

KENNETH E. HURD, ARCHITECT

Integrated Architecture & Interior Design
Lifting the Human Spirit by Design

Development Activity Narrative - 22 Park Avenue

The scope of the project consists primarily of raising and unifying two roofs the currently exist at different heights over the front (north) and rear (south) portions of the residence in order to convert an existing unusable attic space at the rear into an additional 288 square feet of habitable space for use as a second home office. An integral part of project will be to replace a very steep and narrow attic stair with a new code compliant stair to be located above the existing staircase leading from the main floor to the second level. Additionally, there will be a new bathroom located on the renovated attic level.

To accomplish this on the half-story level, the proposal includes three new code-compliant shed dormers, two of which will be opposite each other on the east and west sides of the wider north portion of the building. One smaller shed dormer is proposed on the east side of the narrower portion of the building at the rear.

Finally, the proposed design includes adding two new stacked projecting porches within the existing recess created by the narrower rear portion of the building. The projecting porches would serve both the second and the new half-story levels and, subject to review by a structural engineer, would be supported by one post at the southwest corner of the porches, thus requiring minimal disruption or disturbance to the existing grade or ground level.

The only exception to full compliance of the proposed project with the Somerville Zoning Ordinance relates to how an 18'-0" section of new roof rafters west of the ridge at the rear portion of the building would not meet the requirements of SZO Section 2.4.4.a.viii.a.i).

An unusual condition occurs because the existing west exterior wall of the rear portion is set back 6'-0" from the existing west wall of the front and dominant portion of the building. Because there is a strong desire to have a unified roofline from front to back with matching pitch and ridge height running continuously from north to south, the dilemma becomes apparent with the logical transfer of roof loads down and directly over the existing west wall of the rear portion of the building. This results in a condition in which the new roof rafters would intersect the new wall framing at approximately 7'-6" (instead of at 2'-0") above the finished floor of the half-story.

Architecturally, the proposed design is very much in keeping with the goals and aspirations outlined for the Neighborhood Residential District. Its cleaner roof lines and simpler massing are in stark contrast to the odd configurations that strict compliance would yield given the constraints of existing conditions.

Accordingly, it is from SZO Section 2.4.4.a.viii.a.i) that the owners are requesting relief in the form of a variance, and it would only apply to the 18'-0" lineal feet of the new pitched roof on the west side of the rear portion of the building.

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ParkAve22_ZP26-000035_HardshipVariance Narrative_2026-03-20

This narrative specifically addresses all the following review criteria for the requested Hardship Variance:

- Special circumstances exist relating to the soil conditions, shape, or topography of a parcel of land or the *unusual character of an existing structure* but not affecting generally the zoning district in which the land or structure is located.

*** ***** *** ***** *** ***** *** ***** *** ***** *** ***** ***

22 Park Avenue is in the 0.25mi Transit Area in the Neighborhood Residential (NR) zoning district just north of Davis Square. At 2,520 square feet, it is the smallest lot on the south side of the street and the third smallest on the entire street. According to the Stanford Fire Insurance Map, the footprint of the existing residence dates back to at least 1900 while the current structure with its new concrete foundation was built on the same footprint in 1910. The main mass, which is set back 20'-0" from the street, is a 2.5-story structure, and the rear mass, which is 6'-0" narrower, is a 2-story structure. The overall shape of the structure is not necessarily unique as it was often more prevalent on the smaller lots of that era, most likely because a portion of the land had to accommodate a privy vault or cesspool before sewers were installed to handle human waste. In fact, municipal records from 1903 indeed show that Park Avenue was explicitly listed as among the streets where new sewers were built that year.

The owners would like to create a home office in what is currently an unusable attic, doing so by raising and unifying the existing roofs. But the shape and character of the narrower rear portion of the residence as it relates to the front section constitute a special circumstance because the existing west exterior wall of the rear portion of the building is recessed or set back 6'-0" from the existing west wall of the front and dominant portion of the building. This creates structural and architectural challenges that vanish if relief from the zoning requirement under SZO Section 2.4.4.a.viii.a).i) is granted.

*** ***** *** ***** *** ***** *** ***** *** ***** *** ***** ***

- Literal enforcement of the provision of this Ordinance for the district where the subject land or structure is located would involve *substantial hardship*, financial or otherwise, to the petitioner or appellant due to said special circumstances.

*** ***** *** ***** *** ***** *** ***** *** ***** *** ***** ***

The primary purpose of the proposed project is to create a new 226 square-foot writing studio from what is currently a low, unusable attic space located at the rear portion of the home. To do this, the proposal is to raise the two existing separate and distinct roofs over the front and rear portions of the home and to unify them with a matching pitch and common ridge that would run continuously from front to back, or north to south, thereby maximizing the habitable space that can be created at the half-story level.

All proposed architectural components of the design, including dormers, windows, and projecting porches, as well as the limit on ceiling heights and how high roof rafters may intersect wall framing above the finished floor comply with the Zoning Ordinance. The one exception to the latter requirement occurs at the 18'-0" long section on the west side of the recessed rear portion of the building.

Structurally and architecturally, the new west wall of the half-story should be directly above the existing west wall to allow for a common ridge and matching pitch of the roofs above, but this results in a condition in which the new roof rafters would intersect the new wall framing at approximately 7'-6" (instead of at 2'-0") above the finished floor of the half-story.

The requested relief from SZO Section 2.4.4.a.viii.a).i) is just for this 18'-0" section of roof (about 14 rafters) at the recessed back portion of the residence and is the minimum necessary to maximize the gain in useful space while minimizing the cost, structural complexity and architectural contortions that would otherwise be required. Therefore, the owners consider strict compliance in this instance a hardship, and without relief, would have to seriously consider whether the proposed project was worth undertaking at all.

*** ***** *** ***** *** ***** *** ***** *** ***** *** ***** ***

- Desirable relief could be granted without causing substantial detriment to the public good and without nullifying or substantially derogating from the intent and purpose of a specific district in this Ordinance or the Ordinance in general.

*** ***** *** ***** *** ***** *** ***** *** ***** *** ***** ***

Surrounded on either side by residential structures that are located closer to the street and both higher and larger in size, massing and the scale of their building components, it is difficult to imagine that the proposed unified roof configuration would in any way cause a detriment to the public good nor derogate the NR district's purpose. Among other things, the area for which relief is requested is nearly obscured from view from the street or public way.

On the contrary, the proposed design is certainly in harmony with the stated aesthetic intent and purpose of the Ordinance, and it would only enhance the spirit envisioned for the Neighborhood Residential District by offering a "quiet" solution for a modest home on a modest lot. It is in keeping with the historic vocabulary of how carpenters and craftsmen built what are now considered desirable yet moderate homes from an earlier era, and allowing this project to proceed with a unified, simple and straightforward solution to its roof planes would be one more step in insuring that we, as stewards of our past, are honoring the legacy of what we have inherited from those who came before.

It's hard to imagine that, if allowed, the deviation from strict compliance would be considered substantial or significant in comparison to the intent and purpose for the NR district when considering the effect of the proposal on the entire neighborhood. And, therefore, the owners respectfully request relief from SZO Section 2.4.4.a.viii.a).i) in the form of a variance to apply only to the eighteen (18) lineal feet of the new pitched roof on the west side of the rear portion of the building.

*** ***** *** ***** *** ***** *** ***** *** ***** *** ***** ***

Architectural Design Drawing Index

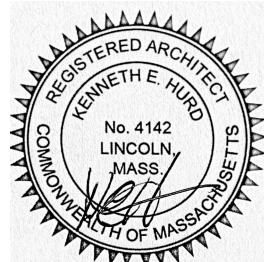
AD-0.01	TITLE SHEET
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AD-0.03	ZONING DIMENSIONAL STANDARDS TABLES
AD-0.04	DOOR & WINDOW SCHEDULES
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SD-1.01	EXISTING SITE PLAN
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SD-1.03	ILLUSTRATIVE SITE PLAN
SD-1.04	LANDSCAPE SITE PLAN
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AD-1.02	FLOOR PLAN - MAIN LEVEL: EXISTING CONDITIONS
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AD-1.33	FLOOR PLAN - UPPER LEVEL: CONSTRUCTION
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AD-1.44	FLOOR FRAMING PLAN - ATTIC LEVEL
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AD-1.51	EXTERIOR FRAMING PERSPECTIVE - FRONT?
AD-1.52	EXTERIOR FRAMING PERSPECTIVE - FRONT?
AD-1.53	EXTERIOR FRAMING PERSPECTIVE - BACK?
AD-3.11	EXTERIOR ELEVATIONS looking SOUTH & EAST
AD-3.12	EXTERIOR ELEVATIONS looking NORTH & WEST
AD-3.13	EXISTING & NEW ELEVATIONS looking SOUTH
AD-3.14	EXISTING & NEW ELEVATIONS looking EAST
AD-3.15	EXISTING & NEW ELEVATIONS looking NORTH
AD-3.16	EXISTING & NEW ELEVATIONS looking WEST
AD-3.21	BUILDING SECTIONS looking SOUTH
AD-3.22	BUILDING SECTIONS looking NORTH & WEST
AD-3.23	BUILDING SECTION looking EAST thru STAIRS
AD-3.31	EXTERIOR PERSPECTIVES looking NE & SW
AD-3.32	EXTERIOR PERSPECTIVES looking ?



AD-0.0101 Perspective View looking South



AD-0.0102 Locus Plan - MBL 21/A/2



PROJECT ZONING DATA:

ZONING & ASSESSOR'S DATA	NR DISTRICT; LOT #2, PARK AVE; (Mblu 21/A/2/)		
LOT AREA & FRONTAGE	2,520 SQ FT (.06 ACRES) / 36'		
HEIGHT RESTRICTIONS	2.5 STORIES; 12' MAX HT FOR 1ST & 2ND FLOORS		
SETBACKS - FRONT, SIDE & REAR	FR: 20.0' / E-SIDE: 3.0' / W-SIDE: 11.0' / REAR: 4.0'		
GROSS FLOOR AREA (excl porch, deck)	EXISTING	CHANGE	NEW
BASEMENT (UNFINISHED)	904 SQFT	0 SQFT	904 SQFT
MAIN FLOOR	924 SQFT	0 SQFT	924 SQFT
SECOND FLOOR	904 SQFT	0 SQFT	904 SQFT
NEW PROJECTING PORCHES	-	188 SQFT	188 SQFT
ATTIC FLOOR	616 SQFT	288 SQFT	904 SQFT
TOTAL BUILDING AREA	3,348 SQFT	476 SQFT	3,824 SQFT

PROJECT DESCRIPTION:

THESE PLANS DESCRIBE A PROPOSED ADDITION AND ALTERATION TO A 2.5 STORY DETACHED HOUSE AS DEFINED BY THE CURRENT SOMERVILLE ZONING ORDINANCE. IT WAS ORIGINALLY BUILT IN 1910 AS A SINGLE FAMILY RESIDENCE PRESUMABLY REPLACING A PREVIOUS RESIDENCE AT THE SAME GENERAL LOCATION. BEHIND THE 22'-0" x 28'-0" FRONT PORTION OF THE HOUSE IS A 16'-0" x 18'-0" EXTENSION THAT CURRENTLY ACCOMMODATES THE KITCHEN AND A SINGLE BEDROOM ABOVE. OTHER THAN THE KITCHEN, IT HAS ALL THE EARMARKS OF AN ADDITION, AND IN FACT, THERE IS A REFERENCE TO SUCH ACTIVITY IN 1940'S. IT CURRENTLY HAS A 7'-0"x 20'-0" PROJECTING PORCH ALONG THE FRONT FACADE AS WELL AS A SMALL DECK (7'-0" x 3'-0") OFF THE BACK ENTRANCE OF THE STRUCTURE. THERE IS NO GARAGE ON THE PROPERTY. THE WORK DEPICTED IN THESE DRAWINGS DOES NOT CHANGE THE EXISTING FOOTPRINT OR LOT COVERAGE IN ANY WAY.

THE SCOPE OF WORK INCLUDES EXPANDING THE LIVABLE SPACE OF THE CURRENT ATTIC LEVEL BY RAISING THE MAIN (NORTH) ROOF WITHIN THE LIMIT ALLOWED BY THE SZO AND ALSO RAISING THE ROOF OF THE BACK (SOUTH) STRUCTURE TO MATCH THE PEAK OF THE FRONT (NORTH) STRUCTURE. THE PROPOSED DESIGN WOULD ADD TWO SHED ROOF DORMER(S) ON THE EAST SIDE & ONE SHED ROOF DORMER ON THE WEST SIDE. THESE DORMERS WOULD ALLOW PROPER HEADROOM FOR BOTH THE STAIR TO ACCESS THE ATTIC LEVEL AS WELL AS A NEW BATHROOM. THE RENOVATION WILL INCREASE THE TOTAL GROSS AREA BY 288 SQFT, FROM APPROXIMATELY 3,348 TO 3,636 SQUARE FEET.

PROJECT CODE SUMMARY:

BUILDING CODES	INTERNATIONAL RESIDENTIAL CODE (IRC) 2021
	MASSACHUSETTS RESIDENTIAL CODE PROVISIONS OF 780 CMR, 10TH EDITION
LOCAL JURISDICTION TOWN, STATE	ZONING & GENERAL BYLAWS SOMERVILLE, MA
OCCUPANCY GROUP TYPE OF CONSTRUCTION	R-1 (SINGLE FAMILY RESIDENCE) TYPE V-B (WOOD FRAME CONSTRUCTION)

ISSUED AS:
Request for Hardship Variance Issue
(NOT FOR CONSTRUCTION)

CLIENT:
Sharon Gadonniex & Whispering Deer
Somerville, MA 02144

PROJECT:
Proposed Residence Renovation
22 Park Avenue, Somerville, MA 02144



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www.keha.com
781-259-8900

1. THE DESIGNS, DETAILS, NOTES, ETC. AS SHOWN AND/OR CALLED FOR ON ONE DRAWING OF THE CONTRACT DOCUMENTS SHALL APPLY TO ALL DRAWINGS COMPRISING THE CONTRACT DOCUMENTS.
2. IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT THE ARCHITECTURE & INTERIOR DESIGNS DELINEATED HEREIN COMPLY WITH ALL APPLICABLE CODES IN EFFECT AT THE TIME OF CONSTRUCTION AND/OR INSTALLATION. HOWEVER, CODE COMPLIANCE SHALL BE THE RESPONSIBILITY OF CONTRACTOR(S), AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR INTERIOR DESIGNER FOR RESOLUTION.
3. CONTRACTOR(S) SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING SITE CONDITIONS & DIMENSIONS IN FIELD.
4. DO NOT SCALE DRAWINGS FROM PRINTS OR REPRODUCTIONS. SCALE INDICATED IS VALID ON ORIGINAL 24"X 36" DRAWING.

Progress Issues:

10/20/25 Sharon & Whispering Deer

01/15/26 SHARON & WHISPERING DEER
03/03/26 Pre-Submittal Meeting w/PPZ
03/20/26 CitizenServe Submittal

Bid Issues:

Construction Issues:

Revision Issues:

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Integrated Architecture & Interior Design
Lifting the Human Spirit by Design
PO Box 6287 721 Leaning Rock Lincoln, MA 01773

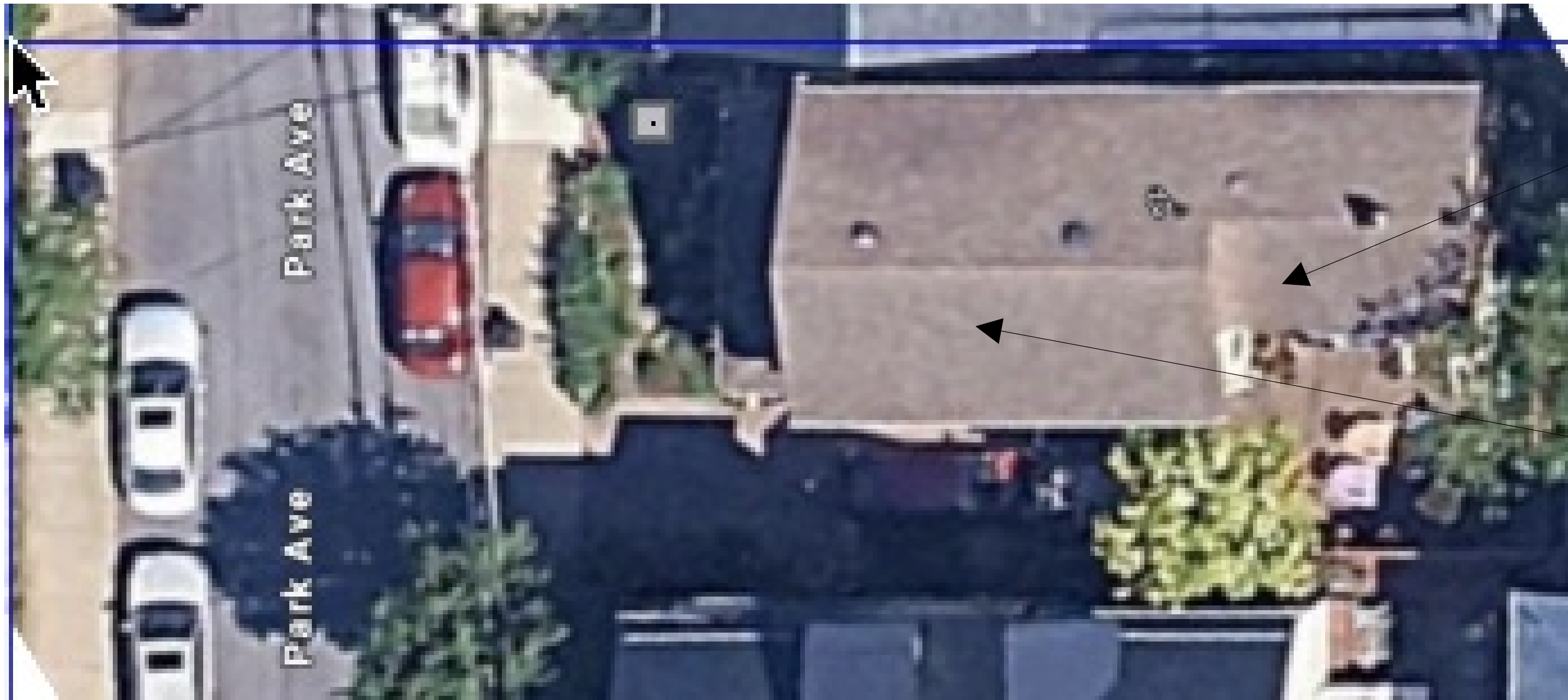
Proposed Residence Renovation
22 Park Avenue, Somerville, MA 02144

Sharon Gadonniex & Whispering Deer
Somerville, MA 02144

Title Sheet
Scope of Work

AD-0.01

03/20/2026



SD-1.0102 Satellite Overview

APPROXIMATELY 1" = 10'-0"

@ Grade

Rear Portion
of Home with
Lower Roof

Front Portion
of Home with
Higher Roof

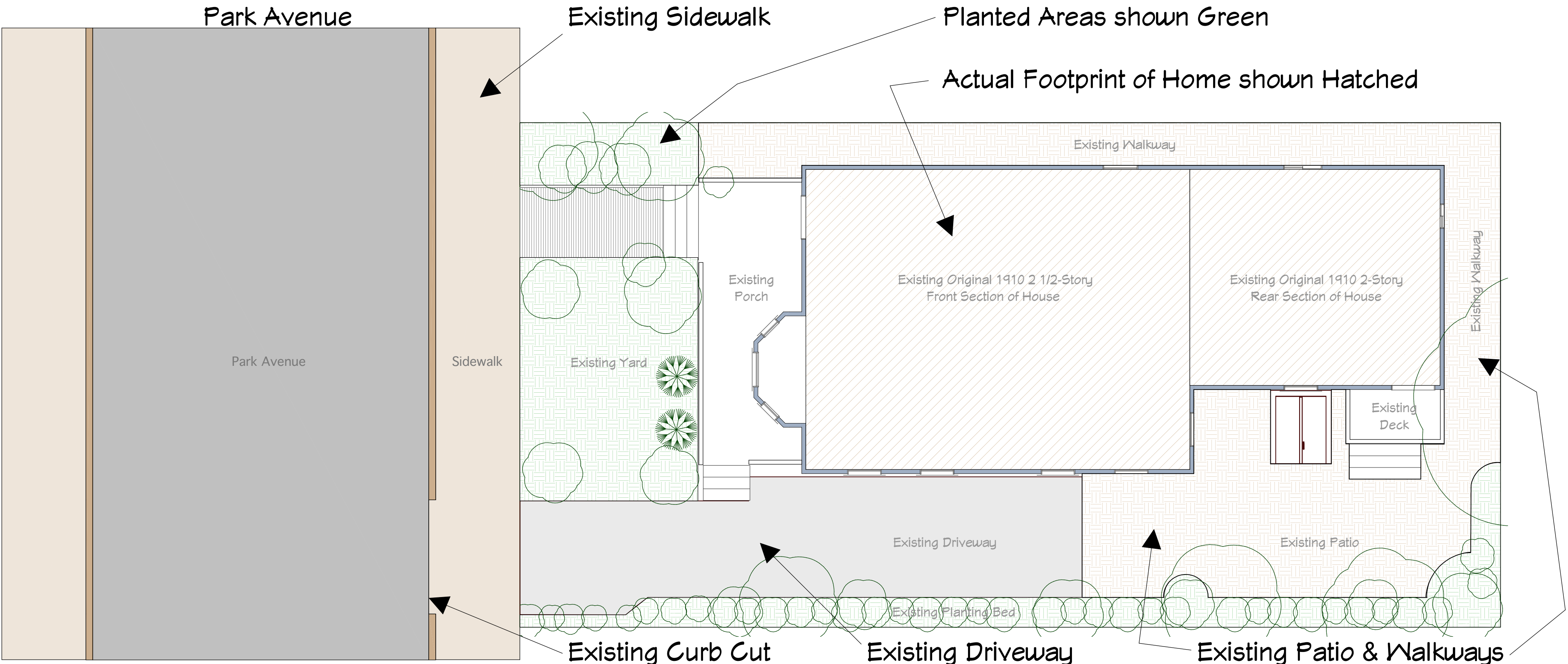
22 Park
Avenue



SD-1.0103 Parcel Tax Map Detail

APPROXIMATELY 1" = 70'-0"

@ Grade



SD-1.0101 Existing Locus Plan & Site Features

3/16" = 1'-0"

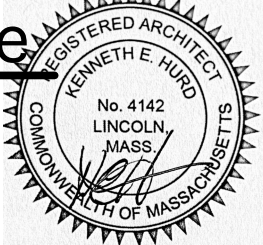
@ Grade



SD-1.0104 Front View of Existing House

NO SCALE

Looking South @ Grade



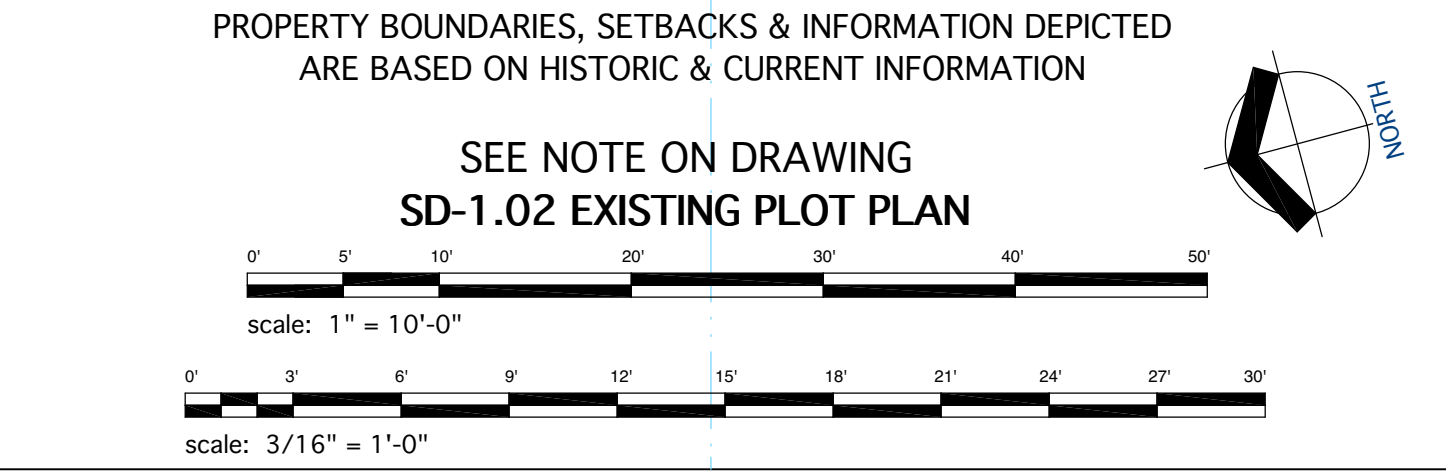
PROJECT ZONING DATA:

ZONING & ASSESSOR'S DATA		NR DISTRICT; LOT #2, PARK AVE; (Mblu 21/A/2/)	
LOT AREA & FRONTAGE		2,520 SQ FT (.06 ACRES) / 36'	
HEIGHT RESTRICTIONS		2.5 STORIES; 12' MAX HT FOR 1ST & 2ND FLOORS	
SETBACKS - FRONT, SIDE & REAR		FR: 20.0' / E-SIDE: 3.0' / W-SIDE: 11.0' / REAR: 4.0'	
GROSS FLOOR AREA (excl porch, deck)		EXISTING	CHANGE
BASEMENT (UNFINISHED)		904 SQFT	0 SQFT
MAIN FLOOR		924 SQFT	0 SQFT
SECOND FLOOR		904 SQFT	0 SQFT
NEW PROJECTING PORCHES		-	188 SQFT
ATTIC FLOOR		616 SQFT	288 SQFT
TOTAL BUILDING AREA		3,348 SQFT	476 SQFT
			3,824 SQFT

SITE PLAN NOTES:

1. THE PROPOSED RENOVATION OCCURS PRIMARILY ON THE UPPER LEVELS OF THE EXISTING SINGLE-FAMILY RESIDENCE AS MOST OF THE WORK WILL INVOLVE RAISING THE ROOF IN ORDER TO MAKE THE ATTIC OF THE REAR (SOUTH) PORTION OF THE HOME HABITABLE. THE RENOVATION ITSELF WILL NOT INCREASE THE FOOTPRINT OF THE RESIDENCE AND THEREFORE DOES NOT INFRINGE ON ANY EXISTING SETBACK REQUIREMENTS.
2. THE RENOVATION WILL INCREASE THE TOTAL GROSS AREA OF THE HOME FROM APPROXIMATELY 3,348 TO 3,636 SQUARE FEET, OR A TOTAL INCREASE OF 288 SQUARE FEET.
3. OTHER THAN THE EXCAVATION OF APPROXIMATELY 30 CUBIC FEET OF SOIL TO CREATE THE CONCRETE SONOTUBE PIER FOR A NEW POST TO SUPPORT TWO PROPOSED PROJECTED PORCHES, THERE WILL BE MINIMAL DISTURBANCE, SITE PREPARATION, OR CHANGE TO EXISTING PATTERNS OF SITE DRAINAGE & STORM WATER RUNOFF. THE EXCAVATION WILL OCCUR NEAR THE SOUTHWEST CORNER OF THE RESIDENCE.
4. THE PROJECT REQUIRES NO DEMOLITION OF ANY EXISTING CONSTRUCTION AT GRADE.

SITE SURVEY NOTE:



Progress Issues:

01/15/26 SHARON & WHISPERING DEER
03/03/26 Pre-Submittal Meeting w/PPZ
03/20/26 CitizenServe Submittal

Bid Issues:

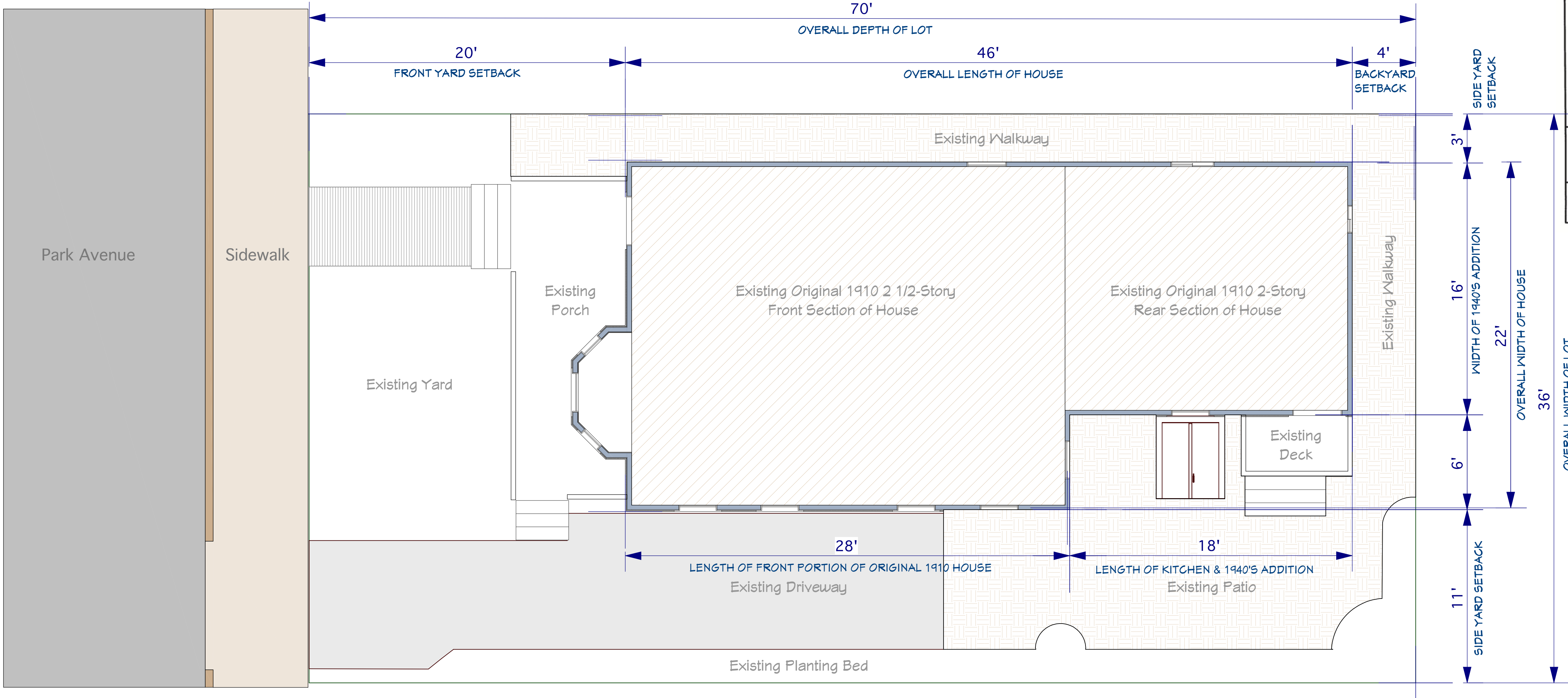
Construction Issues:

Revision Issues:

Lot Coverage Summary

Lot Area	(70.0' x 36.0')	=	EXISTING 2520 sq ft, or 100%	CHANGE 0 sq ft, or 100%	EXISTING + NEW 2520 sq ft, or 100%	
Existing Footprint (basement only)		=	904 sq ft, or 35.8%	0 sq ft, or 0%	904 sq ft, or 35.8%	NO CHANGE
Existing front porch & back deck		=	150 sq ft, or 6.0%	0 sq ft, or 0%	150 sq ft, or 6.0%	NO CHANGE
New projecting porches (2)		=	0 sq ft, or 0%	94 sq ft, or 4.0%	94 sq ft, or 4.0%	PROPOSED
Totals		=	1054 sq ft, or 41.8%	94 sq ft, or 4%	1148 sq ft, or 45.8%	PROPOSED

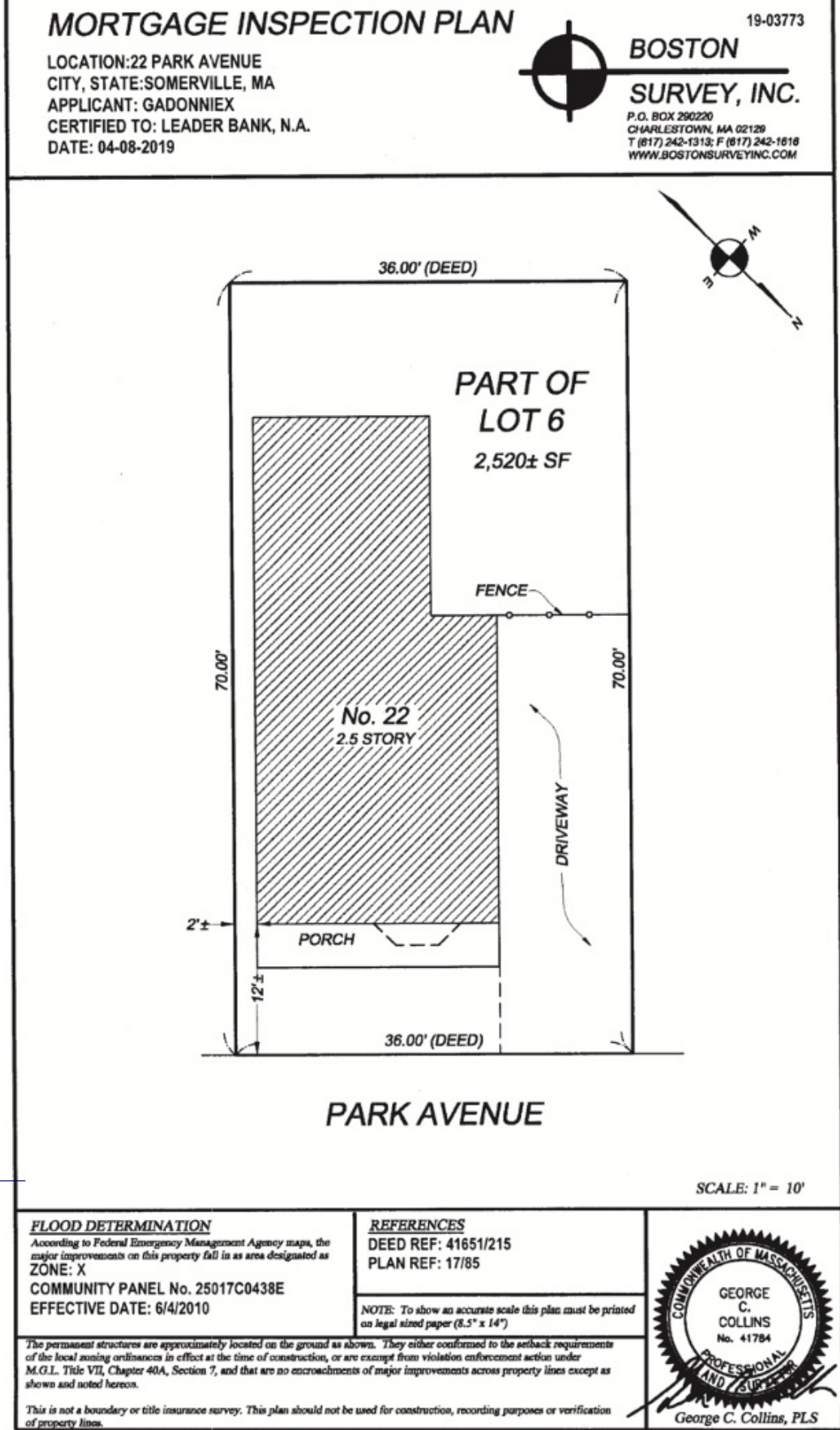
Max allowable lot coverage per SZO, Section 3.1.8.a.C = 60%



SD-1.0201 Existing Plot Plan & Site Features

1/4" = 1'-0"

@ Grade



SD-1.0202 Land Title Survey

NOTE!
PROPERTY BOUNDARIES,
SETBACKS & INFORMATION
SHOWN ARE BASED ON THE
PROPERTY RECORD CARD &
THE MORTGAGE INSPECTION
PLAN PREPARED BY:

BOSTON SURVEY, INC.
PO BOX 240220
BOSTON, MA 02129

AS PROVIDED BY
GEORGE C. COLLINS
REGISTERED LAND SURVEYOR
ON JUNE 4, 2010

PROJECT ZONING DATA:

ZONING & ASSESSOR'S DATA	NR DISTRICT; LOT #2, PARK AVE; (Mblu 21/A/2/)		
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HEIGHT RESTRICTIONS	2.5 STORIES; 12' MAX HT FOR 1ST & 2ND FLOORS		
SETBACKS - FRONT, SIDE & REAR	FR: 20.0' / E-SIDE: 3.0' / W-SIDE: 11.0' / REAR: 4.0'		
GROSS FLOOR AREA (excl porch, deck)	EXISTING	CHANGE	NEW
BASEMENT (UNFINISHED)	904 SQFT	0 SQFT	904 SQFT
MAIN FLOOR	924 SQFT	0 SQFT	924 SQFT
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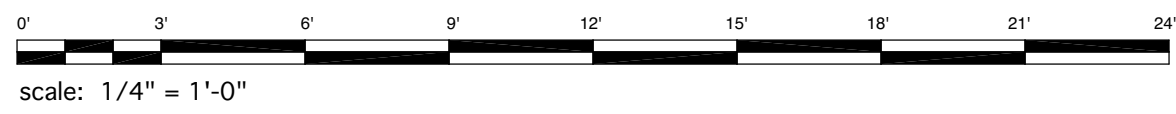
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4. THE PROJECT REQUIRES NO DEMOLITION OF ANY EXISTING CONSTRUCTION AT GRADE.

SITE SURVEY NOTE:

PROPERTY BOUNDARIES, SETBACKS & INFORMATION DEPICTED
ARE BASED ON HISTORIC & CURRENT INFORMATION

SEE NOTE ABOVE
SD-1.02 EXISTING PLOT PLAN
FOR DETAILS



16-18-20 Park Avenue
Residence
6650 sqft



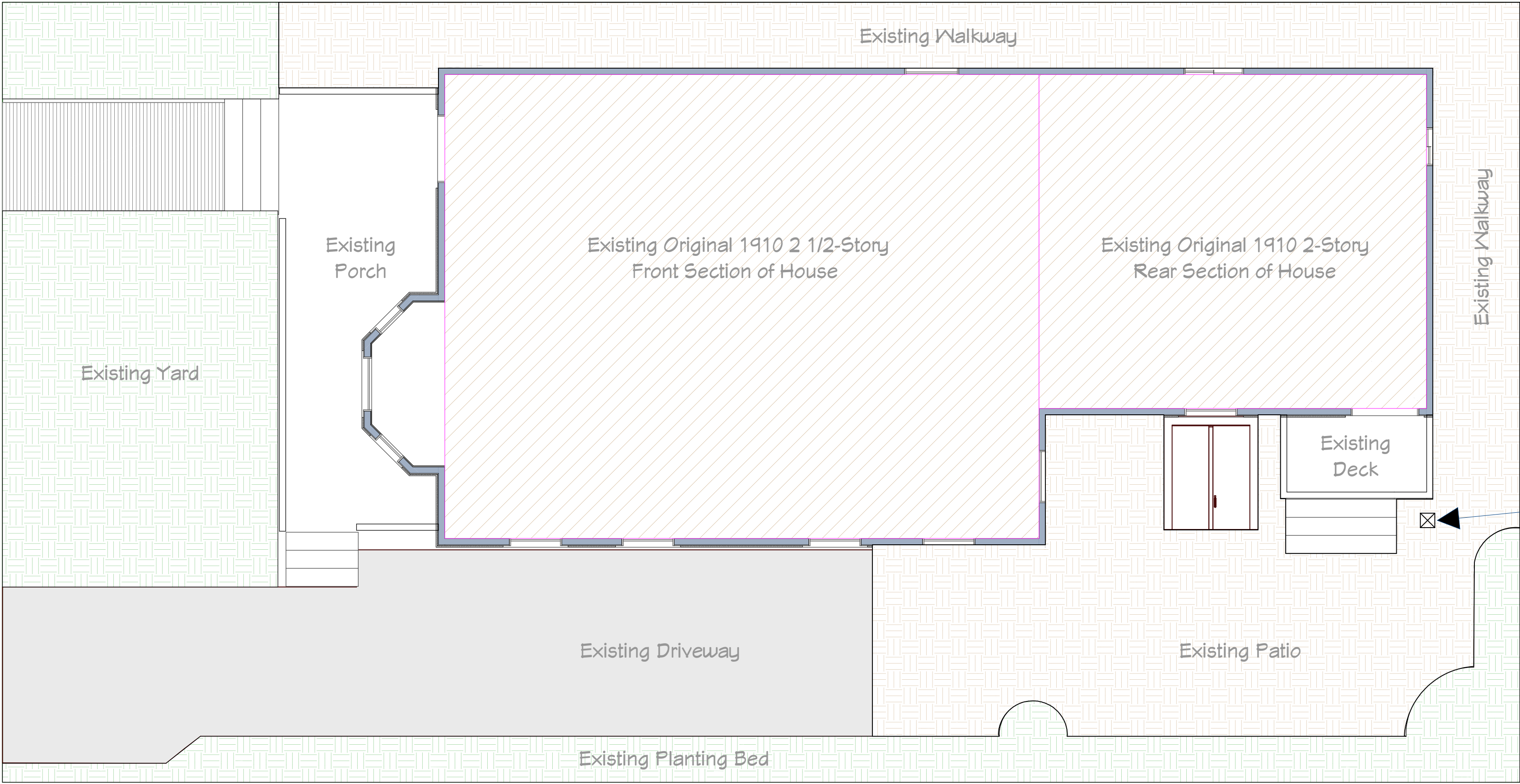
24 Park Avenue
Residence
3080 sqft



SD-1.0302 View looking Southeast
toward 16-18-20 Park Avenue

SD-1.0303 View looking Southwest
toward 24 Park Avenue

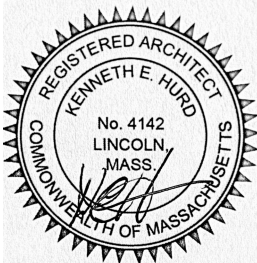
SD-1.0304 Parcel Tax Map Detail
APPROXIMATELY 1/32" = 1'-0" @ Grade



NOTE!
THE ONLY ALTERATION TO THE EXISTING SITE PLAN INCLUDES THE ADDITION OF A NEW 12" DIA x MIN 4'-0" DEEP (BELOW GRADE) CONC SONOTUBE PIER BELLED TO 24" BASE TO SUPPORT THE NEW POST REQUIRED FOR THE PROPOSED PROJECTED PORCHES AT THE SECOND FLOOR AND NEW ATTIC FLOOR. THEREFORE, THE EXTENT OF SITE PREPARATION NEEDED WILL BE LIMITED TO THE INSTALLATION OF THE NEW PIER.

SD-1.0301 Proposed Site Plan
1/4" = 1'-0"

@ Grade



PROJECT ZONING DATA:

ZONING & ASSESSOR'S DATA		NR DISTRICT; LOT #2, PARK AVE; (Mblu 21/A/2/)	
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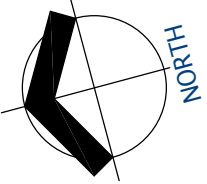
SITE PLAN NOTES:

1. THE PROPOSED RENOVATION OCCURS PRIMARILY ON THE UPPER LEVELS OF THE EXISTING SINGLE-FAMILY RESIDENCE AS MOST OF THE WORK WILL INVOLVE RAISING THE ROOF IN ORDER TO MAKE THE ATTIC OF THE REAR (SOUTH) PORTION OF THE HOME HABITABLE. THE RENOVATION ITSELF WILL NOT INCREASE THE FOOTPRINT OF THE RESIDENCE AND THEREFORE DOES NOT INFRINGE ON ANY EXISTING SETBACK REQUIREMENTS.
2. THE RENOVATION WILL INCREASE THE TOTAL GROSS AREA OF THE HOME FROM APPROXIMATELY 3,348 TO 3,636 SQUARE FEET, OR A TOTAL INCREASE OF 288 SQUARE FEET.
3. OTHER THAN THE EXCAVATION OF APPROXIMATELY 30 CUBIC FEET OF SOIL TO CREATE THE CONCRETE SONOTUBE PIER FOR A NEW POST TO SUPPORT TWO PROPOSED PROJECTED PORCHES, THERE WILL BE MINIMAL DISTURBANCE, SITE PREPARATION, OR CHANGE TO EXISTING PATTERNS OF SITE DRAINAGE & STORM WATER RUNOFF. THE EXCAVATION WILL OCCUR NEAR THE SOUTHWEST CORNER OF THE RESIDENCE.
4. THE PROJECT REQUIRES NO DEMOLITION OF ANY EXISTING CONSTRUCTION AT GRADE.

SITE SURVEY NOTE:

PROPERTY BOUNDARIES, SETBACKS & INFORMATION DEPICTED ARE BASED ON HISTORIC & CURRENT INFORMATION

SEE DRAWING
SD-1.02 EXISTING PLOT PLAN
FOR DETAILS



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Progress Issues:

01/15/26	SHARON & WHISPERING DEER
03/03/26	Pre-Submittal Meeting w/PPZ
03/20/26	CitizenServe Submittal

Bid Issues:

Construction Issues:

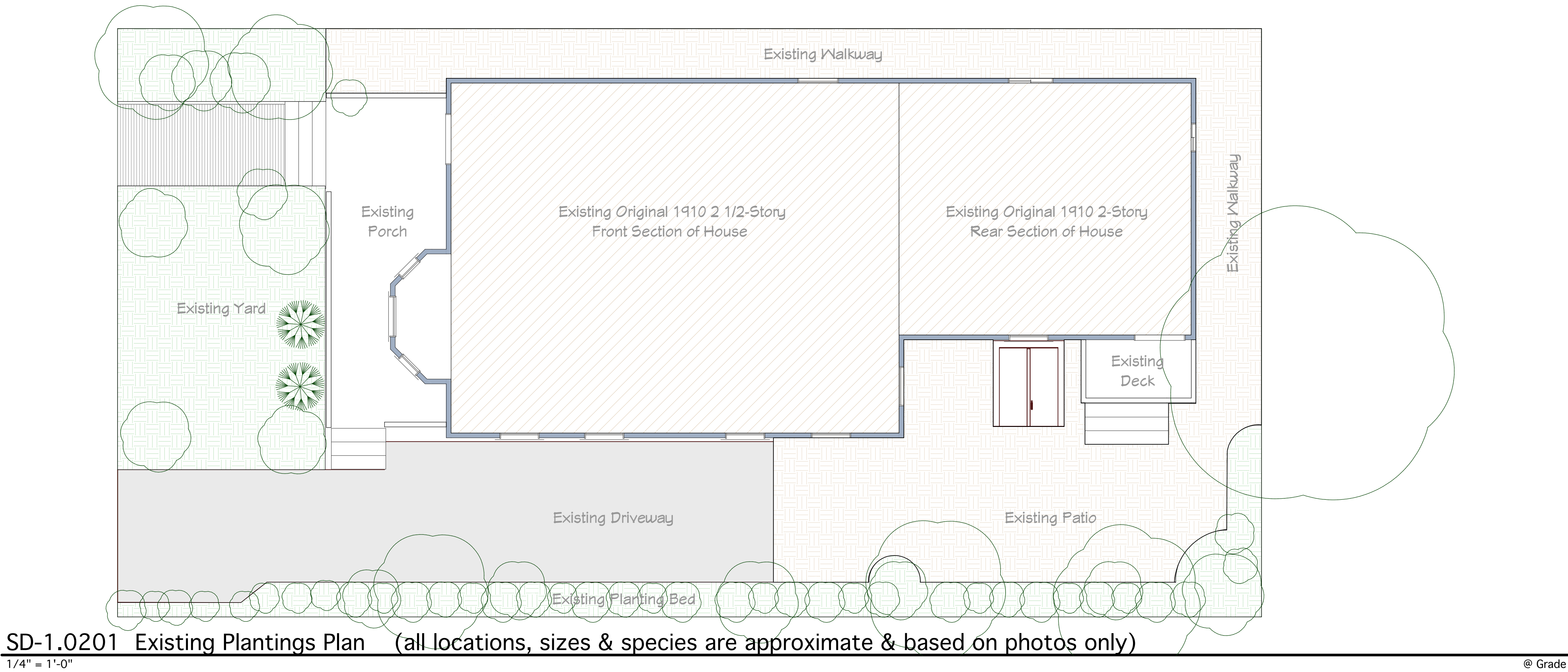
Revision Issues:

Application with Respect to Green Score

It is anticipated that the proposed project will not meet the threshold of a substantial renovation as defined by the Somerville Zoning Ordinance, and therefore it is assumed it will not require submission of an application for a Green Score.

- There will be minimal disturbance & site preparation required for the proposed renovation;
- There will be no change to existing grades, hardscapes, or other site features;
- The project requires no demolition of any existing construction at grade level;
- The cost of the proposed renovation will be well under 100% of the assessed value of the building as identified on the most recent tax list maintained by the Assessor’s Office of the City of Somerville, within any twelve month period;
- The only alteration to the existing site plan includes the addition of a new concrete pier to support the new post required for the proposed projected porches.

Owners have no plans to change any plantings as part of this project.





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Bid Issues:	

Construction Issues:	

Revision Issues:	



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PO Box 6287 221 Leavitt Road Lincoln, MA 01773

Proposed Residence Renovation
22 Park Avenue, Somerville, MA 02144

Sharon Gadonniex & Whispering Deer
Somerville, MA 02144

PROJECT ZONING DATA:

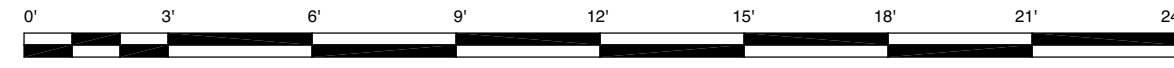
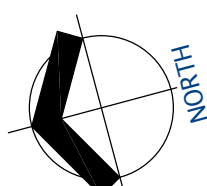
ZONING & ASSESSOR'S DATA	NR DISTRICT; LOT #2, PARK AVE; (Mblu 21/A/2/)		
LOT AREA & FRONTAGE	2,520 SQ FT (.06 ACRES) / 36'		
HEIGHT RESTRICTIONS	2.5 STORIES; 12' MAX HT FOR 1ST & 2ND FLOORS		
SETBACKS - FRONT, SIDE & REAR	FR: 20.0' / E-SIDE: 3.0' / W-SIDE: 11.0' / REAR: 4.0'		
GROSS FLOOR AREA (excl porch, deck)	EXISTING	CHANGE	NEW
BASEMENT (UNFINISHED)	904 SQFT	0 SQFT	904 SQFT
MAIN FLOOR	924 SQFT	0 SQFT	924 SQFT
SECOND FLOOR	904 SQFT	0 SQFT	904 SQFT
NEW PROJECTING PORCHES	-	188 SQFT	188 SQFT
ATTIC FLOOR	616 SQFT	288 SQFT	904 SQFT
TOTAL BUILDING AREA	3,348 SQFT	476 SQFT	3,824 SQFT

SITE PLAN NOTES:	
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SITE SURVEY NOTE:

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SEE DRAWING
SD-1.02 EXISTING PLOT PLAN
FOR DETAILS



scale: 1/4" = 1'-0"



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CLIENT:

Sharon Gadonniex & Whispering Deer
Somerville, MA 02144

PROJECT:

Proposed Residence Renovation
22 Park Avenue, Somerville, MA 02144

ISSUED AS:

Request for Hardship Variance Issue
(NOT FOR CONSTRUCTION)

03/20/2026

Landscape
Site Plan
Plantings

SD-1.04



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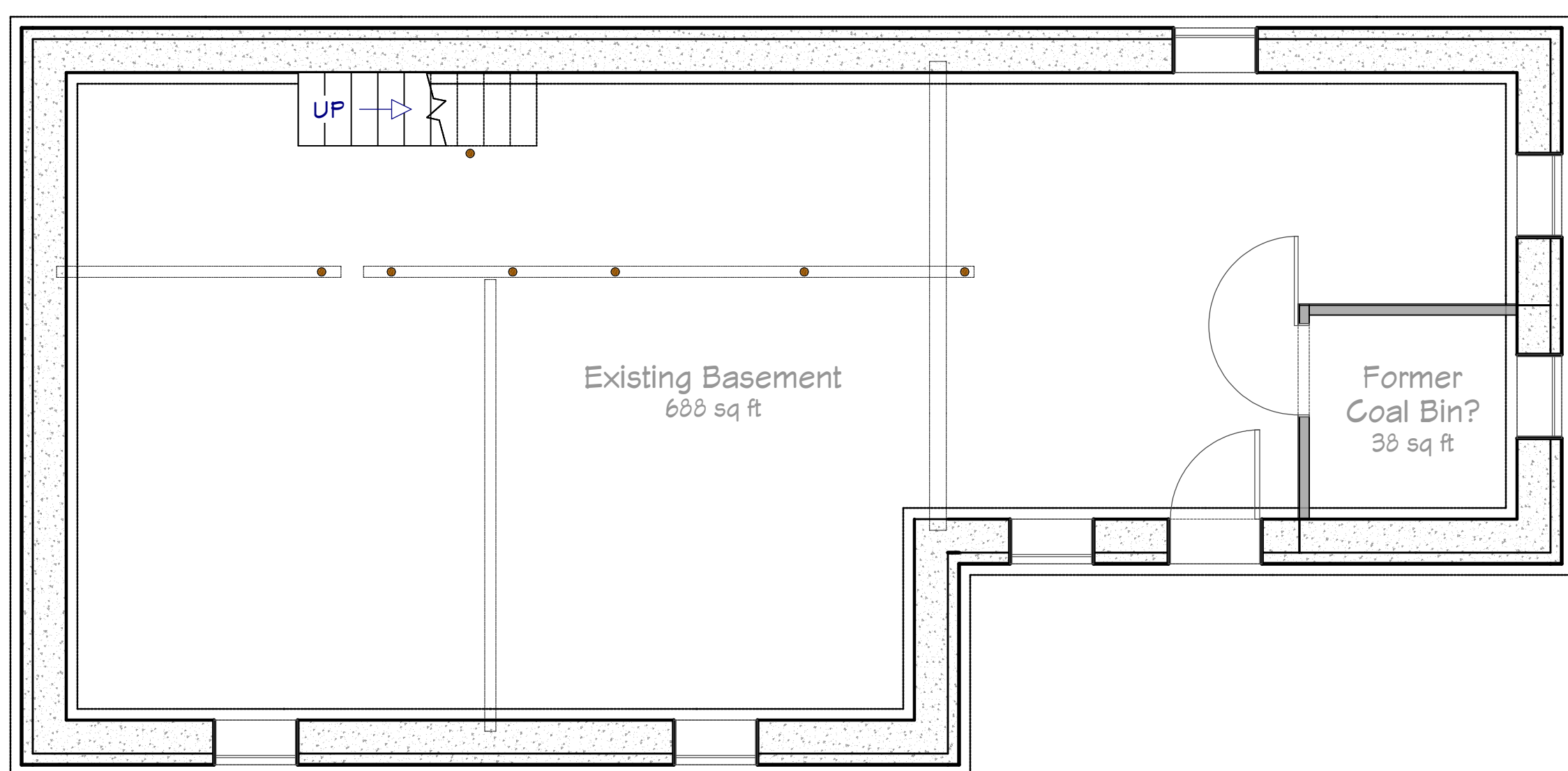
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Bid Issues:	

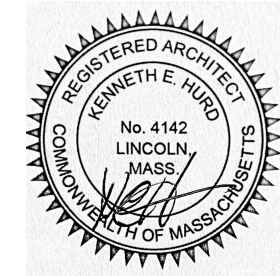
Construction Issues:	

Revision Issues:	



AD-1.0101 Existing Conditions Floor Plan - Lower Level
1/4" = 1'-0"

@ Basement or Lower Level Living Areas





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22 Park Avenue, Somerville, MA 02144

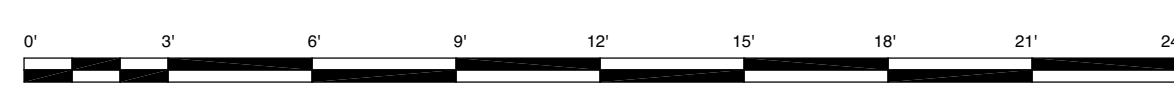
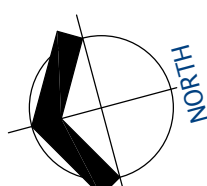
Sharon Gadonniex & Whispering Deer
Somerville, MA 02144

PROVENENCE:
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LEGEND:

EXISTING WALLS TO REMAIN SHOWN SHADED IN
GRAY
NEW 2 x 6 WALLS SHOWN SHADED IN
BLUE
NEW 2 x 4 WALLS SHOWN SHADED IN
GREEN



scale: 1/4" = 1'-0"

Existing Conditions
Floor Plan
Lower Level
AD-1.01



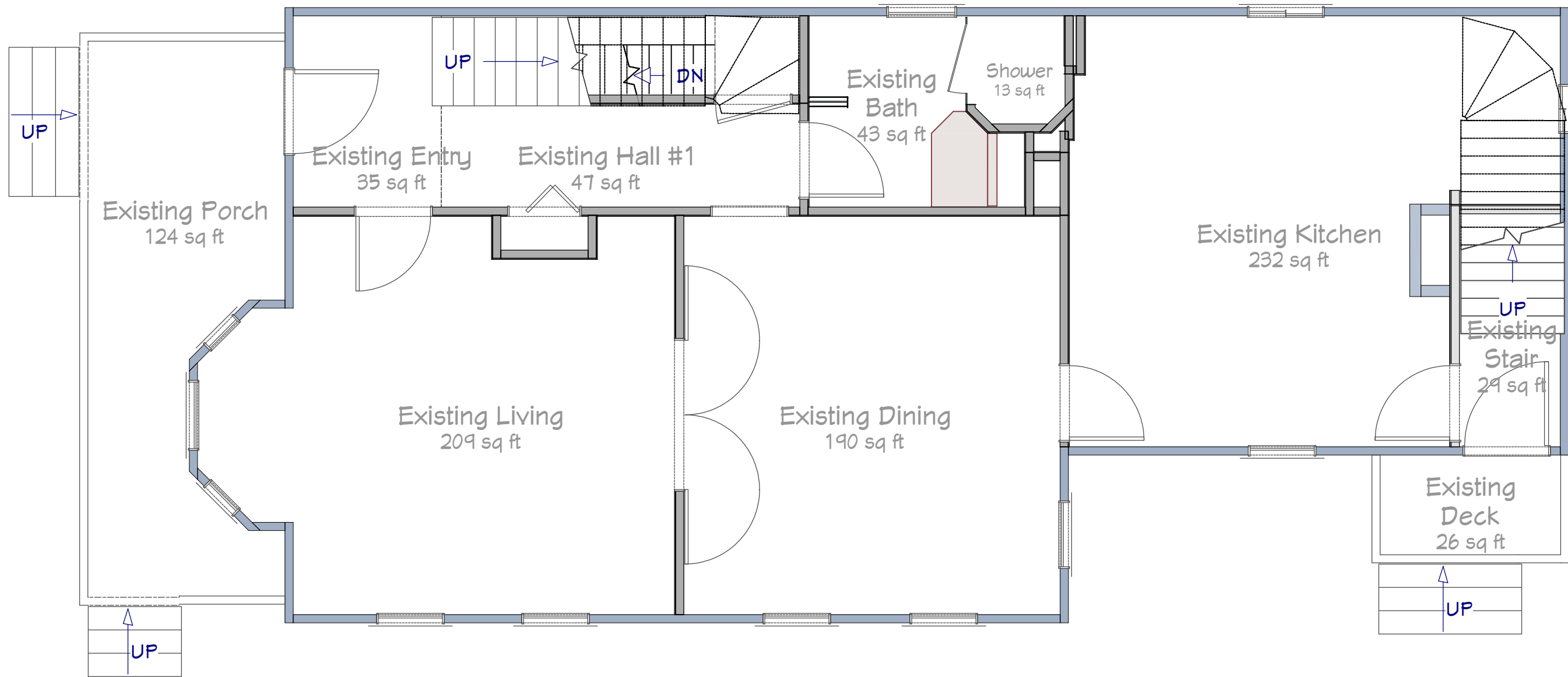
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CLIENT:
Sharon Gadonniex & Whispering Deer
Somerville, MA 02144

PROJECT:
Proposed Residence Renovation
22 Park Avenue, Somerville, MA 02144

ISSUED AS:
Request for Hardship Variance Issue
(NOT FOR CONSTRUCTION)

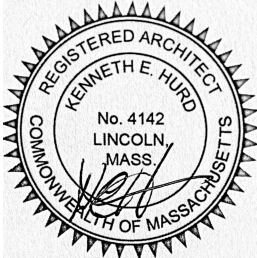
03/20/2026



AD-1.0201 Existing Conditions Floor Plan - Main Level

1/4" = 1'-0"

@ Main Level Living Areas



PROVENENCE:

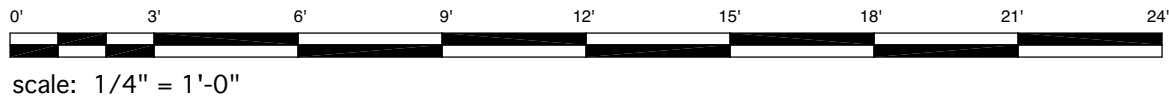
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LEGEND:

- EXISTING WALLS TO REMAIN SHOWN SHADED IN
GRAY
NEW 2 x 6 WALLS SHOWN SHADED IN
BLUE
NEW 2 x 4 WALLS SHOWN SHADED IN
GREEN



Existing Conditions
Floor Plan
Main Level

AD-1.02

03/20/2026



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Progress Issues:

01/15/26	SHARON & WHISPERING DEER
03/03/26	Pre-Submittal Meeting w/PPZ
03/20/26	CitizenServe Submittal

Bid Issues:

Construction Issues:

Revision Issues:

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PO Box 6287 221 Leaning Rock Lincoln, MA 01773

Proposed Residence Renovation
22 Park Avenue, Somerville, MA 02144

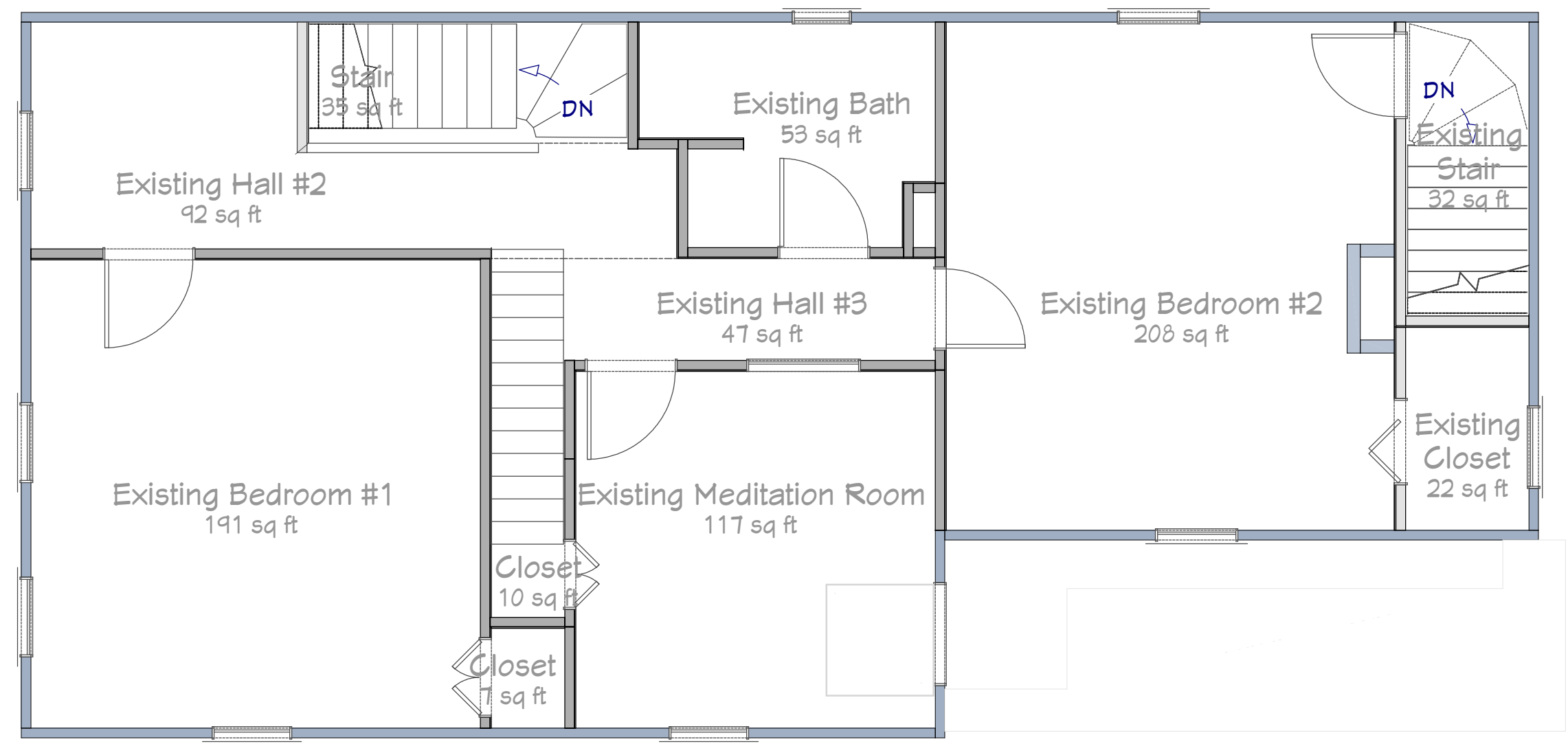
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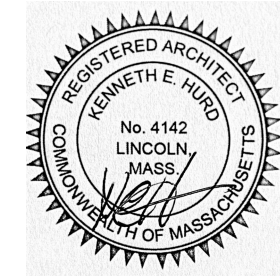
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03/20/26	CitizenServe Submittal
Bid Issues:	
Construction Issues:	
Revision Issues:	



AD-1.2301 Existing Conditions Floor Plan - Upper Level
1/4" = 1'-0"

© Upper Level Bedroom Areas





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22 Park Avenue, Somerville, MA 02144

Sharon Gadonniex & Whispering Deer
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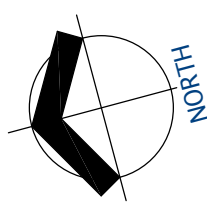
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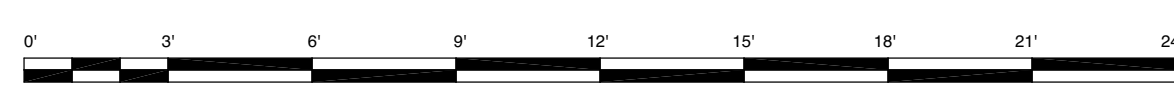
LEGEND:

EXISTING WALLS TO REMAIN SHOWN SHADED IN
GRAY

NEW 2 x 6 WALLS SHOWN SHADED IN
BLUE

NEW 2 x 4 WALLS SHOWN SHADED IN
GREEN





scale: 1/4" = 1'-0"

Existing Conditions

Floor Plan

Upper Level

AD-1.03

03/20/2026



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CLIENT:

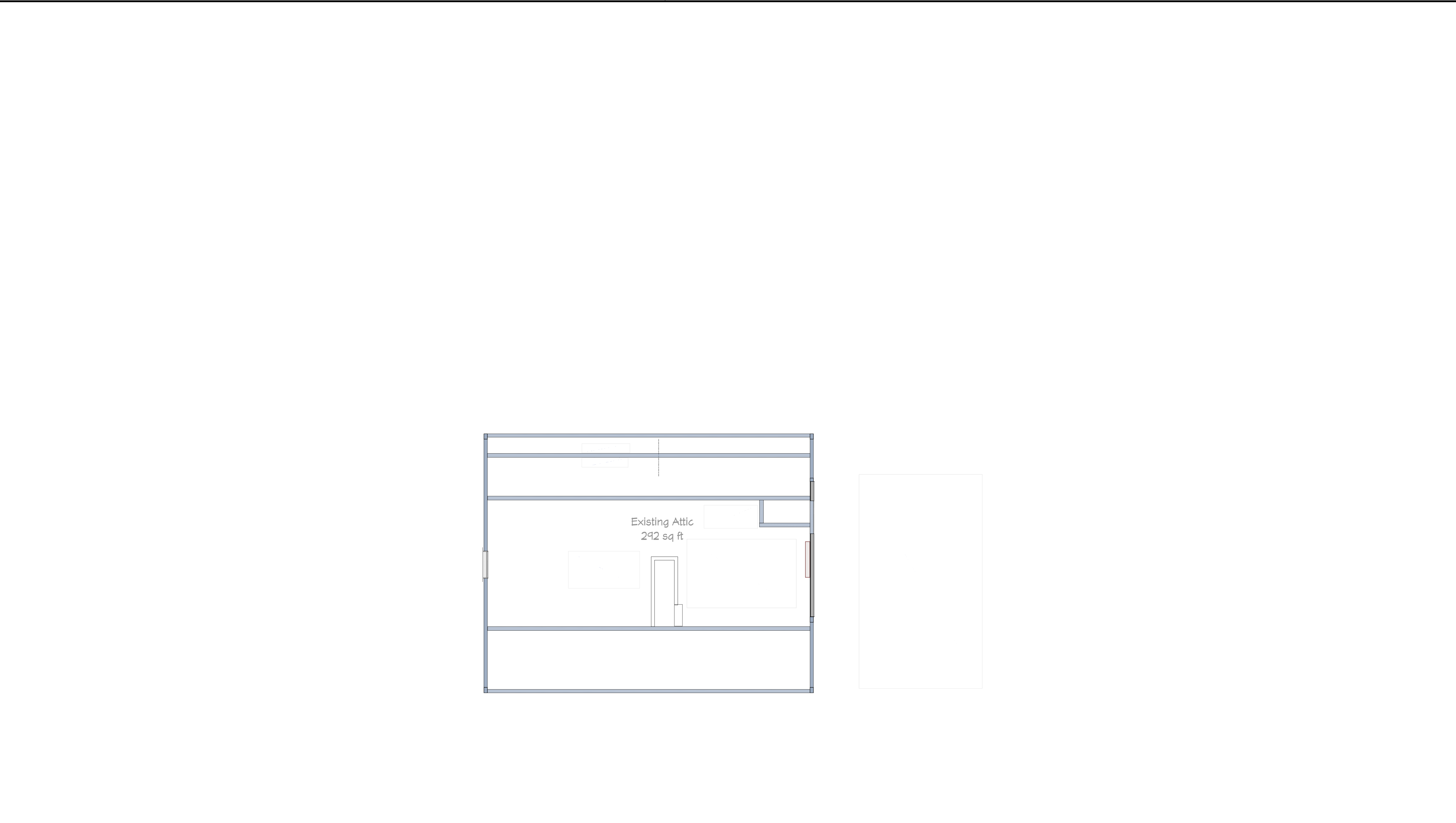
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PROJECT:

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22 Park Avenue, Somerville, MA 02144

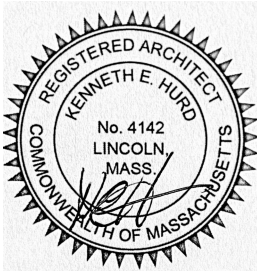
ISSUED AS:

Request for Hardship Variance Issue
(NOT FOR CONSTRUCTION)



AD-1.0401 Existing Conditions Floor Plan - Attic Level
1/4" = 1'-0"

@ Attic Level Bedroom Areas



PROVENENCE:

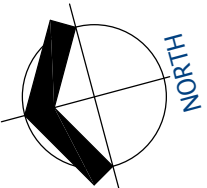
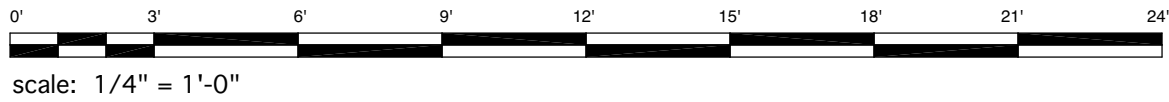
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3. IN 1943, STANISLAS SOLD THE PROPERTY TO EVELYN E. BATTISTA, WHO FOR OVER A DECADE RENTED ONE OF THE UNITS TO STANISLAS WHILE THE OTHER UNIT WAS RENTED OUT TO LABORERS.
4. SINCE THE 1950'S, SUCCESSIVE OWNERS INCLUDE JOSE & ENGRACIA OLIVEIRA, PETER & ANTOINETTE NOBLE (1976), JONATHAN ROTHBLATT (1996), AND THE CURRENT OWNERS, SHARON GADONNIEUX & WHISPERING DEER (2019).

ARCHITECTURAL HISTORY:

1. THE CURRENT RESIDENCE AT 22 PARK AVENUE IN SOMERVILLE WAS BUILT IN 1910, HAVING REPLACED A PREVIOUS STRUCTURE ON WHAT WAS FORMERLY KNOWN AS COTTAGE PARK AVENUE. IN ADDITION TO REPLACING THE FORMER FOUNDATION WITH CONCRETE, THE OWNERS, GEORGE & EMMA LAROSE, CONVERTED THE BUILDING INTO A DUPLEX.
2. BECAUSE OF ITS ORIGINAL ARCHITECTURAL DETAILS, THE HOUSE WAS DESCRIBED AS A "TURN-OF-THE-CENTURY GEM" WITH HIGH, EXPOSED-BEAM CEILINGS, A BUILT-IN DINING ROOM HUTCH, AND A FOYER WITH CUSTOM-STAINED GLASS PANELS.
3. SEVERAL CHANGES HAVE OCCURRED SINCE ITS CONSTRUCTION, INCLUDING REPLACEMENT OF THE ORIGINAL FIRST-FLOOR FRONT WINDOW WITH A LARGER THREE-GANGED BAY WINDOW, THE ADDITION OF A PROJECTING ENTRY PORCH WITH SHALLOW HIPPED ROOF, AND REPLACEMENT OF MOST OF THE DOUBLE-HUNG WINDOWS. IN 1983, A WOOD STOVE WAS INSTALLED, BUT NEITHER THE WOOD STOVE NOR THE EXISTING INTERNAL CHIMNEY ARE CURRENTLY IN USE SINCE THE INSTALLATION OF NEW HEATING EQUIPMENT.
4. AT SOME POINT IN ITS PREVIOUS OWNERSHIP, THERE WAS SUBSTANTIAL REINFORCEMENT OF THE BEAMS & FLOOR FRAMING IN THE BASEMENT AS WELL AS THE ADDITION OF NEW LALLY COLUMNS TO SUPPORT THEM.
5. MORE RECENTLY, THE CURRENT OWNERS HAVE RENOVATED TWO BATHROOMS.
6. THE PROPOSED RENOVATION SEEKS TO ENLARGE THE CURRENT ATTIC LEVEL TO MAKE IT BOTH MORE HABITABLE & USEFUL.

LEGEND:

- EXISTING WALLS TO REMAIN SHOWN SHADED IN
GRAY
- NEW 2 x 6 WALLS SHOWN SHADED IN
BLUE
- NEW 2 x 4 WALLS SHOWN SHADED IN
GREEN



1. THE DESIGNS, DETAILS, NOTES, ETC. AS SHOWN AND/OR CALLED FOR ON ONE DRAWING OF THE CONTRACT DOCUMENTS SHALL APPLY TO ALL DRAWINGS COMPRISING THE CONTRACT DOCUMENTS.
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Progress Issues:

01/15/26	SHARON & WHISPERING DEER
03/03/26	Pre-Submittal Meeting w/PPZ
03/20/26	CitizenServe Submittal

Bid Issues:

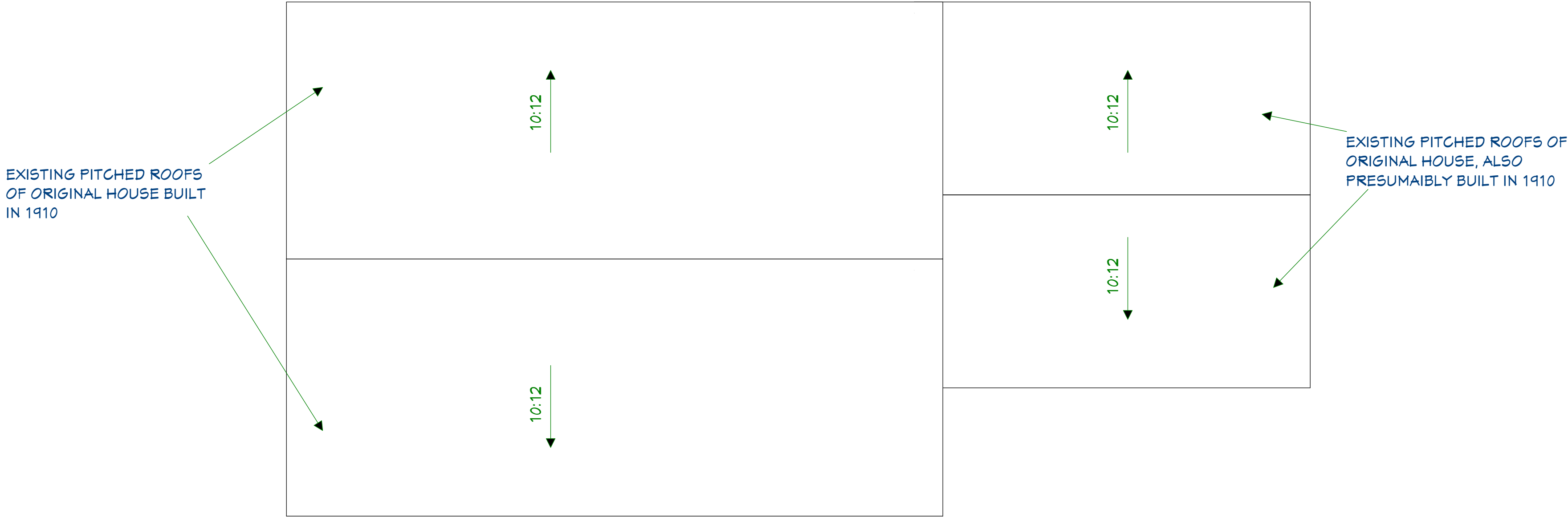
Construction Issues:

Revision Issues:

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Proposed Residence Renovation
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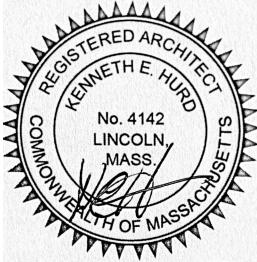
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Somerville, MA 02144



AD-1.0501 Existing Conditions Plan - Roof

1/4" = 1'-0"

@ Roof



PROVENENCE:

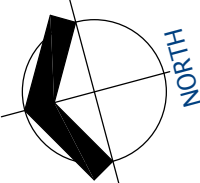
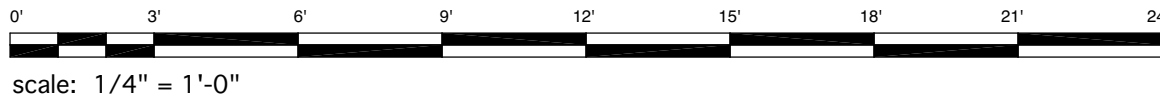
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LEGEND:

- EXISTING WALLS TO REMAIN SHOWN SHADED IN
GRAY
NEW 2 x 6 WALLS SHOWN SHADED IN
BLUE
NEW 2 x 4 WALLS SHOWN SHADED IN
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Progress Issues:

01/15/26	SHARON & WHISPERING DEER
03/03/26	Pre-Submittal Meeting w/PPZ
03/20/26	CitizenServe Submittal

Bid Issues:

Construction Issues:

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Bid Issues:

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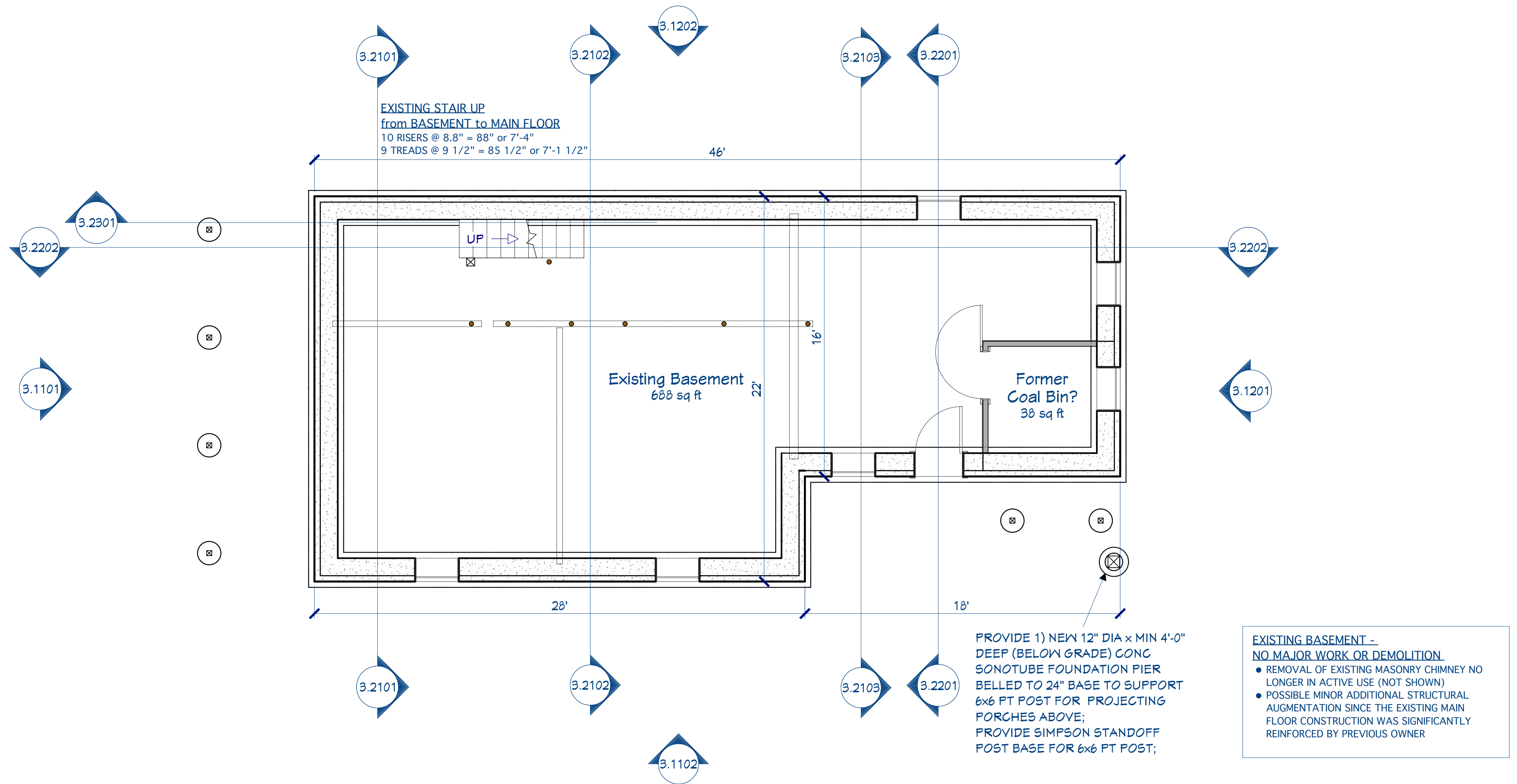


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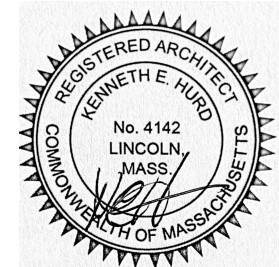
Sharon Gadonniex & Whispering Deer
Somerville, MA 02144

GROSS FLOOR AREA (excl porch, deck)	EXISTING	CHANGE	NEW
BASEMENT (UNFINISHED)	904 SQFT	0 SQFT	904 SQFT
MAIN FLOOR	924 SQFT	0 SQFT	924 SQFT
SECOND FLOOR	904 SQFT	0 SQFT	904 SQFT
NEW PROJECTING PORCHES	-	188 SQFT	188 SQFT
ATTIC FLOOR	616 SQFT	288 SQFT	904 SQFT
TOTAL BUILDING AREA	3,348 SQFT	476 SQFT	3,824 SQFT



AD-1.1101 Scope of Work & Presentation Floor Plan - Lower Level
1/4" = 1'-0"

@ Basement or Lower Level Living Areas

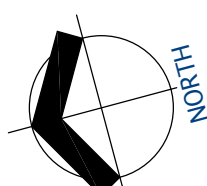


PRELIMINARY ROOM FINISH SCHEDULE:			
ROOM NAME	WALL FINISH	BASE FINISH	FLOOR FINISH
STAIR AREA	EXISTING	EXISTING	EXISTING

FLOOR PLAN NOTES - LOWER LEVEL:	
1. AS OF 01/07/2026, NO EXTERIOR WORK REQUIRED TO EXISTING FOUNDATION WALLS. 2. AS OF 01/07/2026, PROVIDE ONE CONCRETE SONOTUBE PIER WITH 24" BELLED BASE TO SUPPORT NEW PORCHES. 3. PENDING REVIEW BY STRUCTURAL ENGINEER, SOME REINFORCEMENT OF EXISTING FRAMING MAY BE REQUIRED TO SUPPLEMENT RECENT SUBSTANTIAL REINFORCEMENT OF FLOOR FRAMING BY PREVIOUS OWNER.	

LEGEND:

EXISTING WALLS TO REMAIN SHADED IN GRAY
NEW 2 x 6 WALLS SHOWN SHADED IN BLUE
NEW 2 x 4 WALLS SHOWN SHADED IN GREEN



scale: 1/4" = 1'-0"



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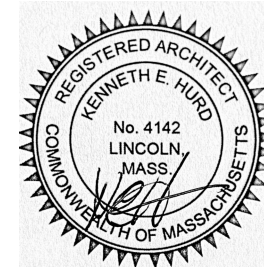
Construction Issues:

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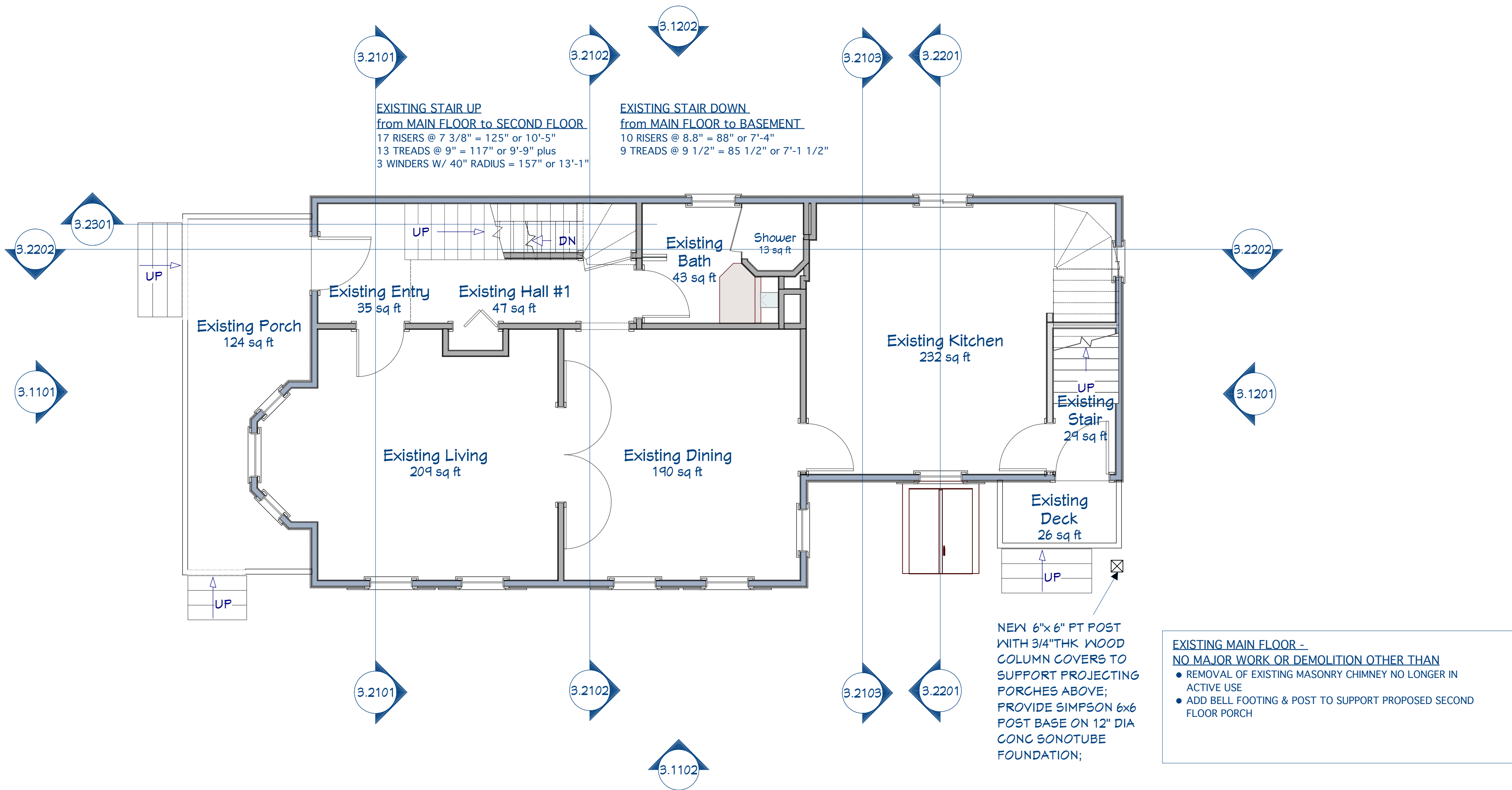


AD-1.1201 Scope of Work & Presentation Floor Plan - Main Level

1/4" = 1'-0"

@ Main Level Living Areas

GROSS FLOOR AREA (excl porch, deck)	EXISTING	CHANGE	NEW
BASEMENT (UNFINISHED)	904 SQFT	0 SQFT	904 SQFT
MAIN FLOOR	924 SQFT	0 SQFT	924 SQFT
SECOND FLOOR	904 SQFT	0 SQFT	904 SQFT
NEW PROJECTING PORCHES	-	188 SQFT	188 SQFT
ATTIC FLOOR	616 SQFT	288 SQFT	904 SQFT
TOTAL BUILDING AREA	3,348 SQFT	476 SQFT	3,824 SQFT



- EXISTING MAIN FLOOR -**
NO MAJOR WORK OR DEMOLITION OTHER THAN
- REMOVAL OF EXISTING MASONRY CHIMNEY NO LONGER IN ACTIVE USE
 - ADD BELL FOOTING & POST TO SUPPORT PROPOSED SECOND FLOOR PORCH

NEW 6"x6" PT POST WITH 3/4" THK WOOD COLUMN COVERS TO SUPPORT PROJECTING PORCHES ABOVE; PROVIDE SIMPSON 6x6 POST BASE ON 12" DIA CONC SONOTUBE FOUNDATION;

PRELIMINARY ROOM FINISH SCHEDULE:

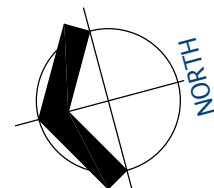
ROOM NAME	WALL FINISH	BASE FINISH	FLOOR FINISH
EXISTING ENTRY	NO CHANGE	NO CHANGE	NO CHANGE
EXISTING HALL #1	NO CHANGE	NO CHANGE	NO CHANGE
EXISTING LIVING	NO CHANGE	NO CHANGE	NO CHANGE
EXISTING DINING	NO CHANGE	NO CHANGE	NO CHANGE
EXISTING BATH	NO CHANGE	NO CHANGE	NO CHANGE
EXISTING KITCHEN	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING
	(AFTER REMOVAL OF EXISTING CHIMNEY)		

FLOOR PLAN NOTES - MAIN LEVEL:

1. THE MAJOR WORK OF THE RENOVATION WILL INVOLVE EXTENDING THE FRAMING OF THE EXTERIOR WALLS AT THE ATTIC LEVEL OF THE EXISTING STRUCTURE USING NEW 2" X 6" WALL FRAMING SUCH THAT THE NEW 2" X 10" ROOF RAFTERS WILL INTERSECT THE EXTERIOR WALLS AT A HEIGHT OF 2'-0" ABOVE FINISH FLOOR OF THE ATTIC.
2. FOR THE RIDGES & SLOPES OF ALL NEW ROOFS TO ALIGN, THE ONLY EXCEPTION TO NOTE #1 WOULD APPLY TO THE SOUTHWEST WALL OF THE PORTION OF THE HOME, AND FOR WHICH AN APPLICATION FOR RELIEF FROM THIS REQUIREMENT OF SZO SECTION 2.4.4.a.viii.a).i). HAS OR WILL BE SUBMITTED TO THE SOMERVILLE ZONING BOARD OF APPEALS.
3. IT IS THE INTENT OF THESE DRAWINGS THAT ALL SUCH WALL & ROOF FRAMING AT THE ATTIC LEVEL SHALL BE FULLY INSULATED TO MEET CURRENT ENERGY CODES
4. WITH RESPECT TO THE FIRST FLOOR, OR MAIN LEVEL, THERE IS LITTLE WORK REQUIRED AS PART OF THIS PROJECT WITH THE EXCEPTION OF PATCHING THE FLOOR, WALL & CEILING IN THE KITCHEN WHERE THE EXISTING CHIMNEY WILL BE REMOVED.
5. THE ONLY EXTERIOR SITE WORK REQUIRED IS THE PROVISION OF A NEW CONCRETE SONOTUBE PIER WITH 24" BELLED BOTTOM TO SUPPORT THE NEW PROJECTING PORCHES ON THE SECOND & ATTIC LEVELS.
6. OTHER WORK IN THIS AREA MAY INVOLVE MEP TRADES, INCLUDING ELECTRICAL FEEDS & INSTALLATION OF NEW PLUMBING TO SERVE A NEW BATH & POSSIBLY NEW MINI-SPLITS AT THE ATTIC LEVEL. MEP WORK IS NOT COVERED IN THESE DRAWINGS.

LEGEND:

EXISTING WALLS TO REMAIN SHOWN SHADED IN
GRAY
NEW 2 X 6 WALLS SHOWN SHADED IN
BLUE
NEW 2 X 4 WALLS SHOWN SHADED IN
GREEN



0' 3' 6' 9' 12' 15' 18' 21' 24'
Scale: 1/4" = 1'-0"

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CLIENT:
Sharon Gadonniex & Whispering Deer
Somerville, MA 02144

PROJECT:
Proposed Residence Renovation
22 Park Avenue, Somerville, MA 02144

ISSUED AS:
Request for Hardship Variance Issue
(NOT FOR CONSTRUCTION)

03/20/2026

Scope of Work
Floor Plan
Main Level

AD-1.12



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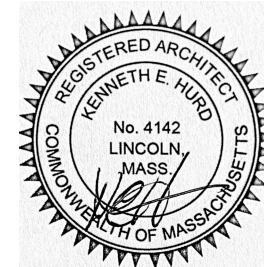
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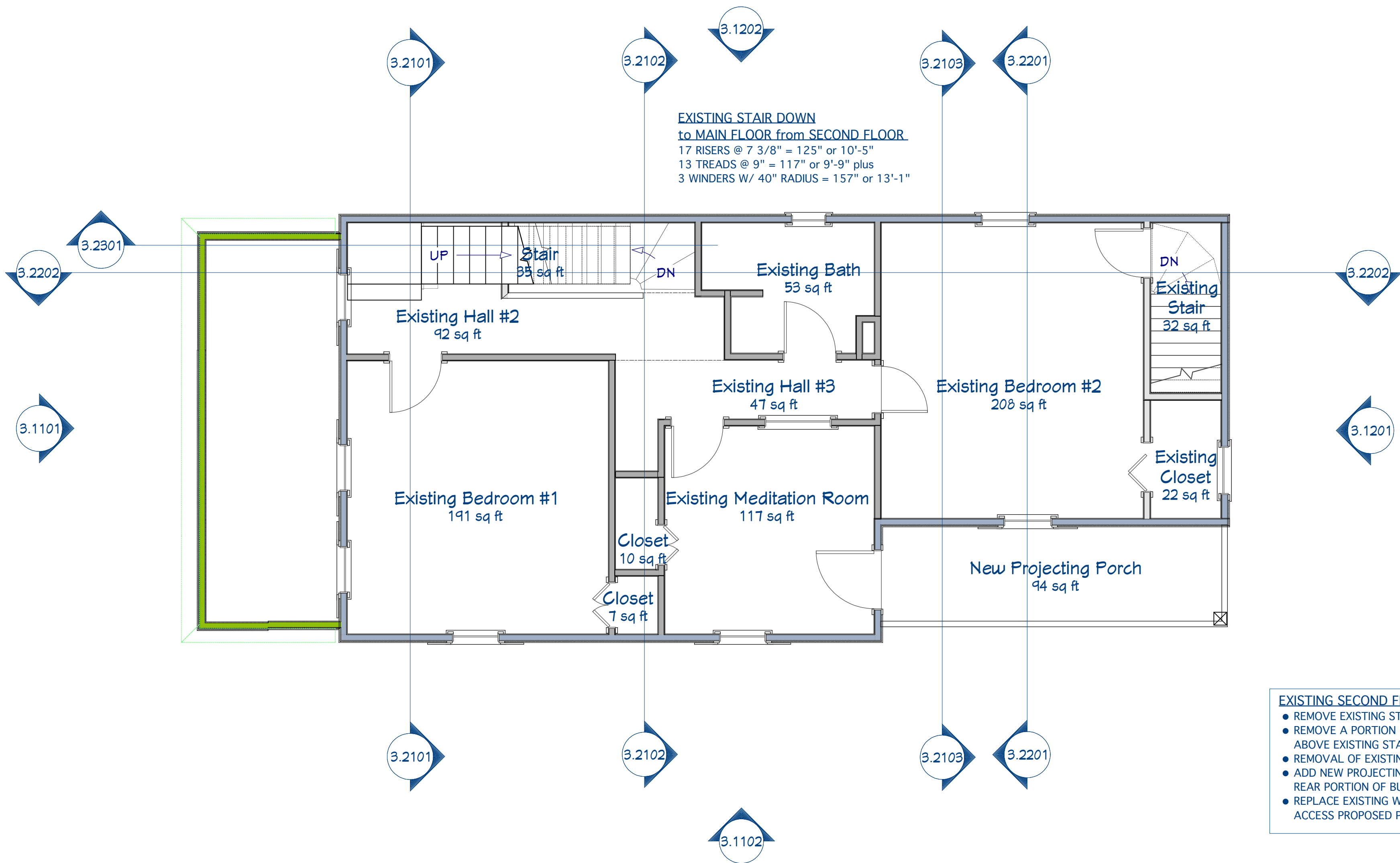


AD-1.1301 Scope of Work & Presentation Floor Plan - Upper Level

1/4" = 1'-0"

© Upper Level Bedroom Areas

GROSS FLOOR AREA (excl porch, deck)	EXISTING	CHANGE	NEW
BASEMENT (UNFINISHED)	904 SQFT	0 SQFT	904 SQFT
MAIN FLOOR	924 SQFT	0 SQFT	924 SQFT
SECOND FLOOR	904 SQFT	0 SQFT	904 SQFT
NEW PROJECTING PORCHES	-	188 SQFT	188 SQFT
ATTIC FLOOR	616 SQFT	288 SQFT	904 SQFT
TOTAL BUILDING AREA	3,348 SQFT	476 SQFT	3,824 SQFT



- EXISTING SECOND FLOOR - NEW WORK & DEMOLITION**
- REMOVE EXISTING STAIR TO ATTIC
 - REMOVE A PORTION OF CEILING TO CREATE NEW STAIR TO ATTIC ABOVE EXISTING STAIR FROM MAIN FLOOR
 - REMOVAL OF EXISTING MASONRY CHIMNEY (NOT SHOWN)
 - ADD NEW PROJECTING PORCH @ RECESSED AREA ON WEST SIDE OF REAR PORTION OF BUILDING
 - REPLACE EXISTING WINDOW IN SITTING ROOM WITH NEW DOOR TO ACCESS PROPOSED PORCH

PRELIMINARY ROOM FINISH SCHEDULE:

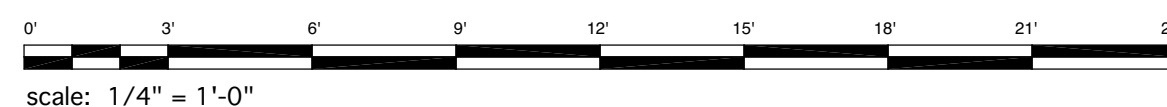
ROOM NAME	WALL FINISH	BASE FINISH	FLOOR FINISH
EXISTING HALL #2	NO CHANGE	NO CHANGE	NO CHANGE
EXISTING BEDROOM #1	NO CHANGE	NO CHANGE	NO CHANGE
EXISTING MEDITATION	NO CHANGE	NO CHANGE	NO CHANGE
EXISTING BATH	NO CHANGE	NO CHANGE	NO CHANGE
EXISTING HALL #3	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING
(AFTER REMOVAL OF EXISTING STAIR TO ATTIC)			
EXISTING BEDROOM #2	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING
(AFTER REMOVAL OF EXISTING CHIMNEY)			
EXISTING (BACK) STAIR	NO CHANGE	NO CHANGE	NO CHANGE

FLOOR PLAN NOTES - UPPER LEVEL:

1. THE MAJOR WORK OF THE RENOVATION WILL INVOLVE EXTENDING THE FRAMING OF THE EXTERIOR WALLS AT THE ATTIC LEVEL OF THE EXISTING STRUCTURE USING NEW 2"x 6" WALL FRAMING SUCH THAT THE NEW 2"x 10" ROOF RAFTERS WILL INTERSECT THE EXTERIOR WALLS AT A HEIGHT OF 2'-0" ABOVE FINISH FLOOR OF THE ATTIC.
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4. WITH RESPECT TO THE SECOND FLOOR, OR UPPER LEVEL, THE WORK REQUIRED WILL PRIMARILY BE TO REMOVE THE EXISTING ATTIC STAIR & CREATE A NEW STAIR ABOVE THE EXISTING FRONT STAIR TO ACCESS THE RENOVATED ATTIC. IT WILL ALSO REQUIRE PATCHING THE FLOOR, WALL & CEILING IN BOTH THE BACK BEDROOM WHERE THE EXISTING CHIMNEY IS TO BE REMOVED & IN THE HALL WHERE THE EXISTING ATTIC STAIR IS TO BE REMOVED & A NEW LINEN CLOSET CONSTRUCTED IN ITS PLACE.
5. OTHER WORK IN THIS AREA MAY INVOLVE MEP TRADES, INCLUDING ELECTRICAL FEEDS & INSTALLATION OF NEW PLUMBING TO SERVE A NEW BATH & POSSIBLY NEW MINI-SPLITS AT THE ATTIC LEVEL. MEP WORK IS NOT COVERED IN THESE DRAWINGS.
6. THE EXTERIOR WORK REQUIRED WILL BE TO CONSTRUCT A PROJECTING PORCH & REPLACING AN EXISTING WINDOW IN THE MEDITATION ROOM WITH A NEW ACCESS DOOR.

LEGEND:

EXISTING WALLS TO REMAIN SHADED IN
GRAY
NEW 2 x 6 WALLS SHOWN SHADED IN
BLUE
NEW 2 x 4 WALLS SHOWN SHADED IN
GREEN



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ISSUED AS:
Request for Hardship Variance Issue
(NOT FOR CONSTRUCTION)

03/20/2026

Scope of Work
Floor Plan
Upper Level

AD-1.13

Compliance with Applicable Sections of the Somerville Zoning Ordinance for Renovations in the NR District - Except as Noted for West Roof in Rear Portion of Residence

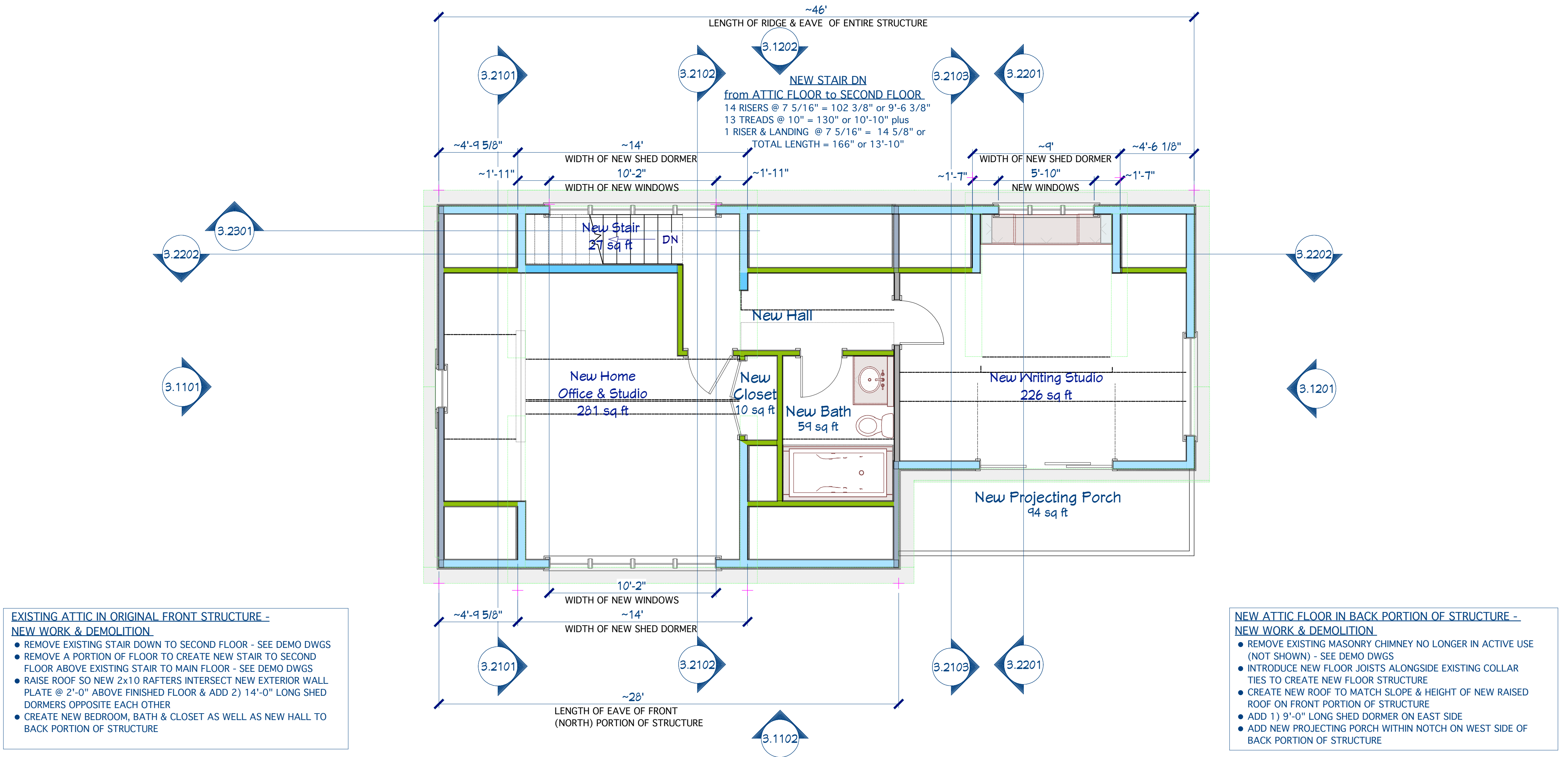
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2. SECTION 2.4.4.a.viii.a).ii). CEILING HEIGHT UNDER NEW DORMERS OF HALF STORY WILL BE APPROXIMATELY 10'-0", or 2'-0" LOWER THAN 12'-0" MAX ALLOWED
3. SECTION 3.1.13.i.i. SHED DORMER DIMENSIONS @ FRONT PORTION A. FACE WIDTH OF EAST & WEST DORMERS = 14'-0" TOTAL, (WITH 4 WINDOWS @ 2'-5" = 9'-8" plus 4'-4") B. FACADE & REAR WALL SETBACKS = 4'-9" (>3'-0" REQ'D) C. RIDGE SETBACK OF ALL DORMERS = 1'-0" C. RIDGE SETBACK OF ALL DORMERS = 1'-0"
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6. SECTION 3.1.13.h. PROJECTING PORCH - DIMENSIONS FOR SIDE FACING COMPONENTS:
A. 17'-8" WIDTH EXCEEDS 4'-0" REQ'D B. 5'-0" PROJECTION EXCEEDS 4'-0" REQ'D D. COMPLIES WITH 1 PER STORY ALLOWED

Exception to Full Compliance from which Owners Seek Relief in their Application for a Variance

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GROSS FLOOR AREA (excl porch, deck)	EXISTING	CHANGE	NEW
BASEMENT (UNFINISHED)	904 SQFT	0 SQFT	904 SQFT
MAIN FLOOR	924 SQFT	0 SQFT	924 SQFT
SECOND FLOOR	904 SQFT	0 SQFT	904 SQFT
NEW PROJECTING PORCHES	-	188 SQFT	188 SQFT
ATTIC FLOOR	616 SQFT	288 SQFT	904 SQFT
TOTAL BUILDING AREA	3,348 SQFT	476 SQFT	3,824 SQFT



AD-1.1401 Scope of Work & Presentation Floor Plan - Attic Level

1/4" = 1'-0"

@ Attic Level Bedroom Areas

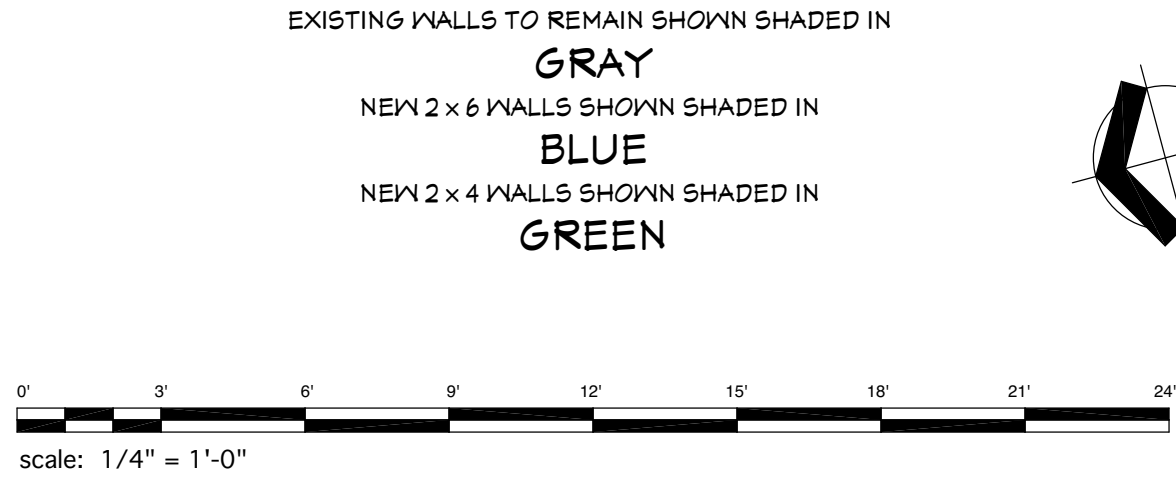
PRELIMINARY ROOM FINISH SCHEDULE:

ROOM NAME	WALL FINISH	BASE FINISH	FLOOR FINISH
NEW STAIR	GYP/PAINT	WOOD/PAINT	MATCH EXISTING
WOOD			
NEW HALL	GYP/PAINT	WOOD/PAINT	NEW HARDWOOD
NEW HOME OFFICE	GYP/PAINT	WOOD/PAINT	NEW HARDWOOD
NEW BATH	GYP/PAINT	TILE	NON-SLIP TILE
NEW WRITING STUDIO	GYP/PAINT	WOOD/PAINT	NEW HARDWOOD

FLOOR PLAN NOTES - ATTIC LEVEL:

1. THE MAJOR WORK OF THE RENOVATION WILL INVOLVE EXTENDING THE FRAMING OF THE EXTERIOR WALLS AT THE ATTIC LEVEL OF THE EXISTING STRUCTURE USING NEW 2" x 6" WALL FRAMING SUCH THAT THE NEW 2" x 10" ROOF RAFTERS WILL INTERSECT THE EXTERIOR WALLS AT A HEIGHT OF 2'-0" ABOVE FINISH FLOOR OF THE ATTIC.
2. FOR THE RIDGES & SLOPES OF ALL NEW ROOFS TO ALIGN, THE ONLY EXCEPTION TO NOTE #1 WOULD APPLY TO THE SOUTHWEST WALL OF THE PORTION OF THE HOME, AND FOR WHICH AN APPLICATION FOR RELIEF FROM THIS REQUIREMENT OF SZO SECTION 2.4.4.a.viii.a).i). HAS OR WILL BE SUBMITTED TO THE SOMERVILLE ZONING BOARD OF APPEALS.
3. IT IS THE INTENT OF THESE DRAWINGS THAT ALL SUCH WALL & ROOF FRAMING AT THE ATTIC LEVEL SHALL BE FULLY INSULATED TO MEET CURRENT ENERGY CODES
4. WITH RESPECT TO THE ATTIC LEVEL, THE WORK REQUIRED WILL BE TO CONSTRUCT TWO NEW SHED DORMERS WITH "CATHEDRAL" CEILINGS, A NEW 3-FIXTURE BATH, CLOSET & HALL WITHIN THE SLIGHTLY EXPANDED AREA OF THE EXISTING ATTIC FOOTPRINT & TO BUILD A NEW FLOOR, WALLS, CEILINGS & SHED DORMER IN THE BACK PORTION OF THE HOME.
5. OTHER WORK IN THIS AREA WILL INVOLVE MEP TRADES, INCLUDING NEW ELECTRICAL, LIGHTING & NEW PLUMBING TO SERVE THE NEW BATH & LIVING AREAS. AS OF 01/07/2026, IT IS ALSO ANTICIPATED, BUT NOT FINALIZED, THAT NEW MINI-SPLITS WILL BE USED TO HEAT & COOL THE ATTIC LEVEL. MEP WORK IS NOT COVERED IN THESE DRAWINGS.
6. THE EXTERIOR WORK REQUIRED WILL BE TO CONSTRUCT A PROJECTING PORCH ACCESSED DIRECTLY FROM THE NEW WRITING STUDIO.

LEGEND:



Progress Issues:

11/05/25	SOMERVILLE PLANNING
01/15/26	SHARON & WHISPERING DEER
03/03/26	Pre-Submittal Meeting w/PPZ
03/20/26	CitizenServe Submittal

Bid Issues:

Construction Issues:

Revision Issues:

Scope of Work
Floor Plan
Attic Level

AD-1.14

03/20/2026

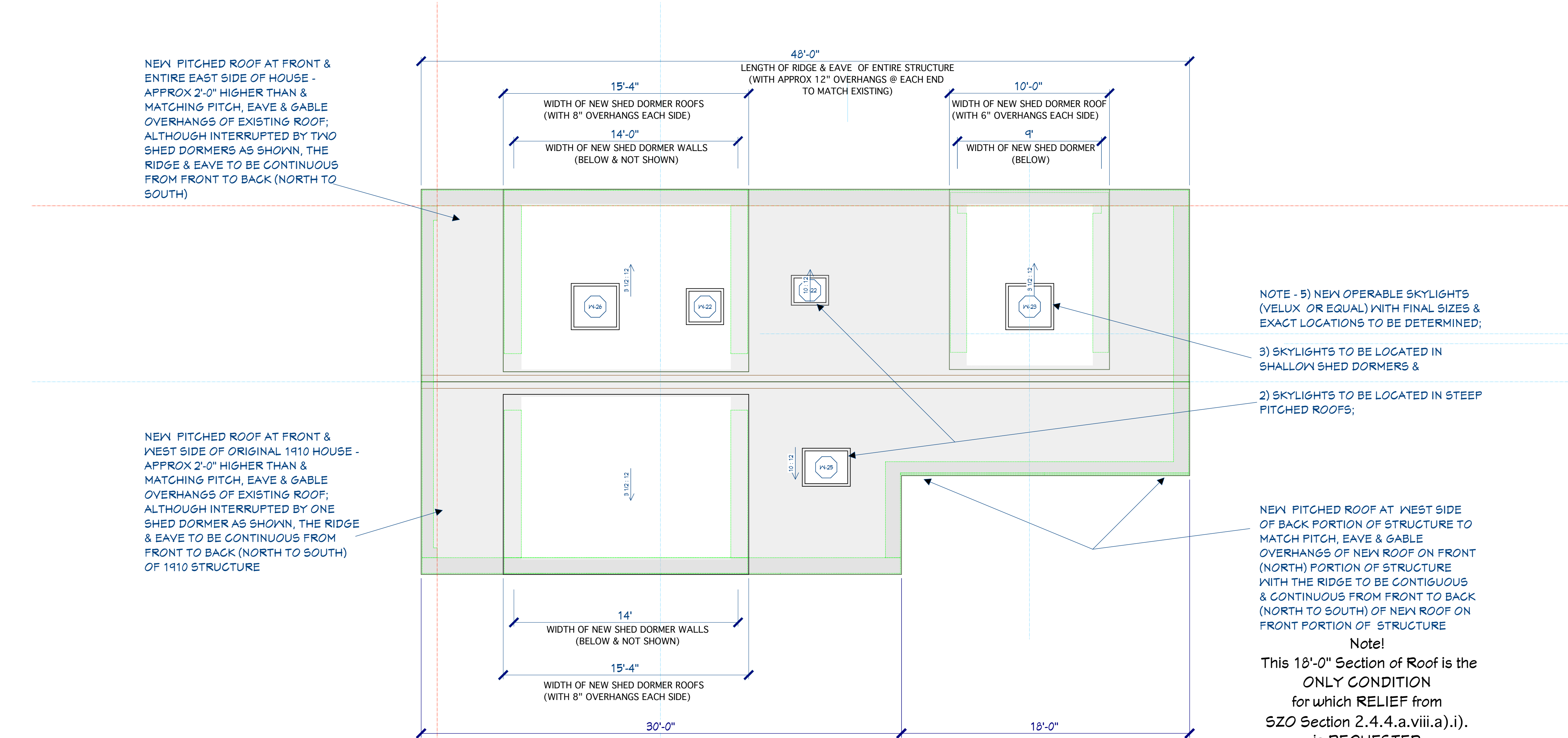
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AD-1.1501 Scope of Work & Presentation Roof Plan

1/4" = 1'-0"

@ Roof

PRELIMINARY EXTERIOR FINISH SCHEDULE:

COMPONENT NAME	MATERIAL	FINISH TREATMENT
NEW EXTERIOR WALLS	CEDAR SHINGLES	PAINT TO MATCH EXISTING
NEW WINDOWS	WOOD/VINYL???	TO MATCH EXISTING
NEW FASCIA, SOFFITS & TRIM	WOOD/PAINT	TO MATCH EXISTING
NEW ROOFS	ASPHALT SHINGLES	TO MATCH EXISTING
NEW SKYLIGHTS	WOOD/VINYL???	TO MATCH ROOF

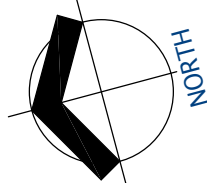
ROOF PLAN NOTES:

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4. WITH RESPECT TO THE ROOFS, THE WORK REQUIRED WILL BE TO CONSTRUCT TWO NEW PITCHED ROOFS APPROXIMATELY 2'-0" HIGHER THAN & MATCHING THE PITCH OF THE EXISTING ROOFS & CONTINUE THEM TO THE BACK OF THE BUILDING WITH ALL THEIR RIDGES ALIGNED. ALSO INCLUDED WILL BE TWO NEW SHED DORMERS WITH A PITCH 3.5:12 OPPOSITE EACH OTHER IN THE FRONT PORTION OF THE HOUSE & TO BUILD ONE NEW SHED DORMER ON THE EAST SIDE OF THE BACK PORTION OF THE HOME.
5. OTHER WORK IN THIS AREA WILL INVOLVE BUILDING THE FRAMING NECESSARY FOR & TO PROVIDE FIVE NEW SKYLIGHTS, SOME OF WHICH MAY BE OPERABLE.

LEGEND:

EXISTING WALLS TO REMAIN SHADED IN GRAY
NEW 2 x 6 WALLS SHOWN SHADED IN BLUE
NEW 2 x 4 WALLS SHOWN SHADED IN GREEN

Scale: 1/4" = 1'-0"



Progress Issues:

01/15/26 SHARON & WHISPERING DEER
03/03/26 Pre-Submittal Meeting w/PPZ
03/20/26 CitizenServe Submittal

Bid Issues:

Construction Issues:

Revision Issues:

Scope of Work
Roof Plan
Roof Level

AD-1.15

03/20/2026

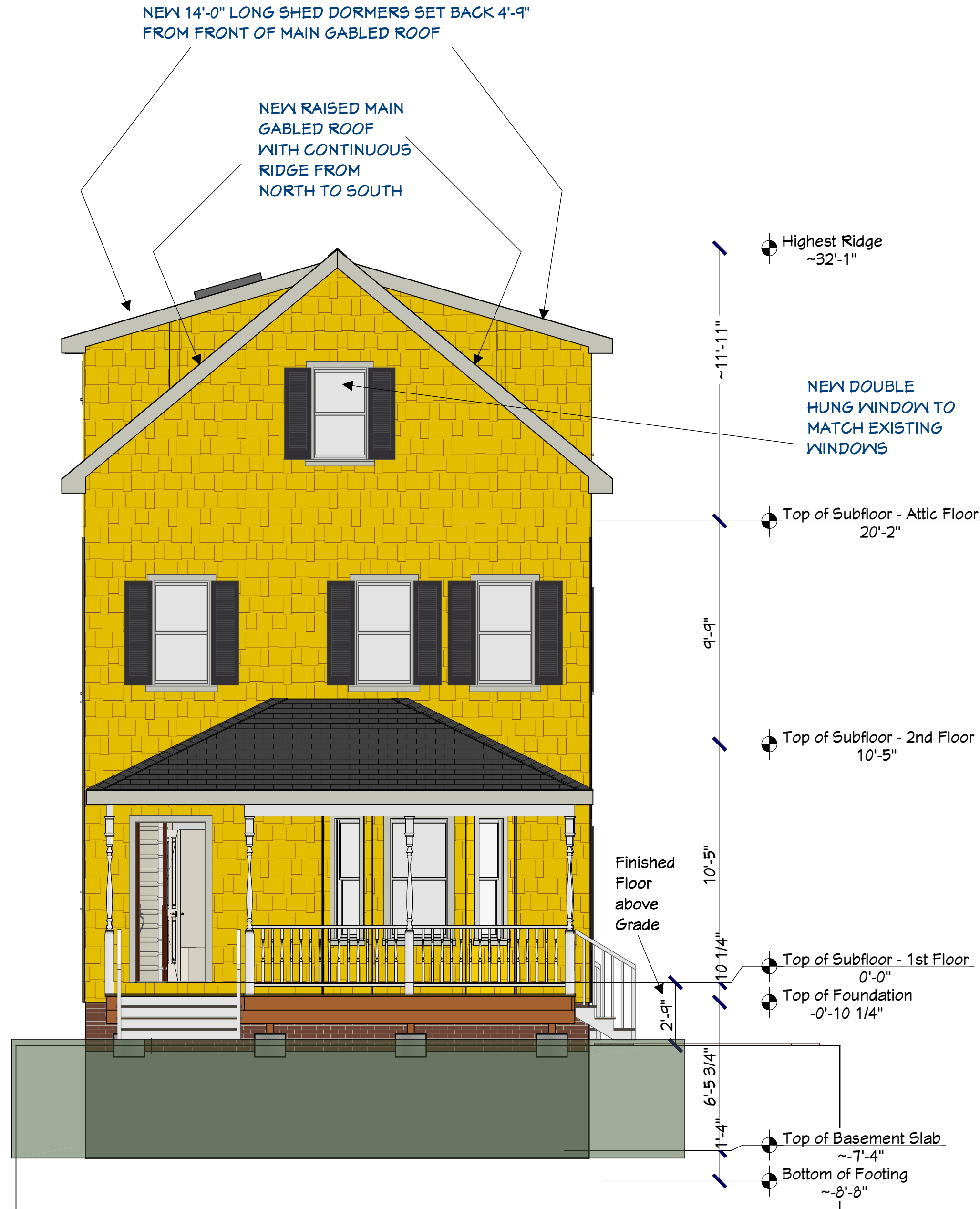
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AD-3.1101 North Elevation (looking South)

1/4" = 1'-0"

Looking South toward Front of House



AD-3.1102 West Elevation (looking East)

1/4" = 1'-0"

Looking East toward Active (Driveway) Side of House

GENERAL ELEVATION NOTES for ROOFS & DORMERS:

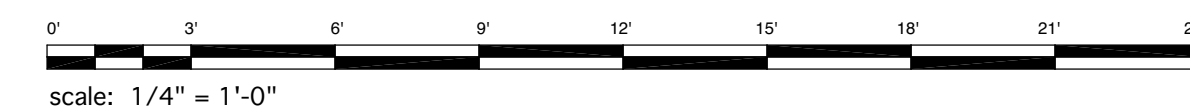
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- THE ONLY EXCEPTION TO NOTE #2 WOULD APPLY TO THE EXISTING RECESSED WEST WALL AT THE REAR PORTION OF THE STRUCTURE.
- ALL NEW SHED DORMERS WILL HAVE SHALLOW (3.5:12) PITCHED ROOFS WITH FULL ICE SHIELD & EPDM MEMBRANE.

EXTERIOR WALL CONSTRUCTION NOTES:

- ALL NEW EXTERIOR WALLS AT ATTIC LEVEL SHALL BE 2x6 STRUCTURALLY ACCEPTABLE SPRUCE PINE #2 FIR CONSTRUCTION WITH BLOCKING AS REQUIRED BY APPLICABLE BUILDING CODES. EXTERIOR SHEATHING SHALL BE 1/2" PLYWOOD WITH WATER-RESISTIVE BARRIER (ZIP SYSTEM OR EQUAL) & ATTACHED TO FRAMING WITH 10d GALVANIZED NAILS AT 4" OC AT PANEL EDGES AND 12" OC AT INTERMEDIATE SUPPORTS. PROVIDE BLOCKING AT ALL PANEL EDGES.
- PROVIDE 3/4" CEDAR SHINGLES TO MATCH EXISTING (INCLUDING EXPOSURE) OVER 1/4" THICK RAIN SHIELD OVER SUBSTRATE. CAVITIES OF ALL NEW WALL CONSTRUCTION SHALL BE FULLY INSULATED & R-20 RATED TO COMPLY WITH REQUIREMENTS OF CURRENT ENERGY CODE.
- PROVIDE BLOCKING UNDER ALL NEW POSTS & NEW BUILT-UP POSTS IN NEW & EXISTING WALLS AS INDICATED.
- PRIOR TO INSTALLING NEW WINDOWS, PROVIDE STRETCHABLE TAPE FLASHING TO PROTECT ANY EXPOSED WOOD FRAMING. STARTING WITH SILL PAN, CARRY FLASHING UP JAMB AT LEAST 4"; SECONDLY, APPLY FLASHING TO JAMBS & LASTLY TO THE HEAD JAMB, MAKING SURE ALL UPPER FLASHING OVERLAPS LOWER FLASHING BY 4" MINIMUM. COMPLETE CONTINUITY BY INSTALLING ADDITIONAL STRETCHABLE FLASHING TAPE AT UPPER CORNERS OF OPENING.
- UTILIZE SIMILAR PROCEDURE TO PROTECT ANY EXPOSED WOOD FRAMING FOR NEW DOOR OPENINGS.

GENERAL ELEVATION NOTES for SIDING & WINDOWS:

- AS SHOWN, NEW SHINGLE SIDING ON GABLE ENDS OF BUILDING OCCUR WITHIN APPROX 2'-0" OF RAKES - HOWEVER, WITH COMPELLING REASON & APPROVAL OF OWNERS, CONTRACTOR MAY BE ALLOWED TO REPLACE ALL SHINGLES ABOVE THE LEVEL OF THE ATTIC SUBFLOOR.
- ALL NEW SHINGLE SIDING SHOWN ON EAST & WEST SIDES OF BUILDING OCCUR ABOVE THE LEVEL OF THE ATTIC SUBFLOOR.
- ALL NEW WINDOWS & DOORS ARE LABELED - REFER TO WINDOW & DOOR SCHEDULES ON SHEET AD-0.03. EXISTING WINDOWS & DOORS WITHOUT LABELS WILL REMAIN.



Progress Issues:

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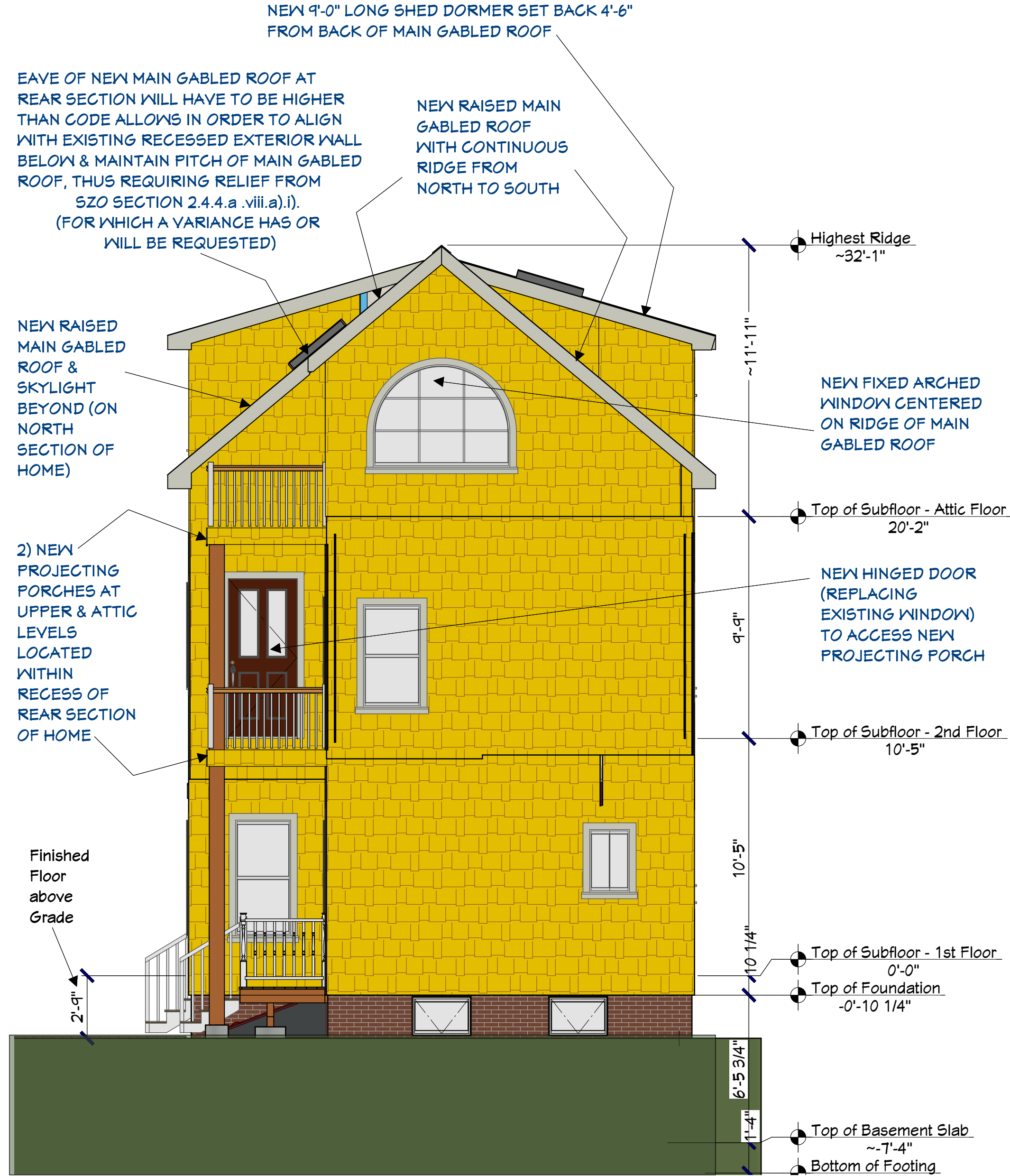
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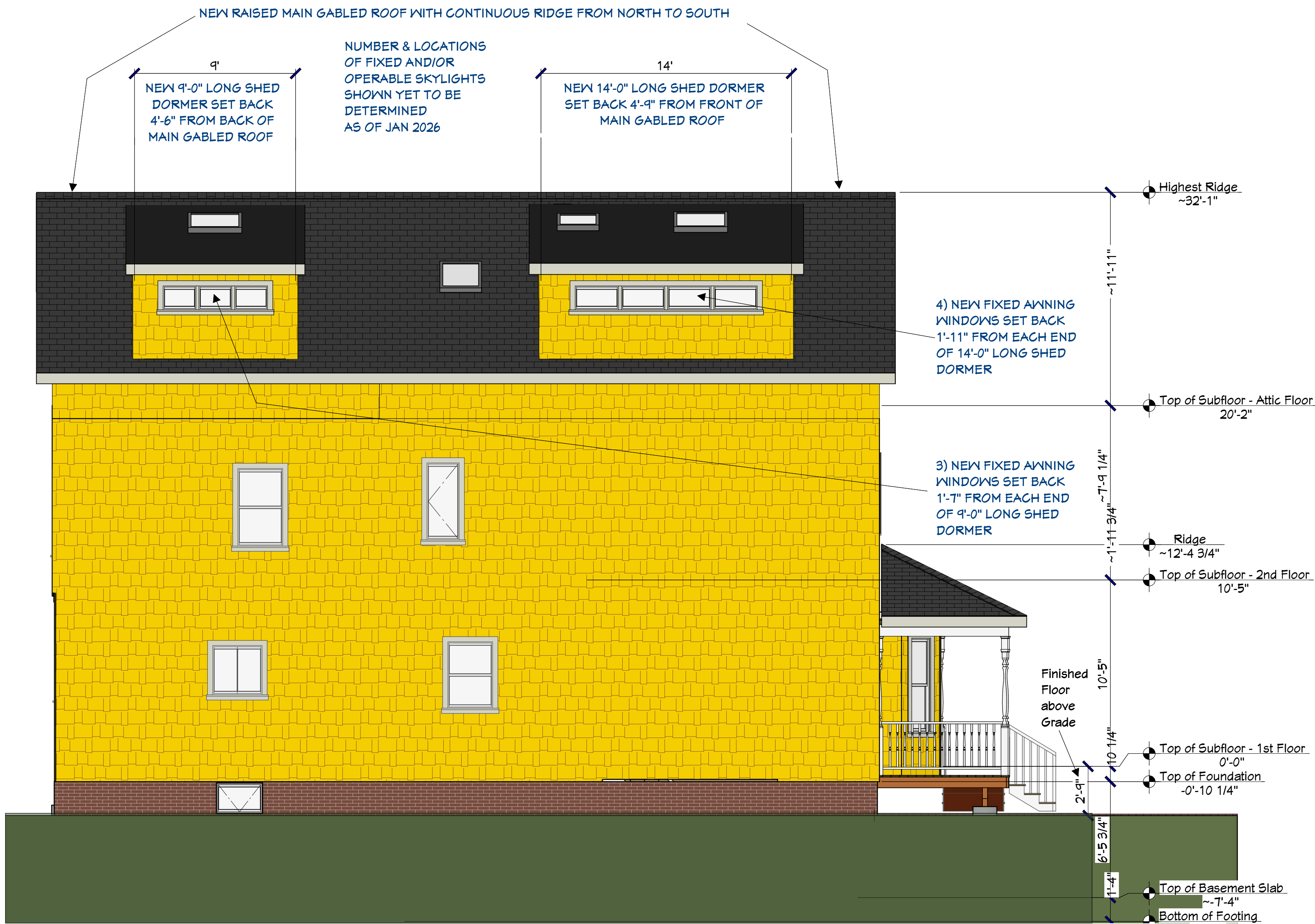
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AD-3.1201 South Elevation (looking North)

1/4" = 1'-0"

Looking North toward Back of House



AD-3.1202 East Elevation (looking West)

1/4" = 1'-0"

Looking West toward Inactive Side of House

GENERAL ELEVATION NOTES for ROOFS & DORMERS:

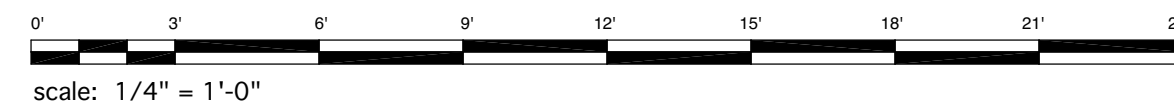
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Progress Issues:

11/05/25	SOMERVILLE PLANNING
01/15/26	SHARON & WHISPERING DEER
03/03/26	Pre-Submittal Meeting w/PPZ
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Bid Issues:

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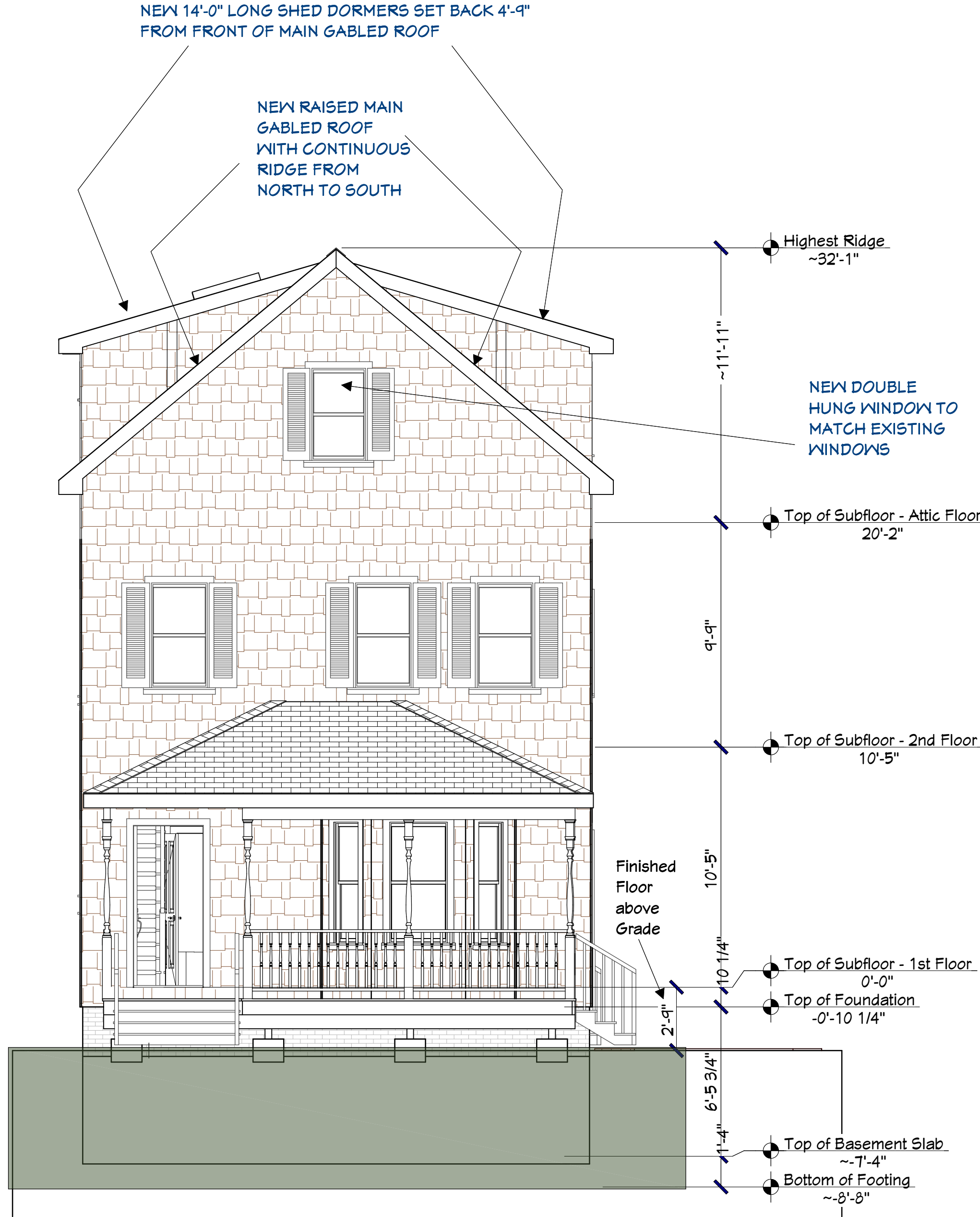
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AD-3.1301 Existing North Elevation (looking South)

1/4" = 1'-0"

Looking South toward Front of House



AD-3.1302 New North Elevation (looking South)

1/4" = 1'-0"

Looking South toward Front of House

GENERAL ELEVATION NOTES for ROOFS & DORMERS:

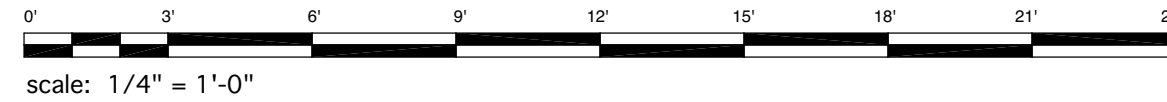
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Progress Issues:

01/15/26 SHARON & WHISPERING DEER
03/03/26 Pre-Submittal Meeting w/PPZ
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Bid Issues:

Construction Issues:

Revision Issues:

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SHED DORMER DIMENSIONS @ FRONT PORTION

A. FACE WIDTH OF EAST & WEST DORMERS = 14'-0" TOTAL, (WITH 4 WINDOWS @ 2'-5" = 9'-8" plus 4'-4")
B. FACADE & REAR WALL SETBACKS = 4'-9" (>3'-0" REQ'D)
C. RIDGE SETBACK OF ALL DORMERS = 1'-0"
4. SECTION 3.1.13.i.i.

SHED DORMER DIMENSIONS @ REAR PORTION

A. FACE WIDTH OF EAST DORMER at SOUTH PORTION = 9'-0" TOTAL, (3 WINDOWS @ 2'-0" = 6'-0" plus 3'-0")
B. FACADE & REAR WALL SETBACK = 4'-6" (>3'-0" REQ'D)
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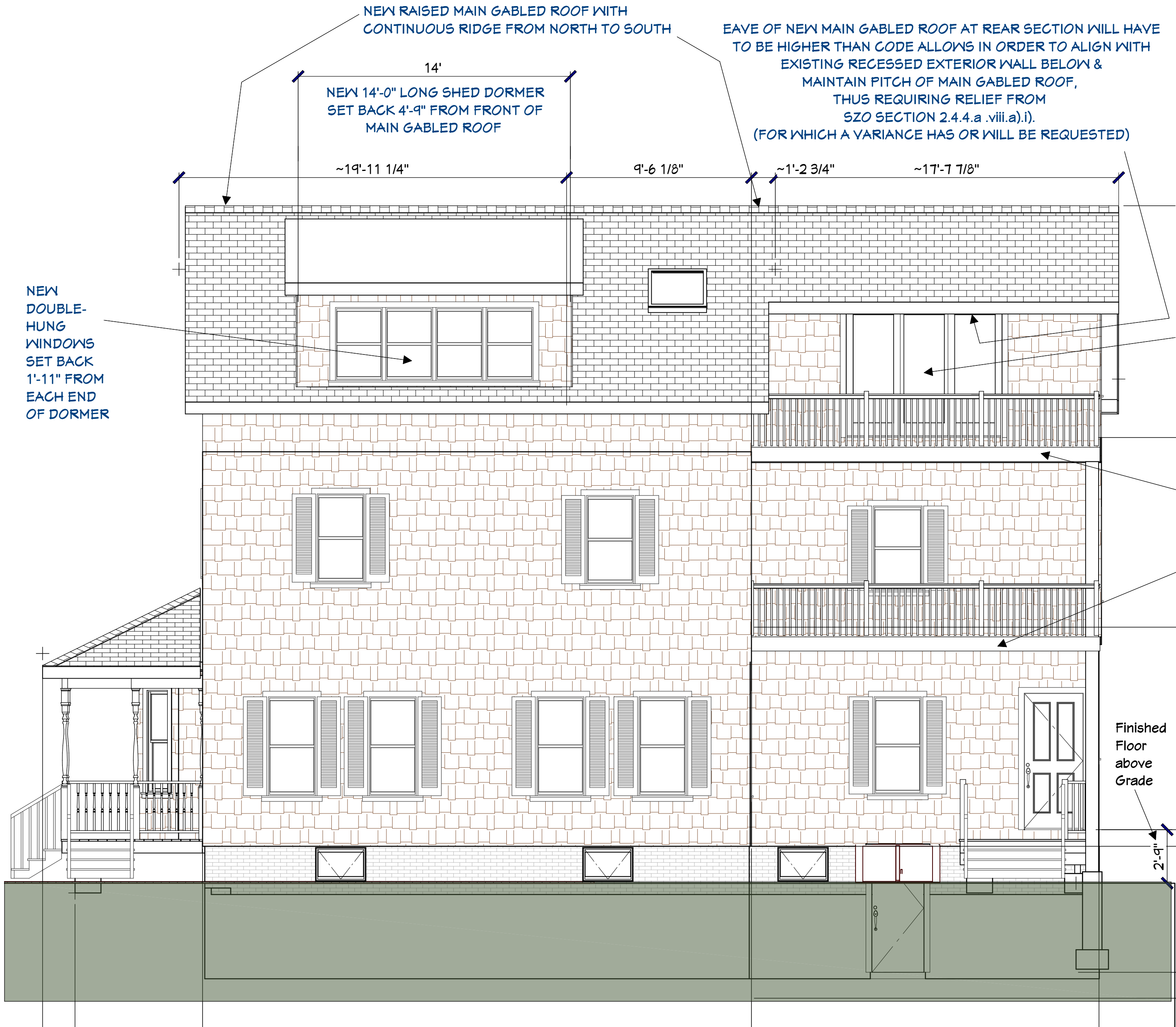
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AD-3.1401 Existing West Elevation (looking East)

1/4" = 1'-0"

Looking East toward Active (Driveway) Side of House



AD-3.1402 New West Elevation (looking East)

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Looking East toward Active (Driveway) Side of House

GENERAL ELEVATION NOTES for ROOFS & DORMERS:

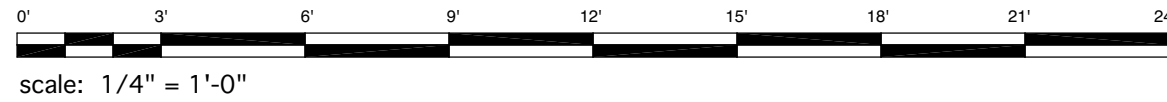
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- THE DESIGNS, DETAILS, NOTES, ETC. AS SHOWN AND/OR CALLED FOR ON ONE DRAWING OF THE CONTRACT DOCUMENTS SHALL APPLY TO ALL DRAWINGS COMPRISING THE CONTRACT DOCUMENTS.
- IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT THE ARCHITECTURE & INTERIOR DESIGNS DELINEATED HEREIN COMPLY WITH ALL APPLICABLE CODES IN EFFECT AT THE TIME OF CONSTRUCTION AND/OR INSTALLATION. HOWEVER, CODE COMPLIANCE SHALL BE THE RESPONSIBILITY OF CONTRACTOR(S), AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR INTERIOR DESIGNER FOR RESOLUTION.
- CONTRACTOR(S) SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING SITE CONDITIONS & DIMENSIONS IN FIELD.
- DO NOT SCALE DRAWINGS FROM PRINTS OR REPRODUCTIONS. SCALE INDICATED IS VALID ON ORIGINAL, 24"X 36" DRAWING.

Progress Issues:

01/15/26	SHARON & WHISPERING DEER
03/03/26	Pre-Submittal Meeting w/PPZ
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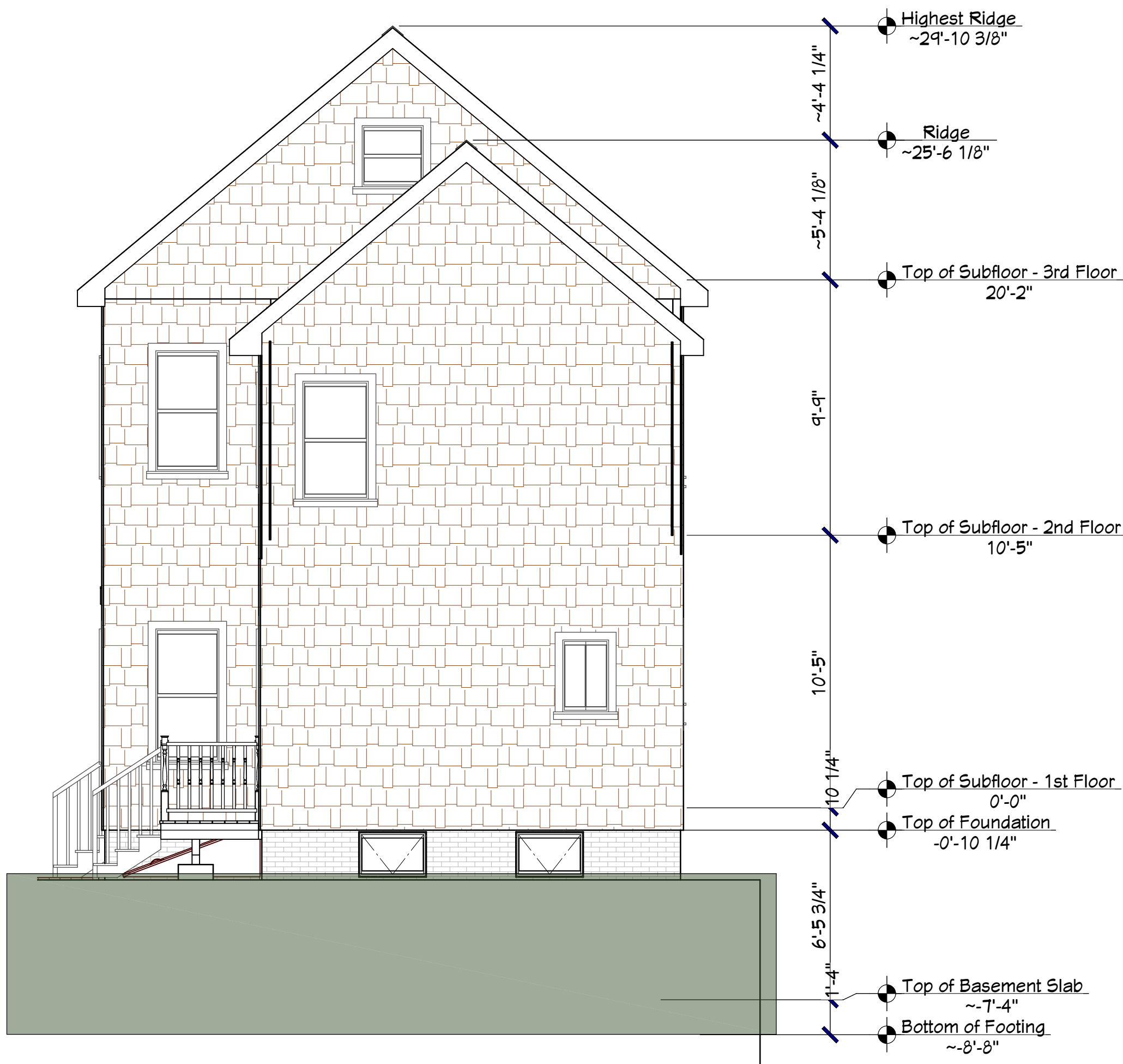
Existing & New
Elevations
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AD-3.14

03/20/2026

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AD-3.1501 Existing South Elevation (looking North)

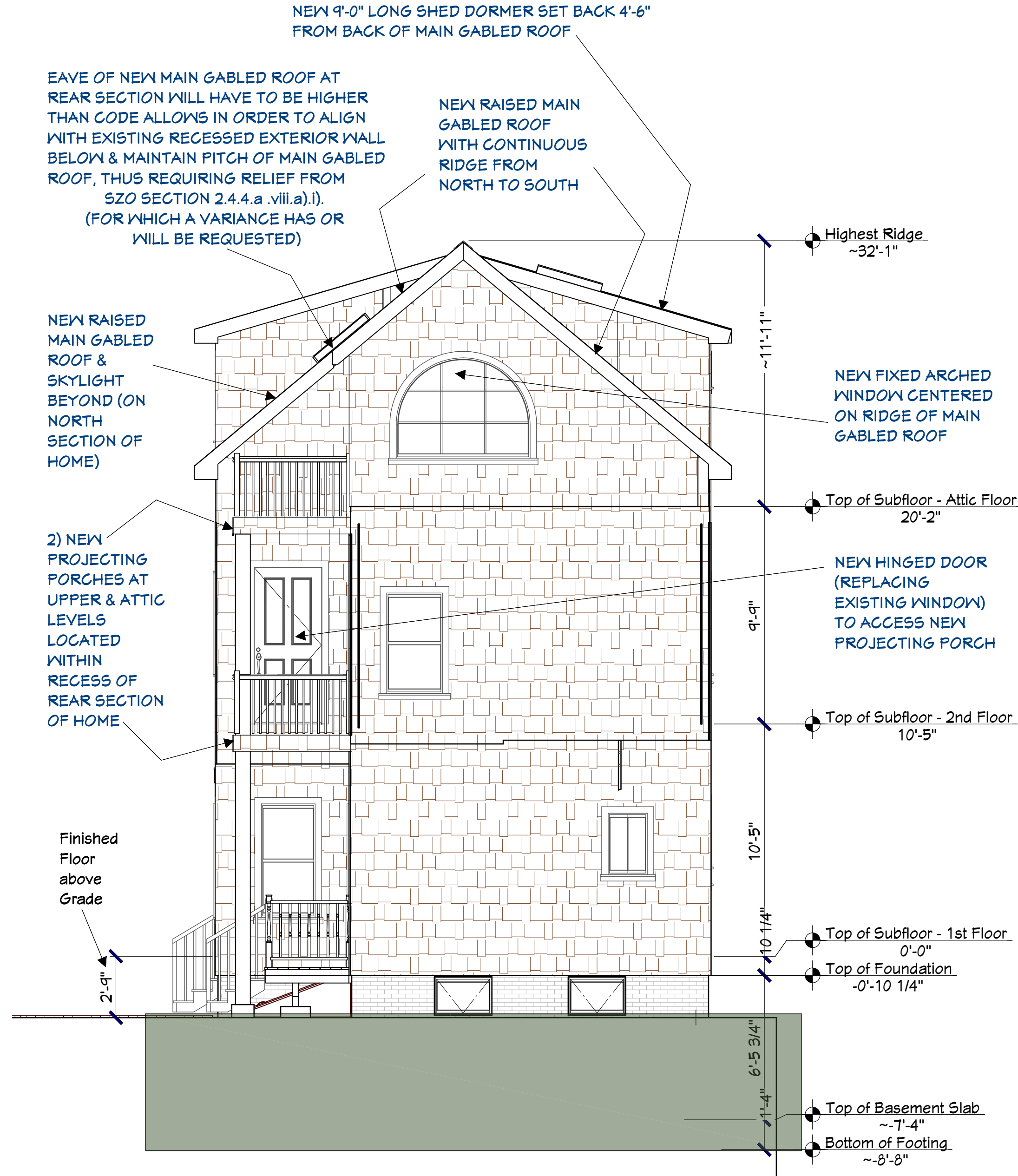
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AD-3.15

03/20/2026

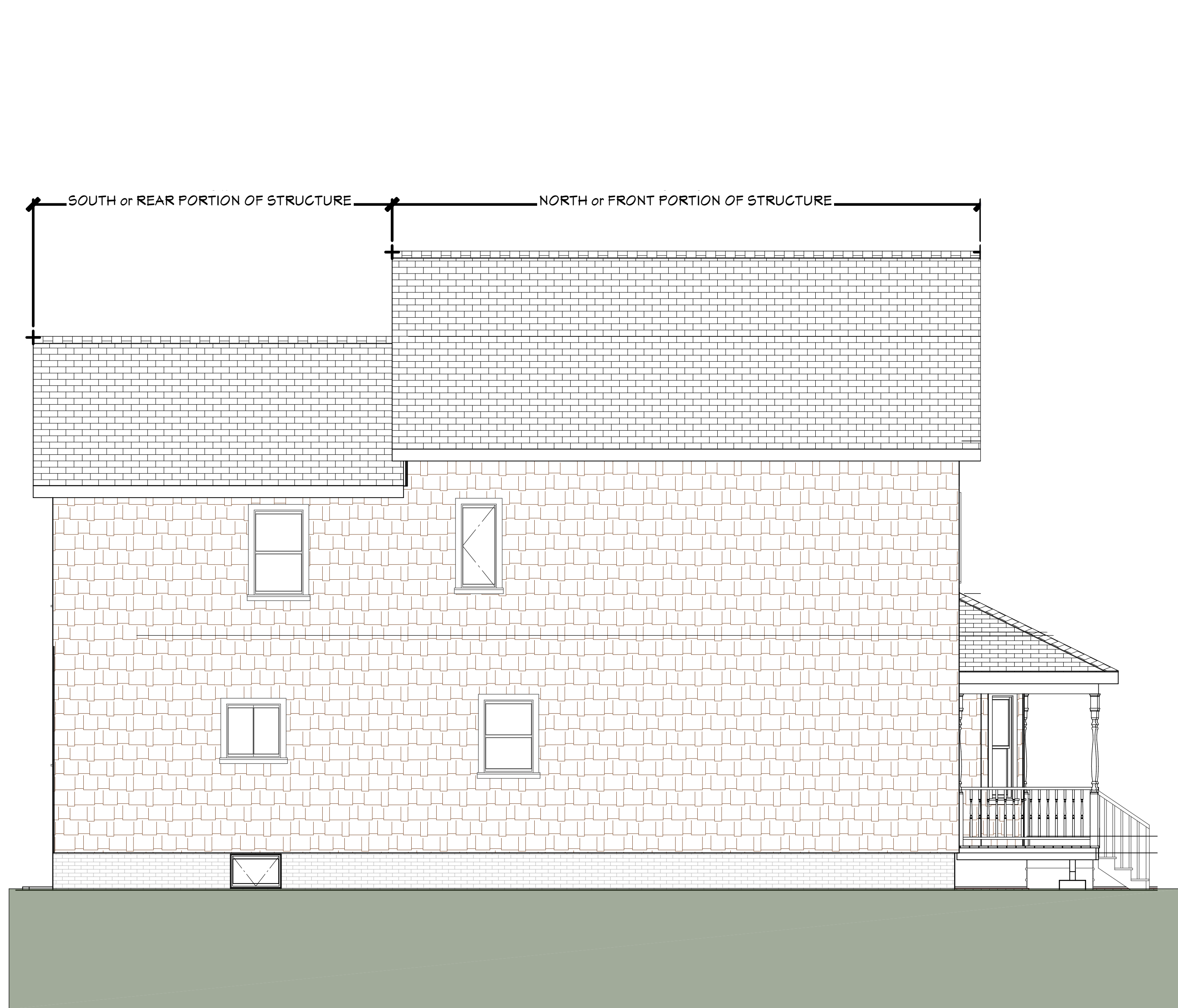
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c). CUMULATIVE WIDTH OF WEST DORMER = 14'-0", or 50% OF EAVE/RIDGE LENGTH (28'-0") OF ROOF | |
| 6. SECTION 3.1.13.h. | PROJECTING PORCH - DIMENSIONS FOR SIDE FACING COMPONENTS:
A. 17'-8" WIDTH EXCEEDS 4'-0" REQ'D B. 5'-0" PROJECTION EXCEEDS 4'-0" REQ'D D. COMPLIES WITH 1 PER STORY ALLOWED | | |

Exception to Full Compliance from which Owners Seek Relief in their Application for a Variance

THE ONLY EXCEPTION TO FULL COMPLIANCE WOULD APPLY TO THE REAR PORTION OF THE STRUCTURE WHERE THE NEW ROOF RAFTERS ON THE WEST SIDE OF THE BUILDING WOULD INTERSECT THE NEW WALL FRAMING DIRECTLY OVER THE EXISTING RECESSED EXTERIOR WALL AT APPROXIMATELY 7'-4" ABOVE THE FINISHED FLOOR OF THE HALF-STORY SO THAT THE NEW ROOF WOULD BOTH ALIGN WITH AND MATCH THE PITCH & RIDGE HEIGHT OF THE NEW RAISED MAIN ROOF SO THAT A COMMON RIDGE COULD RUN CONTINUOUSLY FROM NORTH TO SOUTH.

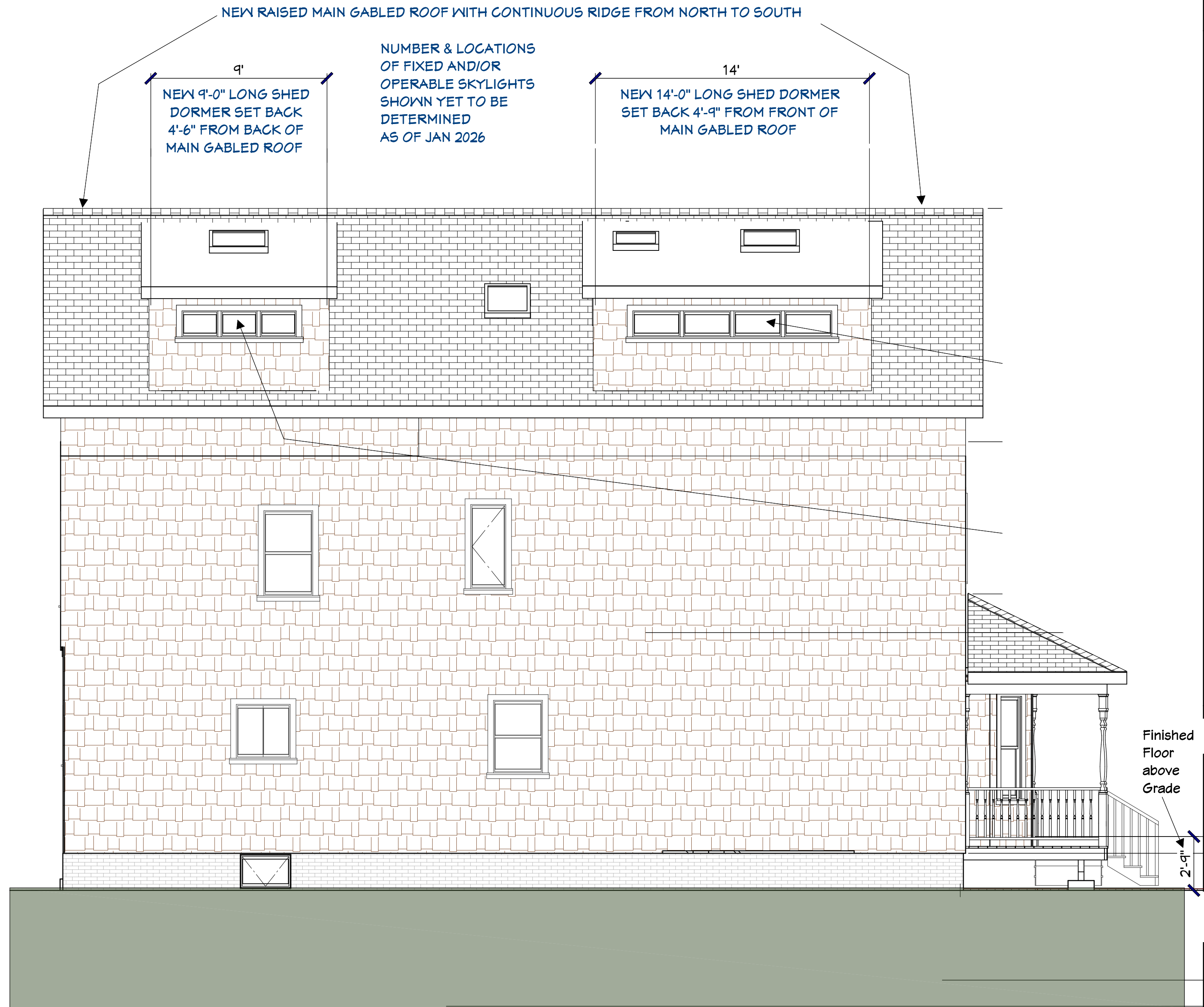
The Owners are REQUESTING RELIEF from the REQUIREMENTS OF SZO SECTION 2.4.4.a.viii.a). Applying Only to the New Pitched Roof on the West Side of Rear Portion of the Existing Residence



AD-3.1601 Existing East Elevation (looking West)

$$1/4'' = 1'-0''$$

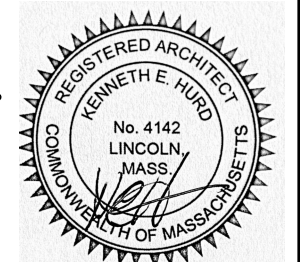
Looking West toward Inactive Side of House



AD-3.1602 New East Elevation (looking West)

1/4" = 1'-0"

Looking West toward Inactive Side of House



KENNETH E. HURD, ARCHITECT
Integrated Architecture & Interior Design
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781-259-8900

1. THE DESIGNS, DETAILS, NOTES, ETC. AS SHOWN AND/OR CALLED FOR ON ONE DRAWING OF THE CONTRACT DOCUMENTS SHALL APPLY TO ALL DRAWINGS COMPRISING THE CONTRACT DOCUMENTS.
2. IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT THE ARCHITECTURE & INTERIOR DESIGNS DELINEATED HEREIN COMPLY WITH ALL APPLICABLE CODES IN EFFECT AT THE TIME OF CONSTRUCTION AND/OR INSTALLATION. HOWEVER, CODE COMPLIANCE SHALL BE THE RESPONSIBILITY OF CONTRACTOR(S). AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR INTERIOR DESIGNER FOR RESOLUTION.
3. CONTRACTOR(S) SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING SITE CONDITIONS & DIMENSIONS IN FIELD.
4. DO NOT SCALE DRAWINGS FROM PRINTS OR REPRODUCTIONS. SCALE INDICATED IS VALID ON ORIGINAL 24" X 36" DRAWING.

Progress Issues:

01/15/26	SHARON & WHISPERING DEE
03/03/26	Pre-Submittal Meeting w/PP
03/20/26	CitizenServe Submittal

Bid Issues:

Construction Issues:

Revision Issues:

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Integrated Architecture & Interior Design
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Proposed Residence Renovation

22 Park Avenue, Somerville, MA 02144

Sharon Gadonniex & Whispering Deer

Somerville, MA 02144

GENERAL ELEVATION NOTES for ROOFS & DORMERS:

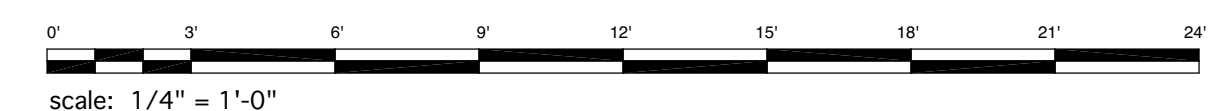
1. NONE OF THE EXISTING ROOFS (NOT SHOWN) ARE TO REMAIN.
2. THE MAIN GABLED ROOFS WITH ASPHALT SHINGLES ON EAST & WEST SIDES OF A COMMON RIDGE ARE NEW & SHALL MATCH THE PITCH (APPROX 10:12) OF EXISTING ROOFS BUT LOCATED APPROX 2'-0" HIGHER THAN EXISTING RIDGE AS ULTIMATELY DETERMINED BY COMPLIANCE WITH THE SOMERVILLE ZONING ORDINANCE (SZO) 2.4.4.a.viii.a).i., WHICH REQUIRES THAT NEW ROOF RAFTERS INTERSECT THE EXTERIOR WALLS AT A HEIGHT NO MORE THAN 2'-0" ABOVE FINISH FLOOR OF THE ATTIC.
3. THE ONLY EXCEPTION TO NOTE #2 WOULD APPLY TO THE EXISTING RECESSED WEST WALL AT THE REAR PORTION OF THE STRUCTURE.
4. ALL NEW SHED DORMERS WILL HAVE SHALLOW (3.5:12) PITCHED ROOFS WITH FULL ICE SHIELD & EPDM MEMBRANE.

EXTERIOR WALL CONSTRUCTION NOTES:

1. ALL NEW EXTERIOR WALLS AT ATTIC LEVEL SHALL BE 2x6 STRUCTURALLY ACCEPTABLE SPRUCE PINE #2 FIR CONSTRUCTION WITH BLOCKING AS REQUIRED BY APPLICABLE BUILDING CODES. EXTERIOR SHEATHING SHALL BE 1/2" PLYWOOD WITH WATER-RESISTIVE BARRIER (ZIP SYSTEM OR EQUAL) & ATTACHED TO FRAMING WITH 10d GALVANIZED NAILS AT 4" OC AT PANEL EDGES AND 12" OC AT INTERMEDIATE SUPPORTS. PROVIDE BLOCKING AT ALL PANEL EDGES.
2. PROVIDE 3/4" CEDAR SHINGLES TO MATCH EXISTING (INCLUDING EXPOSURE) OVER 1/4" THICK RAIN SHIELD OVER SUBSTRATE. CAVITIES OF ALL NEW WALL CONSTRUCTION SHALL BE FULLY INSULATED & R-20 RATED TO COMPLY WITH REQUIREMENTS OF CURRENT ENERGY CODE.
3. PROVIDE BLOCKING UNDER ALL NEW POSTS & NEW BUILT-UP POSTS IN NEW & EXISTING WALLS AS INDICATED.
4. PRIOR TO INSTALLING NEW WINDOWS, PROVIDE STRETCHABLE TAPE FLASHING TO PROTECT ANY EXPOSED WOOD FRAMING. STARTING WITH SILL PAN, CARRY FLASHING UP JAMB AT LEAST 4"; SECONDLY, APPLY FLASHING TO JAMBS & LASTLY TO THE HEAD JAMB, MAKING SURE ALL UPPER FLASHING OVERLAPS LOWER FLASHING BY 4" MINIMUM. COMPLETE CONTINUITY BY INSTALLING ADDITIONAL STRETCHABLE FLASHING TAPE AT UPPER CORNERS OF OPENING.
5. UTILIZE SIMILAR PROCEDURE TO PROTECT ANY EXPOSED WOOD FRAMING FOR NEW DOOR OPENINGS.

GENERAL ELEVATION NOTES for SIDING & WINDOWS:

1. AS SHOWN, NEW SHINGLE SIDING ON GABLE ENDS OF BUILDING OCCUR WITHIN APPROX 2'-0" OF RAKES - HOWEVER, WITH COMPELLING REASON & APPROVAL OF OWNERS, CONTRACTOR MAY BE ALLOWED TO REPLACE ALL SHINGLES ABOVE THE LEVEL OF THE ATTIC SUBFLOOR.
2. ALL NEW SHINGLE SIDING SHOWN ON EAST & WEST SIDES OF BUILDING OCCUR ABOVE THE LEVEL OF THE ATTIC SUBFLOOR.
3. ALL NEW WINDOWS & DOORS ARE LABELED - REFER TO WINDOW & DOOR SCHEDULES ON SHEET AD-0.03. EXISTING WINDOWS & DOORS WITHOUT LABELS WILL REMAIN.



CLIENT: Sharon Gadonniex & Whispering Deer
Somerville, MA 02144

PROJECT: Proposed Residence Renovation
22 Park Avenue, Somerville, MA 02144

ISSUED AS:
Request for Hardship Variance Issue
(NOT FOR CONSTRUCTION)

Existing & New Elevations Comparison

AD-3.16

03 / 20 / 2026



1. THE DESIGNS, DETAILS, NOTES, ETC. AS SHOWN AND/OR CALLED FOR ON ONE DRAWING OF THE CONTRACT DOCUMENTS SHALL APPLY TO ALL DRAWINGS COMPRISING THE CONTRACT DOCUMENTS.

2. IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT THE ARCHITECTURE & INTERIOR DESIGNS DELINEATED HEREIN COMPLY WITH ALL APPLICABLE CODES IN EFFECT AT THE TIME OF CONSTRUCTION AND/OR INSTALLATION. HOWEVER, CODE COMPLIANCE SHALL BE THE RESPONSIBILITY OF CONTRACTOR(S), AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR INTERIOR DESIGNER FOR RESOLUTION.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING SITE CONDITIONS & DIMENSIONS IN FIELD.

4. DO NOT SCALE DRAWINGS FROM PRINTS OR REPRODUCTIONS. SCALE INDICATED IS VALID ON ORIGINAL 24"X36" DRAWING.

10/20/25	Sharon & Whispering Deer
----------	--------------------------

01/15/26	SHARON & WHISPERING DEER
03/03/26	Pre-Submittal Meeting w/PPZ
03/20/26	CitizenServe Submittal

--	--



NO SCALE

Showing New Roof Configuration & New Shed Dormer at New Half Story Level



NO SCALE

Showing New Roof Configuration & Projecting Porches



Proposed Residence Renovation

22 Park Avenue, Somerville, MA 02144

Sharon Gadonniex & Whispering Deer

Deer
Cummingsville, MA 03744

1. THESE 3D VIEWS OF THE RELEVANT EXTERIOR ELEVATIONS OF THE PROPOSED PROJECT ARE OFFERED FOR ILLUSTRATIVE PURPOSES ONLY. THEY ARE MEANT TO HELP ALL PERMITTING AUTHORITIES UNDERSTAND THE OVERALL VISION OF THE PROJECT AND TO AID IN HOW THE RENOVATION WILL BE PERCEIVED BY NEIGHBORS AND THE SURROUNDING COMMUNITY.
2. EVERY EFFORT HAS BEEN MADE TO REPRESENT THE 3D MODEL AS ACCURATELY AS POSSIBLE, YET BECAUSE OF THE LIMITATIONS OF THE COMPUTER PROGRAM, NOT ALL CONDITIONS MAY BE REPRESENTED PERFECTLY.

AD-3.31

03 / 20 / 2026



CLIENT: Sharon Gadonniex & Whispering Deer
Somerville, MA 02144

PROJECT: Proposed Residence Renovation
22 Park Avenue, Somerville, MA 02144

ISSUED AS:
Request for Hardship Variance Issue
(NOT FOR CONSTRUCTION)

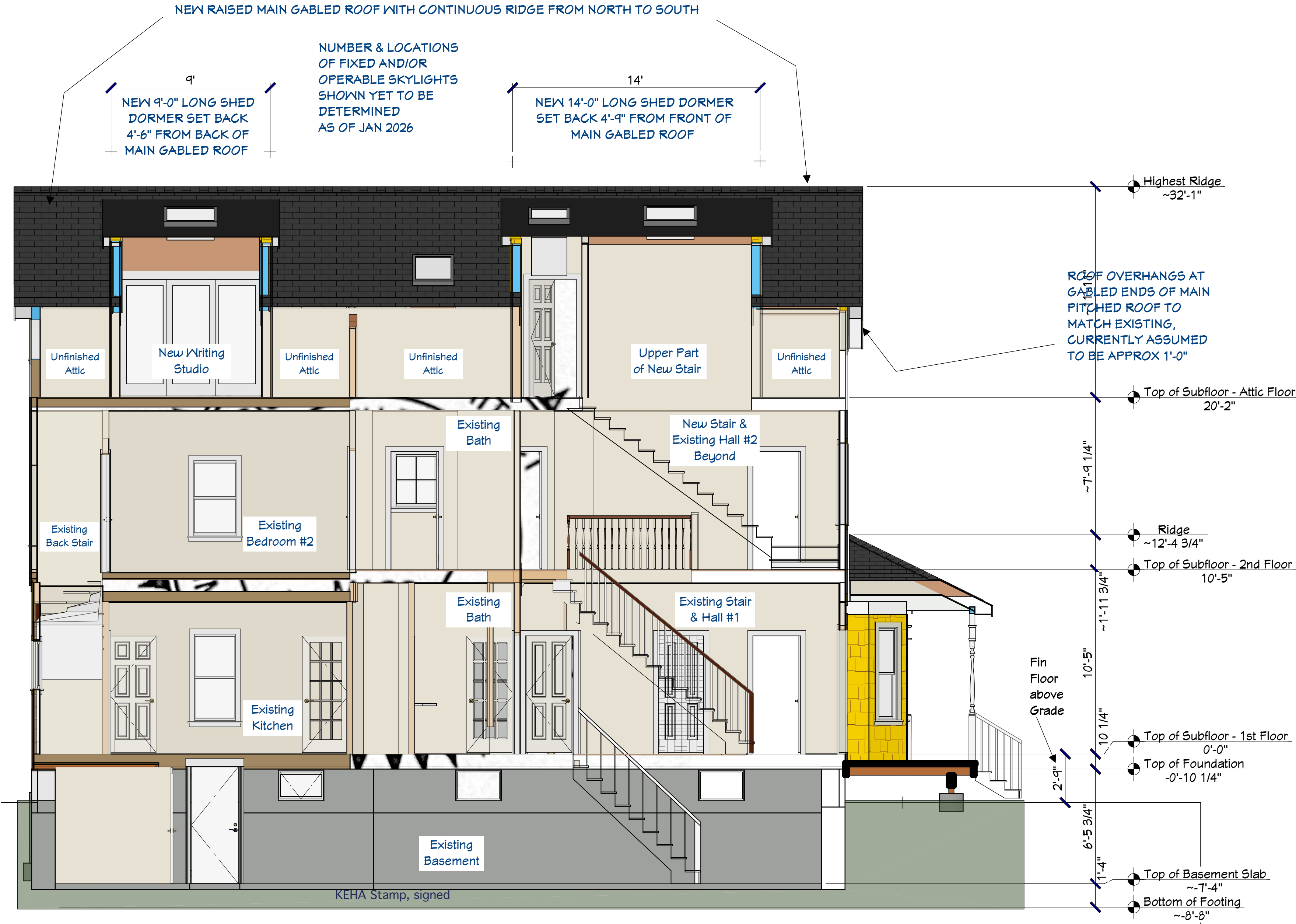
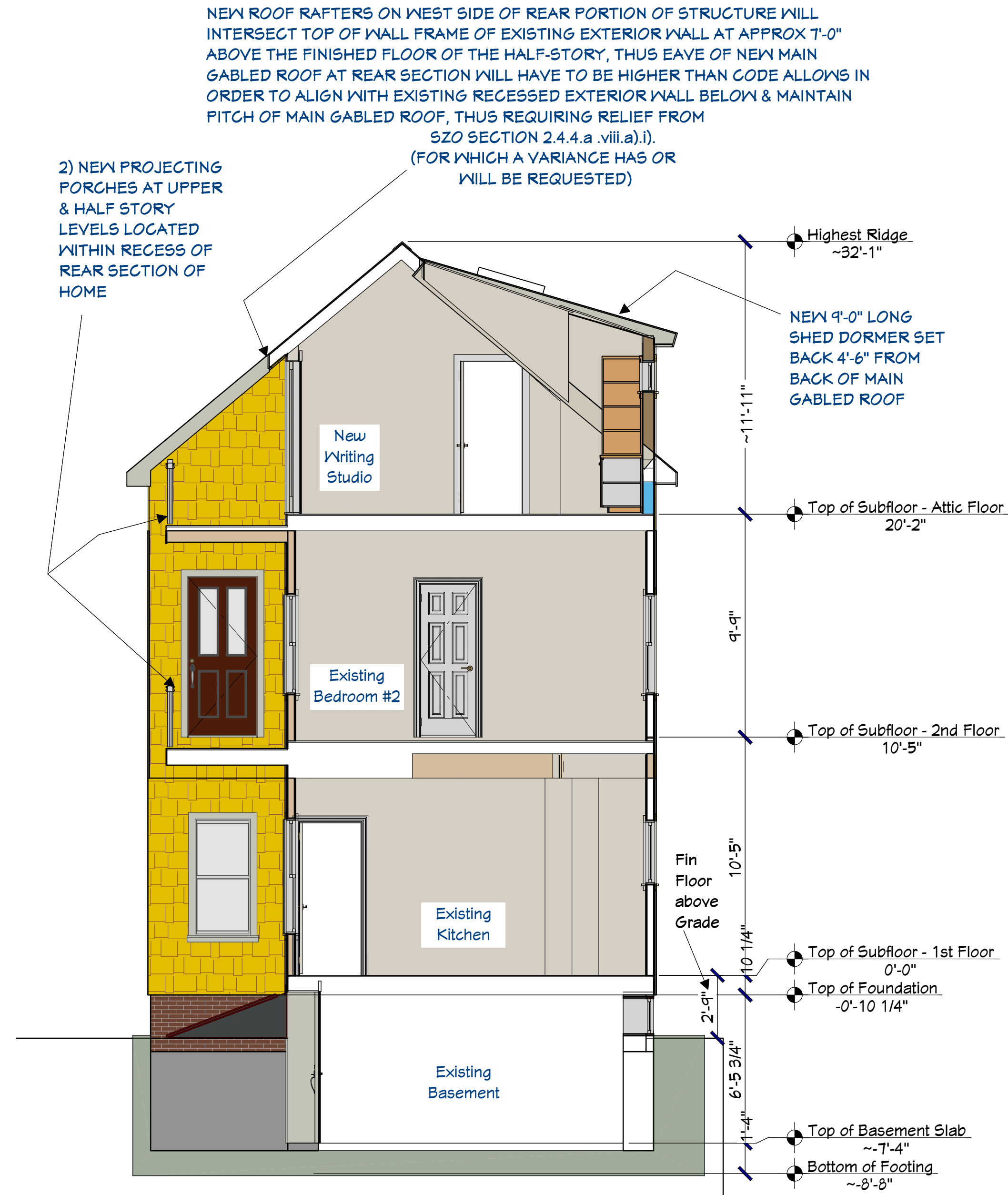
Compliance with Applicable Sections of the Somerville Zoning Ordinance for Renovations in the NR District - Except as Noted for West Roof in Rear Portion of Residence

1. SECTION 2.4.4.a.viii.a).i). NEW ROOF RAFTERS WILL INTERSECT THE TOP OF WALL FRAME OF THE EXTERIOR WALLS AT 2'-0" ABOVE THE FINISHED FLOOR OF THE HALF-STORY EXCEPT AT EXISTING RECESSED WEST WALL OF BACK PORTION OF RESIDENCE - THE AREA FOR WHICH RELIEF IS REQUESTED
2. SECTION 2.4.4.a.viii.a).ii). CEILING HEIGHT UNDER NEW DORMERS OF HALF STORY WILL BE APPROXIMATELY 10'-0", or 2'-0" LOWER THAN 12'-0" MAX ALLOWED
3. SECTION 3.1.13.i.i). SHED DORMER DIMENSIONS @ FRONT PORTION A. FACE WIDTH OF EAST & WEST DORMERS = 14'-0" TOTAL, (WITH 4 WINDOWS @ 2'-5" = 9'-8" plus 4'-4") B. FACADE & REAR WALL SETBACKS = 4'-9" (>3'-0" REQ'D) C. RIDGE SETBACK OF ALL DORMERS = 1'-0"
4. SECTION 3.1.13.i.i). SHED DORMER DIMENSIONS @ REAR PORTION A. FACE WIDTH OF EAST DORMER at SOUTH PORTION = 9'-0" TOTAL, (3 WINDOWS @ 2'-0" = 6'-0" plus 3'-0") B. FACADE & REAR WALL SETBACK = 4'-6" (>3'-0" REQ'D) C. RIDGE SETBACK OF DORMER = 1'-0"
5. SECTION 3.1.13.i.ii). SHED DORMER STANDARDS c). CUMULATIVE WIDTH OF EAST DORMERS = 14'-0" + 9'-0", or 50% OF EAVE/RIDGE LENGTH (46'-0") OF ROOF c). CUMULATIVE WIDTH OF WEST DORMER = 14'-0", or 50% OF EAVE/RIDGE LENGTH (28'-0") OF ROOF
6. SECTION 3.1.13.h). PROJECTING PORCH - DIMENSIONS FOR SIDE FACING COMPONENTS:
A. 17'-8" WIDTH EXCEEDS 4'-0" REQ'D B. 5'-0" PROJECTION EXCEEDS 4'-0" REQ'D D. COMPLIES WITH 1 PER STORY ALLOWED

Exception to Full Compliance from which Owners Seek Relief in their Application for a Variance

THE ONLY EXCEPTION TO FULL COMPLIANCE WOULD APPLY TO THE REAR PORTION OF THE STRUCTURE WHERE THE NEW ROOF RAFTERS ON THE WEST SIDE OF THE BUILDING WOULD INTERSECT THE NEW WALL FRAMING DIRECTLY OVER THE EXISTING RECESSED EXTERIOR WALL AT APPROXIMATELY 7'-4" ABOVE THE FINISHED FLOOR OF THE HALF-STORY SO THAT THE NEW ROOF WOULD BOTH ALIGN WITH AND MATCH THE PITCH & RIDGE HEIGHT OF THE NEW RAISED MAIN ROOF SO THAT A COMMON RIDGE COULD RUN CONTINUOUSLY FROM NORTH TO SOUTH.

The Owners are REQUESTING RELIEF from the REQUIREMENTS OF SZO SECTION 2.4.4.a.viii.a).i). Applying Only to the New Pitched Roof on the West Side of Rear Portion of the Existing Residence



AD-3.2201 Building Section looking North

1/4" = 1'-0" with view under New Shed Dormer at back showing New Writing Aerie in Attic

AD-3.2202 Building Section looking West

1/4" = 1'-0" with view under pitched roof & 2) New Shed Dormers on east side showing New Writing Aerie & Stair leading to Attic

SPECIFIC BUILDING SECTION NOTES FOR THESE VIEWS:

- SECTION AD-3.2201 IS CUT THROUGH THE REAR PORTION OF THE STRUCTURE WHERE THE WIDTH BETWEEN EXISTING EXTERIOR WALLS IS NARROWER THAN THE FRONT PORTION OF THE RESIDENCE. IT SHOWS A ROOF CONFIGURATION INCLUDING A SHALLOW SHED DORMER ON THE EAST SIDE OPPOSITE THE ABRIDGED OR SHORTENED PORTION OF THE THE MAIN PITCHED ROOF ON THE WEST SIDE OF THE HOME.
- SECTION AD-3.2202 IS CUT LONGITUDINALLY THROUGH THE EXISTING STAIR FROM THE BASEMENT TO THE MAIN FLOOR, THE EXISTING STAIR FROM THE MAIN FLOOR TO THE UPPER (SECOND) FLOOR & THE NEW STAIR FROM THE SECOND FLOOR TO ACCESS THE HALF STORY LEVEL.
- ALL EXTERIOR WALLS SHOWN BELOW THE ATTIC ARE EXISTING 2x4 CONSTRUCTION & WILL REMAIN. ALL NEW EXTERIOR HALF STORY WALLS SHALL BE 2x6 CONSTRUCTION.
- OTHER THAN THE NEW STAIR, A NEW DOOR TO ACCESS THE PROJECTING PORCH & THE POSSIBILITY OF SOME MINOR HVAC WORK IN THE BACK BEDROOM ON THE SECOND FLOOR, THERE IS LITTLE TO NO WORK ON OTHER THAN THE HALF STORY LEVEL OF THE HOME.
- THE HALF STORY LEVEL WILL RECEIVE ALL NEW FENESTRATION & INTERIOR FINISHES FOR FLOOR, WALLS & CEILINGS.
- THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE OF THE RENOVATION SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS' INSTRUCTIONS & THE CRITERIA OUTLINED IN TABLE R402.4.1.1 OF THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE, OR IECC.

BUILDING THERMAL ENVELOPE - INSULATION:

UNLESS OTHERWISE NOTED OR REASONABLY POSSIBLE, THE FOLLOWING CRITERIA SHALL APPLY ONLY TO THE RENOVATION & MINOR EXPANSION OF THE ATTIC AREAS:

CEILING	R-38 FOR NEW CEILINGS
FRAMED WALLS	R-20 FOR NEW 2x6 WALLS AT ATTIC
	R-13 FOR EXISTING 2x4 WALLS WHEN ACCESSIBLE
FLOORS	R-30 - N/A
CRAWL SPACE WALLS	R-10 - N/A

BUILDING THERMAL ENVELOPE - AIR BARRIERS:

- PROVIDE CONTINUOUS AIR BARRIER & INSULATION FOR ALL NEW EXTERIOR WALLS, FLAT & SLOPED CEILINGS OF NEW HABITABLE SPACES AT ATTIC LEVEL.
- PROVIDE CONTINUOUS AIR BARRIER & INSULATION FOR ALL EXISTING EXTERIOR WALLS, FLAT & SLOPED CEILINGS WHERE INTERIOR FINISHES MUST BE REMOVED OR REPLACED FOR THE ATTIC RENOVATION.
- SPECIFICALLY, PROVIDE COMPLETE AIR BARRIERS IN ADDITION TO INSULATION WHERE THE NEW BATHTUB IS LOCATED UNDER THE SLOPED ROOF.
- PROVIDE MINIMUM 1/4 THK RAIN SCREEN TO SHED WIND-BLOWN WATER INFILTRATION AT ALL NEW EXTERIOR WALLS IF A PROPER FLASHING & MEANS DRAINAGE CAN BE ACHIEVED WITHOUT COMPROMISING EXISTING WALL CONSTRUCTION BELOW.



Progress Issues:

11/05/25	SOMERVILLE PLANNING
01/15/26	SHARON & WHISPERING DEER
03/03/26	Pre-Submittal Meeting w/PPZ
03/20/26	CitizenServe Submittal

Bid Issues:

Construction Issues:

Revision Issues:

Compliance with Applicable Sections of the Somerville Zoning Ordinance for Renovations in the NR District – Except as Noted for West Roof in Rear Portion of Residence

Zoning Dimensional Standards Tables - Roofs, Dormers & Projecting Porches

SECTION 2.4.4.a.viii.a).i). Massing & Height / Number of Stories / Habitable Space / Roof Rafters

	Min Required	Max Allowed	Existing	Proposed
The Roof rafters must intersect the wall plate or top of wall frame of the exterior walls at a height up to two (2) feet above the finished floor of the half-story of a principal building type.	-	2'-0"	-	2'-0" (AT ALL WALLS EXCEPT AT EXISTING WEST WALL OF REAR PORTION OF RESIDENCE - THE AREA FOR WHICH RELIEF IS REQUESTED)

SECTION 2.4.4.a.viii.a).ii). Ceiling Height

	Min Required	Max Allowed	Existing	Proposed
Ceiling height of a half-story must not exceed twelve (12) feet in height at any point.	-	12'-0"	-	10'-0" +/-

SECTION 3.1.13.I.i. Shed Dormer: (@ Front Section) 2) PROPOSED DORMERS - ON EAST & WEST SIDES OF FRONT SECTION

	Min Required	Max Required	Existing	Proposed
DIMENSIONS				
A. Face Width (max)	-	Window(s) width + 36"	-	14'-0" (4 WINDOWS @ 2'-5" = 9'-8" plus 4'-4")
Side Wall Setback (min) Roof with eave	0 ft	-	-	0'
B. Facade & Rear Wall Setback	3 ft	-	-	4'-9" (@ FACADE)
C. Ridge Setback (min)	1 ft	-	-	1'-0"

SECTION 3.1.13.I.i. Shed Dormer: (@ Rear Section) 1) PROPOSED DORMER ON EAST SIDE OF REAR SECTION

	Min Required	Max Required	Existing	Proposed
DIMENSIONS				
A. Face Width (max)		Window(s) width + 36"	-	9'-0" (3 WINDOWS @ 2'-0" = 6'-0" plus 3'-0")
Side Wall Setback (min) Roof with eave	0 ft		-	0'
B. Facade & Rear Wall Setback	3 ft		-	4'-6" (@ REAR WALL)
C. Ridge Setback (min)	1 ft		-	1'-0"

SECTION 3.1.13.I.ii. Shed Dormer: (@ East Side) 2) PROPOSED DORMERS ON EAST SIDE OF RIDGE

Dormer Separation (min)	50% of width of eave/ridge length of the roof	-	14'-0" SEPARATION BETWEEN DORMERS & CUMULATIVE WIDTH OF DORMERS = 23'-0" (14'-0" + 9'-0") = 48% OF THE EAVE/RIDGE LENGTH (48'-0") OF THE ROOF
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SECTION 3.1.13.I.ii. Shed Dormer: (@ West Side) 1) PROPOSED DORMER ON WEST SIDE OF RIDGE

Dormer Separation (min)	50% of width of eave/ridge length of the roof	-	CUMULATIVE WIDTH OF DORMER = 14'-0" = 47% OF THE EAVE/RIDGE LENGTH (30'-0") OF THE ROOF
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SECTION 3.1.13.h. Projecting Porch 2) PROPOSED - ON 2ND & HALF-STORY LEVELS ON WEST SIDE OF REAR SECTION

	Min Required	Max Allowed	Existing	Proposed
DIMENSIONS				
A. Width (min)				
Front	12'-0"	-	-	-
Side & Rear	4'-0"	-	-	17'-8"
B. Projection (min)				
Front	6'-0"	-	-	-
Side & Rear	4'-0"	-	-	5'-3"
D. Floors (max)	-	1 per story of the building	-	1 PER STORY OF THE BUILDING
D. Setback Encroachment (max) Side & Rear	-	0 ft	-	0'

Exception to Full Compliance from which Owners Seek Relief in their Application for a Variance

THE ONLY EXCEPTION TO FULL COMPLIANCE WOULD APPLY TO THE REAR PORTION OF THE STRUCTURE WHERE THE NEW ROOF RAFTERS ON THE WEST SIDE OF THE BUILDING WOULD INTERSECT THE NEW WALL FRAMING DIRECTLY OVER THE EXISTING RECESSED EXTERIOR WALL AT APPROXIMATELY 7'-4" ABOVE THE FINISHED FLOOR OF THE HALF-STORY SO THAT THE NEW ROOF WOULD BOTH ALIGN WITH AND MATCH THE PITCH & RIDGE HEIGHT OF THE NEW RAISED MAIN ROOF SO THAT A COMMON RIDGE COULD RUN CONTINUOUSLY FROM NORTH TO SOUTH.

The Owners are REQUESTING RELIEF from the REQUIREMENTS OF SZO SECTION 2.4.4.a.viii.a).i). Applying Only to the New Pitched Roof on the West Side of Rear Portion of the Existing Residence

Calculations on the Extent of Proposed Demolition

The property is not in an Historic District, but becuse the current building was constructed in 1910, it is older than 75 years. The following calculations are offered to demonstrate that demolition work will not exceed 50% of the exterior surface area of the building, including walls and roofs.

Wall Surfaces to remain or be removed:

Total length of exterior walls	=	136'-0"
Height of existing exterior walls to remain	=	22'-10 1/2"
Total surface area of EXISTING EXTERIOR WALLS TO REMAIN (136 x 22.875)	=	3,111 sq ft
Total surface area of walls at gabled ends to be removed	=	153 sq ft

because these will become new 2x6 framed walls.

Total surface area of all EXISTING WALLS (3,111 + 153)	=	3,264 sq ft
--	---	-------------

Roof Surfaces to be removed:

Total length of existing HIGHER ROOF at north portion of building	=	30'-0"
Length of the rake on HIGHER ROOF	=	15'-0"
Total area of the HIGHER ROOFS to be removed (30' x 15' x 2)	=	900 sq ft
Total length of existing LOWER ROOF at south portion of building	=	19'-0"
Length of the rake on LOWER ROOF	=	11'-1 3/4"
Total area of the LOWER ROOFS to be removed (19' x 11'-1 3/4" x 2)	=	424 sq ft
The combined surface area of all EXISTING ROOFS TO BE REMOVED	=	1,324 sq ft

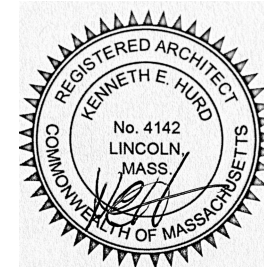
Summary of all Existing Exterior Surfaces:

Total surface area of all EXISTING WALLS (3,111 + 153)	=	3,264 sq ft
The combined surface area of all EXISTING ROOFS	=	1,324 sq ft
Total surface area of all EXISTING WALLS & ROOFS	=	4,588 sq ft

Summary of Surfaces to be removed:

Total surface area of EXISTING WALLS TO BE REMOVED	=	153 sq ft
The combined surface area of all EXISTING ROOFS TO BE REMOVED	=	1,324 sq ft
The combined surface area of EXISTING WALLS & ROOFS TO BE REMOVED	=	1,477 sq ft
The PROPORTION OF SURFACE AREA TO BE REMOVED (1,477 / 4,588)	=	32.2%

Therefore, it is assumed proposed project will not require review by the Historic Preservation Commission as allowed in the Demolition Review Ordinance.



GROSS FLOOR AREA SUMMARY:

GROSS FLOOR AREA (excl porch, deck)	EXISTING	CHANGE	NEW
BASEMENT (UNFINISHED)	904 SQFT	0 SQFT	904 SQFT
MAIN FLOOR	924 SQFT	0 SQFT	924 SQFT
SECOND FLOOR	904 SQFT	0 SQFT	904 SQFT
NEW PROJECTING PORCHES	-	188 SQFT	188 SQFT
ATTIC FLOOR	616 SQFT	288 SQFT	904 SQFT
TOTAL BUILDING AREA	3,348 SQFT	476 SQFT	3,824 SQFT

Progress Issues:

03/20/26 CitizenServe Submittal

Bid Issues:

Construction Issues:

Revision Issues:

LOT COVERAGE SUMMARY: MAX ALLOWABLE LOT COVERAGE PER SZO, Section 3.1.8.a.C = 60.0%				
Lot Area	EXISTING (70.0' x 36.0')	CHANGE	EXISTING + NEW	
	= 2520 sq ft, or 100%	0 sq ft, or 100%	2520 sq ft, or 100%	
EXISTING FOOTPRINT (basement only)	= 904 sq ft, or 35.8%	0 sq ft, or 0%	904 sq ft, or 35.8%	- NO CHANGE
EXISTING FRONT PORCH & BACK DECK	= 150 sq ft, or 6.0%	0 sq ft, or 0%	150 sq ft, or 6.0%	- NO CHANGE
NEW PROJECTING PORCHES	= 0 sq ft, or 0%	94 sq ft, or 4%	94 sq ft, or 4.0%	- PROPOSED
TOTALS	= 1054 sq ft, or 41.8%	94 sq ft, or 4%	1148 sq ft, or 45.8%	- PROPOSED

