

NEIGHBORHOOD MEETING REPORT

Property: 88 Winslow Avenue
Applicants: Theodore W. Lanman and Elizabeth Ann Keller
Owners: Theodore W. Lanman, Matthew Donovan Griisser and Elizabeth Ann Keller
Agent: Adam Dash, Esq.
Zoning District: Neighborhood Residence (NR")
In the ¼ mile Transit Area
Not in a Pedestrian Street District

Neighborhood Meeting Date: April 8, 2026

This is the required Neighborhood Meeting Report which is part of the zoning application process regarding the above-referenced property.

The April 8, 2026 neighborhood meeting was held via remote participation, beginning at 6:34 pm and was recorded by Adam Dash, Esq.

The slides used at the meeting are filed herewith.

Flyers were mailed on March 24, 2026 to the abutter owners of the properties as stated on the Somerville abutter's list filed herewith. Flyers were also hand delivered to said properties on March 23 and 24, 2026.

Attendees:

Lance Davis, Ward 6 City Councilor
Theodore W. Lanman, Applicant
Elizabeth Ann Keller, Applicant
Adam Dash, Esq., attorney for Applicants
Isamu Kanda, architect for Applicants
Alex LeBlanc, architect for Applicants
Alvaro Esparza, PP&Z Staff
Margaret Carver
Carol Powers
iPad(6)
Matthew Griisser
Matthew Lee
Mike Hovanec
Toby Woll
Edward Woll
Lanier Smythe
Penny Chase
Phillip Higonnet
Lynn Geltman

Jeff D
Colleen's iPhone
Erin Rohan
Jeffrey Davis

Councilor Davis welcomed everyone and introduced himself before handing the floor over to Attorney Dash. Attorney Dash said that the meeting was being recorded, explained what the process going forward would be for this matter, and stated the purpose of the meeting and the number of people in attendance.

Attorney Dash went through the project details for an alteration of the existing, non-conforming, two-family structure by expanding the existing living space on the top floor, which requires a special permit. He explained the project details and the relief sought. He went through the exterior photographs and the zoning dimensional table. Mr. LeBlanc then went through the site plan, floor plans, elevations, renderings and shadow studies.

Attorney Dash then explained how the public could either speak or type questions or comments using the Q&A function.

Public Comment can be summarized as follows:

A resident said that the project was clear and that the impacts seemed de minimis. The resident said that the architecture was consistent with the artists' building across the street, and that they were in support of the project.

A resident asked whether parking was required for the project. Attorney Dash said that the proposal did not change the number of units and did not require parking.

A resident asked why exterior stairs were being added and whether they were compliant with the side setback. Mr. Esparza said that ISD would review the application for zoning compliance once it was submitted. Attorney Dash explained that the exterior stairs were zoning compliant, that this was already reviewed by ISD, and that the stairs did not require any zoning relief. While the Applicants wanted to show the proposed exterior stairs to be completely honest and forthcoming with the neighborhood, this meeting is only really about the proposed change on the top floor which requires a special permit. Mr. LeBlanc explained that the proposed exterior stairs are so the roof deck can be accessed without having to go through the inside of the unit, so as to provide an additional egress from the roof deck. The resident asked whether a third unit was planned as part of the project. Attorney Dash said that no third unit was being proposed by the Applicants.

A resident asked whether the proposed pergola over the roof deck could be covered later, such as by a canvas awning. Mr. Esparza said that would be up to ISD as to whether it would be allowed. Councilor Davis said that he did not recall there being a prohibition on that in the zoning ordinance. Attorney Dash said that a cover was not being proposed by the Applicants.

A resident asked whether there was a plan to make Applicants' unit into a short-term rental. Attorney Dash said that was not the plan and that the Applicants live in the unit.

A resident asked whether neighbors were notified of this meeting, including the row house currently being redeveloped along Morrison Avenue. Attorney Dash said that meeting flyers were mailed to the property owners, and hand delivered, to the properties, within 300' of the premises by Mr. Lanman. Another resident said that there had been robust flying for this meeting.

Seeing no further comments or questions, Councilor Davis thanked everyone for attending and closed the meeting.

The meeting was adjourned at 7:11 pm.





BUILDING CODE

IRC 2021 - INTERNATIONAL RESIDENTIAL CODE
780 CMR 10TH EDITION - MASS AMENDMENTS TO THE IRC 2021
IECC 2021 - BASE ENERGY CODE
225 CMR CHAPTER 22 - STRETCH CODE

ZONING INFORMATION

PARCEL ADDRESS:	88 WINSLOW AVE
PARCEL ID:	-
PROPERTY TYPE:	TWO FAMILY
USE CODE:	1040
ZONING DISTRICT:	NEIGHBORHOOD RESIDENCE (NR)
NEIGHBORHOOD	4001
ASSESSORS MAP:	MAP 24, BLOCK I, LOT 12
CONSTRUCTION TYPE:	5A
USE GROUP:	R-3

BUILDING AREAS

LOT AREA:	3,232	SQFT
FAR:	-	
PERMITTED FLOOR AREA:	-	
EXISTING FLOOR AREAS:		
FIRST FLOOR	702	SQFT
SECOND FLOOR	702	SQFT
THIRD FLOOR	689	SQFT
TOTAL EXISTING FLOOR AREA:	2,093	SQFT
PROPOSED FLOOR AREAS:		
FIRST FLOOR (NO CHANGE)	702	SQFT
SECOND FLOOR (NO CHANGE)	702	SQFT
THIRD FLOOR	793	SQFT
TOTAL PROPOSED FLOOR AREA:	2,197	SQFT

PROJECT DESCRIPTION

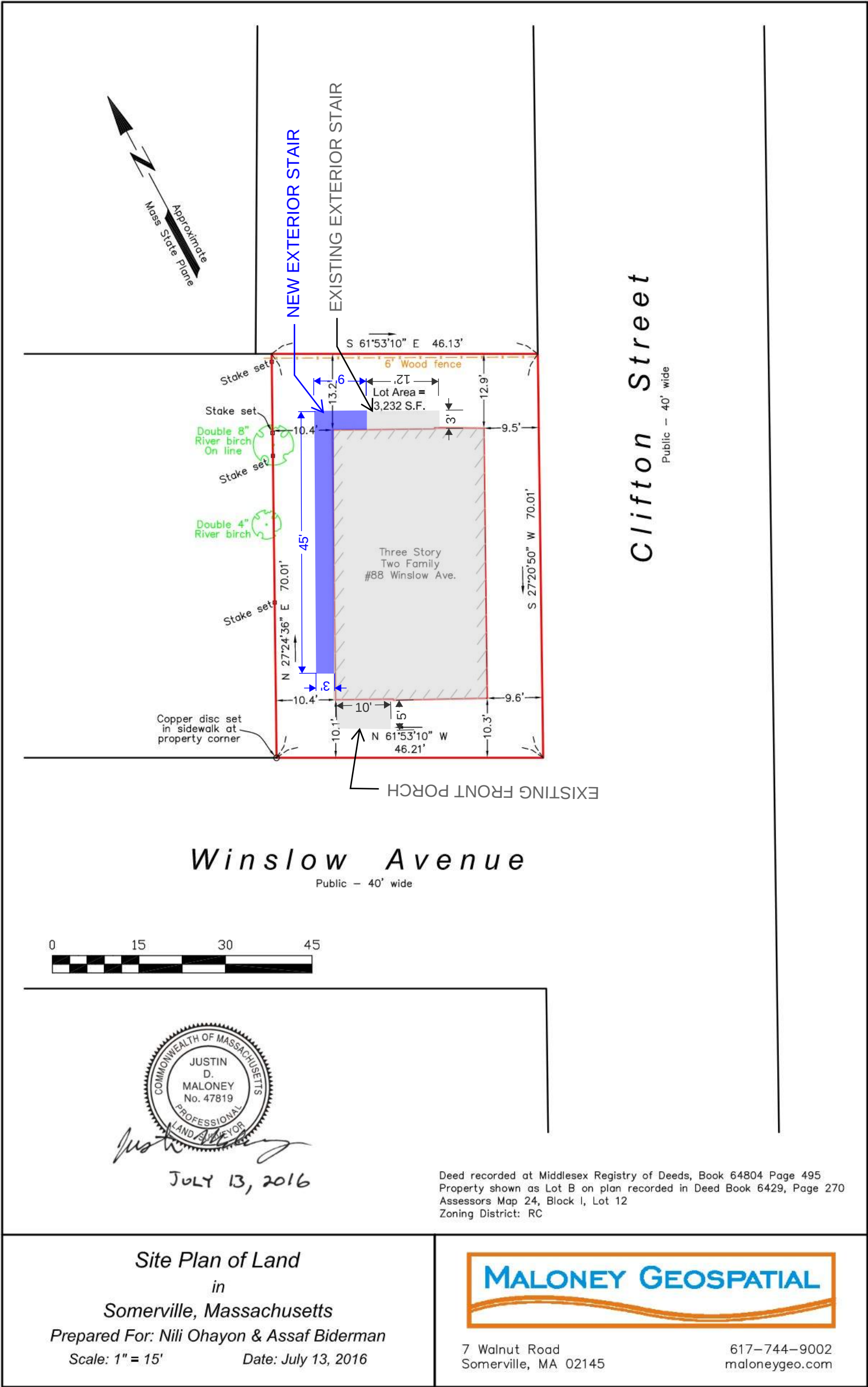
ROOF ADDITION + ROOF PERGOLA
EXTERIOR FIRE-ESCAPE STYLE STAIRCASE ON NORTH AND WEST FACADES
WINDOW REPLACEMENT

DIMENSIONAL REGULATIONS

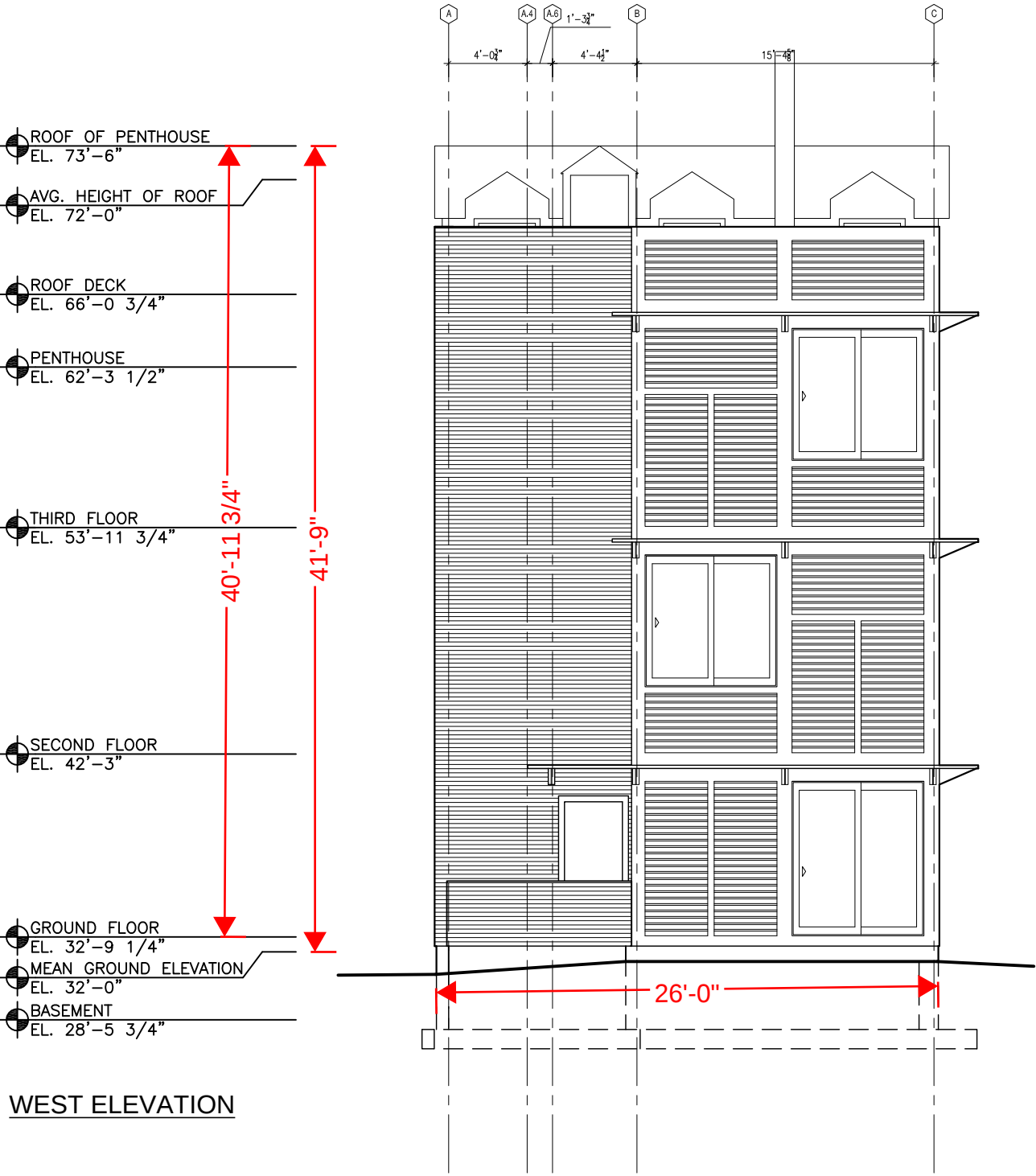
DETACHED TRIPLE DECKER				
	REQUIRED	EXISTING	PROPOSED	RELIEF REQ'D
LOT AREA (SF) MIN.	-	3232	NO CHANGE	N
LOT WIDTH (FEET) MIN.	36.0	46.1	NO CHANGE	N
LOT FRONTAGE (FEET) MIN.	-	-	NO CHANGE	N
FLOOR AREA RATIO MAX.	-	-	NO CHANGE	N
BUILDING HEIGHT (STORIES) MAX.	3	3.5	4	Y
BUILDING HEIGHT (FEET) MAX.	36	41.8	NO CHANGE	E.N.C. *
LOT COVERAGE (%) MAX.	60%	34%	NO CHANGE	N
FRONT SETBACK (FT) MIN.	10.0	10.1	NO CHANGE	N
SECONDARY FRONT SETBACK (FT) MIN.	10.0	9.5	NO CHANGE	E.N.C. *
SIDE SETBACK (FT) MIN.	3.0	10.4	NO CHANGE	N
REAR SETBACK (FT) MIN.	20.0	12.9	NO CHANGE	E.N.C. *
BUILDING SEPARATION (FT) MIN.	10.0	>10.4	NO CHANGE	N
PARKING SECONDARY FRONT SETBACK (FT) MIN.	10.0	10.0	NO CHANGE	N
PROJECTING PORCH				
WIDTH (FEET) MIN.				
FRONT	12	5	NO CHANGE	N
SIDE & REAR	4	12	45	N
PROJECTION (FEET) MIN.				
FRONT	6	5	NO CHANGE	N
SIDE & REAR	4	3	3	N
SETBACK ENCROACHMENT MAX.				
FRONT	100%	50%	NO CHANGE	N
SIDE & REAR (FEET) MAX.	0	3	3	E.N.C. *
* EXISTING NON-CONFORMING				

ENERGY CODE COMPLIANCE

FOR MASSACHUSETTS 5A			
	REQUIRED	PROPOSED	DRAWING REF.
FENESTRATION U-FACTOR =	0.30	0.30	-
SKYLIGHT U-FACTOR =	0.55	0.55	-
GLAZED FENESTRATION U-FACTOR =	0.40	NA	-
CEILING R-VALUE =	60	60	-
WOOD FRAME WALL R-VALUE =	30 or 20+5ci	30	-
MASS WALL R-VALUE =	13/17	NA	-
FLOOR R-VALUE =	30	NA	-
BASEMENT WALL R-VALUE =	19 or 13+5ci	NA	-
SLAB R-VALUE & DEPTH =	10, 4 FT	NA	-
CRAWL SPACE R-VALUE =	15/19	NA	-



EXISTING ELEVATIONS

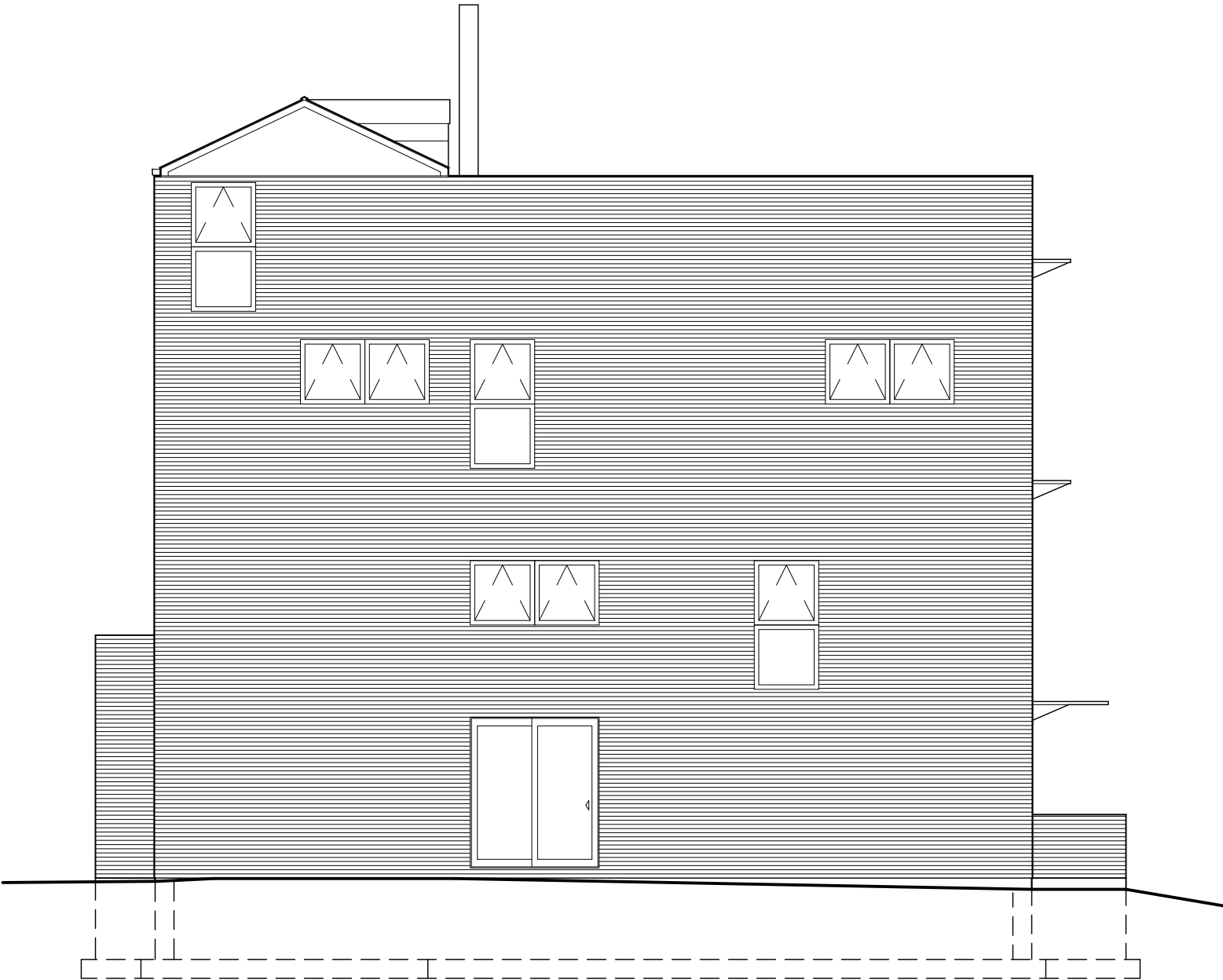


WEST (FRONT) AND
SOUTH ELEVATIONS
1/8" = 1'-0"

EXISTING ELEVATIONS

- ROOF OF PENTHOUSE
EL. 73'-6"
- AVG. HEIGHT OF ROOF
EL. 72'-0"
- ROOF DECK
EL. 66'-0 3/4"
- PENTHOUSE
EL. 62'-3 1/2"
- THIRD FLOOR
EL. 53'-11 3/4"
- SECOND FLOOR
EL. 42'-3"
- GROUND FLOOR
EL. 32'-9 1/4"
- MEAN GROUND ELEVATION
EL. 32'-0"
- BASEMENT
EL. 28'-5 3/4"

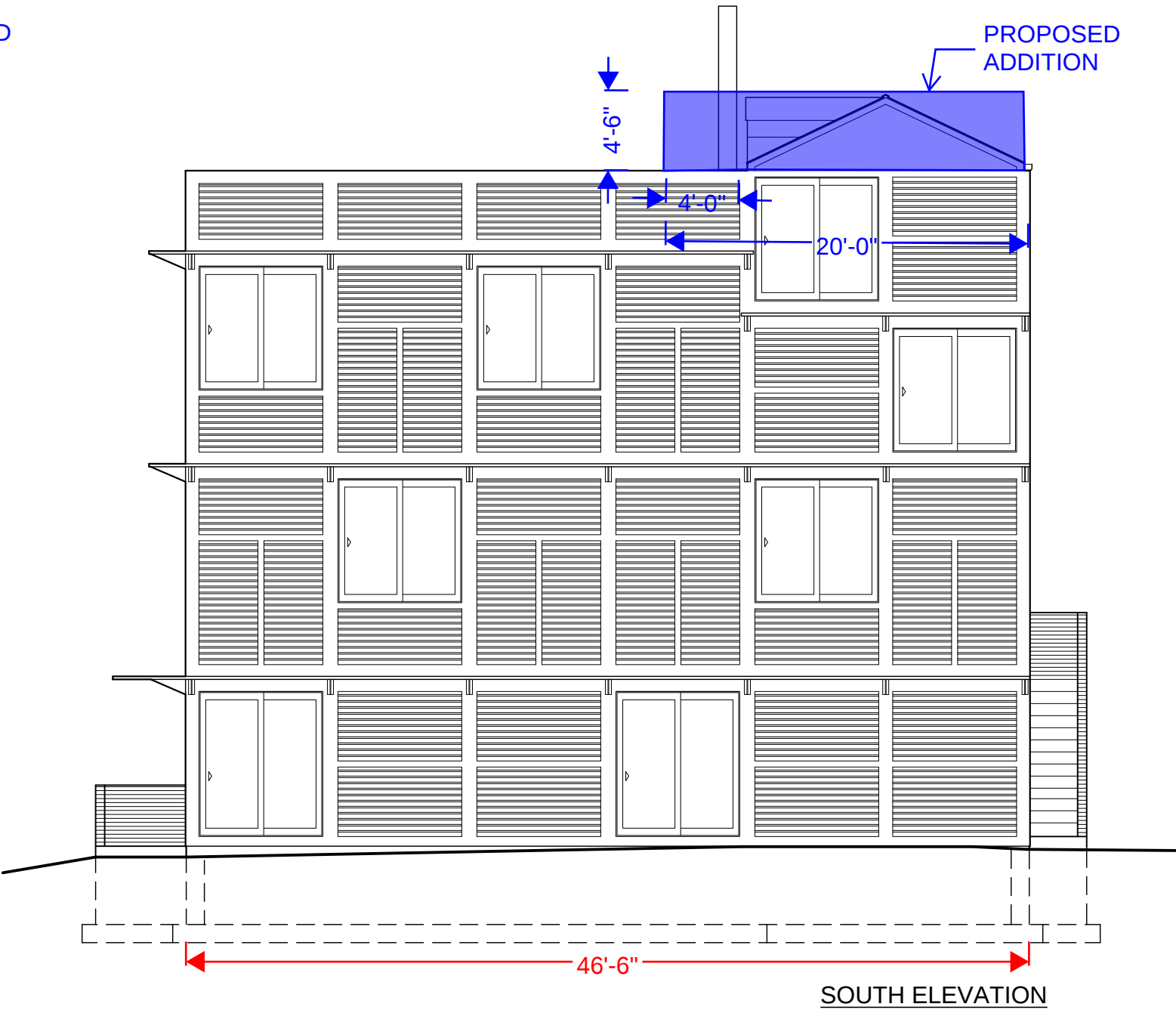
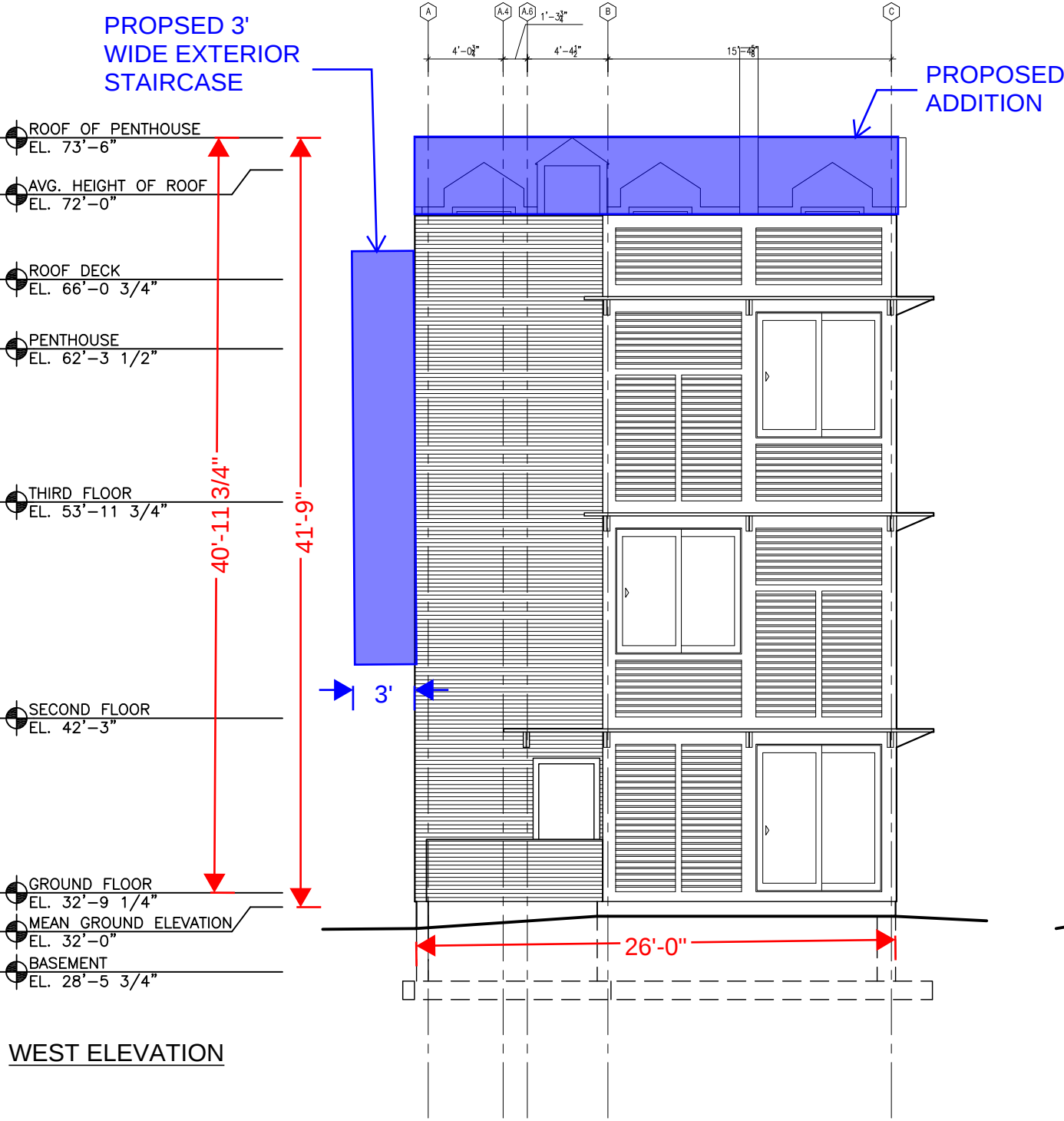
EAST ELEVATION



NORTH ELEVATION

EAST (REAR) AND
NORTH ELEVATIONS
1/8" = 1'-0"

PROPOSED ELEVATIONS

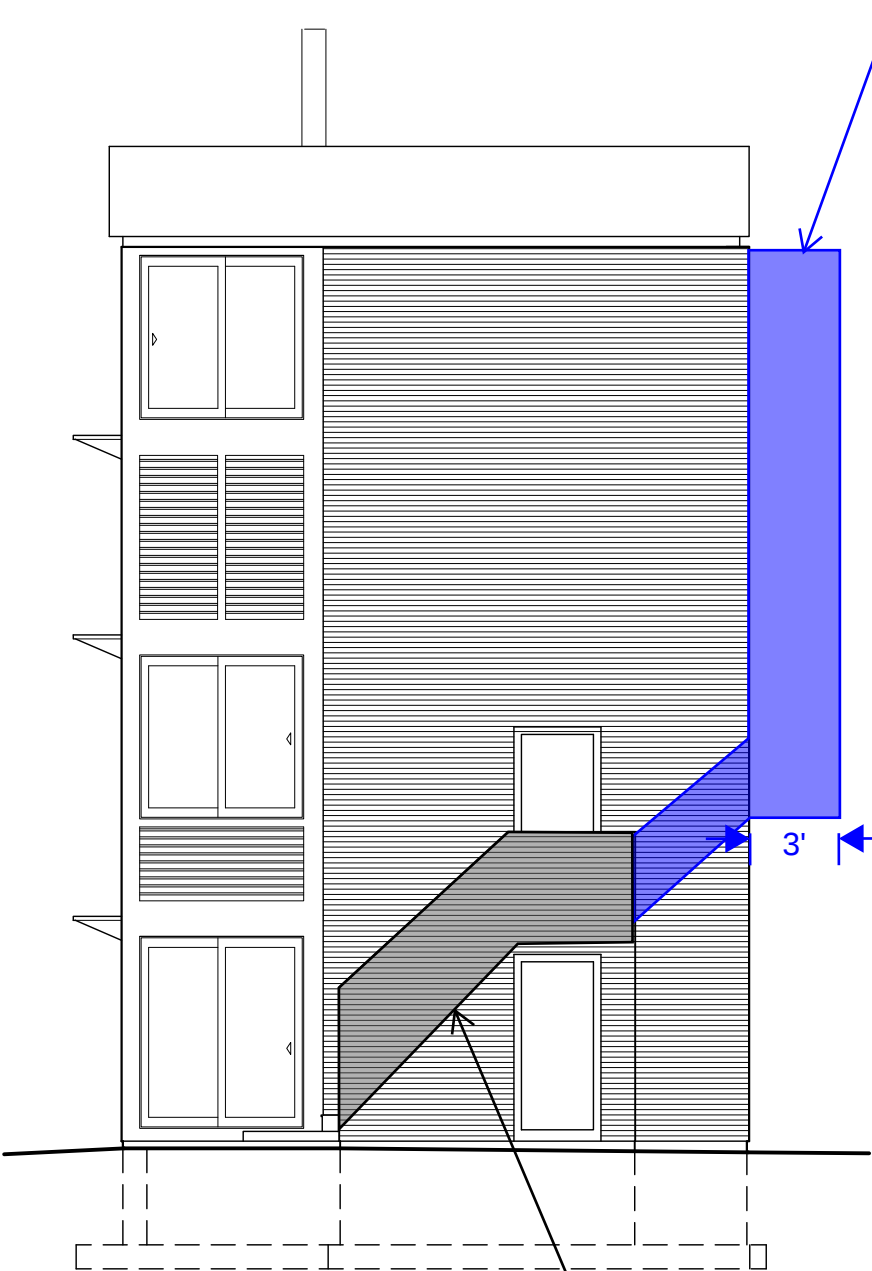


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EAST ELEVATION

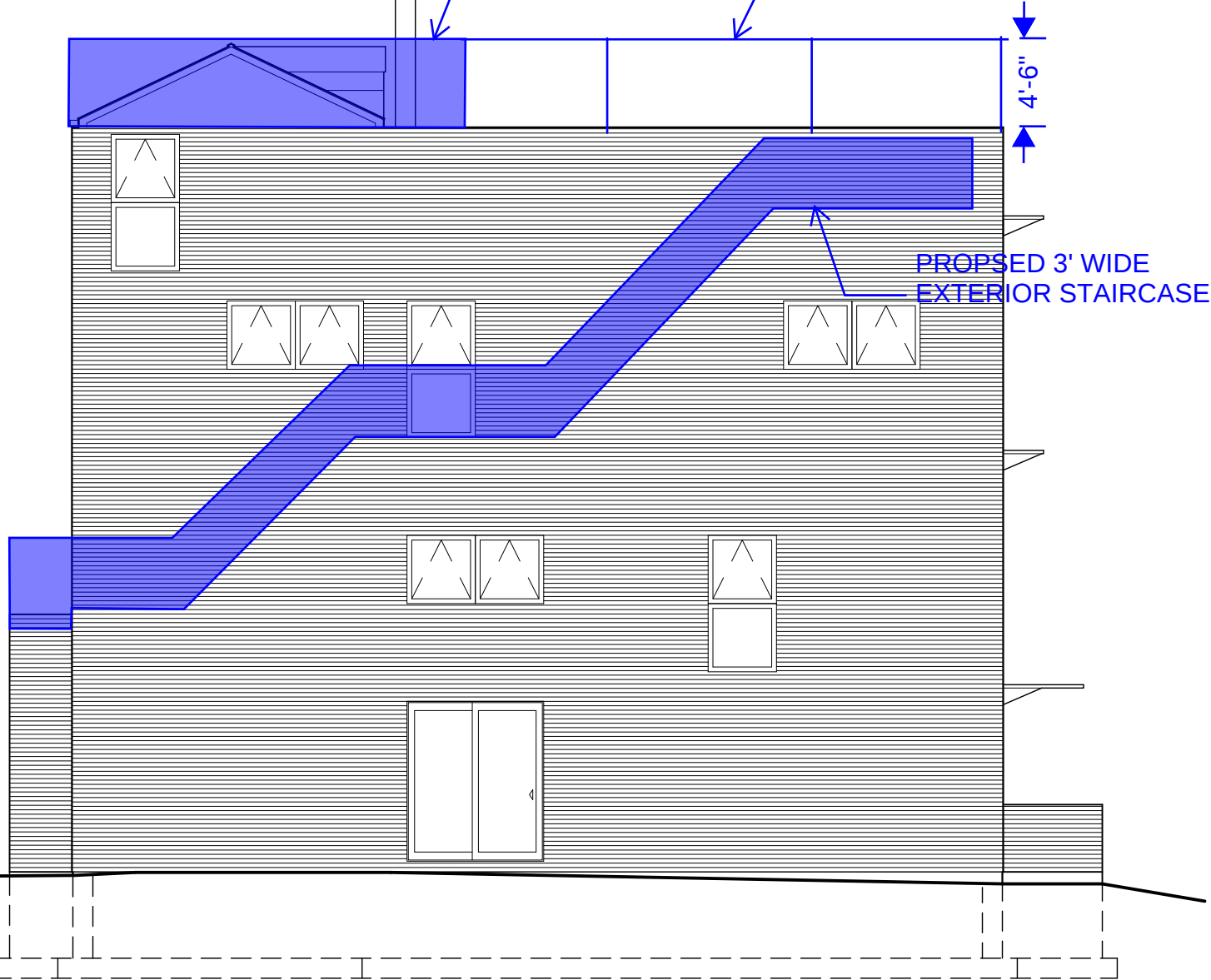


EXISTING STAIRS

PROPOSED 3' WIDE
EXTERIOR STAIRCASE

PROPOSED
ADDITION

PROPOSED PERGOLA



NORTH ELEVATION

EAST (REAR) AND
NORTH ELEVATIONS
1/8" = 1'-0"

EXISTING



PROPOSED

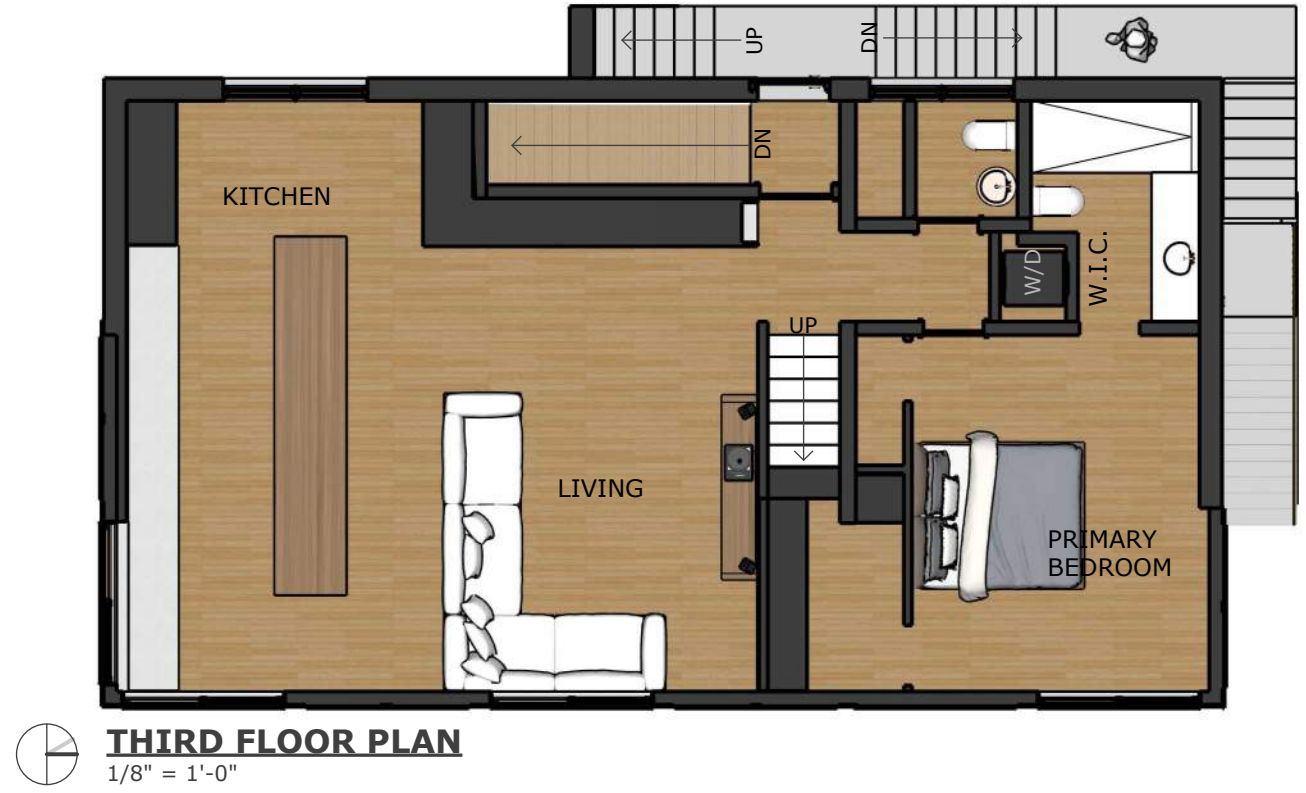
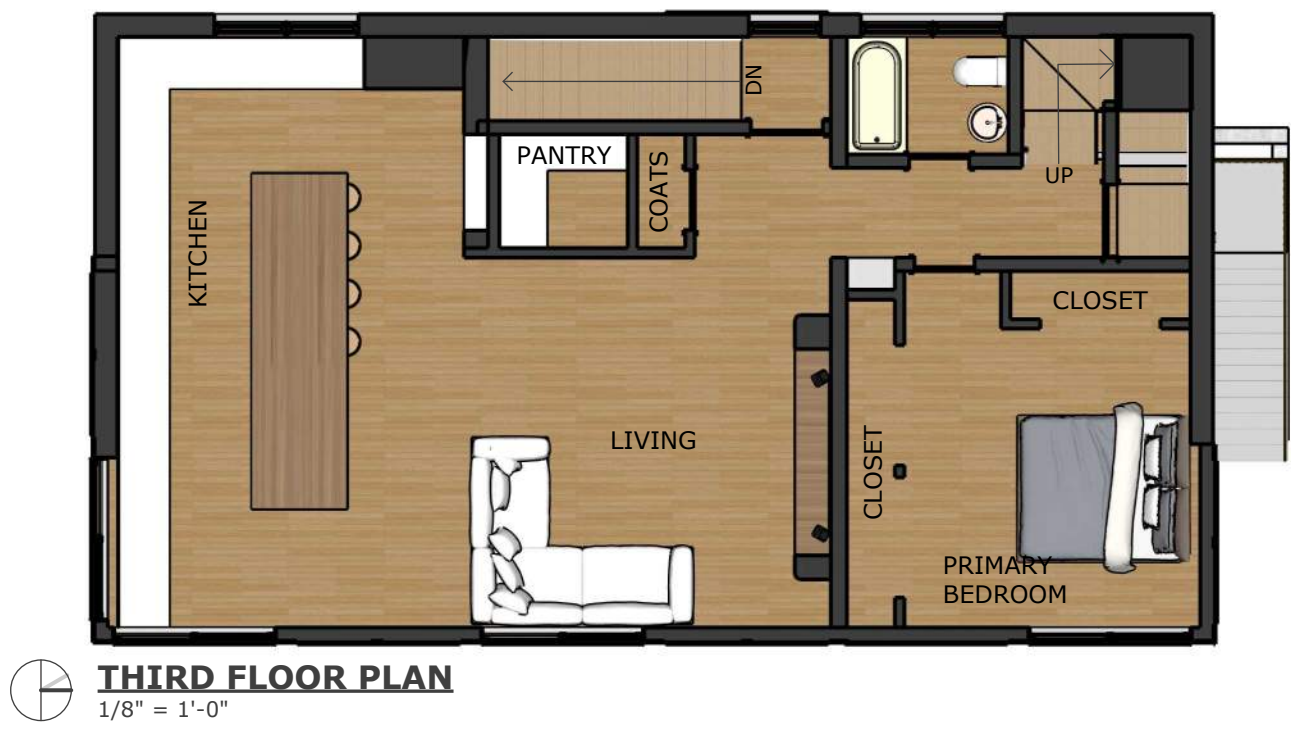
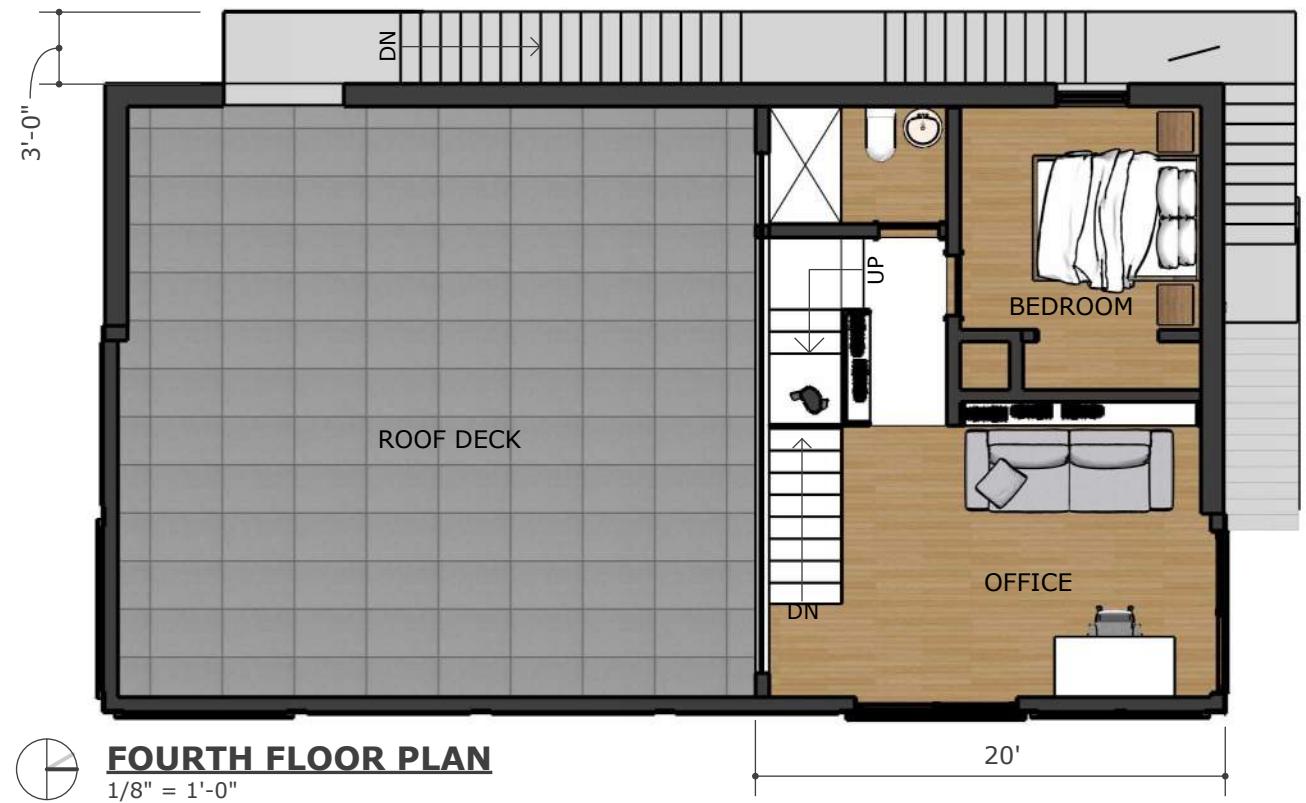
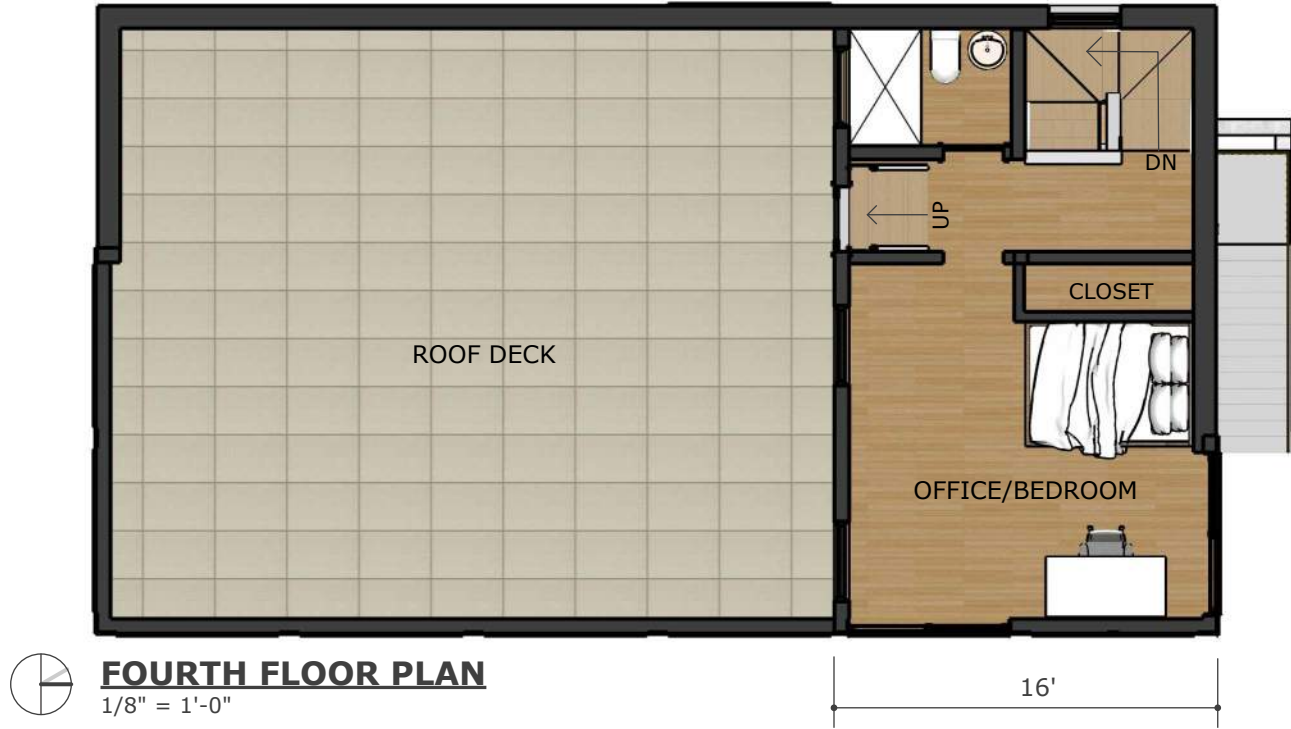


EXISTING



PROPOSED

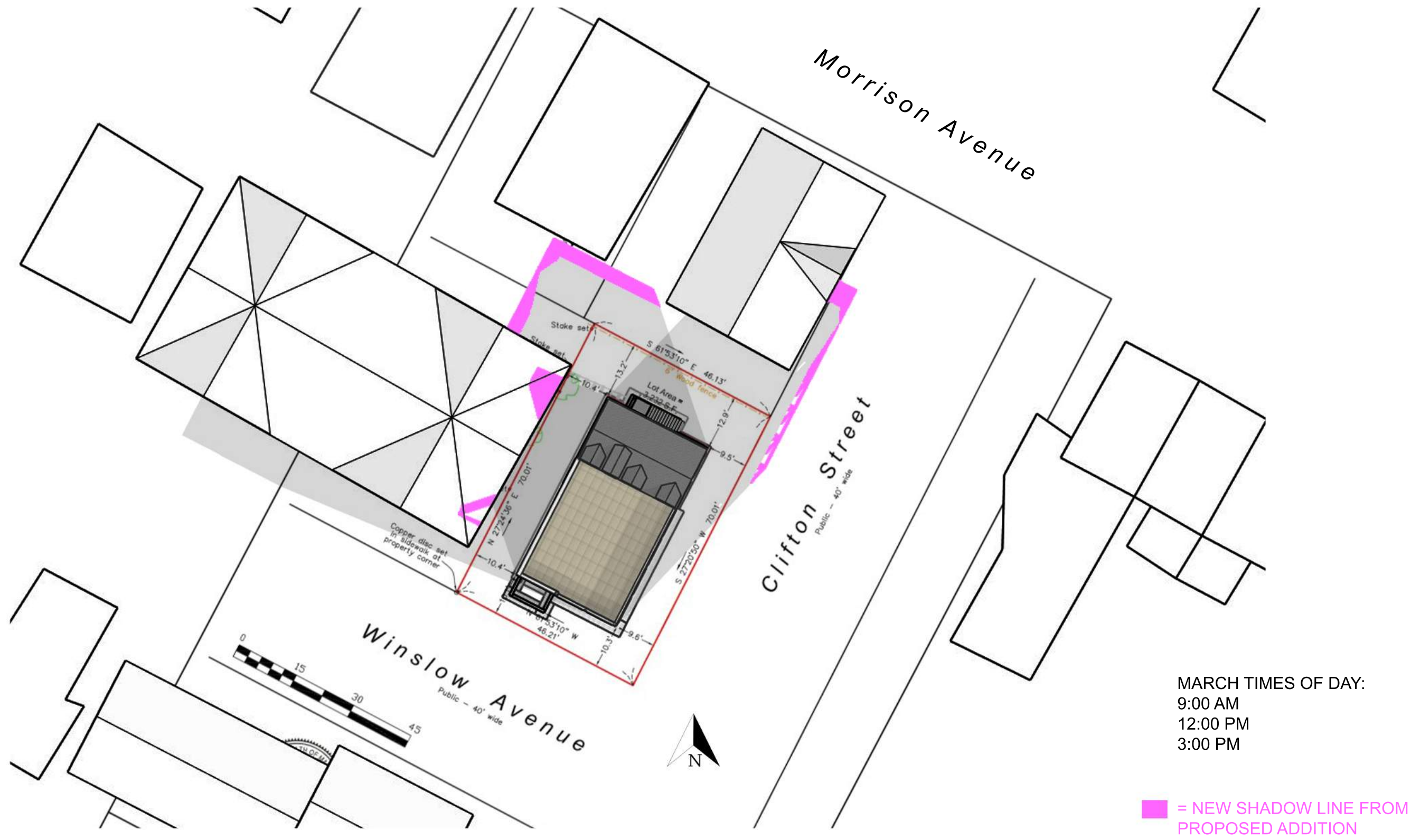




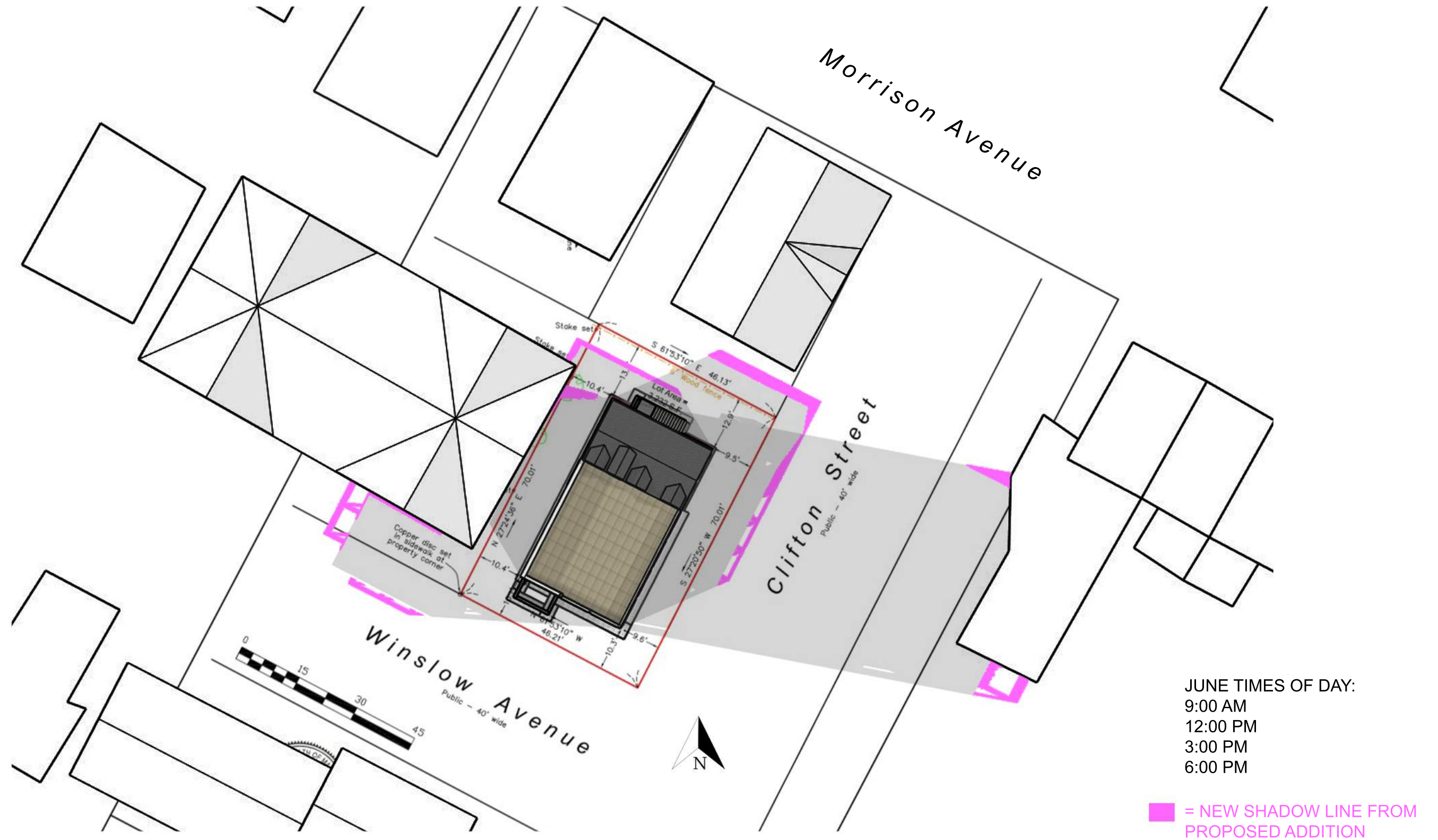
EXISTING STAIRS

NEW STAIRS

PROPOSED CHANGE TO EXISTING SHADOWS



PROPOSED CHANGE TO EXISTING SHADOWS



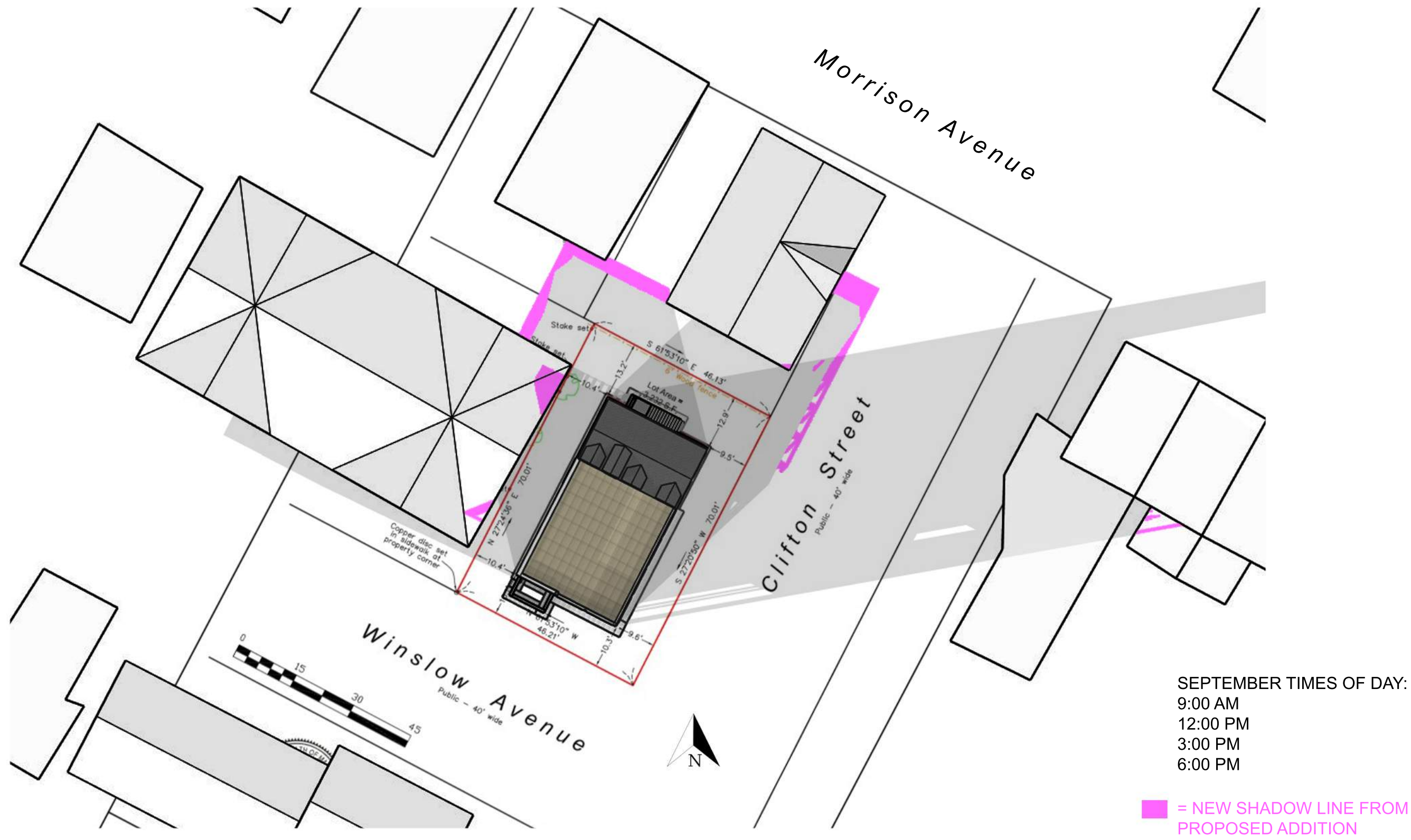
JUNE 21

LATITUDE: 42.396130

LONGITUDE: -71.117895

UTC: -4:00

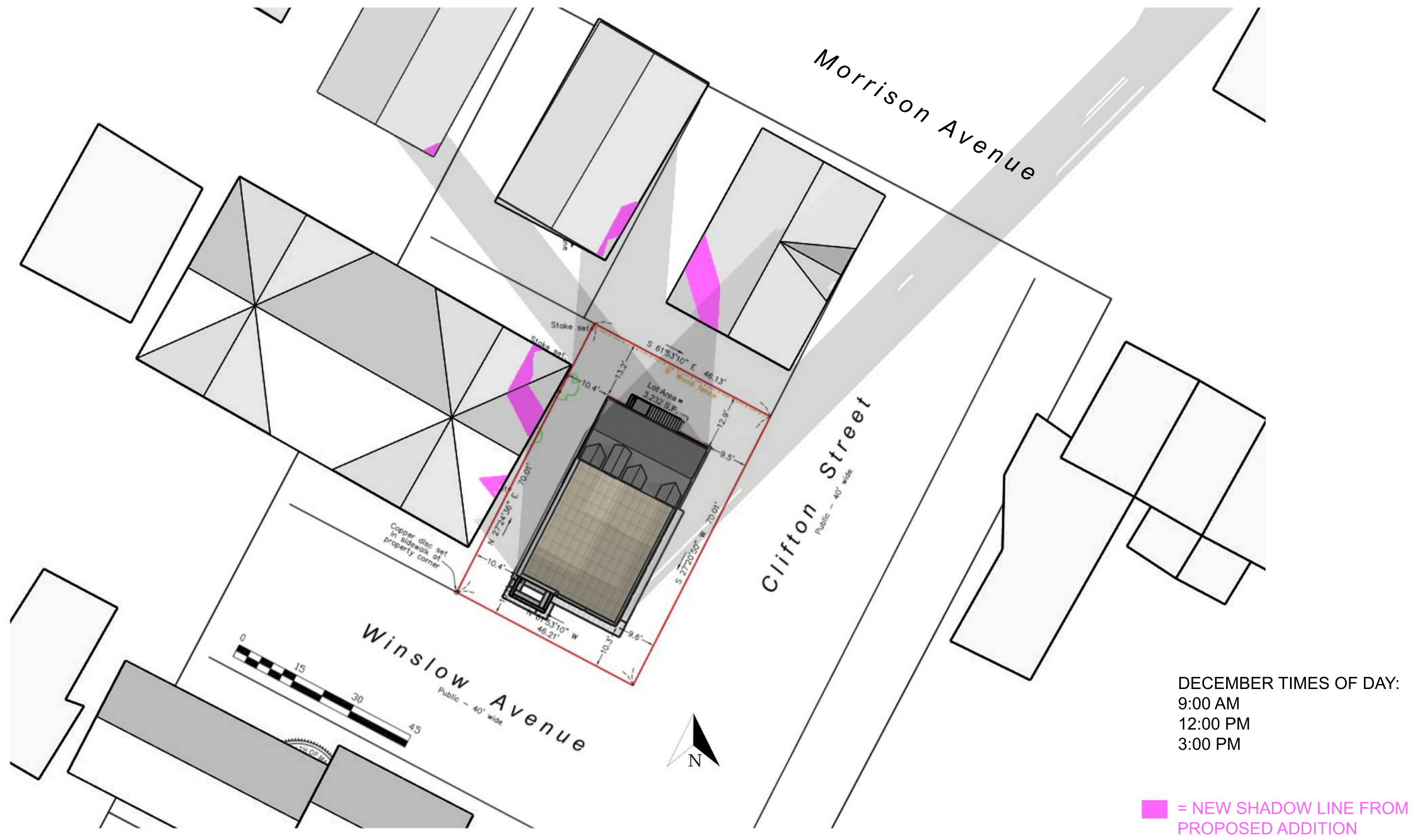
PROPOSED CHANGE TO EXISTING SHADOWS



SEPTEMBER 21

LATITUDE: 42.396130 LONGITUDE: -71.117895 UTC: -4:00

PROPOSED CHANGE TO EXISTING SHADOWS



DECEMBER 21

LATITUDE: 42.396130 LONGITUDE: -71.117895 UTC: -5:00

88 Winslow Ave 300 ft Abutters Listing

MBLU	MBLU	MBLU	MBLU	REM_PRCI	LOCN	M_USE	CO	OWN_NAME1	OWN_NAME2	MAD_MAIL_ADDR1	MAD_MAIL_CITY	MAIL
20	B	25		121	LIBERTY RD	1050		SILVA REALTY 7 LLC		206 HOLLAND STREET	SOMERVILLE	MA
20	B	26		125	LIBERTY RD	1050		JINDI LLC		48 ROBIN HOOD ROAD	ARLINGTON	MA
20	B	27		163	MORRISON AVE	1050		DAVIS JEFFREY A & KATE U		41 BARTLETT AVE	LEXINGTON	MA
20	B	28		169	MORRISON AVE	1040		KING JANET & HIGONNET PHILIP		169 MORRISON AVE	SOMERVILLE	MA
20	B	29		173	MORRISON AVE	1040		CHIU ISAAC & HSHIEH TAMMY		81 GLEN ROAD UNIT S1	BROOKLINE	MA
20	B	30		5	MORRISON PL	1010		BLUMSACK DAVID E		5 MORRISON PLACE	SOMERVILLE	MA
20	B	31	1	11	MORRISON PL	1020		BRAND CHENEY C		11 MORRISON PL #1	SOMERVILLE	MA
20	B	31	2	11	MORRISON PL	1020		REISKIND JULIA A		11 MORRISON PL #2	SOMERVILLE	MA
20	B	31	M	11-11	MORRISON PL	995						
20	B	34		177	MORRISON AVE	1050		BLUMSACK DAVID E		PO BOX 440433	SOMERVILLE	MA
24	C	9	1	28	NEWBERNE ST #1	1020		LEAR REALTY LLC		233 BEL AIR DRIVE	LONGMEADOW	MA
24	C	9	2	28	NEWBERNE ST #2	1020		LYNCH VINCENT J & DIANE M TRUSTEES		28 NEWBERNE ST UNIT 2	SOMERVILLE	MA
24	C	9	5	28	NEWBERNE ST #5	1020		SUTHERLAND JOEL & CAROL		28 NEWBERNE ST #28-5	SOMERVILLE	MA
24	C	9	6	28	NEWBERNE ST #6	1020		CHULTZ DANIEL & COVAHEY III EDWARD C		28 NEWBERNE ST #28-6	SOMERVILLE	MA
24	C	9	7	28	NEWBERNE ST #7	1020		ROBART MARK TRUSTEE		28 NEWBERNE ST 7	SOMERVILLE	MA
24	C	9	30	30	NEWBERNE ST	3430		TRINCA LLC		30 NEWBERNE ST	SOMERVILLE	MA
24	C	9	128	128	WILLOW AVE	3430		TRINCA LLC		30 NEWBERNE ST	SOMERVILLE	MA
24	C	9	3/4	28	NEWBERNE ST #3	1020		RATHJENS LUCAS D		28 NEWBERNE ST 3	SOMERVILLE	MA
24	F	4		363	HIGHLAND AVE	3420		ALTITUDE PROPERTIES LLC		5 CLAREMON ST #1	SOMERVILLE	MA
24	G	9		373	HIGHLAND AVE	1120		DIGIROLAMO RICHARD G TRUSTEE		373 HIGHLAND AVE # 308	SOMERVILLE	MA
24	G	20	1	14	ELLINGTON RD #1	1020		ALADRO CAMILO A & COURTNEY M		78 MADISON AVE	NEWTON	MA
24	G	20	2	14	ELLINGTON RD #2	1020		XING SHAN & MORGAN SEAN C		14 ELLINGTON RD #2	SOMERVILLE	MA
24	G	20	3	14	ELLINGTON RD #3	1020		NAUMAN GRACE		14 ELLINGTON RD #3	SOMERVILLE	MA
24	H	3		53	WINSLOW AVE	0104		DESIMONE ROBERT & GONG CHEN CHEN		41 MASON TERRACE	BROOKLINE	MA
24	H	6		63	WINSLOW AVE	1040		HALEY RICHARD J & JOANNE		63 WINSLOW AVE	SOMERVILLE	MA
24	H	7		67	WINSLOW AVE	1050		CHEN SHING-HUEY TRSTEE		1237 S HOLT AVE APT 304	LOS ANGELES	CA
24	H	8	69	69	WINSLOW AVE	1020		HUNNEWELL ROBIN W		69 WINSLOW AVE	SOMERVILLE	MA
24	H	8	71	71	WINSLOW AVE	1020		MONIZ SAMUEL L		71 WINSLOW AVE	SOMERVILLE	MA
24	H	9		73	WINSLOW AVE	1010		PETROSKEY KEIKO YAMAKOSHI		73 WINSLOW AVE	SOMERVILLE	MA
24	H	10	77	77-79	WINSLOW AVE #77	1020		DOUGLAS JAMES P TRUSTEE		78C LAWRENCE ROAD	BOXFORD	MA
24	H	10	79	77-79	WINSLOW AVE #79	1020		JOHNSON JACOB R & TAYLOR		77-79 WINSLOW AVE #79	SOMERVILLE	MA

24	H	11		81 WINSLOW AVE	1040	PATEL RAKESH & KAILASH		81 WINSLOW AVE	SOMERVILLE	1
24	H	12	M	89-97 WINSLOW AVE	995					
24	H	12	89	89 WINSLOW AVE	1020	KADARAS JAMES C JR		89 WINSLOW AVE	SOMERVILLE	1
24	H	12	91	91 WINSLOW AVE	1020	MA XIAOCHU & HONG XINYU		91 WINSLOW AVE	SOMERVILLE	1
24	H	12	93	93 WINSLOW AVE	1020	CRANE SERGY & KIRSTIN G		93 WINSLOW AVE	SOMERVILLE	1
24	H	12	95	95 WINSLOW AVE	1020	TAILLEUR JULIEN		95 WINSLOW AVE	SOMERVILLE	1
24	H	12	97	97 WINSLOW AVE	1020	CAFFERKY STEPHEN P		97 WINSLOW AVE	SOMERVILLE	1
24	H	12	PRKA	97 WINSLOW AVE	1020	CAFFERKY STEPHEN P		97 WINSLOW AVE	SOMERVILLE	1
24	H	12	PRKB	97 WINSLOW AVE	1020	CAFFERKY STEPHEN P		97 WINSLOW AVE	SOMERVILLE	1
24	H	12	PRKC	97 WINSLOW AVE	1020	CAFFERKY STEPHEN P		97 WINSLOW AVE	SOMERVILLE	1
24	I	6	174-1	174 MORRISON AVE #1	1020	LALO DEVELOPMENT LLC		5 CLAREMON ST #1	SOMERVILLE	1
24	I	6	174-2	174 MORRISON AVE #2	1020	LALO DEVELOPMENT LLC		5 CLAREMON ST #1	SOMERVILLE	1
24	I	6	174-3	174 MORRISON AVE #3	1020	LALO DEVELOPMENT LLC		5 CLAREMON ST #1	SOMERVILLE	1
24	I	6	174-4	174 MORRISON AVE #4	1020	LALO DEVELOPMENT LLC		5 CLAREMON ST #1	SOMERVILLE	1
24	I	6	178-1	178 MORRISON AVE #1	1020	LALO DEVELOPMENT LLC		5 CLAREMON ST #1	SOMERVILLE	1
24	I	6	178-2	178 MORRISON AVE #2	1020	LALO DEVELOPMENT LLC		5 CLAREMON ST #1	SOMERVILLE	1
24	I	7		166 MORRISON AVE	1040	OUELLETTE MICHELLE		56 MEADOWBROOK ROAD	NEEDHAM	1
24	I	8		162 MORRISON AVE	1010	TANAKA AKIE & ISAO		14 NORTH MEADOWS RD	MEDFIELD	1
24	I	9		158 MORRISON AVE	1050	TIGER FAMILY PROPERTIES LLC		206 HOLLAND STREET	SOMERVILLE	1
24	I	10		156 MORRISON AVE	1050	DIBENEDETTO LORENZO TRUSTEE DC TRUST OF LORENZO DIBENEDETTO		86 FELLSWAY WEST	SOMERVILLE	1
24	I	11		154 MORRISON AVE	1050	CHIN JAMES & FLORENCE TRUSTEES	154 MORRISON AVENUE NOM TRUST	154 MORRISON AVE	SOMERVILLE	1
24	I	12		80 WINSLOW AVE	1110	INKSPOT COOPERATIVE CORP		80 WINSLOW AVE	SOMERVILLE	1
24	I	12		88 WINSLOW AVE	1040	LANMAN T W & GRISSER D		88 WINSLOW AVE	SOMERVILLE	1
24	I	13		76 WINSLOW AVE	1010	MESSINA PATRICIA M & MARIO V TRSTEE	76 WINSLOW AVENUE REALTY TRUST	76 WINSLOW AVE	SOMERVILLE	1
24	I	14	M	72-74 WINSLOW AVE	995					
24	I	14	72	72 WINSLOW AVE	1020	HOVANEC MICHAEL & MAGUIRE JAMIE		72 WINSLOW AVE	SOMERVILLE	1
24	I	14	74	74 WINSLOW AVE	1020	HOVANEC MICHAEL S & JAMIE MAGUIRE		74 WINSLOW AVE	SOMERVILLE	1
24	I	15		68 WINSLOW AVE	1010	BRADY BRIAN		68 WINSLOW AVE	SOMERVILLE	1
24	I	16		64 WINSLOW AVE	1110	EASTWEST WINSLOW LLC		82 WENDELL AVE SUITE 100	PITTSFIELD	1
24	I	17		60 WINSLOW AVE	1010	LEUNG ALICE M		60 WINSLOW AVE	SOMERVILLE	1
24	J	1		32 APPLETON ST	1010	CREW HILARY		32 APPLETON ST	SOMERVILLE	1
24	J	2		1 CLIFTON ST	1010	RILEY NANCY J TRUSTEE	1 CLIFTON STREET RLTY TRUST	1 CLIFTON ST	SOMERVILLE	1
24	J	3	1	5 CLIFTON ST #1	1020	CARTER JERRY K	GOH KEOW LIN	5 CLIFTON ST #1	SOMERVILLE	1
24	J	3	2	5 CLIFTON ST #2	1020	2020-2GRASS AMY M & RICHARD I NEWMAN JR		5 CLIFTON ST #2	SOMERVILLE	1

24	J	4	1	9 CLIFTON ST	1010	KELLY COLLEEN CHANG ROCKSON			9 CLIFTON ST	SOMERVILLE	MA
24	J	5	1	159 MORRISON AVE #1	1020	DVANY PAUL & ANNA MARIA A TRUSTEES			159 MORRISON AVE #1	SOMERVILLE	MA
24	J	5	2	130 LIBERTY RD	1020	LLINGS ELIZABETH N & HILL C TRUSTEES			130 LIBERTY RD #2	SOMERVILLE	MA
24	K	1	1	30 APPLETON ST #1	1020	KELSEY MEREDITH C			30 APPLETON ST #1	SOMERVILLE	MA
24	K	1	2	28 APPLETON ST #2	1020	DEGLOPPER PETER M TRUSTEE			28 APPLETON ST #2	SOMERVILLE	MA
24	K	1	3	4 CLIFTON ST #3	1020	BERLINER DAVID A & KATHERINE S			4 CLIFTON ST 3	SOMERVILLE	MA
24	K	2		26 APPLETON ST	1050	MASON ELLEN TRUSTEE			849 COAST BOULEVARD	LA JOLLA	CA
24	K	3		24 APPLETON ST	1010	JET GABRIELLE A & FASTERT THEODORE F			24 APPLETON ST	SOMERVILLE	MA
24	K	4	1	22 APPLETON ST #1	1020	SWEENEY MICHAEL & LINDA S TRUSTEES			8 GARDNER RD	NORTON	MA
24	K	4	2	22 APPLETON ST #2	1020	MCSWEENEY KRISTIN & JOHN TRUSTEES			22 APPLETON ST UNIT 2	SOMERVILLE	MA
24	K	7		7 NEWBERNE ST	1040	SON STEPHEN & MACINDOE H TRUSTEES			9 NEWBERNE ST	SOMERVILLE	MA
24	K	8	1	131 MORRISON AVE #1	1020	SARGENT DAVID			131 MORRISON AVE UNIT 1	SOMERVILLE	MA
24	K	8	2	131 MORRISON AVE #2	1020	SEMEYER KATHRYN & HOWELL GARRETT			131 MORRISON AVE #2	SOMERVILLE	MA
24	K	9		135 MORRISON AVE	1050	EPH AMIE CARROLL & JAMES J DOUGLAS			1 TYLER RD	BELMONT	MA
24	K	10		139 MORRISON AVE	1040	ELLIOTT PATRICIA D			66 PUTNAM ST #2	SOMERVILLE	MA
24	K	11		143 MORRISON AVE	1040	WILK KONRAD & ALYSSA TRUSTEES			143 MORRISON AVE	SOMERVILLE	MA
24	K	12		145 MORRISON AVE	1040	POWERS CAROL & JAMES E TRUSTEES			145 MORRISON AVE	SOMERVILLE	MA
24	K	13		14 CLIFTON ST	1010	EASTMAN GLENN			14 CLIFTON ST	SOMERVILLE	MA
24	K	14		10 CLIFTON ST	1040	MOJAHED SHAHRIYAR			8 THORNBERRY RD	WINCHESTER	MA
24	K	15	1	6 CLIFTON ST #1	1020	TAYLOR FIONA C			6 CLIFTON ST #1	SOMERVILLE	MA
24	K	15	2	6 CLIFTON ST #2	1020	LOWE ALDEN			6 CLIFTON ST #2	SOMERVILLE	MA
24	K	15	3	6 CLIFTON ST #3	1020	GENO ERIN B			6 CLIFTON ST #3	SOMERVILLE	MA
24	L	1		148 MORRISON AVE	1010	COLLIS CATHERINE & MICHAEL L			P.O. BOX 907	NANTUCKET	MA
24	L	2		146 MORRISON AVE	1010	GOLSON JOHN & REBECCA L			146 MORRISON AVE	SOMERVILLE	MA
24	L	3		144 MORRISON AVE	1010	CLEVELAND MARTHA E			144 MORRISON AVE	SOMERVILLE	MA
24	L	4		142 MORRISON AVE	1010	ARNAUD CASSANDRA A			142 MORRISON AVE	SOMERVILLE	MA
24	L	5		140 MORRISON AVE	1010	GREEN BRIAN J & KATIA V			140 MORRISON AVE	SOMERVILLE	MA
24	L	6		136 MORRISON AVE	1020	TAM MATTINATA LISA			136 MORRISON AVE	SOMERVILLE	MA
24	L	6	138	138 MORRISON AVE	1020	BERT KATHERINE M & WHITE STEPHEN D			138 MORRISON AVE	SOMERVILLE	MA
24	L	7		132 MORRISON AVE	1040	REIF RAFAEL L			PO BOX 397249	CAMBRIDGE	MA
24	L	8		130 MORRISON AVE	1040	SCANNELL FRANCIS J			41 RIVER ROAD	IPSWICH	MA
24	L	9		27 NEWBERNE ST	1040	MORIARTY JOHN P			12 BACON ST	LEXINGTON	MA
24	L	10		28 CLIFTON ST	3220	CLIFTON REAL ESTATE CORP			22 CLIFTON STREET	SOMERVILLE	MA
24	L	11		32 CLIFTON ST	1110	MIX-IT STUDIOS COOPERATIVE			32 CLIFTON ST #1	SOMERVILLE	MA
									C/O GOLDMAN JANE, TREASURER		

24	L	12		0 CLIFTON ST	3370	MIX-IT STUDIOS COOPERATIVE	C/O GOLDMAN JANE	32 CLIFTON ST	SOMERVILLE	MA
24	M	1		0000R WEST ST	972V	MBTA	C/O MARK DOYLE R E DIRECTOR	10 PARK PLAZA SUITE 5720	BOSTON	MA
Count:		101								

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