether specifically shown or not, including restoration of utilities and any temporary shoring of structural components.
- protect all existing walls, doors, etc. to remain. the contractor is responsible for the repair or replacement of all finishes, framing, and utilities damaged or disturbed during the course of the work, including shop applied finishes.
- see electrical, mechanical, plumbing, fire protection drawings and specifications for relevant info and coordination for systems work. cut penetrations for mep/fp, security and data systems, through wall, through ceiling, through floor and through roof as required.
- all new sprinklers & piping shall be installed prior to demolishing the (e) system & making final connections, in order to minimize the impacts of shutdowns, drain down, system re-fill, and fire watches.
- it is the intent of the demolition scope to remove all existing items that will conflict with new work whether shown or not. all existing non-structural partitions, ceilings, casework, mep/fp items, furr-outs, finish materials, stairs, doors, windows and industrial equipment shall be removed. the contractor shall visit the site prior of the start of any work to become familiar with the existing conditions.
- refer to structural documents for additional information regarding removal and shoring of structural elements.
- refer to civil engineering and landscape architecture documents for additional information regarding removal of site related fixtures, equipment, and associated accessories.
- roofing subcontractor is responsible for removal of all roofing, including non-structural substrates, gutters, and associated flashings. removed material shall be disposed of by the general contractor.
- coordinate all demolition with hazardous material removal/abatement requirements.
- general contractor is responsible for disposal of all excess salvaged items not used in the project or requested to be returned to the owner.
- the contractor shall verify all existing conditions and review with all trades the extent of demolition required.
- the contractor shall protect all materials and equipment noted to remain. all material indicated to be salvaged or reinstalled shall be stored and protected from damage until ready to be permanently reinstalled.
- all material indicated to be removed shall be disposed of in accordance to applicable codes and laws. the owner retains the right to reclaim any existing material. such material shall be protected from damage and delivered to the owner as per owner's requirements and compliance with sustainable practices. at the end of demolition, leave the area free and clear. broom clean for the application of new work.
- the contractor shall provide protection around and over all floor openings. coordinate all new floor opening dimensions with architectural drawings.
- where floor finish removal is indicated, remove flooring materials down to substrate.
- clean any residue from concrete surface. prep substrate to receive finish as indicated on finish schedule and per flooring manufacturers recommendations.
- where ceiling removal is indicated, remove all components of existing ceiling systems including all fasteners. all materials and equipment shall be removed to underside of structure above. prep surface of underside of structure for new finish per finish schedule.
- see mechanical, plumbing, fire protection, and electrical drawings for scope of mechanical, plumbing, fire protection, and electrical demolition. cut, cap, and make safe all piping, conduit, and wiring as indicated on related drawings.
- contractor to provide temporary protection for interior side of all exterior walls and surfaces which will remain after demolition.
- locations of (e) sprinkler heads, lighting, hvac diffusers/registers, etc. and a.c.t. grids are not field dimensioned. g.c. to verify locations where in proximity of work.
- sprinkler heads, lighting, hvac diffusers/registers, etc. and a.c.t. grids are existing to remain u.o.n.
- provide temporary enclosure of all exterior openings created as a result of demolition until permanent enclosures are installed.
- provide temporary shoring at all demolition of new openings to install new intel as indicated.

CONSTRUCTION LEGEND

- existing full height solid, glazed or part glazed partition to remain.
- existing full height solid, glazed or part glazed partition to be demolished
- new full height solid, glazed or part glazed partition to be demolished
- existing door to be demolished
- existing wall finish to be removed, to be read in conjunction with proposed works
- existing door to remain
- new door
- demolition hatch
- partial area demolition
- NIC - Not In Construct Hatch

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consultant / contractor information:

stamp:



revision	revision description	date

project title:
CLYDE STREET RESIDENCE

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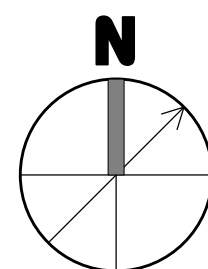
drawing title
DEMOLITION PLANS

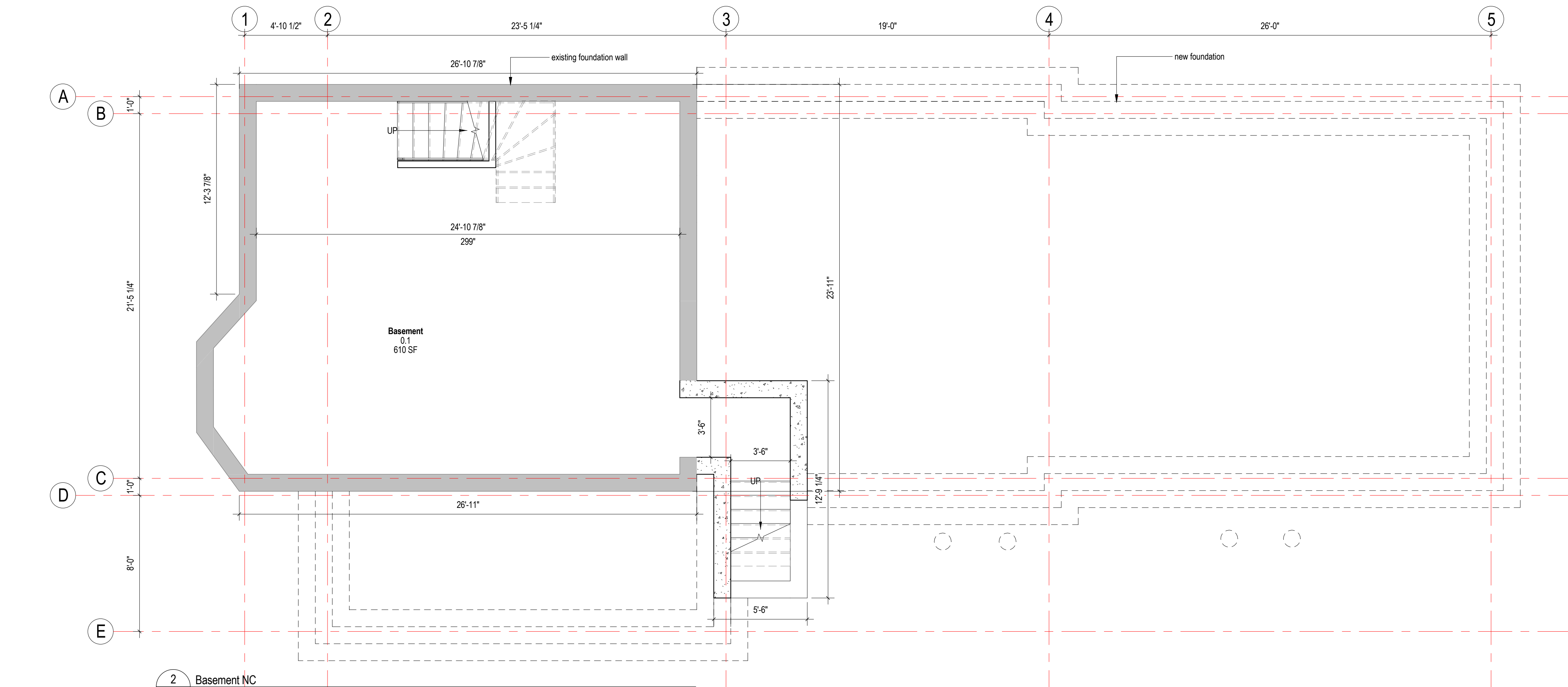
project number
324

drawing scale
As indicated

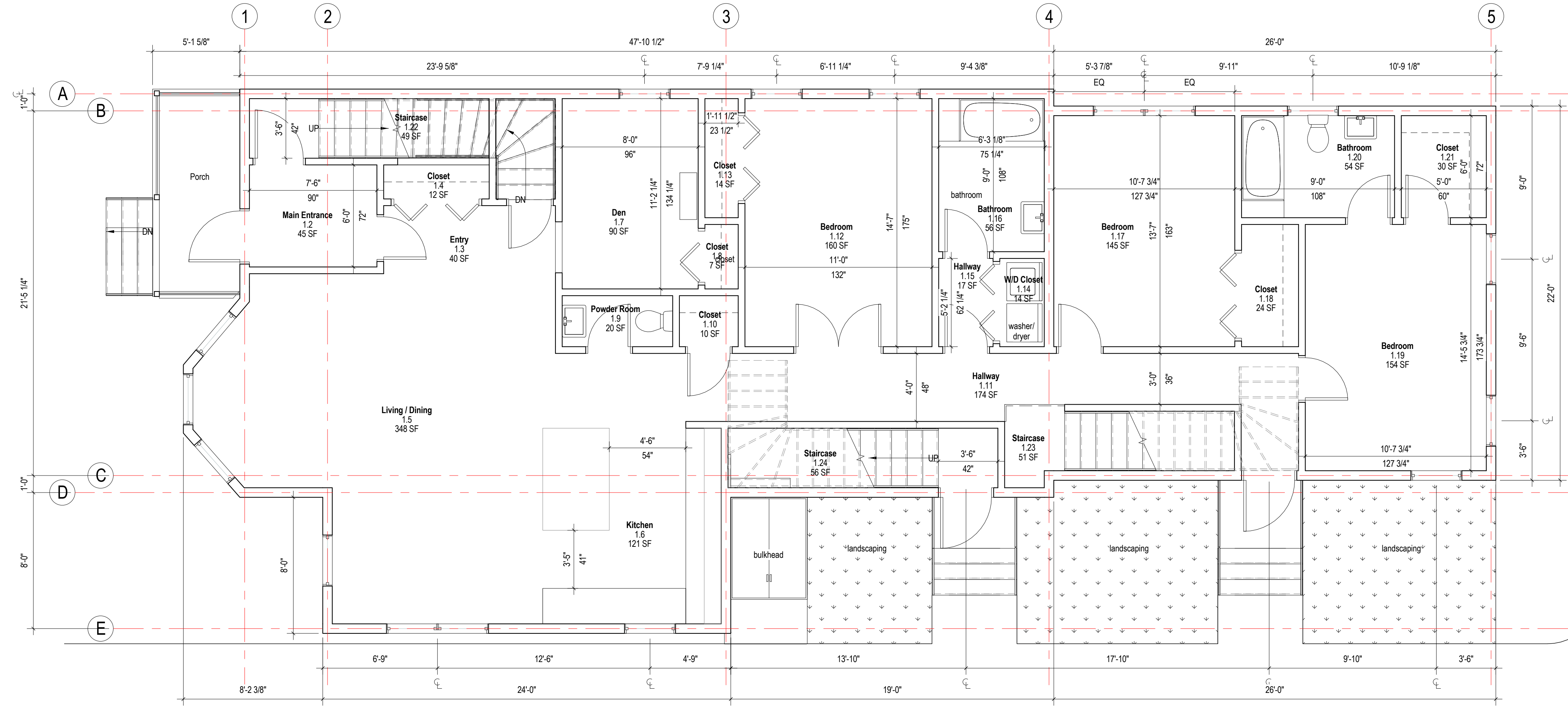
approver
Approver

drawing number
A040





2 Basement NC
1/4" = 1'-0"



1 First Floor NC
1/4" = 1'-0"

GENERAL NOTES AND LEGENDS

DEMOLITION

- see interior elevations for additional information on wall finish materials and typical mounting heights required.
- see general construction notes on sheet a000.
- see reflected ceiling plans for ceiling finish materials. the contractor shall verify all existing conditions after demolition is completed.
- all locations where infill walls meet existing walls with new gwb finish surfaces shall align at adjacent edges unless otherwise noted.
- existing walls shown with additional lines graphically represent new finishes and should not be scaled or dimensioned from. partitions should be built and finished according to partition and finish schedule. coordinate airway drains and floor drains with plumbing drawings.
- provide blocking for grab bars, plumbing fixtures, mill work at all require locations.
- all dimensions indicated with a ± represent field measurements to be provided to architect and verified by contractor.
- see door schedule for all door sizes, door info and details.
- all glass within 18" a.f.f. and/or within 4'-0" of a door swing shall be tempered safety glass.
- all existing walls to be patched where existing walls were removed.
- provide leveling compound over all existing concrete floor areas to receive new floor covering. no flooring transitions are to exceed 1/2" in height.
- provide in-wall blocking as required.
- provide in-wall blocking for all future built-in casework where indicated.
- patch existing gwb at all locations where a partition has been removed.
- at all areas of mep/p equipment removed from walls, contractor to patch / repair holes in finish from removed fasteners. blend patching to match existing finish to remain.
- seal air tight any penetrations made through air & vapor barriers.
- paint all (n) and (e) gwb & plaster finishes in work area unless noted.
- interior dimensions are indicated to finish wall (cmu or gypsum board) materials. u.n.o.
- mep/p elements shown are schematic and are provided for reference only. refer to mep/p drawings & specifications for more information.
- exterior masonry dimensions are indicated to centerline of joints.
- window dimensions are to center line of opening; dimensions are nominal. see curtain wall, door & window schedule and details for actual opening dimension required.
- provide leveling compound as req. for proper tile installation to achieve smooth, level, flush finish.
- all material installation to be level & plumb.
- see a140 series for all finishes.

CONSTRUCTION LEGEND

- existing full height solid, glazed or part glazed partition to remain.
- existing full height solid, glazed or part glazed partition to be demolished
- new full height solid, glazed or part glazed partition to be demolished
- existing door to be demolished
- existing wall finish to be removed, to be read in conjunction with proposed works
- existing door to remain
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- demolition hatch
- partial area demolition
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stamp:



revision	revision description	date

project title:
CLYDE STREET RESIDENCE

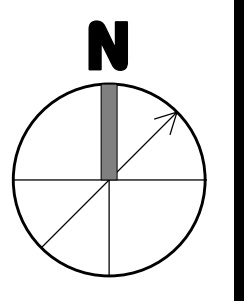
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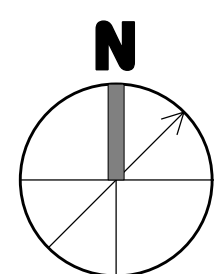
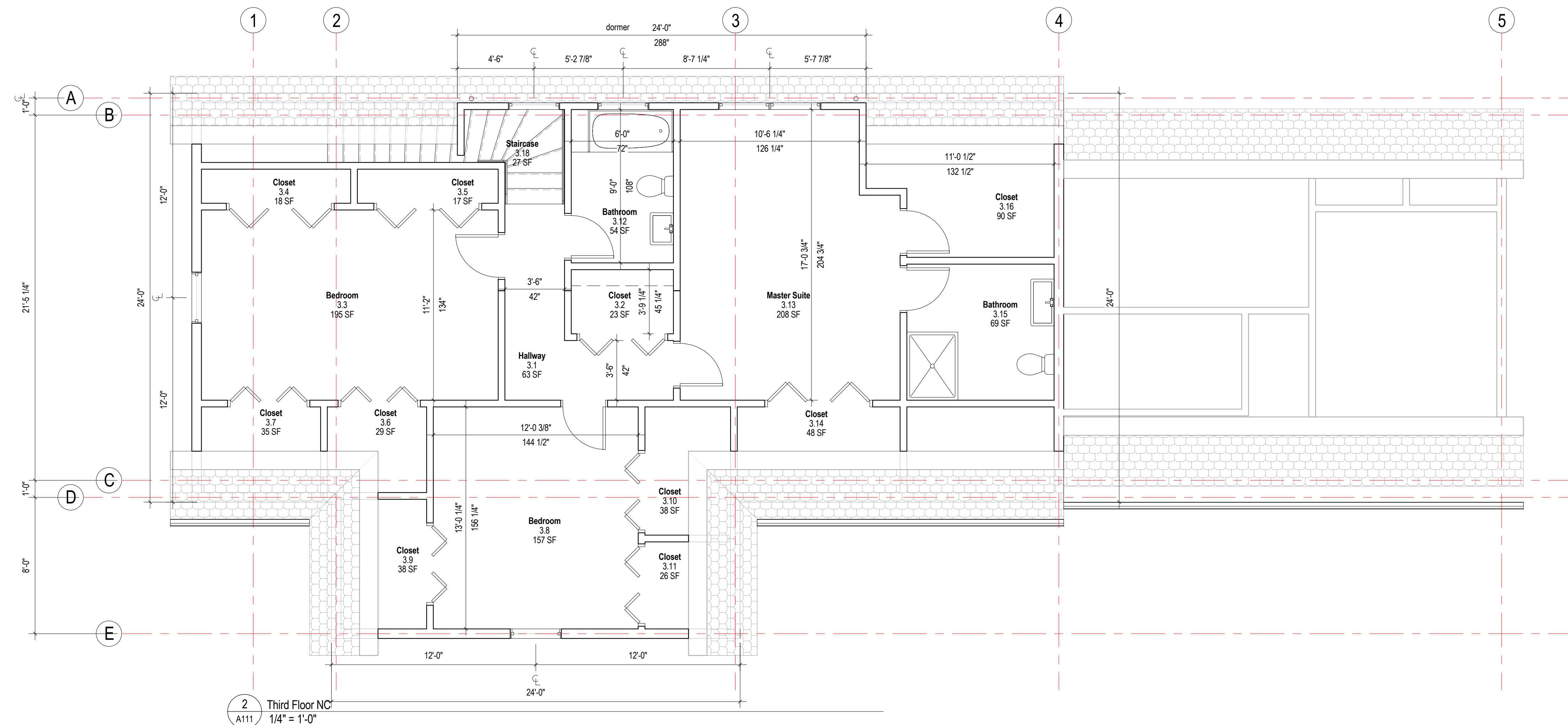
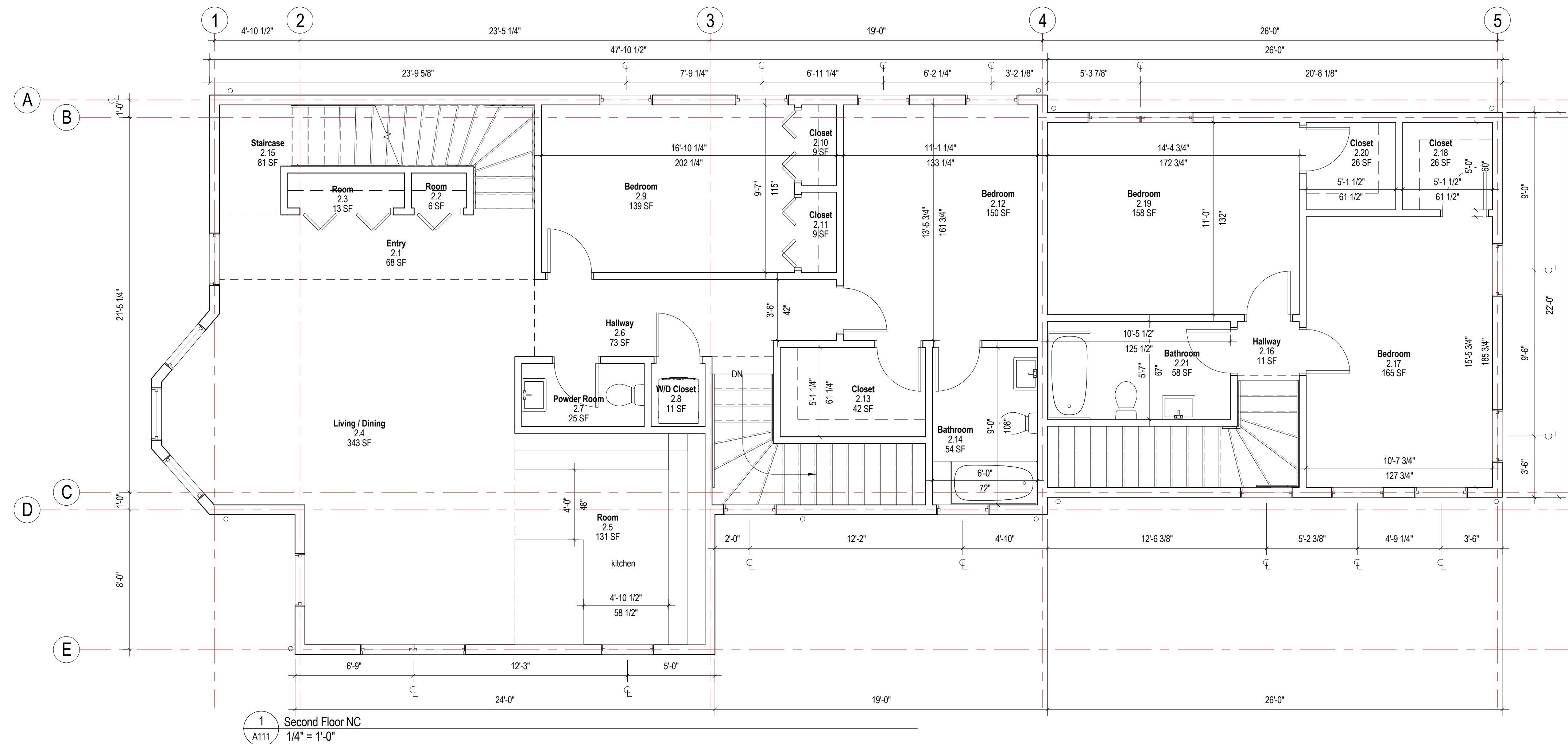
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drawing title
**BASEMENT / GROUND
FLOOR NC PLANS**

project number 324	drawing scale As indicated	approver Approver
drawing number A110		revision





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stamp:



revision	revision description	date

project title:
CLYDE STREET RESIDENCE

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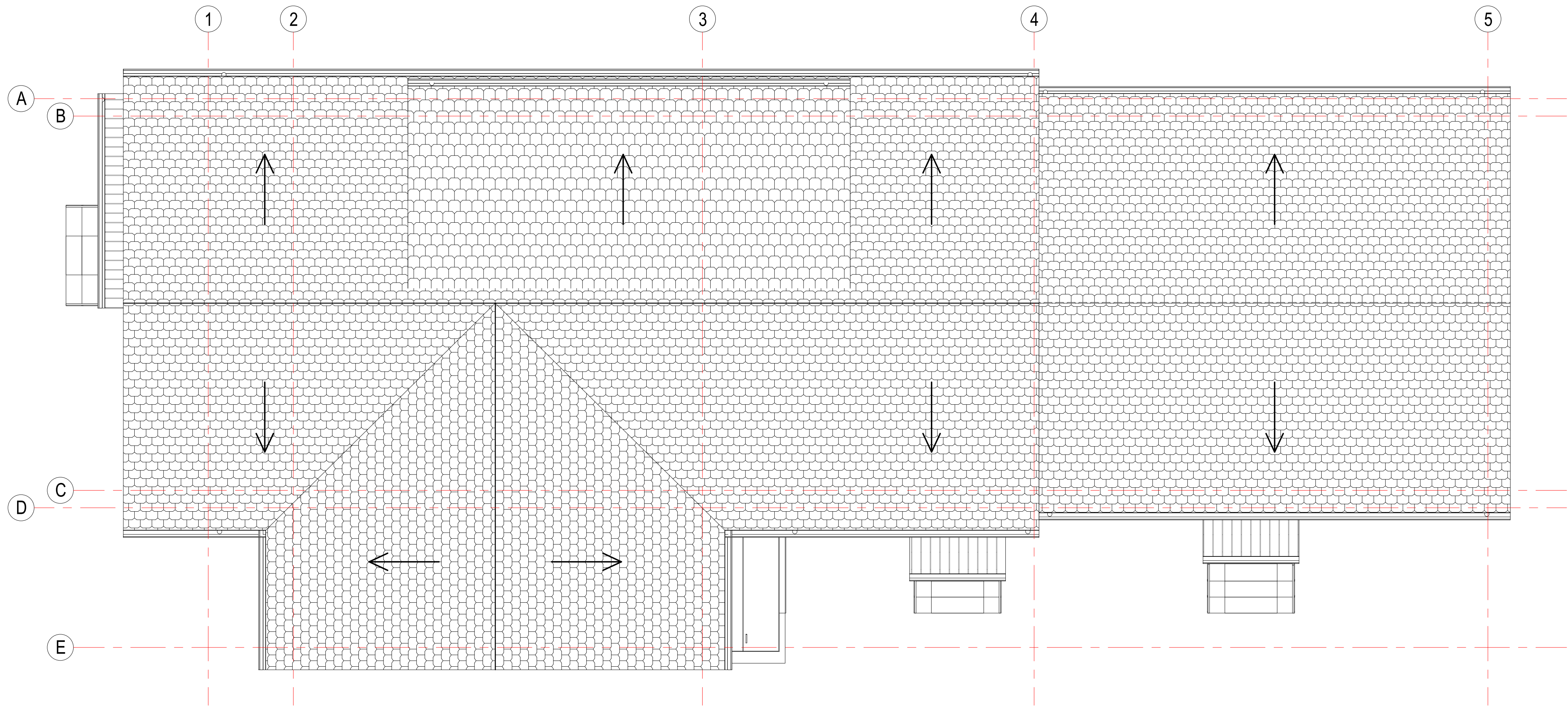
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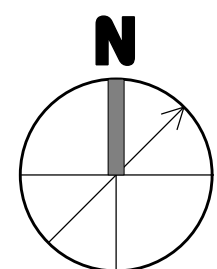
drawing title
**SECOND AND THIRD
FLOOR NC PLANS**

project number 324	drawing scale 1/4" = 1'-0"	approver Approver
drawing number		revision

A111



1 Roof NC
A112 1/4" = 1'-0"



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revision	revision description	date

project title:
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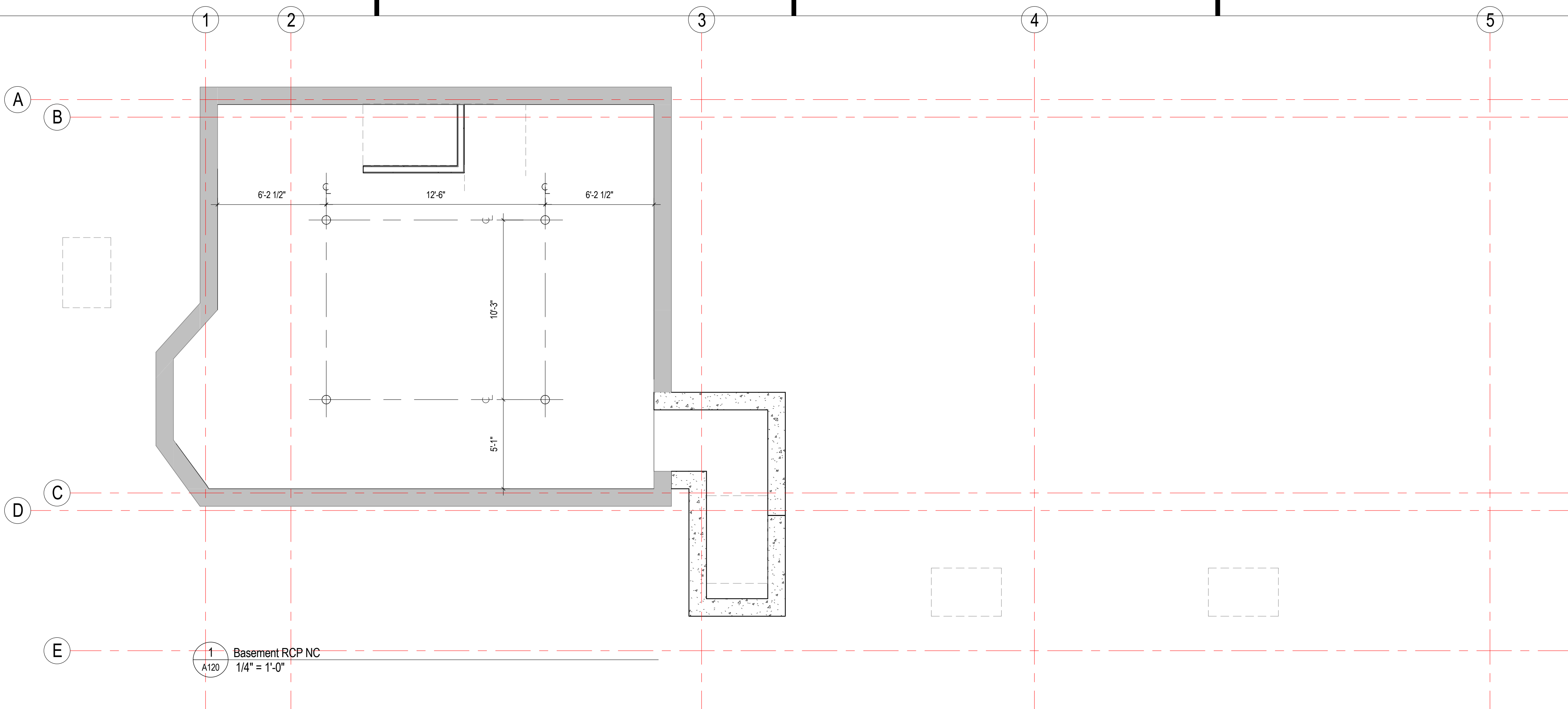
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drawing title
ROOF NC PLAN

project number 324	drawing scale 1/4" = 1'-0"	approver Approver
drawing number A112	revision	



REFLECTED CEILING SYMBOLS

- exhaust register with directional arrows
- return register; size varies
- supply register; size varies
- occupancy, motion sensor
- sprinkler | standard; concealed; upright
- emergency lighting; battery pack
- exit signage with direction indicator
- ceiling mounted recessed fixture; see schedule for size; lens style; light direction
- round recessed/surface mounted downlight and wall washer
- square recessed/surface mounted downlight and wall washer
- surface mounted sconce (wedge; rectangle; cylinder; cone)
- linear wall mounted light fixture
- cylinder pendant fixture
- cone pendant fixture
- surface mounted/suspended track; track head light fixture
- under surface led tape light
- not in contract hatch
- 1 hour rated ceiling hatch
- 2 hour rated ceiling hatch
- ACT1 - acoustic ceiling tile 24x24
- GWB - gypsum ceiling

REFLECTED CEILING NOTES

- see general construction notes on sheet a000.
- field verify all existing ceiling conditions including dimensions, structure, utility lines, etc. discrepancy with the drawings shall be reported to the architect.
- dimensions.
- dimensions noted as "dir." mean clear dimension to face of finish.
- all horizontal dims. are shown on plans and vertical dims.
- all ceiling elevations noted on the rcp are from finished floor elevation unless noted.
- the contractor shall protect all ceiling materials and equipment's noted to remain.
- see mechanical, electrical, and fire protection drawings for all light fixture types, exit signs, sprinkler head locations, and air registers. see architectural drawings for final location of all light fixture and ceiling equipments.
- all sprinkler heads to align with lighting, door openings, windows, and should be centered on ceiling tiles. contractor shall be responsible for sprinkler coordination.
- all exposed duct work, pipes, conduit, etc. to be primed and painted.
- underside of existing and new concrete deck, & all existing exposed concrete encased steel beams to be primed and painted.
- all ceiling tiles to be 2' x 2' uno and all ceiling tile gaskets to be centered in room, uno.
- where no ceiling material is indicated, finish is to be underside of exposed slab and beams, cleaned, primed, and painted.
- center a.c.t. in room in both directions u.o.n. no a.s. shall be no less than half a tile.
- cut a.c.t. as req'd to center hvac registers/diffusers when smaller than a.c.t.
- where (e) plaster or gypboard clgs are to be infilled, patched, patch such that the joint is smooth, flush and invisible when completed.
- align ceiling devices including smoke detectors, sprinkler heads, etc. with ceiling mounted lighting fixtures and center between elements or within grid both directions as shown, u.o.n.
- paint all (n) + (e) gwb & plaster finishes in the ceiling areas.
- align fire alarm, and all other electric devices, w/lighting as shown.
- see sheet axxx for partition types.

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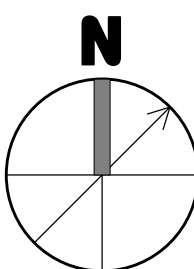
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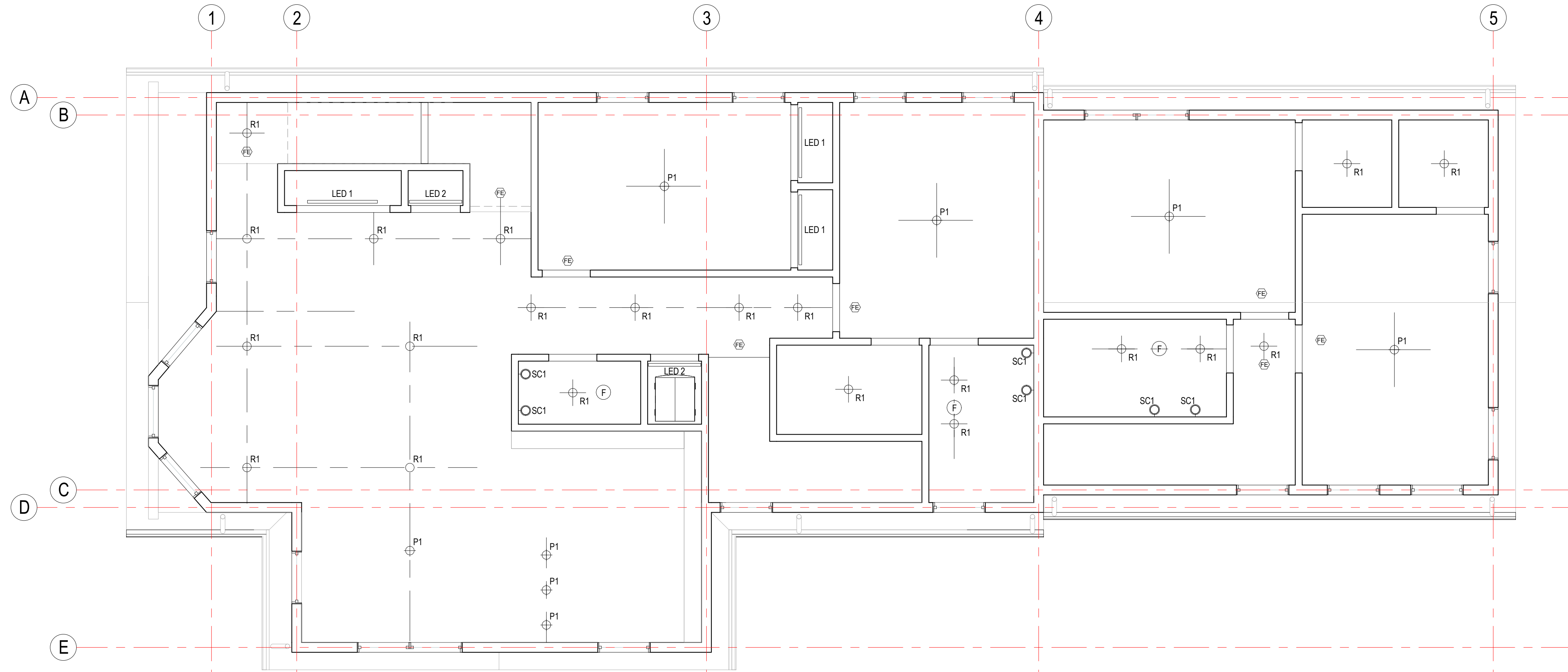
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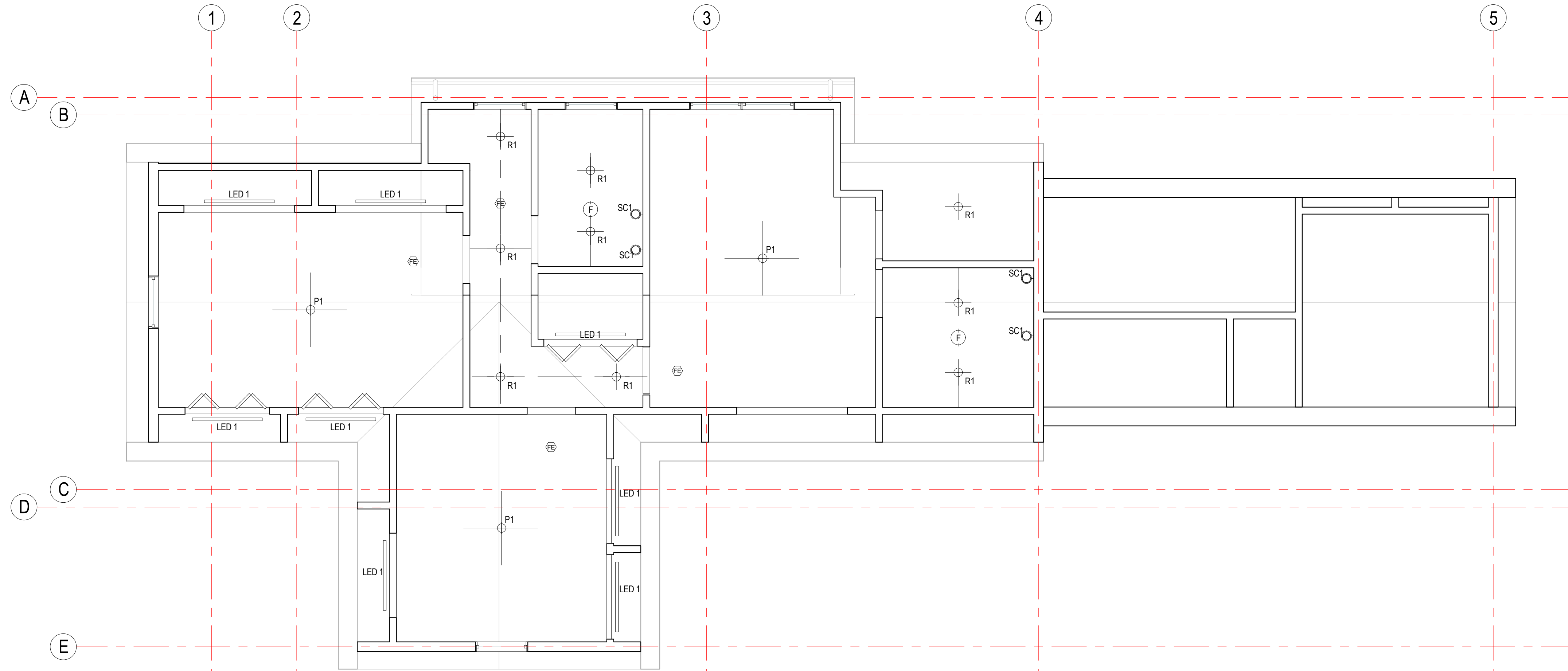
drawing title
**BASEMENT AND FIRST
FLOOR REFLECTED
CEILING PLANS**

project number 324	drawing scale As indicated	approver Approver
drawing number A120	revision	

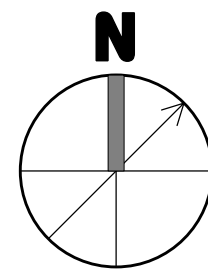




1 Second Floor RCP NC
1/4" = 1'-0"



2 Third Floor RCP NC
1/4" = 1'-0"



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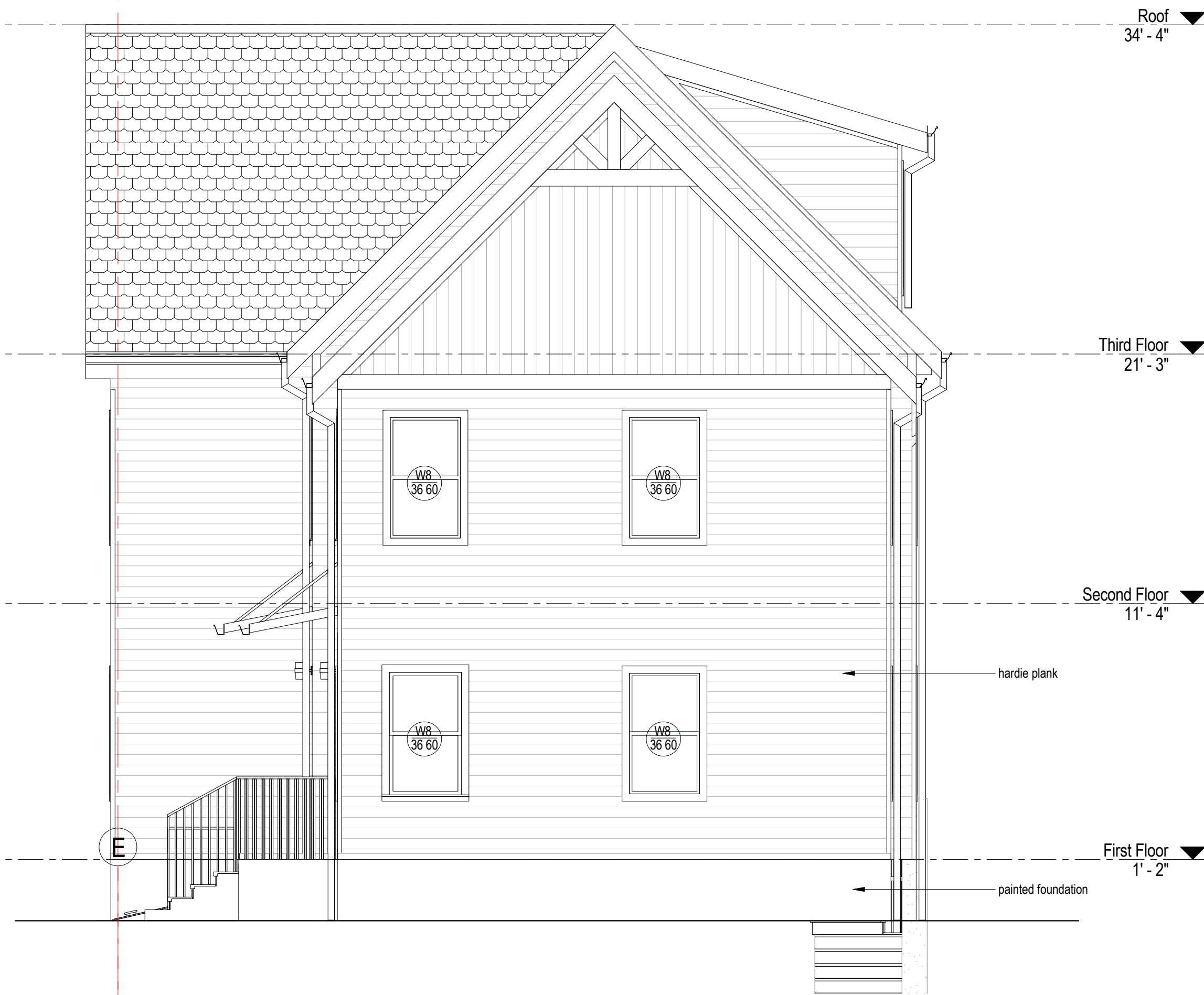
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drawing title
**SECOND AND THIRD
FLOOR REFLECTED
CEILING PLANS**

project number 324	drawing scale 1/4" = 1'-0"	approver Approver
drawing number A121		revision



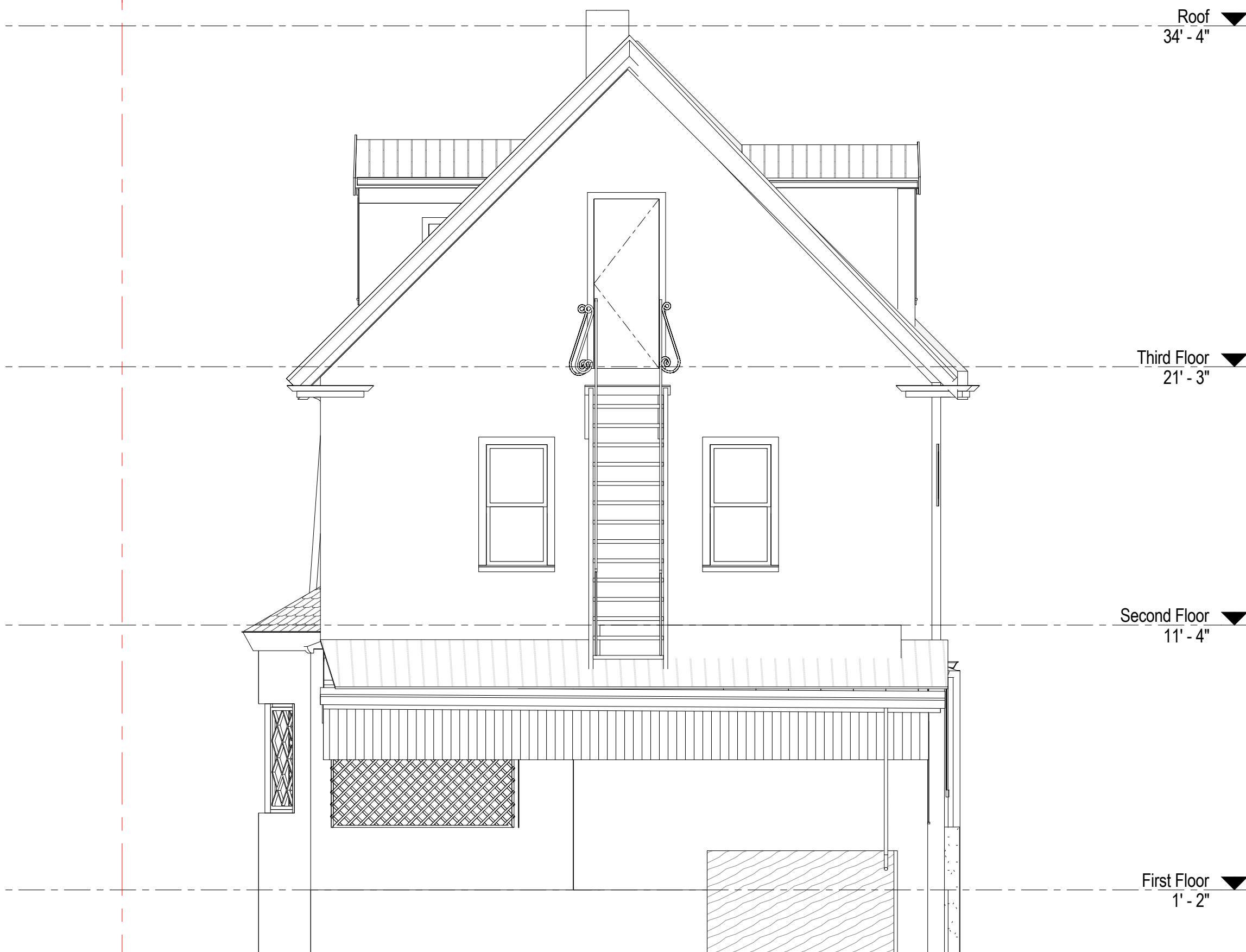
1 Proposed Front Exterior Elevation
1/4" = 1'-0"



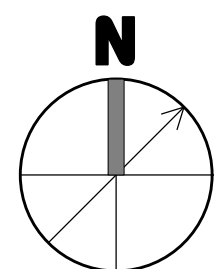
2 Proposed Rear Exterior Elevation
1/4" = 1'-0"



3 Existing Front Exterior Elevation
1/4" = 1'-0"



4 Existing Rear Exterior Elevation
1/4" = 1'-0"



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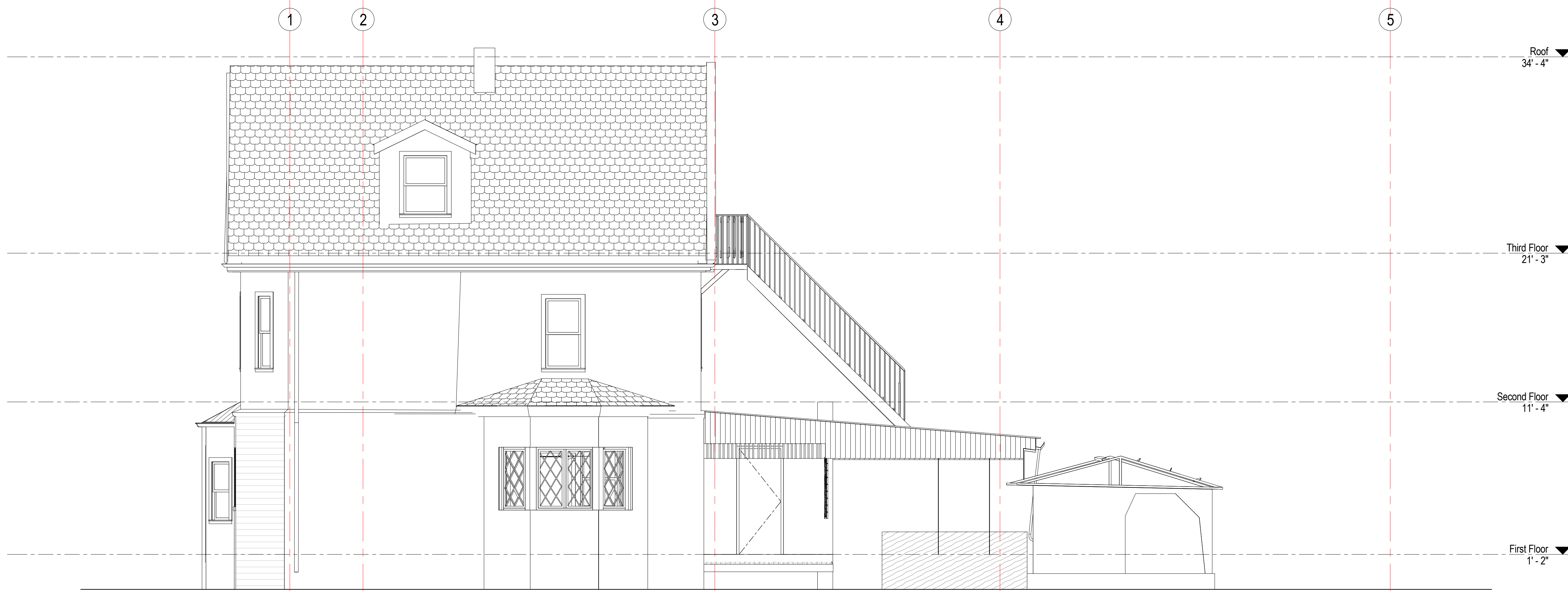
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drawing title
**FRONT AND REAR
EXTERIOR ELEVATION**

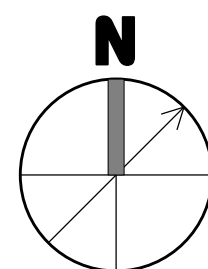
project number 324	drawing scale 1/4" = 1'-0"	approver Approver
drawing number A200		revision



1 Proposed Right Exterior Elevation
1/4" = 1'-0"



2 Existing Right Exterior Elevation
1/4" = 1'-0"



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consultant / contractor information:

stamp:



revision	revision description	date

project title:
CLYDE STREET RESIDENCE

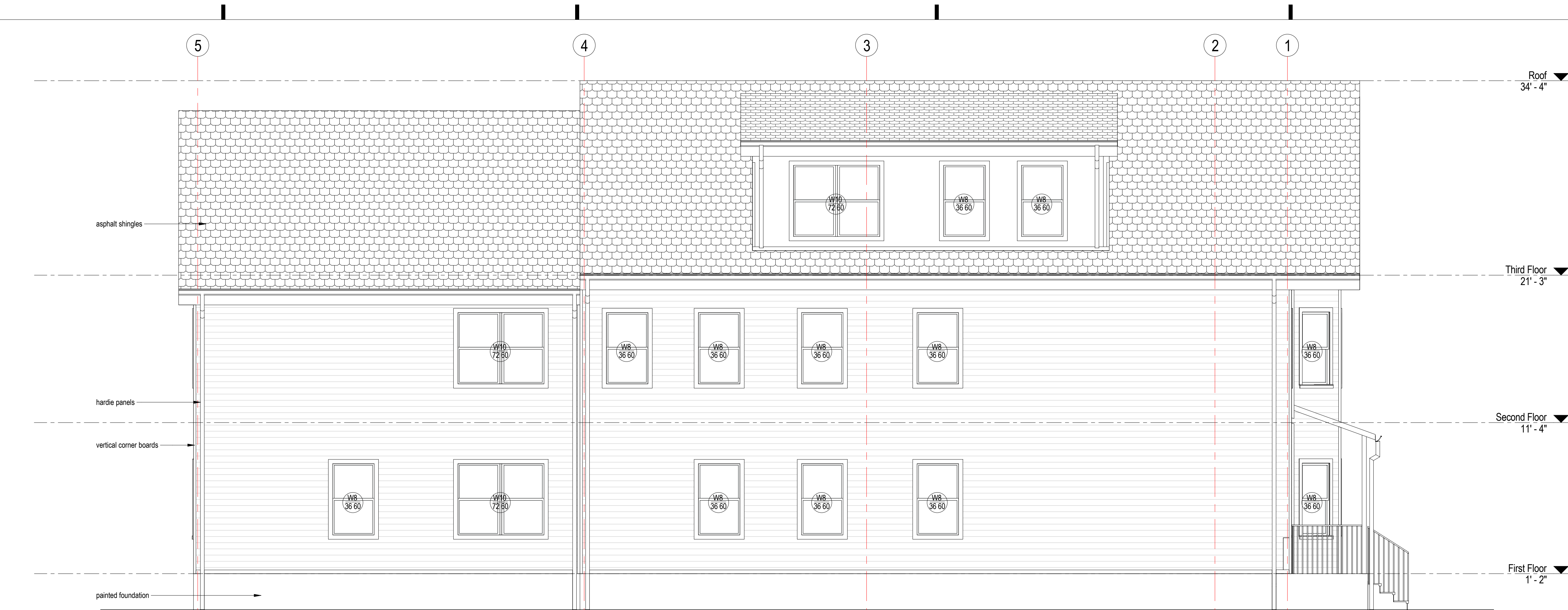
26 Clyde Street
Somerville, MA 02145

client information:
Brian O. Lavelle

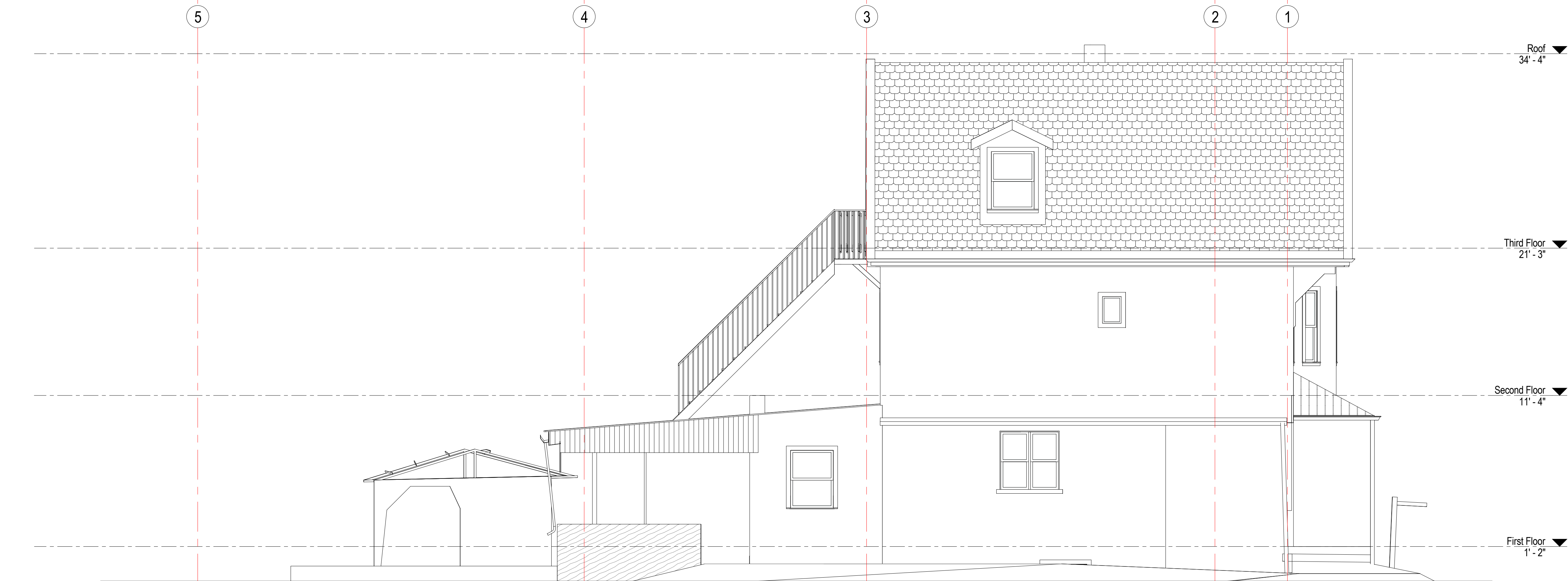
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drawing title
**RIGHT EXTERIOR
ELEVATION**

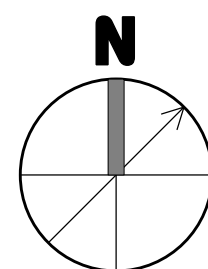
project number 324	drawing scale 1/4" = 1'-0"	approver Approver
drawing number A201		revision



1 Proposed Left Exterior Elevation
1/4" = 1'-0"



2 Existing Left Exterior Elevation
1/4" = 1'-0"



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revision	revision description	date

project title:
CLYDE STREET RESIDENCE

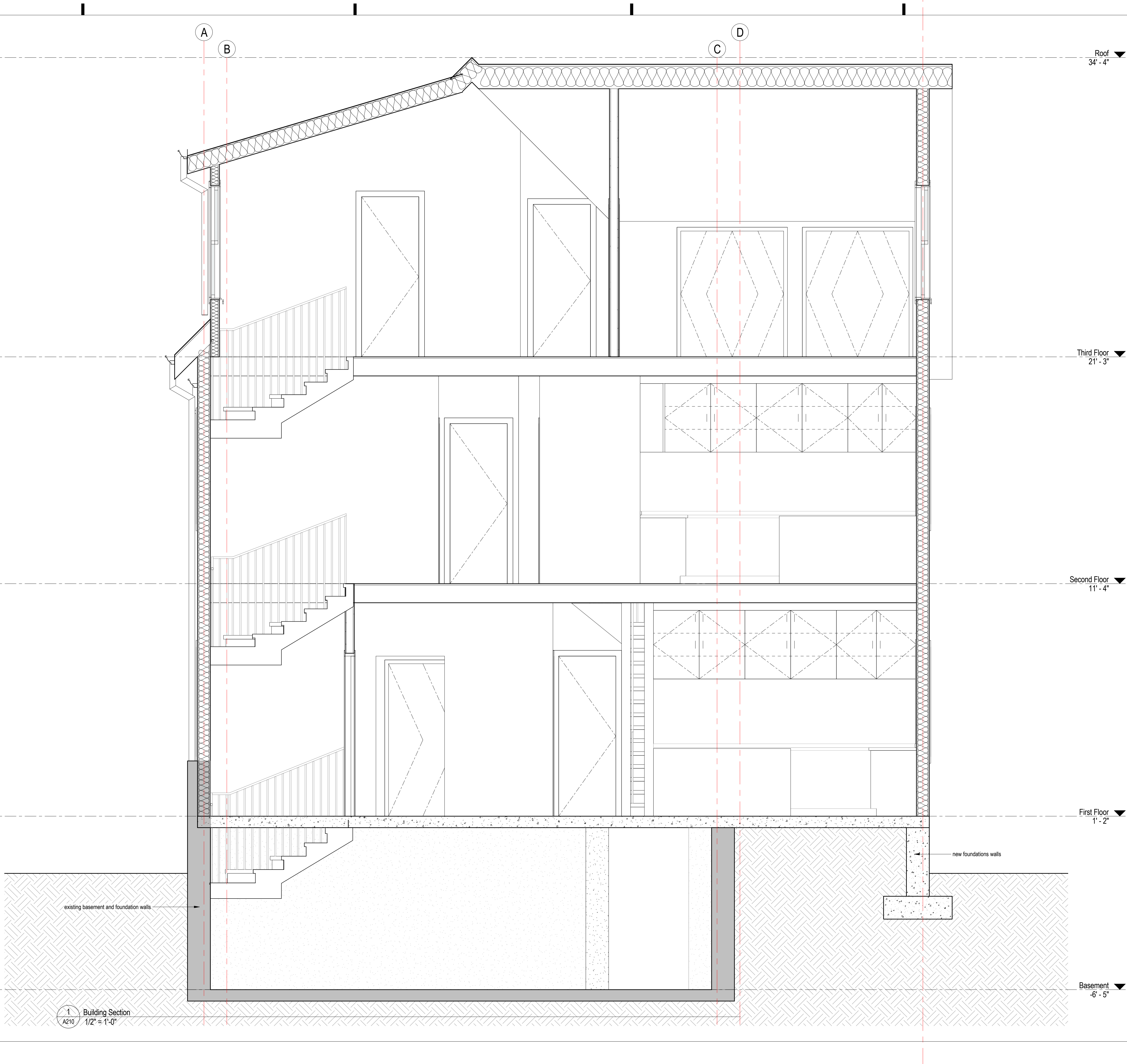
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drawing title
**LEFT EXTERIOR
ELEVATION**

project number 324	drawing scale 1/4" = 1'-0"	approver Approver
drawing number A202	revision	



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stamp:



revision	revision description	date

project title:
CLYDE STREET RESIDENCE

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drawing title
BUILDING SECTION

project number 324	drawing scale 1/2" = 1'-0"	approver Approver
drawing number A210	revision	

