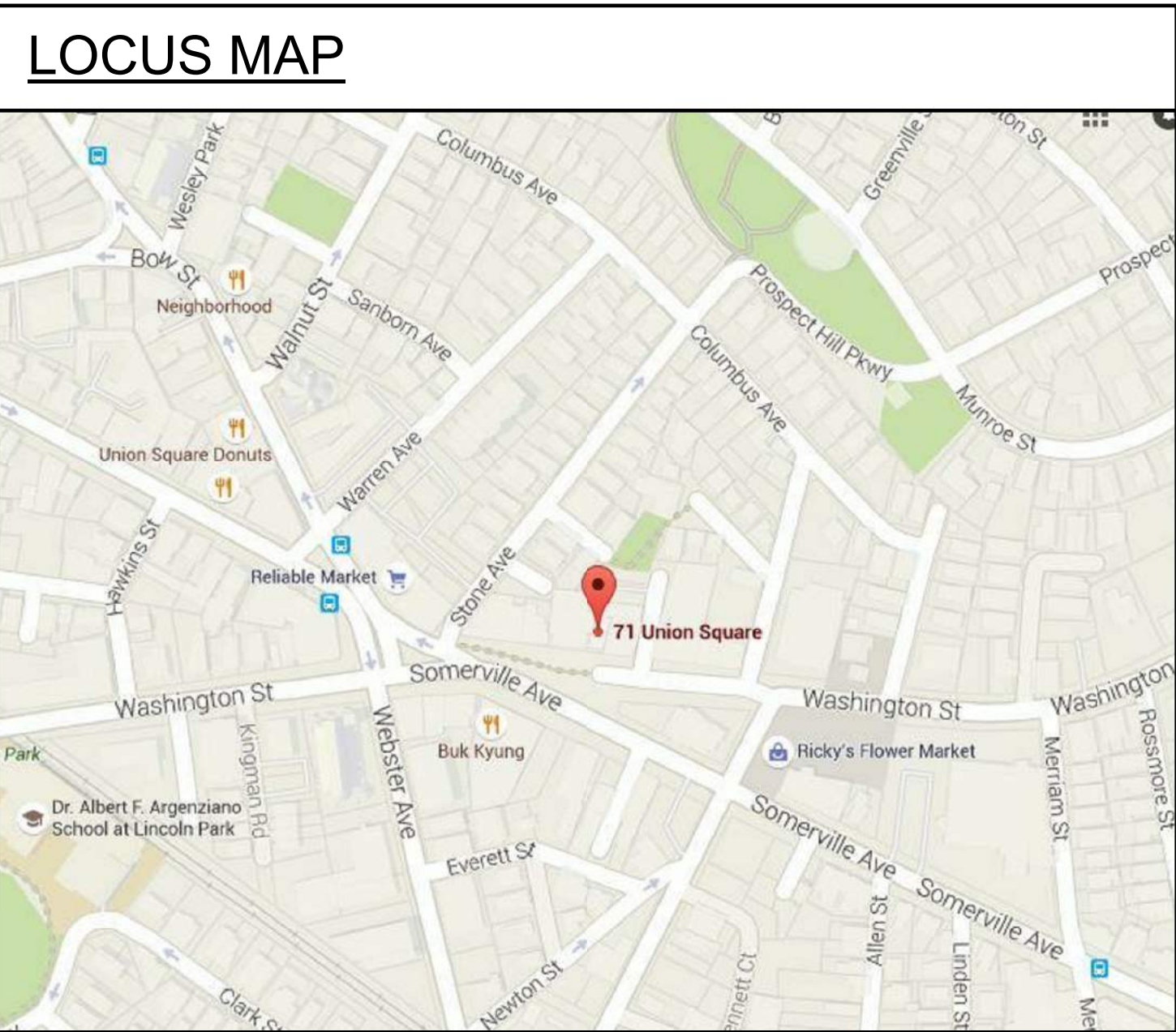


Architectural Drawing List			
DISCIPLINE	Sheet Number	Sheet Name	Sheet Issue Date
ARCHITECTURAL	A-000	Cover Sheet	01/29/21
CIVIL	C-1	Existing Site Plan	12/02/20
CIVIL	C-101	Erosion Control Plan	02/25/21
CIVIL	C-102	Layout & Materials Plan	02/25/21
CIVIL	C-501	Civil Details	02/25/21
LANDSCAPE	L-1	Landscape Plan	01/26/21
LANDSCAPE	L-2	Landscape Plan - Second Floor Roof Deck	01/26/21
LANDSCAPE	L-3	Landscape Roof Plan	01/26/21
LANDSCAPE	L-4	Green Score Calculations	01/26/21
LANDSCAPE	L-5	Site Details - Site Level	01/26/21
LANDSCAPE	L-6	Site Details - Second Level	01/26/21
LANDSCAPE	L-7	Site Details - Roof Level	01/26/21
LANDSCAPE	L-8	Green Roof Notes	01/26/21
ARCHITECTURAL	A-020	Architectural Site Plan	02/25/21
ARCHITECTURAL	A-021	Neighborhood Context	01/29/21
ARCHITECTURAL	A-100	Floor Plans	01/29/21
ARCHITECTURAL	A-102	Roof Plan	01/29/21
ARCHITECTURAL	A-300	Elevations	01/29/21
ARCHITECTURAL	AV-1	Perspectives	01/29/21
ARCHITECTURAL	AV-2	Realistic Rendering	01/29/21



71-72 UNION SQUARE

SOMERVILLE PLANNING BOARD SUBMISSION
01.29.2021

CLIENT
EVEREST REALTY TRUST
1274 BROADWAY APT 2
SOMERVILLE, MA 02143
T:(617)-501-7309

ARCHITECT
KHALSA DESIGN INC.
17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143
T:(617)-591-8682

CIVIL
DESIGN CONSULTANTS, INC.
120 MIDDLESEX AVE. SUITE 20
SOMERVILLE, MA 02145
T:(617)-776-3350

LANDSCAPE
VERDANT LANDSCAPE ARCHITECTS
318 HARVARD STREET, SUITE 25
BROOKLINE, MA 02446
T:(617)-735-1180

PROJECT NAME
71-72 Union Square

PROJECT ADDRESS
71-72 Union Square,
Somerville MA

CLIENT
Everest Realty Trust

ARCHITECT



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX:
617-591-2086

CONSULTANTS:

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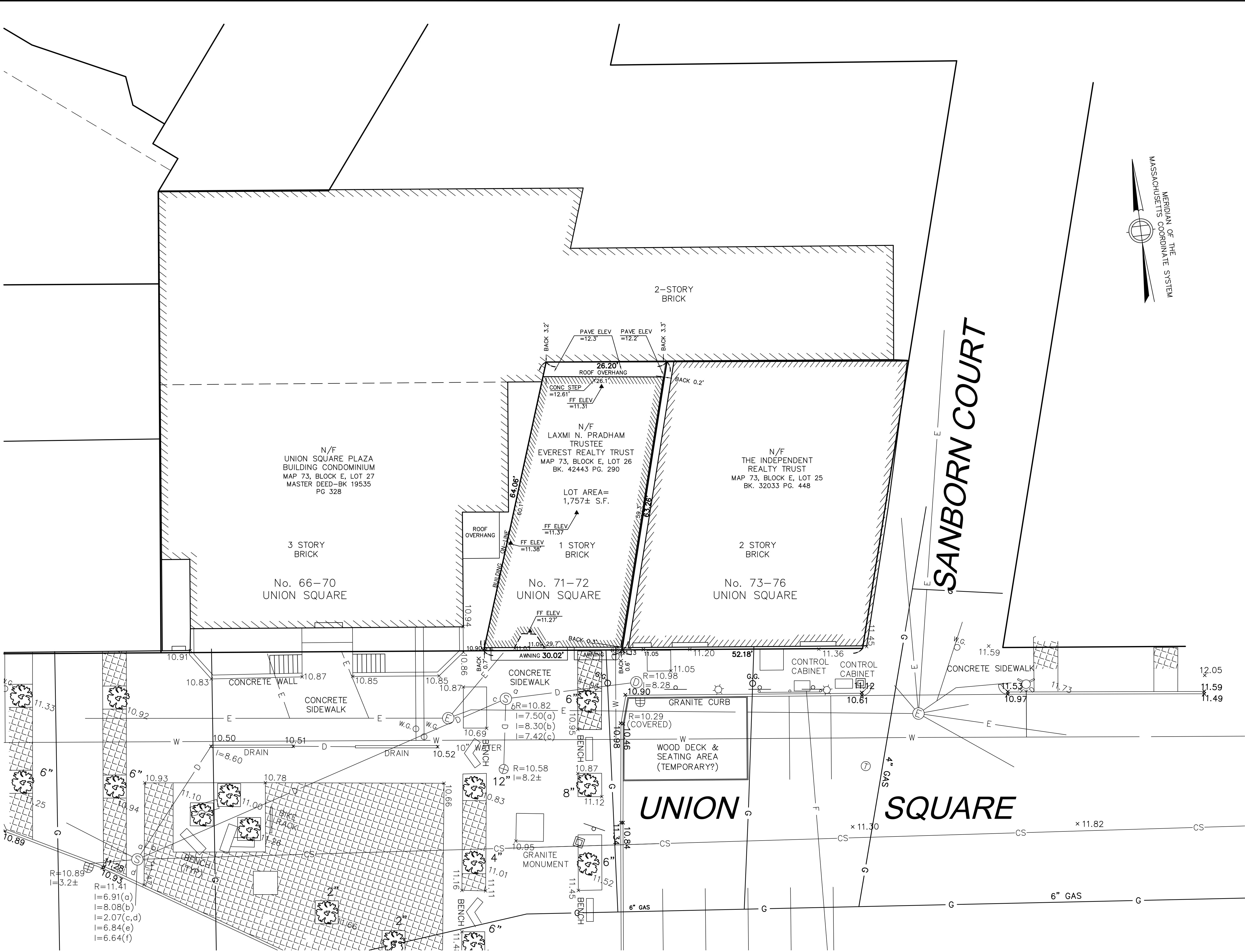
Project number	15062
Date	01-29-21
Drawn by	WC
Checked by	JSK
Scale	

REVISIONS		
No.	Description	Date

Cover Sheet

A-000

71-72 Union Square



LEGEND

- HH ELECTRIC HANDHOLE
- E ELECTRIC MANHOLE
- S SEWER MANHOLE
- T TELEPHONE MANHOLE
- C CATV MANHOLE
- D DRAIN MANHOLE
- ⊕ CATCHBASIN
- ⊕ GAS GATE
- ⊕ GAS METER
- ⊕ WATER GATE
- ⊕ WATER SHUT-OFF
- ⊕ FIRE HYDRANT
- ⊕ LIGHT POLE
- ⊕ SIGN
- ⊕ TRASH RECEPTACLE
- ⊕ DECIDUOUS TREE
- W WATER LINE
- D DRAIN LINE
- CS COMBINED SEWER LINE
- E UNDERGROUND ELECTRIC LINE
- F FIRE ALARM LINE
- G GAS LINE

NOTES
LOCATION OF UTILITIES SHOWN HEREON ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY, PLANS OF RECORD, INFORMATION FURNISHED BY THE RESPECTIVE UTILITY COMPANIES, AND OTHER AVAILABLE SOURCES IN POSSESSION OF DESIGN CONSULTANTS INC. AS OF THIS DATE. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED, CALL DIGSAFE BEFORE EXCAVATION.

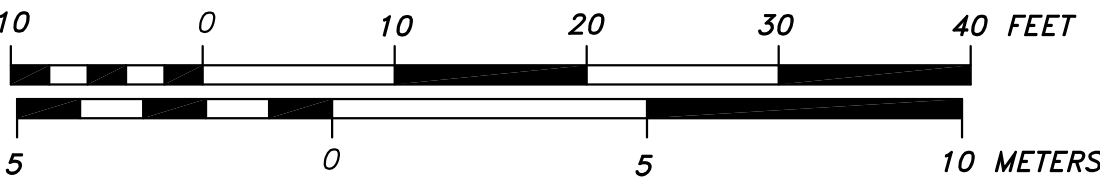
ELEVATIONS DEPICTED HEREON ARE ON NAVD88 VERTICAL DATUM.
ADD 6.20' TO ELEVATION TO OBTAIN CITY OF SOMERVILLE BASE DATUM.
ABUTTERS INFORMATION WAS TAKEN FROM MIDDLESEX COUNTY REGISTRY OF DEEDS INFORMATION ON AUGUST 7, 2015.

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS FOR DESIGN PURPOSES, AND IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED ON AUGUST 12-13, 2015, BY DESIGN CONSULTANTS, INC. WITH ADDITIONAL SPOT GRADES MEASURED ON SEPT. 02, 2015.

P.L.S. _____
BRIAN B. DONEGAN, P.L.S. MASS. REGISTRATION NO. 47592
DATE _____

LOCUS TITLE INFORMATION

71-72 UNION SQUARE
OWNER: LAXMI N. PREDHAN, TR.
EVEREST REALTY TRUST
DEED REFERENCE: BK. 42443 PG. 290
PLAN REFERENCE: BK. 10799 PG. 380 PLAN #440 OF 1965
ASSESSORS: PARCEL ID 73-E-26



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Design Consultants, Inc.
Consulting Engineers and Surveyors

120 MIDDLESEX AVENUE
SOMERVILLE, MA 02145
617-776-3350
68 PLEASANT STREET
NEWBURYPORT, MA 01950
978-358-7173

SCALE:
HORIZ: 1"= 10'
VERT: _____

NO.	DATE	BY	REVISIONS
1	09/02/15	BD	ADDITIONAL SPOT GRADES & LOT AREA ADDED

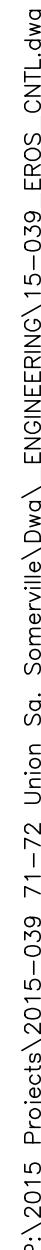
FIELD: CN, JM
CALCS: BD
CHECKED: BD
APPROVED: BD

EXISTING CONDITIONS PLAN

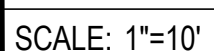
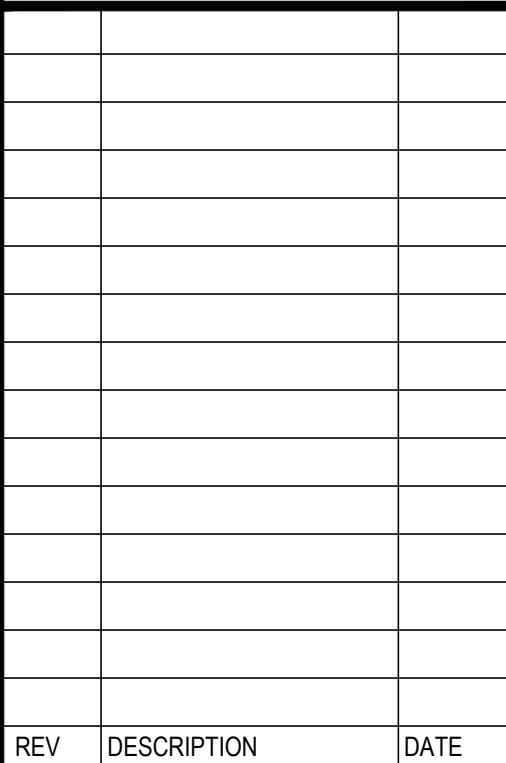
71-72 UNION SQUARE
SOMERVILLE, MASS.

PLAN OF LAND IN
SOMERVILLE, MASSACHUSETTS
SURVEYED FOR
SHREE GANESH REALTY TRUST

PROJECT NO.
2015-039
DATE: AUG. 25, 2015
SHEET NO.
1 OF 1

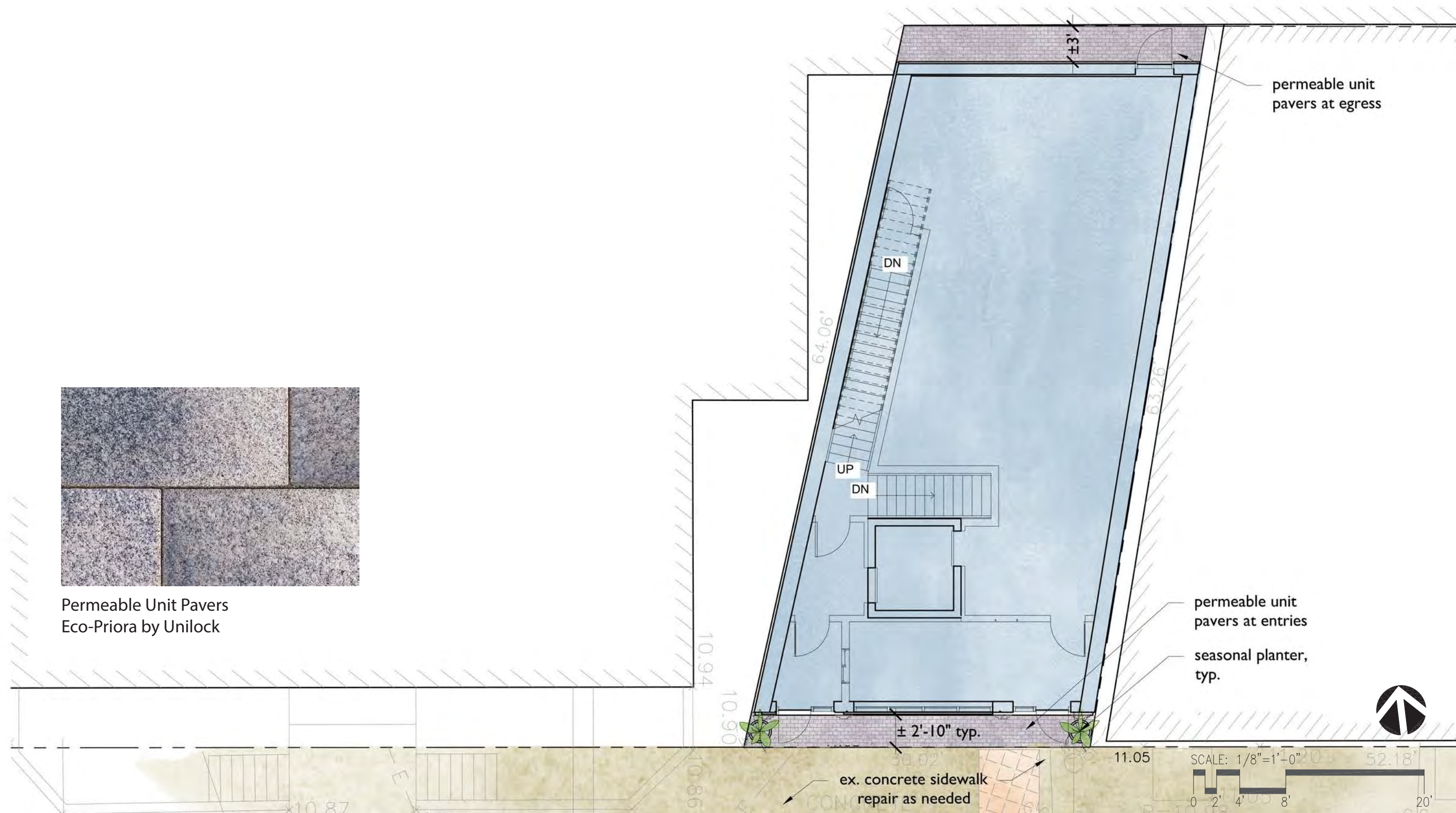


1. THE LOCATION OF AND SIZE OF BURIED UTILITIES ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY BY DESIGN CONSULTANTS INC., PLANS OF RECORD AND PLANS FROM RESPECTIVE UTILITY COMPANIES.
2. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET ROW, OR ON ABUTTING LOTS.
3. CITY OF SOMERVILLE MUNICIPAL UTILITIES (WATER, SEWER & DRAIN) ARE NOT PART OF DIG-SAFE. REQUEST FOR MARKINGS CAN BE MADE BY CALLING DIG-SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO EXCAVATION. STREET OPENING PERMITS SHOULD ALSO BE FILED AT THAT TIME.
4. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
5. ALL EXISTING UTILITY SERVICE CONNECTIONS SHALL BE ABANDONED UNLESS NOTED OTHERWISE. THE WATER AND SEWER SERVICES SHALL BE CUT AND CAPPED AT THE MAIN IN THE STREET BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY OF SOMERVILLE STANDARDS. THE PROPOSED GAS, ELECTRIC AND/OR CATV INSTALLATION AND ABANDONMENT OF EXISTING CONNECTIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE COMPANIES.
6. FINAL DEMARCATION POINTS FOR GAS, ELECTRIC, TELEPHONE, AND COMMUNICATION SERVICE ENTRANCES ARE SUBJECT TO APPROVALS OF EACH PROVIDER.
7. ALL UTILITIES SHOWN ON THIS SITE ARE TO THE EXTERIOR OF THE BUILDING FOUNDATION ONLY. UTILITIES THROUGH THE FOUNDATION AND INSIDE THE BUILDING ARE THE RESPONSIBILITY OF THE MECHANICAL ENGINEER. SEE MECHANICAL ENGINEERING PLANS.
8. THE CONTRACTOR SHALL SUPPLY ALL PIPING FOR THE UTILITY SERVICES AND SHALL SUPPLY ALL ASSOCIATED APPURTENANCES, FITTING AND VALVES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL PERFORM ALL WET AND DRY TAPS AS PART OF HIS/HER CONTRACT.
9. CITY OF SOMERVILLE RESERVES THE RIGHT TO INSPECT ALL FACILITIES DISCHARGING TO THE TOWN OF SOMERVILLE DRAIN AND SEWER SYSTEMS.
10. TRENCH AREAS FOR THE DEMOLITION OR REMOVAL OF THE UNDERGROUND UTILITIES ARE TO BE RE-PATCHED WITH SAME MATERIAL AT THE SAME DEPTH AS THE EXISTING MATERIAL. THE AREAS OF TRENCHING SHALL BE NEATLY SAW-CUT AND THE NEW REPATCHING MATERIAL SHALL BE PROPERLY SEALED IN ACCORDANCE WITH THE CITY OF SOMERVILLE MUNICIPAL STANDARDS.
11. DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST CAVE-IN.
12. NO TRENCHES ARE ALLOWED TO REMAIN OPEN OVERNIGHT. ALL TRENCHES SHALL BE BACKFILLED AT THE END OF THE WORK DAY OR COVERED WITH STEEL PLATES PER 520 CMR 14.00 EXCAVATION AND TRENCH SAFETY. IF STEEL PLATES ARE USED, THE TOTAL LENGTH OF PLATES IN THE TRAVELED WAY SHALL LIMITED TO 50'





Permeable Unit Pavers
Eco-Priora by Unilock



permeable unit
pavers at egress

permeable unit
pavers at entries

seasonal planter,
typ.

± 2'-10" typ.
ex. concrete sidewalk
repair as needed

SCALE: 1/8" = 1'-0"
0 2' 4' 8' 20'

PROPOSED PLANT LIST				
SYMB	QTY.	LATIN NAME	COMMON NAME	SIZE NOTES
SHRUBS & VINES				
KL	2	Kalmia latifolia	Mountain Laurel	36" Ht. Pots, native, ≥2' ht.
HERBACEOUS				
os	8	Osmundastrum cinnamoneum	Cinnamon Fern	2 gal. Pots, native, <2' ht.
pa	8	Polystichum acrostichoides	Christmas Fern	2 gal. Pots, native, <2' ht.



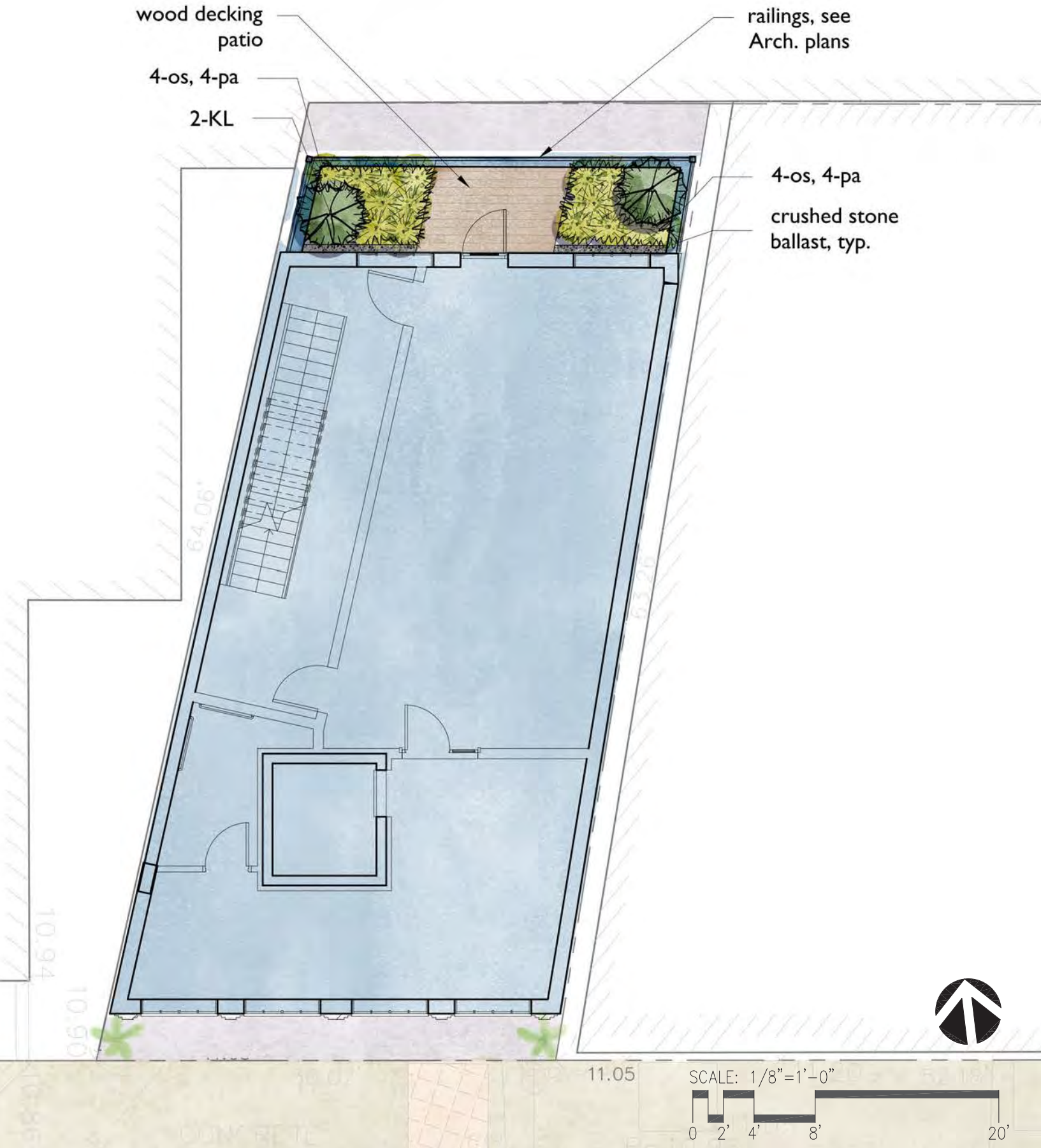
Mountain Laurel

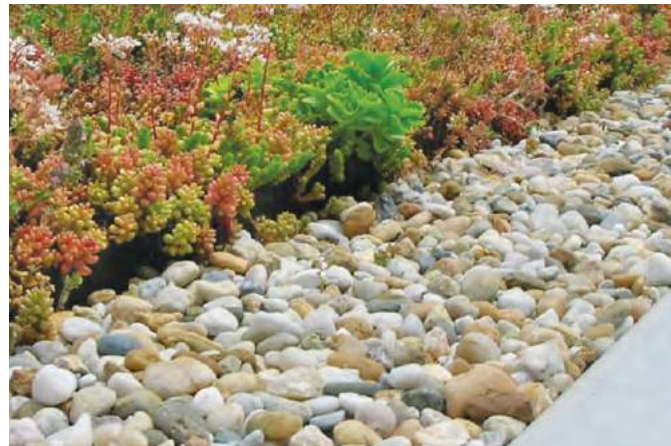


Ostrich Fern



Christmas Fern





Crushed Stone Ballast



Sedum Green Roof



10. DEVELOPMENT STANDARDS

Green Score

Table 10.4.1 Green Score Calculation

	Credit	Multiplier
Soils		
Landscaped area with a soil depth < 24 inches	actual sf	0.3
Landscaped area with a soil depth => 24 inches	actual sf	0.6
Pervious Paving with 6 to 24 inches of subsurface soil or gravel	actual sf	0.2
Pervious Paving with more than 24 inches of subsurface soil or gravel	actual sf	0.5
Groundcovers		
Turfgrass, mulch, and inorganic surfacing materials	actual sf	0.1
Plants		
Vegetation less than two (2) feet tall at maturity	actual sf	0.2
Vegetation at least two (2) feet tall at maturity	12 sf.	0.3
Trees		
SMALL TREE	50 sf.	0.6
LARGE TREE	450 sf.	0.6
Preserved Tree	65 sf.	0.8
Engineered Landscape		
Vegetated Wall	actual sf	0.1
Rain gardens, bioswales, and stormwater PLANTERS.	actual sf	1.0
Green Roof with up to 6" of growth medium	actual sf	0.1
Green Roof with 6"-10" of growth medium	actual sf	0.4
Green Roof of 10"-24" growth medium	actual sf	0.6
Green Roof of over 24" growth medium	—	per individual landscape elements

Green Score is a performance-based environmental landscape standard measured as a ratio of the weighted value of all landscape elements to the total land area of a lot.

Address/ Project Name 1,756.9 SF Total

Key		Multiplier	Bonus	Credit	
A	Soils Pervious Paving with more than 24 inches of subsurface soil or gravel	.5		164.6	82.3
B	Plants Vegetation at least two feet tall at maturity	.3	NS .1	(2)12	9.6
C	Engineered Landscape Green Roof with 6"-10" of growth medium	.4		909.9	364.0
D	Engineered Landscape Green Roof with 10"-24" of growth medium	.8		29.5	23.6
	Total				479.5
	Green Score Bonus Native Species = NS = .1 Publicly visible landscape = PV = .1				

479.5 / 1,756.9 = .27 Green Score
minimum .20 required

Table 10.4.2 Green Score Bonuses

	Credit	Multiplier
Bonus Credits		
Publicly visible landscape	—	0.1
Native species	—	0.1
High value species	—	0.1
50% of irrigation is harvested rainwater	—	0.1
Food cultivation	—	0.1
De-paved LOT AREA	—	0.1

5. Calculation
- a. GREEN SCORE is calculated as follows:

i. Determine total LOT AREA.

ii. Calculate the area of each proposed landscape element for each category identified in the first column of Table 10.4.1. Certain types of plantings USE the number of individual plants multiplied by an equivalent square footage when indicated in the second column of Table 10.4.1.

iii. Multiply the actual square footage, or the equivalent square footage, of each landscape element by the multiplier specified for each landscape element in the third column of Table 10.4.1 plus any bonus on Table 10.4.2 to determine the weighted score of each element.

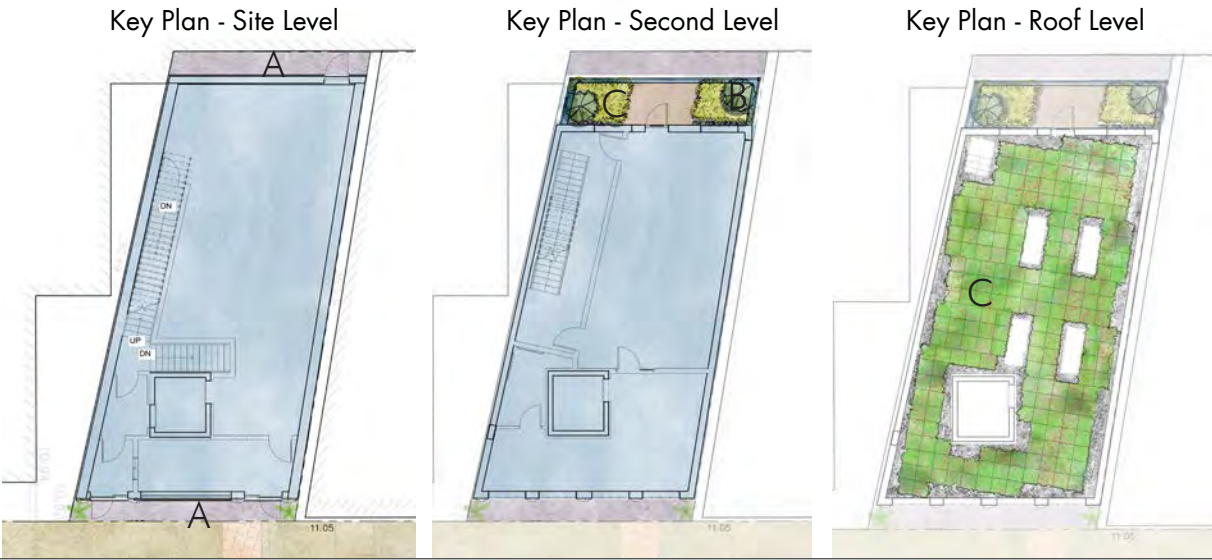
iv. Add the weighted score of all landscape elements together.

v. Divide the resulting sum by the area of the LOT to determine the final GREEN SCORE.

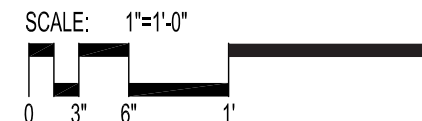
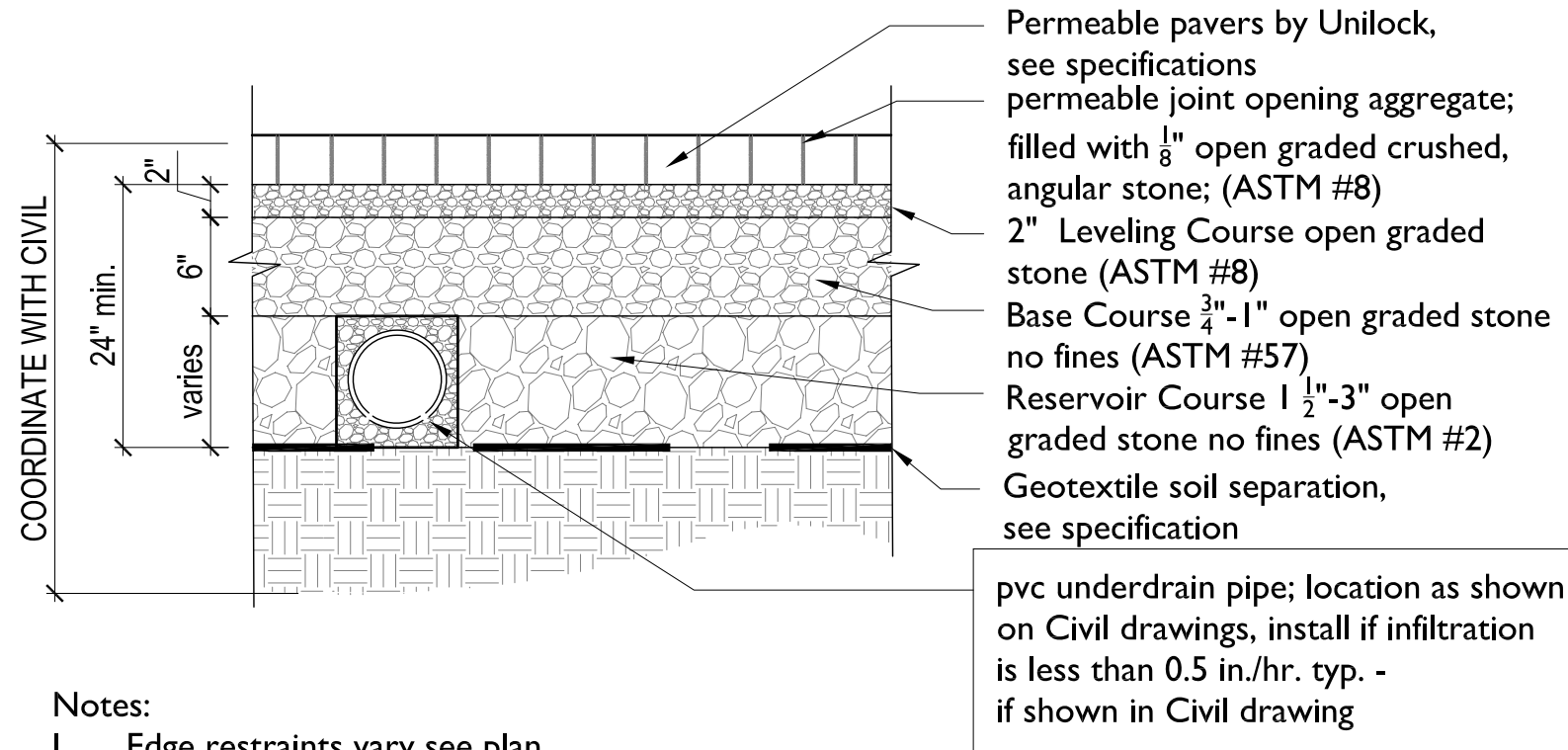
vi. If necessary, redesign the landscape plan to achieve the required GREEN SCORE.

b. BONUSES

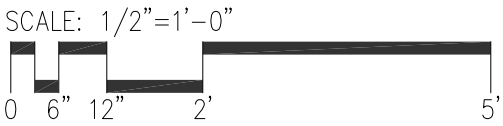
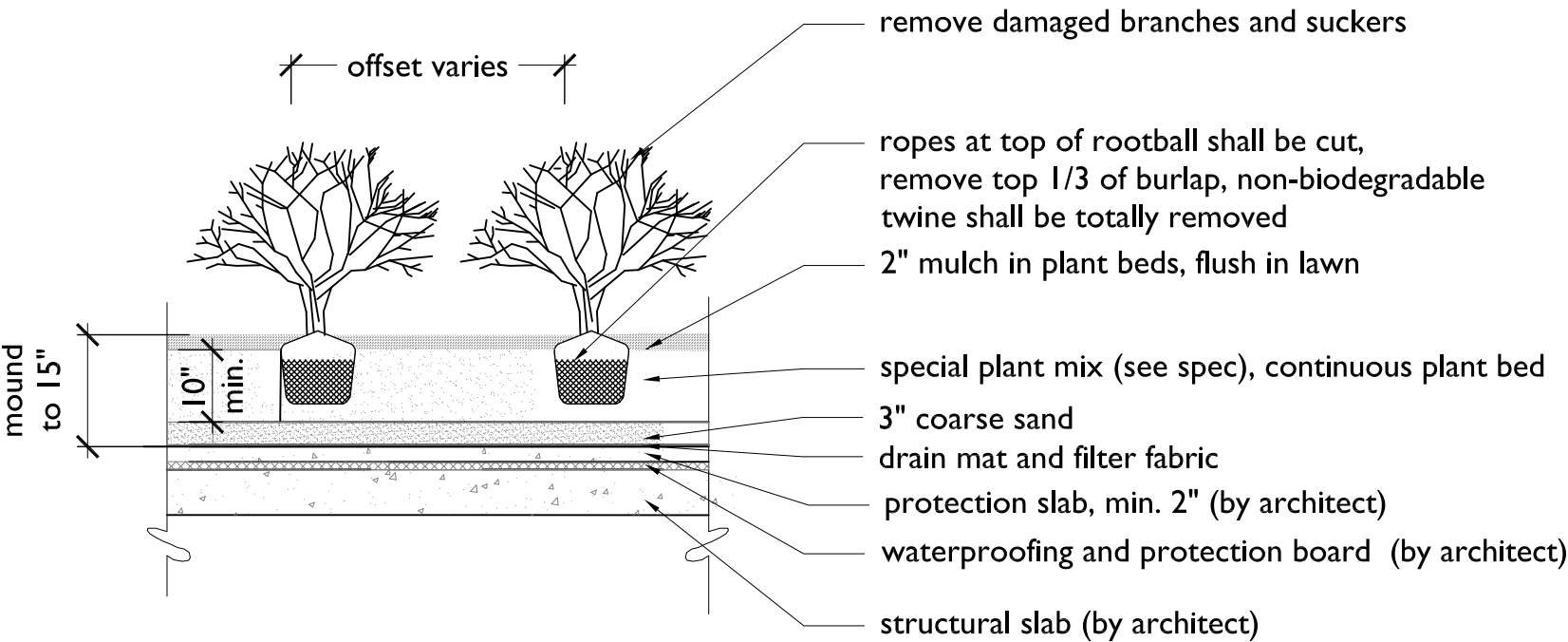
i. Review Boards may establish additional bonuses



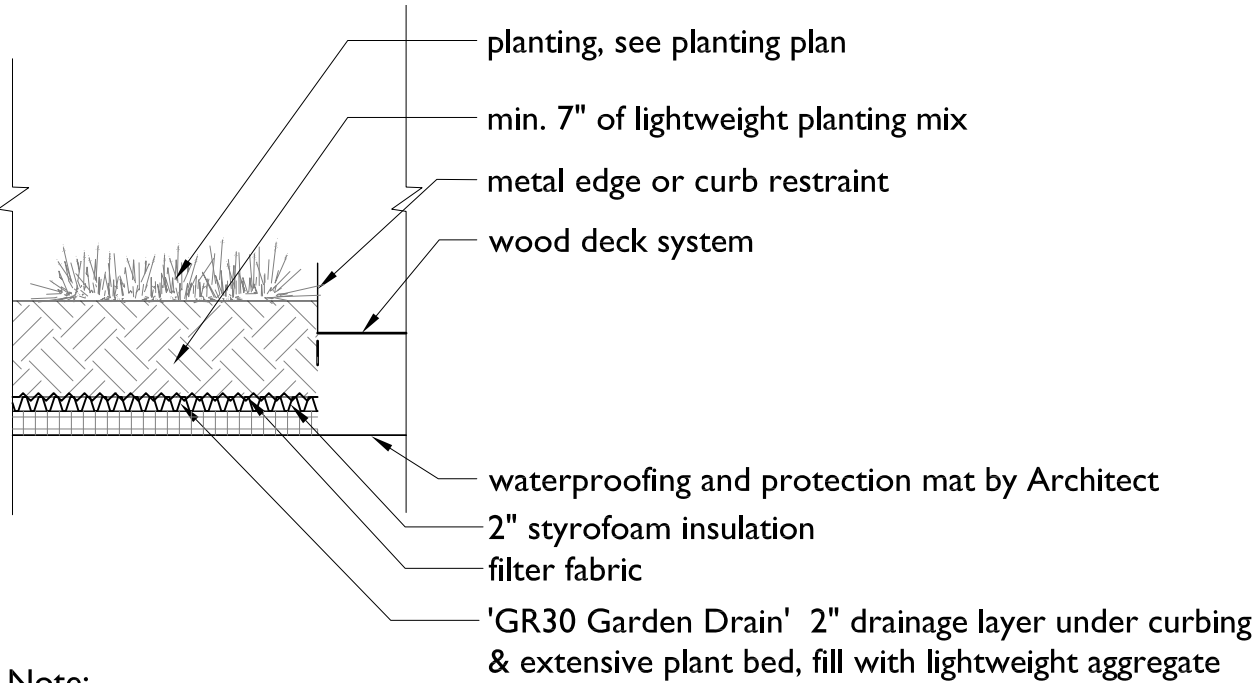
PERMEABLE UNIT PAVER DETAIL



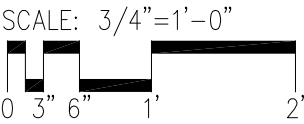
TYPICAL SHRUB ON STRUCTURE DETAIL

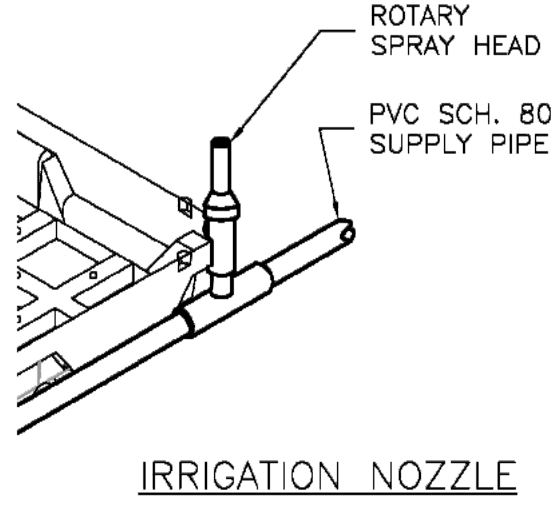
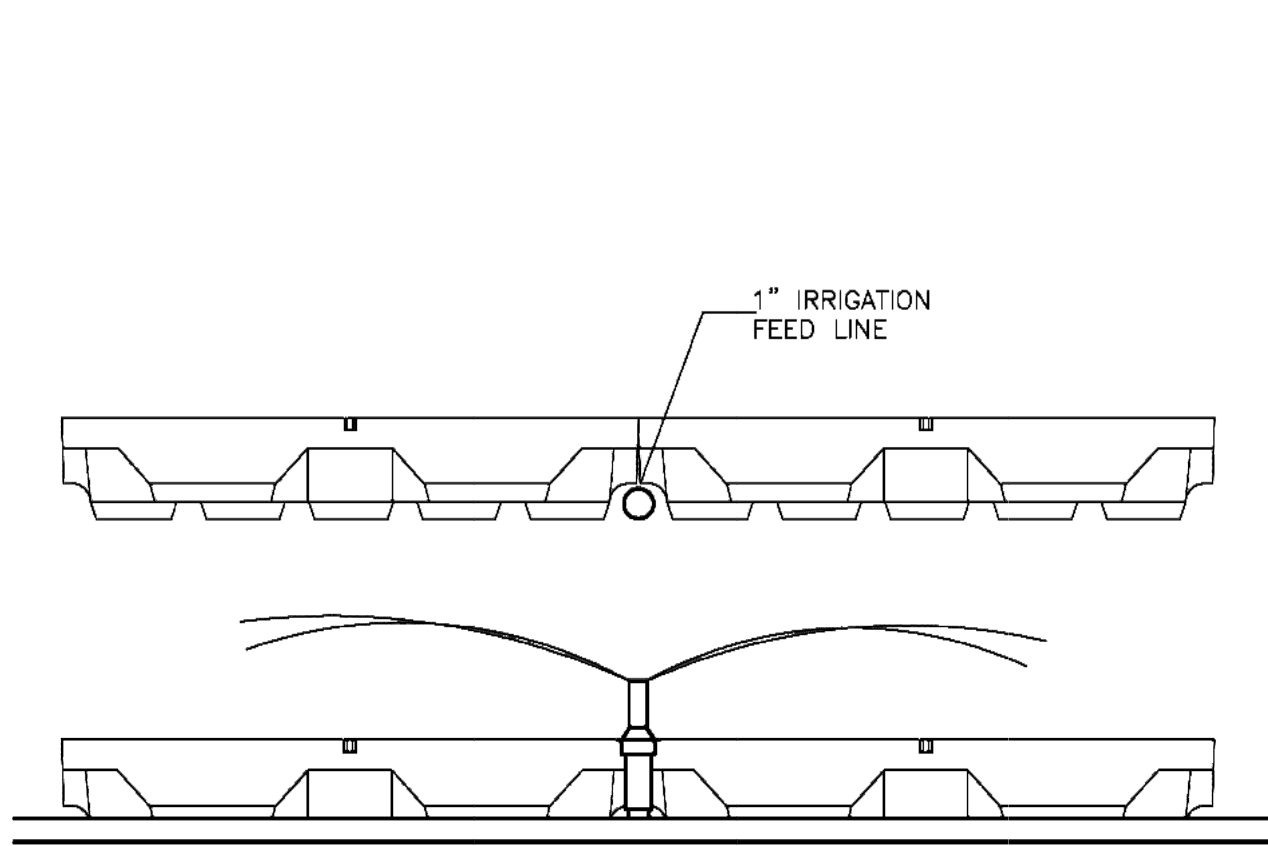


EXTENSIVE GREEN ROOF DETAIL



Note:
Create level finish grade at all pedestrian paving surfaces on roofdeck.

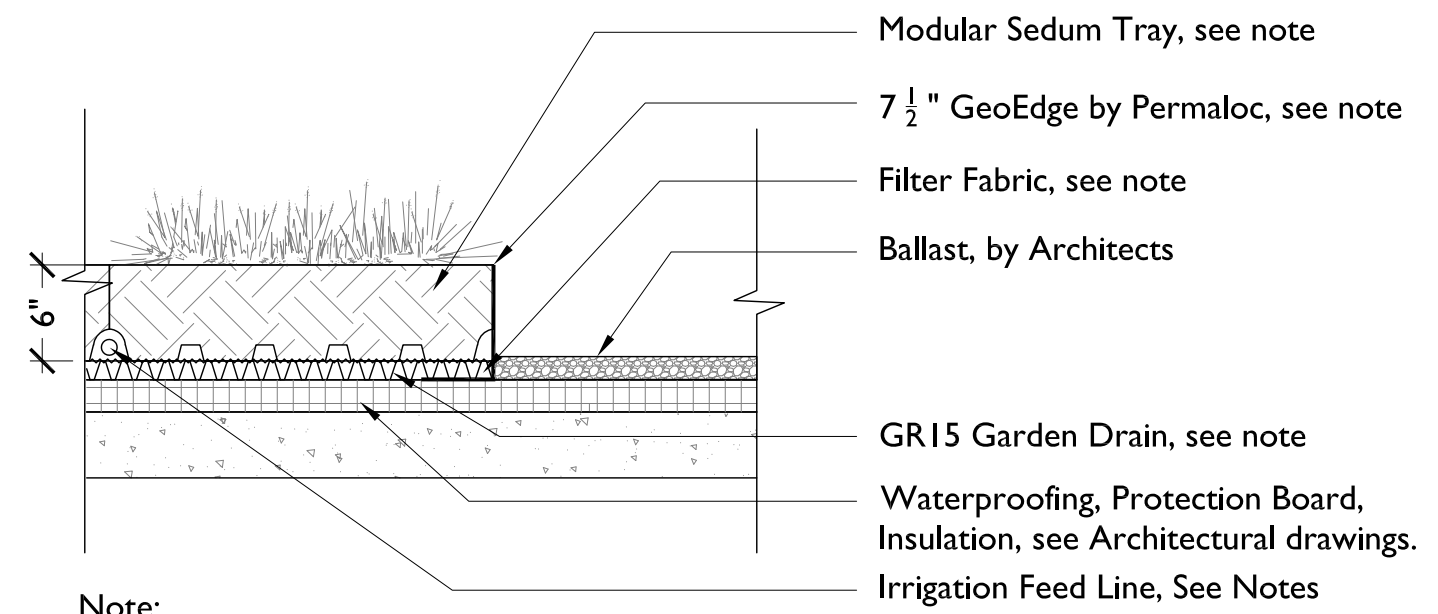




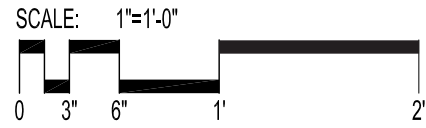
NOTE:
SPRAY HEAD LOCATIONS VARY.

	www.greengridroofs.com ph# 888-404-4743	GREENGRID SPRAY IRRIGATION DETAILS
--	--	---------------------------------------

SEDUM TRAY DETAIL



- Note:
1. Modular Sedum Tray: GreenGrid Semi-Intensive, 6" depth, by GreenGrid, Representative (888)-404-4743
 2. GeoEdge Treatment by Permaloc
 3. Drainage Mat by Hydrotech GR-I5



NOTES

1. Green roof modules are to be delivered in good condition. Green roof modules are to be handled carefully to prevent damage to the plants. Modules shall have plastic unwrapped (if shipped on pallets) the same day as delivery to avoid plant damage caused by overheating.

2. Conduct roof top staging of green roof system components after verifying roof loads and acceptable staging areas. Stage green roof modules over plywood panels or protective sheeting.

3. Green roof modules are to be conveyed to the roof surface with equipment that is designed and certified to hoist the associated weights safely and in accordance with equipment capacity, and local codes and regulations.

4. Protect the roof deck and waterproofing membranes using appropriate materials such as plywood sheeting. Avoid using sharp tools and keep the roof surfaces clean and free of soil, grit, or debris.

5. The vegetated green roof system Installer shall maintain the modules for at least 30 days following installation.

6. Maintenance during the initial 30-days shall follow industry accepted horticultural practices. Watering: two watering events per week to sufficiently saturate the growing medium. Provide spot weeding (by hand), as needed, to maintain plant health and prevent weed to flower and set seed, and to prevent woody plants to establish. Do not use any pesticides which include herbicides. Repair, rework and replant, if necessary, areas where wash out caused erosion, and replace dead plants.

7. Maintenance protocols: Provide the GreenGrid® maintenance guide and protocols to the Owner for extended maintenance of the green roof system. Provide a report(s) to the Owner outlining post-installation green roof conditions and observations about plant care and the initial maintenance period.

8. Irrigation: Irrigation lines to be inserted through an integrated irrigation channel in the module during installation. Water shall be delivered directly and evenly to plants for uniform plant growth. Pop-up sprinklers and spray systems are commercially available. Consult a qualified irrigation specialist to determine appropriate design, system details and configuration, materials and maintenance requirements.
9. Edge Treatment: Provide decorative edge treatment from Permaloc, or equivalent suppliers, in multiple sizes, and color for use as landscape edging around the perimeter of the vegetated green roof system in all depths.

10. Stone Ballast: Clean stone or ‘river rock’, nominal 1-1/2” diameter minimum (#4) rounded stone can be used to infill around roof drains or along irregular-shaped areas.

11. Drain Covers: Stainless steel drain enclosure and cover to enclose roof drains. Provide standard 24-inch by 24-inch or custom sizes as necessary to fit roof drains and fit within modular green roof system. Drain covers shall have L-shaped tabs at the bottom edges to anchor beneath the modules.

12. Qualified Installers including General Contractors, Roofing Contractors and Landscape Contractors can install the GreenGrid® system by following the Installation Guide. A pre-installation conference call/meeting may be appropriate for new Installers. Install the vegetated green roof system according to specifications, applicable codes and regulations.

13. Safety: Installers are solely responsible to comply with all applicable safety and fall protection codes, laws and regulations as required by federal, state and local codes and regulations.

14. When plants are properly adapted and acclimated to the local weather conditions. In northern climates and unless otherwise permitted, modules shall be installed between April 15th and October 1st, except when temperatures are below 35° F. In more southern climates, the installation season will depend on seasonal weather conditions.

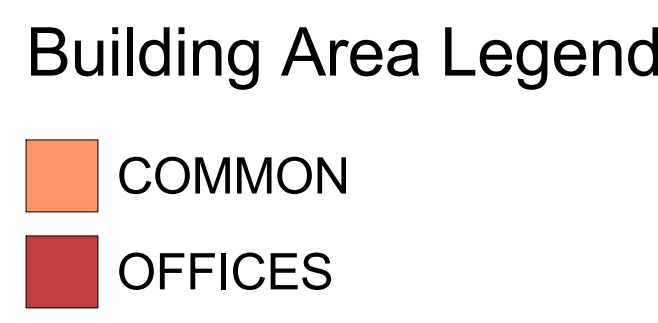
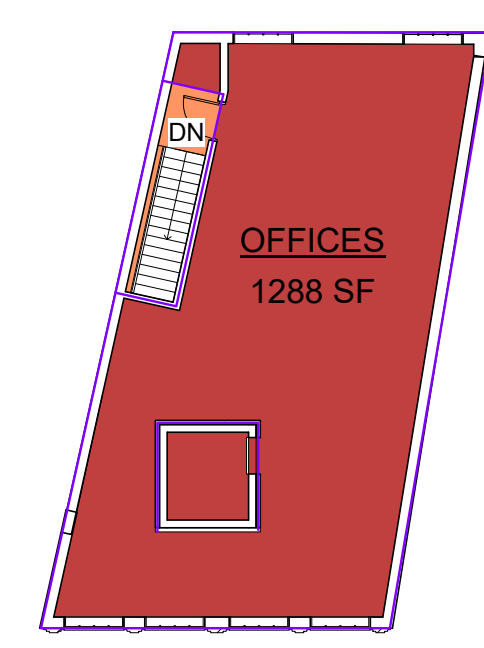
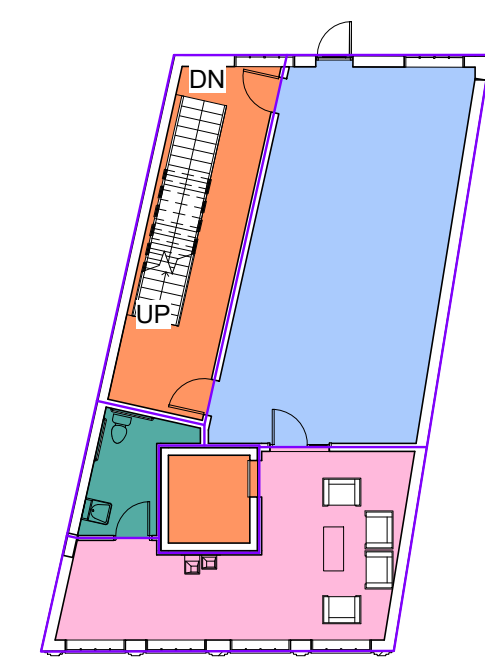
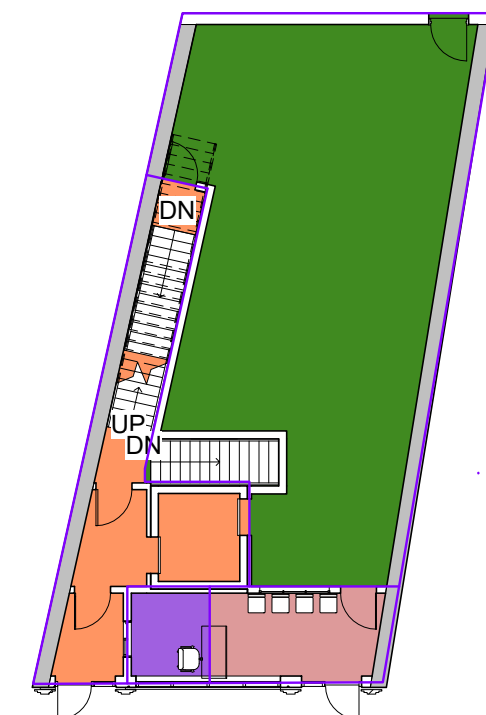
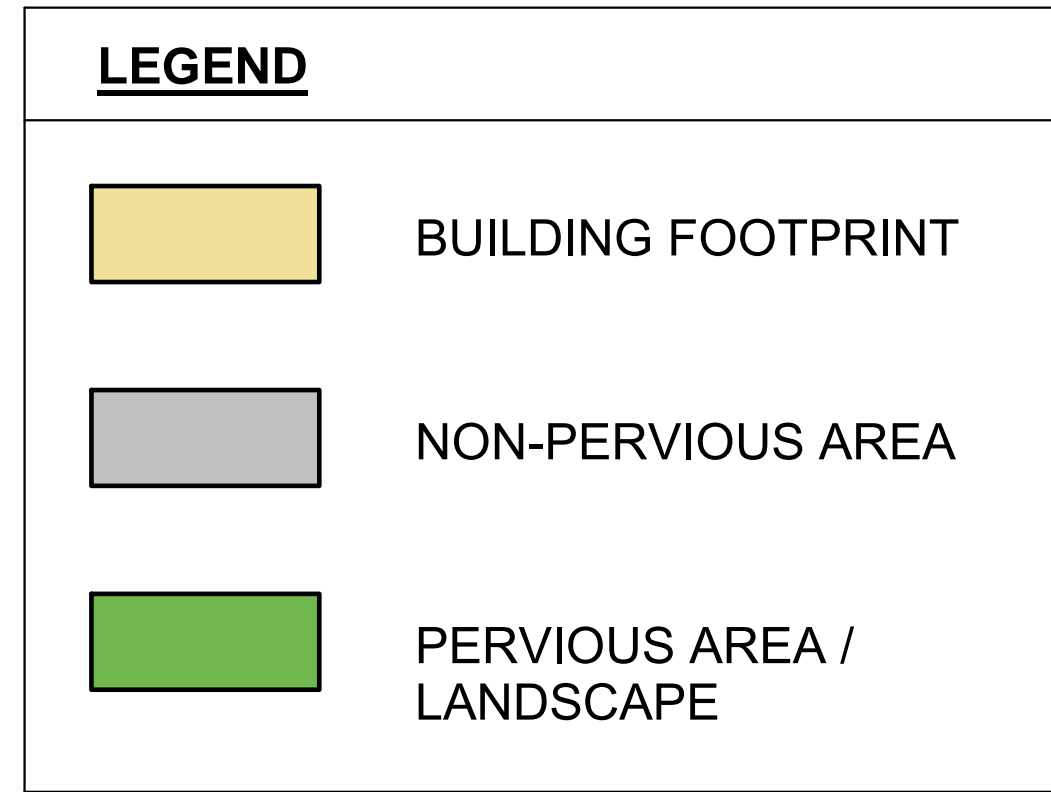
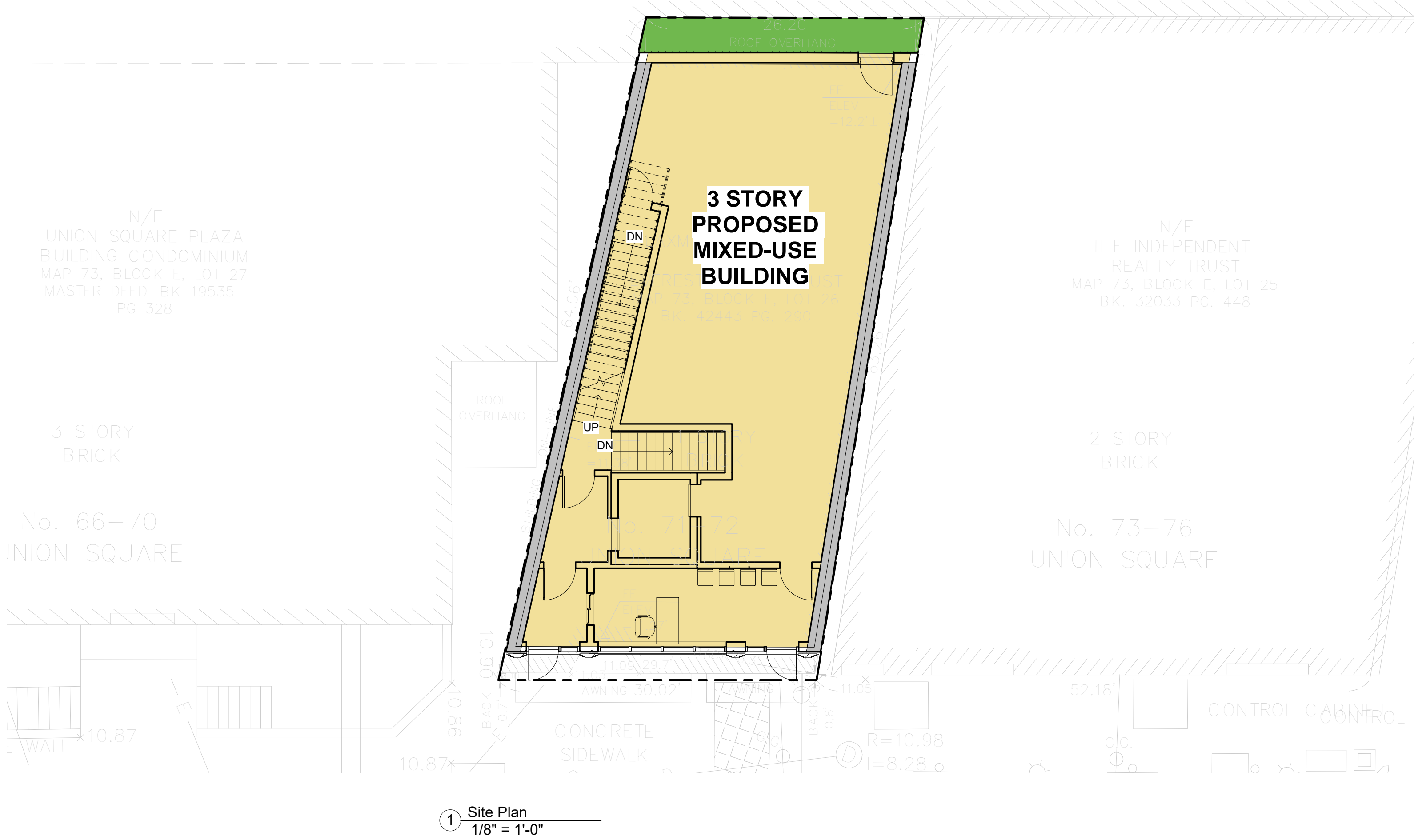
15. Handle the modules with care. Do not drop, kick or

point-load the modules during installation. Place modules above the slip sheet or protective layer in accordance with the landscape design or layout Drawing. Modules shall be placed in straight rows, positioned tight beside each module and in proper orientation according to the landscape design.

16. After installation, modules shall be immediately watered so as to thoroughly moisten growing media throughout. Water shall be free of substances harmful to plant growth.
17. Do not install modules directly in low sections of roof where water ponds or where modules will block flow of drainage, or on saturated roof surface or during freezing weather conditions.
18. If required, install an irrigation system according to the manufacturer specifications and instructions. If an irrigation system is not required, provide hoses/sprayers for temporary irrigation, as needed, to conduct initial watering for plant maintenance.
19. Cut modules, only if necessary, to offset structures or roof edges, or around obstructions. Install partial or cut planter modules with the cut edge facing another module or edging.

IRRIGATION NOTES

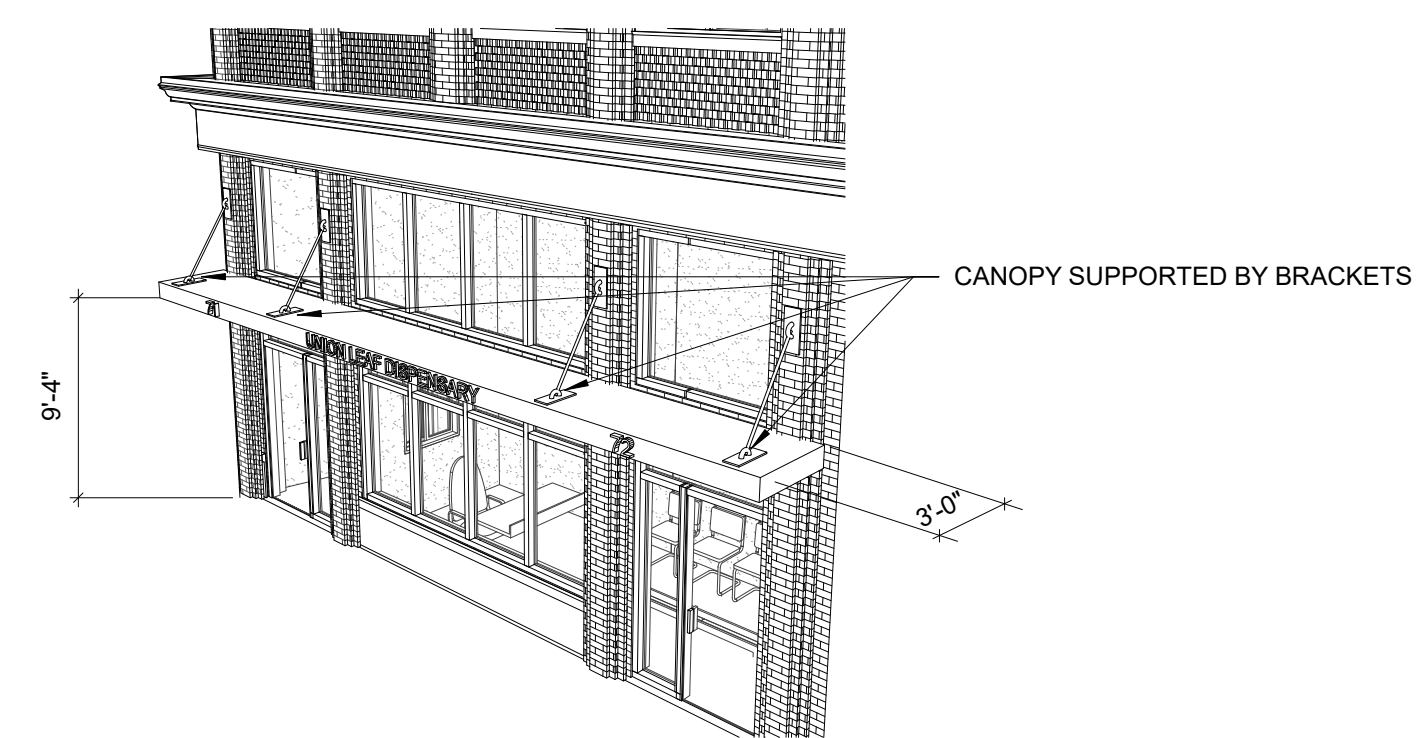
1. The Contractor shall provide a complete irrigation plan as described in the specifications.
2. The Contractor shall provide water supply through a second meter for the rooftop Greenroof within the Sprinkler room or mechanical room. A backflow preventer and hose-bib (or faucet) shall be provided to drain out the water supply line to the roof.
3. At the rooftop, the Contractor shall provide winterization/blowout configuration, including any additional back flow valve as may be required by code. Beyond the winterization appurtenances, the Contractor shall provide a valvebox for the irrigation spray zones as may be needed depending on the water pressure at the roof.



ZONING DIMENSIONAL TABLE-PROPOSED ZONING:			
LOT SIZE: +/- 12,143 SF	ALLOWED / REQUIRED	PROPOSED	COMMENTS
ZONE	CC-4 ZONE		
BUILDING TYPE	COMMERCIAL	COMMERCIAL	
LOT DIMENSIONS			
WIDTH (MIN.)	30 FT	30'-2"	COMPLIES
LOT DEVELOPMENT			
LOT COVERAGE (MAX)	100 %	93% / 1,631 SF	COMPLIES
GREEN FACTOR (MIN.)	0.20 MIN 0.25 IDEAL	0.27	COMPLIES
OPEN SPACE (MIN.)	25%	7%	PAYMENT MADE TO CITY
BUILDING SETBACKS			
PRIMARY FRONT (MIN/ MAX.)	2 FT / 15 FT	2'-0"	COMPLIES
SECONDARY FRONT (MIN/ MAX.)	2 FT / 12 FT	--	
SIDE (MIN)	@ ALLEY OR ROW: 0 FT @ NR OR LHD: 10'-0"	0'-0" (L) 0'-0" (R)	COMPLIES
REAR (MIN)	@ ALLEY OR ROW: 0 FT ABUTTING NR OR LHD: 10 FT	3'-0" FT	COMPLIES
MAIN BODY			
BUILDING WIDTH (MAX.)	200 FT	30'-0"	COMPLIES
FACADE BUILD OUT, FRONT STREET (MIN.)	-		
PRIMARY FRONT	80 %	100%	COMPLIES
SECONDARY FRONT	65 %	N/A	
FLOOR PLATE (MAX.)	30,000 SF	1,631 SF	COMPLIES
GROUND STORY HEIGHT (MIN)	18'-0"	18'-0"	COMPLIES
UPPER STORY HEIGHT (MIN)	10'-0"	10'-0"	COMPLIES
BUILDING HEIGHT, STORIES (MIN.)	3 STORIES	3 STORIES	COMPLIES
BUILDING HEIGHT, STORIES (MAX.)	VARIES BY MAP	N/A	N/A
BUILDING HEIGHT, FEET (MAX.)	3 STORY (50'-0")	38 / 43 FT	COMPLIES
ROOF TYPE	FLAT	FLAT	COMPLIES
FACADE COMPOSITION			
GROUND STORY FENESTRATION (MIN.)	70%	70% (310 SF)	COMPLIES
UPPER STORY FENESTRATION (MIN./ MAX.)	15% / 70%	35% (105 SF)	COMPLIES
BLANK WALL (MAX.)	20 FT	N/A	
USE & OCCUPANCY			
ENTRANCE SPACING (MAX)	30'-0"	22'-0"	COMPLIES
COMMERCIAL SPACE DEPTH (MIN)	30'-0"	59'-0"	COMPLIES

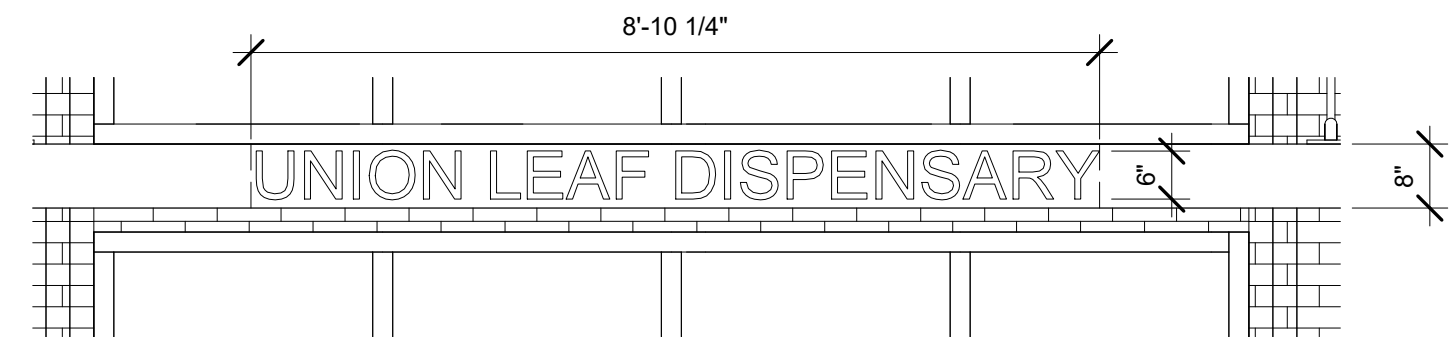


7 Street Elevation Glazing diagram
1/8" = 1'-0"



8 Canopy View

SIZE:	
Area	-
Located on Valance (max)	50% coverage
Projecting from Canopy (max)	1 sf. per width of canopy
LETTERING:	
Height	-
Valance (max) 8"	8"
Projection from Canopy (max) 12"	1" projection from Facade
LOCATION:	
Number of Signs 1 per Canopy	1 Proposed Sign



CANOPY DIMENSIONAL REQUIREMENTS	
Width (min):	
ii. Standards	
a) Entry canopies must be visually supported by brackets, cables, or rods	
b) The width of an entry canopy must be equal to or greater than the width of the doorway surround or exterior casing it is mounted over.	
PROPOSED: THE PROPOSED CANOPY IS SUPPORTED BY CABLES AND IS WIDER THAN THE WIDTH OF THE DOORWAYS	
Projection (min):	3'-0"
PROPOSED: THE PROPOSED CANOPY IS 3'-0" DEEP	
Clearance (min):	8'-0"
PROPOSED: THE PROPOSED CANOPY IS 9'-4" ABOVE THE STREET	
Front Setback Encroachment (max):	100%
PROPOSED: THE PROPOSED CANOPY COMPLIES	
Setback from curb (min):	2'-0"
PROPOSED: THE PROPOSED CANOPY IS IN EXCESS OF 2'-0" FROM CURB	

PROJECT NAME
71-72 Union Square

PROJECT ADDRESS
71-72 Union Square,
Somerville MA

CLIENT
Everest Realty Trust

ARCHITECT
DESIGN KHALSA

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX:
617-591-2086

CONSULTANTS:

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REGISTERED ARCHITECT
KHALSA
SOMERVILLE, MA

Project number	15062
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Checked by	JSK
Scale	As indicated

REVISIONS		
No.	Description	Date
</		

Architectural Site Plan

A-020

71-72 Union Square



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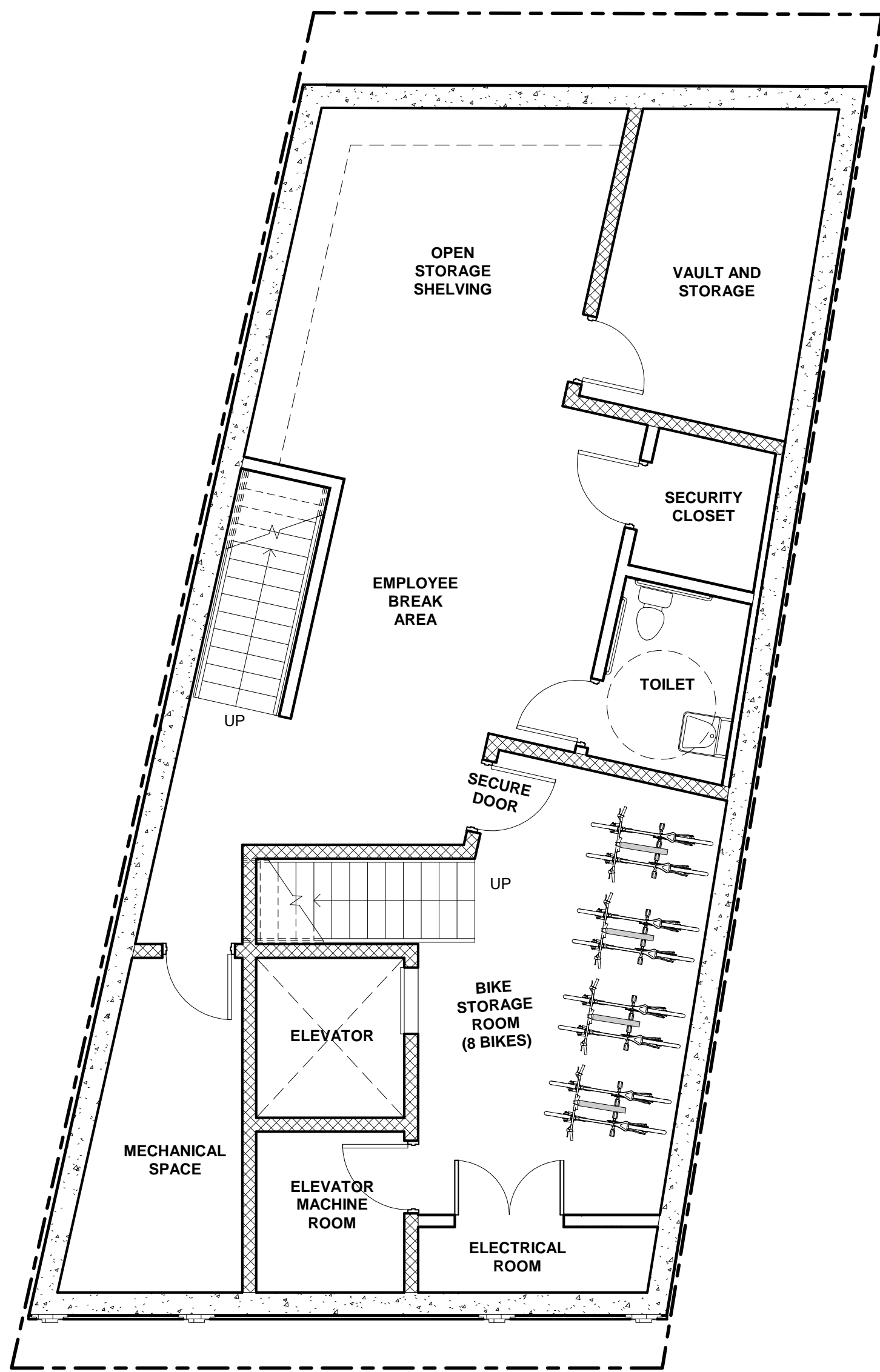
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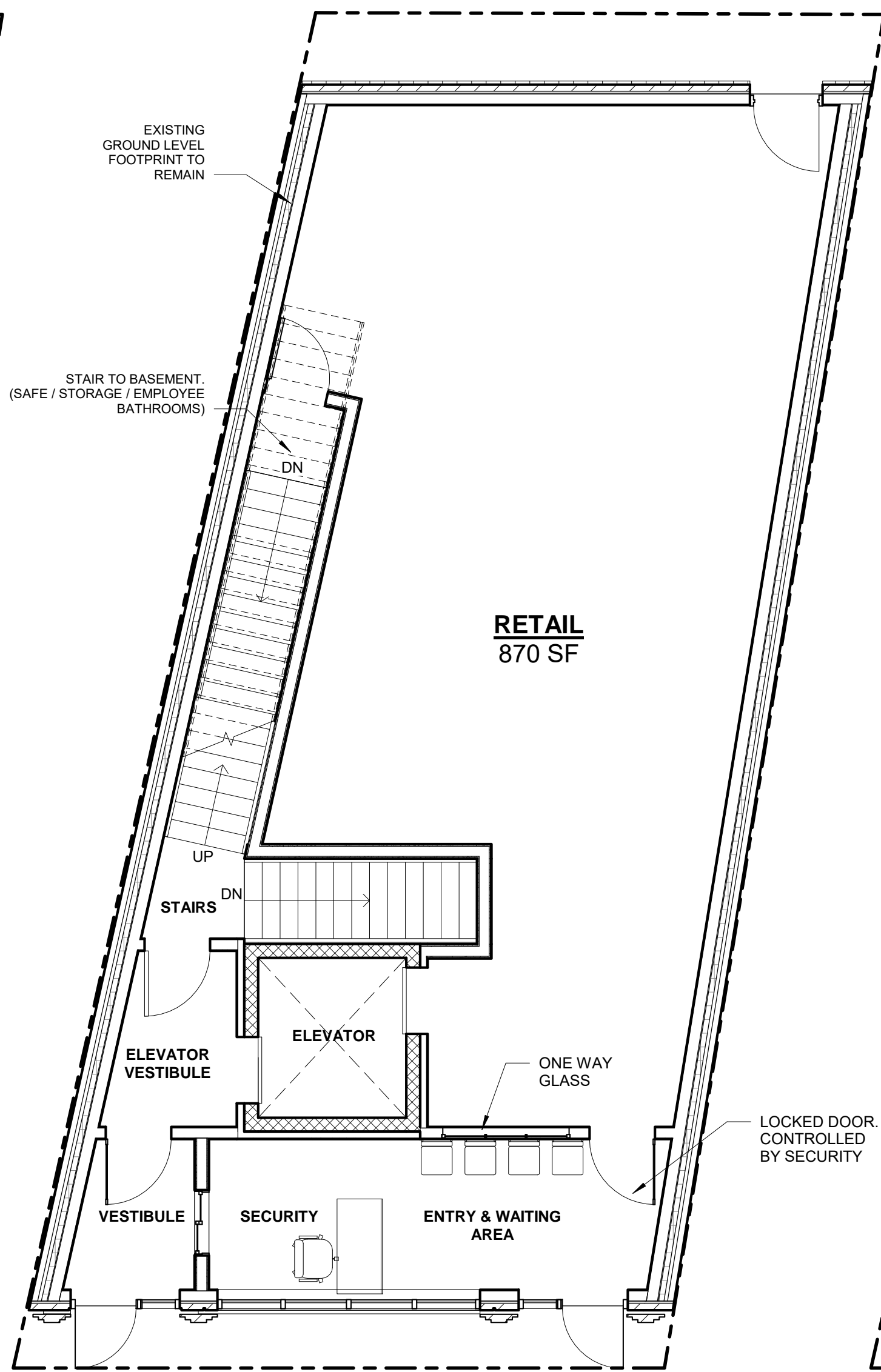
Neighborhood
Context

A-021

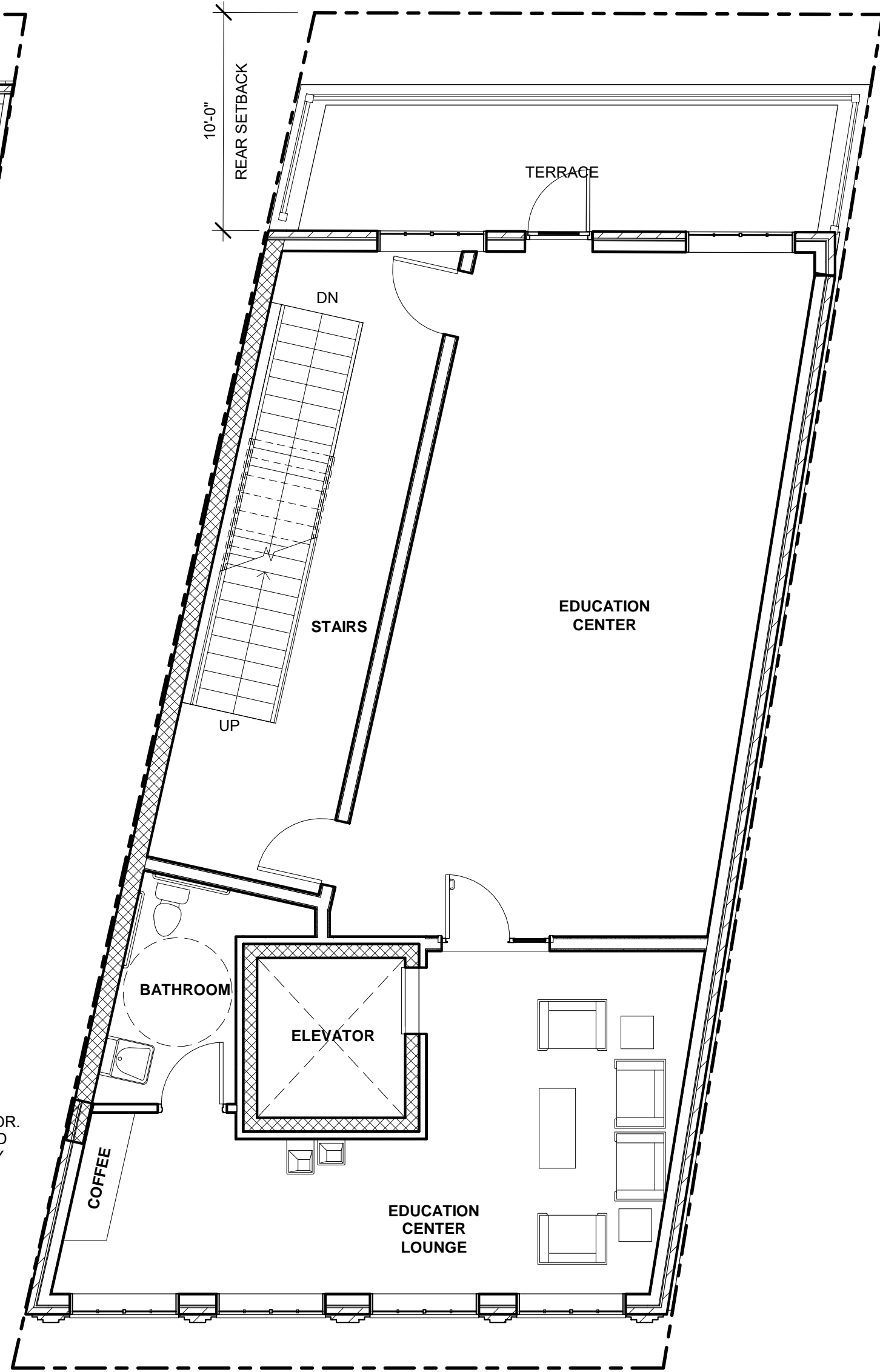
71-72 Union Square



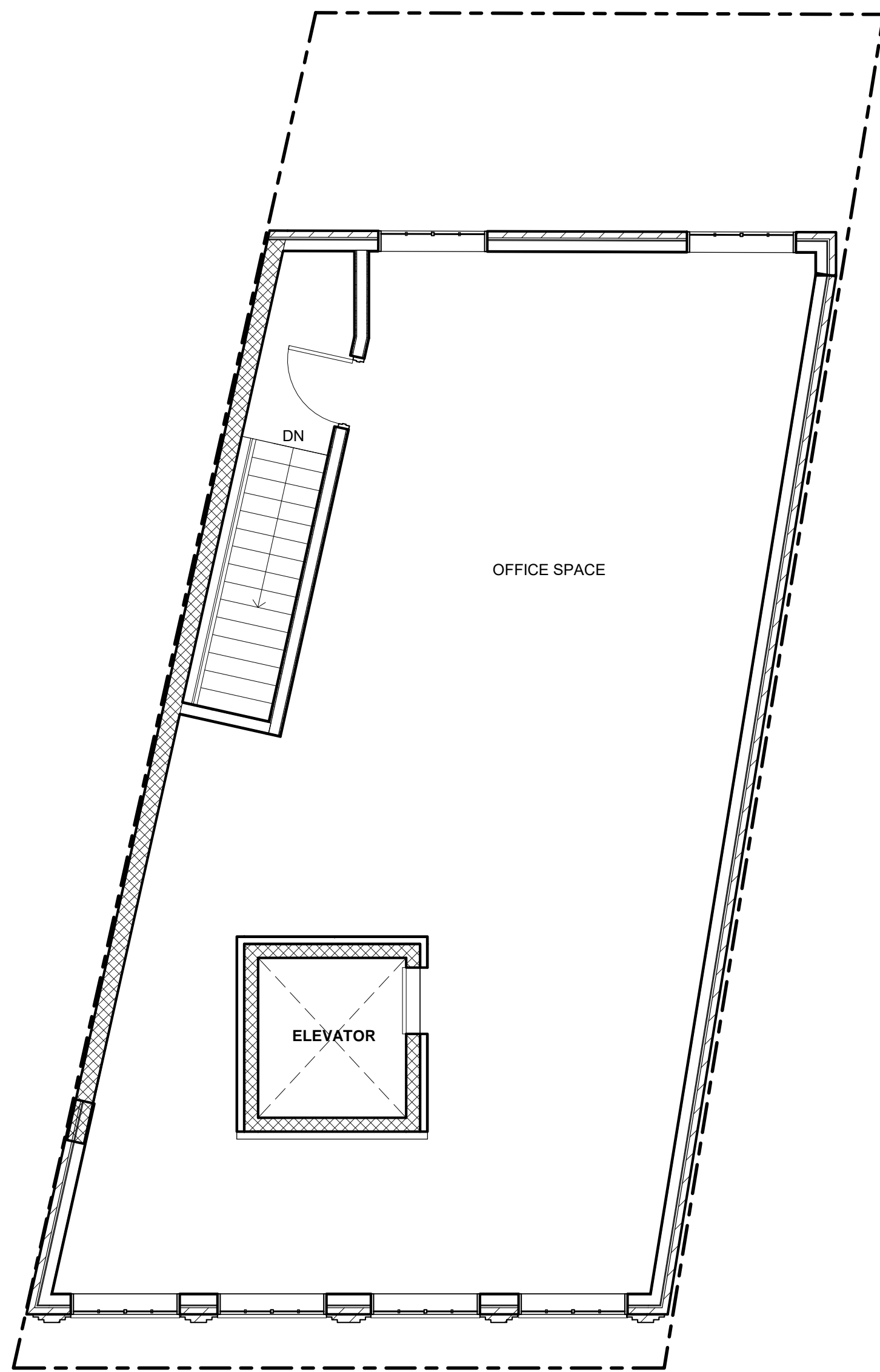
③ Existing Basement Floor Level
3/16" = 1'-0"



① 1st Floor Level
3/16" = 1'-0"



② 2nd Floor Level
3/16" = 1'-0"



④ 3rd Floor Level
3/16" = 1'-0"

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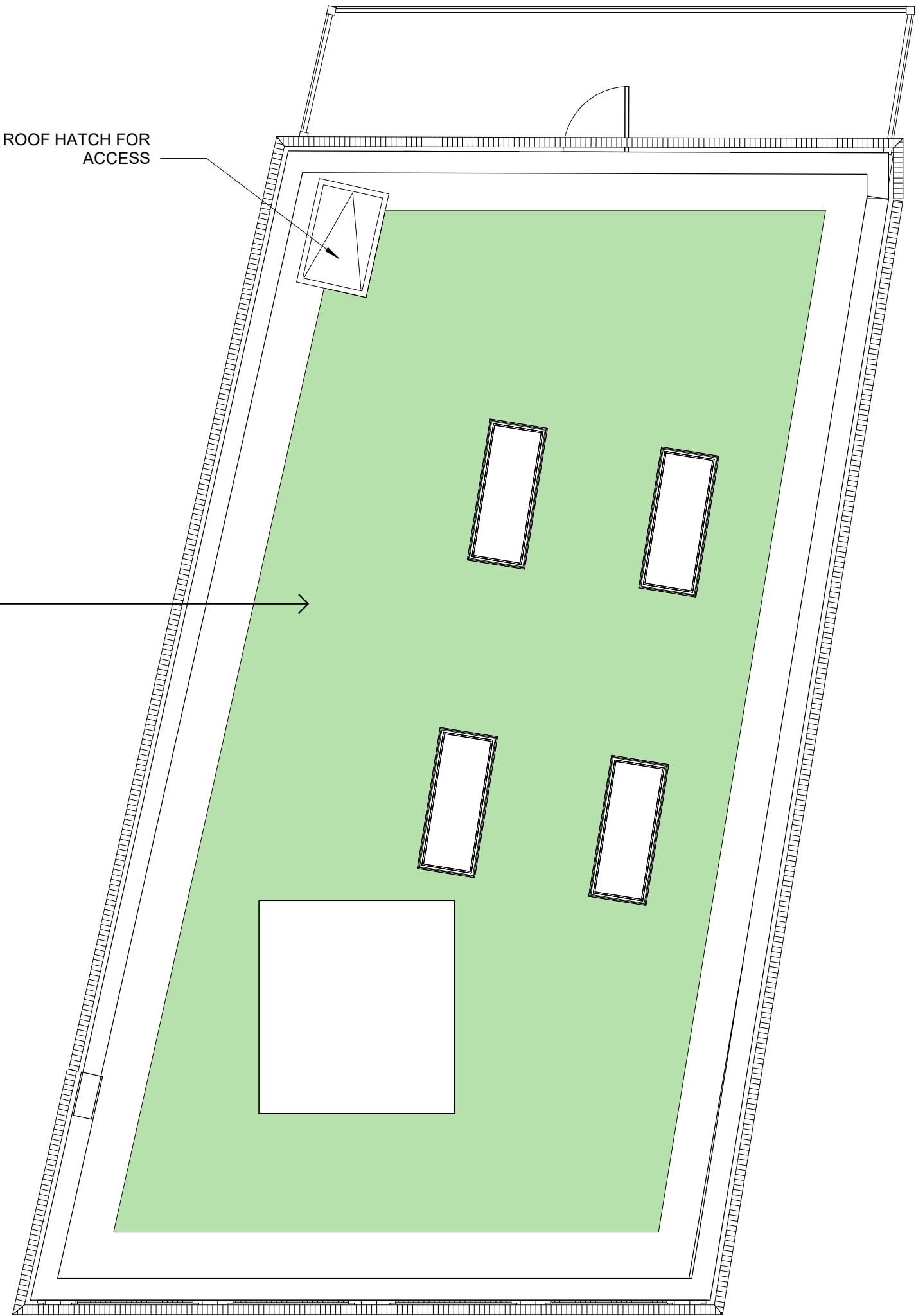
Floor Plans

A-100

71-72 Union Square



Sedum Extensive Greenroof



1 Roof Level
3/16" = 1'-0"

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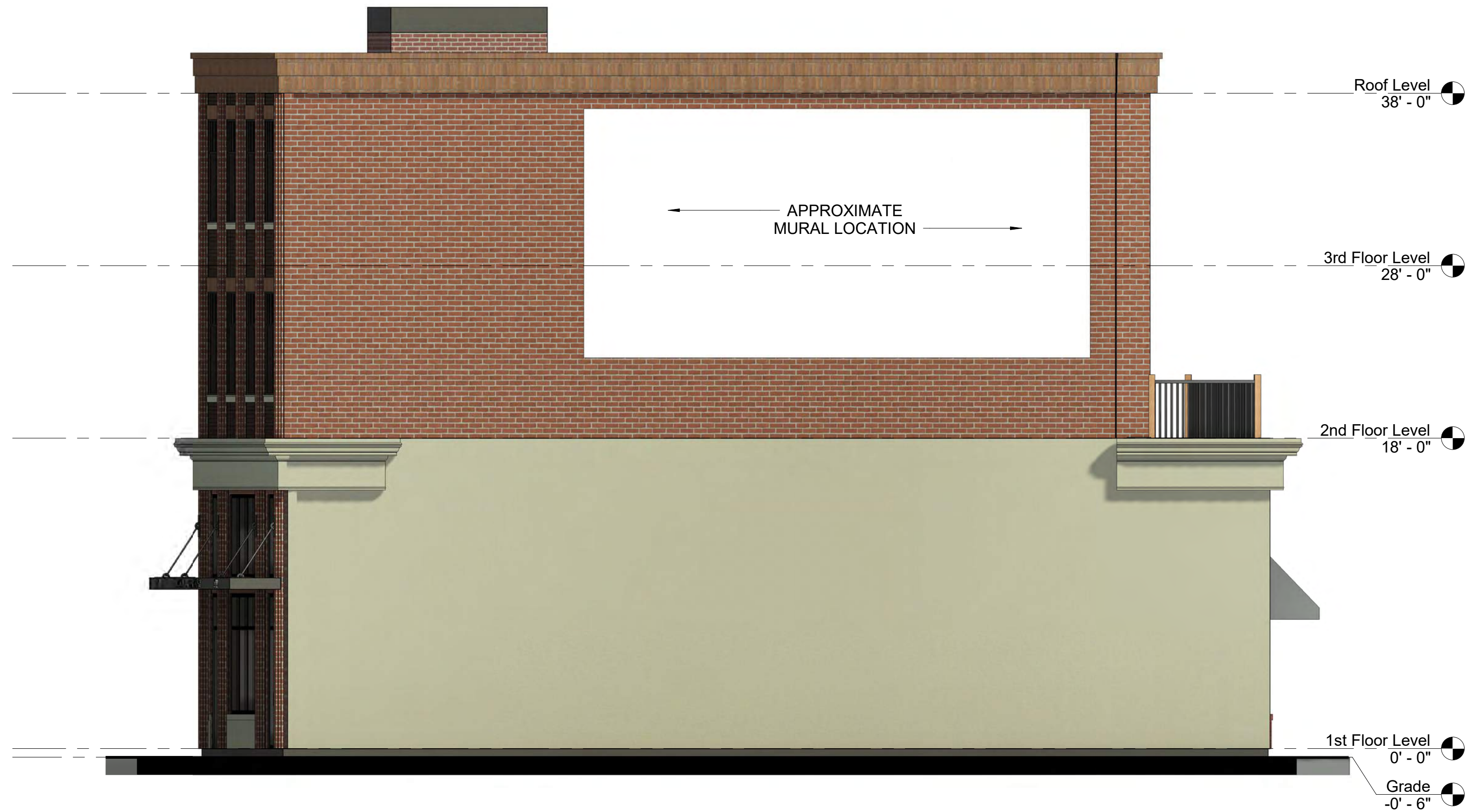
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Roof Plan

A-102

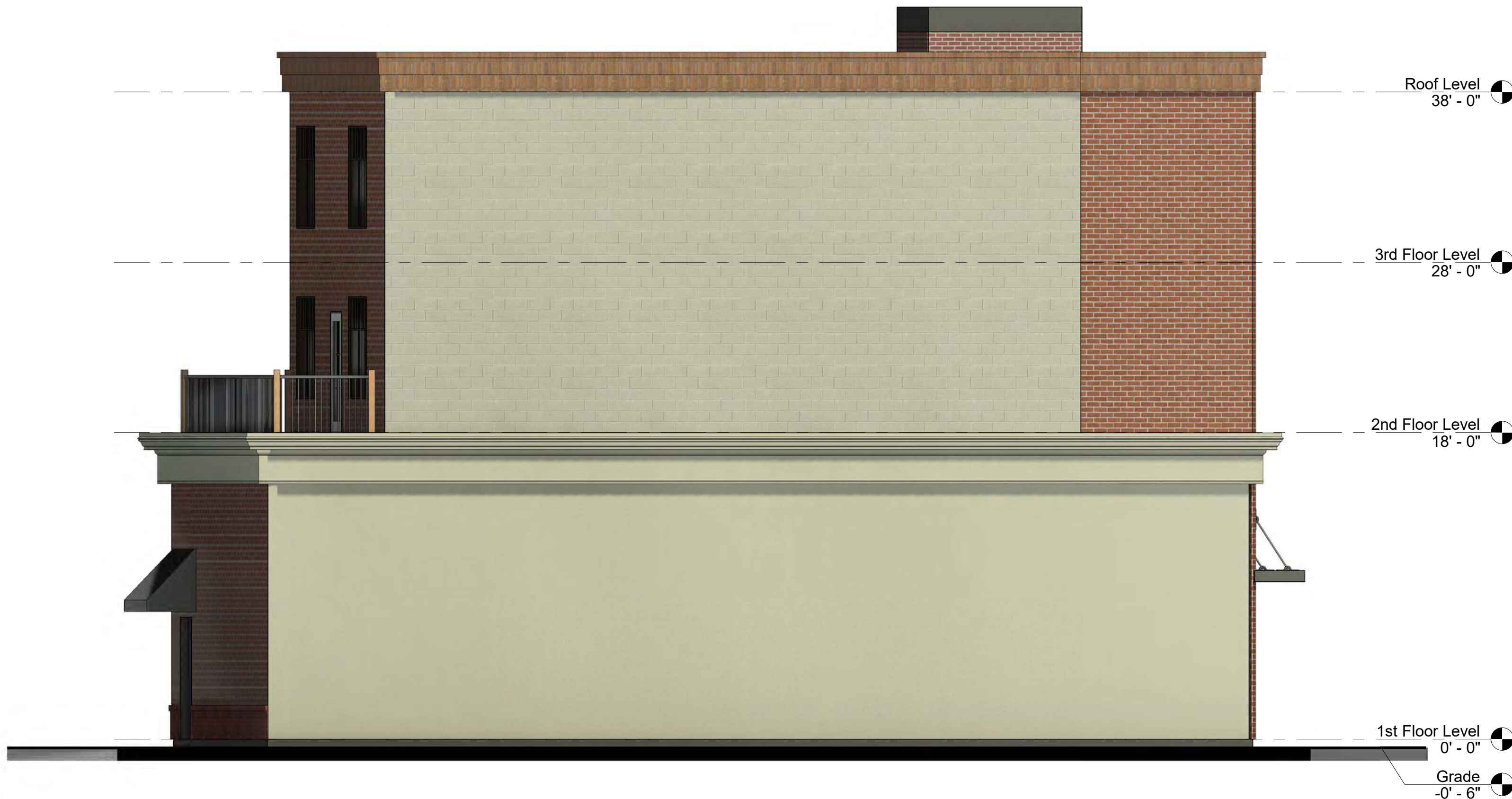
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③ Independent Side Elevation
3/16" = 1'-0"



① Street Elevation
3/16" = 1'-0"



④ Former Police Station Side Elevation
3/16" = 1'-0"



② Rear Elevation
3/16" = 1'-0"

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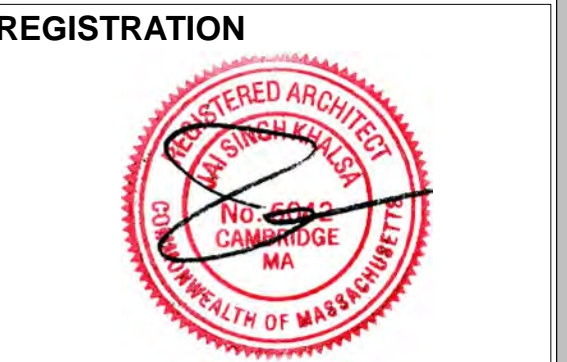
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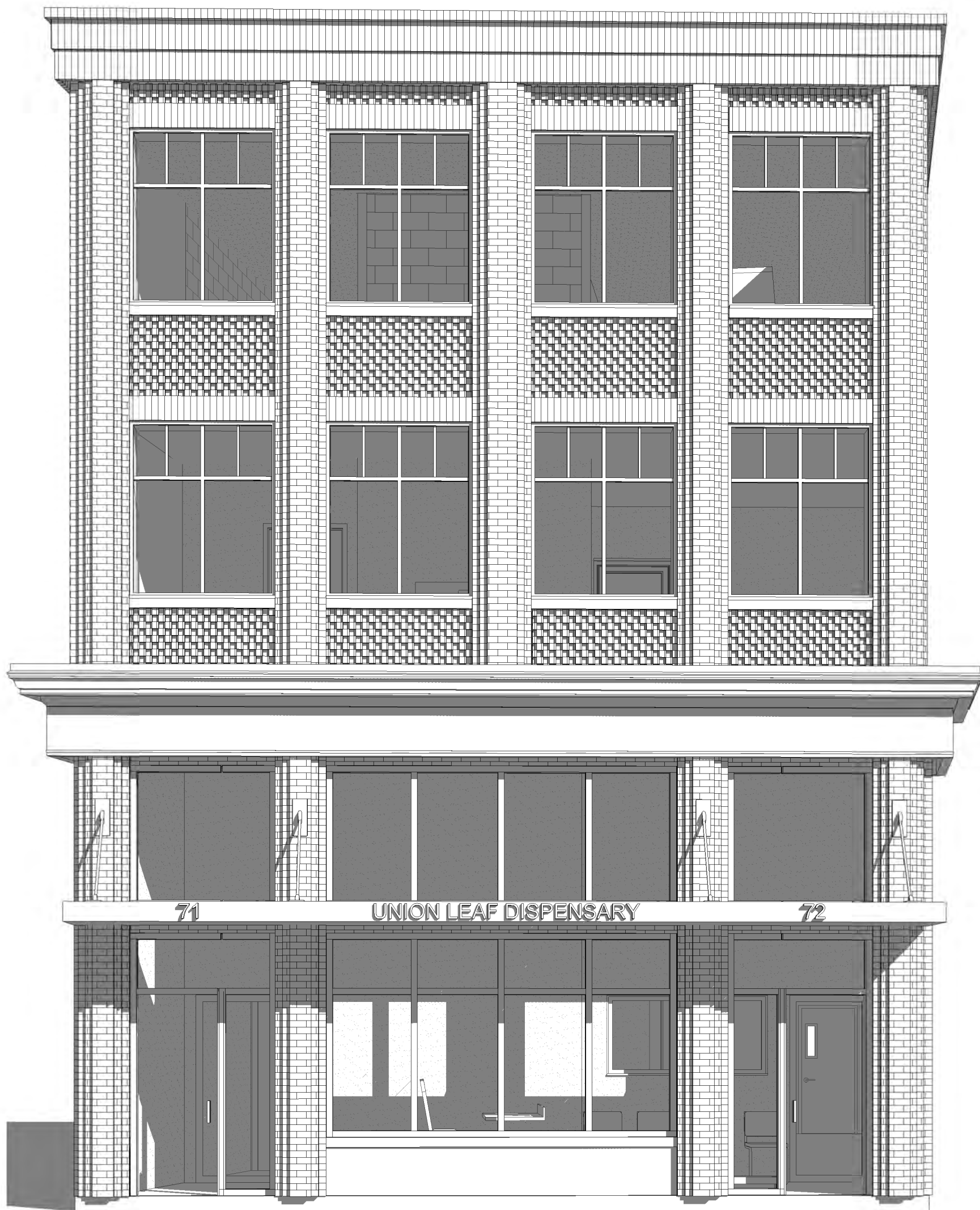
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Elevations

A-300

71-72 Union Square



3 3D View 4



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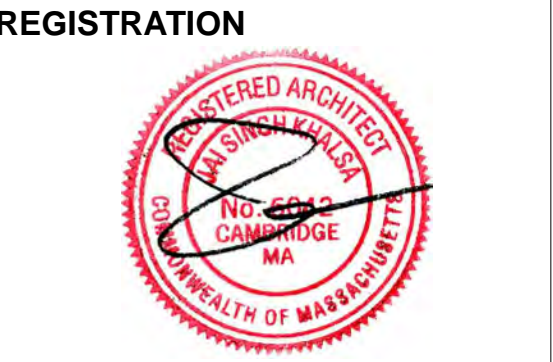
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Perspectives

AV-1

71-72 Union Square



EXISTING STREET VIEW



PROPOSED DEVELOPMENT VIEW

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Realistic
Rendering

AV-2

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