

FIRST NEIGHBORHOOD MEETING REPORT

Property: 6 Wheatland Street
Applicant: NPO Properties LLC
Owner: NPO Properties LLC
Agent: Adam Dash, Esq.
Zoning District: Mid-Rise 3 (“MR3”)
Not in a Transit Area
Not in a Pedestrian Street District

Neighborhood Meeting Date: June 30, 2025

This is the required First Neighborhood Meeting Report which is part of the zoning application process regarding the above-referenced property.

The June 30, 2025 neighborhood meeting was held in person at the Elizabeth Peabody House, 275 Broadway, Somerville, MA, beginning at 6:35 pm.

The slides used at the meeting are filed herewith.

Flyers were mailed on May 29, 2025 to the neighborhood owners of the properties as stated on the Somerville abutter’s list filed herewith. Flyers were also hand delivered to said properties on May 20, 2025.

Attendees:

Jesse Clingan, Ward 4 City Councilor
Nelson DeOliveira, from Applicant
Adam Dash, Esq., attorney for Applicant
Evan Stellman, KDI Architecture, architect for Applicant
Madison Anthony, PP&Z Staff
Joeber Donascimento
Holly Simione
Jonathan DeOliveira
Marianne Walles
Donna Romeo
Paul Romeo
Shawn Kwok-Moore
Edith Kwok-Moore

Councilor Clingan welcomed everyone and introduced himself before handing the floor over to Attorney Dash. Attorney Dash introduced the development team and Ms. Anthony, and then stated the purpose of the meeting.

Attorney Dash went through the project details for the demolition of the existing two-family Detached House structure, and the proposed construction of a new five-unit, three-story Apartment Building, which requires site plan approval for the building, a special permit for the residential use, and variances for primary front façade build-out and landscape buffer. He explained the neighborhood context, the process going forward, and the relief sought. He also explained that the existing structure had not been found Significant by the Historic Preservation Commission, such that Demolition Review would not apply.

Mr. Stellman went through the existing and proposed plans and showed elevations and renderings.

Attorney Dash then opened the meeting up for questions from the public.

Public Comment can be summarized as follows:

A resident asked about the Historic Preservation Commission's vote on Significance, which was explained by Mr. Dash and Ms. Anthony. It was reiterated that Significance was not found for the existing structure.

A resident was pleased that five motor vehicle parking spaces were being proposed and asked whether more could be added on-site. Their concern was that the development at the old Star Market/Walgreens site could lead to more on-street parking demand. Mr. Dash said it was unlikely that more parking spaces could be added due to the narrowness of the lot, and that five parking spaces should be sufficient.

A resident said that the house next door at 10 Wheatland was expanded to add almost a third floor.

Several residents asked about mitigation and impacts from construction and demolition. Mr. Dash explained that the Applicant had done this sort of project before and that the City would require construction and demolition mitigation measures to lessen the impact. Councilor Clingan said that neighbors would receive the required advance notice of the demolition.

A resident raised a concern about rodents during construction, and said that the property has been a problem on the street due to its having been abandoned for so long. Mr. Dash explained that the Applicant recently purchased the property and that this project is looking to get the property occupied and attractive. Mr. Dash also said that rodent control is a requirement of the demolition process.

Councilor Clingan said that he would be interested in seeing how the design process goes with the Urban Design Commission, and said that he would prefer a more traditional design to look more like the rest of the street.

A resident asked about the proposed timeline for the project. Mr. Dash said that the zoning process would take about six to nine months. Mr. DeOliveira said that he expected demolition

and construction to then take about a year, and that he had no plans to demolish the existing structure prior to zoning approval of the new structure.

A resident asked whether a shadow study would be done. Mr. Dash said no because one was not required and the building is compliant as to height. The building is being pulled away from the abutter to the right side and moved closer to the blank wall on the left side, which is the rear of the commercial building facing Broadway. This would reduce the impact on the abutter to the right side of the property.

A resident asked about accessibility issues for the proposed structure. Mr. Stellman explained that the first floor unit would be adaptable for a lift in case one was needed to access the basement.

Councilor Clingan stated that there would be one affordable unit required for this project and asked whether the first floor unit could be the affordable unit. Mr. Dash explained that, while the Applicant can suggest which unit could be the affordable unit, that is really more up to the City's Housing Division.

A resident asked where the trash would be stored. Mr. Stellman showed the location on the plans, which is at the rear of the driveway in a cedar enclosure.

A resident asked about the green space. Mr. Stellman showed the location on the plans, being planters in the front by the sloped walk for accessibility purposes, and green space in the rear. Mr. Dash stated that the project was compliant as to green space. The resident then asked whether the black swallow wort currently growing at the property could be removed and not put into compost.

A resident asked what would happen at the abandoned property between now and the construction. Mr. Donascimento said that he lived across the street from the property and that the Applicant has hired him to keep an eye on it. Mr. Donascimento periodically removes trash and checks on the property. He has also notified the police when trespassers have been on the property. Councilor Clingan said that he has been dealing with issues at this abandoned property for years. This was corroborated by other neighbors. Mr. Dash said that this project was a solution to those problems.

Seeing no further comments or questions, Councilor Clingan thanked everyone for attending and closed the meeting.

The meeting was adjourned at 7:20 pm.

PROPOSED DEVELOPMENT

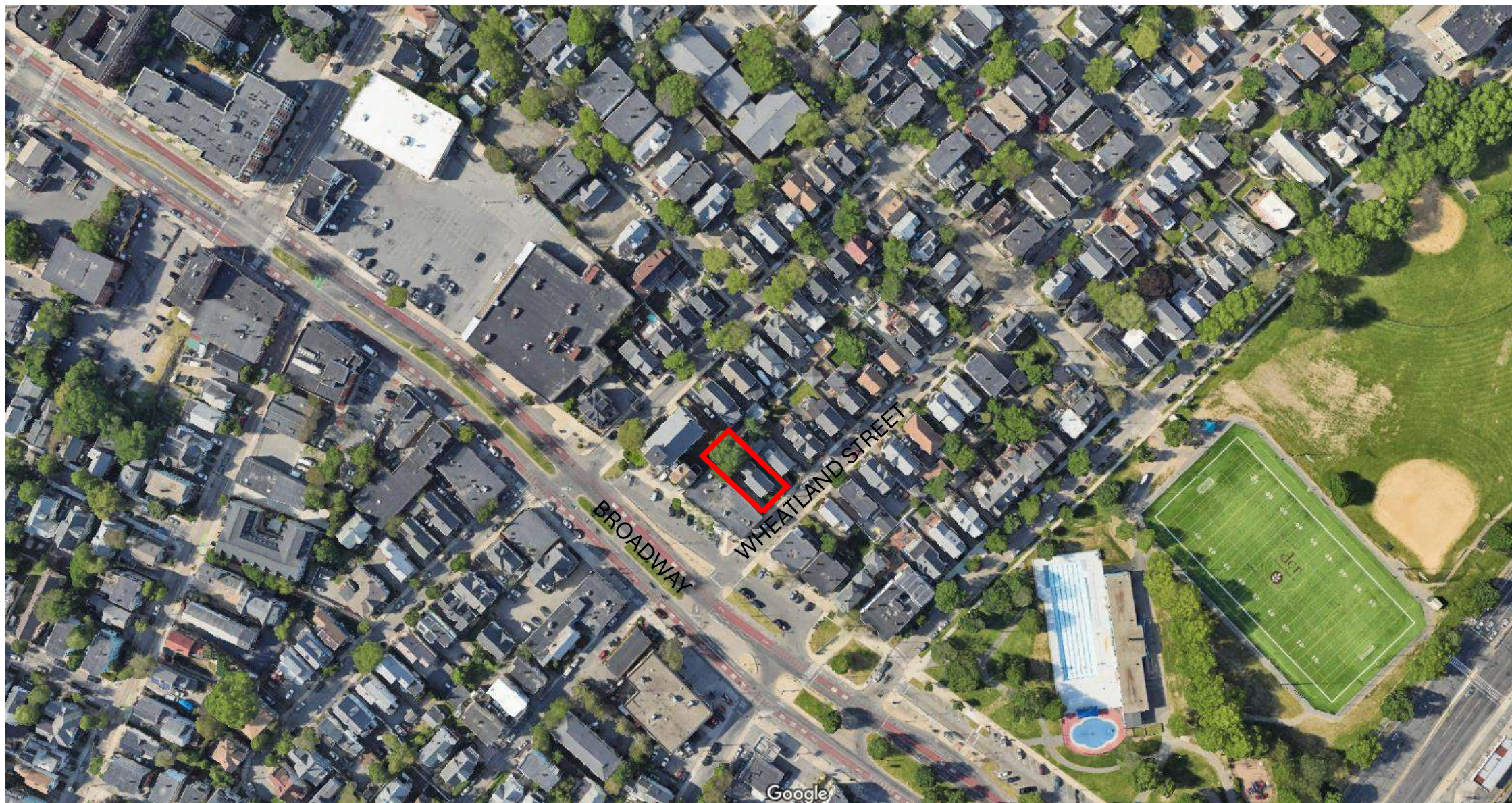
6 Wheatland Street
Somerville, MA

NEIGHBORHOOD MEETING 1: 06/30/2025

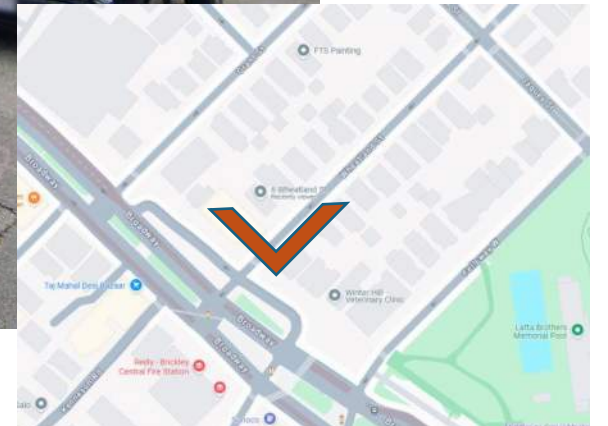


EXISTING CONDITIONS

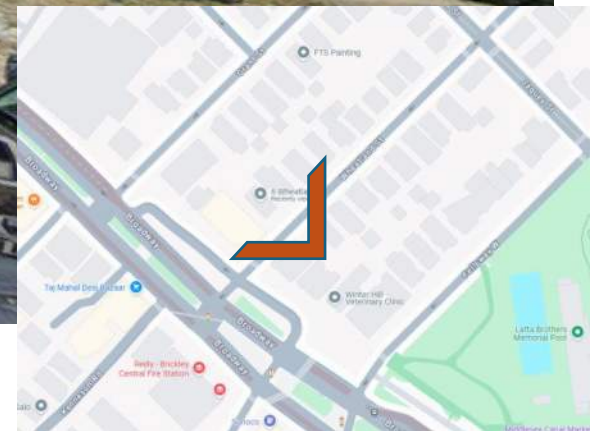
6 WHEATLAND STREET



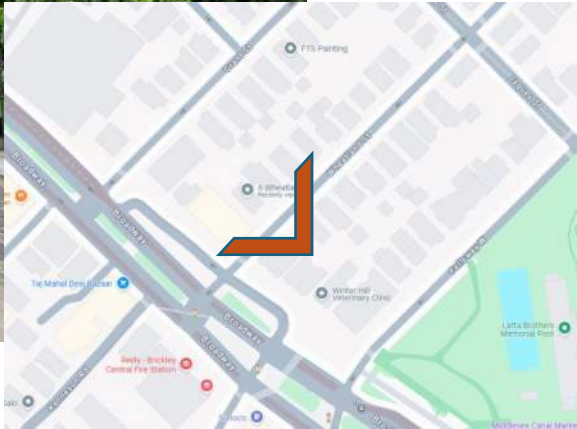
6 Wheatland Street, Somerville, MA
Existing Conditions



6 Wheatland Street, Somerville, MA
Existing Conditions



6 Wheatland Street, Somerville, MA
Existing Conditions



6 Wheatland Street, Somerville, MA
Zone – MR-3



PROJECT SUMMARY

- New Construction of a 3-Story “Apartment Building”
 - 5 Residential Units
 - 20% of total Units (1) to be affordable units
- Gross Floor Area Proposed= ±7,450 SF
- Unit 1: ±2,080 sf (3 Bedrooms / 2 Bathrooms)
- Unit 2: ±997 sf (2 Bedrooms / 2 Bathrooms)
- Unit 3: ±1,267 sf (2 Bedrooms / 2 Bathrooms)
- Unit 4: ±1,206 sf (2 Bedrooms / 2 Bathrooms)
- Unit 5: ±1,136 sf (2 Bedrooms / 2 Bathrooms)

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF DECEMBER 23, 2024 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

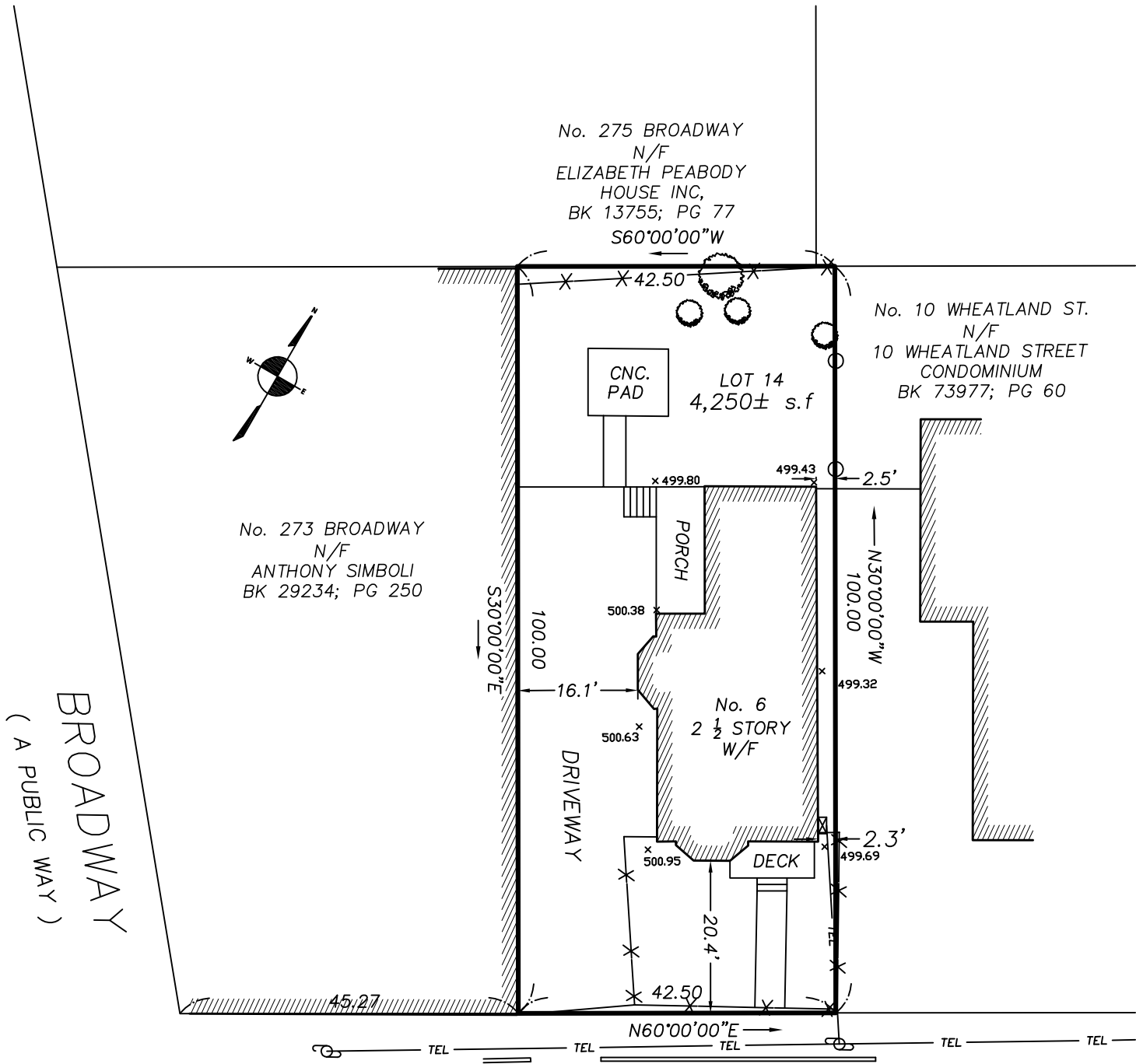
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS
ZONE: X
COMMUNITY PANEL: 25017C0439E
EFFECTIVE DATE: 06-04-2010

PREPARED FOR:
JOHN & PETER CHRISTOPHER
6 WHEATLAND ST.
SOMERVILLE, MA

DEED: BK 37094; PG 228
PLAN: PL BK 16B; PL 66
PL BK 54; PL 39
PL BK 258; PL 23

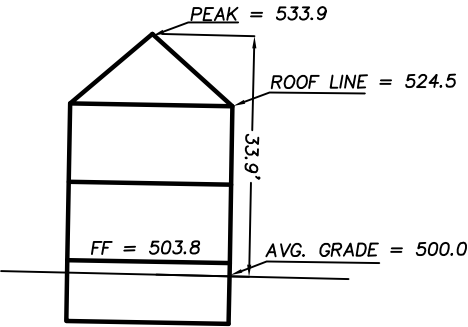
NOTES:
PARCEL ID: 70/ B/ 14//
ZONING: MR3

ZONING TABLE:		
DISTRICT:	REQUIRED	EXISTING
LOT AREA:	MR3	4,250 s.f
LOT FRONTAGE:		42.5'
LOT WIDTH:	30'	42.5'
LOT COVERAGE:	90%	22%
OPEN SPACE:	15%	59%
FRONT SETBACK:	2-12 MIN/MAX	20.4'
SIDE SETBACK:	0.0	2.3'
REAR SETBACK:	10'	29.45'
MAX. STORIES:	3	2.5

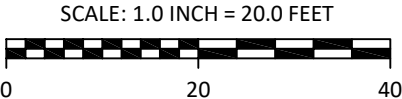


GEORGE C. COLLINS, P.L.S
UNIT C-4 SHIPWAY PLACE
CHARLESTOWN, MA 02129
(617) 242-1313

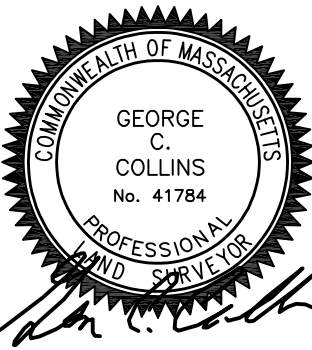
HEIGHT SKETCH:
NOT TO SCALE



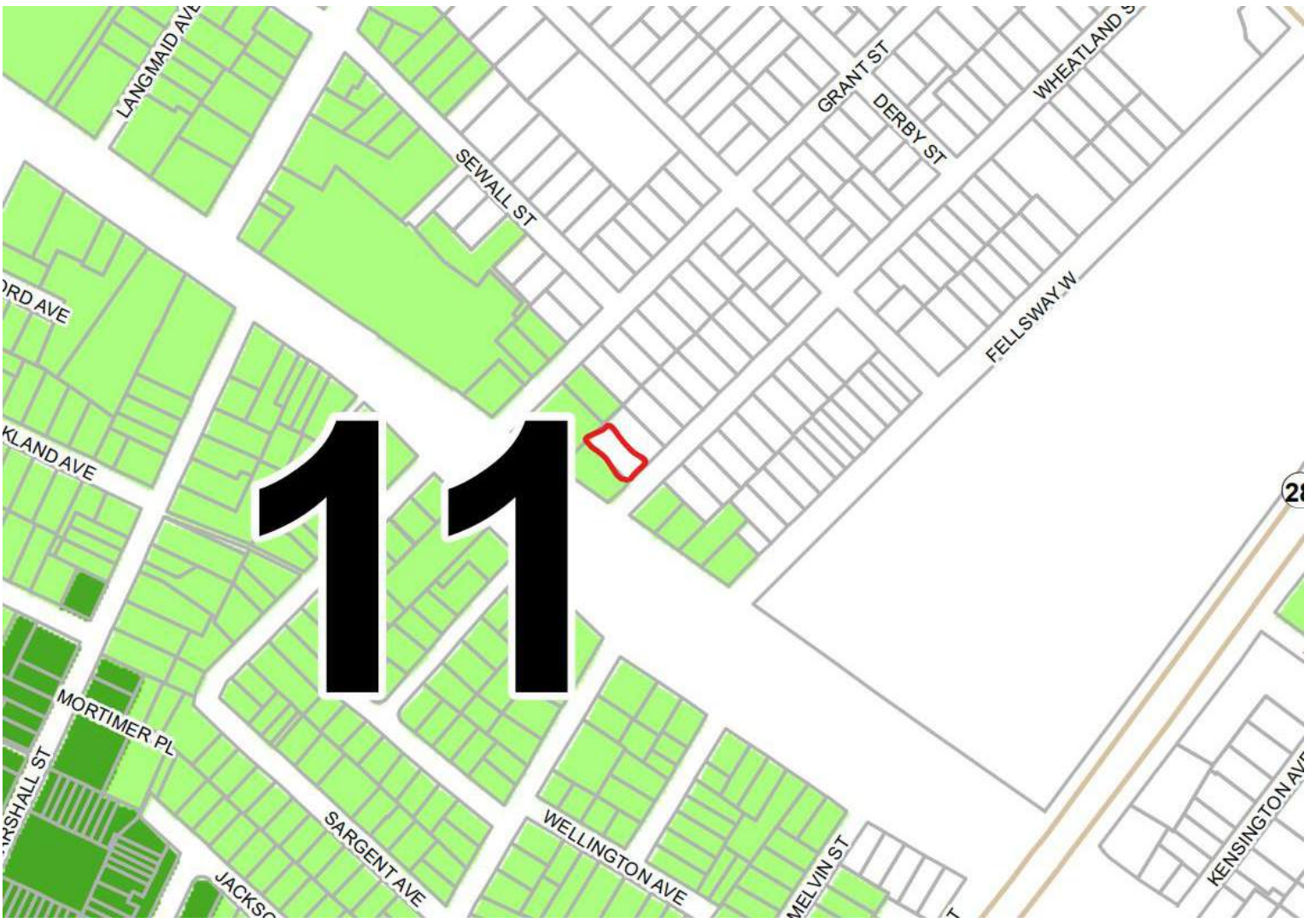
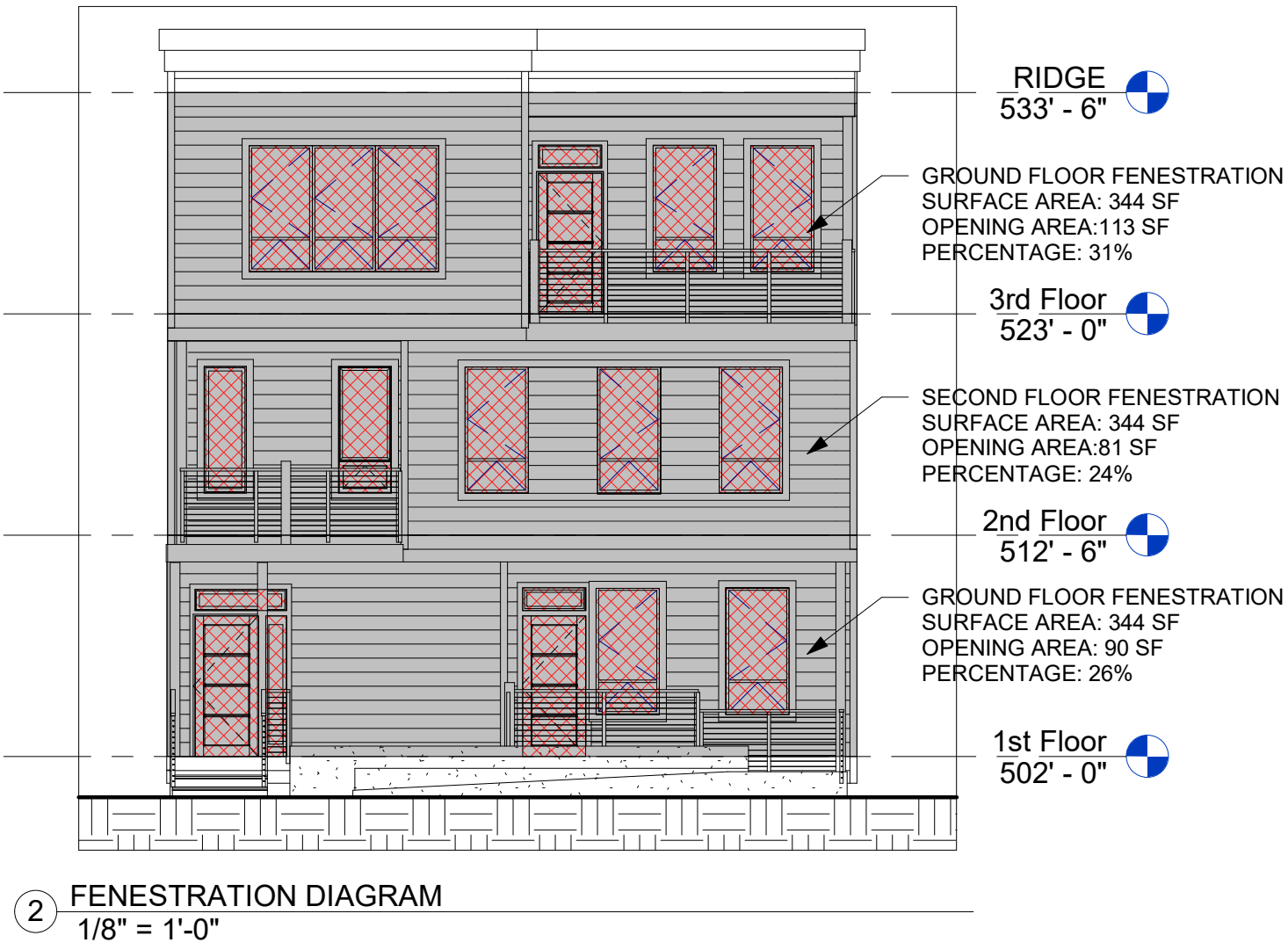
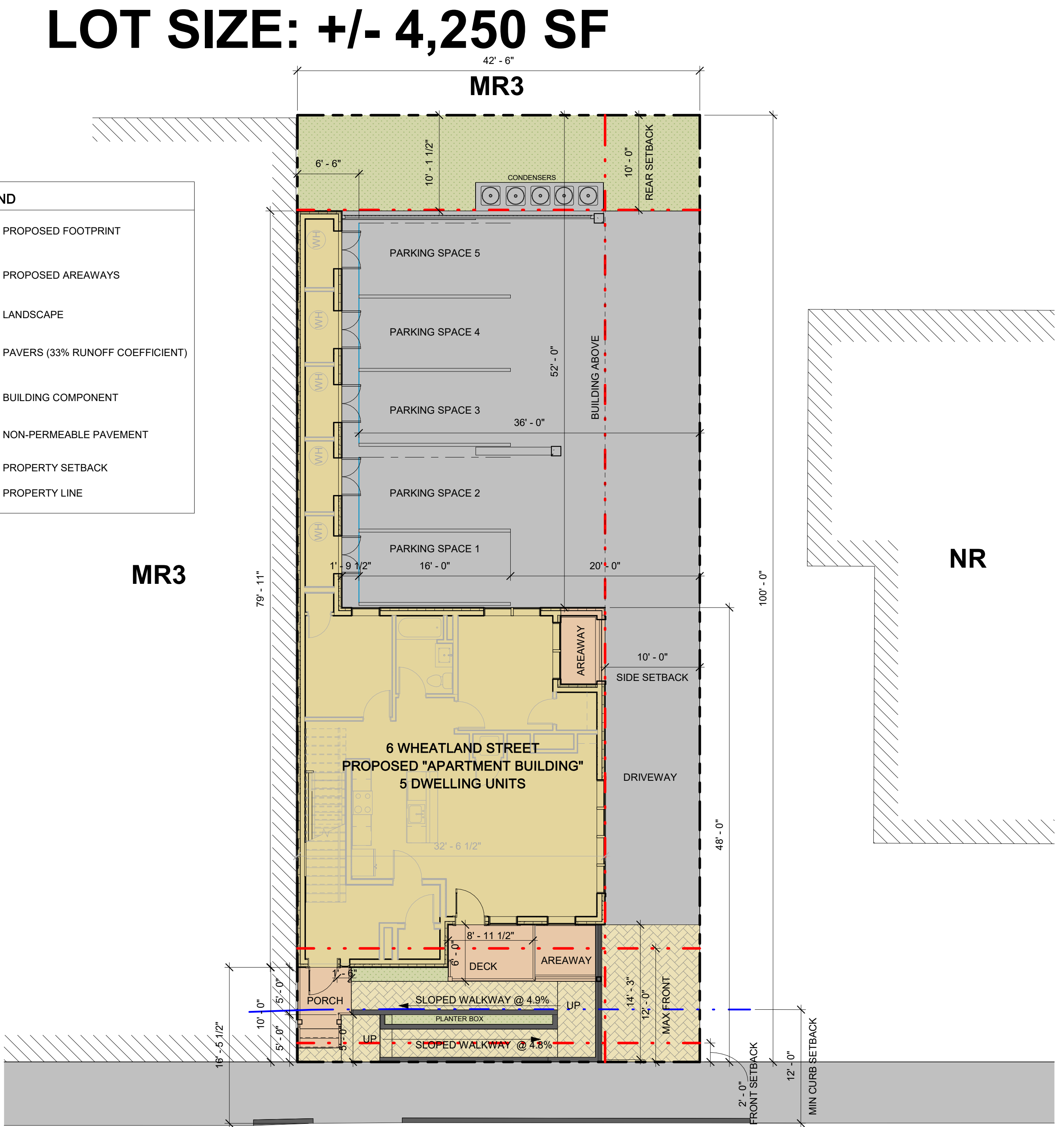
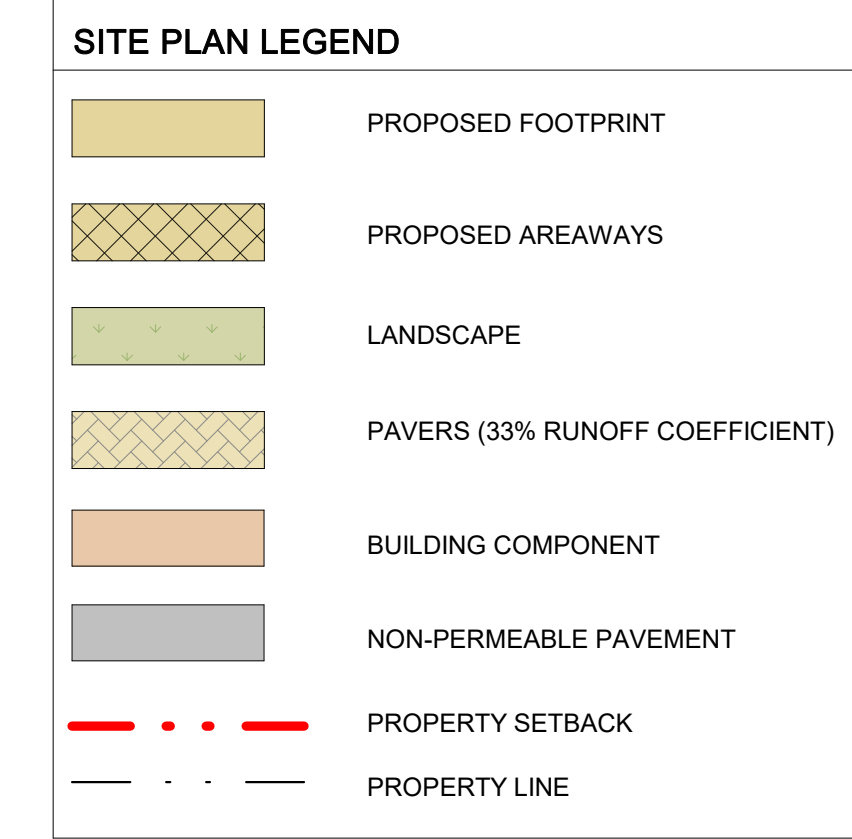
CERTIFIED PLOT PLAN
LOCATED AT
6 WHEATLAND STREET
SOMERVILLE, MA



FIELD:	JJH/TK
DRAFT:	JJH
CHECK:	GCC
DATE:	12/28/24



ZONING DIMENSIONAL TABLE				
ZONE: MR3 ZONE	ALLOWED / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
LOT SIZE		4,250 SF ±	4,250 SF ±	
BUILDING TYPE				
	APARTMENT BUILDING	COTTAGE BUNGALOW	APARTMENT BUILDING	COMPLIES
LOT DIMENSIONS				
LOT WIDTH (MIN.)	30 FT	+/- 42.5'	+/- 42.5'	COMPLIES
LOT DEVELOPMENT				
LOT COVERAGE (MAX.)	-			COMPLIES
GREEN SCORE				
MINIMUM	0.25			COMPLIES
IDEAL	0.30			SEE LANDSCAPE ARCH SET
OPEN SPACE (MIN.)	15% = 637 SF			COMPLIES
BUILDING SETBACKS				
CURB SETBACK (MIN.)	12 FT		16' 6"	COMPLIES
PRIMARY FRONT (MIN./ MAX.)	2 FT / 12 FT		10'	COMPLIES
SECONDARY FRONT (MIN./ MAX.)	2 FT / 12 FT		N/A	COMPLIES
SIDE SETBACK (MIN.)				
ABUTTING ANY NON-NR OR -LDH	0 FT		0 FT (LEFT)	COMPLIES
ABUTTING ANY NR OR -LDH	10 FT		10 FT (RIGHT)	
REAR SETBACK (MIN.)				
ALLEY OR R-ROW	0 FT		10 FT	COMPLIES
NO ALLEY	10 FT			
NO ALLEY & ABUTTING NR OR LDH	20 FT			
PARKING SETBACKS				
PRIMARY FRONT SETBACK (MIN.)	30 FT		48 FT	COMPLIES
SECONDARY FRONT SETBACK (MIN.)	10 FT		N/A	COMPLIES
MAIN MASSING				
BUILDING WIDTH (MAX.)	200 FT		32.5 FT	COMPLIES
FACADE BUILD OUT (MIN.)				
PRIMARY FRONT	80% / 34 FT		76.5% (32' -6 1/2")	DOES NOT COMPLY
SECONDARY FRONT	65% / 27.5 FT		N/A	COMPLIES
FLOOR PLATE (MAX.)	15,000 SF		1,605 SF	COMPLIES
GROUND STORY ELEVATION (MIN.)	2 FT		2 FT	COMPLIES
STORY HEIGHT (MIN.)	10 FT		10 FT	COMPLIES
NUMBER OF STORIES (MIN./MAX.)	2 STORIES / 3 STORIES		3 STORIES	COMPLIES
BUILDING HEIGHT, FEET (MAX.)	38 FT		32 FT	COMPLIES
ROOF TYPE	FLAT		FLAT	COMPLIES
FACADE COMPOSITION				
GROUND STORY FENESTRATION (MIN. / MAX.)	15% / 50%		GROUND FL.: 26%	COMPLIES
UPPER STORY FENESTRATION (MIN. / MAX.)	15% / 50%		2ND FL.: 24% 3RD FL.: 31%	COMPLIES
BLANK WALL (MAX.)	20 FT			
USE & OCCUPANCY				
DENSITY FACTOR (MIN.)	-			
LOT AREA <5,000 SF	1,500 = 5 UNITS			COMPLIES
NET ZERO READY	850 SF / DU = 8.8 UNITS			
OUTDOOR AMENITY SPACE (MIN.)	1 / DU		1 / DU	COMPLIES
ROOF-MOUNTED MECHANICALS				
MECHANICAL EQUIPMENT, SCREENING, PENTHOUSE HEIGHT (MAX)	10 FT MAX			COMPLIES
REQUIRED ADU'S				
0 TO 3 UNITS	NONE			
4 OR MORE	20% OF UNITS			
PARKING REQUIREMENTS (WITHIN A TRANSIT ZONE)				
BICYCLE				
SHORT-TERM	0.1/DU			COMPLIES
LONG -TERM	1.0/ DU			COMPLIES
MOTOR VEHICLE				
WITHIN TRANSIT AREA	1.0/ DU MAX.			COMPLIES
OUTSIDE OF TRANSIT AREA	1.0/ DU MIN.			



PROJECT NAME

6 Wheatland St. Residences

PROJECT ADDRESS

6 Wheatland Street, Somerville, MA

CLIENT

Nelson Group

ARCHITECT

KDI
ARCHITECTURE

KHALSA DESIGN, INC.
17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682

CONSULTANTS:

COPYRIGHT KDI © 2025
THESE DRAWINGS ARE NOW AND DO REMAIN THE SOLE PROPERTY OF KHALSA DESIGN INC. USE OF THESE PLANS OR ANY FORM OF REPRODUCTION OF THIS DESIGN IN WHOLE OR IN PART WITHOUT EXPRESS WRITTEN CONSENT IS PROHIBITED AND SHALL RESULT IN THE FULLEST EXTENT OF PROSECUTION UNDER LAW

REGISTRATION

Project number	25009
Date	03/31/2025
Drawn by	ES,RR
Checked by	ES
Scale	As indicated

REVISIONS

No.	Description	Date
1		

Architectural Site Plan

A-020

6 Wheatland St. Residences



PROJECT NAME

6 Wheatland St. Residences

PROJECT ADDRESS

6 Wheatland Street,
Somerville, MA

CLIENT

Nelson Group

ARCHITECT



ARCHITECTURE

KHALSA DESIGN, INC.
17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143

TELEPHONE: 617-591-8682

CONSULTANTS:

COPYRIGHT KDI © 2025
THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN INC. USE OF THESE PLANS OR ANY
FORM OF REPRODUCTION OF THIS DESIGN
IN WHOLE OR IN PART WITHOUT EXPRESS
WRITTEN CONSENT IS PROHIBITED AND
SHALL RESULT IN THE FULLEST EXTENT
OF PROSECUTION UNDER LAW

REGISTRATION

Project number	25009
Date	03/31/2025
Drawn by	RR
Checked by	ES
Scale	1/4" = 1'-0"

REVISIONS

[illegible]

Front & Right
Building
Elevations-Facade
Option 2

A-300B

6 Wheatland St. Residences

11tkg-nas1522Data\2512509_Nelson Oliveira_6 Wheatland St. Somerville\03_DRAWINGS\00_ARCH\01_SD12509_6 Wheatland St. Somerville MA - SD.rvt

3/31/2025 2:52:00 PM





① 3D View 7



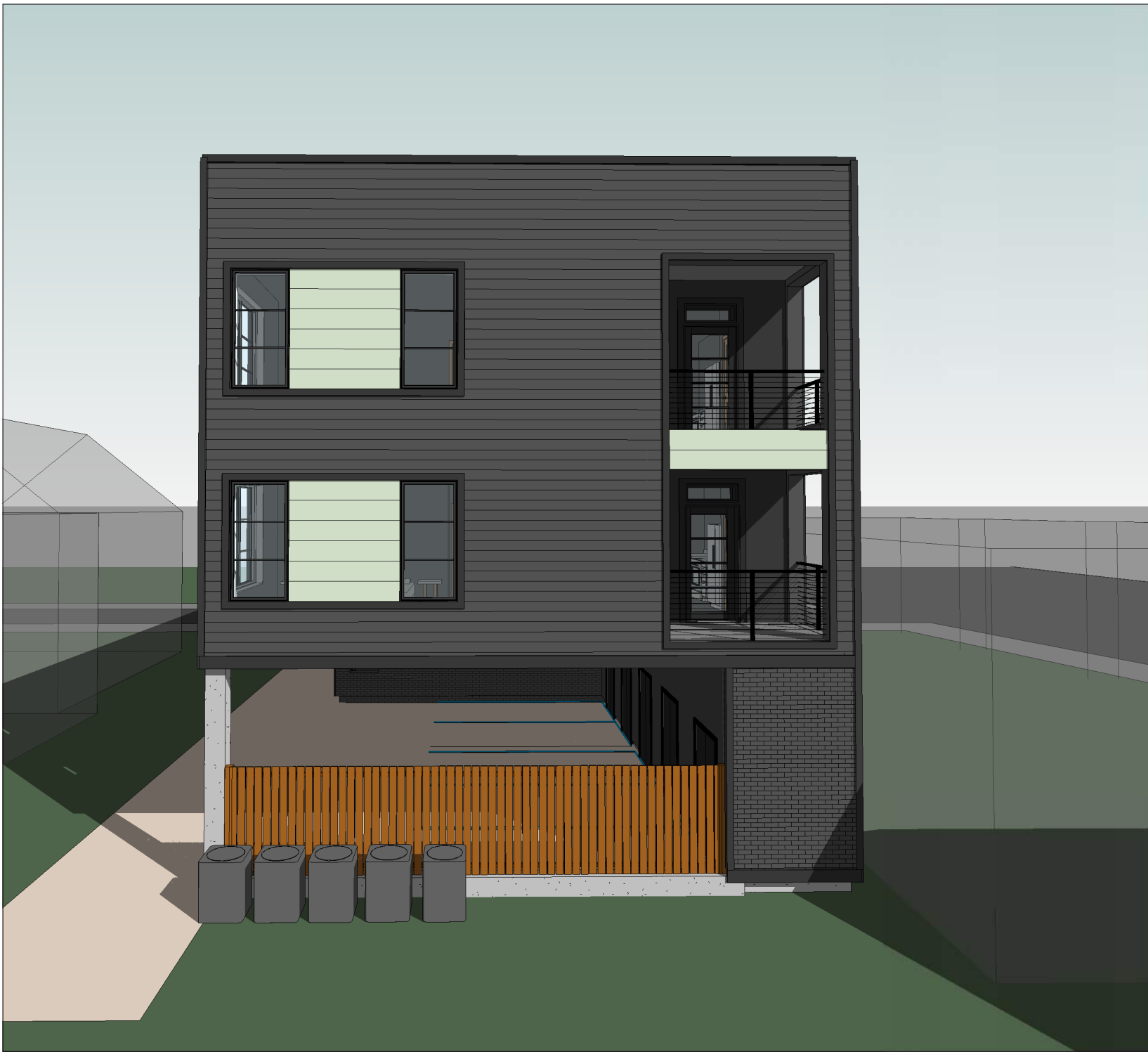
② 3D View 8



③ 3D View 11



④ 3D View 13



⑥ 3D View 17



⑤ 3D View 15

PROJECT NAME

6 Wheatland St.
Residences

PROJECT ADDRESS

6 Wheatland Street,
Somerville, MA

CLIENT

Nelson Group

ARCHITECT



ARCHITECTURE

KHALSA DESIGN, INC.
17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143

TELEPHONE: 617-591-8682

CONSULTANTS:

COPYRIGHT KDI © 2025
THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN INC. USE OF THESE PLANS OR ANY
FORM OF REPRODUCTION OF THIS DESIGN
IN WHOLE OR IN PART WITHOUT EXPRESS
WRITTEN CONSENT IS PROHIBITED AND
SHALL RESULT IN THE FULLEST EXTENT
OF PROSECUTION UNDER LAW

REGISTRATION

Project number	25009
Date	03/31/2025
Drawn by	RR
Checked by	ES
Scale	

REVISIONS

No.	Description	Date

Perspectives -
Option 2

AV-1B

6 Wheatland St. Residences

PROJECT SUMMARY

Zoning Summary

Special Permits:

- SZO 4.1.6.b.i: Special Permit Required for: Building Type (Apartment Building – MR3 Zone)
- SZO 4.1.13: Special Permit Required for: Use (Household Living)

• Variances:

- SZO 4.1.7.A: Façade Build Out
 - 80% Required Build Out at Wheatland Street Required (34') / 76.5% (32'6") Maximum allowed w/ compliant setbacks.
- SZO 10.3.6.b.i: Landscape Buffer
 - "Landscape buffers must be located along the outer perimeter of the lot, parallel to and extending along one hundred percent (100%) of the length of the lot line."
 - 0' buffer shown.

• Process

- Neighborhood Meeting 1 (Tonight)
- Urban Design Commission
- Neighborhood Meeting
- Development Review Application for Variances
- Development Review Application for Special Permits

LEGEND

- NEW WALL
- WALL TYPE
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR

GENERAL FLOOR PLAN NOTES

1. FINAL KITCHEN LAYOUT TO BE DETERMINED BY OWNER

2. REFER TO FINISH SCHEDULE FOR FINISHES

3. UNLESS OTHERWISE NOTED ALL INTERIOR WALL SHALL BE TYPE "1"

4. SEE A-800 FOR PARTITION TYPES

5. MOISTURE RESISTANT GWB. TO BE USED IN ALL BATHROOMS AND KITCHENS

6. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES & CLADDING MATERIALS

7. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE GWB

8. ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF STUD., TYP., UNLESS NOTED OTHERWISE
9. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES

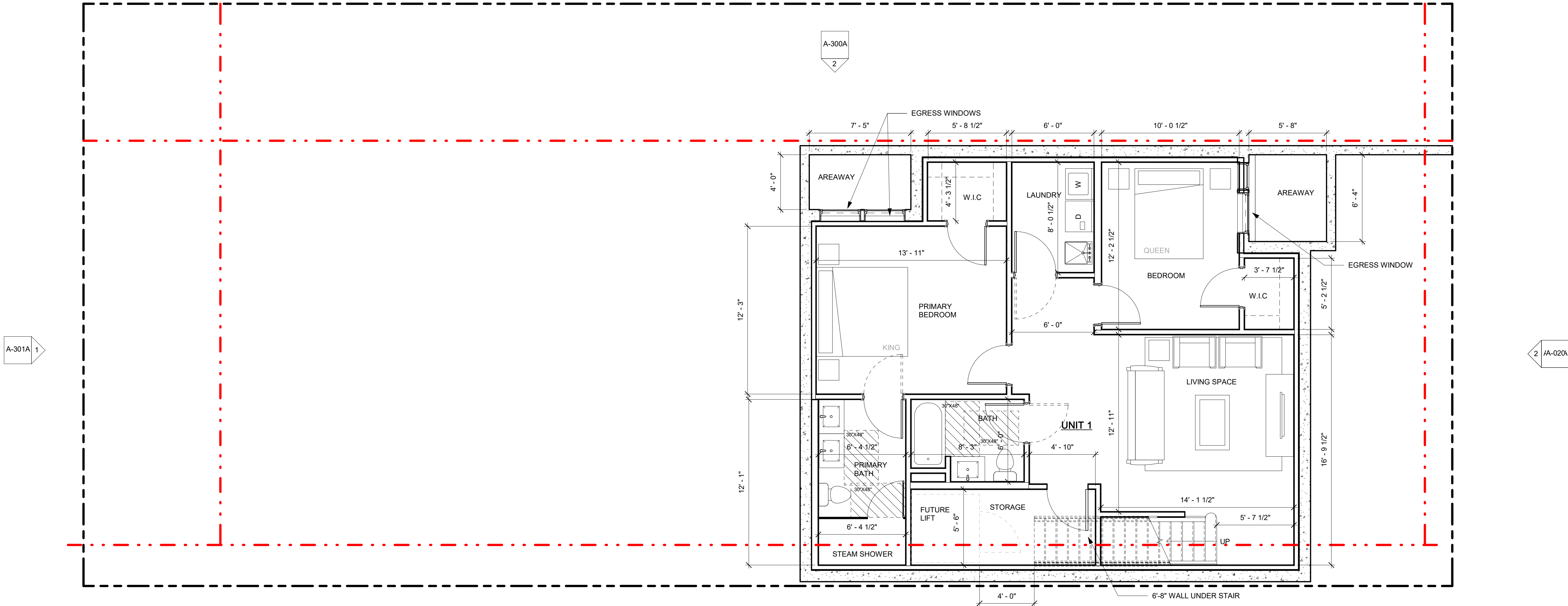
10. CONTRACTOR TO COORDINATE DESIGN-BUILD DRAWINGS FOR MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION WITH SUBCONTRACTORS PRIOR TO CONSTRUCTION.

11. ELECTRICAL OUTLETS ON OPPOSITE SIDE OF WALL SHOULD BE INSTALLED AT LEAST 2'-0" FROM EACH OTHER

12. CONTRACTOR TO VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO DEMOLITION & CONSTRUCTION

13. CONTRACTOR TO SUBMIT DOOR & WINDOW SCHEDULE TO BE REVIEWED & APPROVED BY ARCHITECT PRIOR TO ORDERING AND CONSTRUCTION.

14. UNLESS OTHERWISE NOTED ALL EXTERIOR WALLS SHALL BE TYPE "X1"



1 Basement
1/4" = 1'-0"

PROJECT NAME

6 Wheatland St.
Residences

PROJECT ADDRESS

6 Wheatland Street,
Somerville, MA

CLIENT

Nelson Group

ARCHITECT



KHALSA DESIGN, INC.
17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143

TELEPHONE: 617-591-8682

CONSULTANTS:

COPYRIGHT KDI © 2025
THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN INC. USE OF THESE PLANS OR ANY
FORM OF REPRODUCTION OF THIS DESIGN
IN WHOLE OR IN PART WITHOUT EXPRESS
WRITTEN CONSENT IS PROHIBITED AND
SHALL RESULT IN THE FULLEST EXTENT
OF PROSECUTION UNDER LAW

REGISTRATION

Project number	25009
Date	03/31/2025
Drawn by	RR
Checked by	ES
Scale	1/4" = 1'-0"

REVISIONS

No.	Description	Date
1		

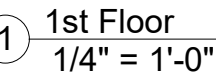
Basement Plan

A-100

6 Wheatland St. Residences

	NEW WALL
	WALL TYPE
	CARBON MONOXIDE DETECTOR
	SMOKE DETECTOR

1. FINAL KITCHEN LAYOUT TO BE DETERMINED BY OWNER 2. REFER TO FINISH SCHEDULE FOR FINISHES 3. UNLESS OTHERWISE NOTED ALL INTERIOR WALL SHALL BE TYPE "I" 4. SEE A-800 FOR PARTITION TYPES 5. MOISTURE RESISTANT GWB. TO BE USED IN ALL BATHROOMS AND KITCHENS 6. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES & CLADDING MATERIALS 7. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE GWB 8. ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF STUD, TYP., UNLESS NOTED OTHERWISE	9. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES 10. CONTRACTOR TO COORDINATE DESIGN-BUILD DRAWINGS FOR MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION WITH SUBCONTRACTORS PRIOR TO CONSTRUCTION. 11. ELECTRICAL OUTLETS ON OPPOSITE SIDE OF WALL SHOULD BE INSTALLED AT LEAST 2'-0" FROM EACH OTHER 12. CONTRACTOR TO VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO DEMOLITION & CONSTRUCTION 13. CONTRACTOR TO SUBMIT DOOR & WINDOW SCHEDULE TO BE REVIEWED & APPROVED BY ARCHITECT PRIOR TO ORDERING AND CONSTRUCTION. 14. UNLESS OTHERWISE NOTED ALL EXTERIOR WALLS SHALL BE TYPE "X1"
--	--



6 Wheatland St. Residences

LEGEND

NEW WALL

WALL TYPE

CARBON MONOXIDE DETECTOR

SMOKE DETECTOR

GENERAL FLOOR PLAN NOTES

1. FINAL KITCHEN LAYOUT TO BE DETERMINED BY OWNER

2. REFER TO FINISH SCHEDULE FOR FINISHES

3. UNLESS OTHERWISE NOTED ALL INTERIOR WALL SHALL BE TYPE "1"

4. SEE A-800 FOR PARTITION TYPES

5. MOISTURE RESISTANT GWB. TO BE USED IN ALL BATHROOMS AND KITCHENS

6. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES & CLADDING MATERIALS

7. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE GWB

8. ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF STUD. TYP., UNLESS NOTED OTHERWISE

9. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES

10. CONTRACTOR TO COORDINATE DESIGN-BUILD DRAWINGS FOR MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION WITH SUBCONTRACTORS PRIOR TO CONSTRUCTION.

11. ELECTRICAL OUTLETS ON OPPOSITE SIDE OF WALL SHOULD BE INSTALLED AT LEAST 2'-0" FROM EACH OTHER

12. CONTRACTOR TO VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO DEMOLITION & CONSTRUCTION

13. CONTRACTOR TO SUBMIT DOOR & WINDOW SCHEDULE TO BE REVIEWED & APPROVED BY ARCHITECT PRIOR TO ORDERING AND CONSTRUCTION.

14. UNLESS OTHERWISE NOTED ALL EXTERIOR WALLS SHALL BE TYPE "X1"

PROJECT NAME

6 Wheatland St.
Residences

PROJECT ADDRESS

6 Wheatland Street,
Somerville, MA

CLIENT

Nelson Group

ARCHITECT

ARCHITECTURE

KHALSA DESIGN, INC.
17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143

TELEPHONE: 617-591-8682

CONSULTANTS:

COPYRIGHT KDI © 2025
THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN INC. USE OF THESE PLANS OR ANY
FORM OF REPRODUCTION OF THIS DESIGN
IN WHOLE OR IN PART WITHOUT EXPRESS
WRITTEN CONSENT IS PROHIBITED AND
SHALL RESULT IN THE FULLEST EXTENT
OF PROSECUTION UNDER LAW

REGISTRATION

Project number	25009
Date	03/31/2025
Drawn by	RR
Checked by	ES
Scale	1/4" = 1'-0"

REVISIONS

No.	Description	Date

2nd Floor Plan

A-102

6 Wheatland St. Residences

\\kg-ras152\\Data\\25009_Nelson_Oliveira_6 Wheatland St_Somerville\\03_ARCH\\01_DRAWINGS\\00_ARCH\\01_SD\\25009_6 Wheatland St_Somerville MA - SD.rvt

3/31/2025 2:51:51 PM

LEGEND

- NEW WALL
- WALL TYPE
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR

GENERAL FLOOR PLAN NOTES

1. FINAL KITCHEN LAYOUT TO BE DETERMINED BY OWNER

2. REFER TO FINISH SCHEDULE FOR FINISHES

3. UNLESS OTHERWISE NOTED ALL INTERIOR WALL SHALL BE TYPE "1"

4. SEE A-800 FOR PARTITION TYPES

5. MOISTURE RESISTANT GWB. TO BE USED IN ALL BATHROOMS AND KITCHENS

6. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES & CLADDING MATERIALS

7. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE GWB

8. ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF STUD, TYP., UNLESS NOTED OTHERWISE
9. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES

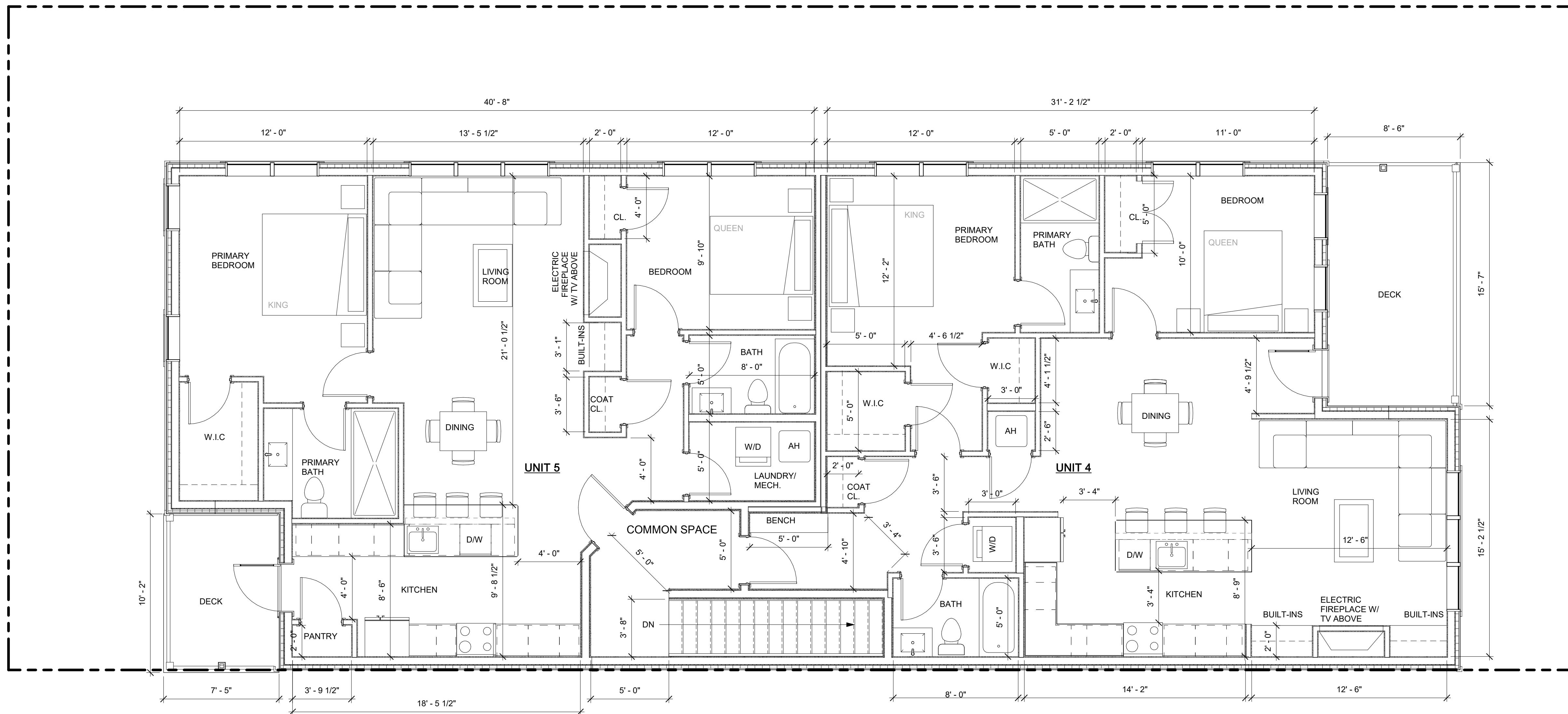
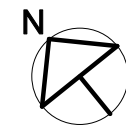
10. CONTRACTOR TO COORDINATE DESIGN-BUILD DRAWINGS FOR MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION WITH SUBCONTRACTORS PRIOR TO CONSTRUCTION.

11. ELECTRICAL OUTLETS ON OPPOSITE SIDE OF WALL SHOULD BE INSTALLED AT LEAST 2'-0" FROM EACH OTHER

12. CONTRACTOR TO VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO DEMOLITION & CONSTRUCTION

13. CONTRACTOR TO SUBMIT DOOR & WINDOW SCHEDULE TO BE REVIEWED & APPROVED BY ARCHITECT PRIOR TO ORDERING AND CONSTRUCTION.

14. UNLESS OTHERWISE NOTED ALL EXTERIOR WALLS SHALL BE TYPE "X1"



① 3rd Floor
1/4" = 1'-0"

PROJECT NAME

6 Wheatland St.
Residences

PROJECT ADDRESS

6 Wheatland Street,
Somerville, MA

CLIENT

Nelson Group

ARCHITECT



ARCHITECTURE

KHALSA DESIGN, INC.
17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143

TELEPHONE: 617-591-8682

CONSULTANTS:

COPYRIGHT KDI © 2025
THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN INC. USE OF THESE PLANS OR ANY
FORM OF REPRODUCTION OF THIS DESIGN
IN WHOLE OR IN PART WITHOUT EXPRESS
WRITTEN CONSENT IS PROHIBITED AND
SHALL RESULT IN THE FULLEST EXTENT
OF PROSECUTION UNDER LAW

REGISTRATION

Project number	25009
Date	03/31/2025
Drawn by	RR
Checked by	ES
Scale	1/4" = 1'-0"

REVISIONS

No.	Description	Date
1		

3rd Floor Plan

A-103

6 Wheatland St. Residences

300 Ft Abutters List 6 Wheatland St

REM_MBLU_MAP	REM_MBLU_BLOCK	REM_MBLU_LOT	REM_MBLU_UNIT	REM_PRCL_LOCN	REM_USE_CODE	OWN_NAME1	OWN_NAME2	MAD_MAIL_ADDR1	MAD_MAIL_CITY	MAD_MAIL_STATE	MAD_MAIL_ZIP
70	A	10		32 GRANT ST	1010	KOPKA CYNTHIA & VOIT DANIEL		32 GRANT ST	SOMERVILL	MA	02145
70	A	11		28 GRANT ST	1040	FERRAZ DAVID & STEPHANIE		60 BRISTOL ST	CAMBRIDGE	MA	02141
70	A	12		24 GRANT ST	1040	FERRAZ ISaura C & JOAO M TRS OF THE ISaura C FERRAZ LIVING TR		60 BRISTOL ST	CAMBRIDGE	MA	02141
70	A	13		7 SEWALL ST	1050	NORTON CLAUDIA & TIMOTHY		7 SEWALL ST	SOMERVILL	MA	02145
70	B	6		34 WHEATLAND ST	1040	LIMA LUNE & ELMISE		P.O. BOX 45002	SOMERVILL	MA	02145
70	B	7		30 WHEATLAND ST	1040	FARIA MANUEL & MARIA D FOR LIFE	FARIA ALDINA M	49 BELLFLOWER RD	BILLERICA	MA	01821
70	B	8		26 WHEATLAND ST	1010	CUTLER IAN	ADELBERG CANDACE	26 WHEATLAND ST	SOMERVILL	MA	02145
70	B	9		24 WHEATLAND ST	1010	KWOK EDITH Y	MOORE SHAWN M	24 WHEATLAND ST	SOMERVILL	MA	02145
70	B	10	1	20 WHEATLAND ST	1020	WICKMAN SAMANTHA		20 WHEATLAND ST #1	SOMERVILL	MA	02145
70	B	10	2	22 WHEATLAND ST	1020	STOOPS DAVID P & DEBEER CARA E		22 WHEATLAND ST #2	SOMERVILL	MA	02145
70	B	10	M	20-22 WHEATLAND ST	995						
70	B	11		18 WHEATLAND ST	1040	ROMEO PAUL A	PITCHER LOUISE C & RAYMOND	18 WHEATLAND ST	SOMERVILL	MA	02143
70	B	12		12 WHEATLAND ST	1050	FIGUEROA PORFIRIO & SONIA		12 WHEATLAND ST	SOMERVILL	MA	02143
70	B	13	10	10 WHEATLAND ST #10	1020	VENUGOPAL ROHIT	SUN YUNWEN	10 WHEATLAND ST UNIT 10	SOMERVILL	MA	02145
70	B	13	10R	10 WHEATLAND ST #10R	1020	THOMAS A & FIELDER J J III TRUSTEES	A THOMAS LVG TR & JJ FIELDER III LVG	10 WHEATLAND ST 10R	SOMERVILL	MA	02145
70	B	14		6 WHEATLAND ST	1040	NPO PROPERTIES LLC		264 SALEM ST	MEDFORD	MA	02155
70	B	15		273 BROADWAY	3220	SIMBOLI ANTHONY C TRUSTEE	MACARTHUR REALTY TRUST	397 MAIN STREET	WOBBURN	MA	01801
70	B	16		275 BROADWAY	9540	ELIZABETH PEABODY HOUSE INC		277 BROADWAY	SOMERVILL	MA	02145
70	B	17		9 GRANT ST	1040	RODRIGUES ROSA TRUSTEE	ROSA RODRIGUES LIVING TRUST	9 GRANT ST	SOMERVILL	MA	02145
70	B	18		15 GRANT ST	1040	XIA YIYI TR OF THE 15 GRANT ST		15 GRANT ST	SOMERVILL	MA	02145
70	B	19		17 GRANT ST	1040	LEUNG WESLEY & LINE NA	LEUNG PHILIP	17 GRANT ST	SOMERVILL	MA	02145
70	B	20		21 GRANT ST	1040	FERRANTI ANNE M TRUSTEE	ANNE M FERRANTI TRUST	82 MIDLAND DR	WALTHAM	MA	02451
70	B	21		25 GRANT ST	1040	DELA VITORIO		25 GRANT ST	SOMERVILL	MA	02145
70	B	22		29 GRANT ST	1040	ALVARENGA RHINA	F. FREDERICO	29 GRANT ST	SOMERVILL	MA	02145
70	B	23		31 GRANT ST	1040	RICHARD S LANE FAMILY LLC		31 WAINWRIGHT RD	WINCHESTER	MA	01890
70	B	24		33 GRANT ST	1010	CHURCHILL STEPHEN S	DAY ROSEMARIE W	33 GRANT ST	SOMERVILL	MA	02145

70	C	7	1	24 FELLSSWAY WEST	1020	BRAY KYLE D & JEFFREY		24 FELLSSWAY WEST UNIT 1	SOMERVILL	MA	02145
70	C	7	2	24 FELLSSWAY WEST	1020	DEMELLO VIVIANA BENROS TR OF THE VIVIANA B DE MELLO 24 REV TR		24 FELLSSWAY WEST UNIT 2	SOMERVILL E	MA	02145
70	C	7	3	24 FELLSSWAY WEST	1020	CZEISPERGER AARON & NAG VITHIKA		24 FELLSSWAY WEST #3	SOMERVILL	MA	02145
70	C	7	M	24-24 FELLSSWAY WEST	995						
70	C	8		22 FELLSSWAY WEST	1010	ROBERT DANA L		22 FELLSSWAY WEST	SOMERVILL	MA	02145
70	C	9		20 FELLSSWAY WEST	1040	TAURO GINA D & BIANCA R TRUSTEES	B&G SHELLY REALTY TRUST	1060 FRANKLIN STREET	MELROSE	MA	02176
70	C	10	1	18 FELLSSWAY WEST	1020	GIRGIS SAMUEL		194 COCHITUATE RD	WAYLAND	MA	01778
70	C	10	2	18 FELLSSWAY WEST	1020	UNGAR PETER & SOHN GINHEE		18 FELLSSWAY WEST #2	SOMERVILL	MA	02145
70	C	10	M	18-18 FELLSSWAY WEST	995						
70	C	11	1	16 FELLSSWAY WEST #1	1020	GIBEAU TIMOTHY D	HYLAND ERIC S	16 FELLSSWAY WEST UNIT 1	SOMERVILL	MA	02145
70	C	11	2	16 FELLSSWAY WEST #2	1020	BLUHM ALEXANDER M & BARAG MOLLY E		16 FELLSSWAY WEST #2	SOMERVILL	MA	02145
70	C	11	3	16 FELLSSWAY WEST #3	1020	SHAN KARTIK & FONDASKAR SANAYA		16 FELLSSWAY WEST UNIT 3	SOMERVILL	MA	02145
70	C	12	M	14-14 A FELLSSWAY WEST	995						
70	C	12	14A	14A FELLSSWAY WEST	1020	MCGEOWN ANDREW A & CAPONE		14 FELLSSWAY WEST UNIT A	SOMERVILL	MA	02145
70	C	12	14B	14B FELLSSWAY WEST	1020	BANNISTER DAVID K	MASON EMILY C	14B FELLSSWAY WEST	SOMERVILL	MA	02145
70	C	13		12 FELLSSWAY WEST	1040	FILHO JOSE R & PROCOPIO MARIA R FOR LIFE	ROSA NICHOLE TR OF THE ROSA FAMILY TR REMAINDERMAN	12 FELLSSWAY WEST	SOMERVILL E	MA	02145
70	C	14		10 FELLSSWAY WEST	1050	RIBEIRO ELIETE A		10 FELLSSWAY WEST	SOMERVILL	MA	02145
70	C	14		255 BROADWAY	1110	LACOURT BENEVOLENCE TRUST, LLC		30 COLLEGE AVE	SOMERVILL	MA	02144
70	C	15		257 BROADWAY	0104	NEENAN EMILY TRUSTEE	THE MAX JOHNSON RLTY TRUST	1829 CANDLEWOOD DR	NAVARRE	FL	32566
70	C	16		259 BROADWAY	1110	ALVES MARIA P		40 BENTON RD	SOMERVILL	MA	02143
70	C	17		265 BROADWAY	1110	263-265 BROADWAY REALTY LLC		59 UNION SQ	SOMERVILL	MA	02143
70	C	18		9 WHEATLAND ST	1010	TRUST HARRINGTON REALTY	HARRINGTON TIMOTHY J & PATRICIA S TRSTEE	9 WHEATLAND ST	SOMERVILL E	MA	02145
70	C	19		11 WHEATLAND ST	1050	11 WHEATLAND LLC		11 WHEATLAND ST APT 3	SOMERVILL	MA	02145
70	C	20	1	15 WHEATLAND ST #1	1020	PENSUWAN VANPAT		15 WHEATLAND ST UNIT 1	SOMERVILL	MA	02144
70	C	20	2	15 WHEATLAND ST #2	1020	HUANG MING-YI & YEH KUAN-WU		15 WHEATLAND ST #2	SOMERVILL	MA	02145
70	C	20	3	15 WHEATLAND ST #3	1020	LI JUN & JIA MENG		15 WHEATLAND ST #3	SOMERVILL	MA	02145
70	C	21		19 WHEATLAND ST	1050	FERNANDES MARCELLO & JOYCE C		19 WHEATLAND ST	SOMERVILL	MA	02145
70	C	22		21 WHEATLAND ST	1040	FERNANDEZ FERNANDO & MARIA	21 WHEATLAND REALTY TRUST	90 NORWICH CIRCLE	MEDFORD	MA	02155
70	C	23	1	25 WHEATLAND ST #1	1020	DIAMOND LESLIE		25 WHEATLAND ST #1	SOMERVILL	MA	02145
70	C	23	2	25 WHEATLAND ST #2	1020	FOLK NORA		25 WHEATLAND ST #2	SOMERVILL	MA	02145
70	C	23	3	25 WHEATLAND ST #3	1020	MANKIN EMILE		25 WHEATLAND ST #3	SOMERVILL	MA	02145

70	C	24		29 WHEATLAND ST	1040	WELD MICHAEL	HABTE MICHAEL OLGA	29 WHEATLAND ST	SOMERVILL	MA	02145
70	C	25		33 WHEATLAND ST	1050	HUNTINGTON CLIFF		33 WHEATLAND ST	SOMERVILL	MA	02145
70	D	11		12 SEWALL ST	1050	VILLAGRAN BERTA ALICIA		12 SEWALL ST	SOMERVILL	MA	02145
70	D	12		10 SEWALL ST	959R	SOMERVILLE COMMUNITY CORP	C/O WINGATE MANAGMENT	7 MEMORIAL ROAD	SOMERVILL	MA	02145
70	D	13	A	18 GRANT ST #A	1020	TIRONE JANINE		18 GRANT ST A	SOMERVILL	MA	02145
70	D	13	B	18 GRANT ST #B	1020	BAKER JOSHUA S & CODY DEVAN H		18 GRANT ST B	SOMERVILL	MA	02145
70	D	14		16 GRANT ST	1010	TRIPP BRIAN & KASSANDRA		16 GRANT ST	SOMERVILL	MA	02145
70	D	15		14 GRANT ST	1010	REYNOSO MANUEL		14 GRANT ST	SOMERVILL	MA	02145
70	D	16	1	10 GRANT ST #1	1020	MENON HARISH CHERIATH		10 GRANT ST 1	SOMERVILL	MA	02145
70	D	16	2	10 GRANT ST #2	1020	DELOS REYES GINO KARLO LAPITAN	DELOS REYES MANA HARVEY	10 GRANT ST 2	SOMERVILL	MA	02145
70	D	17		281 BROADWAY	0340	MCLAUGHLIN REAL ESTATE HOLDINGS		281 BROADWAY	SOMERVILL	MA	02145
70	D	27		299 BROADWAY	3240	299 BROADWAY OWNER LLC		275 GROVE ST SUITE 2-150	NEWTON	MA	02466
71	A	10		288 BROADWAY	3250	BELMONT HILL CORPORATION	C/O TRIBECA MANAGEMENT	192 PRECINCT ST	MIDDLEBOR	MA	02346
71	B	1		282 BROADWAY	3250	DOGWOOD REALTY LLC		33 THIRD ST	MEDFORD	MA	02155
71	B	2	1	280 BROADWAY #1	1020	280 BROADWAY LLC	C/O EMMA WESTCOTT	41 CIRCUIT ROAD	MEDFORD	MA	02155
71	B	2	2	280 BROADWAY #2	1020	SHINDE POOJA		280 BROADWAY #2	SOMERVILL	MA	02145
71	B	2	3	280 BROADWAY #3	1020	DIERBERGER AMY E		280 BROADWAY #3	SOMERVILL	MA	02145
71	B	2	4	280 BROADWAY #4	1020	JIANG TAO		280 BROADWAY UNIT 4	SOMERVILL	MA	02145
71	B	2	5	280 BROADWAY #5	1020	FOULKES JOHN T		3 BRIDLE RD	CHELMSFO	MA	01824
71	B	2	6	280 BROADWAY #6	1020	SNYDER ALEXANDRA		320 MERIDIAN ST UNIT 9	EAST	MA	02124
71	B	2	7	280 BROADWAY #7	1020	LIU BING & SHAO YUBIN	CHIEP JESSICA & LIU RONALD S	280 BROADWAY UNIT 7	SOMERVILL	MA	02145
71	B	3		278 BROADWAY	3220	ALVES MARIA TRUSTEE	274-278 BROADWAY ST REALTY TRUST	40 BENTON RD	SOMERVILL	MA	02143
71	B	4		7 KENNESON RD	1110	FEHLAN WILLIAM J		10 WALNUT RD	SOMERVILL	MA	02145
71	B	42		2 SARGENT AVE	1040	FERNANDES AMERICO	FERNANDES MARIA	2 SARGENT AVE	SOMERVILL	MA	02145-3194
71	C	1		272 BROADWAY	3400	272 BROADWAY LLC		PO BOX 790	WINCHESTE	MA	01890
71	C	2		268 BROADWAY	9350	CITY OF SOMERVILLE	FIRE STATION	93 HIGHLAND AVE	SOMERVILL	MA	02143
77	A	1		BROADWAY	920V	COMM OF MASS	C/O DIVISION OF CAPITAL ASSET MANAGEMENT	ONE ASHBURTON PL 15TH FL	BOSTON	MA	02108
78	A	1		258 BROADWAY	3340	MICHAEL & SALIM INC		258 BROADWAY	SOMERVILL	MA	02145
Count:	85										

