

DEVELOPMENT NARRATIVE SPECIAL PERMIT

Property: 61 Boston Street
Applicants: Jacob S. Taylor and Janet Smith Taylor
Owners: Jacob S. Taylor and Janet Smith Taylor
Agent: Adam Dash, Esq.
Zoning District: Neighborhood Residence (NR")
In the ½ Mile Transit Area
Not in a Pedestrian Street District

Summary

Applicants seek a Special Permit to increase the nonconforming rear setback of the two-family structure at 61 Boston Street.

The Property is located in the NR zoning district and is in the Half Mile Transit Area. It is not located in a Pedestrian Street District.

The property contains a two-unit, pre-existing, nonconforming Detached House building type. It is currently nonconforming as to the left side setback, the main massing width, and the number of stories, in addition to the rear setback at issue here.

The proposal is to expand the house in several respects which are by right, however, the part of the project which will expand the first and second floor decks will increase the existing nonconforming rear setback encroachment by six inches. While the increase in that rear setback encroachment is very small, this change technically requires a special permit under Massachusetts General Laws Chapter 40A, Section 6.

This application is only for a special permit regarding the expanded first and second floor decks.

The other work shown on the plans filed herewith is by right, being an addition for a bedroom on the third floor and a kitchen on the second floor, as well as adding a deck on the third floor and opening and expanding an existing three-season porch on the second floor.

Applicants seek to expand their house to allow for Applicants to remain there, including this special permit which will allow them to open up and expand the decks to provide more easily accessible outdoor amenity space for Mr. Taylor's mother.

Waiver Request

Due to the small scale of this proposal, and that the relief sought does not relate to the site plan or anything other than a small change to the decks, the Applicants are not providing the following documents and ask for a waiver regarding having to provide same:

- Green Score Calculation and Worksheet
- Land Title Survey

The cost of providing said documents with this application would be costly and would not provide any information directly relating to the relief being sought.

Relief Requested

Applicants seek a Special Permit pursuant to M.G.L. ch. 40A, Section 6, and Somerville Zoning Ordinance (“SZO”) Section 15.2.1.

Per Somerville Zoning Ordinance Section 15.2.1.e:

In its discretion to approve or deny a Special Permit required by this Ordinance, the review board shall make findings considering, at least, each of the following:

- a). The COMPREHENSIVE PLAN and existing policy plans and standards established by the City.*
- b). The intent of the zoning district where the property is located.*
- c). Considerations indicated elsewhere in this Ordinance for the required Special Permit.*

Regarding the Special Permit findings in SZO Section 15.2.1.e, Applicants state as follows:

- a) Applicants seek to retain the two-family residential use of this structure, but with expanded first and second floor decks. This will reduce the rear setback from 17.5 feet to 17 feet. The SZO rear setback requirement is 20 feet.

The six inch increase in the rear setback encroachment is not noticeable and is not readily visible from the street.

The project will comply with the goals of the SomerVision strategic plan because it will "facilitate transit-oriented neighborhood in-fill development", create a "healthier, more prosperous and more attractive place to live, work, play and raise a family", and "preserve and enhance the character of Somerville's neighborhoods". This will ensure that “properties can adapt and change to meet the needs of residents, while respecting the character of the neighborhood”.

- b) Per Section 3.1.3 of the SZO, the purpose of the NR district is, in part:

a. To permit the DEVELOPMENT of one-, two-, and three-unit detached and semi-detached residential buildings on individual LOTS.

b. To permit contextual MODIFICATIONS to existing detached and semi-detached residential buildings.

d. To create DWELLING UNIT types, sizes, and BEDROOM counts ideal for larger households in houses, semi-attached houses, duplexes, and triple deckers.

The project meets those purposes by keeping the existing two-family Detached House residential building and the small deck increase will not be readily discernable from the street. This will allow the Applicants to continue residing there and make the house more usable.

c) Massachusetts General Laws Chapter 40A, Section 6 states, in part:

Pre-existing nonconforming structures or uses may be extended or altered, provided, that no such extension or alteration shall be permitted unless there is a finding by the permit granting authority or by the special permit granting authority designated by ordinance or by-law that such change, extension or alteration shall not be substantially more detrimental than the existing nonconforming use to the neighborhood.

The proposed increased deck space will not create any new nonconformity and will not change the use of the property. The structure is already encroaching into the rear setback required in the NR zoning district.

The enlargement of the decks which encroach into the rear setback by six more inches is not substantially more detrimental to the neighborhood because it is in the rear and not readily visible from the street, because it expands the decks by a small amount, because it does not create any appreciable new shadows on the surrounding properties, and because it allows for the decks to be more usable as an outdoor amenity space.

Conclusion.

Applicants respectfully request approval of the Special Permit to expand the pre-existing nonconforming rear setback.

PROPOSED RIGHT SIDE PORCH ADDITION TO:

61 Boston Street,
Somerville, MA

Sheet List - SPECIAL PERMIT-		
Sheet Number	Sheet Name	Sheet Issue Date
-C.1	Cover Page	06/15/2026
-Z.0	Zoning Table	06/15/2026
-Z.1	Zoning Plan	06/15/2026
-Z.2	Zoning - Extg. Open Space	06/15/2026
-Z.3	Proposed Open Space	06/15/2026
-A0.1	3D Views	06/15/2026
-A0.2	3D Views	06/15/2026
-A0.3	3D Views	06/15/2026
-A0.4	3D Views	06/15/2026
-A1.1	Basement plans	06/15/2026
-A1.2	1st Floor Plans	06/15/2026
-A1.3	2nd Floor Plans	06/15/2026
-A1.4	3rd Floor Plans	06/15/2026
-A1.5	Roof Plans	06/15/2026
-A2.1	Front Elevations	06/15/2026
-A2.2	Right Side Elevations	06/15/2026
-A2.3	Rear Elevations	06/15/2026
-A2.4	Left Elevations	06/15/2026
-A3.1	Section	06/15/2026

**SPECIAL PERMIT REQUIRED FOR INCREASE
TO THE EXISTING NON-CONFORMING REAR SETBACK.**



**RENDERED STREET VIEW WITH PROPOSED
RIGHT SIDE REAR PORCH ADDITION**



ARCHITECT
GCD ARCHITECTS
2 WORTHINGTON STREET
CAMBRIDGE, MA 02138
617-412-8450
www.glassmanchungdesign.com

DATE
06/15/2026

PROJECT
61 Boston Street
Proposed Top and Porch Addition

TITLE
Cover Page

SCALE

DRAWING
-C.1



EXISTING STREET VIEW
FROM FRONT RIGHT



EXISTING VIEW OF AREA FOR PROPOSED PORCH
FROM RIGHT SIDE YARD

	ARCHITECT	DATE	PROJECT	TITLE	SCALE	DRAWING
	GCD ARCHITECTS 2 WORTHINGTON STREET CAMBRIDGE, MA 02138 617-412-8450 www.glassmanchungdesign.com	06/15/2026	61 Boston Street Proposed Top and Porch Addition	EXISTING PHOTOS		PHOTOS



EXISTING VIEW OF AREA FOR PROPOSED PORCH
FROM RIGHT SIDE YARD & REAR YARD



EXISTING STEET VIEW
FROM FRONT RIGHT



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DATE

06/15/2026

PROJECT

61 Boston Street
Proposed Top and Porch Addition

TITLE

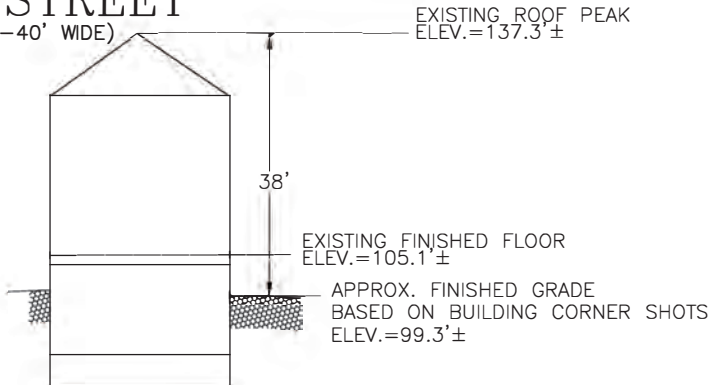
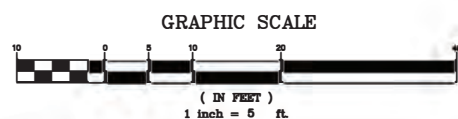
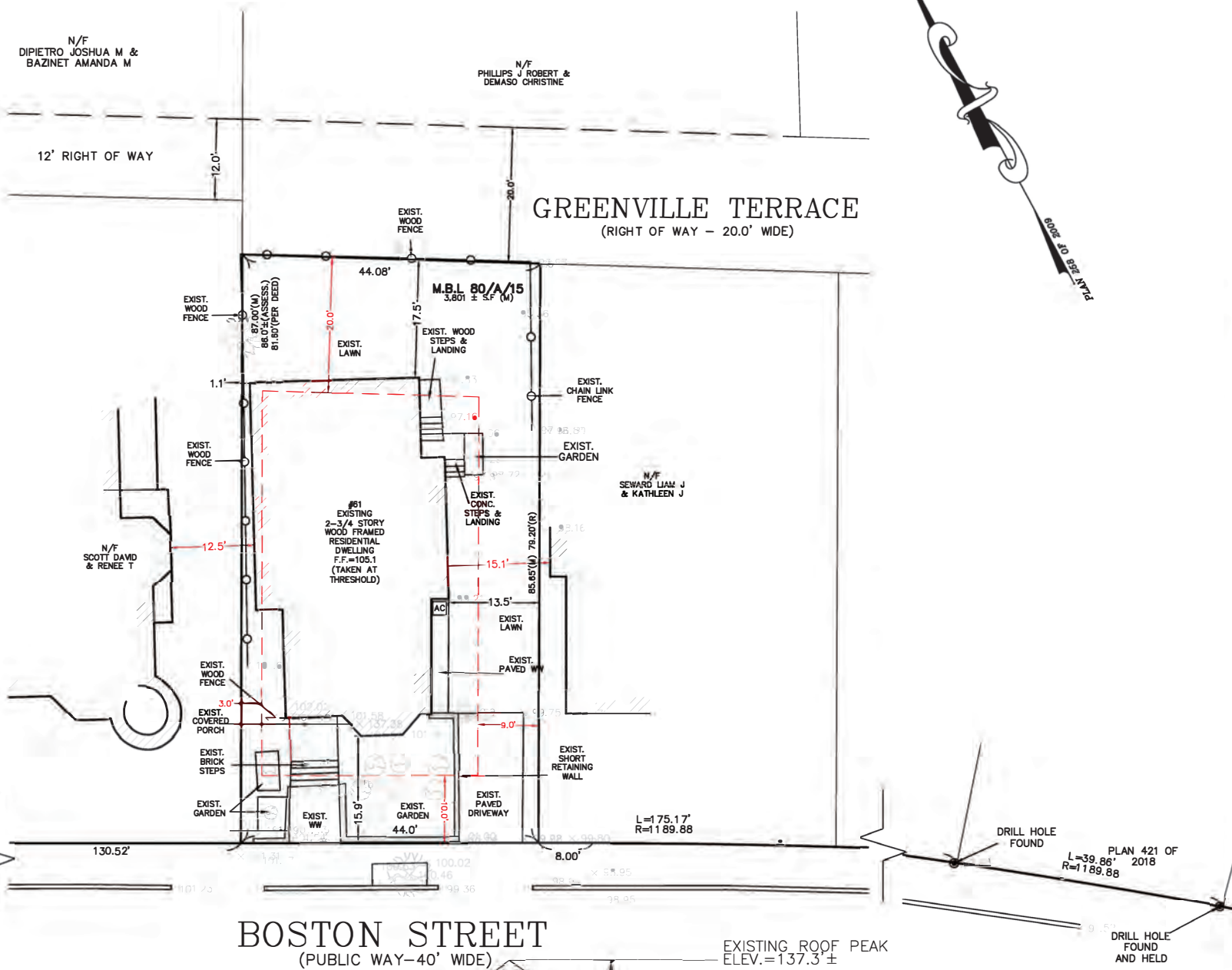
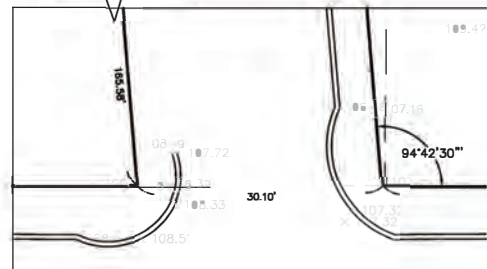
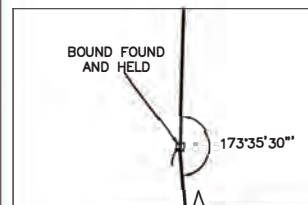
EXISTING PHOTOS

SCALE

DRAWING

PHOTOS

	BOUND
	IRON PIN/PIPE
	STONE POST
	TREE
	TREE STUMP
	SHRUBS/FLOWERS
	SIGN
	BOLLARD
	SEWER MANHOLE
	DRAIN MANHOLE
	CATCH BASIN
	WATER MANHOLE
	WATER VALVE
	HYDRANT
	GAS VALVE
	ELECTRIC MANHOLE
	ELECTRIC HANDHOLE
	UTILITY POLE
	LIGHT POLE
	MANHOLE
	SPOT GRADE
	TOP OF WALL
	BOTTOM OF WALL
	EXISTING BUILDING
	RETAINING WALL
	STONE WALL
	FENCE
	TREE LINE



EXISTING PROFILE
NOT TO SCALE

1. INFORMATION SHOWS ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 3/27/2024.
2. DEED REFERENCE: BOOK 62382, PAGE 107
PLAN REFERENCE 1: PLAN 588 OF 1993
MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0439E, IN COMMUNITY NUMBER: 250214, DATED 6/4/2010.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.
9. ZONING DISTRICT. NR — NEIGHBORHOOD RESIDENTIAL.

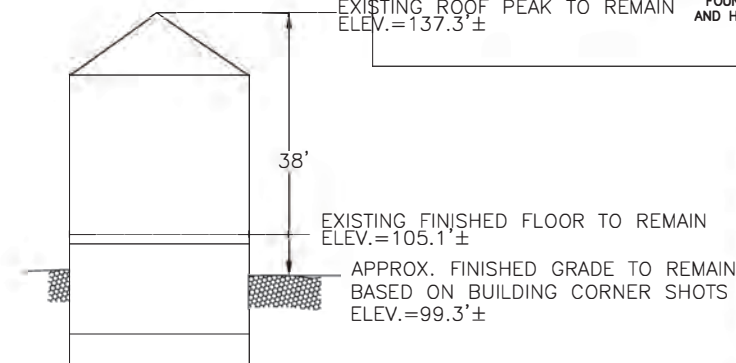
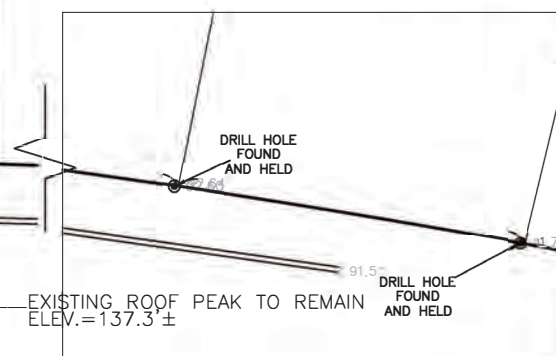
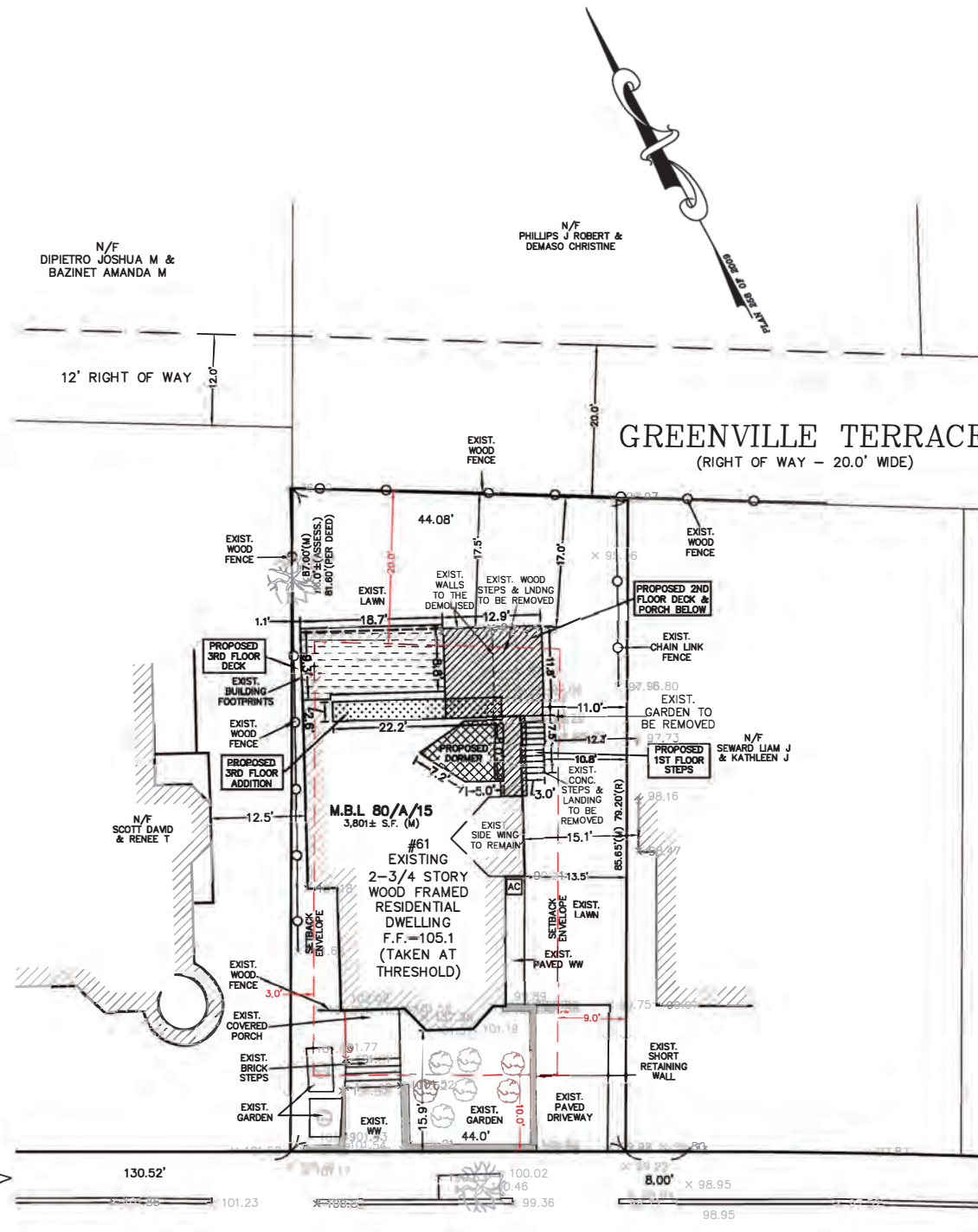
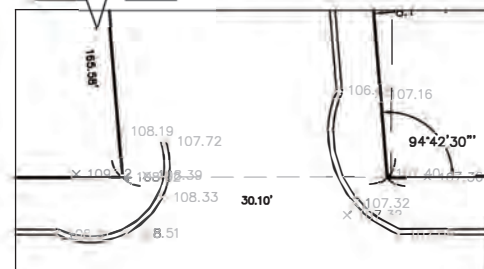
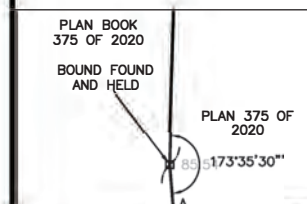
ZONING LEGEND		
ZONING DISTRICT: RESIDENCE DISTRICTS NEIGHBORHOOD RESIDENTIAL (NR)		
	REQUIRED	EXISTING
MIN. AREA	—	—
MIN. LOT DEPTH	80'	86.0'±
MIN. LOT WIDTH	34'	44.0'
MIN. YARD FRONT	MIN — 10' MAX — 20'	15.9'
SECONDARY FRONT	MIN — 10' MAX — 20'	—
SIDE (R)	9'	13.5'
SIDE (L)	3'	1.1'
REAR	20'	17.5'
MAX. HEIGHT	—	38.0'
MAX. LOT COVERAGE	60%	34% ±
GREEN SCORE	MIN—0.35 IDEAL—0.40	— —
BUILDING SEPARATION	10'	15.1'—RIGHT 12.5'—LEFT
MAX STORIES	3..5	3-1/2'

SCALE 2"=1'					
DATE 03/28/2024	REV	DATE	REVISION	BY	
SHEET 1	61 BOSTON STREET SOMERVILLE MASSACHUSETTS				
PLAN NO. 1 OF 1					
CLIENT:	PLOT PLAN OF LAND				SHEET NO.
DRAWN BY LOG		PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS PHONE: 857 891 7478/617 782 1533 EMAIL: pnolan@pnasurveyors.com			1
CHKD BY P.J.N					
APPD BY P.J.N					

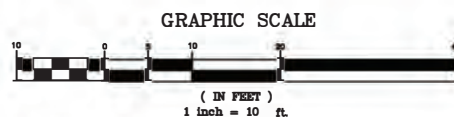
	BOUND
	IRON PIN/PIPE
	STONE POST
	TREE
	TREE STUMP
	SHRUBS/FLOWERS
	SIGN
	BOLLARD
	SEWER MANHOLE
	DRAIN MANHOLE
	CATCH BASIN
	WATER MANHOLE
	WATER VALVE
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	ELECTRIC HANDHOLE
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	LIGHT POLE
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	SPOT GRADE
	TOP OF WALL
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8. THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.
9. ZONING DISTRICT. NR — NEIGHBORHOOD RESIDENTIAL.

ZONING DISTRICT: RESIDENCE DISTRICTS NEIGHBORHOOD RESIDENTIAL (NR)			
	REQUIRED	EXISTING	PROPOSED
MIN. AREA	—	—	—
MIN. LOT DEPTH	80'	86'±	86'±
MIN. LOT WIDTH	34'	44.0'	44.0'
MIN. YARD FRONT	MIN — 10' MAX — 20'	15.9'	15.9'
SECONDARY FRONT	MIN — 10' MAX — 20'	—	—
SIDE (R)	9'	13.5'	11.0'
SIDE (L)	3'	1.1'	1.1'
REAR	20'	17.5'	17.0'
MAX. HEIGHT	—	38.0'	38.0'
MAX. LOT COVERAGE	60%	34% ±	36.4% ±
GREEN SCORE	MIN—0.35	—	—
	IDEAL—0.40	—	—
BUILDING SEPARATION	10'	15.1' — RIGHT 12.5' — LEFT	12.3' — RIGHT 12.5' — LEFT
MAX STORIES	3.5	3-1/2'	3-1/2'



 PROPOSED 3RD FLOOR DECK
 PROPOSED 3RD FLOOR ADDITION
 PROPOSED 1ST FLOOR STEPS
 PROPOSED 2ND FLOOR DECK & PORCH BELOW
 PROPOSED DORMER



THIS CONTRACT AND ASSOCIATES LLC SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEETING, MEETING, TECHNOLOGY, OR PROCEDURES VIOLATED BY THE CONTRACTOR. NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE MEETING ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE EXTENT OF THE CONTRACTOR'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEES LESS THIS PARTY COST

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SCALE 1"=10'			
DATE 2/25/2026	REV	DATE	REVISION
			BY
SHEET 1	61 BOSTON STREET SOMERVILLE MASSACHUSETTS		
PLAN NO. 1 OF 1			
CLIENT:	PROPOSED PLOT PLAN		
DRAWN BY LOG		PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS PHONE: 857 891 7478/617 782 1533 EMAIL: pnolan@pnasurveyors.com	
CHKD BY P.J.N			
APPD BY P.J.N			

NR ZONE - DETACHED HOUSE				
	EXISTING	REQUIRED	PROPOSED	CONFORMING
MIN. LOT WIDTH (front driveway access)	44'	34'	44'	YES
MIN. LOT DEPTH	86'	80'	86'	YES
MAX LOT COVERAGE	46% (see Z.3)	60%	47% (see Z.3)	YES
GREEN SCORE		N/A		N/A
PRIMARY FRONT SETBACK	15.9'	Min. 10' - Max. 20'	15.9'	YES
SECONDARY FRONT SETBACK	NA	Min. 10' - Max. 20'	NA	NA
RIGHT SIDE SETBACK	13.5'	Front Driveway (9') min	11' (PROP PORCH)	YES
LEFT SIDE SETBACK	1.1'	Front Driveway (3') min	1.1'	EXISTING NON CONFORMING
SUM OF SIDE SETBACKS	14.5'	Front Driveway (12') min	12.1'	YES
REAR SETBACK	17.5'	20' min.	17' (PROP PORCH)	NEEDS RELIEF
BUILDING SEPARATION	15.1'	10' min	15.1'	YES
PRIMARY FRONT PARKING SETBACK	xx	20'	xx	YES
SECONDARY FRONT PARKING SETBACK	NA	10'	NA	NA
MIN. FACADE BUILDOUT	28'-2" (64%)	MIN. 50%	28'-2" (64%)	YES
MAIN MASS				
MAIN MASS (WIDTH)	28'-2"	MIN. 22', MAX 28'	28'-2"	EXISTING NON CONFORMING
MAIN MASS (DEPTH)	37'-10"	MIN.28' , MAX. 48'	40'-5"	YES
MIN. GROUND STORY ELEVATION	5.8'	2' min.	5.8'	YES
STORY HEIGHT		Min. 10' - Max. 12'		EXISTING TO REMAIN
MAX. NUMBER OF STORIES	3.5	2.5	3.5	EXISTING NON CONFORMING
ROOF TYPE	Gable	Flat, Gable, Gambrel, Hip or Mansard	Gable	YES
GROUND STORY FENESTRATION		Min. 15% - Max. 50%	SEE A0.3	YES
UPPER STORIES FENESTRATION		Min. 15% - Max. 50%	SEE A0.3	YES
DWELLING UNITS	2 Units	Max. 3	2 Units	YES
OUTDOOR AMENITY SPACE	Backyard+ porches	1/DU Min.	Backyard+ porches	YES
REQUIRED ADUs	0	0-2 Units = 0	0	YES
BUILDING COMPONENTS				
GABLE DORMER				
WIDTH		windows width +18"	refer to elevations	YES
SIDE WALL SETBACK (Roof with Eave)		0'	0'	YES
FACADE SETBACK		3' min.	3'	YES
RIDGE SETBACK		1' min.	1'-6"	YES
DORMER SEPARATION		50% Dormer width	n/a	YES

SPECIAL PERMIT REQUIRED FOR 6" INCREASE OF EXISTING NON-CONFORMING REAR SETBACK



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DATE
06/15/2026

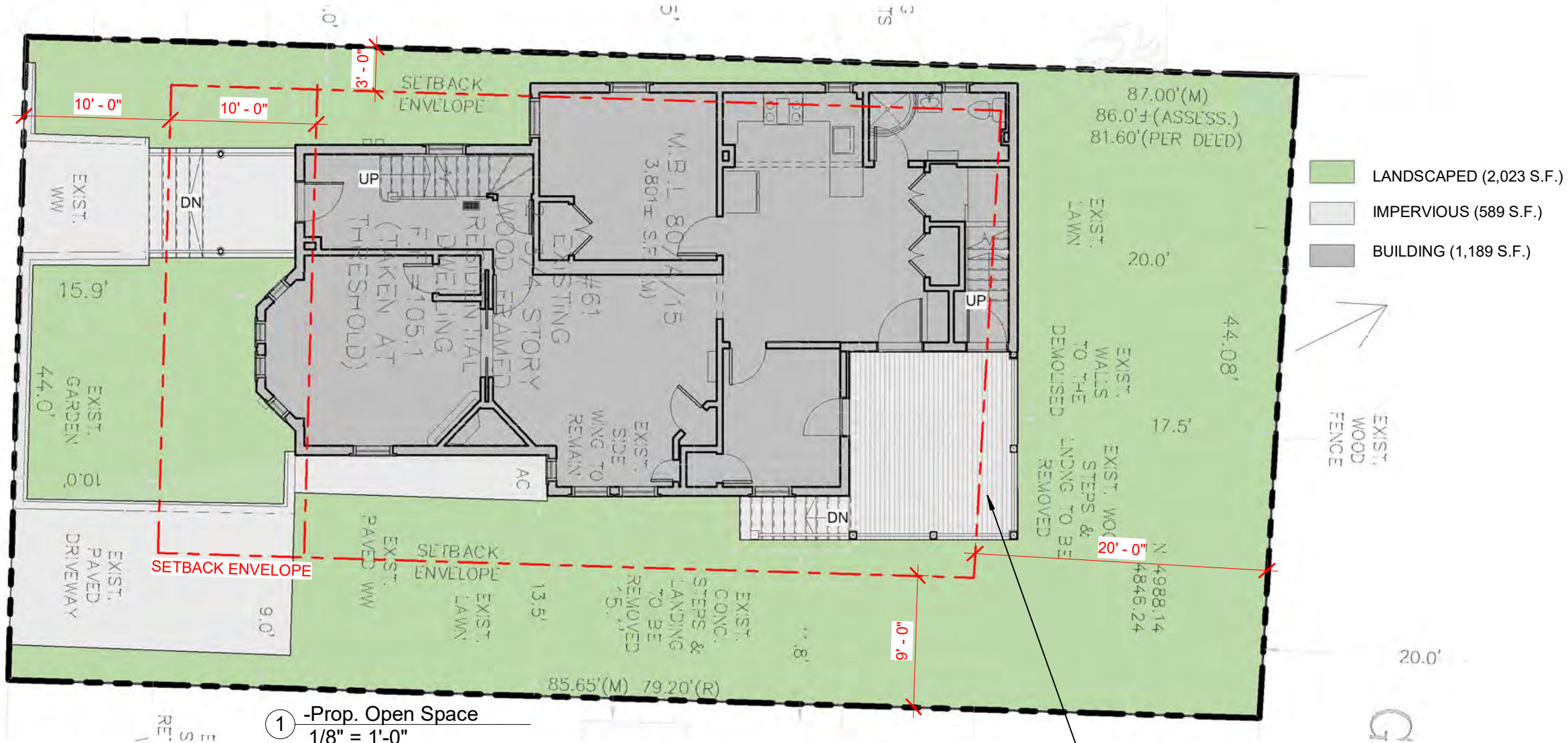
PROJECT
61 Boston Street
Proposed Top and Porch Addition

TITLE
Zoning Table

SCALE

DRAWING
-Z.0

BOSTON STREET
(PUBLIC WAY-40' WIDE)



Lot Coverage Schedule TOT. LOT AREA 3,801 S.F.

Area type	Coefficient	Existing Area (SF)	Extg. Lot Coverage %	Proposed Area (SF)	Prop. Lot Coverage %
Building	1	1261 SF	33.17548	1189 SF	31.281242
Pavement & Impervious Surfaces	1	475 SF	12.496711	589 SF	15.495922
Pervious Pavement & Surfaces	0.33	0 SF	0	0 SF	0
Landscaped	0	2065 SF	0	2023 SF	0
Grand total		3801 SF	45.672192	3801 SF	46.777164



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PROJECT
61 Boston Street
Proposed Top and Porch Addition

TITLE
Proposed Open Space

SCALE
1/8" = 1'-0"

DRAWING
-Z.3



① Front EXISTING



② Front proposed



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PROJECT
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Proposed Top and Porch Addition

TITLE
3D Views

SCALE

DRAWING
-A0.1



② Right View extg.



① Right View proposed



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DATE
 06/15/2026

PROJECT
61 Boston Street
Proposed Top and Porch Addition

TITLE
3D Views

SCALE

DRAWING
-A0.2



② Rear View Extg.



① Rear View Proposed



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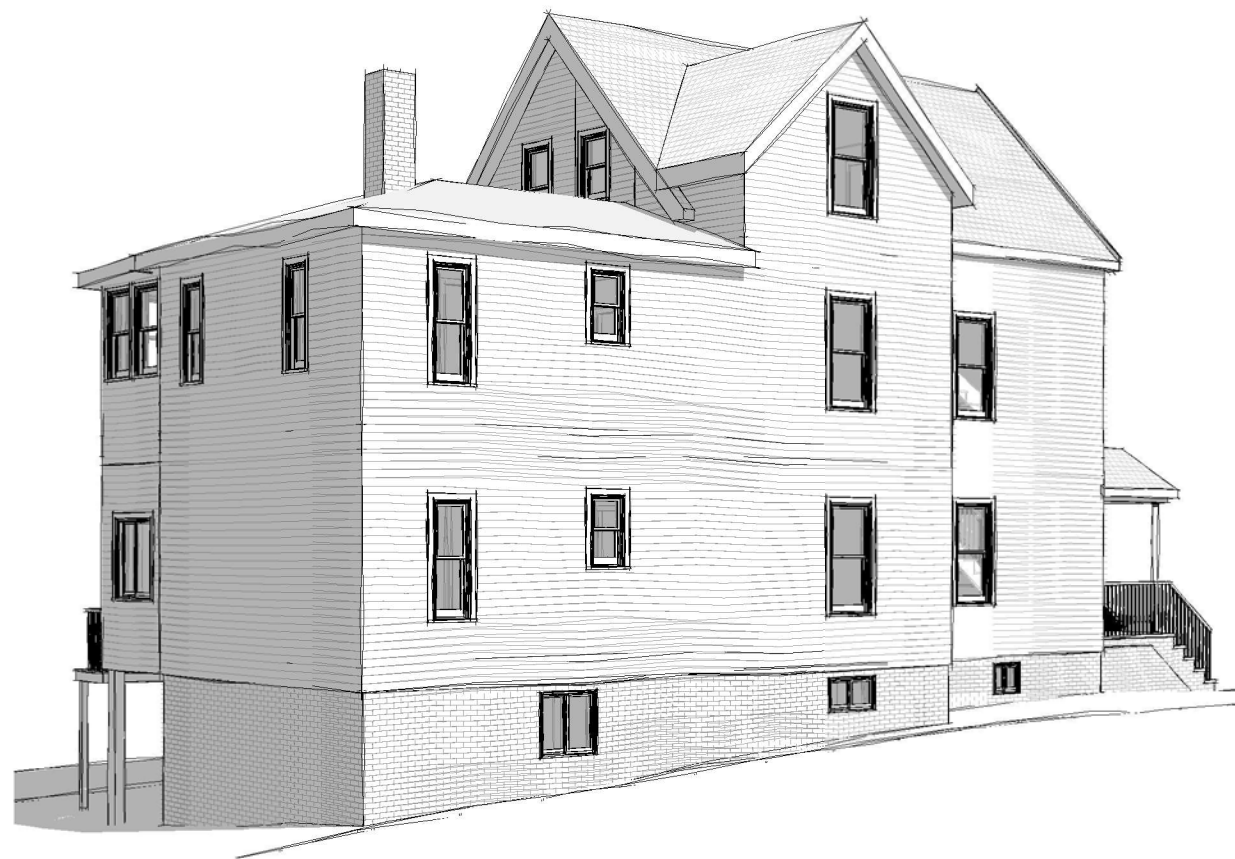
DATE
 06/15/2026

PROJECT
61 Boston Street
Proposed Top and Porch Addition

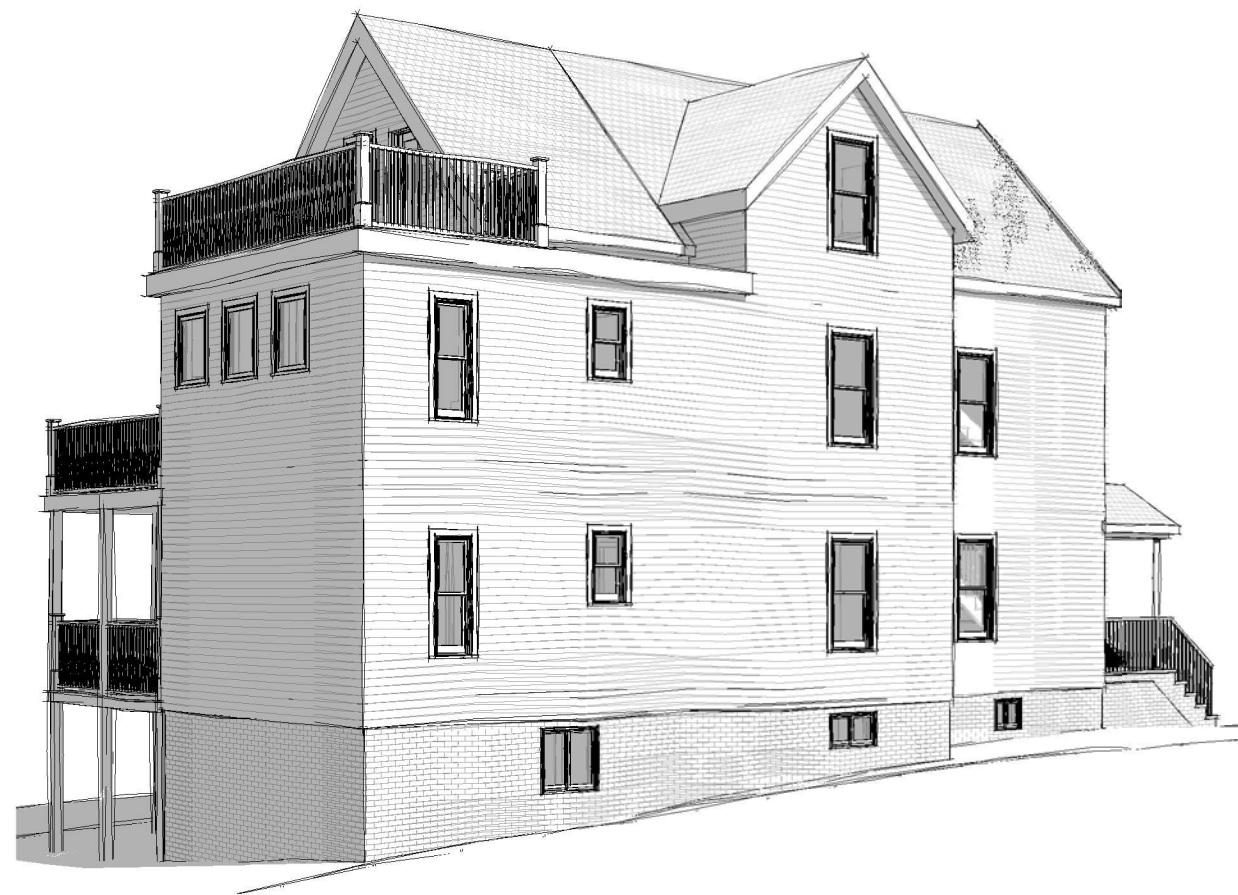
TITLE
3D Views

SCALE

DRAWING
-A0.3



② Rear Left View Extg.



① Rear Left View Proposed



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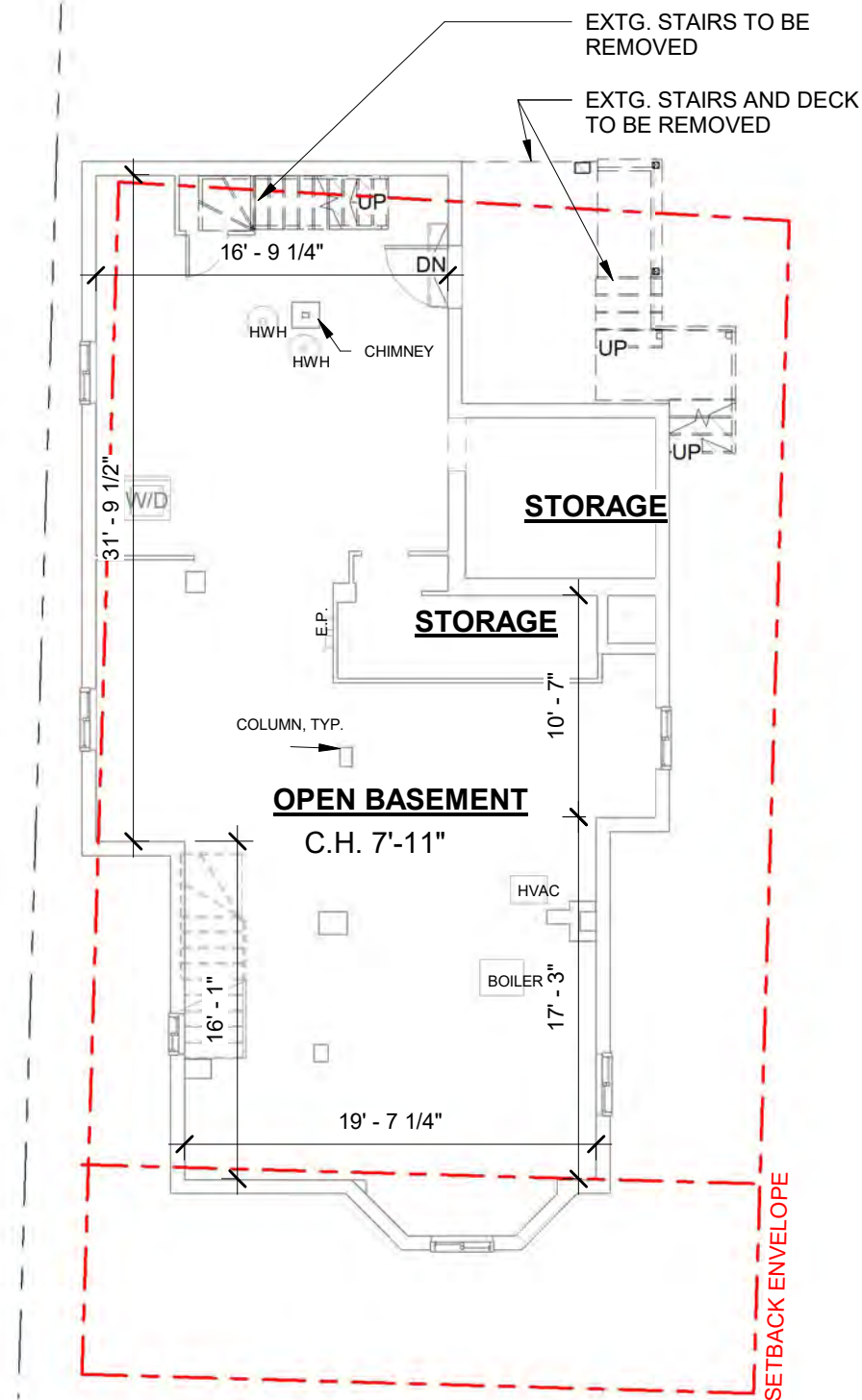
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PROJECT
61 Boston Street
Proposed Top and Porch Addition

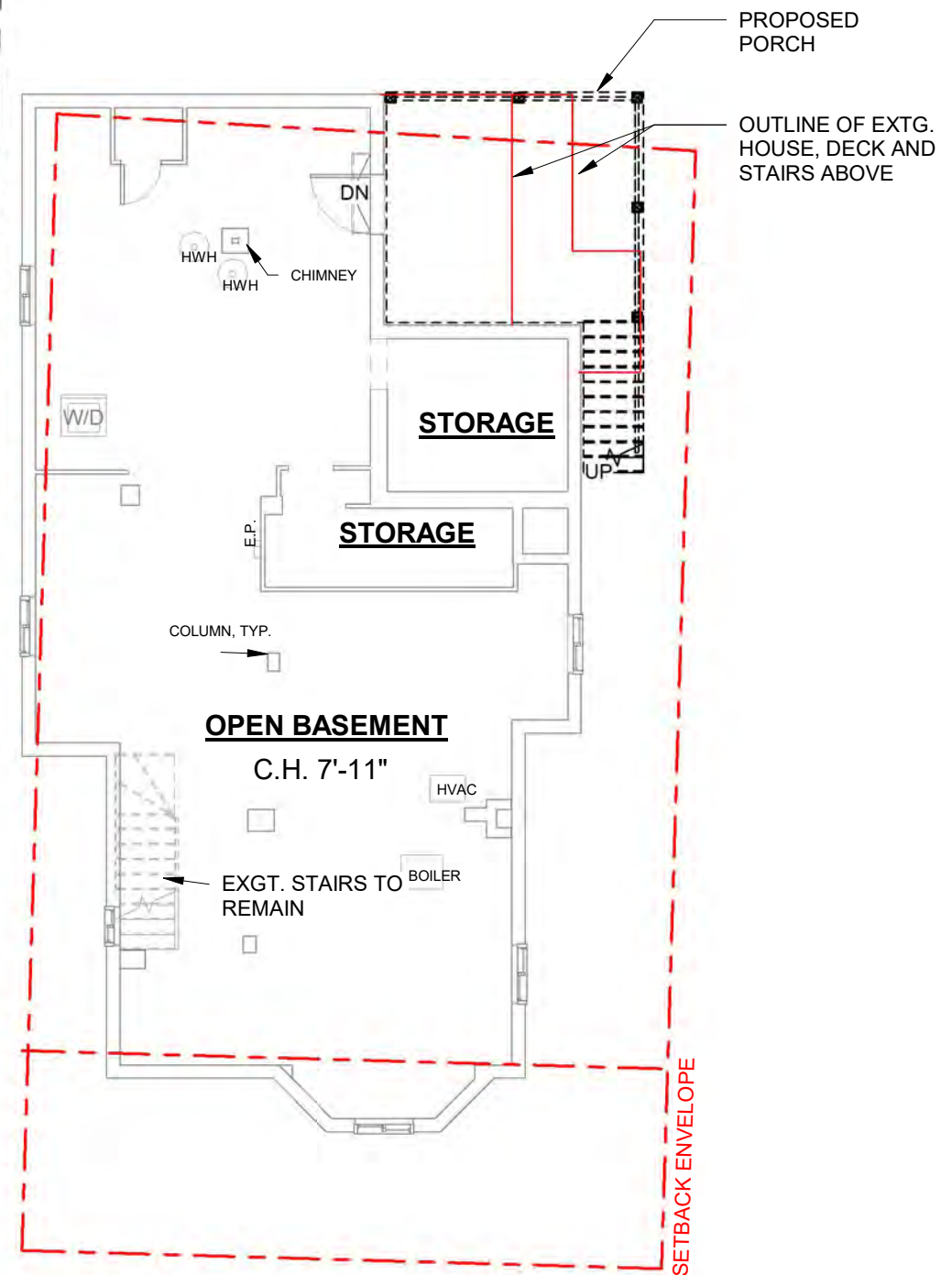
TITLE
3D Views

SCALE

DRAWING
-A0.4



① -Extg. Basement
1/8" = 1'-0"



② -Proposed Basement
1/8" = 1'-0"



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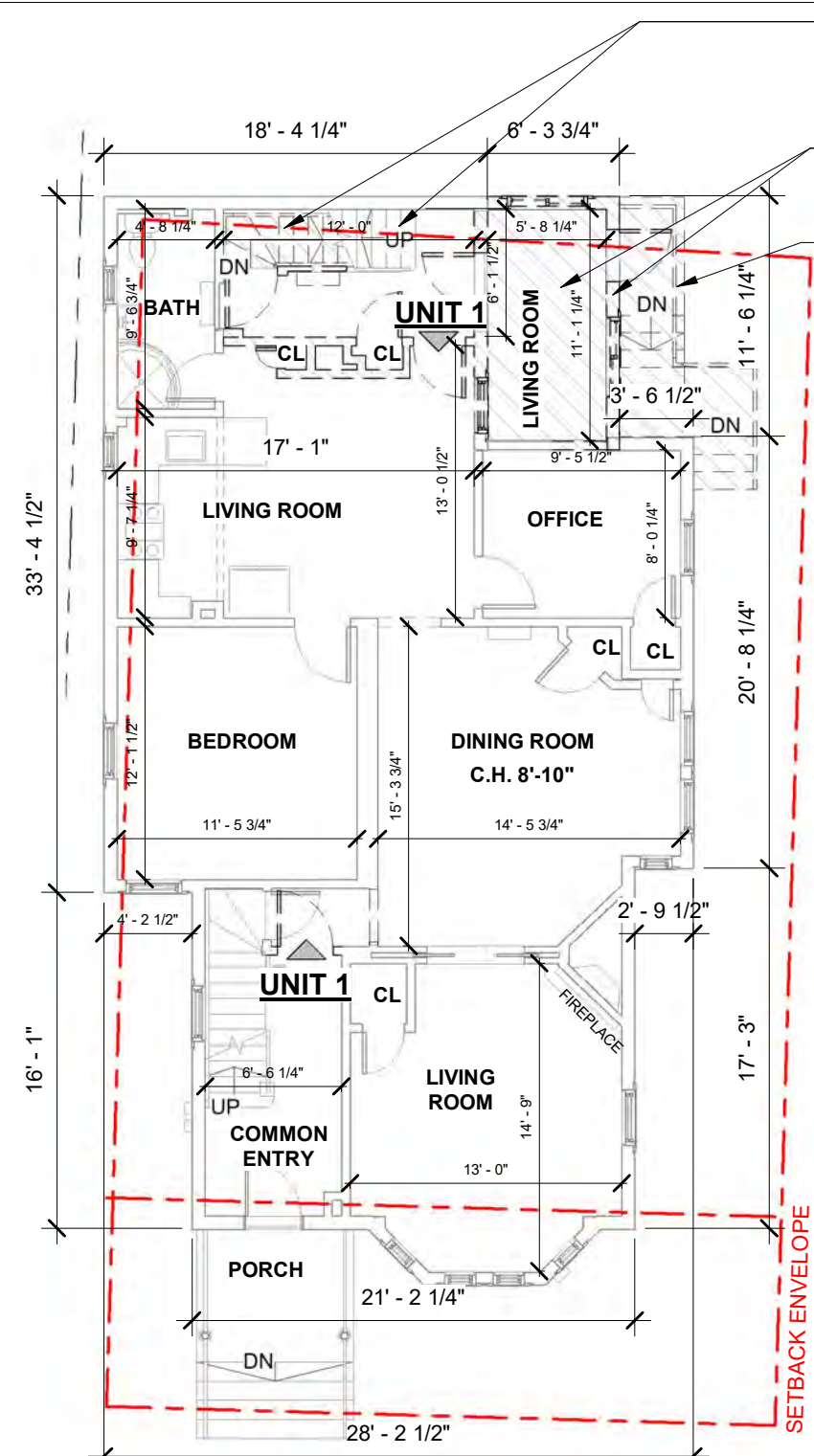
DATE
06/15/2026

PROJECT
61 Boston Street
Proposed Top and Porch Addition

TITLE
Basement plans

SCALE
1/8" = 1'-0"

DRAWING
-A1.1

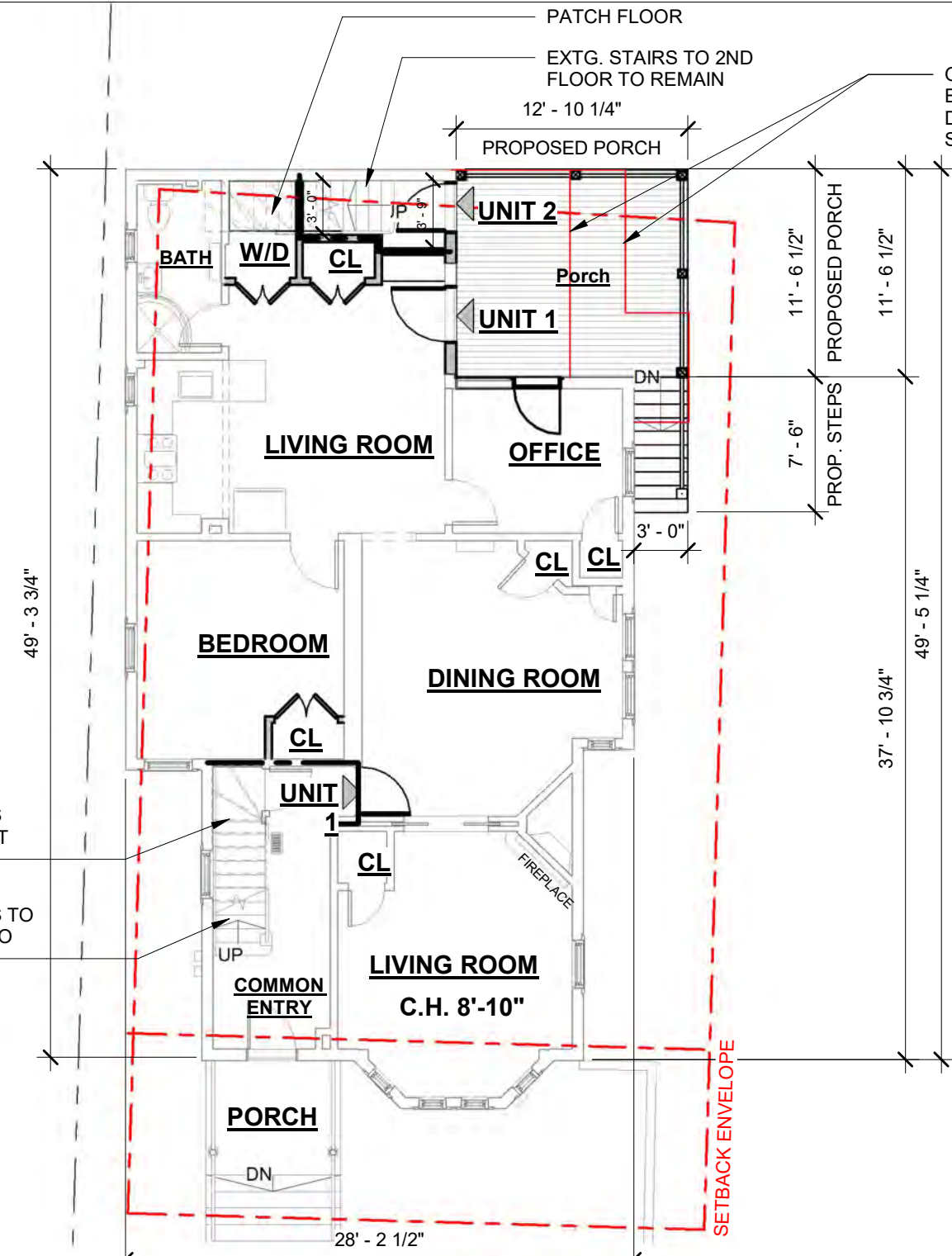


① - Extg. 1st Floor
1/8" = 1'-0"

EXTG. STAIRS TO BASEMENT
TO BE REMOVED. EXTG.
STAIRS TO 2ND FLOOR TO
REMAIN

EXTG. LIVING ROOM TO BE
REMOVED

EXTG. STAIRS TO BE
REMOVED



② - Proposed 1st Floor
1/8" = 1'-0"

EXTG. STAIRS
TO BASEMENT
TO REMAIN

EXTG. STAIRS TO
2ND FLOOR TO
REMAIN



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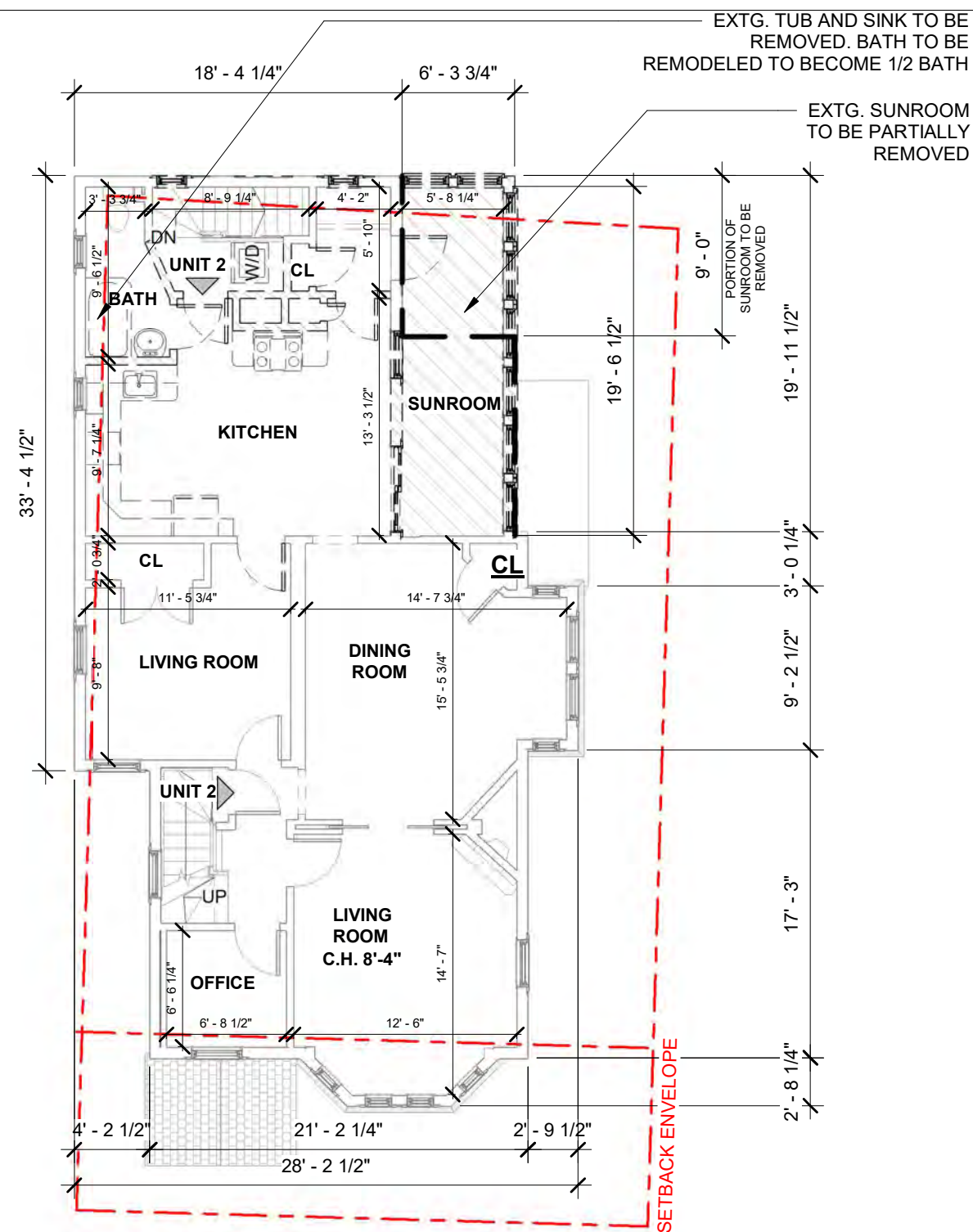
DATE
06/15/2026

PROJECT
61 Boston Street
Proposed Top and Porch Addition

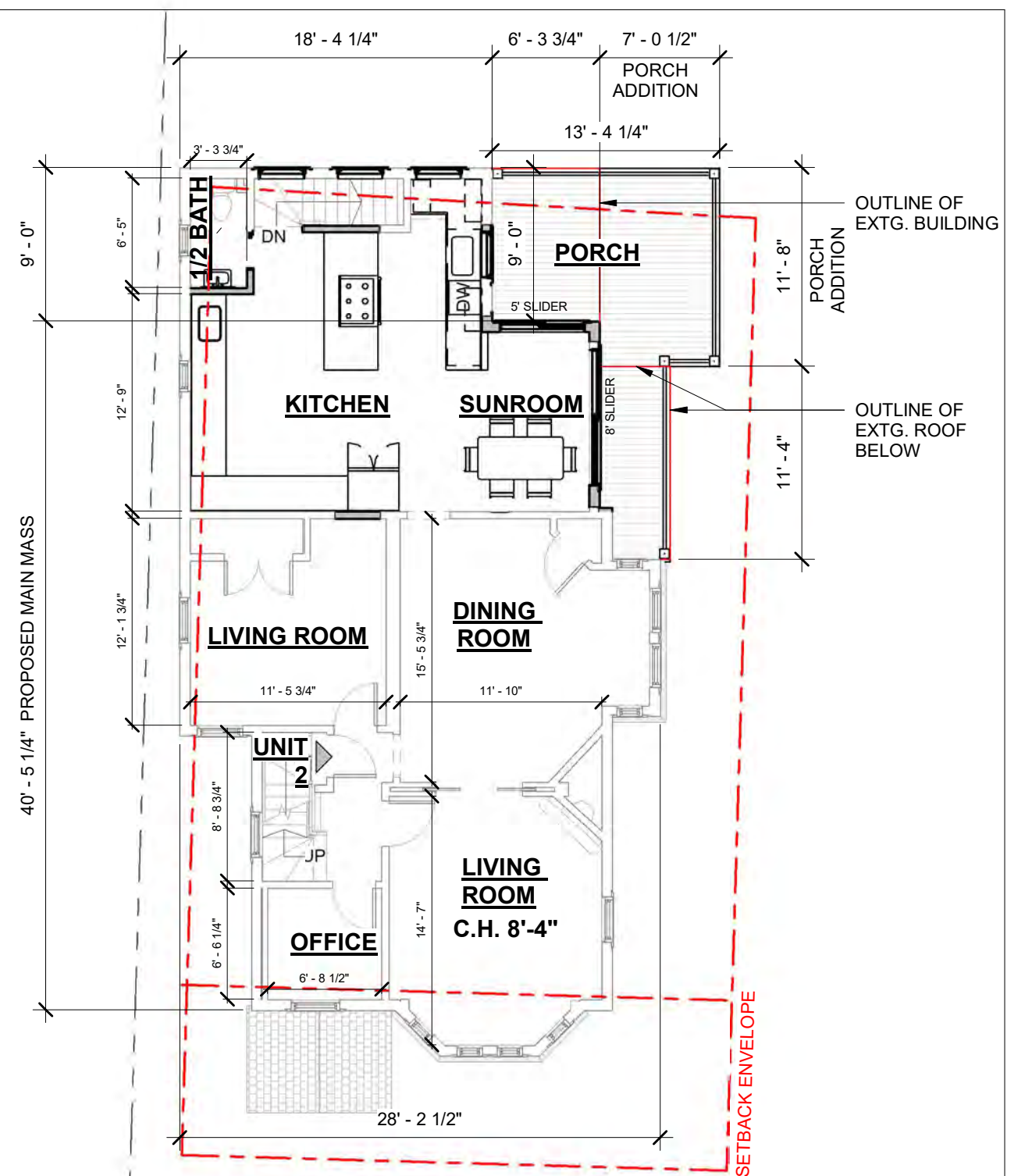
TITLE
1st Floor Plans

SCALE
1/8" = 1'-0"

DRAWING
-A1.2



① -Extg. 2nd Floor
1/8" = 1'-0"



② -Proposed 2nd Floor
1/8" = 1'-0"



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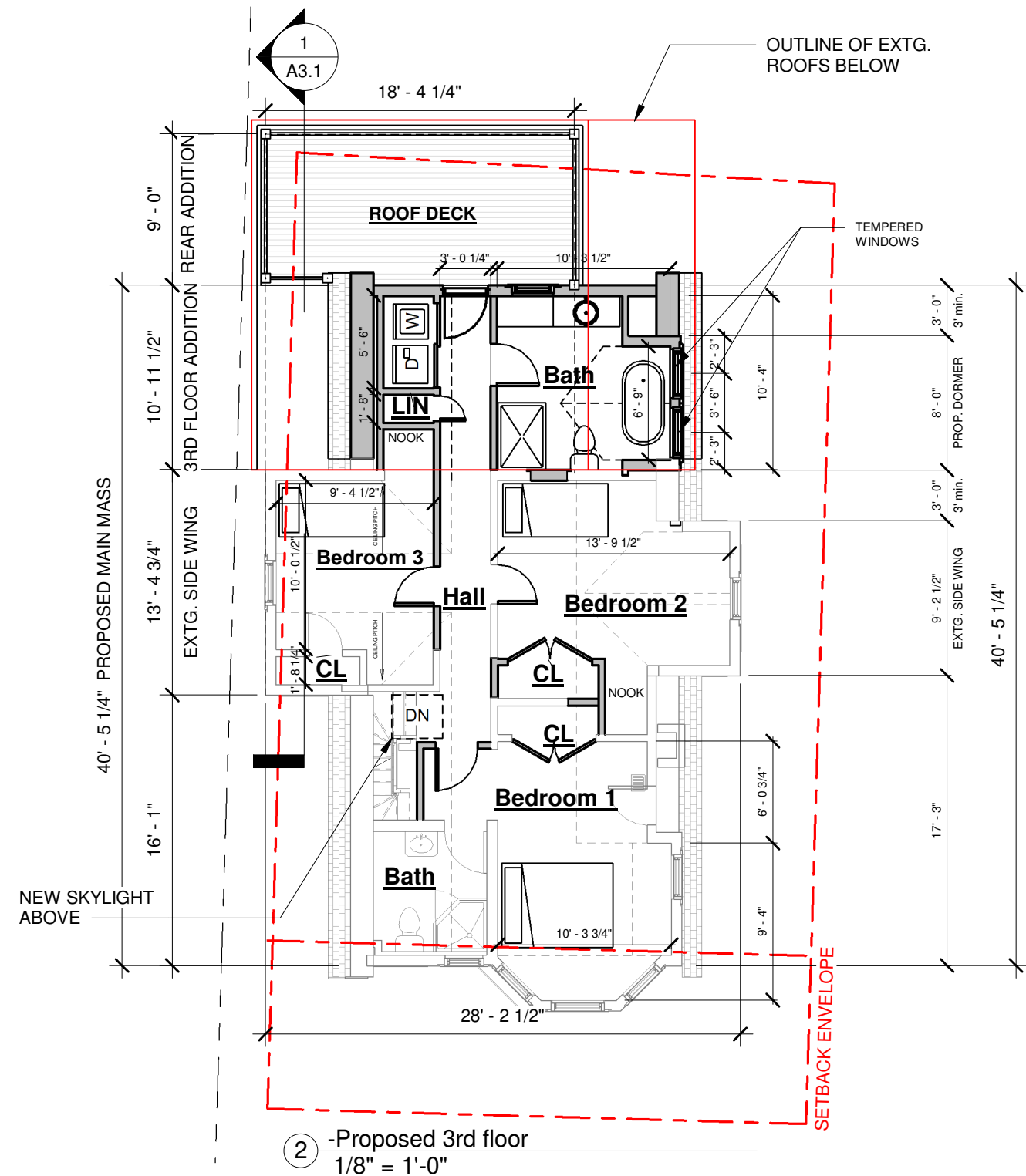
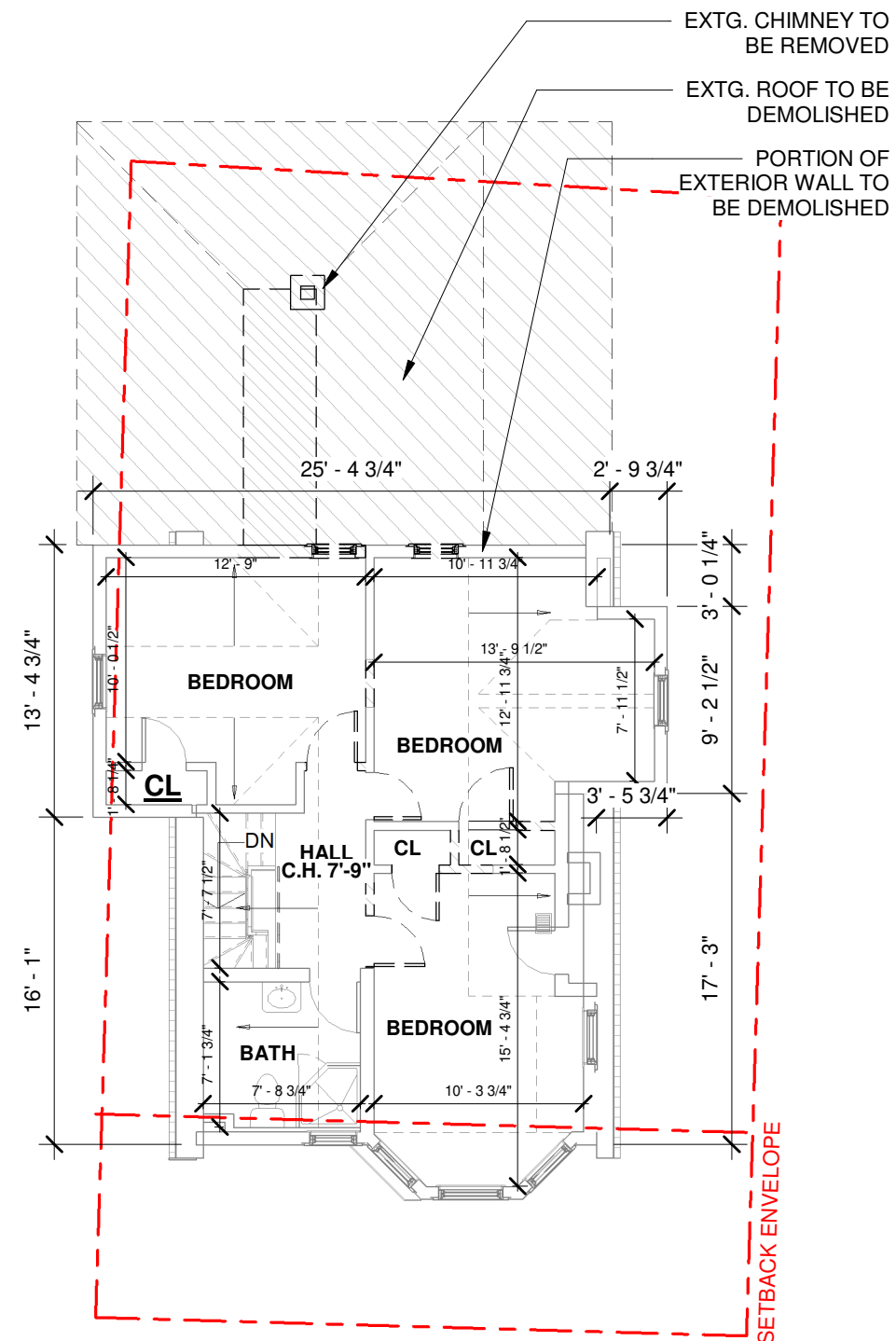
DATE
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PROJECT
61 Boston Street
Proposed Top and Porch Addition

TITLE
2nd Floor Plans

SCALE
1/8" = 1'-0"

DRAWING
-A1.3



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PROJECT

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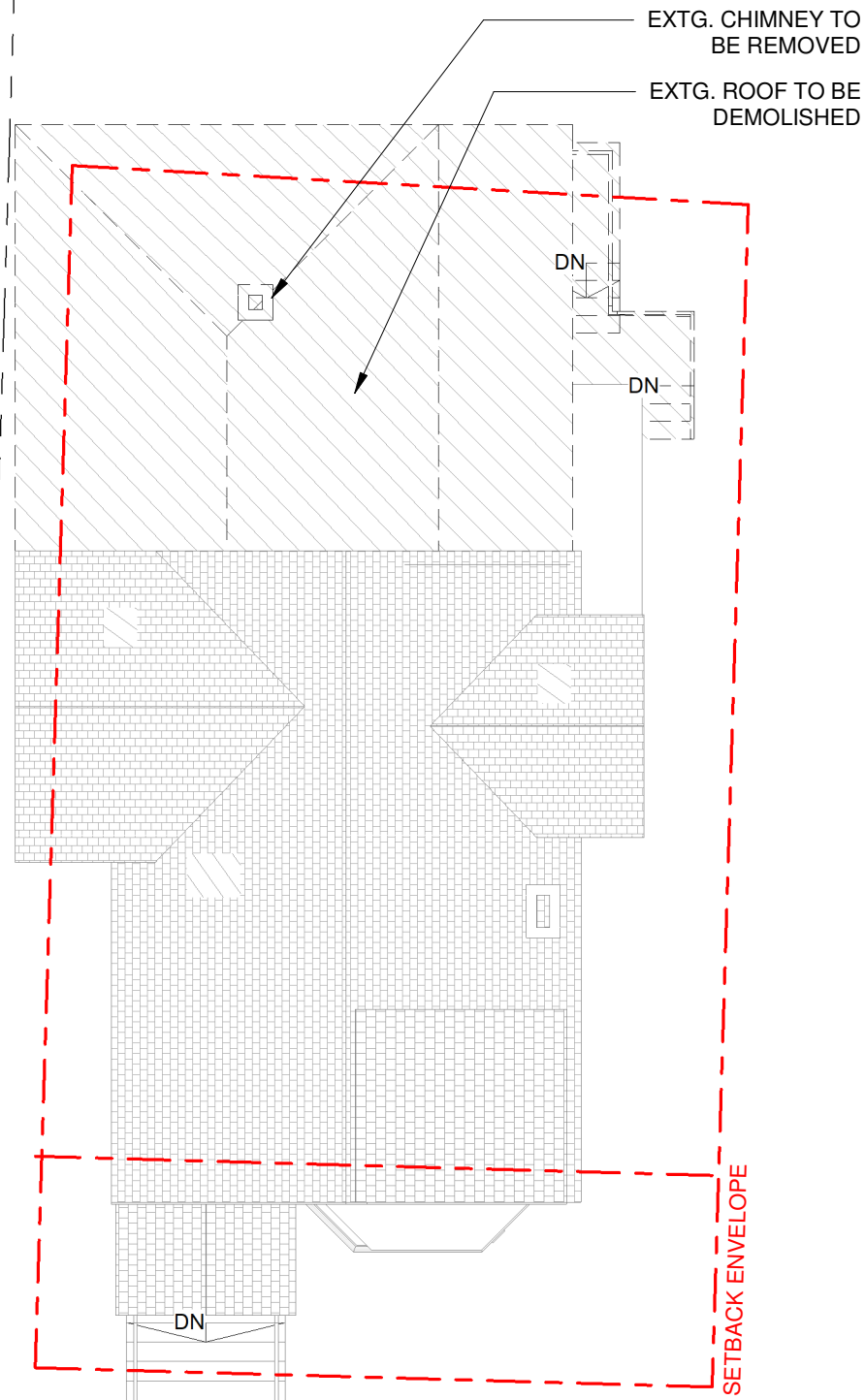
Proposed Top and Porch Addition

TITLE	3rd Floor Plans
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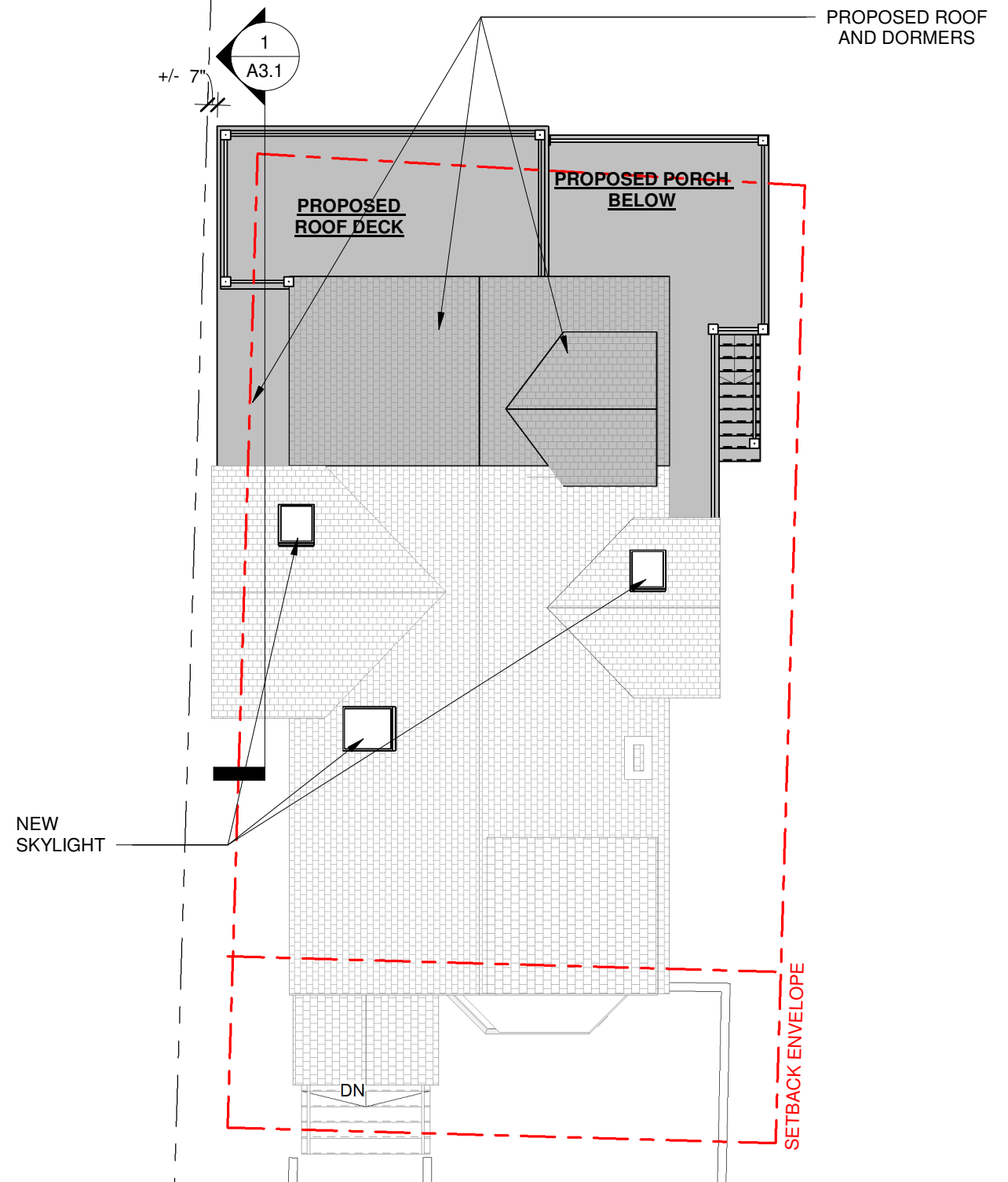
SCALE
1/8" = 1'-0"

DRAWING

-A1.4



① -Extg. Roof Plan
1/8" = 1'-0"



② -Proposed Roof Plan
1/8" = 1'-0"



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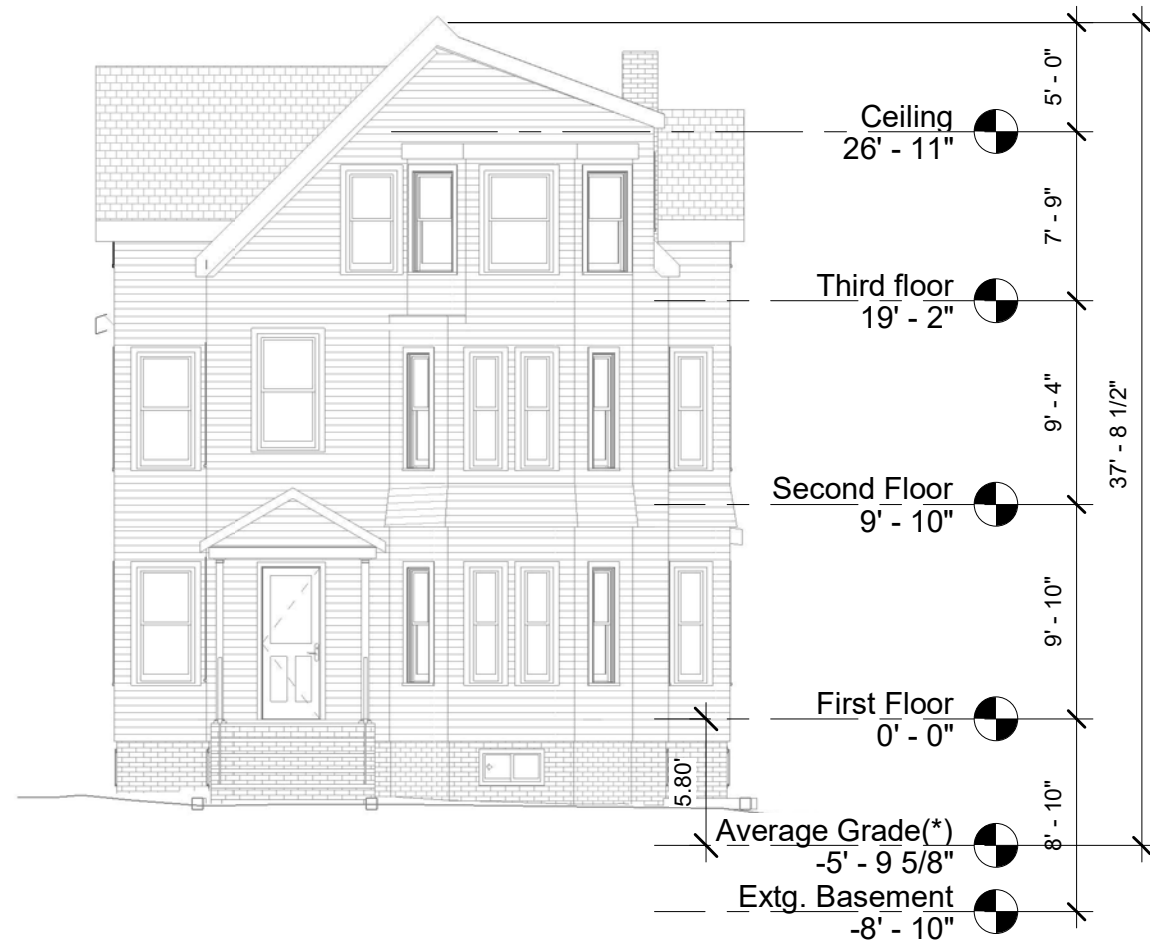
DATE
09/14/2026

PROJECT
61 Boston Street
Proposed Top and Porch Addition

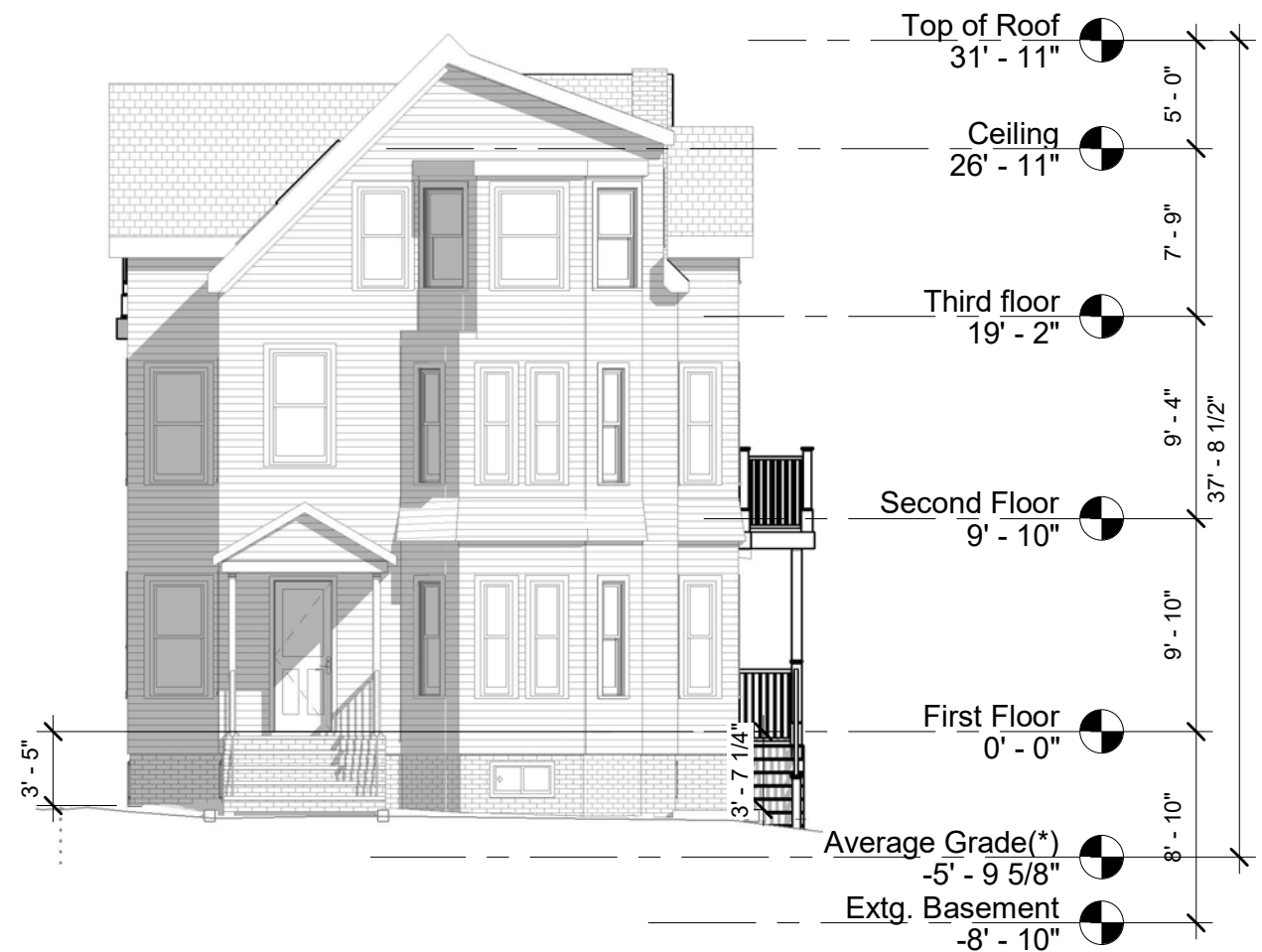
TITLE
Roof Plans

SCALE
1/8" = 1'-0"

DRAWING
-A1.5



① -Extg. Front
1/8" = 1'-0"



② -Prop. Front
1/8" = 1'-0"



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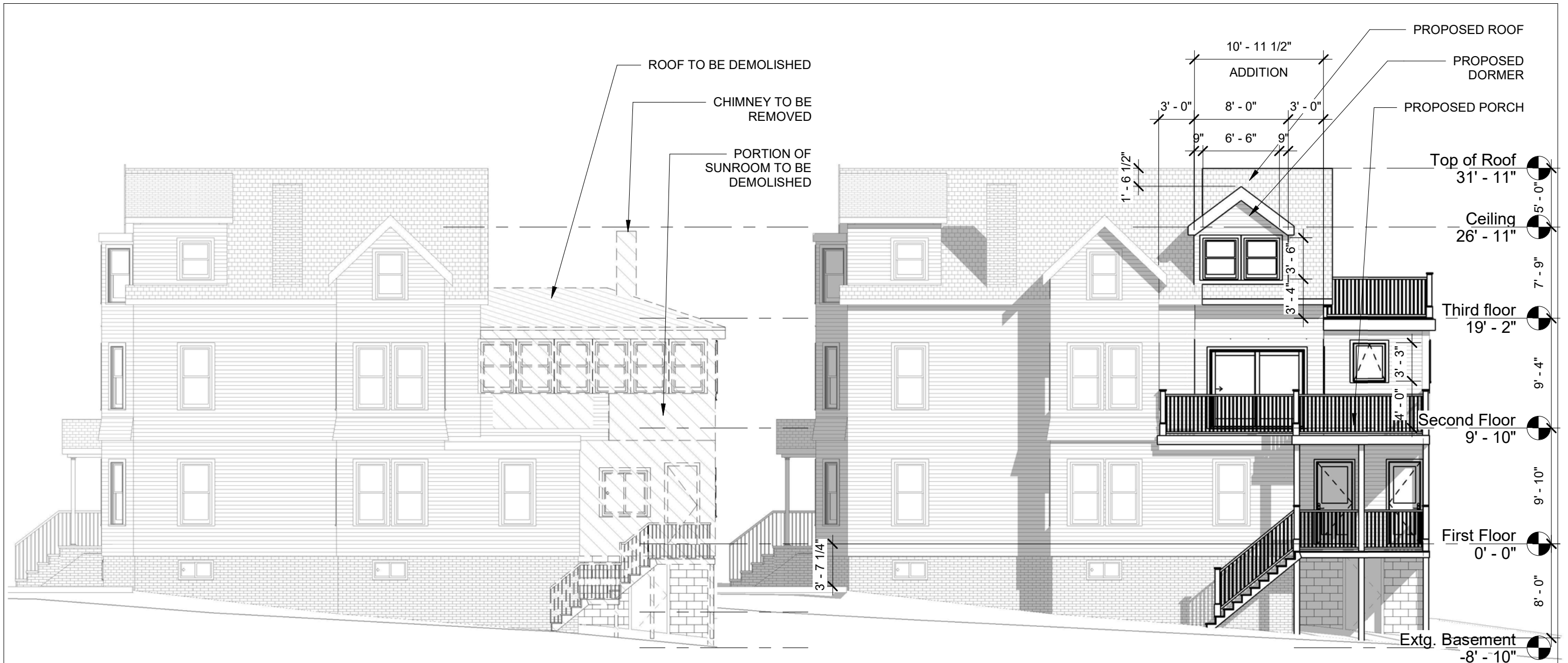
DATE
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PROJECT
61 Boston Street
Proposed Top and Porch Addition

TITLE
Front Elevations

SCALE
1/8" = 1'-0"

DRAWING
-A2.1



① -Extg. Right Side
1/8" = 1'-0"

② -Prop. Right Side
1/8" = 1'-0"



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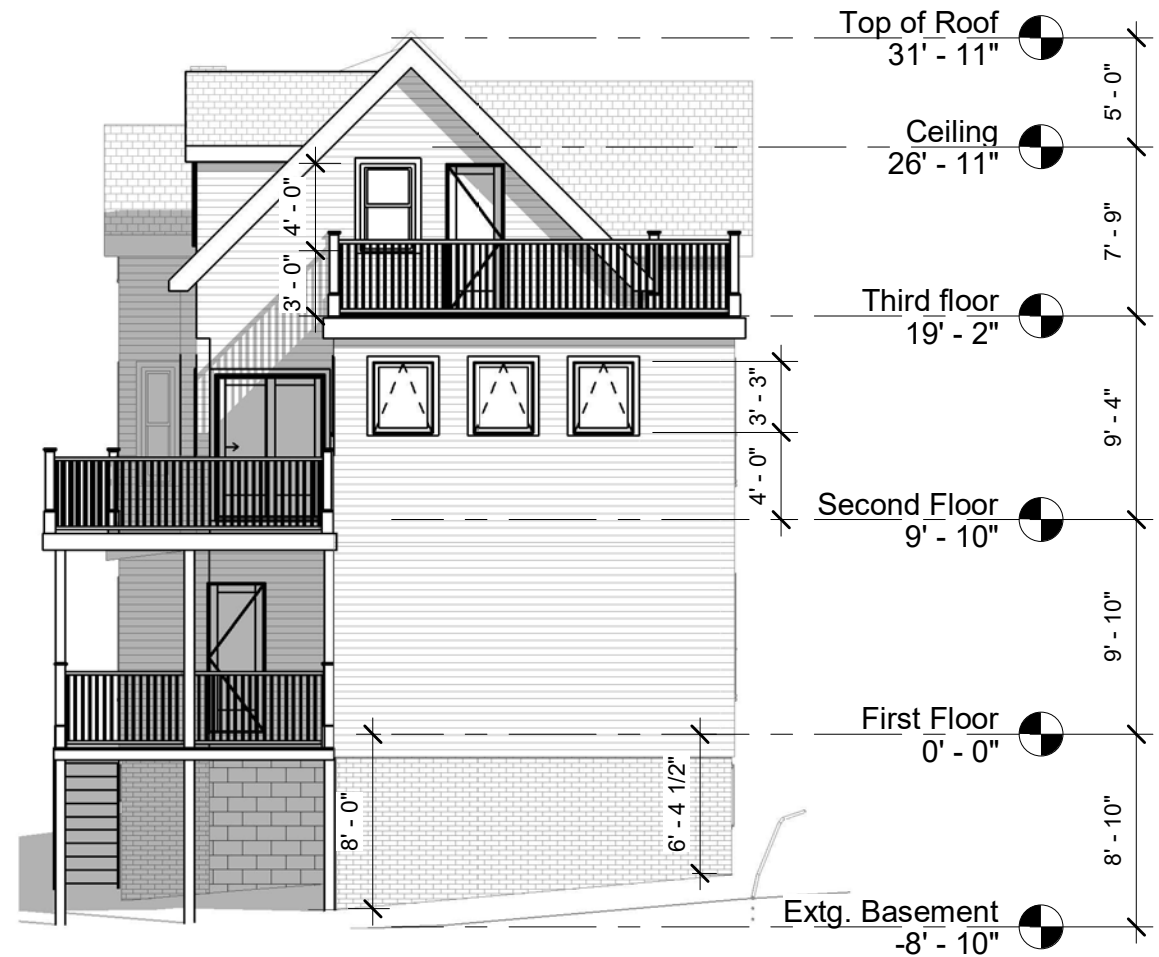
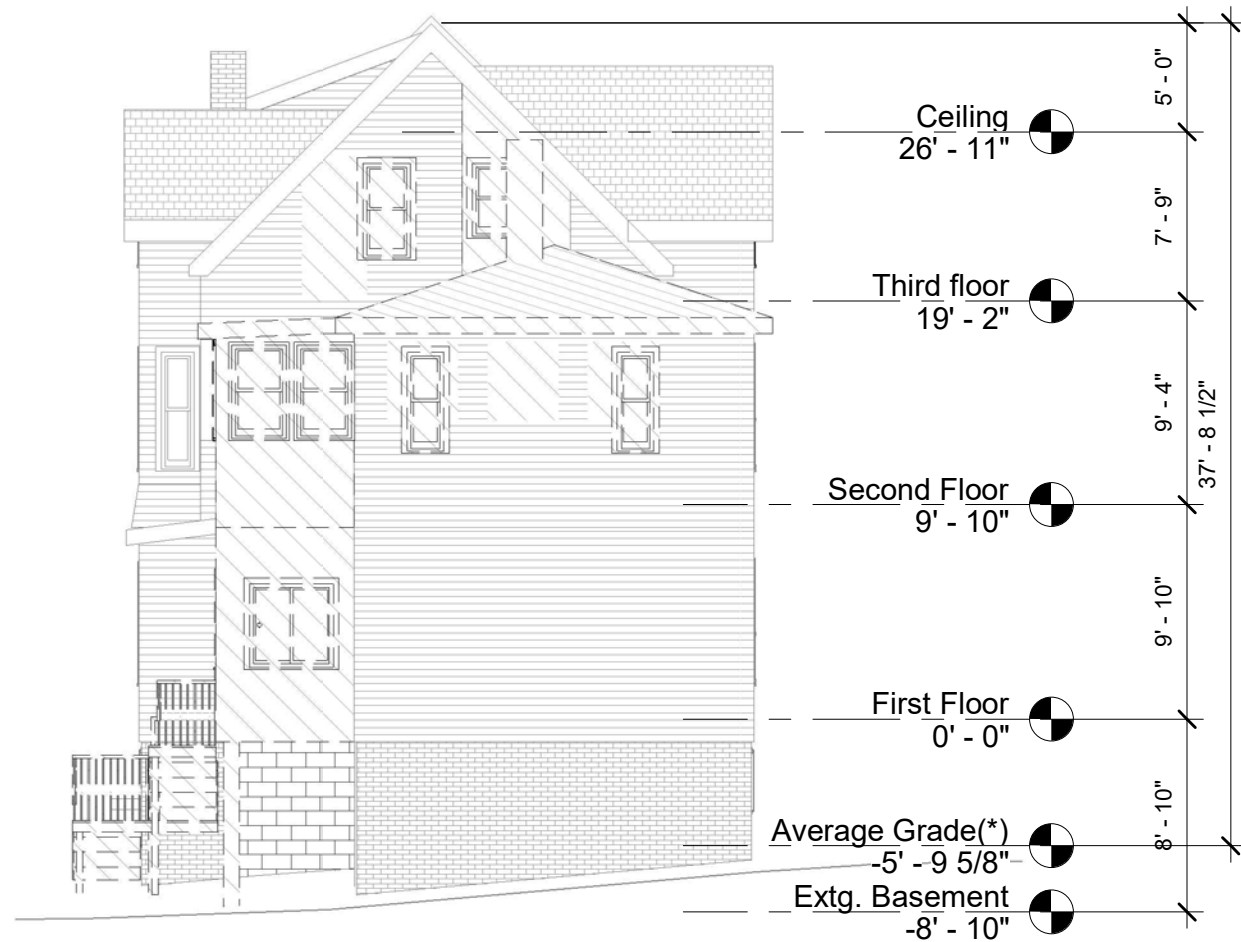
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PROJECT
61 Boston Street
Proposed Top and Porch Addition

TITLE
**Right Side
Elevations**

SCALE
1/8" = 1'-0"

DRAWING
-A2.2



① -Extg. Rear
1/8" = 1'-0"

② -Prop. Rear
1/8" = 1'-0"



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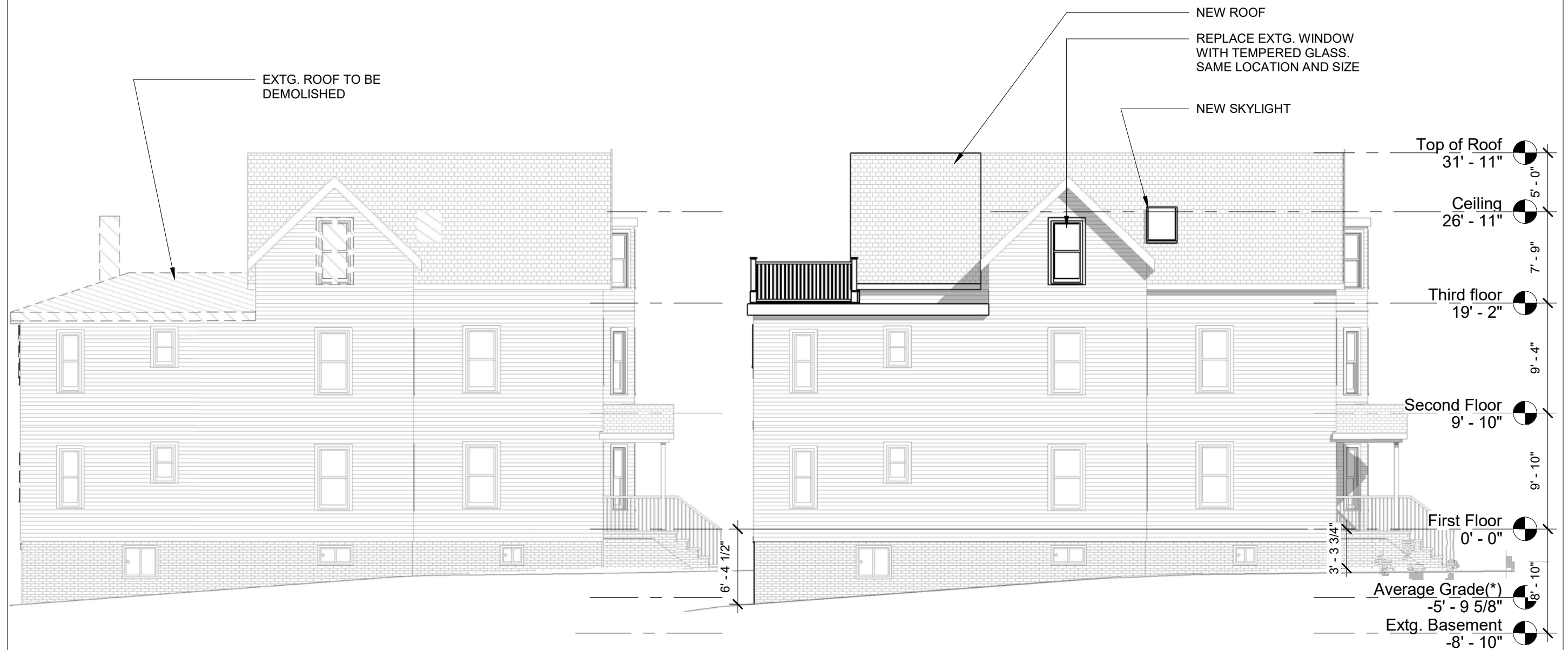
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PROJECT
61 Boston Street
Proposed Top and Porch Addition

TITLE
Rear Elevations

SCALE
1/8" = 1'-0"

DRAWING
-A2.3



① -Extg. Left Side
1/8" = 1'-0"

② -Prop. Left Side
1/8" = 1'-0"



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DATE
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PROJECT
61 Boston Street
Proposed Top and Porch Addition

TITLE
Left Elevations

SCALE
1/8" = 1'-0"

DRAWING
-A2.4