

**LANDSCAPE REGULATIONS - CAMBRIDGE**

REGULATION	ITEM	REQUIRED/ALLOWED	PROPOSED	
17.152	TREE PLANTING	AT LEAST ONE STREET TREE, MIN. CAL. 3" SHALL BE LOCATED IN THE FRONT YARD ALONG MONSIGNOR O'BRIEN HIGHWAY, FOR EACH 25' OF FRONTAGE ON THE HIGHWAY	1 TREE PER 25' OF FRONTAGE 125' OF FRONTAGE = 5 TREES MIN	5 TREES MIN ALONG MONSIGNOR O'BRIEN HWY.
6.48	PARKING LANDSCAPING	A. AT LEAST 5% OF THE INTERIOR OF THE PARKING FACILITY SHALL BE LANDSCAPED.	MIN 5% INTERIOR OF PARKING AREA LANDSCAPED	6% AREA LANDSCAPED 470 SF LANDSCAPE
		B. EACH PLANTING AREA SHALL BE AT LEAST 25 SF IN AREA AND HAVE NO DIMENSION LESS THAN 5'.	PLANTING AREA MIN. 25 SF AND NO DIMENSION LESS THAN 5'	PLANTING AREA MIN. 25 SF AND NO DIMENSION LESS THAN 5'
		C. EACH PLANTING AREA SHALL CONTAIN AT LEAST 1 TREE AND THE FACILITY AS A WHOLE SHALL CONTAIN AT LEAST 1 TREE FOR EVERY 10 PARKING SPACES	MIN. 1 TREE PER 10 PARKING SPACES	3 TREES PROVIDED AT PARKING AREA
		D. TREES USED TO SATISFY PARKING LOT LANDSCAPING REQUIREMENTS SHALL BE A MIN. OF 3" CAL.	MIN. 3" CAL. TREES	MIN. 3" CAL. TREES

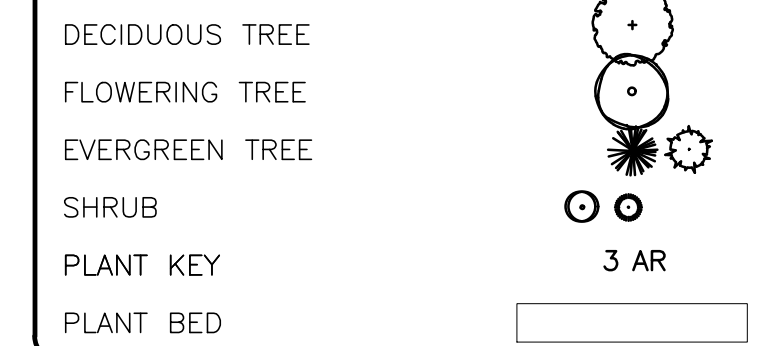
**LANDSCAPE REGULATIONS - SOMERVILLE, MA ZONING**

REGULATION	ITEM	REQUIRED/ALLOWED	PROPOSED
LANDSCAPING	SECTIONS 10.3.1-10.3.7	SEE ZONING	SEE PLAN, PARKING ISLAND WIDTH INCLUDED IN VARIANCE

**PLANTING SCHEDULE-TREES, SHRUBS, GROUNDCOVERS & PERENNIALS**

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	SPACING	COMMENTS
<b>DECIDUOUS TREES</b>						
AR	2	ACER RUBRUM 'REDPOINTE'	REDPOINTE RED MAPLE	3-3.5" CAL.	AS SHOWN	B&B
QP	5	QUERCUS PALUSTRIS	PIN OAK	3-3.5" CAL.	AS SHOWN	B&B
BN	2	BETULA NIGRA	RIVER BIRCH	12-14' HT., 2-2.5" CAL.	AS SHOWN	B&B - MULTISTEM
PA	2	PLATANUS ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANETREE	3-3.5" CAL.	AS SHOWN	B&B
<b>EVERGREEN/FLOWERING TREES</b>						
JVT	9	JUNIPERUS VIRGINIANA 'TAYLOR'	TAYLOR EASTERN RED CEDAR	7-8' HT.	AS SHOWN	B&B - 2" MIN
JV	5	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	7-8' HT.	AS SHOWN	B&B - 2" MIN
TO	31	THUJA O. 'WINTERGREEN'	WINTERGREEN ARBORVITAE	8-10' HT.	AS SHOWN	B&B
TOD	8	THUJA O. 'DEGROOT'S SPIRE'	DEGROOT'S SPIRE ARBORVITAE	7-8' HT.	AS SHOWN	B&B
AC	4	AMELANCHEIR CANADENSIS	SERVICEBERRY	3-3.5" CAL.	AS SHOWN	B&B
<b>SHRUBS</b>						
CA	10	CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE DOGWOOD	#5	AS SHOWN	POT
JB	100	JUNIPERUS HORIZONTALIS 'ANDORRA'	ANDORRA JUNIPER	#3	24" O.C.	POT
IG	43	ILEX GLABRA 'SHAMROCK'	INKBERRY	2'-2.5' HT.	AS SHOWN	POT
<b>PERENNIALS/BULBS</b>						
AH	73	AMSONIA HUBRICHTII	THREADLEAF AMSONIA	#2	18" O.C.	STAGGERED
RF	104	RUDBECKIA FULGIDA FULGIDA	BLACK EYED SUSAN	#2	18" O.C.	STAGGERED
PV	25	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	#2	18" O.C.	STAGGERED

**LEGEND**

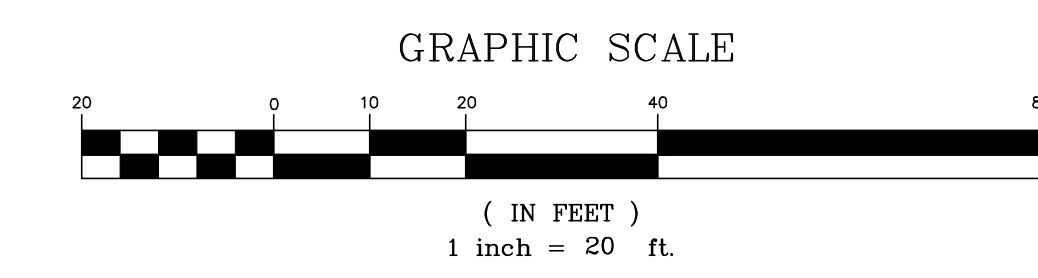
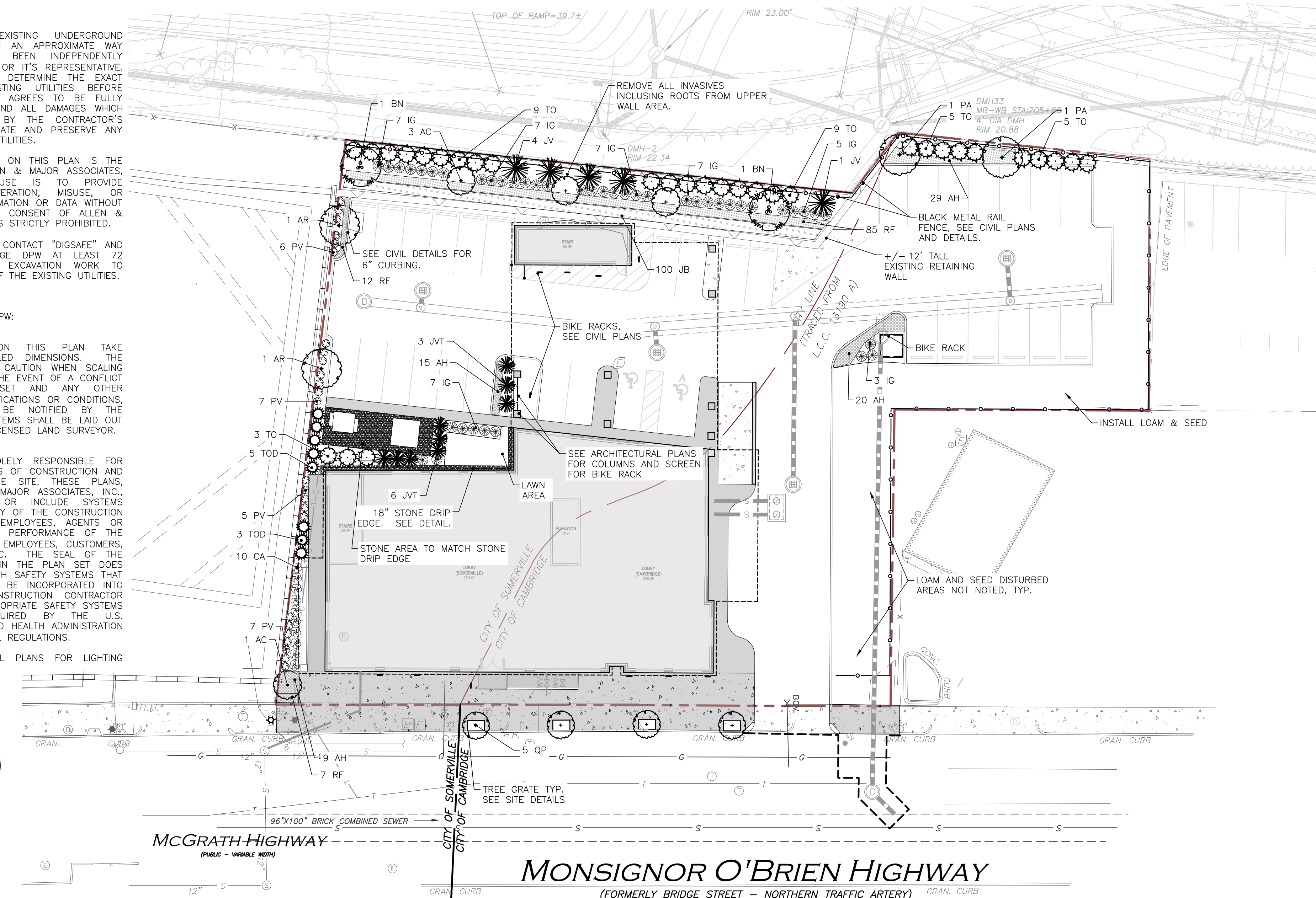


**LANDSCAPE NOTES**

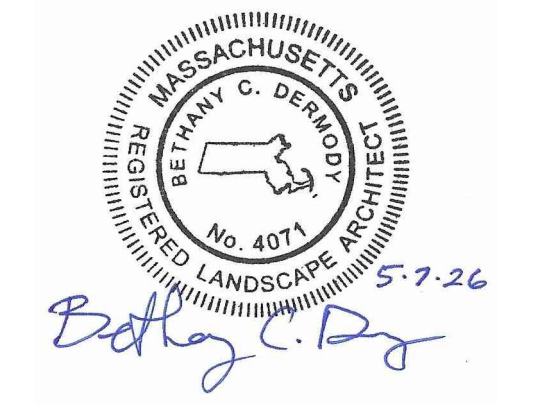
- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CAMBRIDGE AND SOMERVILLE, MA.
- PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS IN WRITING.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA, ANY TREES NOTED AS "SEAL OR SELECTED SPECIMEN" SHALL BE TAGGED AND SEALED BY THE LANDSCAPE ARCHITECT.
- ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE. ANY PLANT MATERIALS WHICH DIE WITHIN THE ONE YEAR PLANT GUARANTEE PERIOD WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNERS. OWNERS TO COORDINATE DIRECTLY WITH THE LANDSCAPE CONTRACTOR FOR REPLACEMENT PLANTINGS.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 6" OF SUITABLE LOAM & SEED.
- LAWNS OR SEED MIX WITH 3:1 OR STEEPER (GREATER) SLOPES SHALL BE PROTECTED WITH JUTE EROSION CONTROL NETTING.
- ANY FALL TRANSPANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR FALL PLANTING.
- TREES SHALL HAVE A MINIMUM CALIPER AS INDICATED ON THE PLANTING SCHEDULE TAKEN ONE FOOT ABOVE THE ROOT CROWN.
- ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF PINE BARK MULCH. GROUND COVER AREAS SHALL RECEIVE 1" OF PINE BARK MULCH.
- ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7' OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
- ALL TREE STAKES SHALL BE STAINED DARK BROWN.
- CONTRACTOR RESPONSIBLE FOR WATERING, MAINTENANCE, FERTILIZING, AND RESEEDING OF LAWN BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
- ALL PARKING ISLANDS PLANTED WITH SHRUBS OR PERENNIALS SHALL HAVE 24" OF TOPSOIL. FINISH GRADE SHALL BE EQUAL TO THE TOP OF CURB.
- SOIL SAMPLES, TESTS, AND SHOP DRAWINGS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
- A MINIMUM 18" WIDE BARRIER OF 1" GRAY OR TAN PEASTONE SHALL BE INSTALLED IN ALL PLANT BEDS WHICH ABUT THE BUILDINGS. NO MULCH IS ALLOWED WITHIN 18" OF ALL BUILDINGS PER THE EXECUTIVE OFFICE OF PUBLIC SAFETY AND SECURITY DEPARTMENT OF FIRE SERVICES REGULATION (527 CMR 17.00). INSTALL 4" DEEP OF PEASTONE WITH MIRAFI WEED FABRIC BENEATH AND STEEL EDGING BETWEEN THE PEASTONE AND ADJACENT MULCH BED. PROVIDE SHOP DRAWINGS TO A&M FOR APPROVAL PRIOR TO PURCHASE OF PEASTONE, MIRAFI WEED FABRIC & STEEL EDGING.
- ALL PROPOSED LANDSCAPE AREAS INCLUDING MOWED LAWNS, TREES, SHRUB BEDS, PERENNIALS, AND ANNUALS SHALL BE PROVIDED WITH WATER EFFICIENT UNDERGROUND IRRIGATION. DESIGN AND INSTALLATION OF IRRIGATION SYSTEM TO BE PERFORMED BY AN APPROVED IRRIGATION DESIGN BUILD CONTRACTOR OR BY AN APPROVED EQUAL, TO BE DETERMINED BY THE OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT. IRRIGATION SYSTEM IS TO BE DESIGNED FOR EFFICIENT WATER USAGE INCLUDING: USE OF DRIP IRRIGATION FOR TREES, SHRUBS AND PERENNIALS; IRRIGATION SYSTEM WITH HEAD-TO-HEAD COVERAGE, A CENTRAL SHUT-OFF VALVE, SEPARATE ZONES FOR EACH TYPE OF BEDDING AREA BASED ON WATERING NEEDS, AND A RAIN SENSOR TO SHUT OFF IRRIGATION DURING RAIN EVENTS.
- IF NO IRRIGATION SYSTEM IS PROPOSED, CONTRACTOR TO PROVIDE TEMPORARY IRRIGATION FOR AN ESTABLISHMENT PERIOD OF 4 MONTHS FOLLOWING INSTALLATION. TEMPORARY MEASURES SUCH AS BUT NOT LIMITED TO GATOR BAGS, TEMPORARY DRIP SYSTEMS OR HAND WATERING SHALL BE USED 3X PER WEEK. RAIN EVENTS CAN COUNT FOR WATERING AS WELL.
- PRIOR TO LAYING TOPSOIL, ALL SUBSOIL (BELOW PROPOSED TOPSOIL) TO BE TILLED TO A DEPTH OF AT LEAST 18" TO REMOVE CONSTRUCTION COMPACTION AND ALLOW FOR PROPER DRAINAGE OF TOPSOILS.

**GENERAL NOTES**

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE TOWN OF CAMBRIDGE DPW AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.  
DIGSAFE: 1-800-344-7233  
TOWN OF CAMBRIDGE DPW: 1-617-349-4800
- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS, IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR. ALL SITE ITEMS SHALL BE LAID OUT AND AS-BUILT BY A LICENSED LAND SURVEYOR.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES, INC. DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), STATE, AND LOCAL REGULATIONS.
- REFER TO ARCHITECTURAL PLANS FOR LIGHTING PROVIDED ON BUILDING.



**Monsignor O'Brien Highway**  
(FORMERLY BRIDGE STREET - NORTHERN TRAFFIC ARTERY)



REGISTERED LANDSCAPE ARCHITECT FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
▲	05-01-26	MISC UPDATES PER CITY COMMENTS
OWNER: SOMERBRIDGE HOTEL LLC c/o XSS HOTELS PO BOX 4430 MANCHESTER, NH 03108		
PROJECT: 145 ROOM HOTEL 263 MONSIGNOR O'BRIEN HIGHWAY CAMBRIDGE, MA 1 McGRATH HIGHWAY SOMERVILLE, MA		
PROJECT NO.	1362-16	DATE: OCTOBER 15, 2025
SCALE:		DWG.: 1362-16 Landscape
DESIGNED BY:	BCD	CHECKED BY: MAM

**ALLEN & MAJOR ASSOCIATES, INC.**  
civil engineering • land surveying  
environmental consulting • landscape architecture  
www.allenmajor.com  
400 HARVEY ROAD  
MANCHESTER, NH 03103  
TEL: (603) 627-5500  
FAX: (603) 627-5501

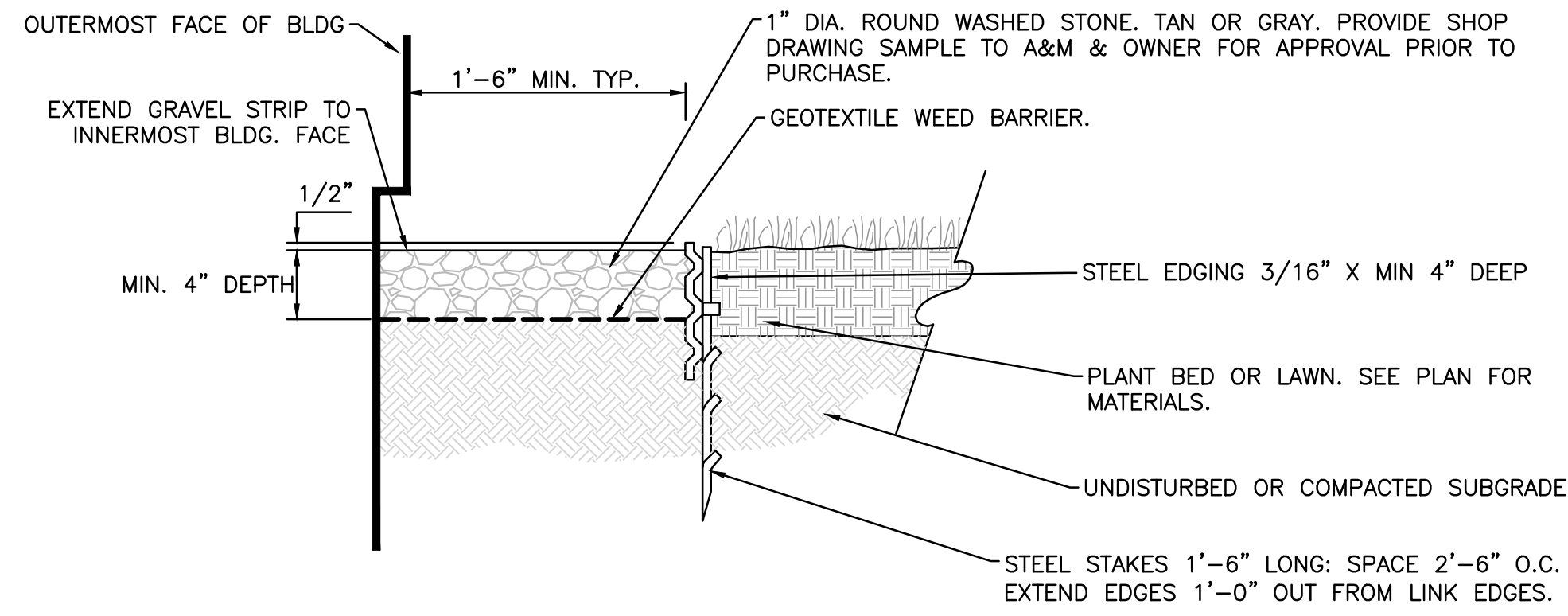
THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENTS/CLIENTS REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE:	SHEET NO.
LANDSCAPE PLAN	C-5

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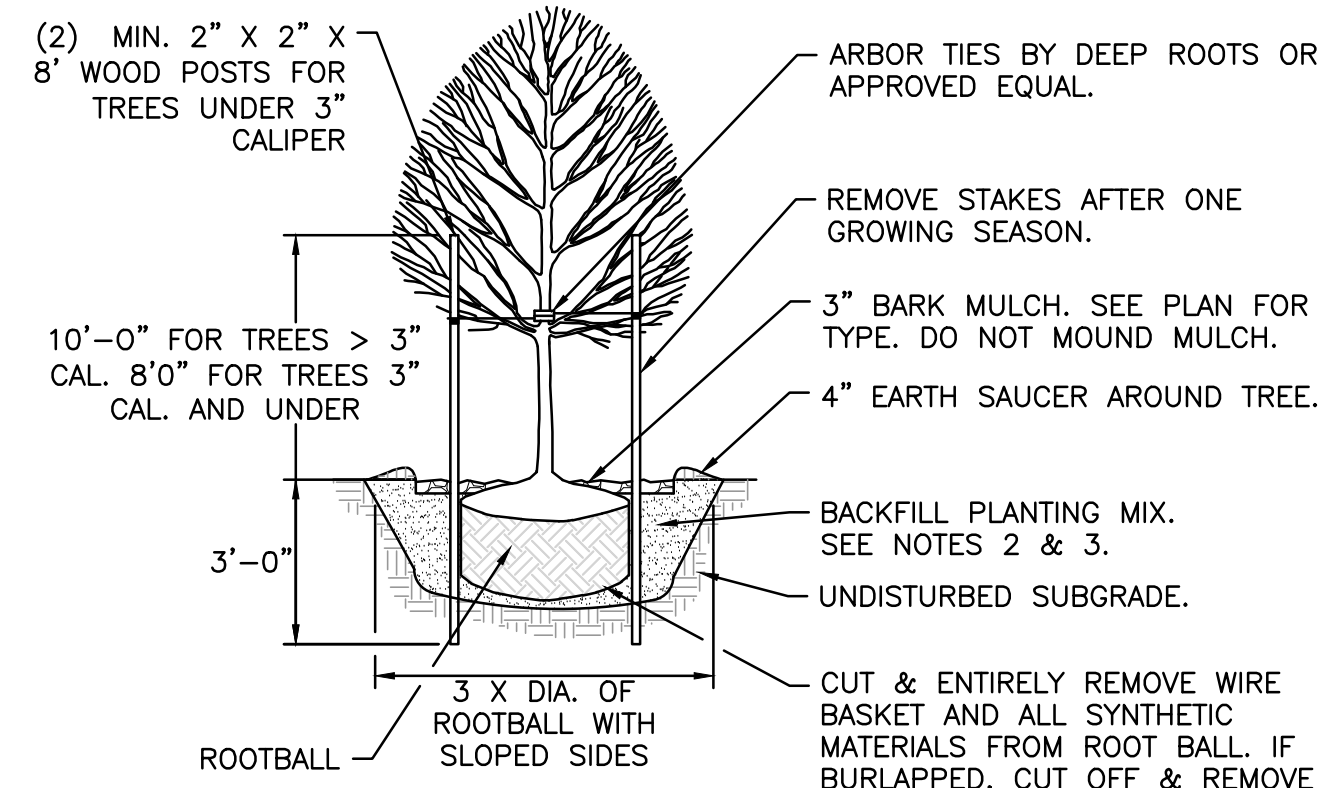
**DIG SAFE**  
BEFORE YOU DIG  
CALL 811 OR  
1-888-DIG-SAFE  
1-888-344-7233



- NOTES:
1. STONE STRIP IS TO BE INSTALLED CONTINUOUS ADJACENT TO THE ENTIRE FACE OF BUILDINGS EXCEPT WHERE OTHER HARD SURFACING MATERIALS ARE SPECIFIED OR IF SHOWN OTHERWISE ON PLAN.
  2. STONE STRIP TO BE INSTALLED UNDER ALL BUILDING OVERHANGS.
  3. COORDINATE INSTALLATION OF STONE STRIP WITH INSTALLATION OF FOUNDATION DRAIN & TO BE LOCATED BEYOND ROOF OVERHANG.

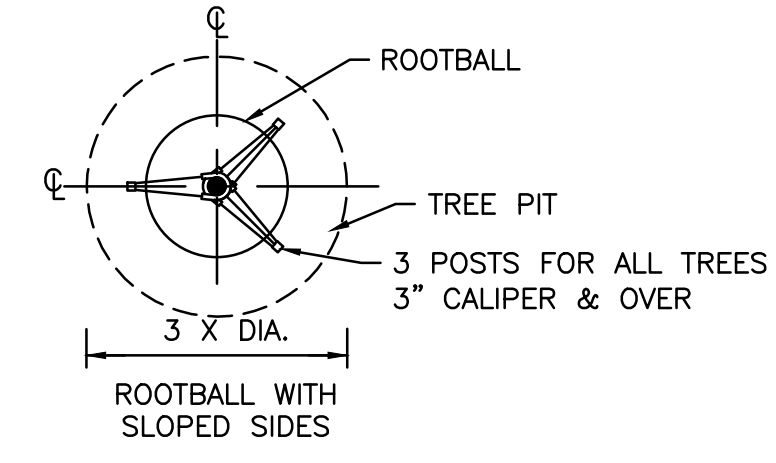
**STONE DRIP STRIP**  
NOT TO SCALE

1



**NOTES:**

1. ALL TREES SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL ROOTBALL AREA.
2. BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% BLENDED AND GROUND COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH OR TOXIC MATERIALS) 20% PEAT MOSS, 10% SAND.
3. ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.



**DECIDUOUS TREE**  
NOT TO SCALE

2

**LOAM AND SEEDING NOTES:**

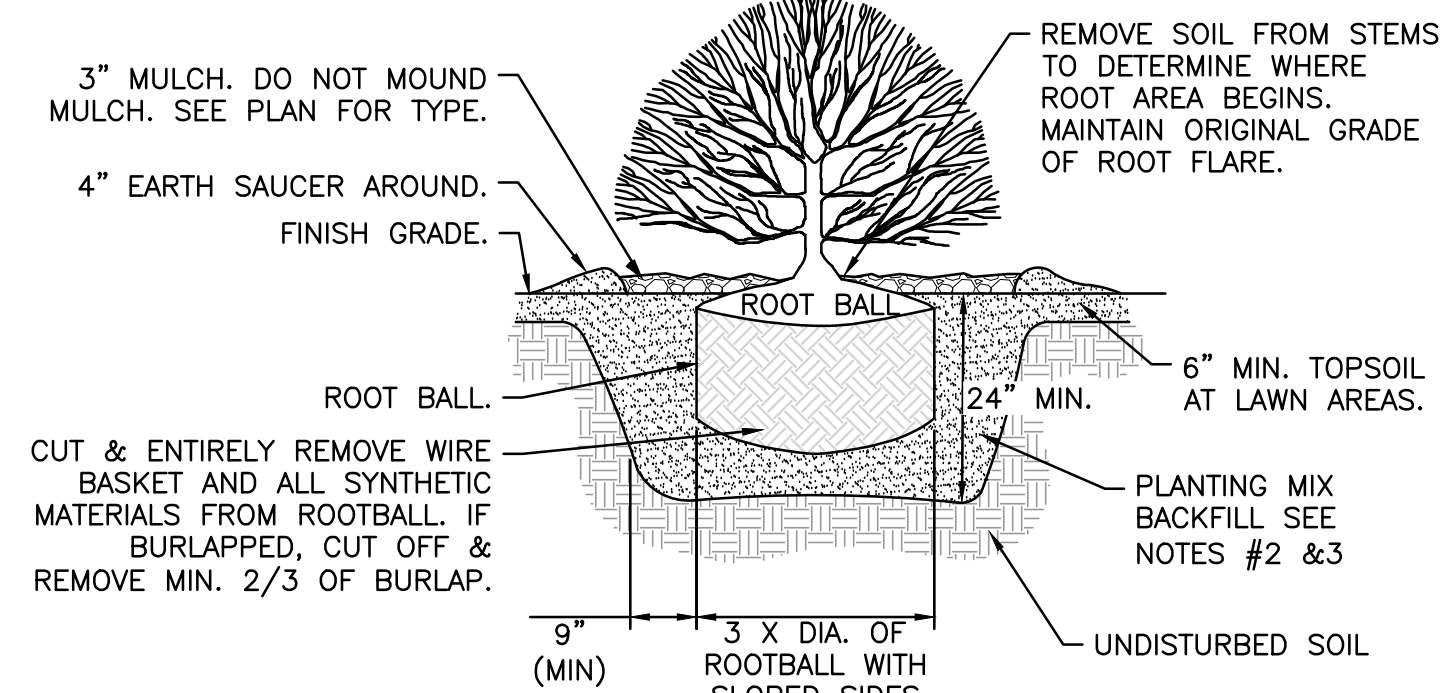
CONTRACTOR SHALL SEED ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER MATERIALS, AND AT AREAS SHOWN ON THE PLAN PER SPECIFICATIONS BELOW

SCIENTIFIC NAME	COMMON NAME	PROPORTION BY WEIGHT	PERCENT PURITY	PERCENT GERMINATION
FESTUCA RUBRA "RUBRA"	CREeping RED FESCUE	37%	95%	90%
PAO PRAENTENSIS "BARON"	BARON KENTUCKY BLUEGRASS	40%	85%	90%
LOLIUM PERENNE "PALMER"	PALMER PERENNIAL RYEGRASS	15%	95%	90%
FESTUCA RUBRA COMMUTATA WILMA	WILMA CHEWINGS	8%	95%	80%

1. SEED TO BE SPREAD AT MINIMUM RATE OF 5 LBS. PER 1000 SQ. FT.
2. SEEDING TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RESEEDING OF BARE SPOTS. IF UNABLE TO SEED WITHIN THESE TIMEFRAMES, CONTRACTOR TO INSTALL EROSION CONTROL MATS ON ALL SLOPES 3:1 AND OVER, HYDROSEED ALL EXPOSED AREAS, ADD SOIL STABILIZER "FLUX TERRA HP-FGM SOIL STABILIZER" AS MANUFACTURED BY "PROFILE" TO HYDROSEED (AT RATE OF 3,000 LBS PER ACRE), AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR TO COMPLETE ALL ABOVE "OUT OF SEASON" REQUIREMENTS AND THEN ALSO BE RESPONSIBLE FOR RE-GRADING AND RE-SEEDING ALL DISTURBED, ERODED, OR BARE SPOTS WITHIN NEXT CLOSEST PLANTING SEASON IN FALL OR SPRING AT NO ADDITIONAL COST TO OWNER. CONTRACTOR RESPONSIBLE FOR ALL MAINTENANCE UNTIL FINAL ACCEPTANCE OF LAWN AREAS INCLUDING: WATERING, ADDING FERTILIZERS AND LIME AND MOWING AT NO ADDITIONAL COST TO OWNER.
3. COMMERCIAL FERTILIZER SHALL BE APPLIED AT THE RATE OF 25 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. LIME TO BE SPREAD AT THE RATE OF 100 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FERTILIZER CONTAINING AT LEAST 50% OF THE NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIC SOURCES OF UREAFORM. IT SHALL CONTAIN THE FOLLOWING PERCENTAGES BY WEIGHT: NITROGEN (N) 10%, PHOSPHORUS (P) 6%, POTASH (K) 4%. LIME SHALL BE AN APPROVED AGRICULTURAL LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES. LIMESTONE SHALL BE GROUND TO SUCH FINENESS THAT 50% WILL PASS A 100 MESH SIEVE AND 90% WILL PASS THROUGH A 20 MESH SIEVE.
4. LAWN AREAS TO BE SEED BY SOWING EVENLY WITH AN APPROVED MECHANICAL SEEDER AT THE RATE OF TEN POUNDS PER 1000 SQUARE FEET.
5. CONTRACTOR RESPONSIBLE FOR WATERING, MOWING, AND RESEEDING OF LAWN BARE SPOTS UNTIL A UNIFORM, HEALTHY STAND OF GRASS IS ESTABLISHED AND ACCEPTED.

**LOAM AND SEED NOTES**  
NOT TO SCALE

3

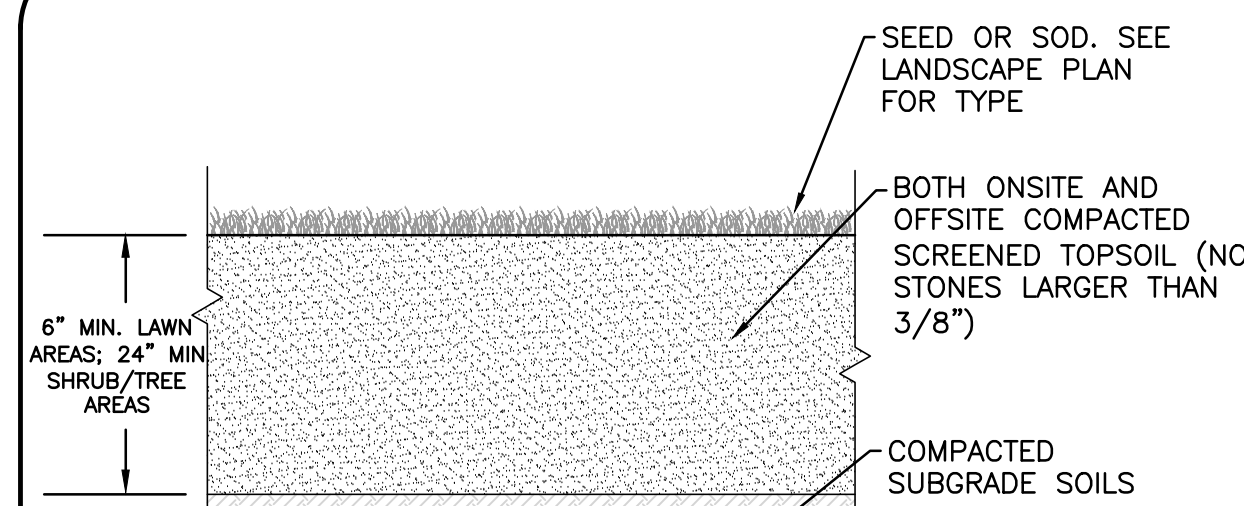


**NOTES:**

1. ALL SHRUBS ROOT FLARE SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING.
2. BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
3. ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED. WATER THOROUGHLY AT COMPLETION.
4. SHRUB BEDS TO HAVE 24" MIN. OF CONTINUOUS PLANTING SOIL.

**SHRUB**  
NOT TO SCALE

4



**NOTES:**

1. TOP OF LOAM (TOPSOIL) IS FINISH GRADE.
2. ALL TOPSOIL (BOTH ONSITE AND OFFSITE SOURCES) SHALL BE COMPOSED OF A NATURAL, FERTILE, FRIABLE SOIL TYPICAL OF CULTIVATED TOPSOILS OF THE LOCALITY. SOIL SHALL BE SUITABLE FOR THE GERMINATION OF SEEDS AND SUPPORT OF VEGETATIVE GROWTH, WITH ADDITIVES, IF REQUIRED, TO ACHIEVE PARTICLE DISTRIBUTION AND ORGANIC CONTENT BELOW. TOPSOIL SHALL BE TAKEN FROM A WELL-DRAINED, ARIABLE SITE, FREE OF SUBSOIL, LARGE STONES, EARTH CLOUDS, STICKS, TRASH, STUMPS, CLAY LUMPS, ROOTS, OTHER OBJECTIONABLE, EXTRANEOUS MATTER OR DEBRIS NOR CONTAIN TOXIC SUBSTANCES.
3. THE CONTRACTOR SHALL PROVIDE THE OWNER / LANDSCAPE ARCHITECT WITH TOPSOIL TEST RESULTS (RECOMMEND UMASS AMHERST SOIL TESTING LAB) FOR APPROVAL PRIOR TO OBTAINING AND PLACING THE SOIL. IF THE PLANTING SOIL (BOTH ONSITE AND OFFSITE SOURCES) DOES NOT FALL WITHIN THE REQUIRED SIEVE ANALYSIS, TEXTURAL CLASS, ORGANIC CONTENT, OR PH RANGE, IT SHALL BE ADJUSTED TO MEET THE SPECIFICATIONS THROUGH THE ADDITION OF SAND, COMPOST, LIMESTONE, OR ALUMINUM SULFATE TO BRING IT WITHIN THE SPECIFIED LIMITS.
4. TOPSOIL SHALL HAVE A PH VALUE BETWEEN 5.5 AND 6.5. TOPSOIL SHALL CONTAIN BETWEEN 4% AND 8% ORGANIC MATTER OF TOTAL DRY WEIGHT AND SHALL CONFORM TO THE FOLLOWING GRADATION AND TEXTURE CLASS ABOVE.

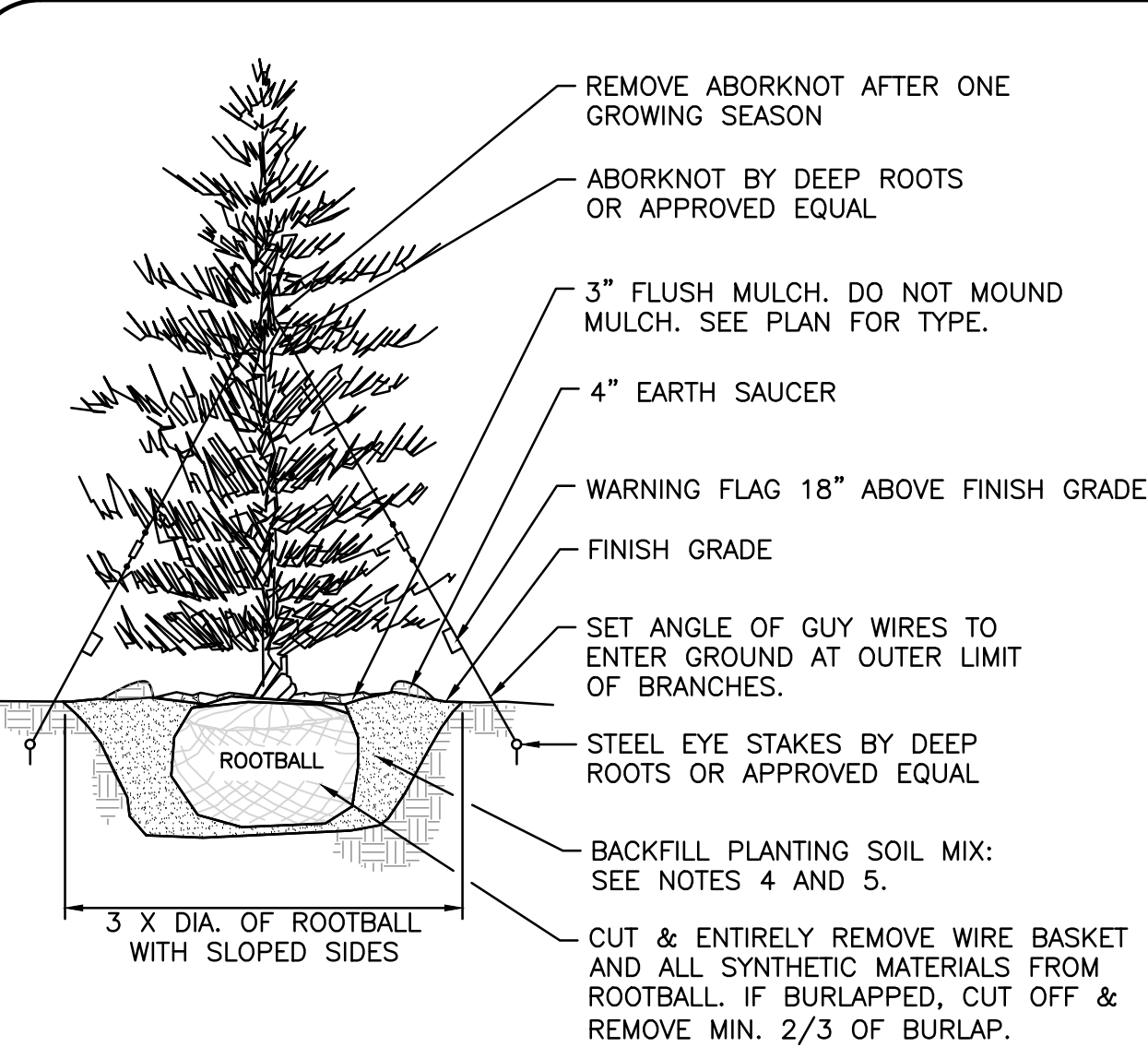
TEXTURE CLASS	% OF TOTAL WEIGHT
SAND	45% - 65%
SILT	15% - 35%
CLAY	5% - 20%

SIEVE	% PASSING
3/8"	100
NO. 4	85-100
NO. 40	60-85
NO. 100	38-60
NO. 200	28-40

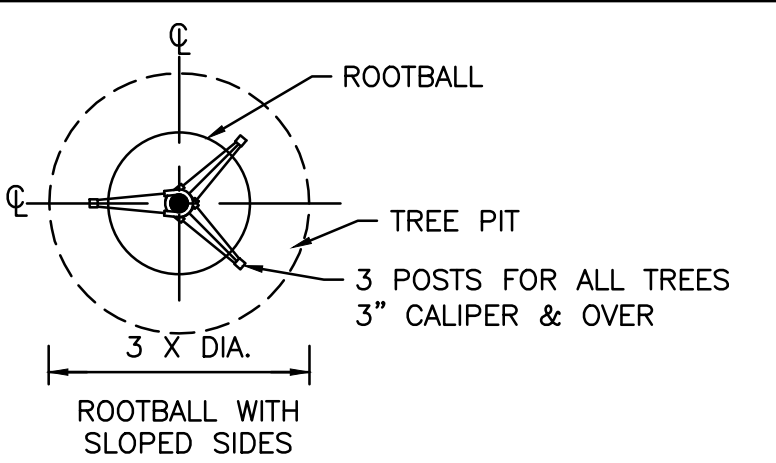
**TOPSOIL**  
NOT TO SCALE

5



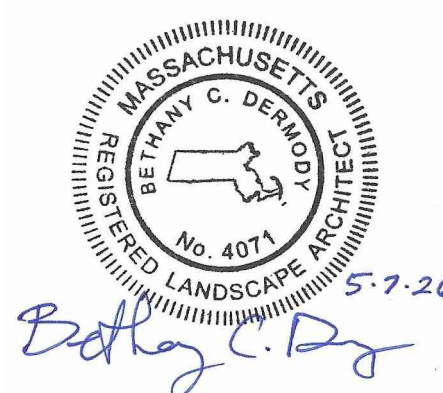
**NOTES:**

1. TREES SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO NURSERY OR FIELD GRADE. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL TOP OF ROOTBALL AREA.
2. ATTACH GUY WIRES AT 2/3 HEIGHT OF TREE.
3. BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% BLENDED AND GROUND COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH OR TOXIC MATERIALS) 20% PEAT MOSS, 10% SAND.
4. ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.



**EVERGREEN TREE**  
NOT TO SCALE

6



REGISTERED LANDSCAPE ARCHITECT FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
05-01-26		MISC UPDATES PER CITY COMMENTS

OWNER:  
SOMERBRIDGE HOTEL LLC  
c/o XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

PROJECT:  
145 ROOM HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA  
  
1 McGRATH HIGHWAY  
SOMERVILLE, MA

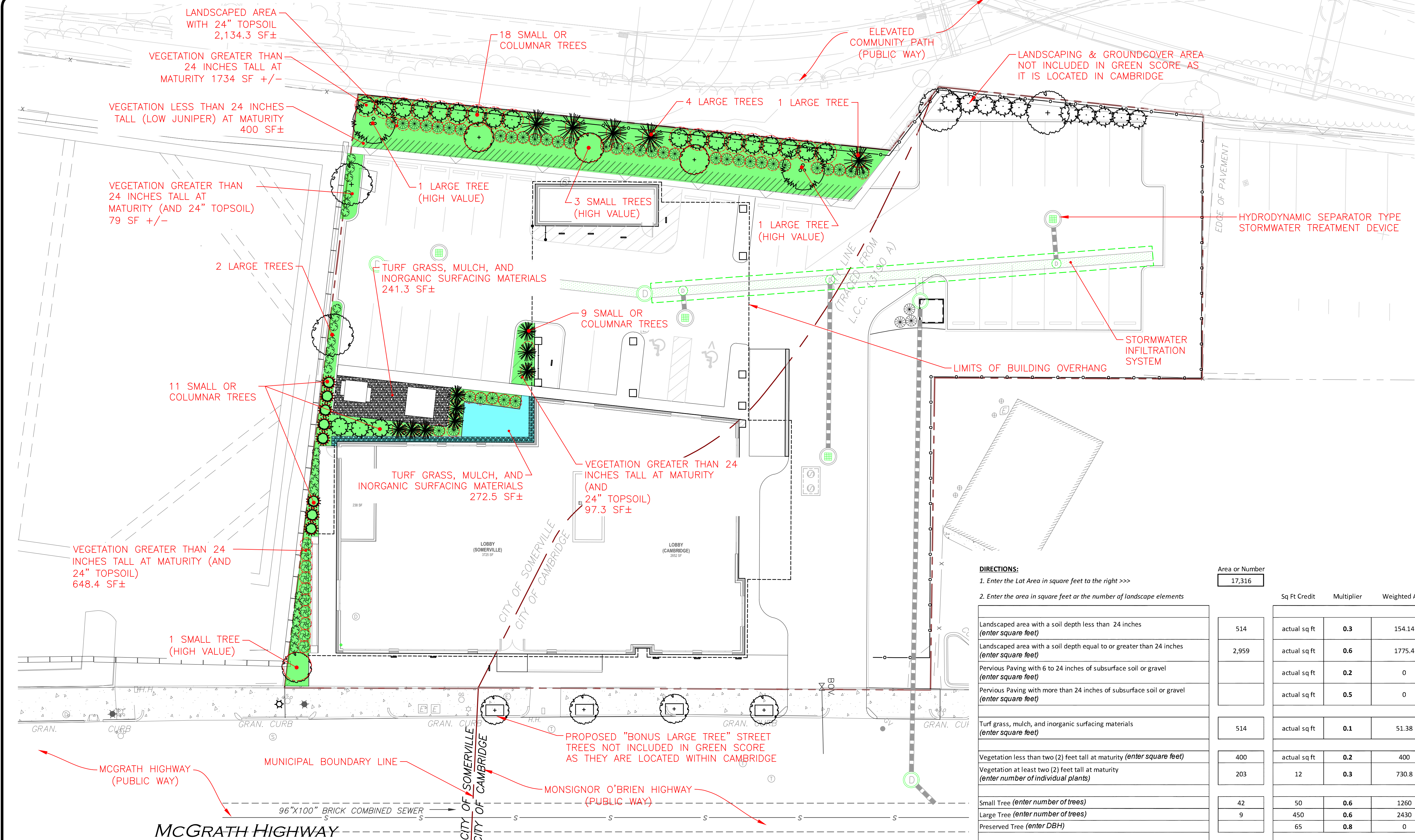
PROJECT NO.	1362-16	DATE:	OCTOBER 15, 2025
SCALE:	AS SHOWN	DWG.:	1362-16 Landscape
DESIGNED BY:	BCD	CHECKED BY:	MM



WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE:	SHEET NO.
LANDSCAPING DETAILS	C-6



**DIRECTIONS:**

1. Enter the Lot Area in square feet to the right >>>
2. Enter the area in square feet or the number of landscape elements

Area or Number	Sq Ft Credit	Multiplier	Weighted Area	Score Value	% of Score
17,316					
Landscaped area with a soil depth less than 24 inches (enter square feet)	514	actual sq ft 0.3	154.14	0.0089	1.97%
Landscaped area with a soil depth equal to or greater than 24 inches (enter square feet)	2,959	actual sq ft 0.6	1775.4	0.1025	22.73%
Pervious Paving with 6 to 24 inches of subsurface soil or gravel (enter square feet)		actual sq ft 0.2	0	0.0000	0.00%
Pervious Paving with more than 24 inches of subsurface soil or gravel (enter square feet)		actual sq ft 0.5	0	0.0000	0.00%
Turf grass, mulch, and inorganic surfacing materials (enter square feet)	514	actual sq ft 0.1	51.38	0.0030	0.66%
Vegetation less than two (2) feet tall at maturity (enter square feet)	400	actual sq ft 0.2	400	0.0231	5.12%
Vegetation at least two (2) feet tall at maturity (enter number of individual plants)	203	12 0.3	730.8	0.0422	9.36%
Small Tree (enter number of trees)	42	50 0.6	1260	0.0728	16.13%
Large Tree (enter number of trees)	9	450 0.6	2430	0.1403	31.11%
Preserved Tree (enter DBH)	65	0.8 0	0	0.0000	0.00%
Vegetated Wall (enter square feet)		actual sq ft 0.1	0	0.0000	0.00%
Rain gardens, bioswales, and stormwater planters (enter square feet)	0	actual sq ft 1.0	0	0.0000	0.00%
Green Roof with up to 6" of growth medium (enter square feet)	0	actual sq ft 0.1	0	0.0000	0.00%
Green Roof with 6"-10" of growth medium (enter square feet)		actual sq ft 0.4	0	0.0000	0.00%
Green Roof of 10"-24" growth medium (enter square feet)		actual sq ft 0.6	0	0.0000	0.00%
Green Roof of over 24" growth medium	N/A				N/A
Publicly Visible Landscape		actual sq ft 0.1	0	0.0000	
Native Species	8,986	actual sq ft 0.1	898.6	0.0519	
High Value Species	1,100	actual sq ft 0.1	110	0.0064	
50% Irrigation from storm water		actual sq ft 0.1	0	0.0000	
Food cultivation		actual sq ft 0.1	0	0.0000	
De-paved lot area		actual sq ft 0.1	0	0.0000	

Area or Number	Sq Ft Credit	Multiplier	Weighted Area	Score Value	% of Score
17,316					
Landscaped area with a soil depth less than 24 inches (enter square feet)	514	actual sq ft 0.3	154.14	0.0089	1.97%
Landscaped area with a soil depth equal to or greater than 24 inches (enter square feet)	2,959	actual sq ft 0.6	1775.4	0.1025	22.73%
Pervious Paving with 6 to 24 inches of subsurface soil or gravel (enter square feet)		actual sq ft 0.2	0	0.0000	0.00%
Pervious Paving with more than 24 inches of subsurface soil or gravel (enter square feet)		actual sq ft 0.5	0	0.0000	0.00%
Turf grass, mulch, and inorganic surfacing materials (enter square feet)	514	actual sq ft 0.1	51.38	0.0030	0.66%
Vegetation less than two (2) feet tall at maturity (enter square feet)	400	actual sq ft 0.2	400	0.0231	5.12%
Vegetation at least two (2) feet tall at maturity (enter number of individual plants)	203	12 0.3	730.8	0.0422	9.36%
Small Tree (enter number of trees)	42	50 0.6	1260	0.0728	16.13%
Large Tree (enter number of trees)	9	450 0.6	2430	0.1403	31.11%
Preserved Tree (enter DBH)	65	0.8 0	0	0.0000	0.00%
Vegetated Wall (enter square feet)		actual sq ft 0.1	0	0.0000	0.00%
Rain gardens, bioswales, and stormwater planters (enter square feet)	0	actual sq ft 1.0	0	0.0000	0.00%
Green Roof with up to 6" of growth medium (enter square feet)	0	actual sq ft 0.1	0	0.0000	0.00%
Green Roof with 6"-10" of growth medium (enter square feet)		actual sq ft 0.4	0	0.0000	0.00%
Green Roof of 10"-24" growth medium (enter square feet)		actual sq ft 0.6	0	0.0000	0.00%
Green Roof of over 24" growth medium	N/A				N/A
Publicly Visible Landscape		actual sq ft 0.1	0	0.0000	
Native Species	8,986	actual sq ft 0.1	898.6	0.0519	
High Value Species	1,100	actual sq ft 0.1	110	0.0064	
50% Irrigation from storm water		actual sq ft 0.1	0	0.0000	
Food cultivation		actual sq ft 0.1	0	0.0000	
De-paved lot area		actual sq ft 0.1	0	0.0000	

Calculate as if soils, groundcovers, plants, and trees					N/A
Green Score =	0.4510				
Required Score:	NR & UR	MRS & MRA	MRS, MR6, & HR	FAB, CC, CB, CI	
Target Score:	0.35	0.25	0.20	0.20	
Actual Green Score:	0.451	0.451	0.4510	0.4510	

High Value Species	Area or Number	Sq Ft Credit	Multiplier	Weighted Area	Score Value	% of Score
Large Tree (enter number of trees)	2	450	0.1	90	0.0052	
Small Tree (enter number of trees)	4	50	0.1	20	0.0012	

Native Species	Area or Number	Sq Ft Credit	Multiplier	Weighted Area	Score Value	% of Score
Vegetation less than two (2) feet tall at maturity (enter square feet)	400	actual sq ft 0.1		40	0.0023	
Vegetation at least two (2) feet tall at maturity (enter number of individual plants)	203	12 0.1		243.6	0.0141	
Small Tree (enter number of trees)	42	50 0.1		210	0.0121	
Large Tree (enter number of trees)	9	450 0.1		405	0.0234	

**LANDSCAPE MANAGEMENT NOTES**

**LANDSCAPE MANAGEMENT PLAN**  
 IT SHOULD BE RECOGNIZED THAT THIS IS A GENERAL GUIDELINE TOWARDS ACHIEVING HIGH QUALITY AND WELL GROOMED LANDSCAPED AREAS. THE GROUNDS STAFF / LANDSCAPE CONTRACTOR MUST RECOGNIZE THE SHORTCOMINGS OF A GENERAL MAINTENANCE PROGRAM SUCH AS THIS, AND MODIFY AND/OR AUGMENT IT BASED ON WEEKLY, MONTHLY, AND YEARLY OBSERVATIONS. IN ORDER TO ASSURE THE HIGHEST QUALITY CONDITIONS, THE STAFF MUST ALSO RECOGNIZE AND APPRECIATE THE NEED TO BE AWARE OF THE CONSTANTLY CHANGING CONDITIONS OF THE LANDSCAPING AND BE ABLE TO RESPOND TO THEM ON A PROACTIVE BASIS.

**FERTILIZER**  
 MAINTENANCE PRACTICES SHOULD BE AIMED AT REDUCING ENVIRONMENTAL, MECHANICAL AND PEST STRESSES TO PROMOTE HEALTHY AND VIGOROUS GROWTH. WHEN NECESSARY, PEST OUTBREAKS SHOULD BE TREATED WITH THE MOST SENSITIVE CONTROL MEASURE AVAILABLE. SYNTHETIC CHEMICAL CONTROLS SHOULD BE USED ONLY AS A LAST RESORT TO ORGANIC AND BIOLOGICAL CONTROL METHODS. FERTILIZER, SYNTHETIC CHEMICAL CONTROLS AND PEST MANAGEMENT APPLICATIONS (WHEN NECESSARY) SHOULD BE PERFORMED ONLY BY LICENSED APPLICATORS IN ACCORDANCE WITH THE MANUFACTURER'S LABEL INSTRUCTIONS WHEN ENVIRONMENTAL CONDITIONS ARE CONDUCIVE TO CONTROLLED PRODUCT APPLICATION. ONLY SLOW-RELEASE ORGANIC FERTILIZERS SHOULD BE USED IN THE LANDSCAPED AREAS TO LIMIT THE AMOUNT OF NUTRIENTS THAT COULD ENTER DOWNSTREAM RESOURCE AREAS. FERTILIZATION OF DEVELOPED AREAS ON SITE WILL BE PERFORMED WITHIN MANUFACTURERS LABELING INSTRUCTIONS AND SHALL NOT EXCEED AN NPK RATION OF 1:1:1 (I.E. TRIPLE 10 FERTILIZER MIX), CONSIDERED A LOW NITROGEN MIXTURE. ADDITIONALLY, THE FERTILIZER WILL INCLUDE A SLOW RELEASE ELEMENT.

**SUGGESTED AERATION PROGRAM**  
 IN-SEASON AERATION OF LAWN AREAS IS GOOD CULTURAL PRACTICE, AND IS RECOMMENDED WHENEVER FEASIBLE. IT SHOULD BE ACCOMPLISHED WITH A SOLID TINE AERATION METHOD TO REDUCE DISRUPTION TO THE USE OF THE AREA. THE DEPTH OF SOLID TINE AERATION IS SIMILAR TO CORE TYPE, BUT SHOULD BE PERFORMED WHEN THE SOIL IS SOMEWHAT DRIER FOR A GREATER OVERALL EFFECT. DEPENDING ON THE INTENSITY OF USE, IT CAN BE EXPECTED THAT ALL LANDSCAPED LAWN AREAS WILL NEED AERATION TO REDUCE COMPACTION AT LEAST ONCE PER YEAR. THE FIRST OPERATION SHOULD OCCUR IN LATE MAY FOLLOWING THE SPRING SEASON. METHODS OF REDUCING COMPACTION WILL VARY BASED ON THE NATURE OF THE COMPACTION. COMPACTION ON NEWLY ESTABLISHED LANDSCAPED AREAS IS GENERALLY LIMITED TO THE TOP 2"-3" AND CAN BE ALLEVIATED USING HOLLOW CORE OR THIN TINE AERATION METHODS. THE SPRING AERATION SHOULD CONSIST OF TWO PASSES AT OPPOSITE DIRECTIONS WITH 1/4" HOLLOW CORE TINES PENETRATING 3"-5" INTO THE SOIL PROFILE. AERATION SHOULD OCCUR WHEN THE SOIL IS MOIST BUT NOT SATURATED. THE CORES SHOULD BE SHATTERED IN PLACE AND DRAGGED OR SWEEPED BACK INTO THE TURF TO CONTROL THATCH. IF DESIRED THE CORES MAY ALSO BE REMOVED AND THE AREA TOP-DRESSED WITH SAND OR SANDY LOAM. IF THE AREA DRAINS ON AVERAGE TOO SLOWLY, THE TOPDRESSING SHOULD CONTAIN A HIGHER PERCENTAGE OF SAND. IF IT IS DRAINING ON AVERAGE TOO QUICKLY, THE TOP DRESSING SHOULD CONTAIN A HIGHER PERCENTAGE OF SOIL AND ORGANIC MATTER.

**LANDSCAPE MAINTENANCE PROGRAM PRACTICES:**

**LAWN**

- MOW A MINIMUM OF ONCE A WEEK IN SPRING, TO A HEIGHT OF 2 1/2" TO 2 1/2" HIGH. MOWING SHOULD BE FREQUENT ENOUGH SO THAT NO MORE THAN 1/3 OF GRASS BLADE IS REMOVED AT EACH MOWING. THE TOP GROWTH SUPPORTS THE ROOTS; THE SHORTER THE GRASS IS CUT, THE LESS THE ROOTS WILL GROW. SHORT CUTTING ALSO DRIES OUT THE SOIL AND ENCOURAGES WEEDS TO GERMINATE.
- MOW APPROXIMATELY ONCE EVERY TWO WEEKS FROM JULY 1ST TO AUGUST 15TH DEPENDING ON LAWN GROWTH.
- MOW ON A TEN-DAY CYCLE IN FALL, WHEN GROWTH IS STIMULATED BY COOLER NIGHTS AND INCREASED MOISTURE.
- DO NOT REMOVE GRASS CLIPPINGS AFTER MOWING.
- KEEP MOWER BLADES SHARP TO PREVENT RAGGED CUTS ON GRASS LEAVES, WHICH CAUSE A BROWNISH APPEARANCE AND INCREASE THE CHANCE FOR DISEASE TO ENTER A LEAF.

**SHRUBS**

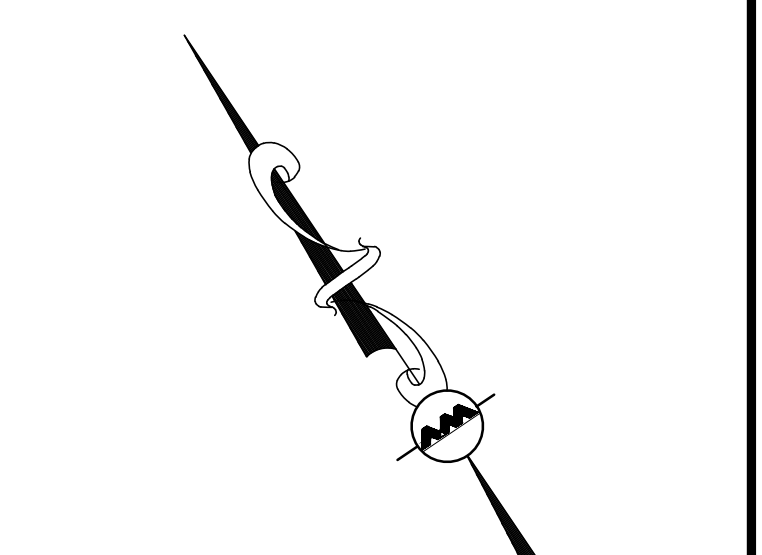
- MULCH NOT MORE THAN 3" DEPTH WITH SHREDDED PINE OR FIR BARK.
- HAND PRUNE ANNUALLY, IMMEDIATELY AFTER BLOOMING, TO REMOVE 1/3 OF THE ABOVE-GROUND BIOMASS (OLDER STEMS). STEM REMOVALS TO OCCUR WITHIN 6" OF THE GROUND TO OPEN UP SHRUB AND MAINTAIN TWO-YEAR WOOD (THE BLOOMING WOOD).
- FERTILIZE WITH 1/2 LB. SLOW-RELEASE FERTILIZER (SEE ABOVE SECTION ON FERTILIZER) EVERY SECOND YEAR.
- HAND PRUNE EVERGREEN SHRUBS ONLY AS NEEDED TO REMOVE DEAD AND DAMAGED WOOD AND TO MAINTAIN THE NATURALISTIC FORM OF THE SHRUB. NEVER MECHANICALLY SHEAR EVERGREEN SHRUBS.

**TREES**

- PROVIDE AFTERCARE FOR NEW TREE PLANTINGS FOR THE FIRST THREE YEARS.
- DO NOT FERTILIZE TREES, IT ARTIFICIALLY STIMULATES THEM (UNLESS TREE HEALTH WARRANTS).
- WATER ONCE A WEEK FOR THE FIRST YEAR; TWICE A MONTH THE SECOND, ONCE A MONTH THE THIRD YEAR.
- PRUNE TREES ON A FOUR-YEAR CYCLE.

**ORNAMENTAL GRASSES**

- APPLY LOW-NITROGEN 10-10-10 FERTILIZER AS GROWTH RESUMES IN THE SPRING. WATER IN THOROUGHLY.
- GRASSES DO NOT NEED TO BE CUT DOWN BEFORE WINTER. IN FACT, THEY ARE ATTRACTIVE WHEN LEFT STANDING AND THE FOLIAGE HELPS TO INSULATE THE CROWN OF THE PLANT. CUT BACK THE FOLIAGE TO ABOUT 4-6 INCHES IN THE SPRING BEFORE GROWTH RESUMES. WHEN FOLIAGE IS REMOVED, SPRING GROWTH WILL BEGIN EARLIER. OLD FOLIAGE LEFT ON THE PLANT CAN DELAY THE CROWN'S WARMING AND SUBSEQUENT GROWTH BY AS MUCH AS 3 WEEKS.



REV	DATE	DESCRIPTION
1	05-01-26	MISC UPDATES PER CITY COMMENTS

**OWNER:**  
 SOMERBRIDGE HOTEL LLC  
 c/o XSS HOTELS  
 PO BOX 4430  
 MANCHESTER, NH 03108

**PROJECT:**  
 145 ROOM HOTEL  
 263 MONSIGNOR O'BRIEN HIGHWAY  
 CAMBRIDGE, MA  
 1 McGRATH HIGHWAY  
 SOMERVILLE, MA

**PROJECT NO.:** 1362-16 **DATE:** OCTOBER 15, 2025  
**SCALE:** AS SHOWN **DWG.:** 1362-16 Landscape

**DESIGNED BY:** BCD **CHECKED BY:** MM



**WORKING:** MA • LAKEVILLE, MA • MANCHESTER, NH

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**DRAWING TITLE:** GREEN SCORE DIAGRAM **SHEET NO.:** GS-1

R:\PROJECTS\1362-16\DWG\DRAWINGS\CURRENT\1362-16\_LANDSCAPE.DWG

**Somerville Green Score**

**DIRECTIONS:**

1. Enter the Lot Area in square feet to the right >>>

Area or Number

17,316

2. Enter the area in square feet or the number of landscape elements

Soils	
Landscaped area with a soil depth less than 24 inches <i>(enter square feet)</i>	
Landscaped area with a soil depth equal to or greater than 24 inches <i>(enter square feet)</i>	3,090
Pervious Paving with 6 to 24 inches of subsurface soil or gravel <i>(enter square feet)</i>	
Pervious Paving with more than 24 inches of subsurface soil or gravel <i>(enter square feet)</i>	
Groundcovers	
Turf grass, mulch, and inorganic surfacing materials <i>(enter square feet)</i>	64
Plants	
Vegetation less than two (2) feet tall at maturity <i>(enter square feet)</i>	1,209
Vegetation at least two (2) feet tall at maturity <i>(enter number of individual plants)</i>	76
Trees	
Small Tree <i>(enter number of trees)</i>	4
Large Tree <i>(enter number of trees)</i>	5
Preserved Tree <i>(enter DBH)</i>	
Engineered Landscape	
Vegetated Wall <i>(enter square feet)</i>	
Rain gardens, bioswales, and stormwater planters <i>(enter square feet)</i>	0
Green Roof with up to 6" of growth medium <i>(enter square feet)</i>	0
Green Roof with 6"-10" of growth medium <i>(enter square feet)</i>	
Green Roof of 10"-24" growth medium <i>(enter square feet)</i>	
Green Roof of over 24" growth medium	N/A
Possible Bonuses	
Publicly Visible Landscape	
Native Species	4,571
High Value Species	1,100
50% Irrigation from storm water	
Food cultivation	
De-paved lot area	

Sq Ft Credit	Multiplier	Weighted Area	Score Value
actual sq ft	0.3	0	0.0000
actual sq ft	0.6	1853.7	0.1071
actual sq ft	0.2	0	0.0000
actual sq ft	0.5	0	0.0000
Groundcovers			
actual sq ft	0.1	6.37	0.0004
Plants			
actual sq ft	0.2	241.8	0.0140
12	0.3	273.6	0.0158
Trees			
50	0.6	120	0.0069
450	0.6	1350	0.0780
65	0.8	0	0.0000
Engineered Landscape			
actual sq ft	0.1	0	0.0000
actual sq ft	1.0	0	0.0000
actual sq ft	0.1	0	0.0000
actual sq ft	0.4	0	0.0000
actual sq ft	0.6	0	0.0000
Calculate as if soils, groundcovers, plants, and trees			
actual sq ft	0.1	0	0.0000
actual sq ft	0.1	457.1	0.0264
actual sq ft	0.1	110	0.0064
actual sq ft	0.1	0	0.0000
actual sq ft	0.1	0	0.0000
actual sq ft	0.1	0	0.0000

% of Score

0.00%

42.01%

0.00%

0.00%

0.14%

5.48%

6.20%

2.72%

30.59%

0.00%

0.00%

0.00%

0.00%

0.00%

0.00%

N/A

0.00%

0.00%

0.00%

0.00%

0.00%

*Landscape next to old Liquor Store parking area & top of existing retaining wall*

*Grass area next to old Liquor Store building*

*Top of existing retaining wall*

*Green roof area @ lower level*

*Landscape area next to Liquor Store & roof area*

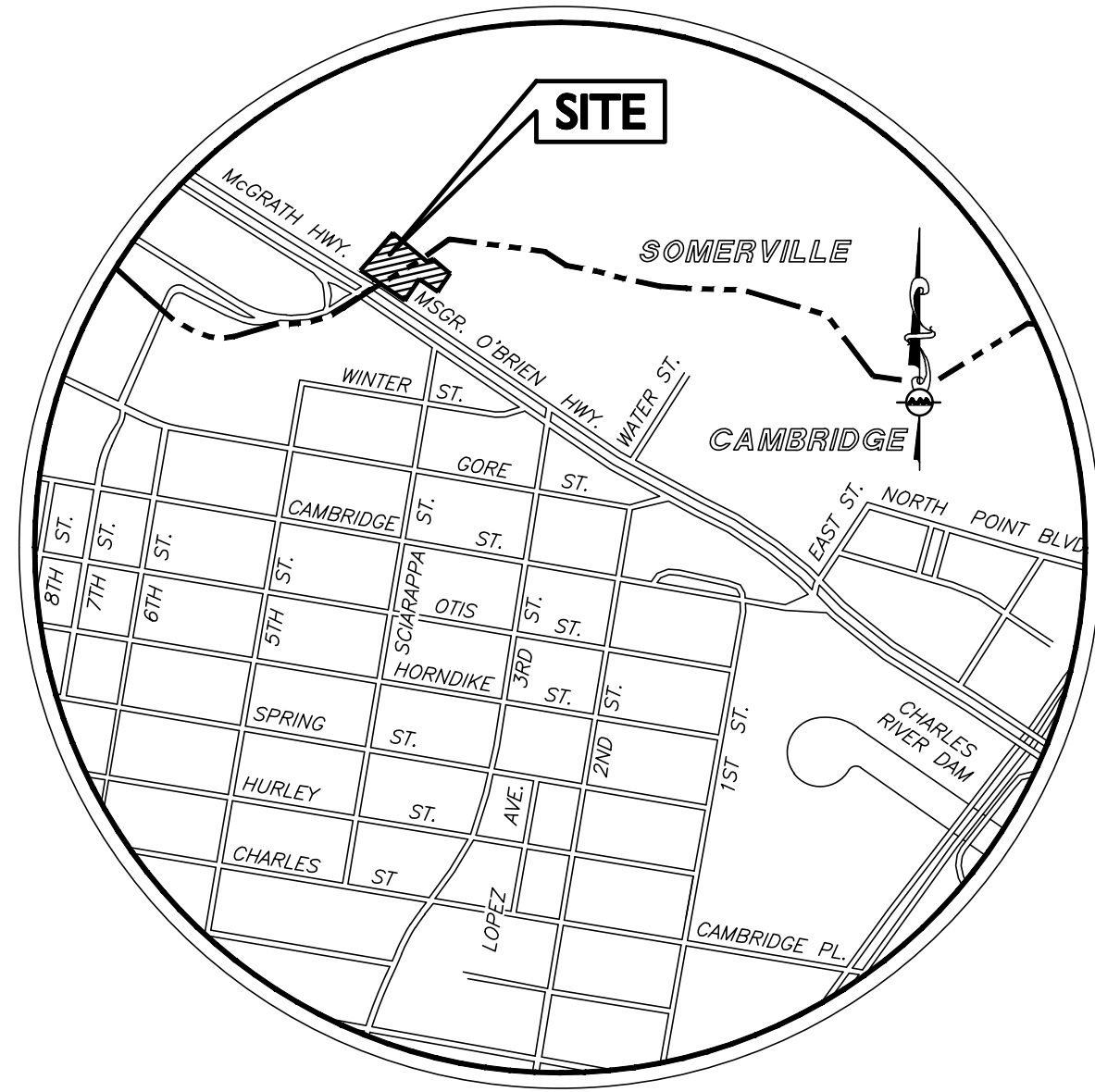
Green Score = 0.2548

Green Score District Requirements			
NR & UR	MR3 & MR4	MRS, MR6, & HR	FAB, CC, CB, CI
Required Score:	0.35	0.25	0.20
Target Score:	0.40	0.3	0.25
Actual Green Score:	0.255	0.255	0.2548

Required Score:  
Target Score:  
Actual Green Score:

# SITE REDEVELOPMENT PLAN SET FOR 145 ROOM HOTEL

1 MCGRATH HIGHWAY - SOMERVILLE, MA  
MAP 115, BLOCK B, LOT 8  
263 MSGR. O'BRIEN HIGHWAY - CAMBRIDGE, MA  
MAP 7, LOT 35



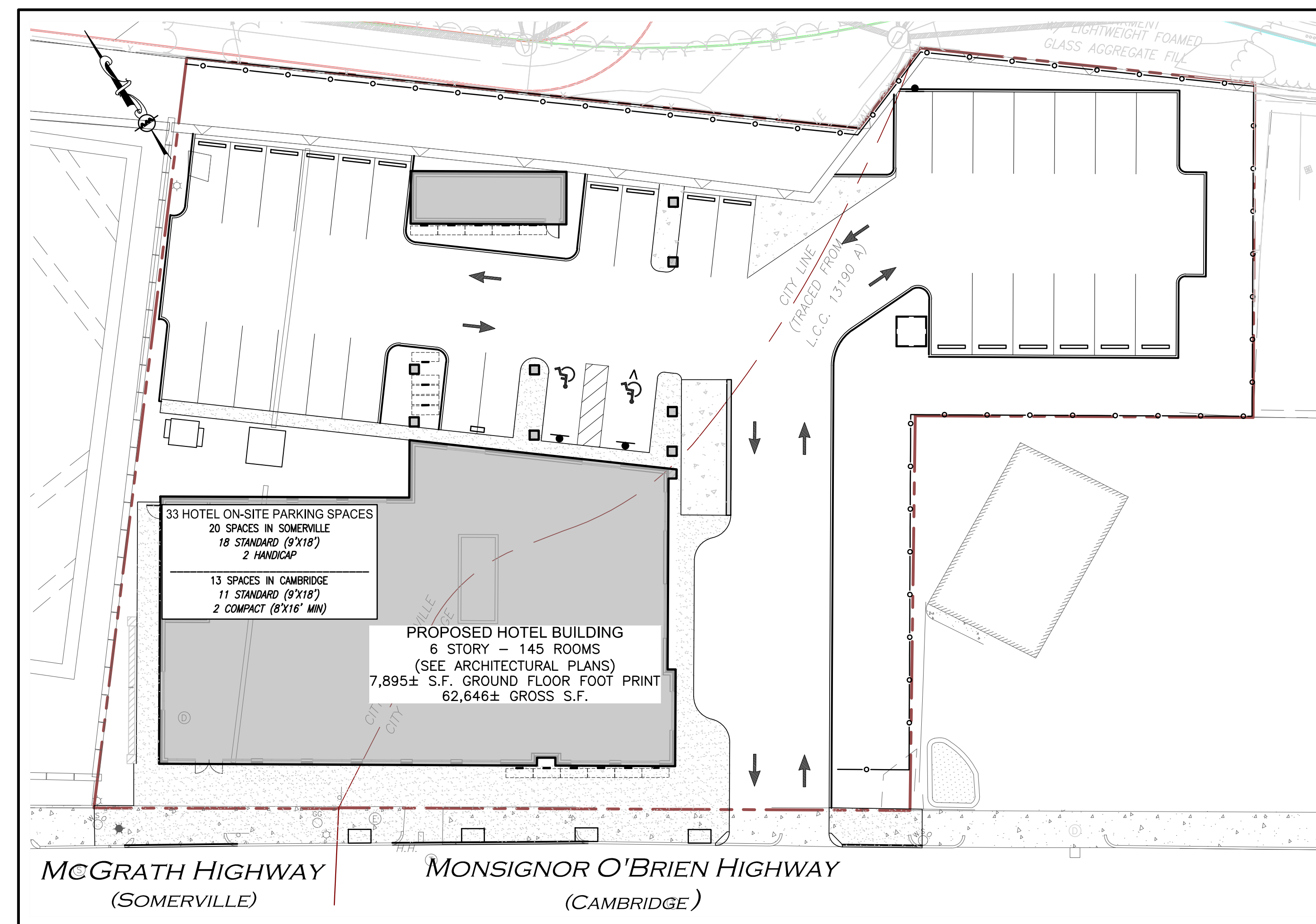
**LOCUS MAP**  
NOT TO SCALE

**OWNER:**  
SOMERBRIDGE HOTEL LLC  
C/O XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

**SITE ENGINEER/LANDSCAPE ARCHITECT:**  
ALLEN & MAJOR ASSOCIATES, INC.  
400 HARVEY ROAD  
MANCHESTER, NH 03103

**SURVEYOR:**  
ALLEN & MAJOR ASSOCIATES, INC.  
100 COMMERCE WAY  
WOBURN, MA 01888-0118

**ARCHITECT:**  
JAL HOSPITALITY DESIGN, LLC  
10 CABOT ROAD, SUITE 209  
MEDFORD, MA 02155



LIST OF DRAWINGS			
DRAWING TITLE	SHEET	ISSUED	REVISED
EXISTING CONDITIONS	1	03-09-16	-
DEMOLITION PLAN	C-1	10-15-25	-
LAYOUT & MATERIALS PLAN	C-2	10-15-25	-
GRADING & DRAINAGE PLAN	C-3	10-15-25	-
UTILITIES PLAN	C-4	10-15-25	-
LANDSCAPE PLAN	C-5	10-15-25	-
LANDSCAPING DETAILS	C-6	10-15-25	-
STORMWATER POLLUTION PREVENTION NOTES	SWPPP 1	10-15-25	-
STORMWATER POLLUTION PREVENTION PLAN	SWPPP 2	10-15-25	-
STORMWATER POLLUTION PREVENTION DETAILS	SWPPP 3	10-15-25	-
DETAILS	D-1	10-15-25	-
DETAILS	D-2	10-15-25	-
DETAILS	D-3	10-15-25	-
DETAILS	D-4	10-15-25	-
DETAILS	D-5	10-15-25	-
DETAILS	D-6	10-15-25	-
DETAILS	C-507	10-15-25	-
MBTA COORDINATION FIGURE - SITE PREP.	MBTA-1	10-15-25	-
MBTA COORD. FIGURE - PROP. SITE WORK	MBTA-2	10-15-25	-



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

OWNER:  
SOMERBRIDGE HOTEL LLC  
c/o XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

PROJECT:  
145 ROOM HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA  
1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: OCTOBER 15, 2025

SCALE: AS SHOWN DWG.: 1362-16 Cover

DESIGNED BY: SM CHECKED BY: MM

PREPARED BY:



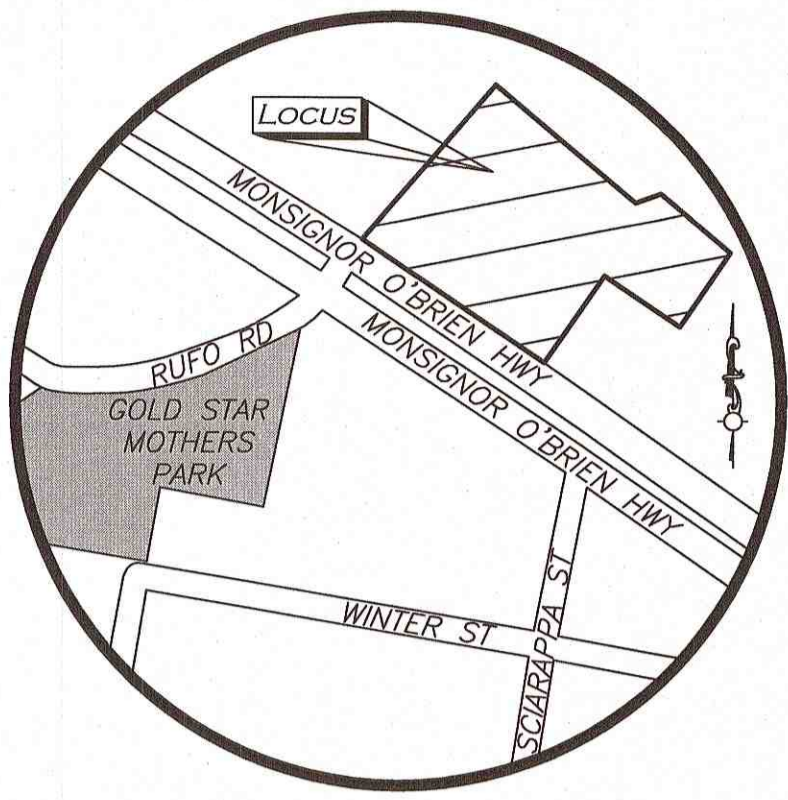
**ALLEN & MAJOR ASSOCIATES, INC.**  
civil engineering • land surveying  
environmental consulting • landscape architecture  
www.allenmajor.com  
400 HARVEY ROAD  
MANCHESTER, NH 03103  
TEL: (603) 627-5500  
FAX: (603) 627-5501

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DRAWING TITLE: COVER	SHEET No. C
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**LOCUS MAP**  
(NOT TO SCALE)

**ZONING TABLE**  
CITY OF CAMBRIDGE - SPECIAL DISTRICT 1\*

ITEM	REQUIRED
LOT WIDTH (MIN)	50'
FRONT YARD SETBACK (MIN)	3'
SIDE YARD SETBACK (MIN)	NONE
REAR YARD SETBACK (MIN)	NONE
BUILDING HEIGHT (MAX)	85'

\*ALL REQUIREMENTS OF AND REGULATIONS APPLICABLE TO THE INDUSTRY A-1 DISTRICT SHALL APPLY EQUALLY TO THE SPECIAL DISTRICT 1.

**ZONING TABLE**  
CITY OF SOMERVILLE - IA DISTRICT

ITEM	REQUIRED
FRONTAGE (MIN)	N/A
FRONT YARD SETBACK (MIN)	N/A
SIDE YARD SETBACK (MIN)	N/A
REAR YARD SETBACK (MIN)	N/A
BUILDING HEIGHT (MAX)	50'

**LEGAL DESCRIPTION**  
EXHIBIT "A" FROM COMMONWEALTH LAND TITLE INSURANCE COMPANY'S TITLE COMMITMENT NUMBER SPECIMEN 59869-0,  
HAVING AN EFFECTIVE DATE OF MAY 22, 2015

THE LAND AT 263 MONSIGNOR O'BRIEN HIGHWAY, CAMBRIDGE AND 1 MCGRATH HIGHWAY, SOMERVILLE, MIDDLESEX COUNTY, MASSACHUSETTS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL ONE: LAND IN CAMBRIDGE AND SOMERVILLE

THE LAND AS SHOWN ON BRIDGE STREET (NOW MONSIGNOR O'BRIEN HIGHWAY), CAMBRIDGE AND SOMERVILLE, MIDDLESEX COUNTY, MASSACHUSETTS, MORE PARTICULARLY SHOWN AS LOT A AS CONTAINING 27,080 SQUARE FEET ON A "PLAN OF LAND IN CAMBRIDGE AND SOMERVILLE" DATED DECEMBER 14, 1953 BY WM. S. CROCKER, C.E., RECORDED WITH MIDDLESEX SOUTH DISTRICT DEEDS AS PLAN NO. 124 OF 1954 IN BOOK 8207, PAGE 269.

PARCEL TWO: LAND IN CAMBRIDGE

THE LAND OFF MONSIGNOR O'BRIEN HIGHWAY, CAMBRIDGE, MIDDLESEX COUNTY, MASSACHUSETTS, MORE PARTICULARLY SHOWN AS PARCEL CONTAINING 5739 SQUARE FEET ON A "PLAN OF LAND IN CAMBRIDGE - MASS." DATED FEBRUARY 3, 1956 BY WILLIAM S. CROCKER, CIVIL ENGINEER, RECORDED WITH MIDDLESEX SOUTH DISTRICT DEEDS AS PLAN NO. 475 OF 1956 IN BOOK 8697, PAGE 363.

THE PARCEL REFERENCED ABOVE CAN ALSO BE DESCRIBED AS THE PARCEL OF LAND SITUATED ON THE EASTERLY SIDE OF MONSIGNOR O'BRIEN HIGHWAY IN THE CITIES OF CAMBRIDGE AND SOMERVILLE, COUNTY OF MIDDLESEX, COMMONWEALTH OF MASSACHUSETTS, BOUNDED AND DESCRIBED AS FOLLOWS:

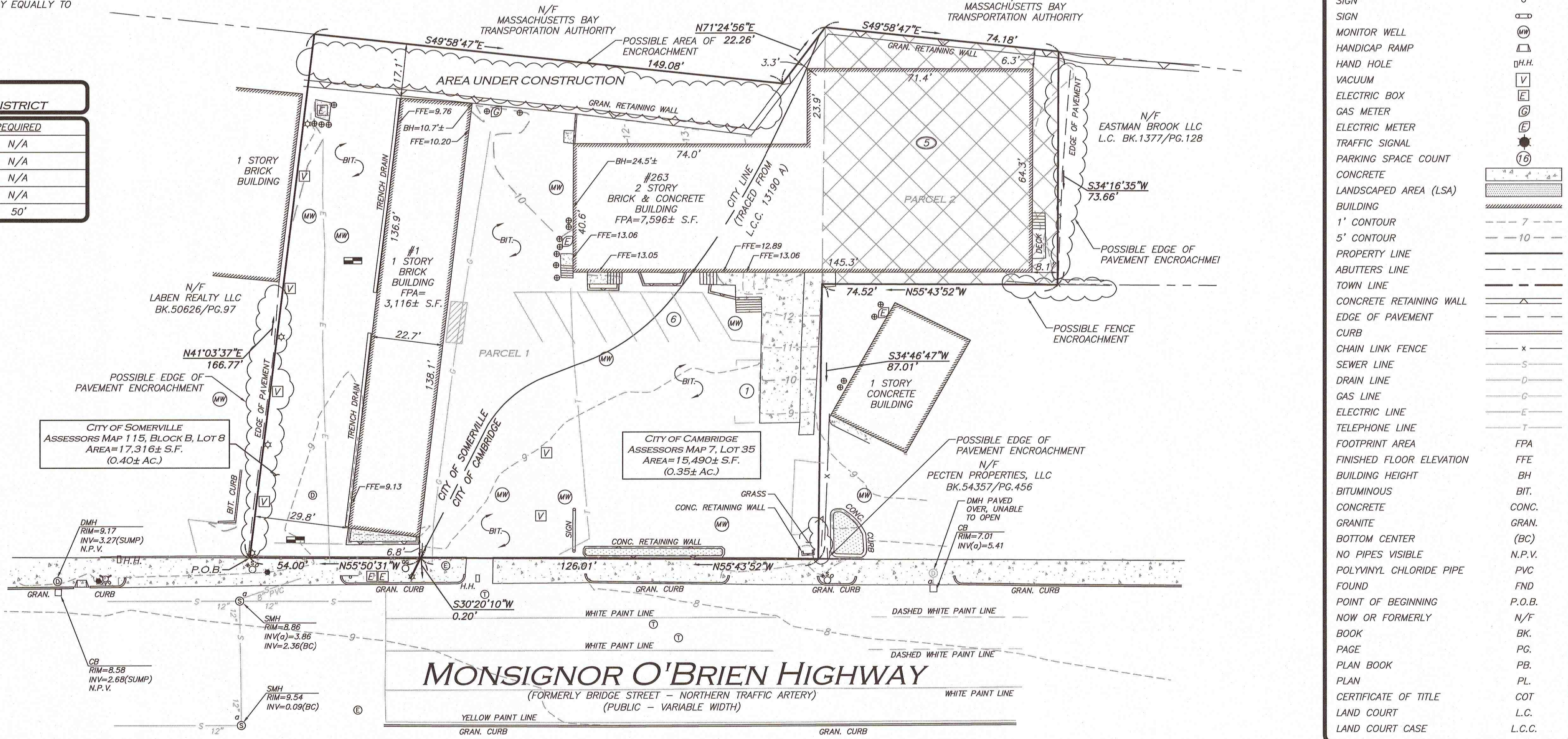
BEGINNING AT THE WESTERLY MOST POINT OF THE PARCEL TO BE DESCRIBED HEREAFTER, SAID POINT BEING SHOWN AS "P.O.B." ON THE HERINAFTER REFERENCED PLAN; THENCE

N41°03'37"E ONE HUNDRED SIXTY-SIX AND SEVENTY-SEVEN HUNDREDTHS FEET (166.77') TO A POINT; THENCE  
 S49°58'47"E ONE HUNDRED FORTY-NINE AND EIGHT HUNDREDTHS FEET (149.08') TO A POINT; THENCE  
 N71°24'56"E TWENTY-TWO AND TWENTY-SIX HUNDREDTHS FEET (22.26') TO A POINT; THENCE  
 S49°58'47"E SEVENTY-FOUR AND EIGHTEEN HUNDREDTHS FEET (74.18') TO A POINT; THENCE  
 S34°16'35"W SEVENTY-THREE AND SIXTY-SIX HUNDREDTHS FEET (73.66') TO A POINT; THENCE  
 N55°43'52"W SEVENTY-FOUR AND FIFTY-TWO HUNDREDTHS FEET (74.52') TO A POINT; THENCE  
 S74°46'47"W EIGHTY-SEVEN AND ONE HUNDREDTHS FEET (87.01') TO A POINT; THENCE  
 N55°43'52"W ONE HUNDRED TWENTY-SIX AND ONE HUNDREDTHS FEET (126.01') TO A POINT; THENCE  
 S30°20'10"W TWENTY HUNDREDTHS FEET (0.20') TO A POINT; THENCE  
 N55°50'31"W FIFTY-FOUR AND NO HUNDREDTHS FEET (54.00') TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS AN AREA OF 32,806 SQUARE FEET (0.75 ACRES), MORE OR LESS, AND IS MORE PARTICULARLY SHOWN ON A PLAN ENTITLED, "ALTA/ACSM LAND TITLE SURVEY - 263 MONSIGNOR O'BRIEN HIGHWAY, CAMBRIDGE, MA, 1 MCGRATH HIGHWAY, SOMERVILLE, MA", DATED AUGUST 31, 2015. SCALE 1" = 20'. PREPARED FOR JAL HOSPITALITY LLC. PREPARED BY ALLEN & MAJOR ASSOCIATES, INC.

- LOCUS REFERENCES**
- CITY OF CAMBRIDGE ASSESSORS MAP 7, LOT 35
  - CITY OF SOMERVILLE ASSESSORS MAP 115, BLOCK B LOT 8
  - DEED BOOK 20124, PAGE 348
  - PLAN 124 OF 1954
  - PLAN 475 OF 1956
- PLAN REFERENCES**
- STATE HIGHWAY LAYOUT# 6643
  - STATE HIGHWAY LAYOUT# 3614
  - STATE HIGHWAY LAYOUT# 3615
  - PLAN 1915 OF 1954
  - PLAN 149 OF 2002
  - L.C.C. 13190

- NOTES**
1. NORTH ARROW IS BASED ON MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (MAINLAND ZONE) (NAD '83).
  2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM MIDDLESEX (SOUTH) REGISTRY OF DEEDS IN CAMBRIDGE, MA.
  3. VERTICAL DATUM IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88).
  4. CONTOUR INTERVAL IS ONE FOOT (1').



**UTILITY STATEMENT**

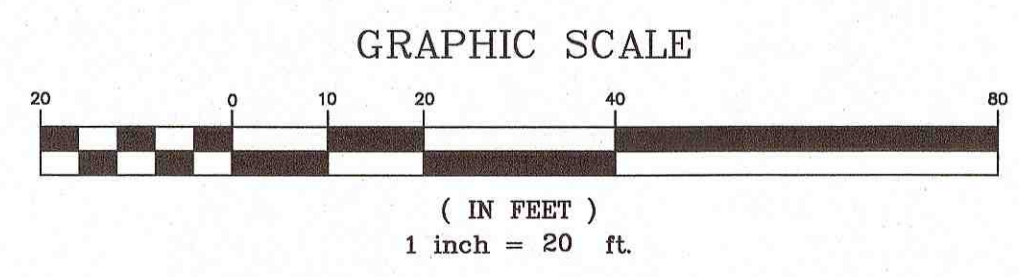
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**PARKING SUMMARY**

STANDARD STALLS	7
HANDICAPPED STALLS	0
TOTAL STALLS	7

COMMONWEALTH LAND TITLE INSURANCE COMPANY  
ALTA COMMITMENT NUMBER: SPECIMEN 59869-0  
EFFECTIVE DATE: DECEMBER MAY 22, 2015  
SCHEDULE B - SECTION 2 EXCEPTIONS

ITEM NUMBER	DESCRIPTION	REFERENCE
1-4	NOT SURVEY RELATED	-
5	ACTIVITY AND USE LIMITATION AREA	BK.25982/PG.479 BK.26221/PG.445



**LEGEND**

DRAIN MANHOLE (DMH)	⊙
SEWER MANHOLE (SMH)	⊙
ELECTRIC MANHOLE (EMH)	⊙
MISC. MANHOLE (MH)	⊙
TELEPHONE MANHOLE (TMH)	⊙
CATCH BASIN (CB)	⊙
ROUND CATCH BASIN (RCB)	⊙
WATER GATE	⊙
GAS GATE	⊙
BOLLARD	⊙
LIGHT	⊙
TEST PIT LOCATION	⊙
SIGN	⊙
MONITOR WELL	⊙
HANDICAP RAMP	⊙
HAND HOLE	⊙
VACUUM	⊙
ELECTRIC BOX	⊙
GAS METER	⊙
ELECTRIC METER	⊙
TRAFFIC SIGNAL	⊙
PARKING SPACE COUNT	⊙
CONCRETE	⊙
LANDSCAPED AREA (LSA)	⊙
BUILDING	⊙
1' CONTOUR	⊙
5' CONTOUR	⊙
PROPERTY LINE	⊙
ABUTTERS LINE	⊙
TOWN LINE	⊙
CONCRETE RETAINING WALL	⊙
EDGE OF PAVEMENT	⊙
CURB	⊙
CHAIN LINK FENCE	⊙
SEWER LINE	⊙
DRAIN LINE	⊙
GAS LINE	⊙
ELECTRIC LINE	⊙
TELEPHONE LINE	⊙
FOOTPRINT AREA	FPA
FINISHED FLOOR ELEVATION	FFE
BUILDING HEIGHT	BH
BITUMINOUS	BIT.
CONCRETE	CONC.
GRANITE	GRAN.
BOTTOM CENTER	(BC)
NO PIPES VISIBLE	N.P.V.
POLYVINYL CHLORIDE PIPE	PVC
FOUND	FND
POINT OF BEGINNING	P.O.B.
NOW OR FORMERLY	N/F
BOOK	BK.
PAGE	PG.
PLAN BOOK	PB.
PLAN	PL.
CERTIFICATE OF TITLE	COT
LAND COURT	L.C.
LAND COURT CASE	L.C.C.

TO: SOMERBRIDGE HOTEL LLC, JAL HOSPITALITY LLC, COMMONWEALTH LAND TITLE INSURANCE COMPANY AND NO OTHERS.

THIS IS TO CERTIFY THAT:  
THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN JULY 9, 2015 AND JULY 28, 2015. THIS PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 11(b) AND 13 OF TABLE A THEREOF.

THE SUBJECT PREMISES IS LOCATED IN ZONE X(UNSHADED) "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" AS SHOWN ON FLOOD INSURANCE RATE MAP FOR THE CITY OF CAMBRIDGE & SOMERVILLE MASSACHUSETTS, MIDDLESEX COUNTY COMMUNITY PANEL NUMBER 2501700577E, HAVING AN EFFECTIVE DATE OF JUNE 4, 2010.

THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS DATED JANUARY 1, 1976 AND REVISED JANUARY 12, 1988.

ACCORDING TO DEEDS AND PLANS OF RECORD, THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF THE STREETS OR WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

THE ABOVE CERTIFICATION IS INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS FOR THE RECORDING OF PLANS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT CITY OF CAMBRIDGE AND SOMERVILLE ASSESSOR'S INFORMATION.

THE ABOVE IS CERTIFIED TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF TO THE ABOVE NAMED PARTIES AND NO OTHERS.

ALLEN & MAJOR ASSOCIATES, INC.

PROFESSIONAL LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:  
JAL HOSPITALITY LLC  
P.O. BOX 4430  
MANCHESTER, NH 03108

PROJECT:  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA  
1 MCGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: 3/9/16  
SCALE: 1" = 20' DWG. NAME: S-1362-16-ALTA  
DRAFTED BY: KAC CHECKED BY: COB/KJK

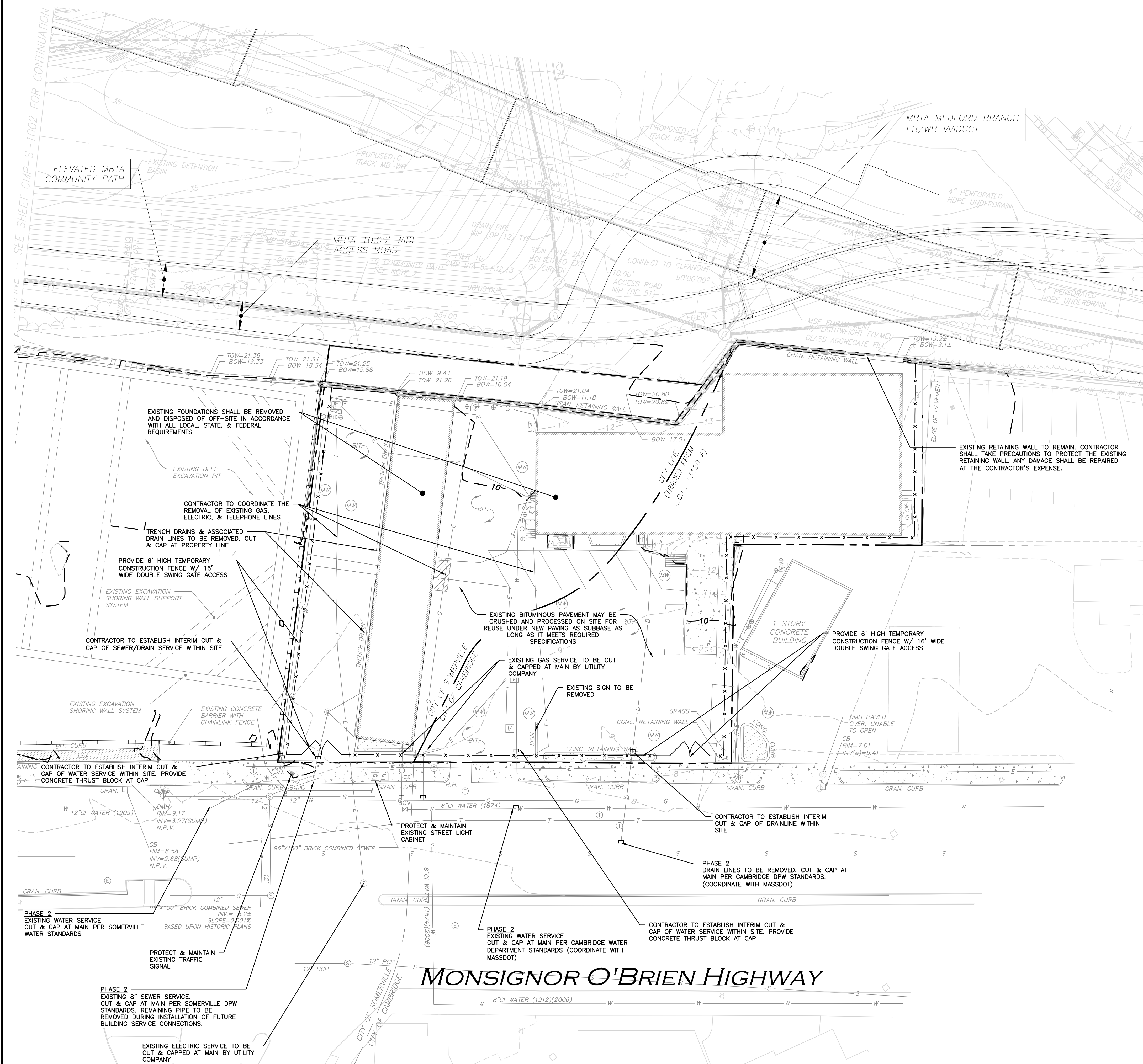
PREPARED BY:

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environmental consulting • landscape architecture  
www.allenmajor.com  
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P.O. BOX 2118  
WOBURN MA 01888-0118  
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WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE: ALTA/ACSM LAND TITLE SURVEY SHEET No. 1

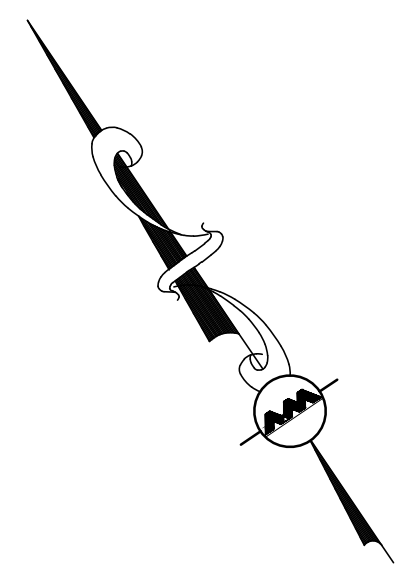


**DEMO NOTES:**

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
2. GRADING / DEMOLITION OUTSIDE OF THE PROJECT BOUNDARIES REQUIRES A TEMPORARY CONSTRUCTION/GRADING EASEMENT FROM THE LANDOWNER (BY OTHERS).
3. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
4. CLEAR GRUB AND REMOVE ALL EXISTING VEGETATION ON SITE, EXCEPT AS NOTED ON PLAN.
5. REFER TO STORMWATER POLLUTION PREVENTION PLANS FOR ADDITIONAL DETAIL REGARDING EROSION CONTROL MEASURES.
6. REFER TO THE LANDSCAPE DRAWINGS AND SPECIFICATIONS REGARDING THE TREATMENT OF TOPSOIL.
7. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

**GENERAL NOTES:**

1. NO WORK TO PROCEED ON WATER, SEWER, OR DRAIN PIPES PRIOR TO THE RESPECTIVE DPW APPROVAL.
2. CONTRACTOR MUST MEET OR EXCEED THE DPW'S STANDARD REQUIREMENTS FOR ALL SEWER, STORM DRAIN, AND WATER WORK.
3. ALL PROPOSED WATER, DRAIN, AND SEWER WORK IN THE RIGHT-OF-WAY SHALL BE PERFORMED IN THE PRESENCE OF A DPW CONSTRUCTION INSPECTOR. THE CONTRACTOR SHALL GIVE A MINIMUM OF 24 HOURS NOTICE TO THE DPW TO FACILITATE THE SCHEDULING OF AN INSPECTOR DURING ALL WATER, DRAIN, AND SEWER WORK.
4. THE CONTRACTOR SHALL NOTIFY CITY OF SOMERVILLE WATER OPERATIONS A MINIMUM OF (7) WORKING DAYS BEFORE STARTING CONSTRUCTION OF ANY PORTION OF THEIR WATER SYSTEM SO THAT THE WATER MAIN CAN BE SHUT OFF.
5. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
6. CONTRACTOR TO CONTACT THE DPW FOR INSTALLATION AND ACTIVATION OF ANY TEMPORARY HYDRANT METERS. LOCATION TO BE FIELD DETERMINED.
7. CONTRACTOR TO EXPOSE SERVICE CONNECTION OUTSIDE THE FOUNDATION AND REMOVE TO A POINT OF CONNECTION TO THE MUNICIPAL MAIN.
8. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.
9. UNLESS OTHERWISE DIRECTED, CONTRACTOR SHALL RESTORE ROADS AND SIDEWALKS TO MATCH ORIGINAL SURFACES IN ACCORDANCE WITH CITY OF SOMERVILLE REGULATIONS.
10. EXISTING WATER SERVICES TO BE ABANDONED ARE TO BE CUT AND CAPPED AT THE MAIN. THE GATE AND UPRIGHT AND FRAME AND COVER ARE TO BE REMOVED BY THE CONTRACTOR. THE REMAINING TEE AND BLIND FLANGE SHALL BE POSITIVELY RESTRAINED TO THE MAIN WITH TIE RODS AND COLLAR. PLUG AND ABANDON EXISTING PIPES IN PLACE, OR REMOVE AND DISPOSE OF PIPES WHERE NOTED ON THE PLANS.
11. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
12. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DIRT, DUST, AND SEDIMENT ON SITE THROUGHOUT THE COURSE OF THE PROJECT. AS SUCH CONTRACTOR SHALL PROVIDE PERIMETER EROSION CONTROLS INCLUDING STRAW WATTLES AND/OR SILT FENCE AS APPROPRIATE BASED ON THE FINAL LIMIT OF WORK. THE CONTRACTOR SHALL REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TWELVE HOURS AFTER EACH STORM EVENT AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
13. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WIND, WATER, OR DIRECT DEPOSIT.
14. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM DRAINAGE AND SEWER SYSTEMS.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	02-10-23	ISSUED TO CAMBRIDGE
2	11-15-22	MISC. REVS PER DPW CMTS.
3	10-06-22	MISC. REVS PER DPW CMTS.

OWNER: SOMERBRIDGE HOTEL LLC  
c/o XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

PROJECT: 145 ROOM HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA  
1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: OCTOBER 15, 2025  
SCALE: DWG.: 1362-16.Demo  
DESIGNED BY: SM CHECKED BY: MM

PREPARED BY:



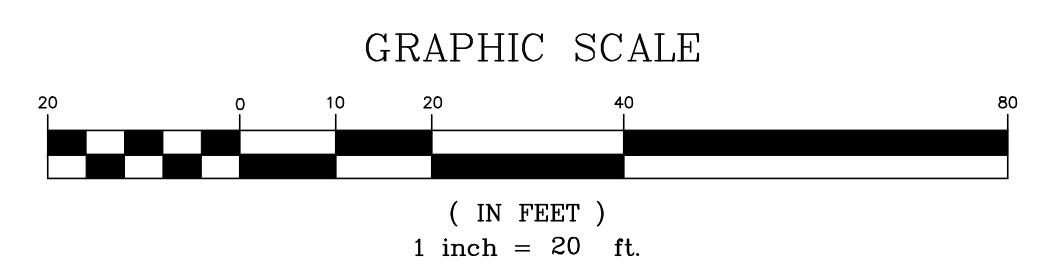
**ALLEN & MAJOR ASSOCIATES, INC.**

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DRAWING TITLE: DEMOLITION PLAN SHEET NO. C-1



R:\PROJECTS\1362-16\DWG\DRAWINGS\CURRENT\1362-16\_DEMO.DWG

CITY OF SOMERVILLE - (HR) HIGH-RISE DISTRICT			
ITEM	EXISTING	REQUIRED/ALLOWED	PROPOSED
LOT WIDTH (MIN)	30 FT	54 FT	54 FT
PRIMARY FRONT SETBACK (MIN/MAX)	6.8'	2 - 15 FT	9.7 FT
SIDE YARD SETBACK (ABUTTING ANY NON-NR OR -LHD)	29.8'	0 FT	3.7 FT
REAR YARD SETBACK (ABUTTING AN ALLEY OR R-ROW)	17.1'	0 FT	16.3 FT
PARKING SETBACKS			
PRIMARY FRONT SETBACK (MIN)	N/A	30 FT	85.5 FT
LOADING ZONES (MIN) (1)	N/A	1	0
LOT COVERAGE (MAX) (2)	29.9%	100%	28.6%
LANDSCAPED AREA (MIN) (4)	12.5%	15%	20.9%
BUILDING HEIGHT (MAX)	15'±	80'	69'-11 3/4"
GREEN SCORE	-	0.20	0.2548 (2)

NOTES:  
 (1) LOADING ZONE PROVIDED ON CAMBRIDGE SIDE OF PROJECT  
 (2) GREEN SCORE CALCULATED SOLELY ON AREA LOCATED IN SOMERVILLE.  
 (3) FLOOR AREA: 4,783 SF OF BUILDING FOOTPRINT & 44,508 GSF WITHIN SOMERVILLE CITY LIMITS SOMERVILLE PARCEL AREA: 17,316 SF  
 (4) LANDSCAPE AREA BASED UPON THE ASSUMPTION OF 3,226 SF OF LANDSCAPING AREA WITHIN SOMERVILLE CITY LIMITS (LOT = 17,316 SF)

**SPECIAL PERMIT REQUIRED FOR:**

TABLE 5.1.15 PERMITTED USES: HOTEL USE

OFF STREET PARKING SUMMARY - SOMERVILLE			
USE: HOTEL, MOTEL (ORDINANCE TABLE 5.1.17) "SINCE THE PROJECT IS LOCATED OUTSIDE OF A TRANSIT AREA, THERE IS NO MINIMUM REQUIRED PARKING SPACES"			
ADA REQUIRED: 2 TOTAL PARKING STALLS SHALL BE ACCESSIBLE (MINIMUM OF 1 ACCESSIBLE STALL BE VAN ACCESSIBLE)			
ADA PROVIDED: 2 TOTAL ACCESSIBLE PARKING STALLS ARE PROVIDED (1 ACCESSIBLE STALL BE VAN ACCESSIBLE)			
	ADA ACCESSIBLE	STANDARD (8'x16')	TOTAL PROVIDED
TOTAL PARKING	2	18	20

NOTE:  
 1. PARKING CALCULATIONS BASED UPON 145 GUESTROOMS, 95 OF WHICH LIE WITHIN SOMERVILLE CITY LIMITS

CITY OF CAMBRIDGE (SD 1) SPECIAL DISTRICT 1			
ITEM	EXISTING	REQUIRED/ALLOWED	PROPOSED
LOT AREA (MIN.)	15,490 S.F.	N/A	15,490 S.F.
FLOOR AREA RATIO (MAX)	2.8	1.5	1.17
BUILDING HEIGHT (MAX)	<85'	85'	69'-11 3/4"
FRONT YARD SETBACK (MIN)	9'1±	3'	9.5'
SIDE YARD SETBACK (MIN)	3.3'	NONE	52.0'
REAR YARD SETBACK (MIN)	6.3'	NONE	96.3'
FRONTAGE (MIN)	126'	N/A	126'
LOADING ZONES (MIN)	1	1	1
PARKING SETBACK (MIN)	0	5'	11.1'

NOTE:  
 1. FLOOR AREA RATIO BASED UPON THE ASSUMPTION OF 18,138 G.S.F. OF BUILDING WITHIN THE CAMBRIDGE CITY LIMITS. PARCEL AREA = 15,490 SF  
 2. REQUIRED LOADING ZONE DIMENSIONS: 30 FEET LONG X 10 WIDE X 14 FEET HIGH. PROPOSED LOADING ZONE DIMENSIONS: 30 FEET LONG X 10 WIDE X 14 FEET HIGH.

**SPECIAL PERMIT REQUIRED FOR:**

OFF STREET PARKING SUMMARY - CAMBRIDGE			
REQUIRED PARKING: (ORDINANCE SECTION 6.31) "NOTWITHSTANDING ANY OTHER PROVISION IN THIS ZONING ORDINANCE, THE MINIMUM ACCESSORY PARKING REQUIRED FOR ALL USES SHALL BE ZERO (0) PARKING SPACES."			
ADA REQUIRED: 1 TOTAL PARKING STALL SHALL BE ACCESSIBLE (MINIMUM OF 1 ACCESSIBLE STALL BE VAN ACCESSIBLE)			
ADA PROVIDED: 0 TOTAL ACCESSIBLE PARKING STALLS ARE PROVIDED (ADA SPACES PROVIDED IN SOMERVILLE FOR ENTIRE PROJECT)			
COMPACT SPACES (ORDINANCE SECTION 6.34) COMPACT SPACES MAY NOT ACCOUNT FOR MORE THAN 50% OF REQUIRED SPACES 2 PROVIDED / 13 PROVIDED = 15.4% COMPACT SPACES			
	STANDARD (9'x18')	ADA ACCESSIBLE	COMPACT (8'x16')
ONSITE PARKING	11	0	2
TOTAL PROVIDED			13

**PLAN NOTES:**

- EXISTING CONDITIONS WERE COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY ALLEN & MAJOR ASSOCIATES AS WELL AS AVAILABLE RECORD PLANS OBTAINED FROM THE CITY ENGINEERING DEPARTMENT AND OTHER SOURCES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DISAISE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR SHALL ALSO CONTACT THE CITY DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF LOCAL UTILITIES.

**LAYOUT NOTES:**

- CURB RADII SHALL BE AS SHOWN ON THE PLAN, THOUGH TYPICALLY 10'-FT. AT CORNERS AND 2'-FT. ADJACENT TO PARKING STALLS.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR. ALL SITE ITEMS SHALL BE LAID OUT AND AS BUILT BY A LICENSED LAND SURVEYOR.

BIKE PARKING SUMMARY - CAMBRIDGE		
USE: TRANSIENT ACCOMMODATIONS, INCLUDING: TOURIST HOUSES IN AN EXISTING DWELLING, HOTELS, MOTELS		
LONG TERM BIKE PARKING 0.02 SPACE PER SLEEPING ROOM (50 GUESTROOMS)	REQUIRED 1	PROPOSED 1
SHORT TERM BIKE PARKING 0.05 SPACE PER SLEEPING ROOM (50 GUESTROOMS)	REQUIRED 3	PROPOSED 3

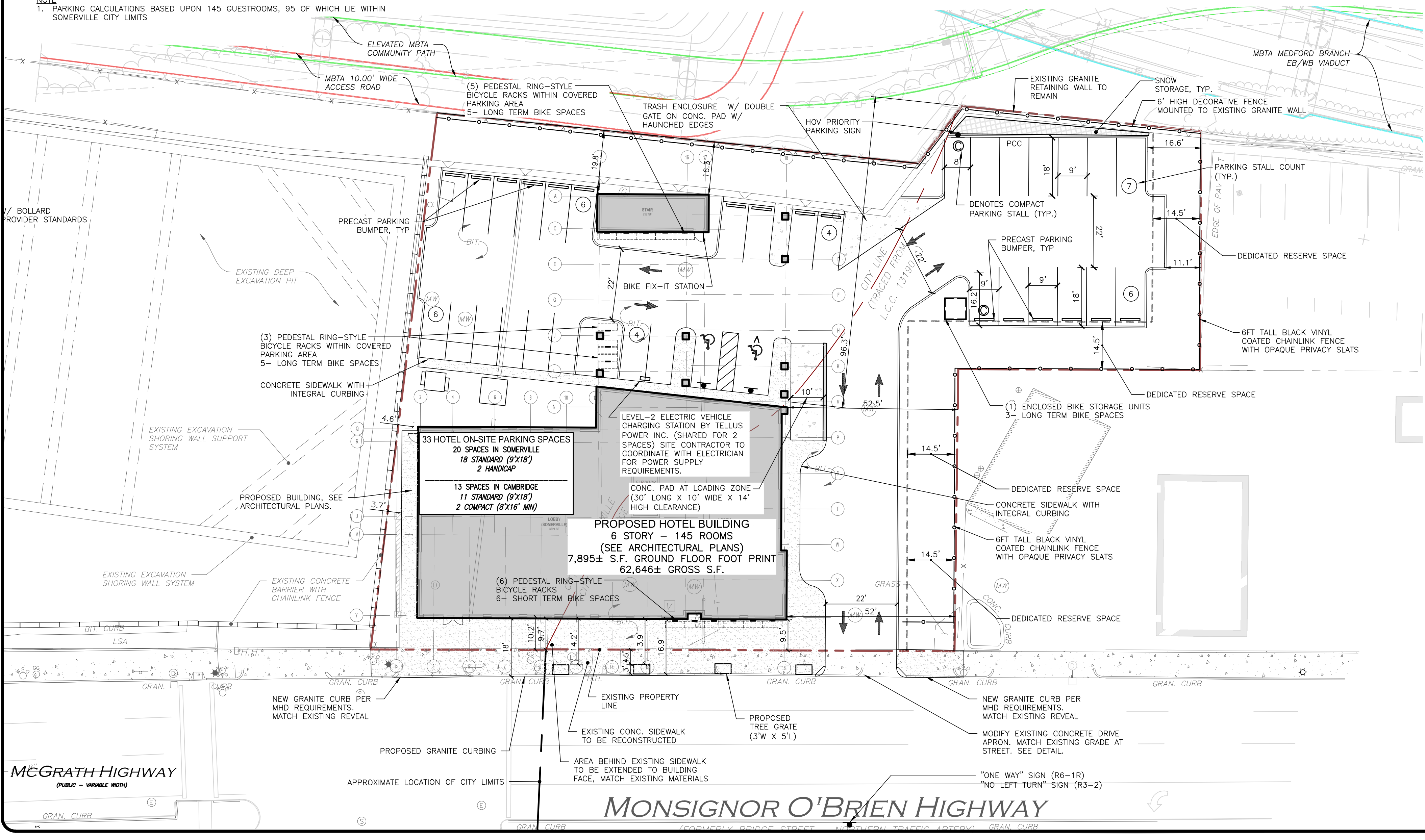
BIKE PARKING SUMMARY - SOMERVILLE		
USE: TRANSIENT ACCOMMODATIONS, INCLUDING: TOURIST HOUSES IN AN EXISTING DWELLING, HOTELS, MOTELS		
SHORT TERM BIKE PARKING 1 SPACE PER 20 SLEEPING ROOM (95 GUESTROOMS)	REQUIRED 5	PROPOSED 5
LONG TERM BIKE PARKING 1 SPACE PER 10 SLEEPING ROOM (95 GUESTROOMS)	REQUIRED 10	PROPOSED 10

**GENERAL NOTES:**

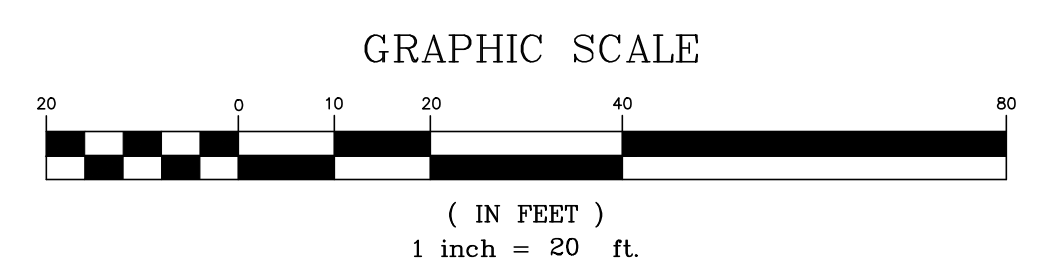
- THIS PROJECT WILL BE SERVED BY PUBLIC SEWER, WATER, NATURAL GAS, TELEPHONE, CABLE AND ELECTRIC. ALL UTILITY LINES WILL BE INSTALLED UNDERGROUND.
- ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS
- ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF MASSACHUSETTS AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING WITH THE CITY, THE APPROPRIATE UTILITY COMPANIES, THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
- APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAGMEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROL SHALL BE IMPLEMENTED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A MASSACHUSETTS PROFESSIONAL LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
- ALL PERMITS AND APPROVALS NECESSARY FROM AGENCIES GOVERNING THE WORK SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS. SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON SITE INSPECTIONS BY THE OWNER, THEIR REPRESENTATIVES, OR REGULATORY AGENCIES HAVING JURISDICTION AT NO ADDITIONAL COST TO THE OWNER.
- CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE CITY, MADOT, MADEP, MUTCD, AND AASHTO.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), STATE, AND LOCAL REGULATIONS.
- GRANITE CURBING REMOVED FROM PUBLIC ROADS SHALL BE STOCKPILED AND RETURNED TO THE RESPECTIVE CITY DPM.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COSTS SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY'S GOVERNING AUTHORITY'S SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COSTS SHALL BE INCLUDED IN BASE BID.
- A SIGN PERMIT APPLICATION SHALL BE APPROVED BY THE CITY PRIOR TO INSTALLATION OF FREESTANDING BUILDING/WALL SIGNS.
- SEE SHEET 1 FOR EXISTING CONDITIONS.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- SNOW STORAGE SHOWN FOR CONCEPTUAL PURPOSES ONLY. SNOW SHALL BE TAKEN OFF-SITE ONCE SNOW STORAGE AREAS ON SITE BECOME INADEQUATE, AND BEGINS TO BLOCK ACCESS TO AND FROM THE SITE OR BLOCKS THE USE OF ON-SITE PARKING. ANY EXCESS WILL BE TRUCKED OFF-SITE & DISPOSED OF IN ACCORDANCE WITH CITY AND MADEP REQUIREMENTS.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.



LEGEND:	
PROP. PROPERTY LINE	---
SIGN	—
BOLLARD	•
BUILDING	▒
BUILDING OVERHEAD	---
BUILDING INTERIOR WALLS	---
CURB	—
PARKING STRIPING	▨
ROADWAY STRIPING	▨
TRAFFIC ARROWS	→
VERTICAL GRANITE CURB	VGC
PRECAST CONC. CURB	PCC
INTEGRAL CONC. CURB	ICC
SIDEWALK	▨
HEAVY DUTY CONC. PAD	▨
SNOW STORAGE	▨
PARKING COUNT	10
COMPACT PARKING STALL	⊙



REV: PROJECTS 1, 162-16 (LOCAL DRAWINGS) CURRENTLY 1, 162-16 LAYOUT AND MATERIALS LOG

McGRATH HIGHWAY  
(PUBLIC - VARIABLE WIDTH)

Monsignor O'Brien Highway

REV	DATE	DESCRIPTION

OWNER: SOMERBRIDGE HOTEL LLC  
c/o XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

PROJECT: 145 ROOM HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA  
1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: OCTOBER 15, 2025  
SCALE: AS SHOWN DWG.: 1362-16 Layout and Materials  
DESIGNED BY: SM CHECKED BY: MM

PREPARED BY:  
  
**ALLEN & MAJOR ASSOCIATES, INC.**  
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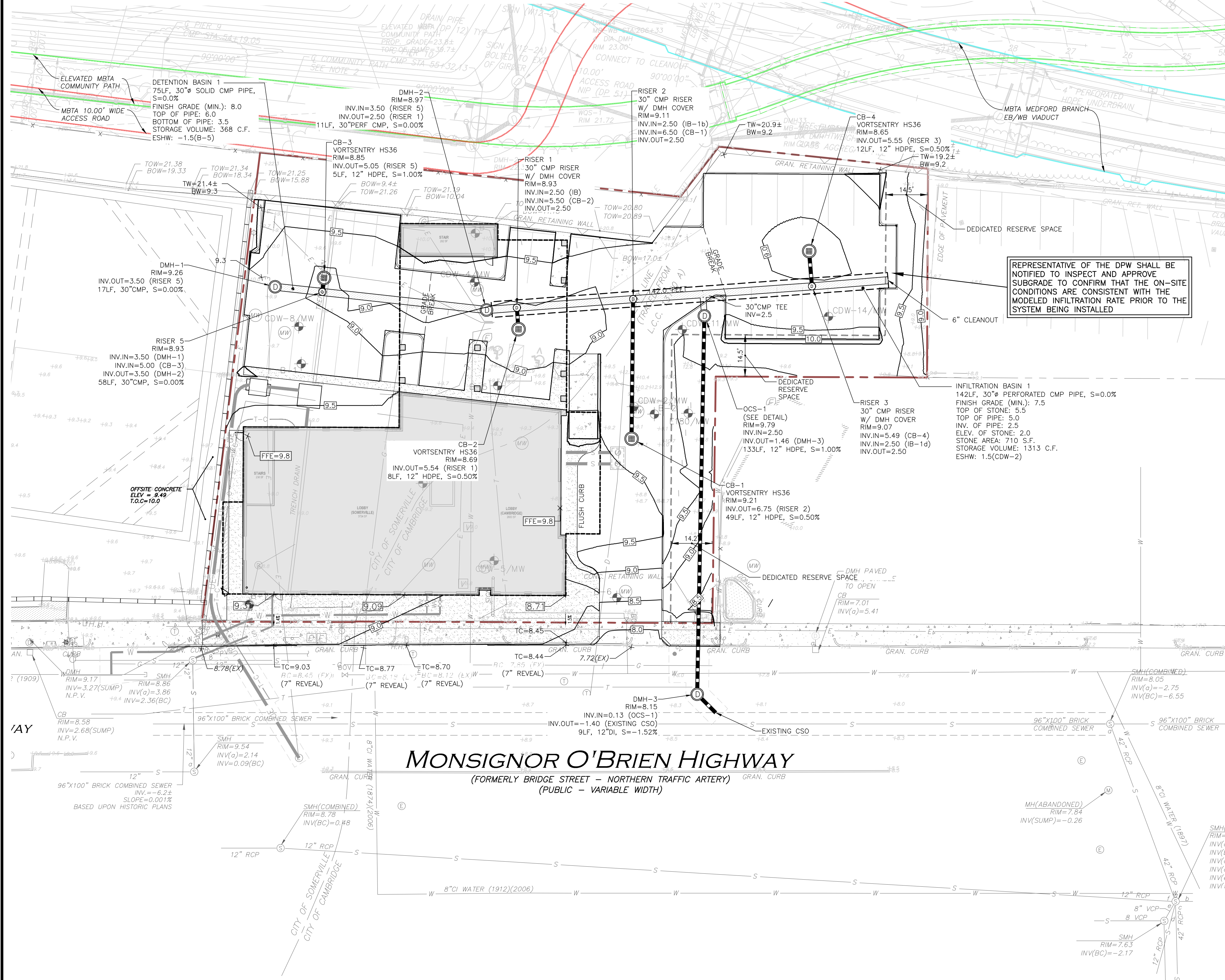
WORURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE: LAYOUT & MATERIALS PLAN SHEET No. C-2  
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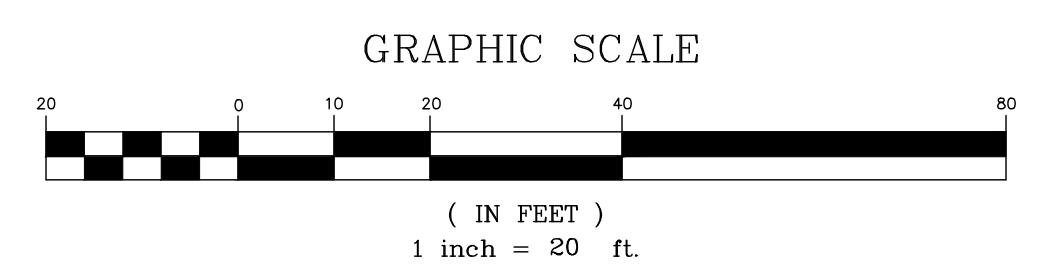
GRADING AND DRAINAGE NOTES

- 1. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
2. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
3. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
4. STORM PIPE SHALL BE HDPE.
5. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
6. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
7. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
8. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
9. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
10. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "DRAIN".
11. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
12. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
13. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
14. TOPOGRAPHIC INFORMATION OBTAINED FROM AN ACTUAL FIELD SURVEY PERFORMED ON OR BETWEEN JULY 9, 2015 AND JULY 28, 2015.
15. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
16. ALL CATCH BASINS ON-SITE SHALL BE EQUIPPED WITH HOODS AND 4 FOOT SUMPS AND SHALL CONFORM TO LOCAL DRAINAGE REQUIREMENTS.
17. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF TEN FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
18. ALL DRAINAGE SHALL CONFORM TO LOCAL REQUIREMENTS.
19. ROOF DRAINS SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS AND FLOW VIA GRAVITY TO THE PROPOSED DETENTION SYSTEM.
20. CONTRACTOR SHALL VERIFY CONDITION AND DEPTH OF EXISTING GRANITE RETAINING WALL TO REMAIN, PRIOR TO CONSTRUCTION IN ORDER TO DETERMINE THAT THE GRADES SHOWN HEREON ARE ACHIEVABLE.



REPRESENTATIVE OF THE DPW SHALL BE NOTIFIED TO INSPECT AND APPROVE SUBGRADE TO CONFIRM THAT THE ON-SITE CONDITIONS ARE CONSISTENT WITH THE MODELED INFILTRATION RATE PRIOR TO THE SYSTEM BEING INSTALLED

LEGEND:
DRAIN MANHOLE (Symbol)
CATCH BASIN (Symbol)
DRAIN LINE (Symbol)
1' CONTOUR (Symbol)
SPOT GRADE x128
INFILTRATION PIPE (Symbol)
DETENTION PIPE (Symbol)
ROOF DRAIN LINE (Symbol)



CITY OF CAMBRIDGE DPW STORMWATER CONTROL PERMIT NUMBER



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

Table with columns: REV, DATE, DESCRIPTION

OWNER: SOMERBRIDGE HOTEL LLC c/o XSS HOTELS PO BOX 4430 MANCHESTER, NH 03108

PROJECT: 145 ROOM HOTEL 263 MONSIGNOR O'BRIEN HIGHWAY CAMBRIDGE, MA 1 McGRATH HIGHWAY SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: OCTOBER 15, 2025

SCALE: DWG.: 1362-16 Grading and Drainage

DESIGNED BY: SM CHECKED BY: MM

PREPARED BY:

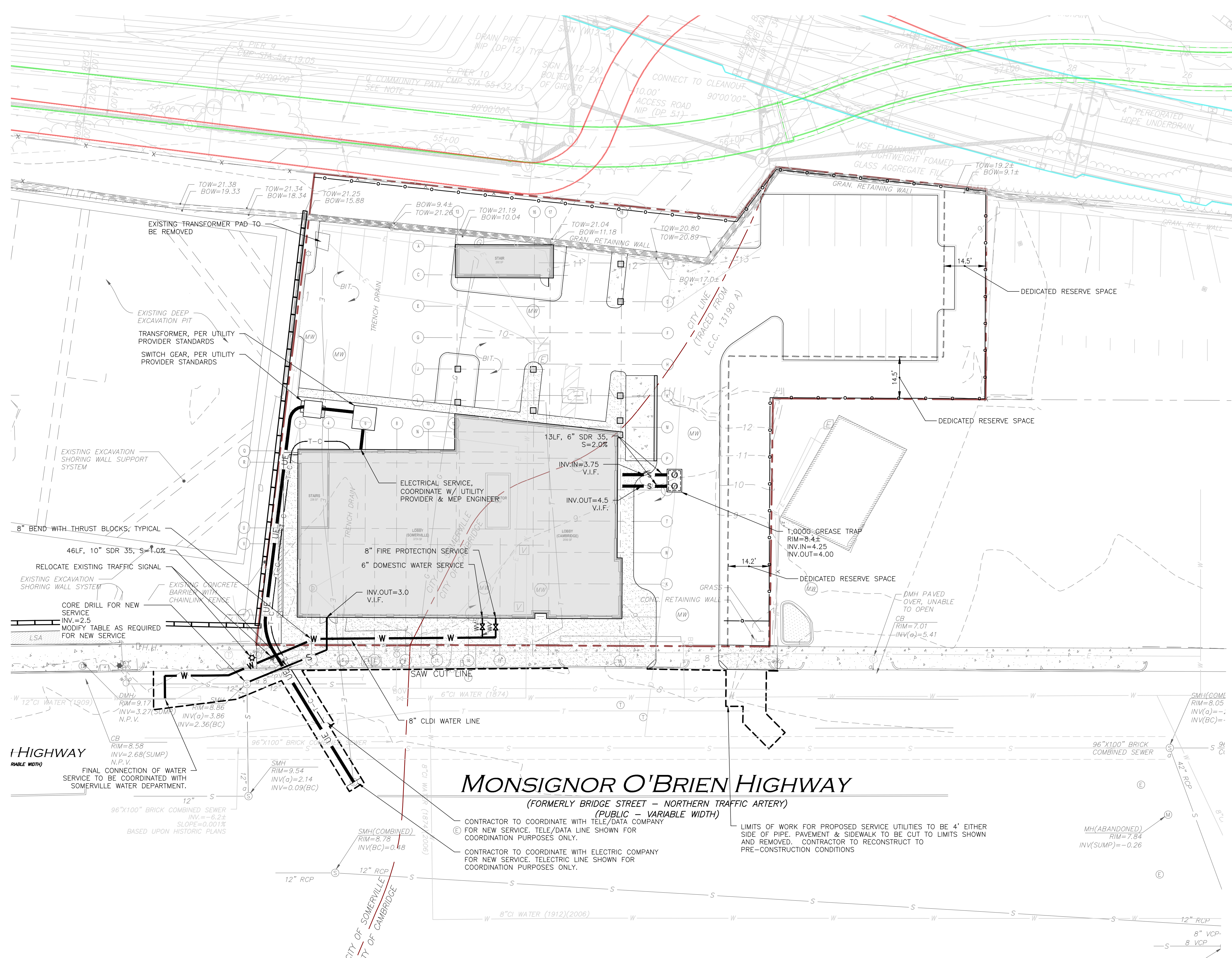
Logo for ALLEN & MAJOR ASSOCIATES, INC. civil engineering • land surveying environmental consulting • landscape architecture www.allenmajor.com 400 HARVEY ROAD MANCHESTER, NH 03103 TEL: (603) 627-5500 FAX: (603) 627-5501

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DRAWING TITLE: GRADING AND DRAINAGE PLAN SHEET NO. C3

PROJECTS 1362-16 (CIVIL DRAWINGS) CURRENT 1362-16 GRADING AND DRAINAGE.DWG

REV. PROJECTS 1, 162-16 CIVIL DRAWINGS CURRENT 1, 162-16 UTILITIES.DWG



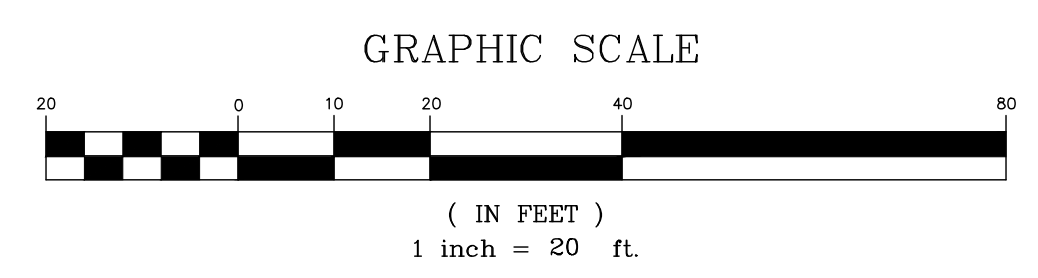
### MONSIGNOR O'BRIEN HIGHWAY (FORMERLY BRIDGE STREET - NORTHERN TRAFFIC ARTERY)

(PUBLIC - VARIABLE WIDTH)  
 CONTRACTOR TO COORDINATE WITH TELE. DATA COMPANY FOR NEW SERVICE. TELE/DATA LINE SHOWN FOR COORDINATION PURPOSES ONLY.  
 CONTRACTOR TO COORDINATE WITH ELECTRIC COMPANY FOR NEW SERVICE. ELECTRIC LINE SHOWN FOR COORDINATION PURPOSES ONLY.

LIMITS OF WORK FOR PROPOSED SERVICE UTILITIES TO BE 4' EITHER SIDE OF PIPE, PAVEMENT & SIDEWALK TO BE CUT TO LIMITS SHOWN AND REMOVED. CONTRACTOR TO RECONSTRUCT TO PRE-CONSTRUCTION CONDITIONS

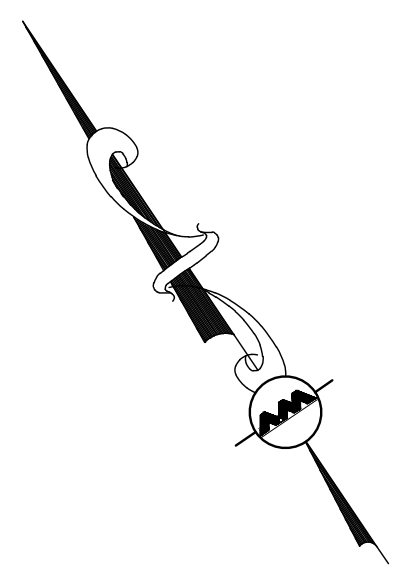
#### LEGEND

SEWER MANHOLE	⊙
SEWER CLEANOUT	⊙
SEWER LINE	— S —
CONCRETE PIPE ENCASUREMENT	▨
WATER (FIRE SERVICE)	— W-F —
WATER (DOMESTIC SERVICE)	— W-D —
WATER VALVE	WV
HYDRANT	⊙
WATER LINE REDUCER	▶
GAS LINE	— G —
GAS VALVE	⊙
GREASE TRAP	⊞
OVER HEAD WIRE	— OHW —
UTILITY POLE	⊙
ELECTRICAL CONDUIT	— UE —
TELE/CABLE CONDUIT	— T-C —



#### UTILITY NOTES:

- A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
- IN THE CASE THAT WATER MAINS CROSS SANITARY SEWER MAINS AND/OR STORM DRAINS AND ARE SEPARATED BY LESS THAN 18" OF VERTICAL CLEARANCE, THE CROSSING SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 8 LINEAR FEET CENTERED ON THE CROSSING.
- THE LATEST STANDARDS OF THE CITY OF CAMBRIDGE & CITY OF SOMERVILLE DEPARTMENT OF PUBLIC WORKS, WASTEWATER DIVISION SHALL BE FOLLOWED WHEN PERFORMING ANY SANITARY SEWER WORK. SEWER WORK WILL BE INSPECTED BY CITY PERSONNEL AND ALL COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE LATEST STANDARDS OF THE CITY OF CAMBRIDGE & CITY OF SOMERVILLE AND DEPARTMENT OF PUBLIC WORKS SHALL BE FOLLOWED WHEN INSTALLING ANY WATER LINES, AND ALL WATER LINE WORK WILL BE INSPECTED BY CITY OF CAMBRIDGE PERSONNEL. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR PRESSURE TESTING, DISINFECTING, AND FLUSHING OF LINES. INSPECTION COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND REMOVAL OF ALL NECESSARY DISINFECTING AND FLUSHING TAPS AS DIRECTED.
- THE CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS AND UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, AND GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
- ABANDONED EXISTING UTILITIES AND UTILITIES TO BE ABANDONED SHALL EITHER BE ABANDONED IN PLACE AS NOTED OR SHALL BE REMOVED AND DISPOSED OF AS SPECIFIED. ALL UTILITIES SCHEDULED FOR ABANDONMENT OR REMOVAL AND DISPOSAL MUST BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY OWNER. WHEN ABANDONED UTILITIES ARE TO BE LEFT IN PLACE, PLUG OR CAP THE ENDS OF THE CONDUITS AND PIPES. REMOVE ABANDONED UTILITY MANHOLES, JUNCTION BOXES AND SIMILAR STRUCTURES TO A MINIMUM DEPTH OF 4 FEET BELOW FINISHED GRADE AND PUNCTURE OR BREAK THE BOTTOM SLABS OF MANHOLES AND SIMILAR STRUCTURE TO ALLOW DRAINAGE, BACKFILL AND COMPACT EXCAVATIONS RESULTING FROM REMOVAL OF UTILITY FACILITIES, AS REQUIRED TO RESTORE THE ORIGINAL GRADE.
- THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENTS OF NATURAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY BY THE UTILITY OWNER.
- THE CONTRACTOR SHALL USE THE FOLLOWING PIPE MATERIALS:  
 SEWER — PVC (POLYVINYL CHLORIDE), SCHEDULE 35  
 DRAIN — HDPE (HIGH DENSITY CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INNER WALL), ASTM D2321 (UNLESS OTHERWISE SPECIFIED ON PLAN)  
 — RCP CLASS IV (REINFORCED CONCRETE PIPE, WHERE SPECIFIED ON PLAN)
- ALL UTILITY CONNECTIONS THROUGH THE BUILDING WALL SHALL BE BY MEANS OF FLEXIBLE JOINTS.
- THE CONTRACTOR SHALL FIELD VERIFY/LOCATE EXISTING WATER MAINS AND WATER SERVICES.
- PRESSURE AND LEAKAGE TEST, DISINFECTING AND FLUSHING SHALL BE IN ACCORDANCE WITH ALL LOCAL MUNICIPAL STANDARDS AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE LOCAL MUNICIPALITY.
- SEWER FORCEMAIN SHALL BE TESTED AT TWO TIMES THE WORKING PRESSURE OR 150 PSI, WHICH EVER IS GREATER. THE PRESSURE SHALL BE MAINTAINED FOR TWO HOURS WITH NO MORE THAN A 5 PSI OR 5% DROP IN PRESSURE, WHICH EVER IS GREATER.
- CONTRACTOR IS ADVISED THAT INSTALLATION OF GRAVITY SERVICE LINES TAKE PRECEDENCE OVER PRESSURIZED SYSTEMS. CONTRACTOR TO FULLY UNDERSTAND LIMITS OF WORK PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY OF ANY CONFLICTS ACTUAL OR ANTICIPATED.



PROFESSIONAL ENGINEER FOR  
 ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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OWNER:  
**SOMERBRIDGE HOTEL LLC**  
 c/o XSS HOTELS  
 PO BOX 4430  
 MANCHESTER, NH 03108

PROJECT:  
**145 ROOM HOTEL**  
 263 MONSIGNOR O'BRIEN HIGHWAY  
 CAMBRIDGE, MA  
  
 1 McGRATH HIGHWAY  
 SOMERVILLE, MA

PROJECT NO. 1362-16	DATE: OCTOBER 15, 2025
SCALE:	DWG.: 1362-16 UTILITIES
DESIGNED BY: SM	CHECKED BY: MM

PREPARED BY:

**ALLEN & MAJOR ASSOCIATES, INC.**  
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DRAWING TITLE: <b>UTILITY PLAN</b>	SHEET NO. <b>C-4</b>
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**LANDSCAPE REGULATIONS - CAMBRIDGE**

REGULATION	ITEM	REQUIRED/ALLOWED	PROPOSED	
17.152	TREE PLANTING	AT LEAST ONE STREET TREE, MIN. CAL. 3" SHALL BE LOCATED IN THE FRONT YARD ALONG MONSIGNOR O'BRIEN HIGHWAY, FOR EACH 25' OF FRONTAGE ON THE HIGHWAY	1 TREE PER 25' OF FRONTAGE 125' OF FRONTAGE = 5 TREES MIN	5 TREES MIN ALONG MONSIGNOR O'BRIEN HWY.
6.48	PARKING LANDSCAPING	A. AT LEAST 5% OF THE INTERIOR OF THE PARKING FACILITY SHALL BE LANDSCAPED.	MIN 5% INTERIOR OF PARKING AREA LANDSCAPED	6% AREA LANDSCAPED 470 SF LANDSCAPE
		B. EACH PLANTING AREA SHALL BE AT LEAST 25 SF IN AREA AND HAVE NO DIMENSION LESS THAN 5'.	PLANTING AREA MIN. 25 SF AND NO DIMENSION LESS THAN 5'	PLANTING AREA MIN. 25 SF AND NO DIMENSION LESS THAN 5'
		C. EACH PLANTING AREA SHALL CONTAIN AT LEAST 1 TREE AND THE FACILITY AS A WHOLE SHALL CONTAIN AT LEAST 1 TREE FOR EVERY 10 PARKING SPACES	MIN. 1 TREE PER 10 PARKING SPACES	3 TREES PROVIDED AT PARKING AREA
		D. TREES USED TO SATISFY PARKING LOT LANDSCAPING REQUIREMENTS SHALL BE A MIN. OF 3" CAL.	MIN. 3" CAL. TREES	MIN. 3" CAL. TREES

**LANDSCAPE REGULATIONS - SOMERVILLE**

REGULATION	ITEM	REQUIRED/ALLOWED	PROPOSED
LANDSCAPING	AT LEAST 15% OF THE LOT AREA SHALL BE LANDSCAPED.	MIN 15% LOT AREA LANDSCAPED LOT = 17,316 SF 15% = 2,597 SF MIN.	17.2% OF LOT IS LANDSCAPED 2,979 SF




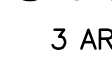

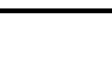
**PLANTING SCHEDULE-TREES, SHRUBS, GROUNDCOVERS & PERENNIALS**

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	SPACING	COMMENTS
<b>DECIDUOUS TREES</b>						
QP	5	QUERCUS PALUSTRIS	PIN OAK	3-3.5" CAL.	AS SHOWN	B&B
BN	2	BETULA NIGRA	RIVER BIRCH	12-14' HT., 2-2.5" CAL.	AS SHOWN	B&B - MULTISTEM
PA	2	PLATANUS ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANETREE	3-3.5" CAL.	AS SHOWN	B&B
<b>EVERGREEN/FLOWERING TREES</b>						
JVT	6	JUNIPERUS VIRGINIANA 'TAYLOR'	TAYLOR EASTERN RED CEDAR	2" CAL.	AS SHOWN	B&B - 6' + HT.
JV	5	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	2" CAL.	AS SHOWN	B&B - 6' + HT.
TO	28	THUJA O. 'WINTERGREEN'	WINTERGREEN ARBORVITAE	8-10' HT.	AS SHOWN	B&B
AC	4	AMELANCHEIR CANADENSIS	SERVICEBERRY	3-3.5" CAL.	AS SHOWN	B&B
<b>SHRUBS</b>						
CA	10	CORNUS SERICEA 'FIREDANCE'	FIREDANCE DOGWOOD	#5	AS SHOWN	POT
JB	100	JUNIPERUS HORIZONTALIS 'ANDORRA'	ANDORRA JUNIPER	#3	24" O.C.	POT
RA	14	RHUS AROMATICA 'GROW LOW'	GROW LOW SUMAC	#3	24" O.C.	POT
IG	43	ILEX GLABRA 'SHAMROCK'	INKBERRY	2'-2.5' HT.	AS SHOWN	POT
<b>PERENNIALS/BULBS</b>						
HH	52	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	#1	18" O.C.	STAGGERED
RF	85	RUDBECKIA FULGIDA FULGIDA	BLACK EYED SUSAN	#1	18" O.C.	STAGGERED
PV	28	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	#2	18" O.C.	STAGGERED

**GENERAL NOTES**

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE TOWN OF CAMBRIDGE DPW AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.  
DIGSAFE: 1-800-344-7233  
TOWN OF CAMBRIDGE DPW: 1-617-349-4800
- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR. ALL SITE ITEMS SHALL BE LAID OUT AND AS-BUILT BY A LICENSED LAND SURVEYOR.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), STATE, AND LOCAL REGULATIONS.
- REFER TO ARCHITECTURAL PLANS FOR LIGHTING PROVIDED ON BUILDING.

**LEGEND**

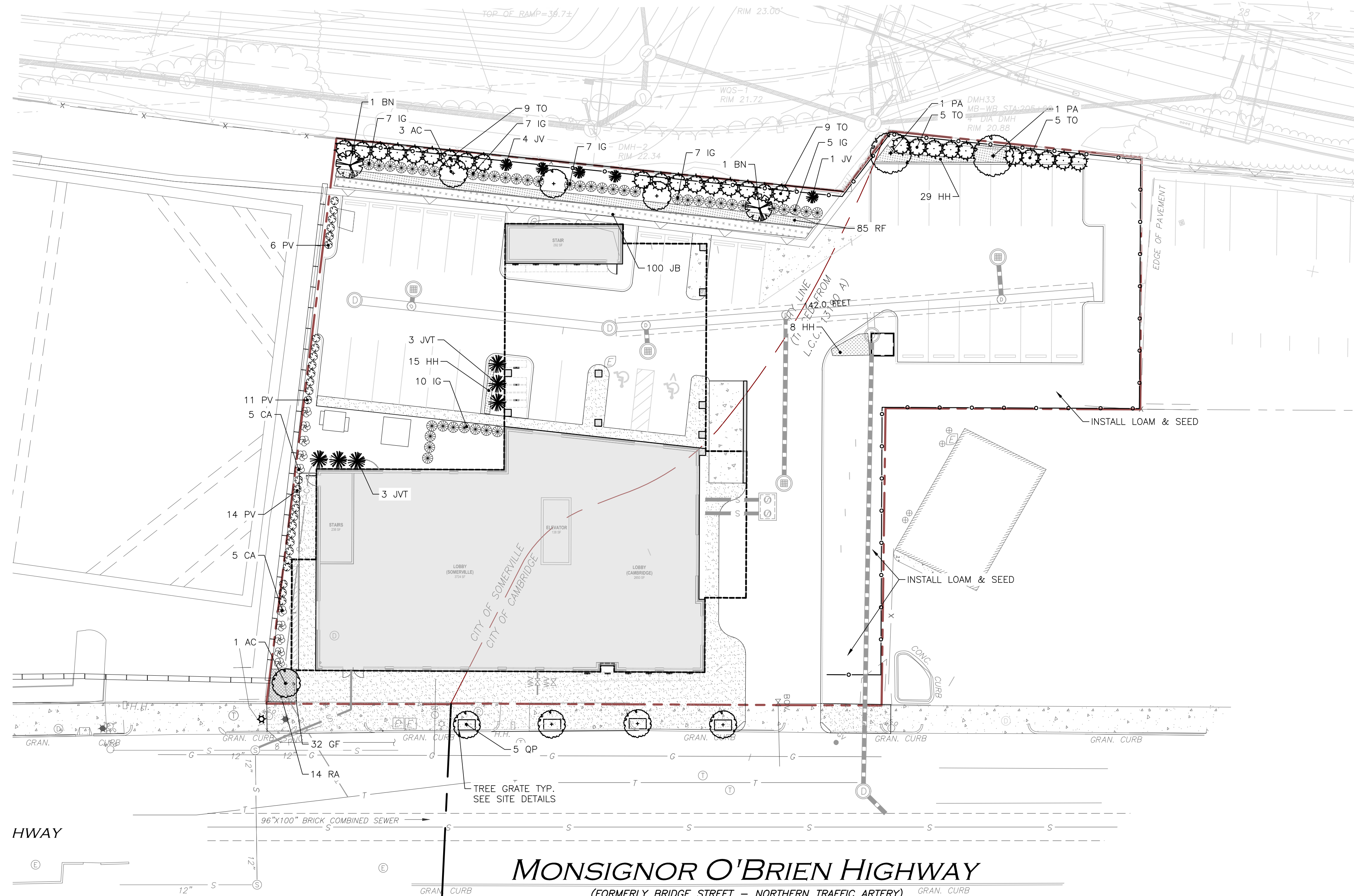
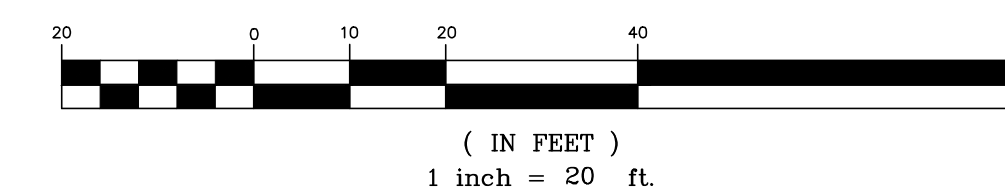
- DECIDUOUS TREE 
- FLOWERING TREE 
- EVERGREEN TREE 
- SHRUB 
- PLANT KEY 
- PLANT BED 

SPRAY WITH WILT PROOF ACCORDING TO MANUFACTURERS INSTRUCTIONS IF FOLIAGE IS PRESENT

**LANDSCAPE NOTES**

- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITIES OF CAMBRIDGE, MA AND SOMERVILLE, MA SPECIFICATIONS.
- PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE"(1-888-DIG-SAFE) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS IN WRITING.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. ANY TREES NOTED AS "SEAL OR SELECTED SPECIMEN" SHALL BE TAGGED AND SEALED BY THE LANDSCAPE ARCHITECT.
- ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 4" OF LOAM AND SEED. LAWNS WITH OVER 3:1 SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
- ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR FALL PLANTING.
- TREES SHALL HAVE A MINIMUM CALIPER OF 2 1/2" ONE FOOT ABOVE THE ROOT CROWN
- ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF PINE BARK MULCH, AND GROUND COVER AREAS SHALL RECEIVE 1" OF PINE BARK MULCH.
- ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7' OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
- CONTRACTOR RESPONSIBLE FOR WATERING, AND RESEEDING OF BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
- ALL PARKING ISLANDS PLANTED WITH SHRUBS SHALL HAVE 24" OF TOP SOIL. FINISH GRADE SHALL BE EQUAL TO THE TOP OF CURB.
- SOIL SAMPLES AND TESTS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER.
- REFER TO NEW ENGLAND WETLAND PLANS, INC (WWW.NEWP.COM) FOR CURRENT SEED MIXES & APPLICATION RATES.

**GRAPHIC SCALE**

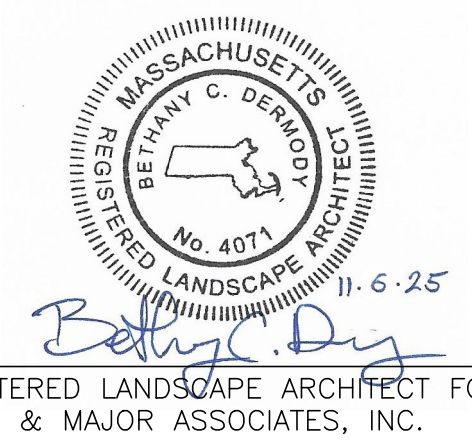
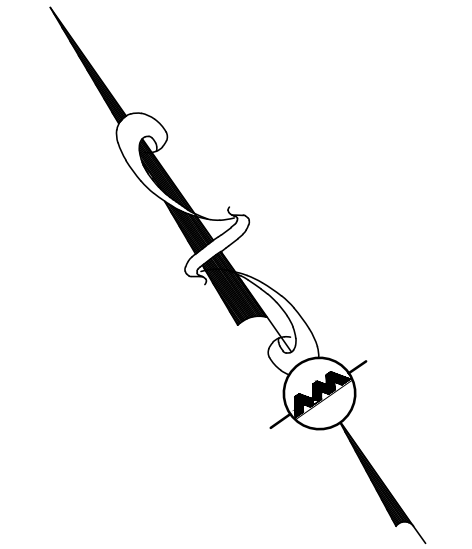


**DIG SAFE**



BEFORE YOU DIG  
CALL 811 OR  
1-888-DIG-SAFE  
1-888-344-7233

**MONSIGNOR O'BRIEN HIGHWAY**  
(FORMERLY BRIDGE STREET - NORTHERN TRAFFIC ARTERY)



OWNER: SOMERBRIDGE HOTEL LLC  
c/o XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

PROJECT: 145 ROOM HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA  
1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: OCTOBER 15, 2025

SCALE: DWG.: 1362-16 Landscape

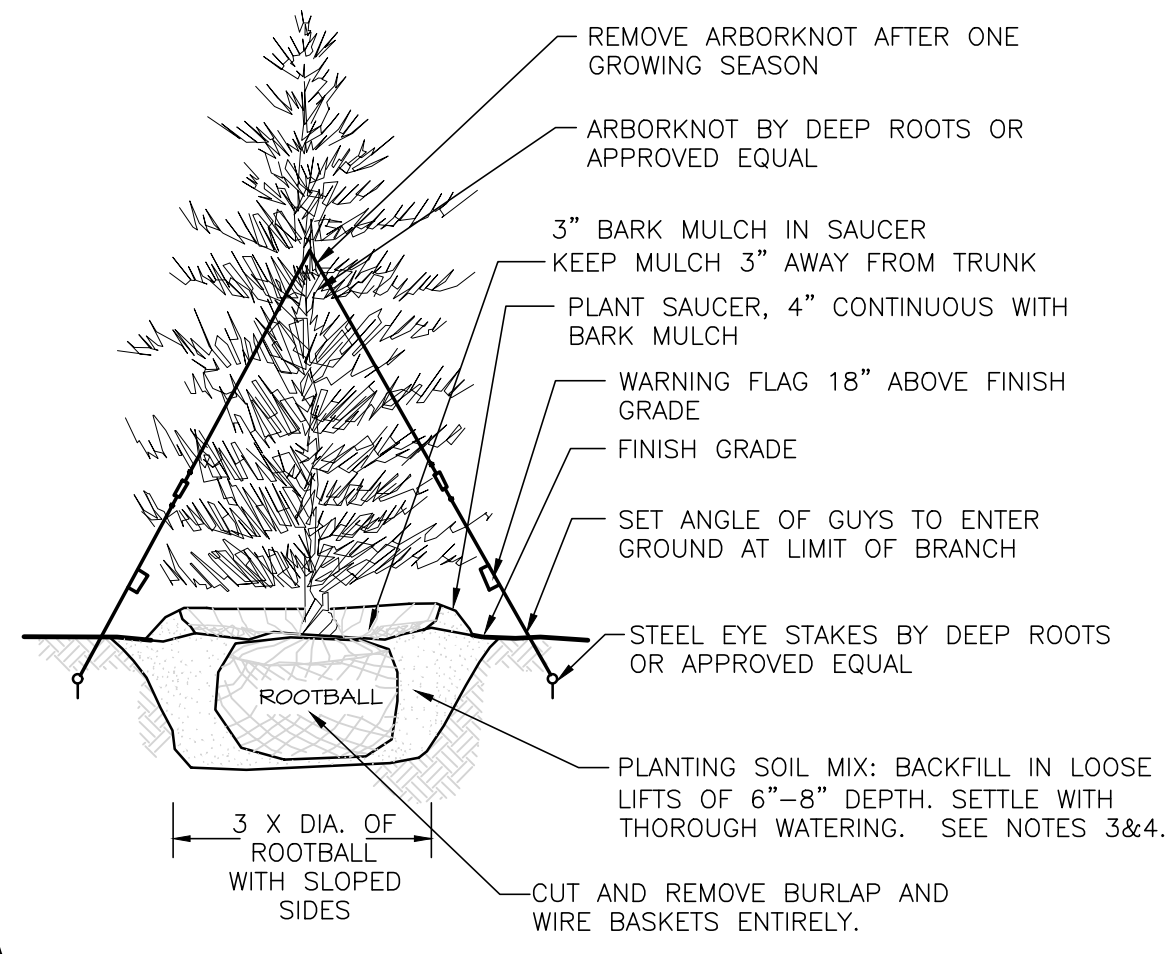
DESIGNED BY: BCD CHECKED BY: MM

PREPARED BY:



WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH  
THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENTS/CLIENTS REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

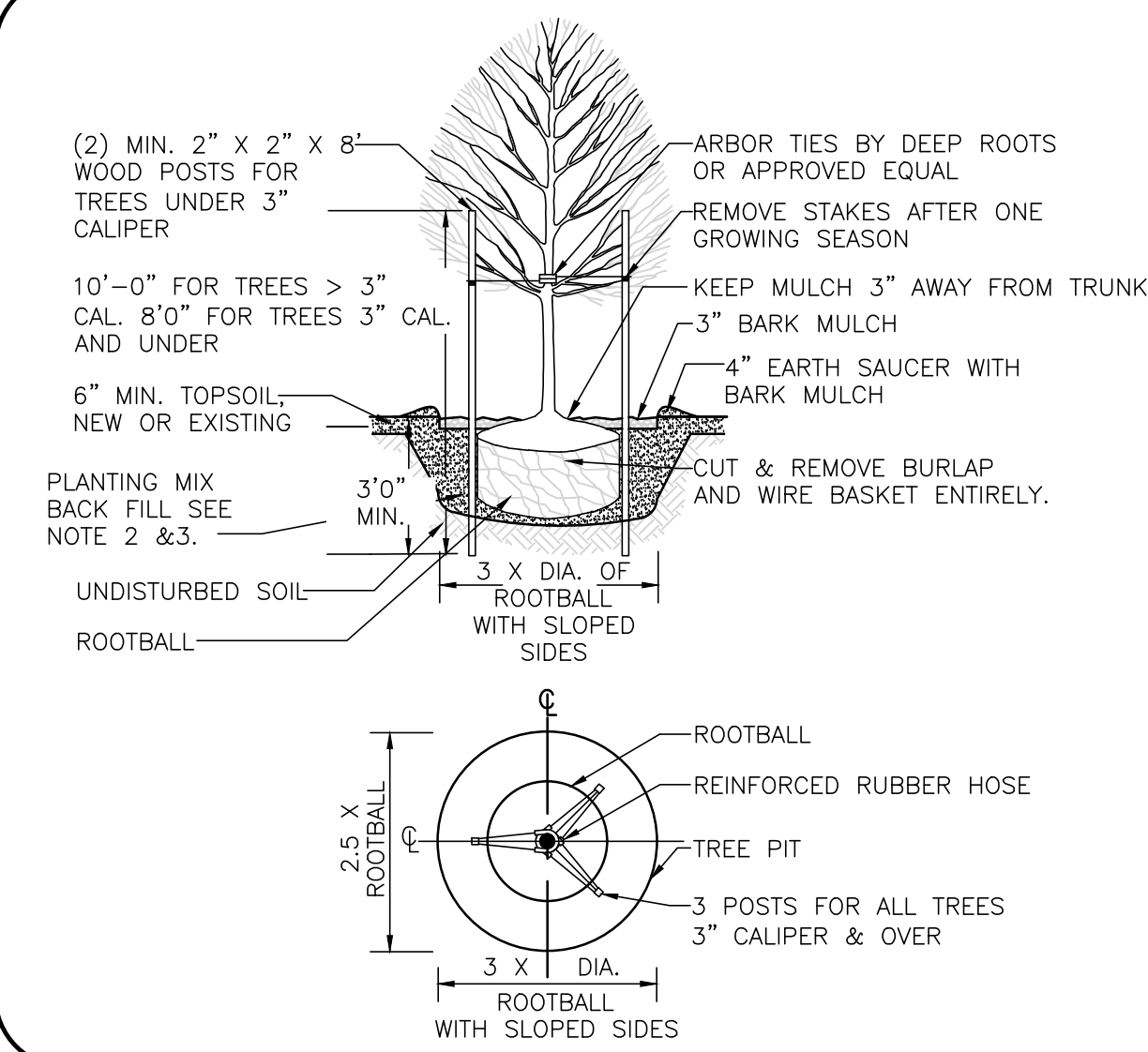
DRAWING TITLE: LANDSCAPE PLAN SHEET NO. C-5



**NOTES**

1. TREES SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO NURSERY OR FIELD GRADE. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL TOP OF ROOTBALL AREA.
2. INSTALL THREE GUYS PER TREE; EQUALLY SPACED AROUND BALL.
3. ATTACH GUYS AT 2/3 HEIGHT OF TREE.
4. BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
5. ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.

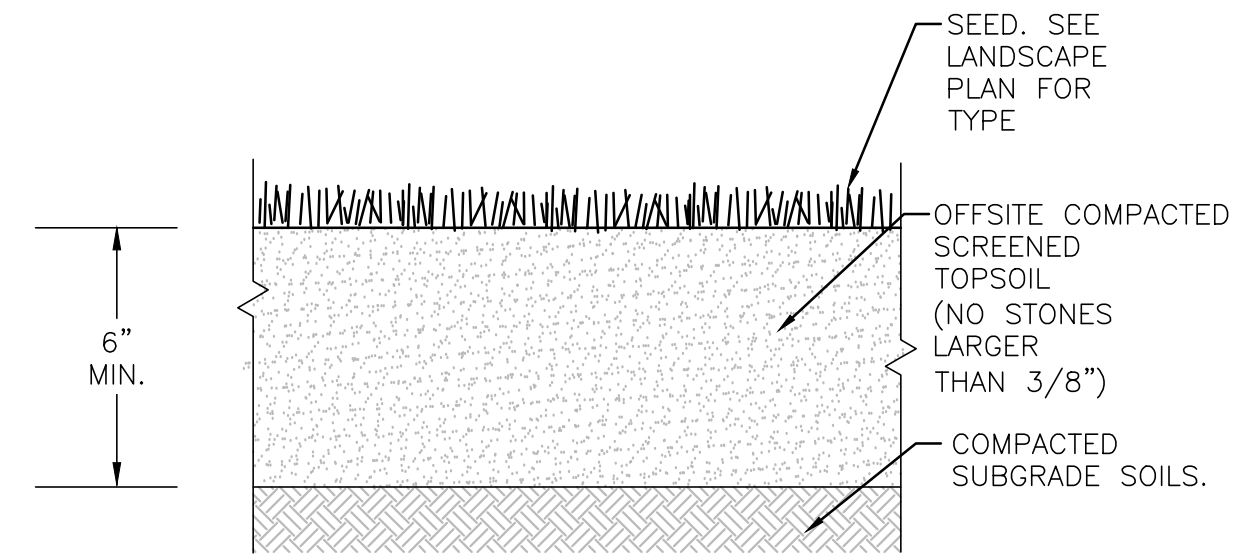
**EVERGREEN TREE DETAIL**  
NOT TO SCALE **1**



**NOTES:**

1. ALL TREES SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL ROOTBALL AREA.
2. BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
3. ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.

**DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE **2**



TEXTURE CLASS	% OF TOTAL WEIGHT
SAND	45% - 65%
SILT	15% - 35%
CLAY	5% - 20%

SIEVE	% PASSING
3/8"	100
NO. 4	85-100
NO. 40	60-85
NO. 100	38-60
NO. 200	10-35
20 um	LESS THAN 5%

**NOTES:**

1. TOP OF LOAM (TOPSOIL) IS FINISH GRADE.
2. ALL TOPSOIL (BOTH ONSITE AND OFFSITE SOURCES) SHALL BE COMPOSED OF A NATURAL, FERTILE, FRIABLE SOIL TYPICAL OF CULTIVATED TOPSOILS OF THE LOCALITY. OFFSITE SOIL SHALL BE SUITABLE FOR THE GERMINATION OF SEEDS AND SUPPORT OF VEGETATIVE GROWTH, WITH ADDITIVES, IF REQUIRED, TO ACHIEVE PARTICLE DISTRIBUTION AND ORGANIC CONTENT BELOW. TOPSOIL SHALL BE TAKEN FROM A WELL-DRAINED, ARIABLE SITE, FREE OF SUBSOIL, LARGE STONES, EARTH CLODS, STICKS, STUMPS, CLAY LUMPS, ROOTS, OTHER OBJECTIONABLE, EXTRANEIOUS MATTER OR DEBRIS NOR CONTAIN TOXIC SUBSTANCES.
3. THE CONTRACTOR SHALL PROVIDE THE OWNER / LANDSCAPE ARCHITECT WITH TOPSOIL TEST RESULTS (RECOMMEND UMASS AMHERST SOIL TESTING LAB) FOR APPROVAL PRIOR TO OBTAINING AND PLACING THE SOIL. IF ANY TOPSOIL IS PURCHASED OR PLACED PRIOR TO APPROVAL BY OWNER / LANDSCAPE ARCHITECT, IT IS AT CONTRACTORS RISK, AND IT CAN BE REMOVED AT NO ADDITIONAL COST TO THE OWNER. IF THE PLANTING SOIL (BOTH ONSITE AND OFFSITE SOURCES) DOES NOT FALL WITHIN THE REQUIRED SIEVE ANALYSIS, TEXTURAL CLASS, ORGANIC CONTENT, OR PH RANGE, IT SHALL BE ADJUSTED TO MEET THE SPECIFICATIONS THROUGH THE ADDITION OF SAND, COMPOST, LIMESTONE, OR ALUMINUM SULFATE TO BRING IT WITHIN THE SPECIFIED LIMITS AT NO ADDITIONAL COST TO THE OWNER.
4. TOPSOIL SHALL HAVE A PH VALUE BETWEEN 5.5 AND 6.5. TOPSOIL SHALL CONTAIN BETWEEN 4% AND 8% ORGANIC MATTER OF TOTAL DRY WEIGHT AND SHALL CONFORM TO THE FOLLOWING GRADATION AND TEXTURE CLASS ABOVE.

**TOPSOIL FOR LAWN, TREES, SHRUBS, & PERENNIALS**  
NOT TO SCALE **3**

**LANDSCAPE MANAGEMENT NOTES**

**LANDSCAPE MANAGEMENT PLAN**  
IT SHOULD BE RECOGNIZED THAT THIS IS A GENERAL GUIDELINE TOWARDS ACHIEVING HIGH QUALITY AND WELL GROOMED LANDSCAPED AREAS. THE GROUNDS STAFF / LANDSCAPE CONTRACTOR MUST RECOGNIZE THE SHORTCOMINGS OF A GENERAL MAINTENANCE PROGRAM SUCH AS THIS, AND MODIFY AND/OR AUGMENT IT BASED ON WEEKLY, MONTHLY, AND YEARLY OBSERVATIONS. IN ORDER TO ASSURE THE HIGHEST QUALITY CONDITIONS, THE STAFF MUST ALSO RECOGNIZE AND APPRECIATE THE NEED TO BE AWARE OF THE CONSTANTLY CHANGING CONDITIONS OF THE LANDSCAPING AND BE ABLE TO RESPOND TO THEM ON A PROACTIVE BASIS.

**FERTILIZER**  
MAINTENANCE PRACTICES SHOULD BE AIMED AT REDUCING ENVIRONMENTAL, MECHANICAL AND PEST STRESSES TO PROMOTE HEALTHY AND VIGOROUS GROWTH. WHEN NECESSARY, PEST OUTBREAKS SHOULD BE TREATED WITH THE MOST SENSITIVE CONTROL MEASURE AVAILABLE. SYNTHETIC CHEMICAL CONTROLS SHOULD BE USED ONLY AS A LAST RESORT TO ORGANIC AND BIOLOGICAL CONTROL METHODS. FERTILIZER, SYNTHETIC CHEMICAL CONTROLS AND PEST MANAGEMENT APPLICATIONS (WHEN NECESSARY) SHOULD BE PERFORMED ONLY BY LICENSED APPLICATORS IN ACCORDANCE WITH THE MANUFACTURER'S LABEL INSTRUCTIONS WHEN ENVIRONMENTAL CONDITIONS ARE CONDUCIVE TO CONTROLLED PRODUCT APPLICATION.

ONLY SLOW-RELEASE ORGANIC FERTILIZERS SHOULD BE USED IN THE LANDSCAPED AREAS TO LIMIT THE AMOUNT OF NUTRIENTS THAT COULD ENTER DOWNSTREAM RESOURCE AREAS. FERTILIZATION OF DEVELOPED AREAS ON SITE WILL BE PERFORMED WITHIN MANUFACTURERS LABELING INSTRUCTIONS AND SHALL NOT EXCEED AN NPK RATION OF 1:1:1 (I.E. TRIPLE 10 FERTILIZER MIX), CONSIDERED A LOW NITROGEN MIXTURE. ADDITIONALLY, THE FERTILIZER WILL INCLUDE A SLOW RELEASE ELEMENT.

**SUGGESTED AERATION PROGRAM**  
IN-SEASON AERATION OF LAWN AREAS IS GOOD CULTURAL PRACTICE, AND IS RECOMMENDED WHENEVER FEASIBLE. IT SHOULD BE ACCOMPLISHED WITH A SOLID THIN TINE AERATION METHOD TO REDUCE DISRUPTION TO THE USE OF THE AREA. THE DEPTH OF SOLID TINE AERATION IS SIMILAR TO CORE TYPE, BUT SHOULD BE PERFORMED WHEN THE SOIL IS SOMEWHAT DRIER FOR A GREATER OVERALL EFFECT.

DEPENDING ON THE INTENSITY OF USE, IT CAN BE EXPECTED THAT ALL LANDSCAPED LAWN AREAS WILL NEED AERATION TO REDUCE COMPACTION AT LEAST ONCE PER YEAR. THE FIRST OPERATION SHOULD OCCUR IN LATE MAY FOLLOWING THE SPRING SEASON. METHODS OF REDUCING COMPACTION WILL VARY BASED ON THE NATURE OF THE COMPACTION. COMPACTION ON NEWLY ESTABLISHED LANDSCAPED AREAS IS GENERALLY LIMITED TO THE TOP 2-3" AND CAN BE ALLEVIATED USING HOLLOW CORE OR THIN TINE AERATION METHODS.

THE SPRING AERATION SHOULD CONSIST OF TWO PASSES AT OPPOSITE DIRECTIONS WITH 1/4" HOLLOW CORE TINES PENETRATING 3-5" INTO THE SOIL PROFILE. AERATION SHOULD OCCUR WHEN THE SOIL IS MOIST BUT NOT SATURATED. THE CORES SHOULD BE SHATTERED IN PLACE AND DRAGGED OR SWEEPED BACK INTO THE TURF TO CONTROL THATCH. IF DESIRED THE CORES MAY ALSO BE REMOVED AND THE AREA TOP-DRESSED WITH SAND OR SANDY LOAM. IF THE AREA DRAINS ON AVERAGE TO SLOWLY, THE TOPDRESSING SHOULD CONTAIN A HIGHER PERCENTAGE OF SAND. IF IT IS DRAINING ON AVERAGE TOO QUICKLY, THE TOP DRESSING SHOULD CONTAIN A HIGHER PERCENTAGE OF SOIL AND ORGANIC MATTER.

- LANDSCAPE MAINTENANCE PROGRAM PRACTICES:**
- LAWN**
- MOW A MINIMUM OF ONCE A WEEK IN SPRING, TO A HEIGHT OF 2" TO 2 1/2". HIGH MOWING SHOULD BE FREQUENT ENOUGH SO THAT NO MORE THAN 1/3 OF GRASS BLADE IS REMOVED AT EACH MOWING. THE TOP GROWTH SUPPORTS THE ROOTS; THE SHORTER THE GRASS IS CUT, THE LESS THE ROOTS WILL GROW. SHORT CUTTING ALSO DRIES OUT THE SOIL AND ENCOURAGES WEEDS TO GERMINATE.
  - MOW APPROXIMATELY ONCE EVERY TWO WEEKS FROM JULY 1ST TO AUGUST 15TH DEPENDING ON LAWN GROWTH.
  - MOW ON A TEN-DAY CYCLE IN FALL, WHEN GROWTH IS STIMULATED BY COOLER NIGHTS AND INCREASED MOISTURE.
  - DO NOT REMOVE GRASS CLIPPINGS AFTER MOWING.
  - KEEP MOWER BLADES SHARP TO PREVENT RAGGED CUTS ON GRASS LEAVES, WHICH CAUSE A BROWNISH APPEARANCE AND INCREASE THE CHANCE FOR DISEASE TO ENTER A LEAF.

- SHRUBS**
- MULCH NOT MORE THAN 3" DEPTH WITH SHREDED PINE OR FIR BARK.
  - HAND PRUNE ANNUALLY, IMMEDIATELY AFTER BLOOMING. TO REMOVE 1/3 OF THE ABOVE-GROUND BIOMASS (OLDER STEMS). STEM REMOVALS TO OCCUR WITHIN 6" OF THE GROUND TO OPEN UP SHRUB AND MAINTAIN TWO-YEAR WOOD (THE BLOOMING WOOD).
  - FERTILIZE WITH 1/2 LB. SLOW-RELEASE FERTILIZER (SEE ABOVE SECTION ON FERTILIZER) EVERY SECOND YEAR.
  - HAND PRUNE EVERGREEN SHRUBS ONLY AS NEEDED TO REMOVE DEAD AND DAMAGED WOOD AND TO MAINTAIN THE NATURALISTIC FORM OF THE SHRUB. NEVER MECHANICALLY SHEAR EVERGREEN SHRUBS.

- TREES**
- PROVIDE AFTERCARE FOR NEW TREE PLANTINGS FOR THE FIRST THREE YEARS.
  - DO NOT FERTILIZE TREES, IT ARTIFICIALLY STIMULATES THEM (UNLESS TREE HEALTH WARRANTS).
  - WATER ONCE A WEEK FOR THE FIRST YEAR; TWICE A MONTH THE SECOND, ONCE A MONTH THE THIRD YEAR.
  - PRUNE TREES ON A FOUR-YEAR CYCLE.

- ORNAMENTAL GRASSES**
- APPLY LOW- NITROGEN 10-10-10 FERTILIZER AS GROWTH RESUMES IN THE SPRING. WATER IN THOROUGHLY.
  - GRASSES DON'T NEED TO BE CUT DOWN BEFORE WINTER. IN FACT, THEY ARE ATTRACTIVE WHEN LEFT STANDING AND THE FOLIAGE HELPS TO INSULATE THE CROWN OF THE PLANT. CUT BACK THE FOLIAGE TO ABOUT 4-6 INCHES IN THE SPRING BEFORE GROWTH RESUMES. WHEN FOLIAGE IS REMOVED, SPRING GROWTH WILL BEGIN EARLIER. OLD FOLIAGE LEFT ON THE PLANT CAN DELAY THE CROWN'S WARMING AND SUBSEQUENT GROWTH BY AS MUCH AS 3 WEEKS.

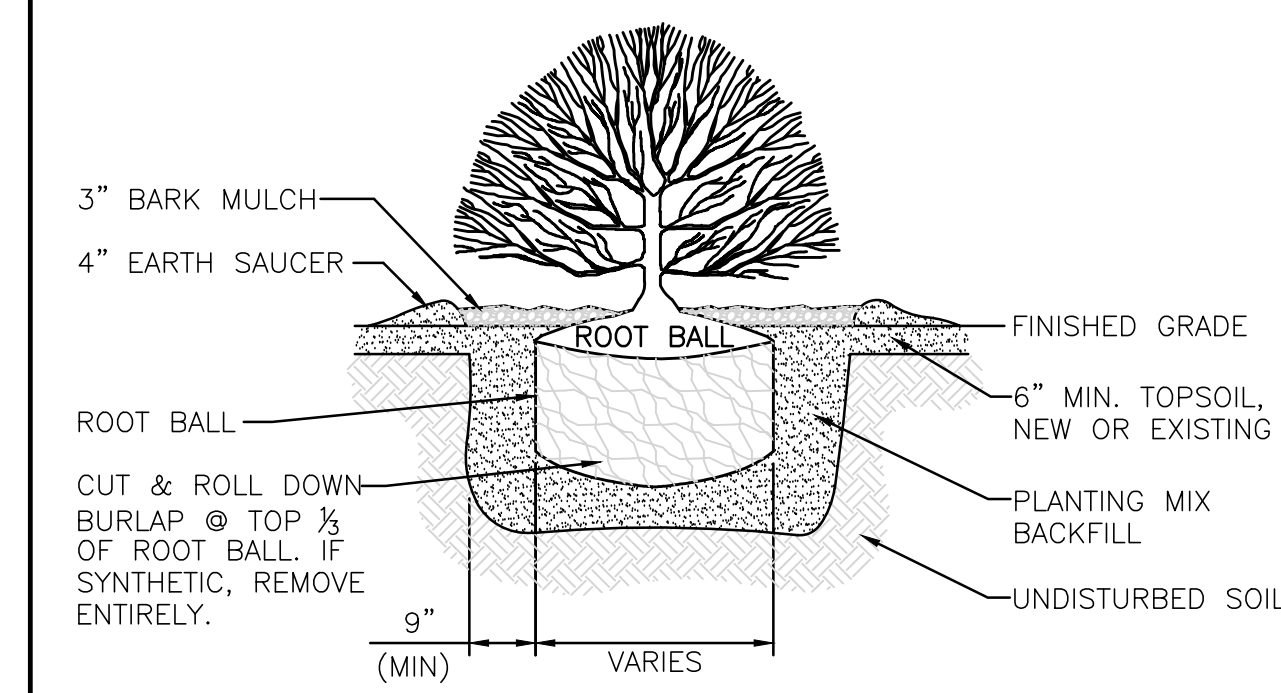
**LOAM AND SEEDING NOTES:**

CONTRACTOR SHALL SEED ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER MATERIALS, AND AT AREAS SHOWN ON THE PLAN PER SPECIFICATIONS BELOW

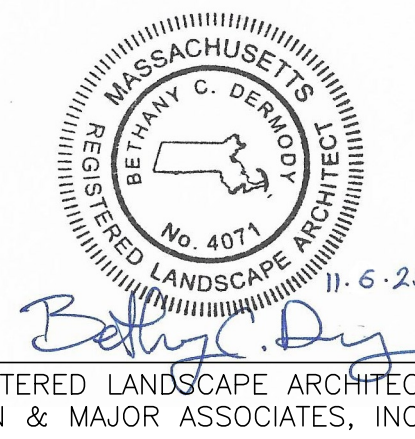
SCIENTIFIC NAME	COMMON NAME	PROPORTION BY WEIGHT	PERCENT PURITY	PERCENT GERMINATION
FESTUCA RUBRA "RUBRA"	CREeping RED FESCUE	37%	95%	90%
PAO PRAENTENSIS "BARON"	BARON KENTUCKY BLUEGRASS	40%	85%	90%
LOLIUM PERENNE "PALMER"	PALMER PERENNIAL RYEGRASS	15%	95%	90%
FESTUCA RUBRA COMMUTATA WILMA	WILMA CHEWINGS	8%	95%	80%

1. SEED TO BE SPREAD AT MINIMUM RATE OF 5 LBS. PER 1000 SQ. FT.
2. SEEDING TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RESEEDING OF BARE SPOTS. IF UNABLE TO SEED WITHIN THESE TIMEFRAMES, CONTRACTOR TO INSTALL EROSION CONTROL MATS ON ALL SLOPES 3:1 AND OVER, HYDROSEED ALL EXPOSED AREAS, ADD SOIL STABILIZER "FLUX TERRA HP-FGM SOIL STABILIZER" AS MANUFACTURED BY "PROFILE" TO HYDROSEED (AT RATE OF 3,000 LBS PER ACRE), AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR TO COMPLETE ALL ABOVE "OUT OF SEASON" REQUIREMENTS AND THEN ALSO BE RESPONSIBLE FOR RE-GRADING AND RE-SEEDING ALL DISTURBED, ERODED, OR BARE SPOTS WITHIN NEXT CLOSEST PLANTING SEASON IN FALL OR SPRING AT NO ADDITIONAL COST TO OWNER. CONTRACTOR RESPONSIBLE FOR ALL MAINTENANCE UNTIL FINAL ACCEPTANCE OF LAWN AREAS INCLUDING: WATERING, ADDING FERTILIZERS AND LIME AND MOWING AT NO ADDITIONAL COST TO OWNER.
3. COMMERCIAL FERTILIZER SHALL BE APPLIED AT THE RATE OF 25 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. LIME TO BE SPREAD AT THE RATE OF 100 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FERTILIZER CONTAINING AT LEAST 50% OF THE NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIZE SOURCES OF UREAFORM. IT SHALL CONTAIN THE FOLLOWING PERCENTAGES BY WEIGHT: NITROGEN (N) 10%, PHOSPHORUS (P) 6%, POTASH (K) 4%. LIME SHALL BE AN APPROVED AGRICULTURAL LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES. LIMESTONE SHALL BE GROUND TO SUCH FINENESS THAT 50% WILL PASS A 100 MESH SIEVE AND 90% WILL PASS THROUGH A 20 MESH SIEVE.
4. LAWN AREAS TO BE SEEDD BY SOWING EVENLY WITH AN APPROVED MECHANICAL SEEDER AT THE RATE OF TEN POUNDS PER 1000 SQUARE FEET.
5. CONTRACTOR RESPONSIBLE FOR WATERING, MOWING, AND RESEEDING OF LAWN BARE SPOTS UNTIL A UNIFORM, HEALTHY STAND OF GRASS IS ESTABLISHED AND ACCEPTED.

- NOTE:**
1. ALL SHRUBS SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING.
  2. ALL SHRUBS ARE TO BE PLANTED AT 3'-0" O.C. OR AS SPECIFIED ON THE PLANS.



**SHRUB PLANTING DETAIL**  
NOT TO SCALE **4**



REGISTERED LANDSCAPE ARCHITECT FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

**OWNER:**  
SOMERBRIDGE HOTEL LLC  
c/o XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

**PROJECT:**  
145 ROOM HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA  
  
1 McGRATH HIGHWAY  
SOMERVILLE, MA

**PROJECT NO.:** 1362-16 **DATE:** OCTOBER 15, 2025  
**SCALE:** AS SHOWN **DWG.:** 1362-16 Landscape  
**DESIGNED BY:** BCD **CHECKED BY:** MM

PREPARED BY:

**ALLEN & MAJOR ASSOCIATES, INC.**  
civil engineering • land surveying  
environmental consulting • landscape architecture  
www.allenmajor.com  
400 HARVEY ROAD  
MANCHESTER, NH 03103  
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**DRAWING TITLE:** LANDSCAPING DETAILS **SHEET No.:** C-6

**GENERALIZED CONSTRUCTION SEQUENCE**

THE BMP'S ASSOCIATED WITH THIS PROJECT WILL BE OWNED BY THE DEVELOPER, WHO WILL BE RESPONSIBLE FOR INSPECTION, OPERATION, AND MAINTENANCE.

- INSTALL STABILIZED CONSTRUCTION ENTRANCES.
- PREPARE TEMPORARY PARKING AND STORAGE AREA. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., DENOTE THEM ON THE SITE MAPS IMMEDIATELY AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
- INSTALL SILTATION FENCES AND CATCH BASIN INLET PROTECTION IN LOCATIONS SHOWN ON PLANS AND/OR AS DIRECTED. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION. PREPARE STABILIZED CONSTRUCTION ENTRANCE IN SUITABLE LOCATIONS AS SHOWN ON THE PLANS OR AT LOCATIONS WHERE CONSTRUCTION VEHICLES ARE EXITING ONTO PUBLIC ROADWAYS.
- CUT AND CLEAR TREES; CHIP WOOD STUMPS; DISPOSE OF DEBRIS. STRIPPED TOPSOIL SHALL BE STOCKPILED, WITHOUT COMPACTION, AND STABILIZED WITH TEMPORARY SEEDING AGAINST EROSION. SILT FENCE SHALL BE PLACED AROUND STOCKPILES.
- CONSTRUCT AREAS TO BE USED AS SEDIMENT PONDS DURING CONSTRUCTION, AS NEEDED.
- THE WORK AREA SHALL BE GRADED, SHAPED, AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE LIMITS OF THE WORK AREA. SILT FENCES, AND/OR SEDIMENTATION BASINS MAY BE NECESSARY TO ACCOMPLISH THIS END.
- PERFORM SITE GRADING. INSTALL DRAINAGE SYSTEMS AND UTILITIES. DISTURBED AREAS SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE EROSION CONTROL NOTES. INSTALL INLET PROTECTION IN ALL CATCH BASINS. ALL SIDE SLOPES SHALL BE STABILIZED WITHIN 72 HOURS.
- FINALIZE GRADING AND PLACEMENT OF SELECTS.
- INSTALL EROSION CONTROL PROTECTION ON CATCH BASIN RIMS UNTIL ROADWAY IS PAVED. IF SEDIMENT IS COLLECTING AROUND CATCH BASINS AFTER THE PLACEMENT OF THE BINDER COURSE, THE SILT SACKS SHALL REMAIN AND HAYBALES SHALL BE PLACED AROUND CATCH BASINS
- INSPECT AND MAINTAIN EROSION CONTROL MEASURES WEEKLY AND AFTER EVERY RAIN EVENT OF 0.5" OR GREATER. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, CULVERTS, DITCHES SILTATION DEVICES SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
- FINISH GRADING TO PREPARE FOR PAVEMENT, LOAMING AND SEEDING. NO PORTION OF THIS SITE SHALL REMAIN UNSTABILIZED FOR OVER 45 DAYS. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF FINAL GRADING.
- FINISH PAVING ROADWAY AND CONSTRUCT DRIVES. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE STABILIZED AND HAVE A HEALTHY VEGETATIVE COVER. ONCE A HEALTHY VEGETATIVE COVER HAS BEEN ESTABLISHED ALL SILT FENCES, SILT SACKS, CATCH BASIN EROSION CONTROL, STONE CHECK DAMS AND ORANGE CONSTRUCTION FENCE SHALL BE REMOVED.
- WINTERIZATION EFFORTS FOR AREAS NOT STABILIZED BY NOV. 1ST SHALL BE MADE BY THE APPROPRIATE USE OF MATTING, BLANKETS, MULCH AND SEEDING.
- A CONSTRUCTION AREA SHALL BE CONSIDERED STABLE IF:
  - COMPACTED BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO RECEIVE PAVEMENT.
  - A MINIMUM OF 20% GROWTH HAS BEEN ESTABLISHED.
  - CUT OR FILL SLOPES HAVE A MINIMUM OF 3" NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP OR EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.
  - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- CLEAN ALL DRAINAGE STRUCTURE SUMPS OF SEDIMENT AND DEBRIS (INCLUDING ALL STRUCTURES WITHIN THE LIMIT OF WORK).
- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY ADEQUATE USE OF WATER AND/OR CALCIUM CHLORIDE.
- THE DETENTION/INFILTRATION BASINS MUST BE CLEANED OUT SEEDED AND MATTED UPON COMPLETION OF THIS PROJECT. NO STORMWATER SHALL BE DISCHARGED UNLESS PERMANENT SEEDING HAS BEEN WELL ESTABLISHED. THE FOLLOWING PRECAUTIONS WILL BE OBSERVED DURING THE CONSTRUCTION OF THE INFILTRATION BASINS:
  - PROPOSED INFILTRATION BASINS SHOULD NEVER SERVE AS TEMPORARY SEDIMENT TRAPS FOR CONSTRUCTION;
  - BEFORE THE DEVELOPMENT SITE IS GRADED, THE AREA OF THE INFILTRATION BASINS SHOULD BE ROPED OFF AND FLAGGED TO PREVENT HEAVY EQUIPMENT FROM COMPACTING THE UNDERLYING SOILS;
  - INFILTRATION TRENCHES SHOULD NOT BE CONSTRUCTED UNTIL THE ENTIRE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
  - DIVERSION BERMS SHOULD BE PLACED AROUND THE PERIMETER OF THE INFILTRATION BASIN DURING ALL PHASES OF CONSTRUCTION. SEDIMENT AND EROSION CONTROLS SHOULD BE USED TO KEEP RUNOFF AND SEDIMENT AWAY FROM THE TRENCH;
  - DURING AND AFTER EXCAVATION, ALL EXCAVATED MATERIALS SHOULD BE PLACED DOWNSTREAM, AWAY FROM THE INFILTRATION TRENCH, TO PREVENT REDEPOSITION OF THESE MATERIALS DURING RUNOFF EVENTS. THESE MATERIALS SHOULD BE PROPERLY HANDLED AND DISPOSED OF DURING AND AFTER CONSTRUCTION.
  - LIGHT EARTH-MOVING EQUIPMENT SHOULD BE USED TO EXCAVATE THE INFILTRATION TRENCH. USE OF HEAVY EQUIPMENT CAUSES COMPACTION OF THE SOILS BENEATH THEIR TRENCH FLOOR, RESULTING IN REDUCED INFILTRATION CAPACITY.
- SEEDING SCHEDULE
  - SEEDING OPERATIONS SHOULD BE PERFORMED AS AN EARLY SPRING SEEDING (APRIL 1-MAY 15) WITH THE USE OF COLD TREATED SEED. A LATE FALL EARLY WINTER DORMANT SEEDING (NOVEMBER 1 - DECEMBER 15) CAN ALSO BE MADE, HOWEVER THE SEEDING RATE WILL NEED TO BE INCREASED BY 50%.
  - PERMANENT SEEDING SHOULD BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST. IF SEEDING CANNOT BE DONE WITHIN THE SPECIFIED SEEDING DATES, MULCH ACCORDING TO THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS, CONSTRUCTION PHASES, METHODS, AND SEDIMENT CONTROLS AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- ESTABLISH A STAND
  - STONES AND TRASH SHOULD BE REMOVED SO AS NOT TO INTERFERE WITH THE SEEDING AREA.
  - WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
  - IF APPLICABLE, FERTILIZER AND ORGANIC SOIL AMENDMENTS SHOULD BE APPLIED DURING THE GROWING SEASON.
  - APPLY UNIFORMLY 2 TONS OF GROUND LIMESTONE PER ACRE (100 LBS. PER 1,000 SQ. FT.) OR ACCORDING TO SOIL TEST. APPLY UNIFORMLY 10-10-10 ANALYSIS FERTILIZER AT THE RATE OF 400 LBS. PER ACRE (14 LBS. PER 1,000 SQ. FT.) OR AS INDICATED BY SOIL TEST. FORTY PERCENT OF THE NITROGEN SHOULD BE IN ORGANIC FORM.
- WORK IN LIME AND FERTILIZER TO A DEPTH OF 4 INCHES USING ANY SUITABLE EQUIPMENT. SEED SHOULD BE SPREAD UNIFORMLY BY A METHOD MOST APPROPRIATE FOR THE SITE. SEEDING SHOULD BE PERFORMED BY ONE OF THE FOLLOWING METHODS:
  - DRILL SEEDINGS (DE-ANNED OR DE-BEARDED SEED SHOULD BE USED UNLESS THE DRILL IS EQUIPPED WITH SPECIAL FEATURES TO ACCEPT ANNED SEED).
  - BROADCAST SEEDING WITH SUBSEQUENT ROLLING, CULTPACKING OR TRACKING THE SEEDING WITH SMALL TRACK CONSTRUCTION EQUIPMENT. TRACKING SHOULD BE ORIENTED UP AND DOWN THE SLOPE.
  - HYDROSEEDING WITH SUBSEQUENT TRACKING. IF WOOD FIBER MULCH IS USED, IT SHOULD BE APPLIED AS A SEPARATE OPERATION AFTER SEEDING AND TRACKING TO ASSURE GOOD SEED TO SOIL CONTACT.

**SEEDING FOR TEMPORARY COVER**

SPECIES	POUNDS PER 1,000 SQ. FT.	POUNDS PER ACRE	RECOMMENDED SEEDING DATES
ANNUAL RYE GRASS	1	40	APRIL 1 TO JUNE 1
AUG. 15 TO SEPT. 15			
FOXTAIL MILLET	0.7	30	MAY 1 TO JUNE 30
OATS	2	80	APRIL 1 TO JULY 1
			AUGUST 15 TO SEPT. 15
WINTER RYE	3	120	AUG. 15 TO OCT. 15

**CONSTRUCTION GENERAL PERMIT NOTES**

**NARRATIVE:** THE STORMWATER POLLUTION PREVENTION PLANS TOGETHER WITH AN EXISTING CONDITIONS PLAN, AND GRADING PLAN ARE THE TOTAL EROSION CONTROL MEASURES.

THE STORMWATER POLLUTION PREVENTION PLANS CONSIST OF:

- NOTES SHEETS, SWPPP-1
- THE STORMWATER PREVENTION POLLUTION PLAN: SWPPP-2 (SHOWING THE EROSION CONTROL MEASURES)
- THE STORMWATER PREVENTION POLLUTION DETAILS: SWPPP-3

THE EROSION CONTROL PLAN WILL BE IMPLEMENTED TO:

- TREAT EROSION AS SOON AS POSSIBLE AFTER DISTURBANCE.
- PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION AREA AND ENTERING THE MUNICIPAL SYSTEM.
- CONSTRUCTION ACTIVITIES SHALL BE SCHEDULED TO MINIMIZE EROSION.
- ONLY DISTURB, CLEAR, OR GRADE AREAS NECESSARY FOR CONSTRUCTION.

**CONSTRUCTION PHASE**

THE OWNER IS TO BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE STRUCTURES IN THE PROJECT - INCLUDING DRAIN PIPES, ABOVEGROUND DETENTION BASINS AND SUBSURFACE INFILTRATION SYSTEMS. THE DEVELOPER WILL ULTIMATELY BE RESPONSIBLE FOR COMPLIANCE WITH THE PLAN.

REGULAR MAINTENANCE IS TO INCLUDE THE FOLLOWING:

- DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED:
- INSTALLATION OF SILTATION FENCES SHALL BE COMPLETED PRIOR TO THE START OF THE SITE WORK IN ANY GIVEN AREA. PREFABRICATED SILTATION FENCES SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- SILTATION FENCES SHALL BE KEPT CLEAN DURING CONSTRUCTION AND REMOVED WHEN ALL SLOPES HAVE A HEALTHY STAND OF VEGETATIVE COVER. EROSION CONTROL MEASURES SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EVERY RAIN EVENT OF 0.5" OR GREATER.
- EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.
- THE AREA OF LAND EXPOSED AND THE TIME OF EXPOSURE SHALL BE MINIMIZED. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING WITH EITHER PERMANENT MEASURES OR TEMPORARY MEASURES. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 45 DAYS SHALL BE STABILIZED
- IN NO CASE SHALL ANY DISTURBED AREAS BE LEFT UNSTABILIZED WITH EITHER PERMANENT OR TEMPORARY EROSION CONTROL MEASURES FOR MORE THAN 72 HOURS, OR AS NEEDED TO ENSURE SUFFICIENT STABILIZATION DUE TO WEATHER OR OTHER CONDITIONS.
- SIMULTANEOUS WORK IN MULTIPLE AREAS MAY BE PERMITTED AS NEEDED, SUBJECT TO THE ABOVE, HOWEVER THE CONTRACTOR SHALL NOT DISTURB AREAS THAT CANNOT REASONABLY BE PROPERLY STABILIZED AND MAINTAINED WITHIN 72 HOURS.
- ALL DISTURBED AREAS SHALL HAVE A MINIMUM OF 4" OF LOAM INSTALLED WITH NOT LESS THAN 1.1 POUNDS OF SEED MIX PER 1,000 SQ. FT. SEED MIXTURE SHALL BE:
  - SLOPE AND DETENTION MIX (MIX 5)
    - CREeping REE D FESCUE - 0.25 LBS
    - CANADA BLUEGRASS - 0.25 LBS
    - PERENNIAL RYEGRASS - 0.25 LBS
    - RED TOP - 0.10 LBS
  - MIX: LAWN: MIX (MIX 11):
    - CREeping BENTGRASS - 0.10 LBS
    - BLUEJOINT REED GRASS - 0.10 LBS
    - VIRGINIA WILD RYE - 0.10 LBS
    - FOWL MEADOW GRASS - 0.25 LBS
    - SHOWY TICK TREFLOW - 0.10 LBS
    - RED TOP - 0.10 LBS
- LIME AND FERTILIZER SHALL BE INCORPORATED INTO THE SOIL PRIOR TO OR AT THE TIME OF SEEDING. A MINIMUM OF 25 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED. SEEDING PRACTICES SHALL COMPLY WITH LOCAL USDA SOIL CONSERVATION SERVICES RECOMMENDATIONS.
- HAY MULCH AND SLOPE PROTECTION BLANKET SHALL BE USED WHERE INDICATED ON THE PLANS. A MINIMUM OF 1.5 TONS OF MULCH PER ACRE SHALL BE APPLIED. MULCH SHALL BE ANCHORED IN PLACE WHERE NECESSARY. SLOPE PROTECTION BLANKET SHALL BE LAID IN THE DIRECTION OF RUNOFF FLOW AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND/OR THE DETAILS.
- PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS. WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY FALL. WHEN SEEDING AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM APRIL 1 TO MAY 15 OR FROM AUGUST 1 TO SEPTEMBER 10. DORMANT SEEDING RATE WILL NEED TO BE INCREASED BY 50%. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING WINTER MONTHS.
- CALCIUM CHLORIDE AND/OR WATER SHALL BE USED FOR DUST CONTROL IN APPROPRIATE AREAS.
- ALTERNATE PERMANENT SEEDING FOR AREAS NOT RECEIVING LAWN OR LANDSCAPING SHALL BE AS FOLLOWS: THE NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DRY SITES PROVIDES AN APPROPRIATE SELECTION OF NATIVE AND NON-NATIVE GRASSES TO ENSURE THAT DRY AND RECENTLY DISTURBED SITES WILL BE QUICKLY REVEGETATED AND THE SOIL SURFACE STABILIZED. IT IS AN APPROPRIATE SEED MIX FOR ROAD CUTS, PIPELINES, DETENTION BASIN SIDE SLOPES, AND AREAS REQUIRING TEMPORARY COVER DURING THE ECOLOGICAL RESTORATION PROCESS. THE MIX MAY BE APPLIED BY HYDRO SEEDING, BY MECHANICAL SPREADER, OR ON SMALL SITES IT MAY BE SPREAD BY HAND. WHEN APPLYING ON BARE SOIL, RAKE THE SOIL TO CREATE GROOVES, APPLY SEED, AND THEN LIGHTLY RAKE OVER. THIS MIX MAY BE APPLIED AT ANY TIME OF THE YEAR. A LIGHT MULCHING OF WOOD FREE STRAW TO CONSERVE MOISTURE AND TO AID IN SLOPE STABILIZATION AND FERTILIZATION WITH 10-10-10 IS RECOMMENDED.
  - APPLICATION RATE: 35 LBS/ACRE (1245 SQ FT/LB)
  - SPECIES: (CREeping) RED FESCUE (FESTUCA RUBRA), ANNUAL RYE-GRASS (LOLIUM MULTIFLORUM), TIMOTHY (PHELIUM PRATENSE), WHITE CLOVER (TRIFOLIUM REPENS), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), RED TOP (AGROSTIS ALBA), SIDE-OATS GRAMA-GRASS (BOULETUMA CURTIPENDULA), SWITCHGRASS (PANICUM VIRGATUM), VIRGINIA WILD RYE (ELYMUS VIRGINICUS), CREeping REED FESCUE (FESTUCA RUBRA), FOX SEDGE (CAREX VULPINOIDEA), CREeping BENTGRASS (AGROSTIS STOLONIFERA), SILKY WILD RYE (ELYMUS VILLOSUS), NODDING BUR-MARIGOLD (BIENS GERMINA), SOFT RUSH (JUNCO EFFUSUS), GRASS-LEAVED GOLDENROD (SOLIDAGO GRAMINIFOLIA), SENSITIVE FERN (ONOCLEA SENSIBILIS), JOE-PYE WEED (EUPATORIUM MACULATUM), BONESET (EUPATORIUM PERFORIATUM), FLAT-TOP ASTER (ASTER UMBELLATUS), NEW YORK ASTER (ASTER NOVI-BELGII), BLUE VERVAIN (VERBENA HASTATA).
- IF, DURING CONSTRUCTION, IT COMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO IMMEDIATELY INSTALL AND MAINTAIN THE NECESSARY EROSION PROTECTION.

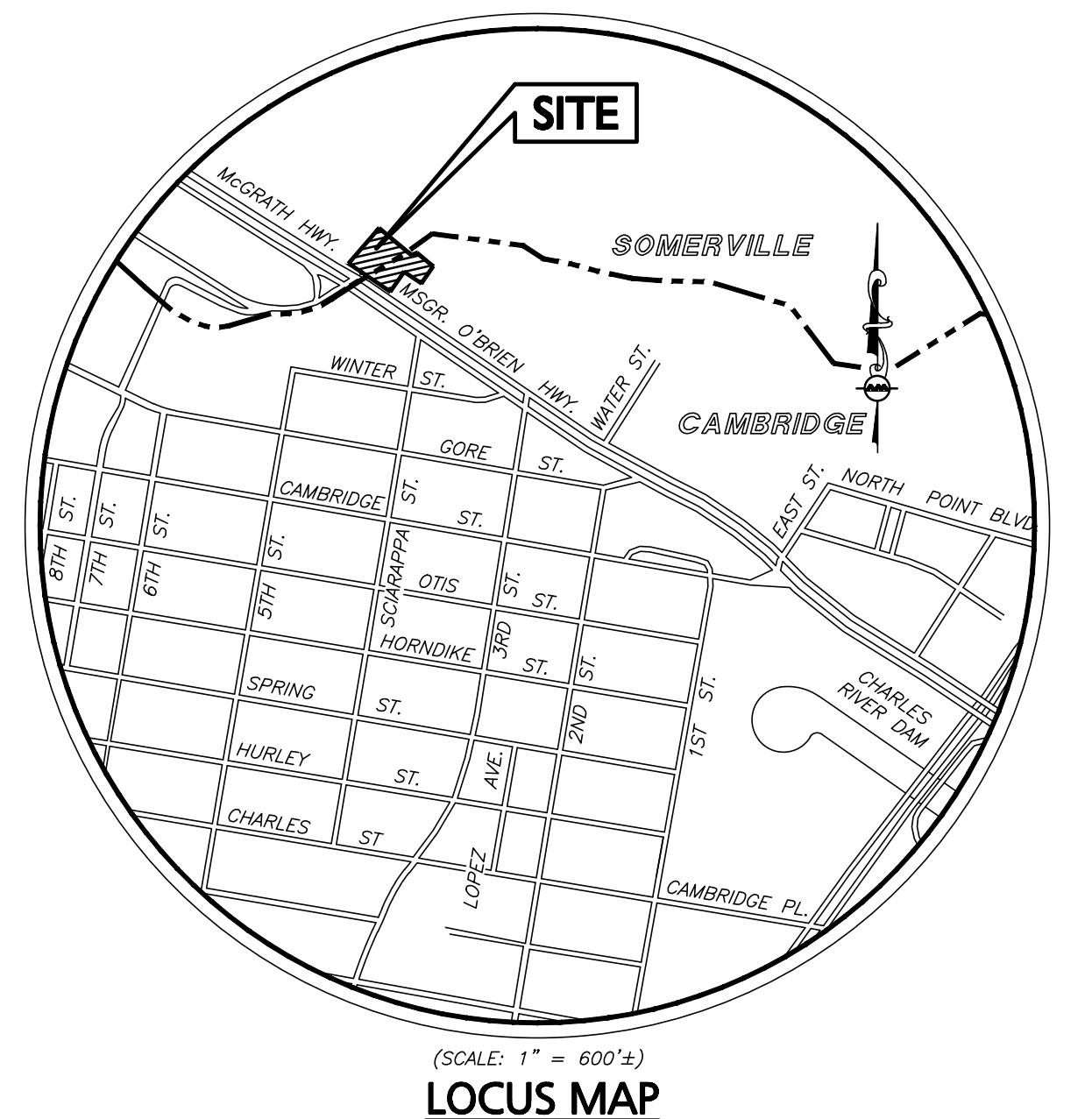
**POST CONSTRUCTION PHASE**

THE DEVELOPER (OWNER) WILL BE RESPONSIBLE FOR MAINTENANCE OF THE SYSTEMS IN ACCORDANCE WITH THE PROJECT OPERATION AND MAINTENANCE PLAN INCLUDING THE FOLLOWING:

- INSPECTION OF ALL DRAINAGE FACILITIES AND SYSTEMS THREE MONTHS. DURING THE FIRST YEAR OF OPERATION, ALL DRAINAGE FACILITIES SHOULD BE INSPECTED AFTER EVERY STORM, AND 2-3 DAYS AFTERWARD. THESE INSPECTIONS SHOULD LOOK FOR EVIDENCE STRUCTURAL DAMAGE, SILT ACCUMULATION (NEAR INLET INVERTS ON CATCH BASINS), AND IMPROPER FUNCTION.
  - AFTER INSPECTION, IF ANY OF THE ABOVE CONDITIONS EXIST, THE OWNER SHALL IMMEDIATELY ARRANGE FOR ALL NECESSARY REPAIRS AND SEDIMENT REMOVAL.
  - THE CATCH BASINS AND DETENTION BASIN ARE TO BE INSPECTED ANNUALLY. REMOVE OIL, DEBRIS, AND SEDIMENT AFTER INSPECTIONS.
  - ALL GRADED SLOPES SHALL BE INSPECTED FOR EROSION. UPON DISCOVERY OF ANY EROSION, LOAM AND SEED SHALL BE PUT IN PLACE AND NURTURED.
- MAINTENANCE**
- ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN AND NOTES, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
  - INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
  - ALL SEEDING AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
  - SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES SIX INCHES IN HEIGHT, OR AS REQUESTED BY THE OWNER OR ENGINEER.
  - THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
  - THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.

**EROSION CONTROL AND SEDIMENT CONTROL NOTES:**

- REFER TO PROJECT PLANS FOR ADDITIONAL INFORMATION.
- AS CONSTRUCTION DISTURBANCE IS LESS THAN 1 ACRE, A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT NO. AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ARE NOT REQUIRED. THESE PLANS WILL MEET ALL LOCAL REQUIREMENTS FOR EROSION CONTROLS AND STORM WATER POLLUTION PREVENTION.
- SILT CONTROL SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE. ANY MODIFICATIONS TO SILT CONTROLS SHOWN ON THE APPROVED PLANS AS A RESULT OF ACTUAL FIELD CONDITIONS OR CONSTRUCTION PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH B.M.P. (BEST MANAGEMENT PRACTICES) PER THE E.P.A. 1992 "STORMWATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES" MANUAL. ANY SUCH MODIFICATIONS SHALL BE INSTALLED AS APPROVED BY THE ENGINEER.
- AREAS OF EXPOSED SOIL UNDERGOING CONSTRUCTION THAT WILL NOT BE COVERED AND OR FINISHED GRADED WITHIN 7 DAYS OF EXPOSURE SHALL BE ANCHORED WITH TEMPORARY EROSION CONTROL MEASURES WITHIN 7 DAYS OF DISTURBANCE. TEMPORARY EROSION CONTROL MEASURES SHALL INCLUDE EROSION CONTROL MESH, NETTING OR MULCH AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND SHOWN ON THE DESIGN PLANS. IF MULCH IS USED, HAY OR STRAW MULCH SHALL BE APPLIED AT THE RATE OF 1.5 TO 2 TONS PER ACRE OR 70 TO 90 LBS PER 1,000 SQUARE FEET. APPLICATION AREA SHALL BE SUFFICIENTLY COVERED WITH MULCH TO AVOID ANY VISIBLE SOIL EXPOSURE. MULCH SHALL BE KEPT MOIST TO AVOID LOSS DUE TO WIND. MULCH AND NETTING SHALL BE APPLIED TO THE BASE OF ALL GRASSED WATERWAYS AND IN VEGETATED SLOPES WHICH EXCEED 15% AND DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS.
- IF DISTURBED AREAS DO NOT RECEIVE FINAL SEEDING BY SEPTEMBER 15 OF THE CONSTRUCTION YEAR, THEN ALL DISTURBED AREAS SHALL BE SEEDING WITH A WINTER COVER CROP AT THE RATE OF 3 LBS PER 1,000 SQUARE FEET. WINTER SEEDING SHALL BE COVERED WITH EROSION CONTROL MESH (MULCH AND NETTING). HEAVY GRADE MATS SHALL BE USED IN THE BASE OF ALL GRASSED WATERWAYS ON VEGETATED SLOPES IN EXCESS OF 15%, AND ANY DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS. MULCH AND NETTING SHALL ALSO BE PROVIDED FOR ADDITIONAL WINTER PROTECTION.
- SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH HAY AND MULCH (AT 100LBS/1,000 SF), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEEDING WITH WINTER RYE (FOR FILL SEEDING AT 3LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH HAY MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL. LOAM SHALL BE STOCKPILED AT LOCATIONS DESIGNATED BY THE OWNER AND ENGINEER.
- ALL HAYBALE FILTER BARRIERS, SILT SACKS, AND FILTER FABRICS SHALL BE INSTALLED ACCORDING TO THE EROSION CONTROL PLAN. THESE SHALL BE MAINTAINED DURING CONSTRUCTION TO REMOVE SEDIMENT FROM RUNOFF WATER. ALL THE EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER ANY RAINFALL OR RUNOFF EVENT, MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE AT LEAST 85-90% VIGOROUS PERENNIAL COVER OF GRASSES.
- THE EXISTING PARKING LOT SHALL BE PERIODICALLY SWEEPED OR WASHED TO AVOID TRACKING MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA. A WATERING TRUCK WILL BE USED TO PERIODICALLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS AND AS REQUIRED.
- THE CONTRACTOR SHALL USE EXTREME CAUTION TO AVOID ALLOWING SEDIMENTS TO ENTER THE STORM DRAIN SYSTEM DURING CONSTRUCTION. CATCH BASIN INLETS SHALL ALSO BE PROTECTED DURING CONSTRUCTION BY THE USE OF STRAW BALE BARRIERS AROUND EACH INLET. SILT SACKS SHALL BE INSTALLED IN ALL EXISTING BASINS. INLET PROTECTION MAY BE REMOVED ONLY AFTER FINISHED AREAS ARE PAVED AND THE VEGETATED SLOPES ARE ESTABLISHED WITH AT LEAST 85-90% OF VIGOROUS PERENNIAL GROWTH.
- REVEGETATION MEASURES SHALL COMMENCE IMMEDIATELY UPON THE COMPLETION OF CONSTRUCTION. SEED BED PREPARATION AT AREAS NOT NOTED TO RECEIVE COVER SHALL BE LOAM AND SEEDING. AREAS SEEDED BETWEEN MAY 15 TO AUGUST 15TH SHALL BE COVERED WITH HAY OR STRAW MULCH. VEGETATED GROWTH COVERING AT LEAST 85% OF THE DISTURBED AREA SHALL BE ACHIEVED PRIOR TO OCTOBER 15TH. HAY AND STRAW MULCHES SHALL BE ANCHORED WITH MULCH NETTING OR TACKLING SO THAT THEY ARE NOT BLOWN AWAY BY WIND OR WASHED AWAY BY FLOWING WATER. HAY OR STRAW MULCH SHALL BE APPLIED AT A RATE OF 1.5 TO 2 TONS PER ACRE OR 70 TO 90 LBS. PER 1,000 S.F.
- IN LIEU OF SOIL TESTS, SOIL AMENDMENTS FOR TEMPORARY SEEDING AREAS MAY BE APPLIED AS FOLLOWS:
  - 10-10-10 FERTILIZER (N-P205-K20 OR EQUAL). APPLICATION RATE = 25 LBS/1,000 S.F.
  - GROUND LIMESTONE (85% OF TOTAL CARBONATES). LIMESTONE SHALL BE GROUND TO SUCH FINENESS THAT 50% WILL PASS A 100 MESH SIEVE AND 90% WILL PASS THROUGH A 20 MESH SIEVE. APPLICATION RATE = 100 LB/1,000 S.F.
  - WHEN FERTILIZER IS APPLIED WITHIN 100' OF ANY RIVER, STREAM, POND, OR LAKE IT SHALL BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER.
- LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE PER SPECIFICATIONS. LOAM SHALL BE FREE OF SOIL, CLAY LUMPS, STONES AND OTHER OBJECTS OVER 1 INCH IN DIAMETER, AND WITHOUT WEEDS, ROOTS OR OTHER DELICIOUS MATERIAL AND MEET THE LOAM SPECIFICATION DETAIL.
- EROSION CONTROL MESH SHALL BE APPLIED IN ACCORDANCE WITH THE PLANS OVER ALL FINISHED SEEDING AREAS AS SPECIFIED ON THE DESIGN PLANS.
- AT THE OWNER'S DISCRETION ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED TO MAINTAIN STABILITY OF EARTHWORKS AND FINISHED GRADED AREAS. THE CONTRACTOR, AT HIS EXPENSE, WILL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ANY ADDITIONAL MEASURES AS SPECIFIED BY THE OWNER. THIS INCLUDES BUT IS NOT LIMITED TO REQUESTS BY EPA AND THE MUNICIPALITY, AS AUTHORIZED BY THE OWNER.
- INSPECTIONS AND MONITORING MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. WEEKLY INSPECTIONS SHALL BE HELD THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITY. WEEKLY INSPECTION REPORTS SHALL BE MAINTAINED IN THE CONTRACTOR'S FIELD OFFICE. IN ADDITION TO THE NORMAL WEEKLY INSPECTIONS, THE CONTRACTOR SHALL PERFORM AN INSPECTION OF ALL EROSION CONTROL MEASURES AFTER EACH RAINFALL OR RUNOFF EVENT, AND PERFORM THE NECESSARY REPAIRS. THE INSPECTIONS SHALL INCLUDE BUT NOT BE LIMITED TO THE SITE'S DOWN STREAM DISCHARGE POINTS.
- IF ANY EVIDENCE OF SEDIMENTATION IS OBSERVED IN THE INLETS, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, PROVIDE A PLAN TO THE ENGINEER TO REMOVE ANY ACCUMULATED SEDIMENT IN THESE AREAS. THE CONTRACTOR SHALL ALSO IMMEDIATELY PROVIDE ADDITIONAL ON SITE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT FURTHER DEGRADATION OF THE AREA.
- FOLLOWING THE TEMPORARY OR FINAL SEEDINGS, THE CONTRACTOR SHALL INSPECT THE WORK AREA BIMONTHLY TO ENSURE THE AREAS HAVE A MINIMUM OF 85-90% VEGETATED VIGOROUS GROWTH. RESEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.
- THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.



**CAMBRIDGE EROSION CONTROL NOTES**

- PRIOR TO ANY LAND DISTURBANCE ACTIVITIES COMMENCING ON THE SITE, THE DEVELOPER SHALL PHYSICALLY MARK LIMITS OF NO LAND DISTURBANCE ON THE SITE WITH TAPE, SIGNS, OR ORANGE CONSTRUCTION FENCE, SO THAT WORKERS CAN SEE THE AREAS TO BE PROTECTED. THE PHYSICAL MARKERS SHALL REMAIN IN PLACE UNTIL A CERTIFICATE OF COMPLETION HAS BEEN ISSUED.
- APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO SOIL DISTURBANCE. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
- MINIMIZE TOTAL AREA OF DISTURBANCE AND PROTECT NATURAL FEATURES AND SOIL.
- THE CONTRACTOR SHALL SEQUENCE ALL ACTIVITIES TO MINIMIZE SIMULTANEOUS AREAS OF DISTURBANCE. MASS CLEARINGS AND GRADING OF THE ENTIRE SITE SHALL BE AVOIDED.
- MINIMIZE SOIL EROSION AND CONTROL SEDIMENTATION DURING CONSTRUCTION.
- DIVERT UNCONTAMINATED WATER AROUND DISTURBED AREAS.
- INSTALL AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICES OR THE 2008 EPA'S CONSTRUCTION GENERAL PERMIT.
- PROTECT AND MANAGE ON AND OFF-SITE MATERIAL STORAGE AREAS (OVERBURDEN AND STOCKPILES OF DIRT, BORROW AREAS, OR OTHER AREAS USED SOLELY BY THE PERMITTED PROJECT ARE CONSIDERED A PART OF THE PROJECT).
- COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS INCLUDING WASTE DISPOSAL, SANITARY SEWER OR SEPTIC SYSTEM REGULATIONS, AND AIR QUALITY REQUIREMENTS, INCLUDING DUST CONTROL.
- SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF THE EROSION CONTROL DEVICE. SEDIMENT SHALL BE REMOVED FROM SILT FENCE PRIOR TO REACHING THE LOAD-BEARING CAPACITY OF THE SILT FENCE WHICH MAY BE LOWER THAN 14 TO THE HEIGHT.
- SEDIMENT FROM SEDIMENT TRAPS OR SEDIMENTATION PONDS SHALL BE REMOVED WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT.
- BMPs TO BE USED FOR INFILTRATION AFTER CONSTRUCTION SHALL NOT BE USED AS BMPs DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE BOARD. MANY INFILTRATION TECHNOLOGIES ARE NOT DESIGNED TO HANDLE THE HIGH CONCENTRATIONS OF SEDIMENTS TYPICALLY FOUND IN CONSTRUCTION RUNOFF, AND THUS MUST BE PROTECTED FROM CONSTRUCTION RELATED SEDIMENT LOADINGS.
- SOIL STOCKPILES MUST BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY. STOCKPILE SIDE SLOPES SHALL NOT BE GREATER THAN 2:1. ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROL.
- FOR ACTIVE CONSTRUCTION AREAS SUCH AS BORROW OR STOCKPILE AREAS, ROADWAY IMPROVEMENTS AND AREAS WITHIN 50 FEET OF A BUILDING UNDER CONSTRUCTION, A PERIMETER SEDIMENT CONTROL SYSTEM SHALL BE INSTALLED AND MAINTAINED TO CONTAIN SOIL.
- A TRACKING PAD OR OTHER APPROVED STABILIZATION METHOD SHALL BE CONSTRUCTED AT ALL ENTRANCE/EXIST POINTS OF THE SITE TO REDUCE THE AMOUNT OF SOIL CARRIED ONTO ROADWAYS AND OFF THE SITE.
- ON THE CUT SIDE OF ROADS, DITCHES SHALL BE STABILIZED IMMEDIATELY WITH ROCK RIP-RAP OR OTHER NON-ERODIBLE LINERS, OR WHERE APPROPRIATE, VEGETATIVE MEASURES SUCH AS HYDRO SEEDING OR JUTE MATTING.
- PERMANENT SEEDING SHALL BE UNDERTAKEN IN THE SPRING FROM MARCH THROUGH MAY, AND IN LATE SUMMER AND EARLY FALL FROM AUGUST TO OCTOBER 15. DURING THE PEAK SUMMER MONTHS AND IN THE FALL AFTER OCTOBER 15, WHEN SEEDING IS FOUND TO BE IMPRACTICAL, APPROPRIATE TEMPORARY STABILIZATION SHALL BE APPLIED. PERMANENT SEEDING MAY BE UNDERTAKEN DURING THE SUMMER IF PLANS PROVIDE FOR ADEQUATE MULCHING AND WATERING.
- ALL SLOPES STEEPER THAN 3:1 (H: V, 33.3%), AS WELL AS PERIMETER DIKES, SEDIMENT BASINS OR TRAPS, AND EMBANKMENTS MUST, UPON COMPLETION, BE IMMEDIATELY STABILIZED WITH SOIL SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES. AREAS OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM MUST NOT BE DISTURBED.
- TEMPORARY SEDIMENT TRAPPING DEVICES MUST NOT BE REMOVED UNTIL PERMANENT STABILIZATION IS ESTABLISHED IN ALL CONTRIBUTORY DRAINAGE AREAS.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS OF REMOVAL.
- PROPERLY MANAGE ON-SITE CONSTRUCTION AND WASTE MATERIALS.
- PREVENT OFF-SITE VEHICLE TRACKING OF SEDIMENTS.
- DUST SHALL BE CONTROLLED AT THE SITE.
- ALL PREVIOUSLY DISTURBED LAND SHALL BE STABILIZED BY APPROVED METHODS AFTER 14 DAYS IF LEFT UNDISTURBED. THIS INCLUDES STOCKPILES, CONSTRUCTION ENTRANCES, GRADED AREAS AND OTHER CONSTRUCTION ACTIVITY RELATED CLEARING.
- IF WORK IS HALTED OVER WINTER MONTHS THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILIZING THE AREA THROUGH GROUND COVER PRACTICES.

**GENERAL NOTES**

- SEE SHEET 1 FOR EXISTING CONDITIONS.
- SEE SHEET C-3 FOR GRADING AND DRAINAGE
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHIN THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

CITY OF CAMBRIDGE DPW  
STORMWATER CONTROL PERMIT NUMBER

PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
2	02-10-23	ISSUED TO CAMBRIDGE

**OWNER:** SOMERBRIDGE HOTEL LLC  
c/o XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

**PROJECT:** 145 ROOM HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA  
  
1 McGRATH HIGHWAY  
SOMERVILLE, MA

**PROJECT NO.:** 1362-16 **DATE:** OCTOBER 15, 2025

**SCALE:** AS SHOWN **DWG.:** 1362-16-SWPPP Erosion Control

**DESIGNED BY:** SM **CHECKED BY:** MM

PREPARED BY:

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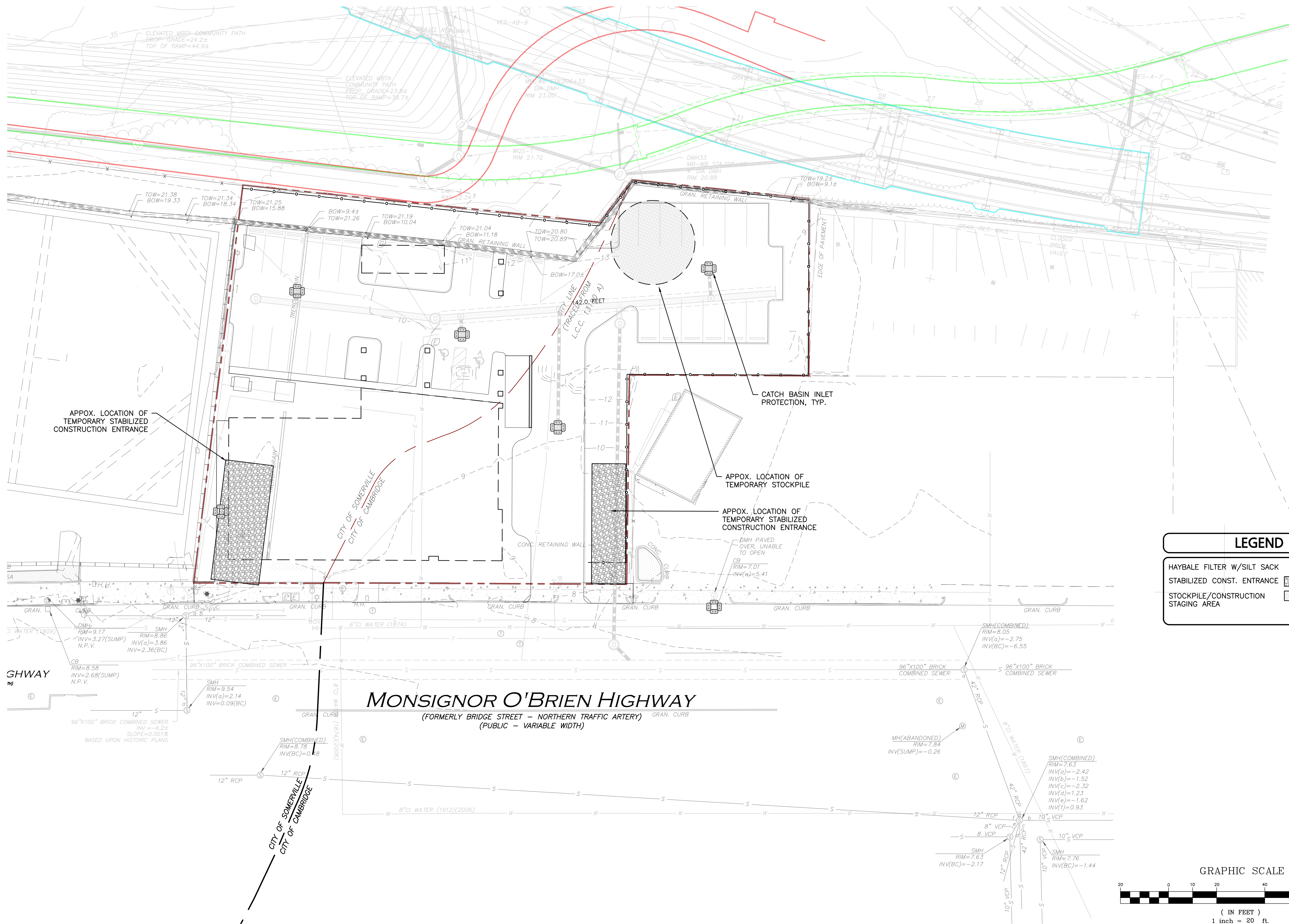
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<b>DRAWING TITLE:</b> STORMWATER POLLUTION PREVENTION NOTES	<b>SHEET NO.:</b> SWPPP 1
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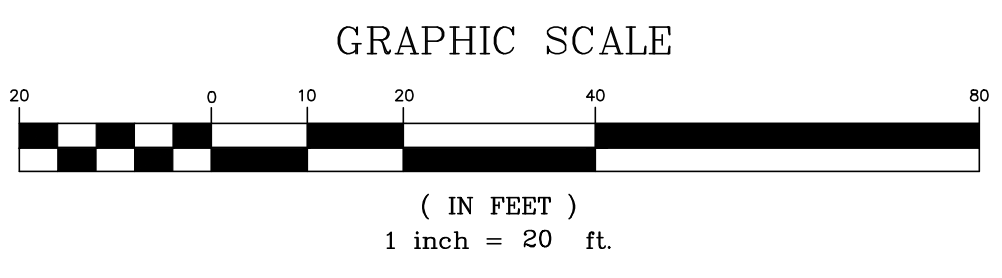
**GENERAL NOTES:**

1. SEE SHEET C-3 FOR GRADING & DRAINAGE.
2. SEE SHEET 1 FOR EXISTING CONDITIONS.
3. SHEETS SWPPP 1-3 MAKE UP THE COMPLETE STORMWATER PREVENTION PACKAGE.
4. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



**LEGEND**

- HAYBALE FILTER W/SILT SACK
- STABILIZED CONST. ENTRANCE
- STOCKPILE/CONSTRUCTION STAGING AREA



CITY OF CAMBRIDGE DPW  
STORMWATER CONTROL PERMIT NUMBER



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

OWNER:  
**SOMERBRIDGE HOTEL LLC**  
c/o XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

PROJECT:  
**145 ROOM HOTEL**  
**263 MONSIGNOR O'BRIEN HIGHWAY**  
CAMBRIDGE, MA  
**1 McGRATH HIGHWAY**  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: OCTOBER 15, 2025

SCALE: DWG.: 1362-16-SWPPP-Erosion Control

DESIGNED BY: SM CHECKED BY: MM

PREPARED BY:

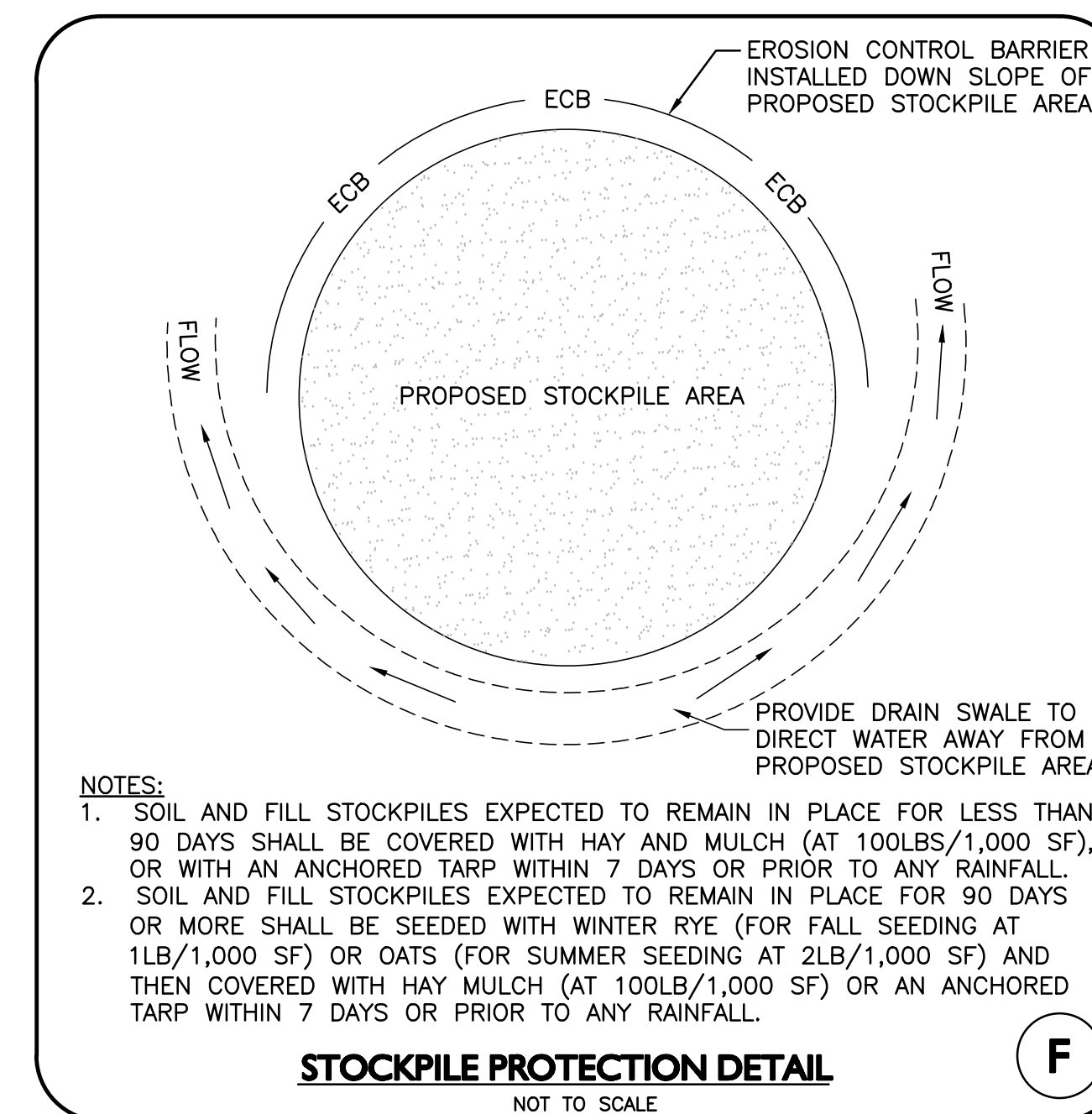
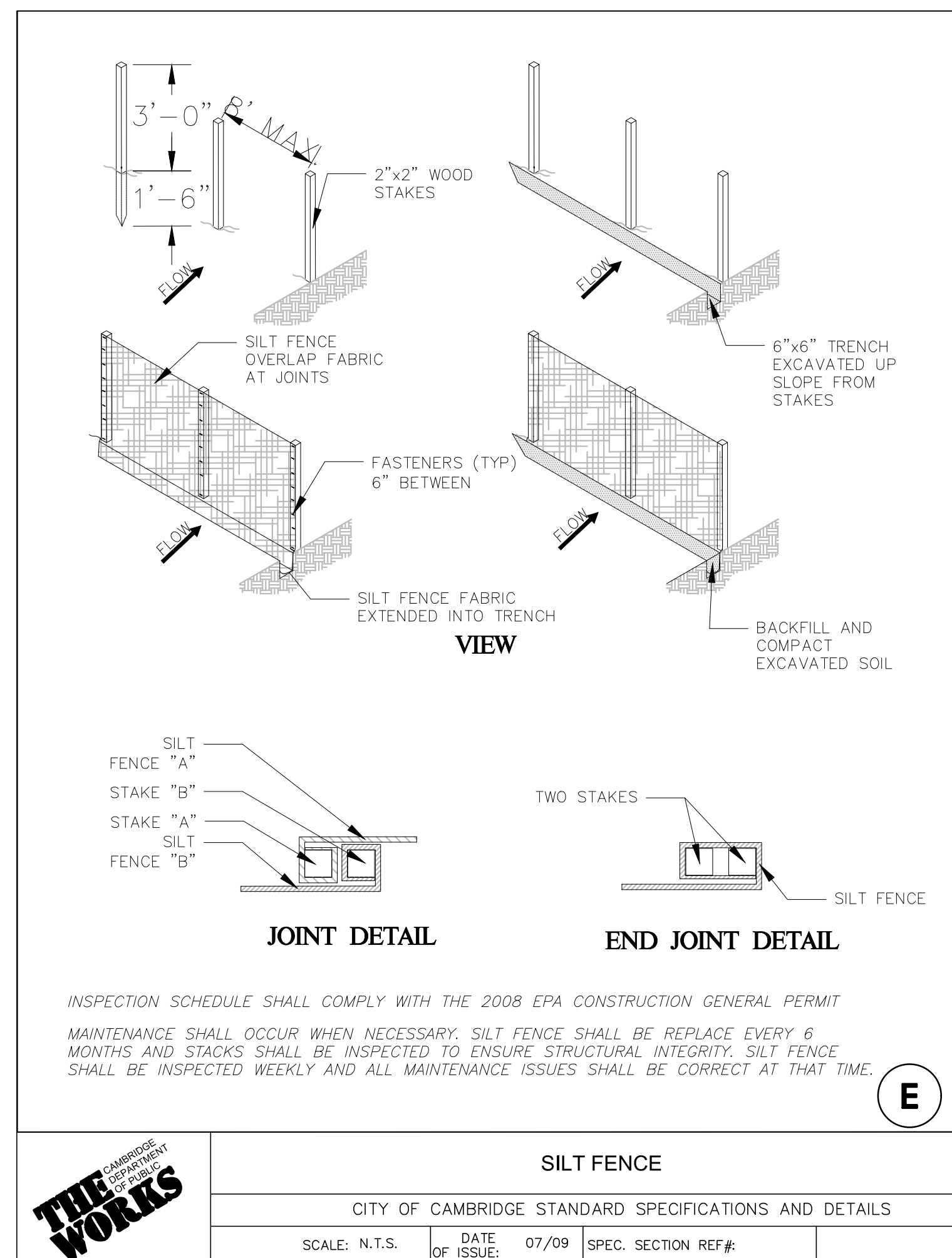
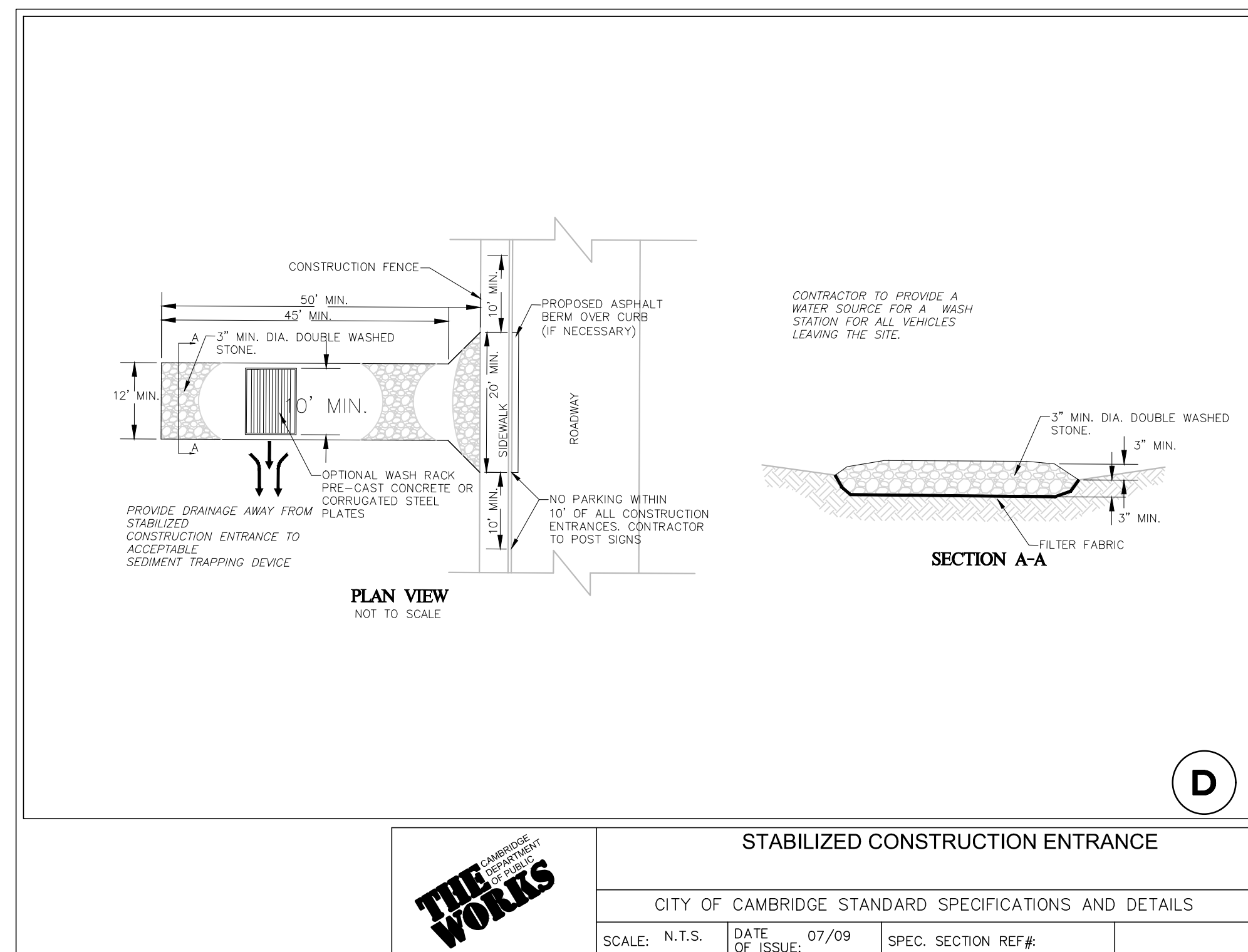
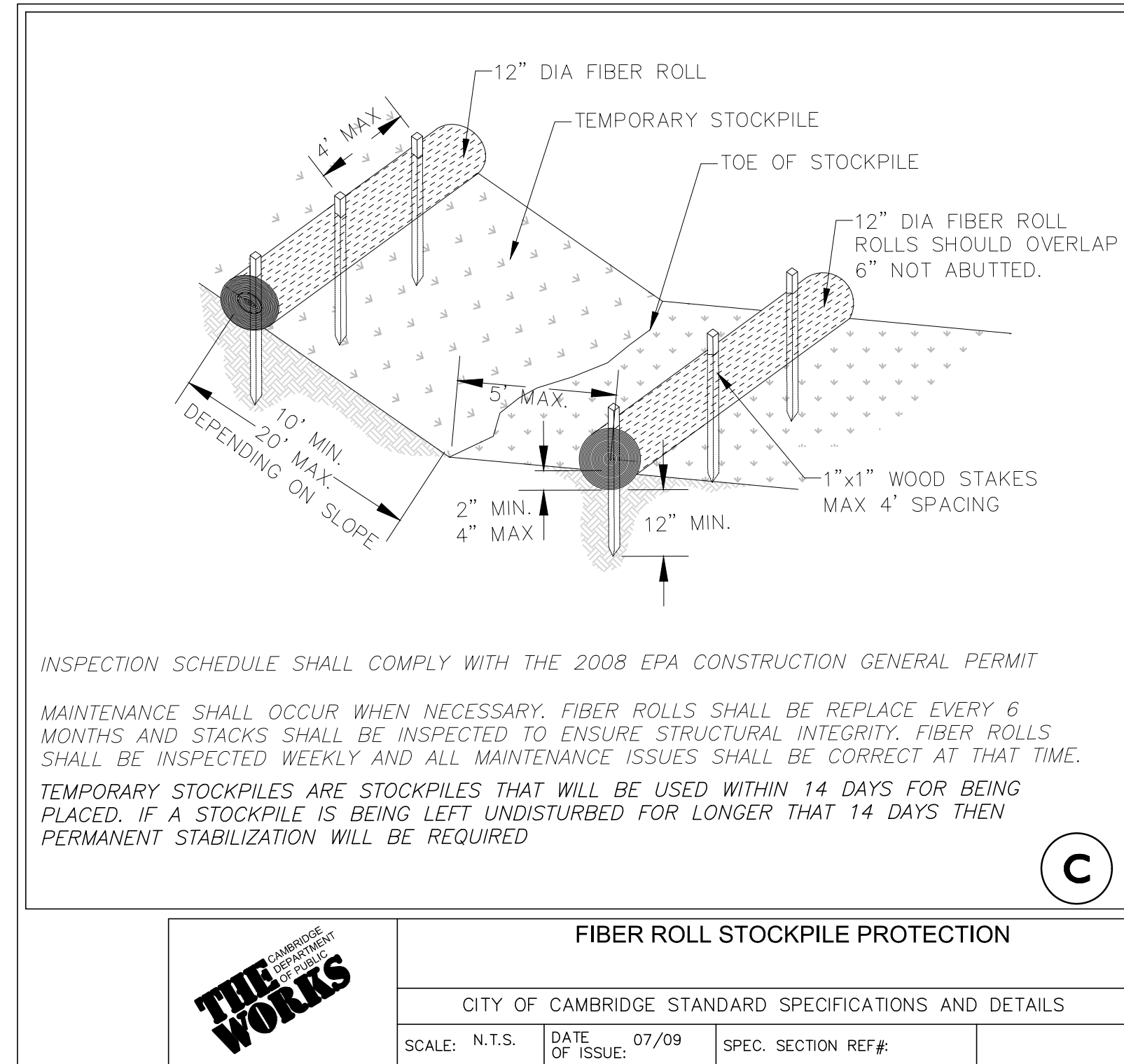
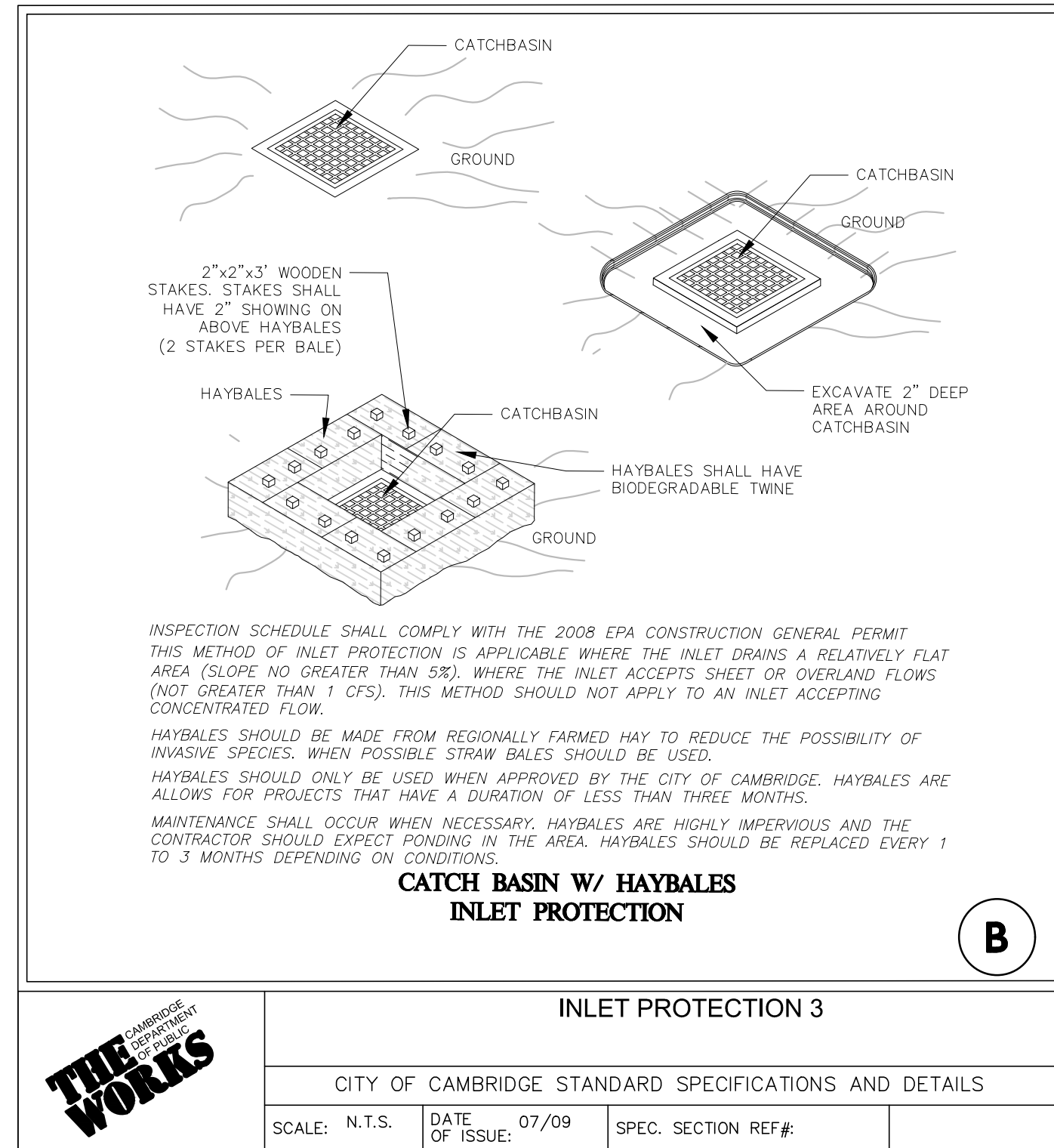
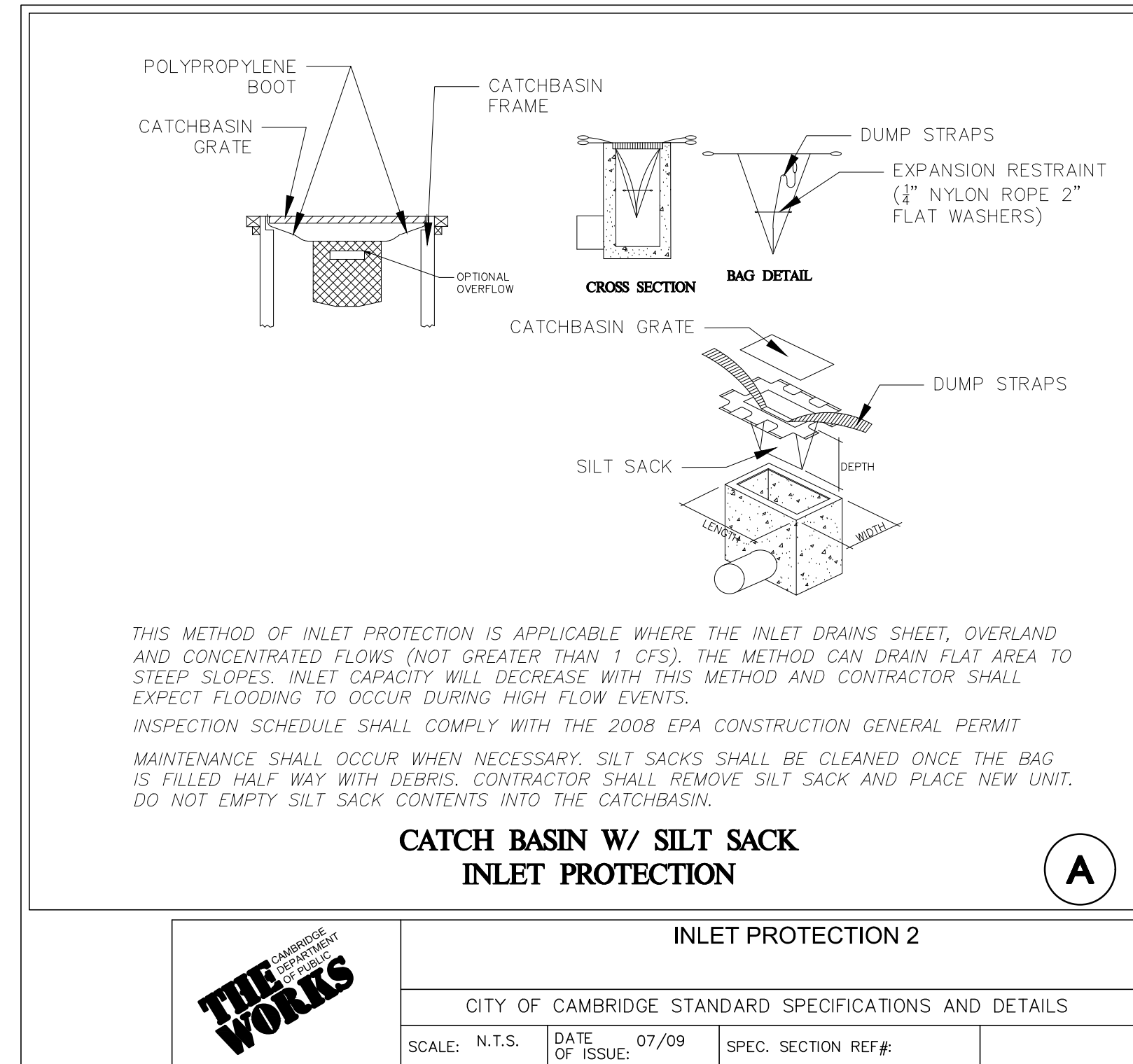
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DRAWING TITLE: SHEET NO.

**STORMWATER POLLUTION PREVENTION PLAN** **SWPPP 2**



CITY OF CAMBRIDGE DPW  
STORMWATER CONTROL PERMIT NUMBER



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

OWNER:  
SOMERBRIDGE HOTEL LLC  
c/o XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

PROJECT:  
145 ROOM HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA  
  
1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: OCTOBER 15, 2025

SCALE: AS SHOWN DWG.: 1362-16-SWPPP-Erosion Control

DESIGNED BY: SM CHECKED BY: MM

PREPARED BY:

**ALLEN & MAJOR ASSOCIATES, INC.**

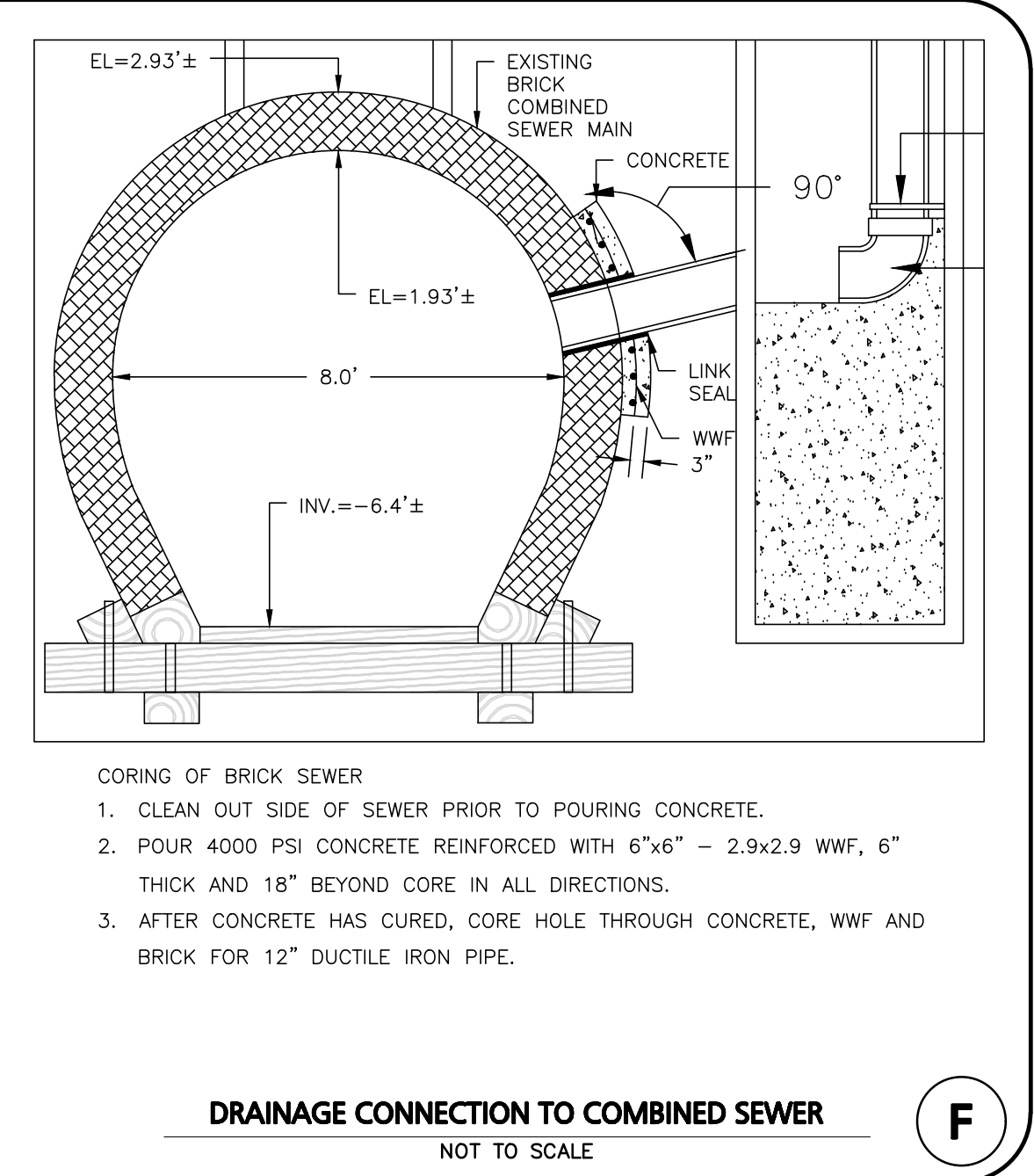
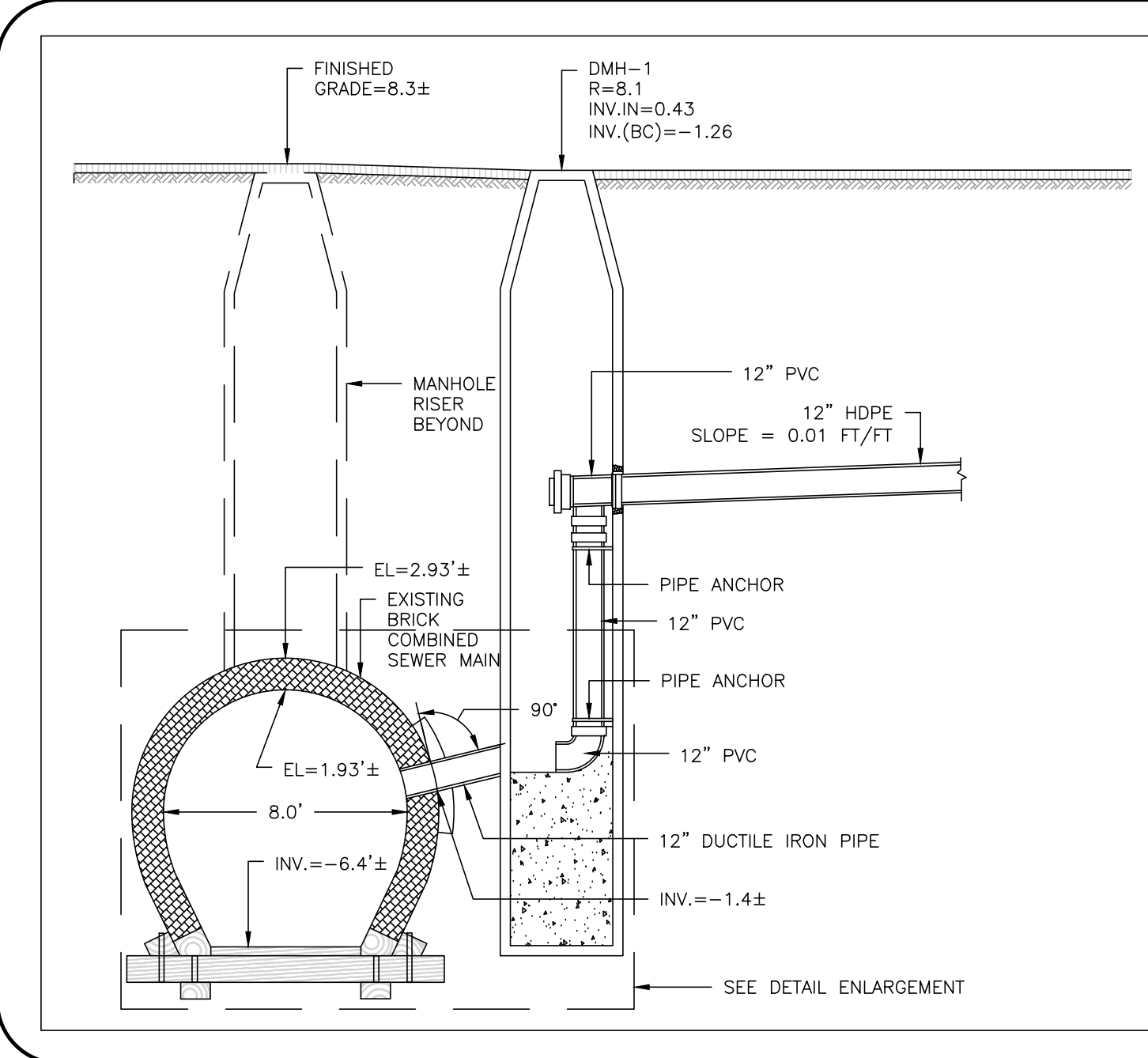
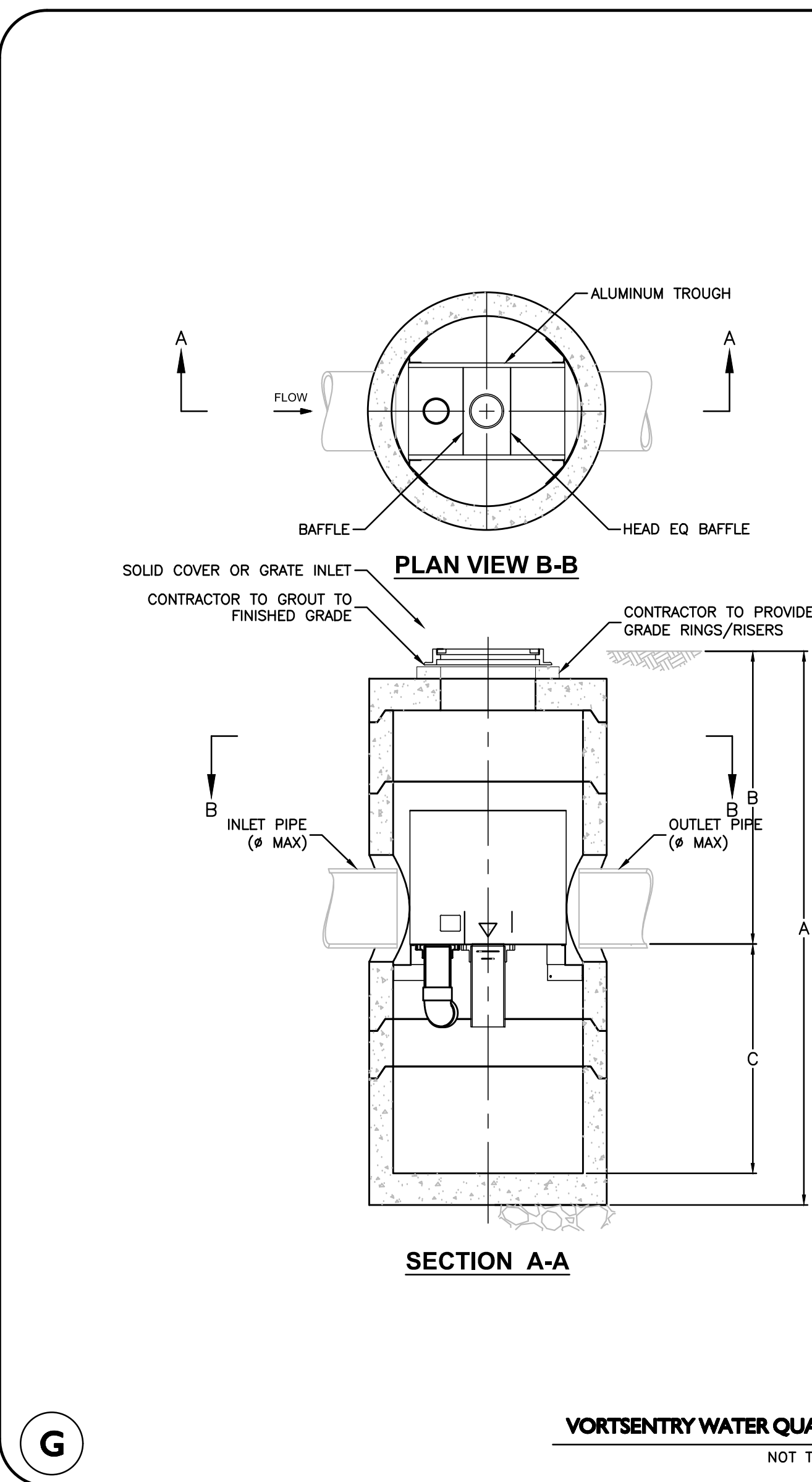
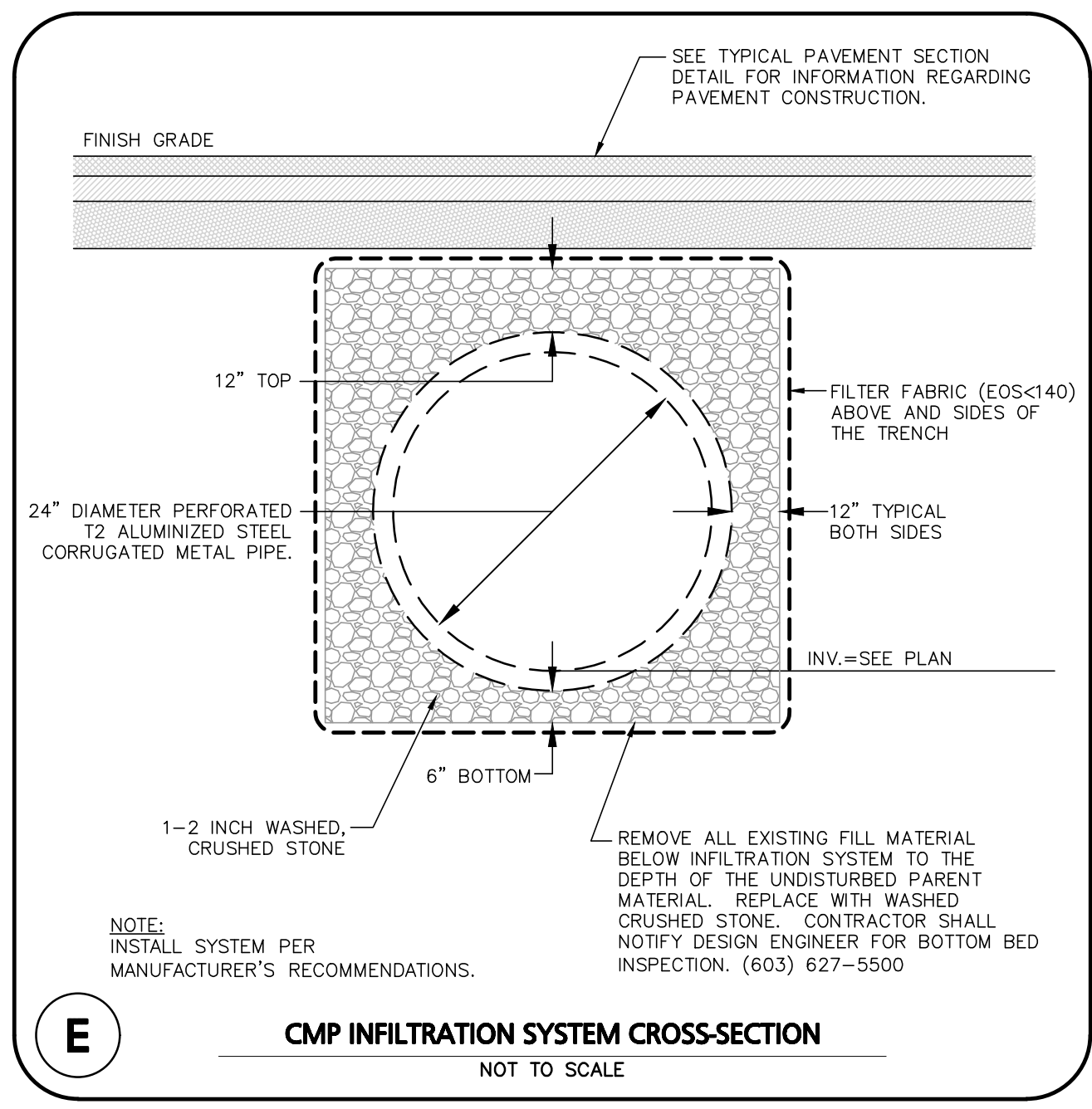
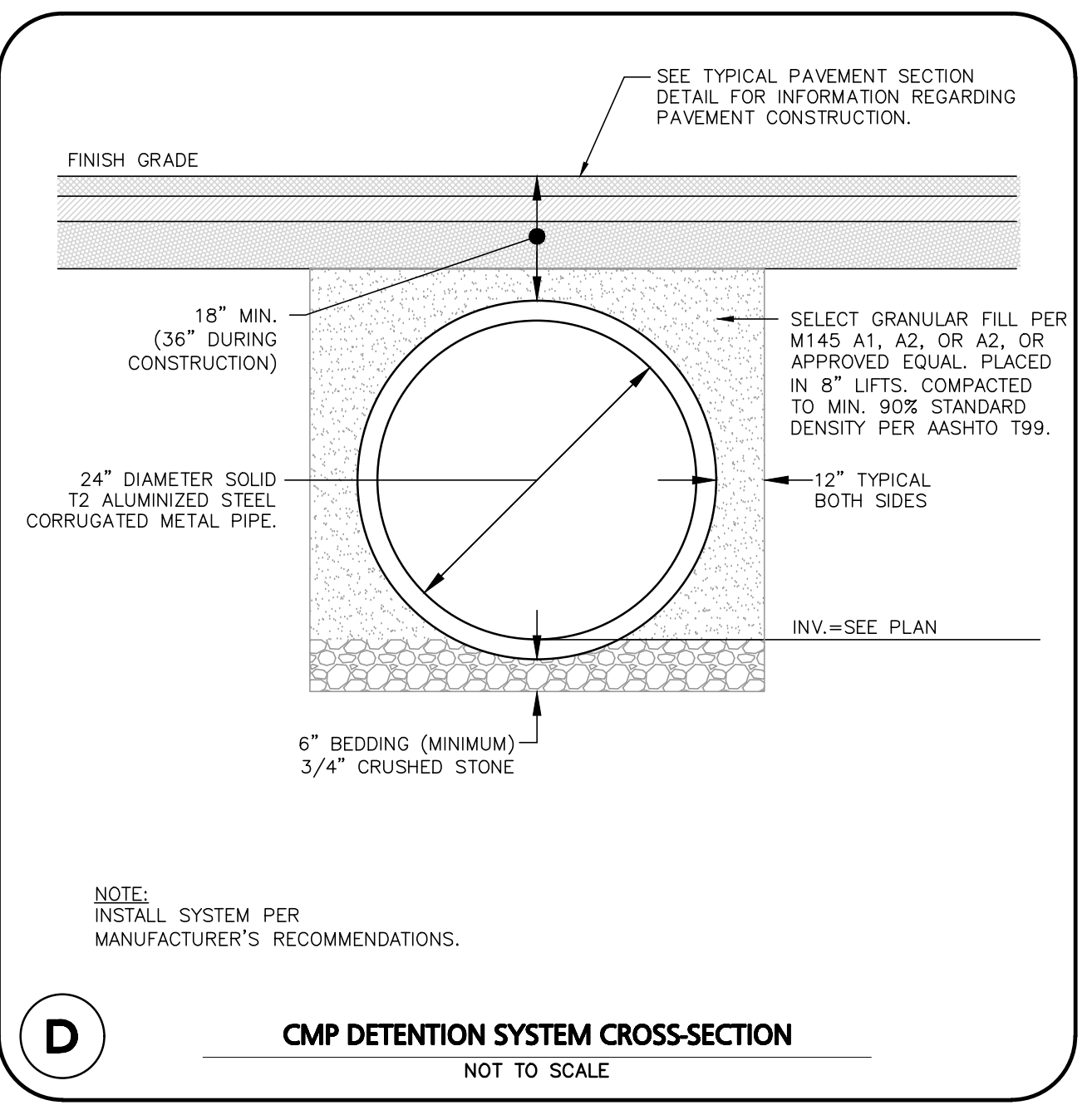
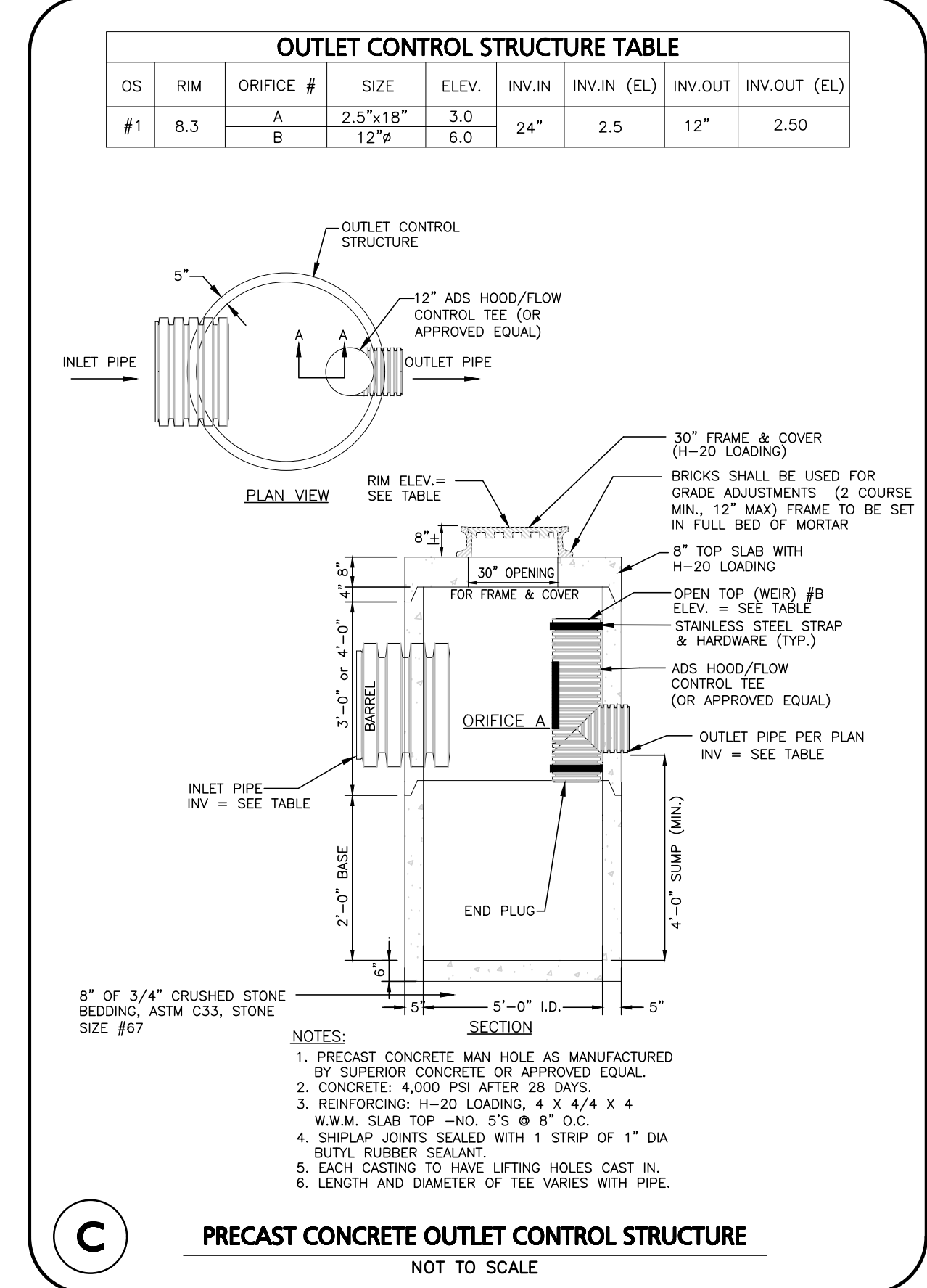
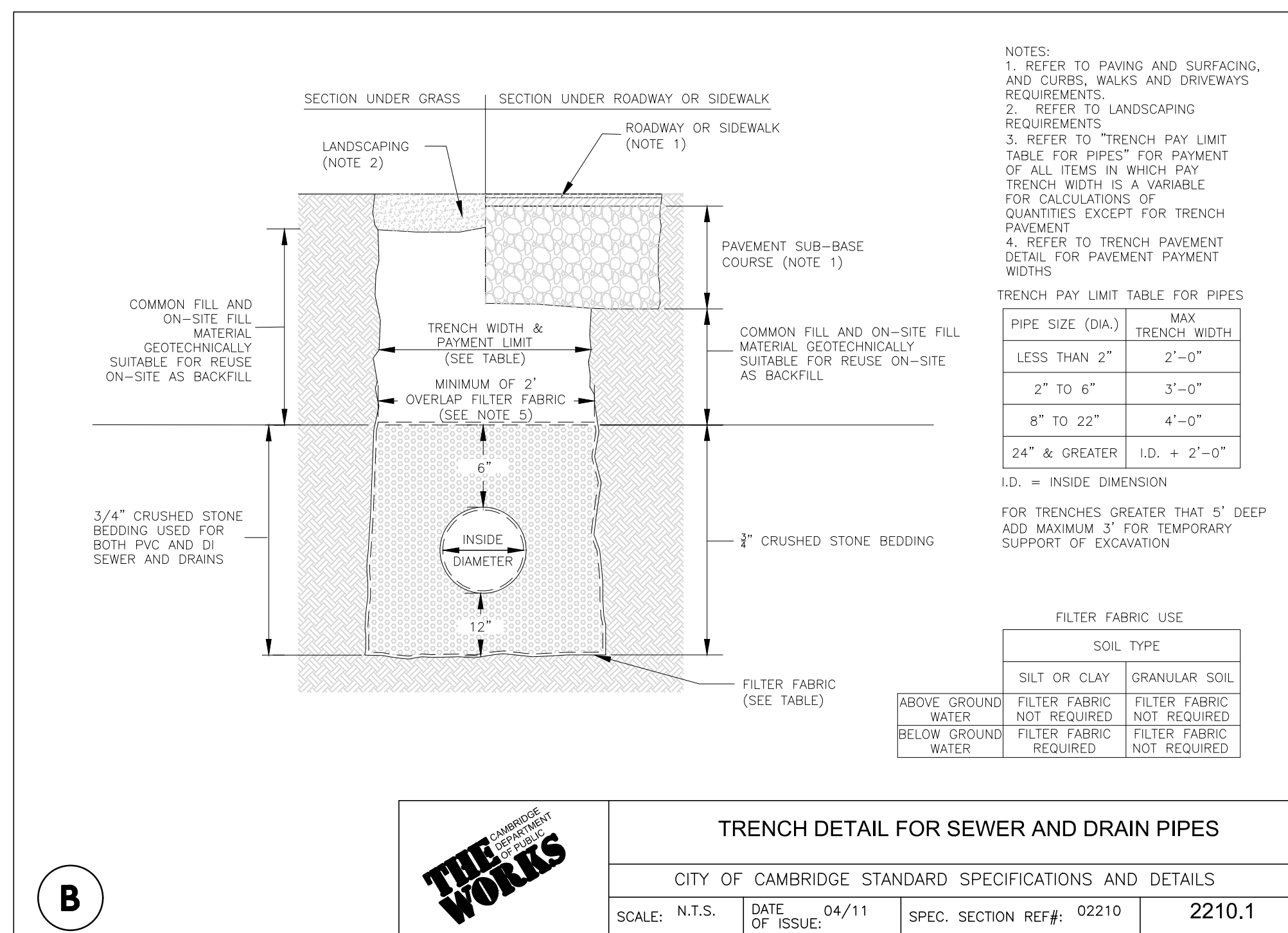
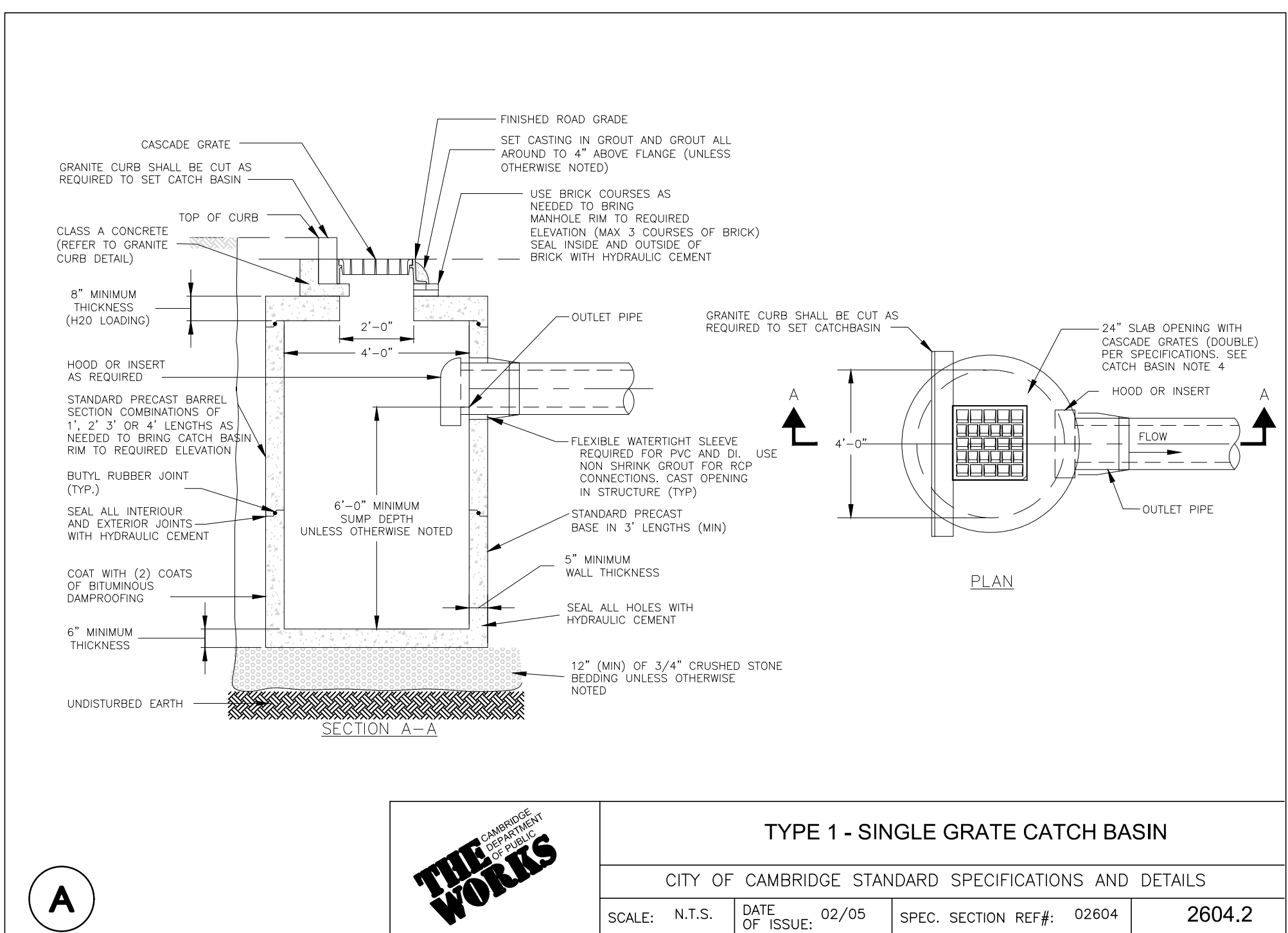
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PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

11-09-2025

REV	DATE	DESCRIPTION

OWNER: SOMERBRIDGE HOTEL LLC  
c/o XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

PROJECT: 145 ROOM HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA  
1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: OCTOBER 15, 2025  
SCALE: AS SHOWN DWG.: 1362-16Detail

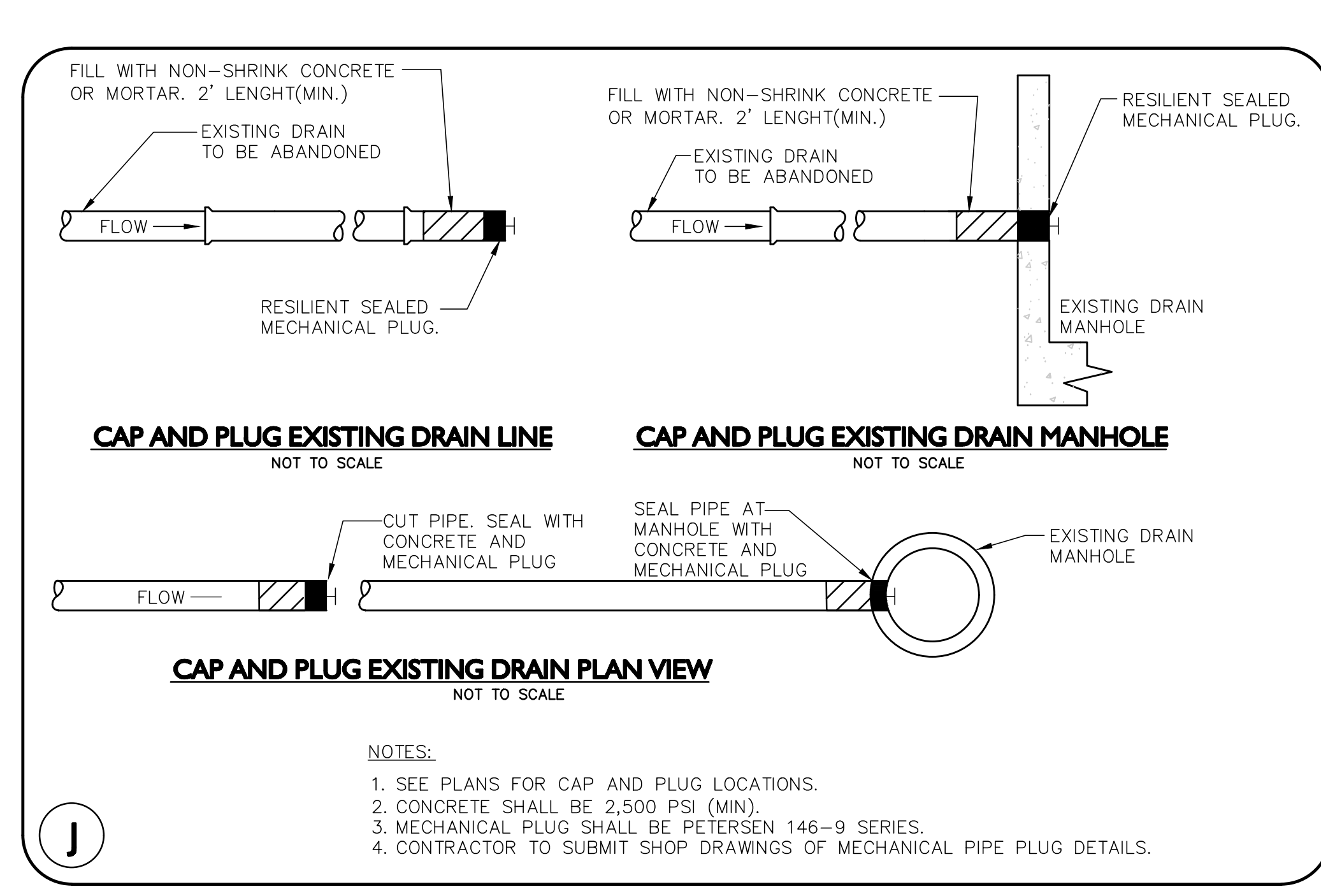
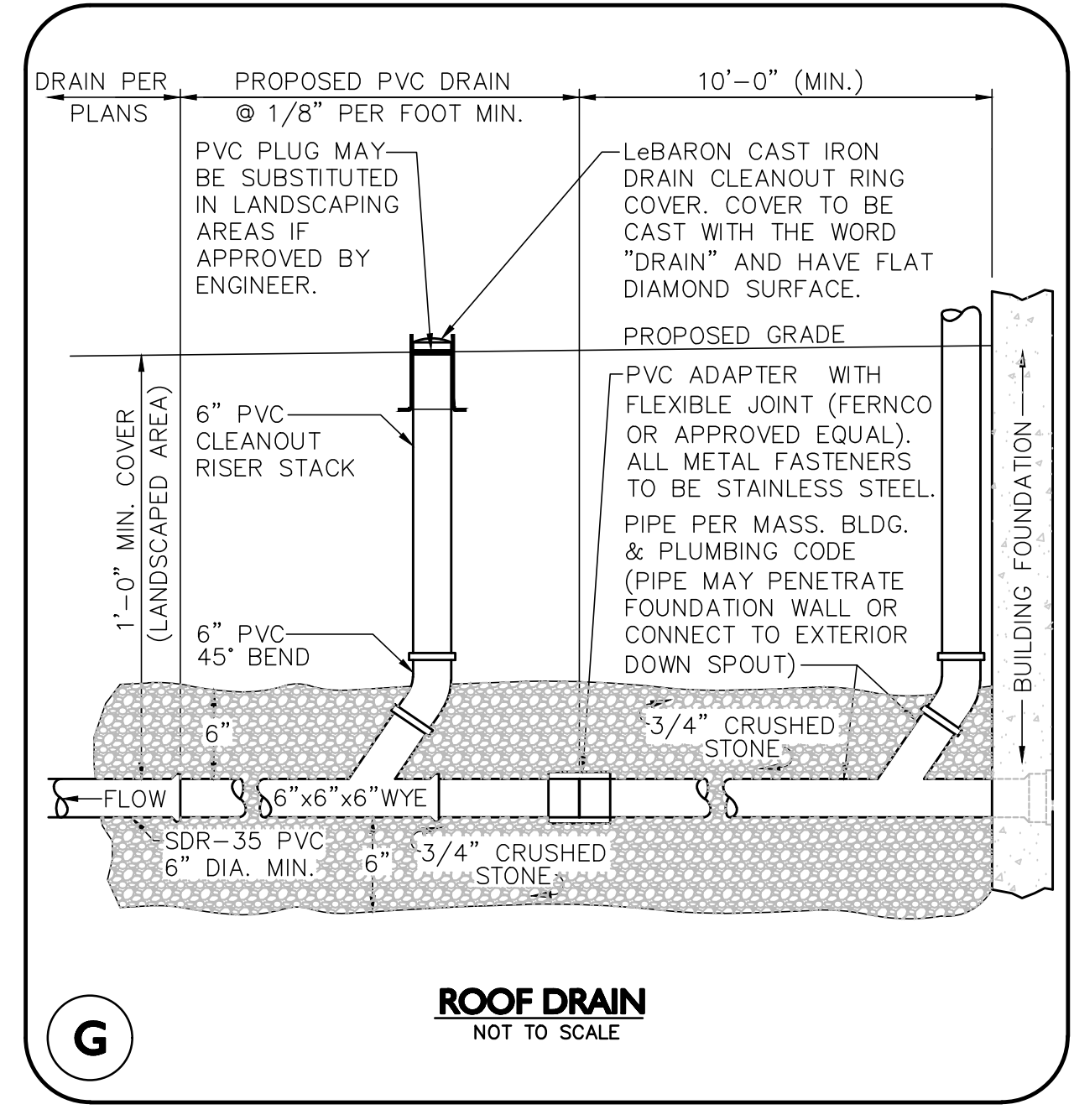
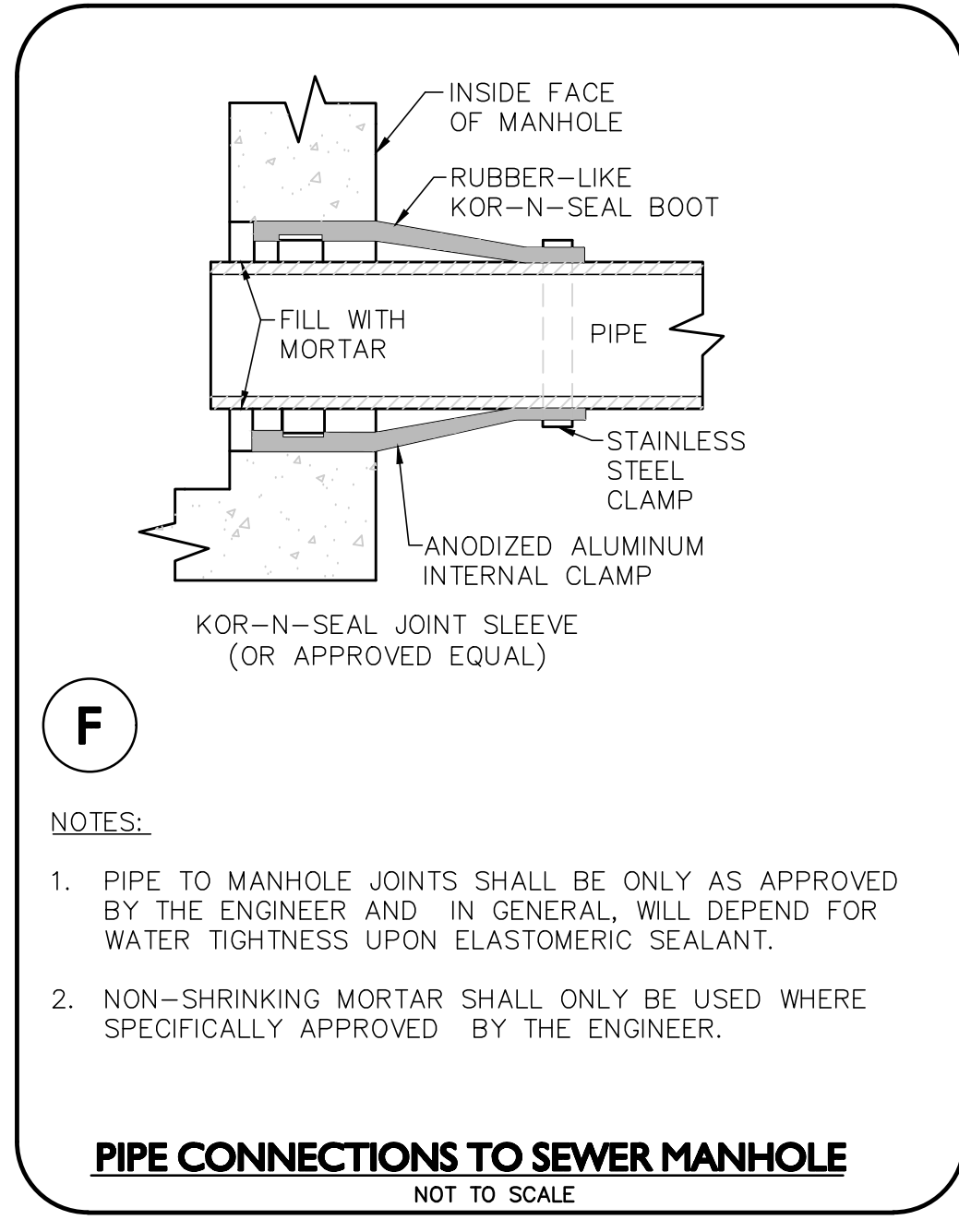
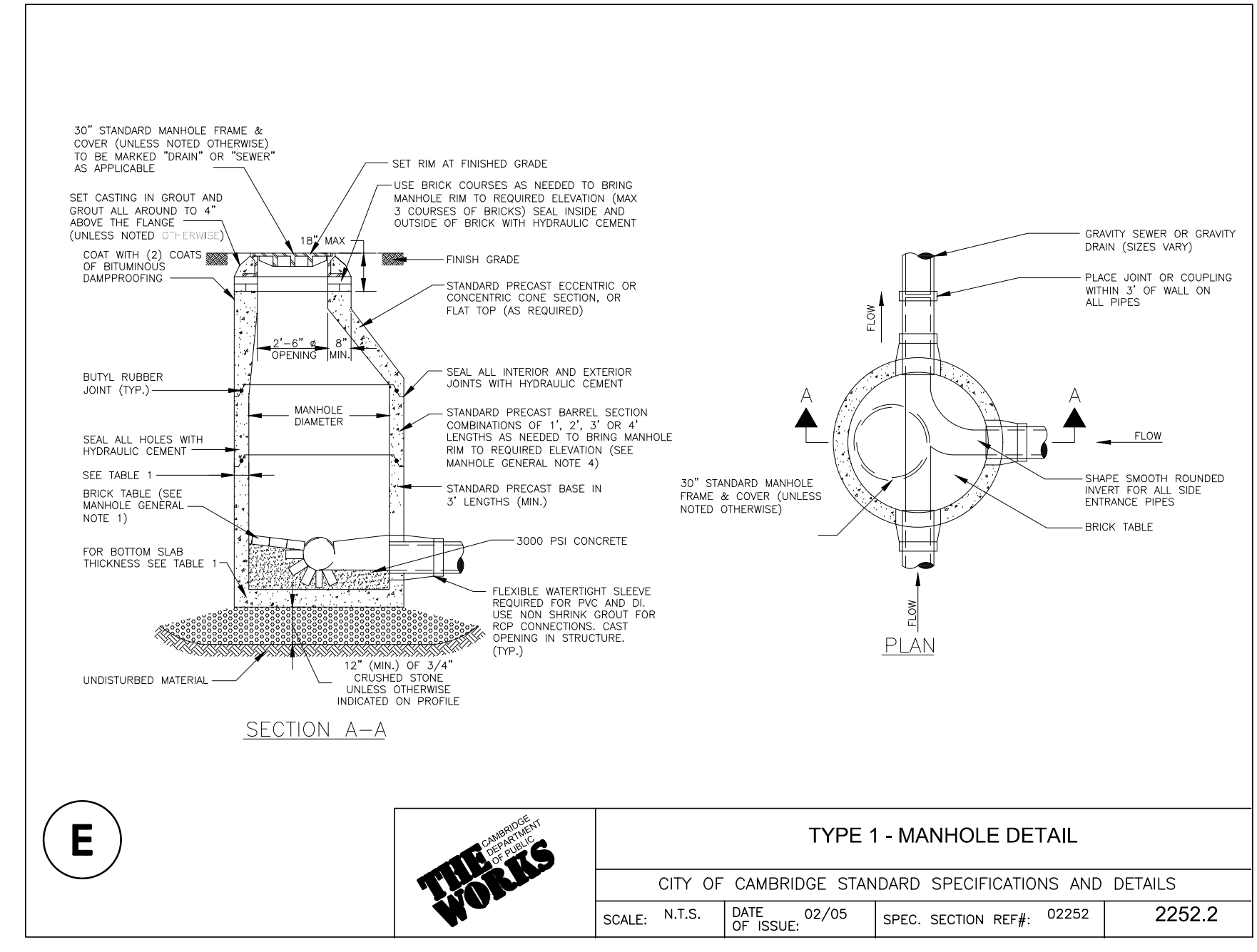
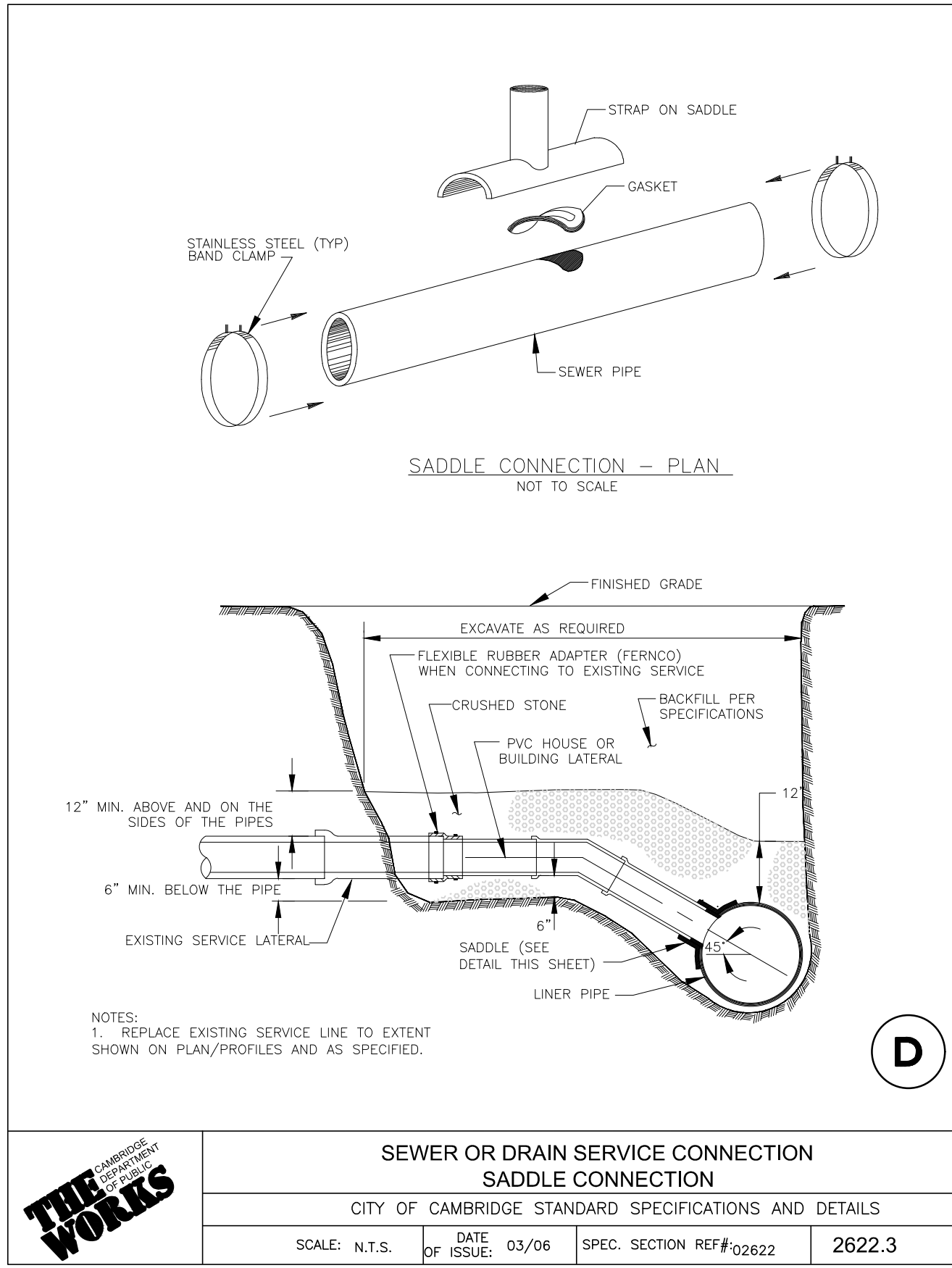
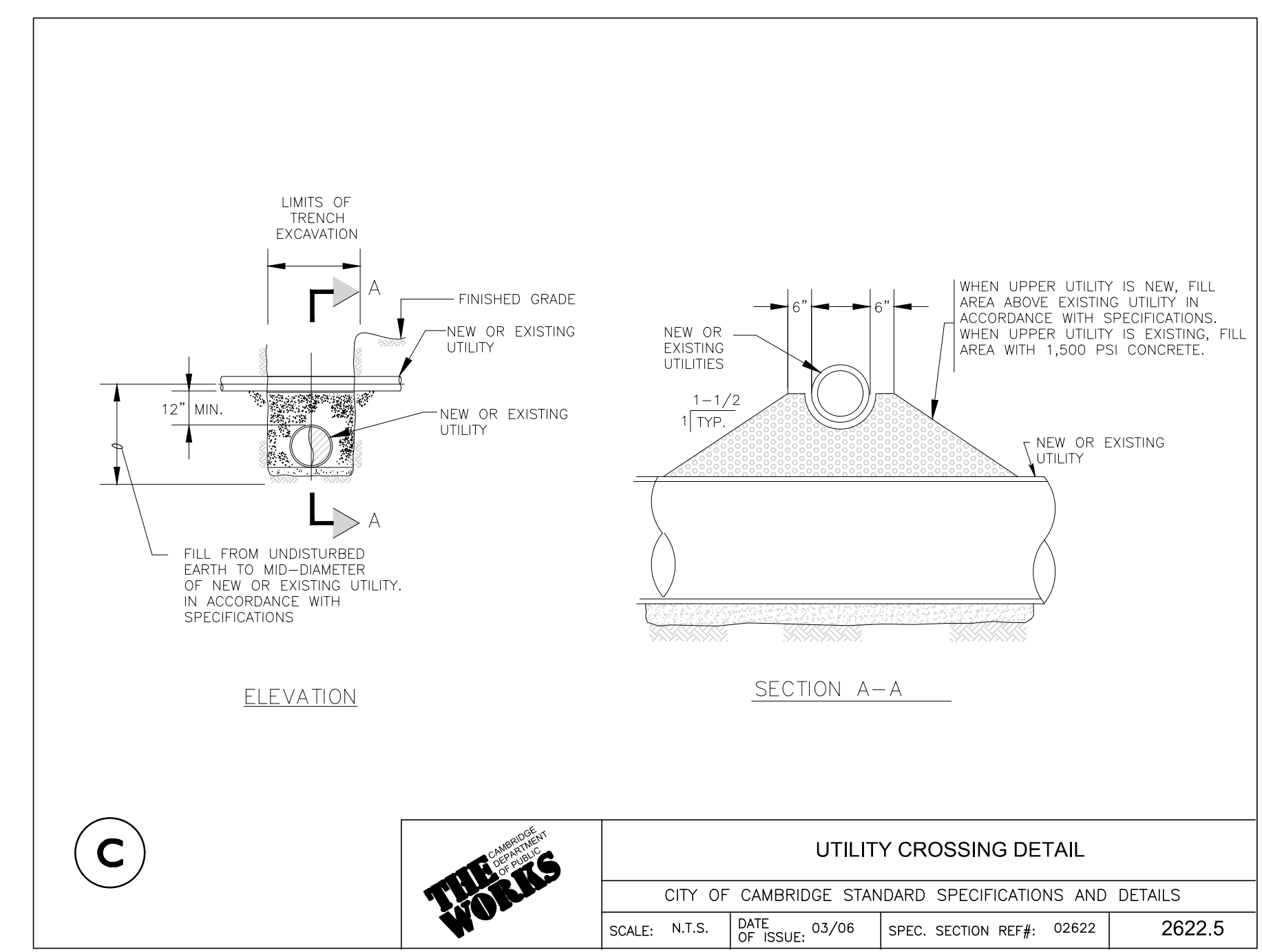
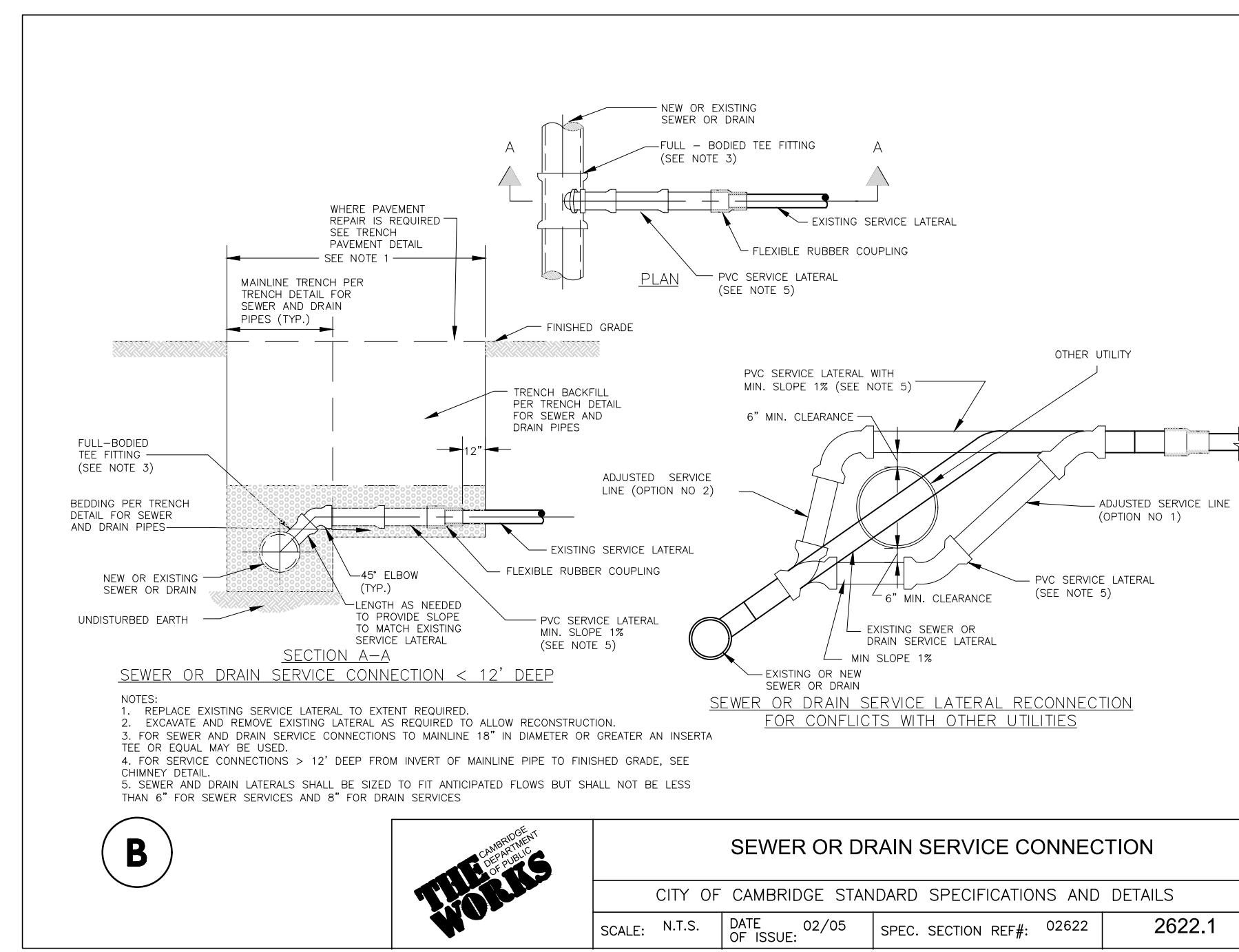
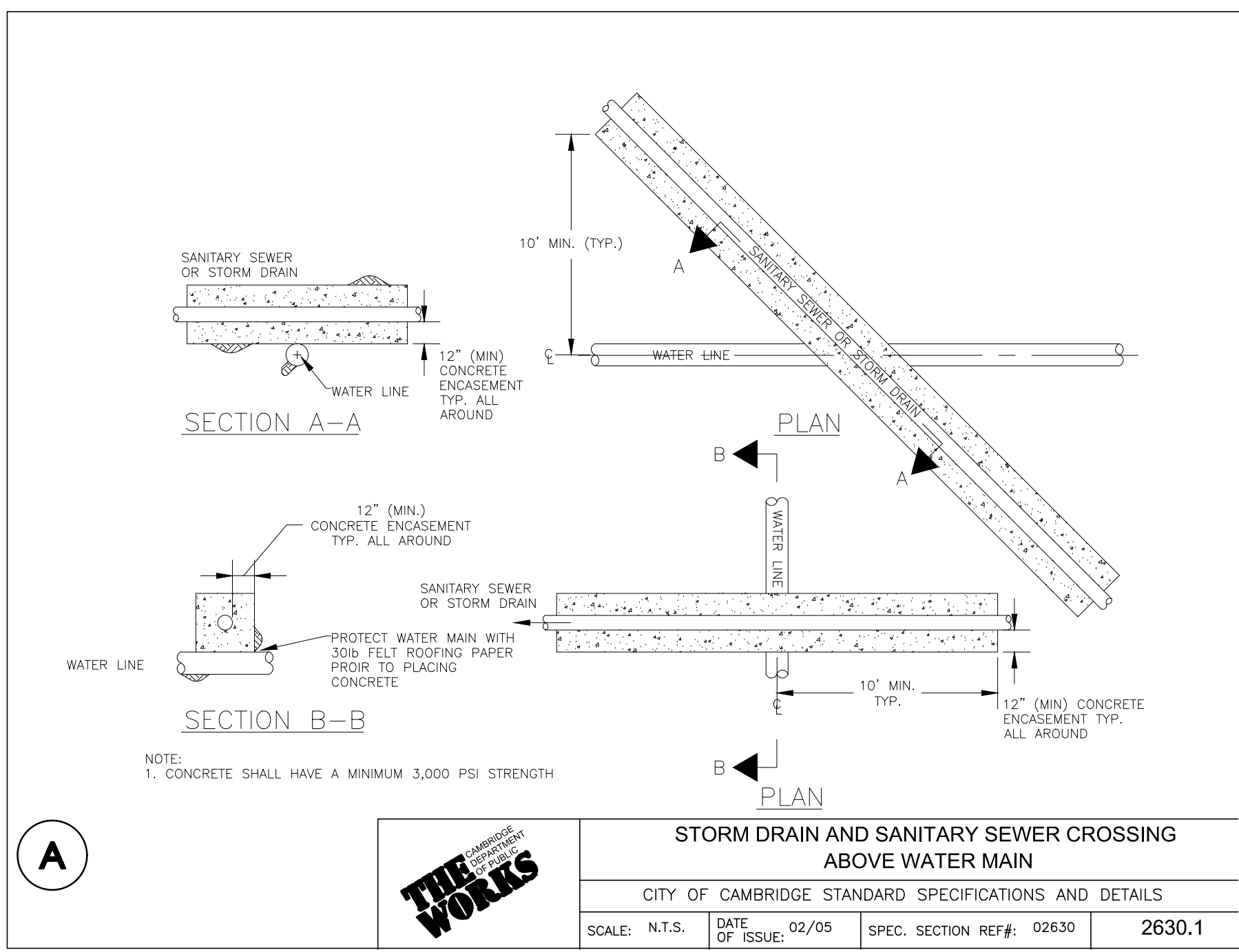
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REV: PROJECTS\1362-16\CIVIL\DRAWINGS\CURRENT\1362-16-DETAILS.DWG



**PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.**

**SEAL:** MICHAEL A. MALYNOWSKI CIVIL No. 47268 EXPIRES 05-31-2025

REV	DATE	DESCRIPTION

**OWNER:** SOMERBRIDGE HOTEL LLC  
c/o XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

**PROJECT:** 145 ROOM HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA

1 McGRATH HIGHWAY  
SOMERVILLE, MA

**PROJECT NO.:** 1362-16 **DATE:** OCTOBER 15, 2025  
**SCALE:** AS SHOWN **DWG.:** 1362-16Detail  
**DESIGNED BY:** SM **CHECKED BY:** MM

**PREPARED BY:**

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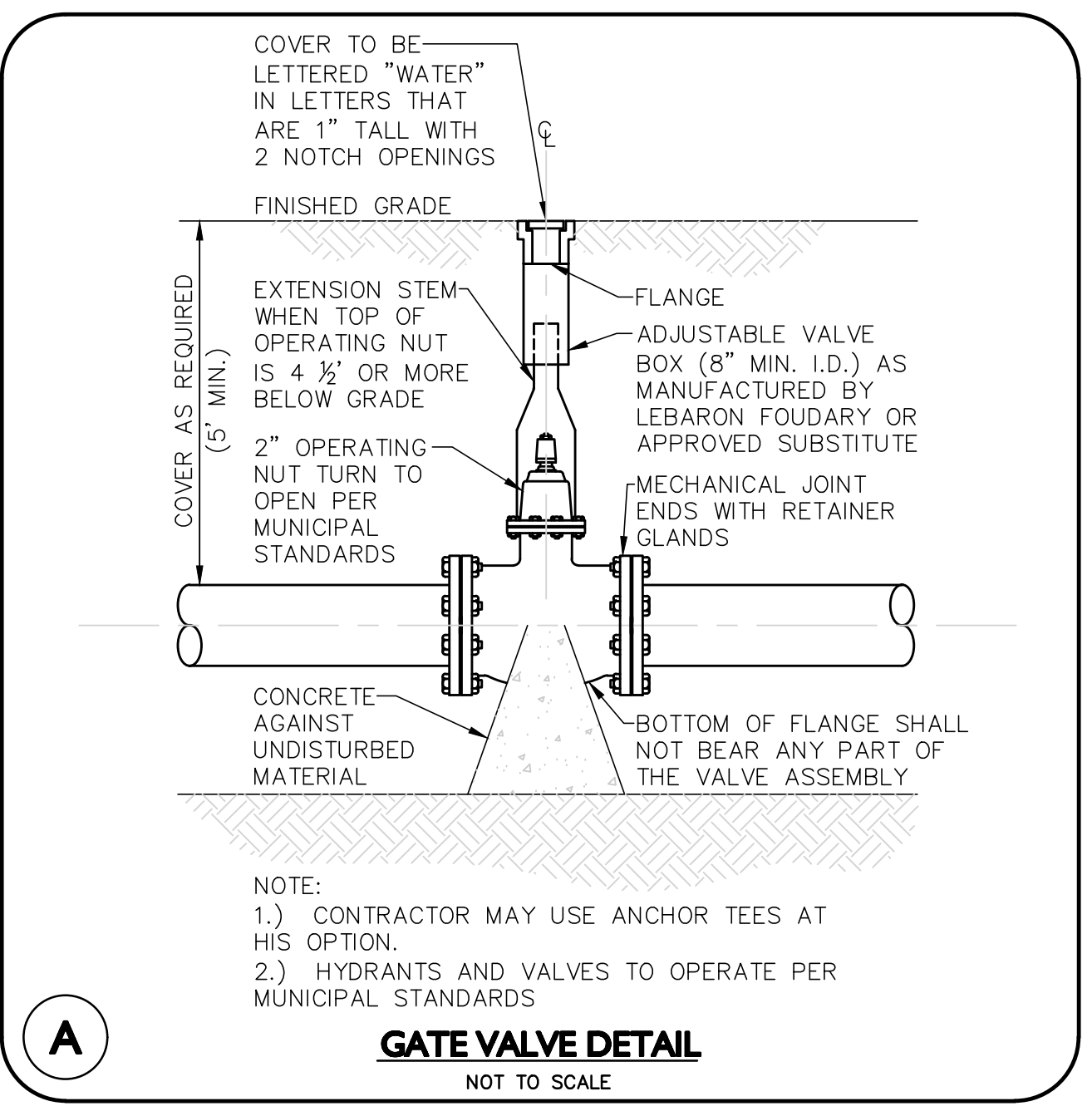
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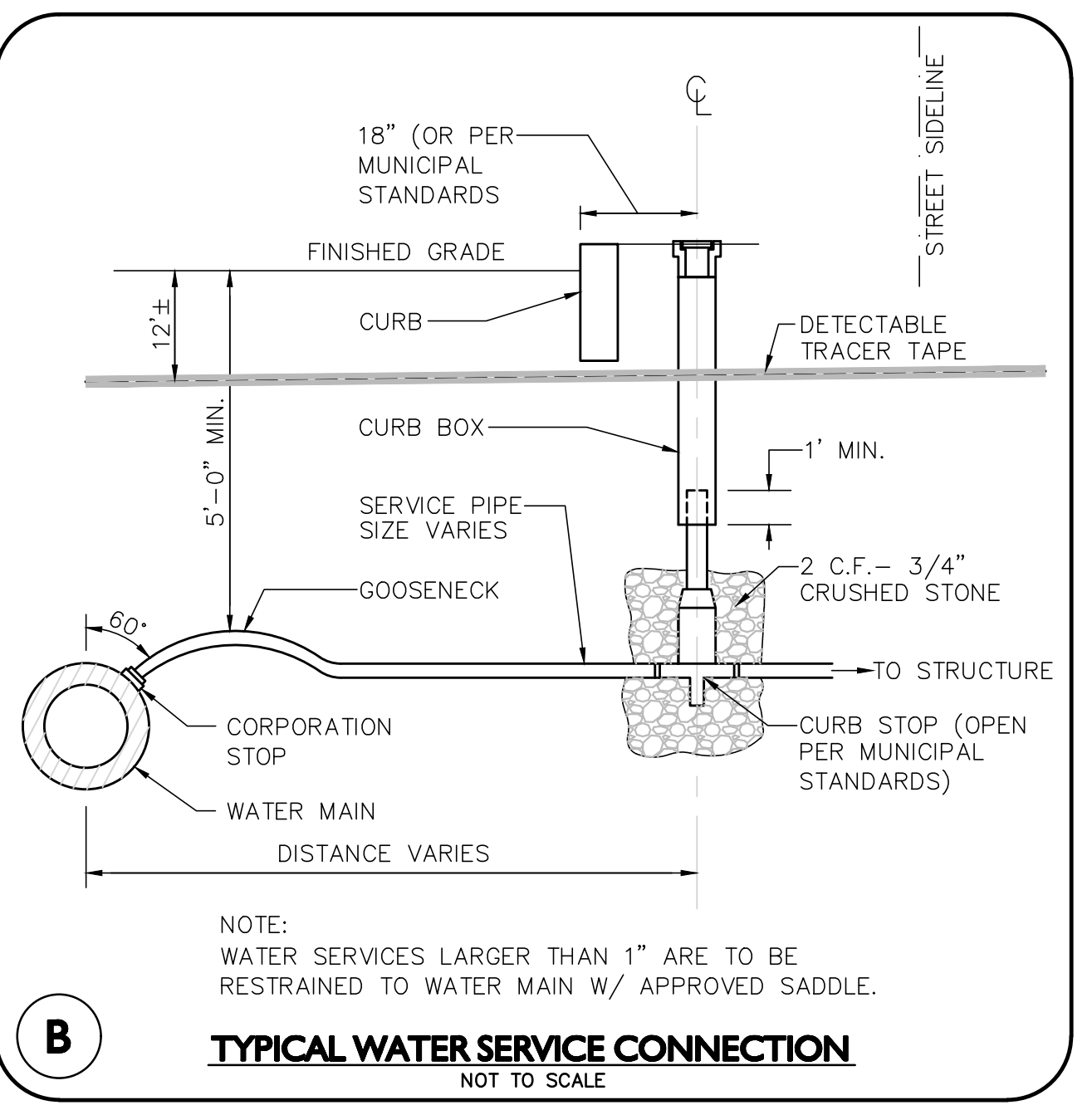
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DETAILS	D-2

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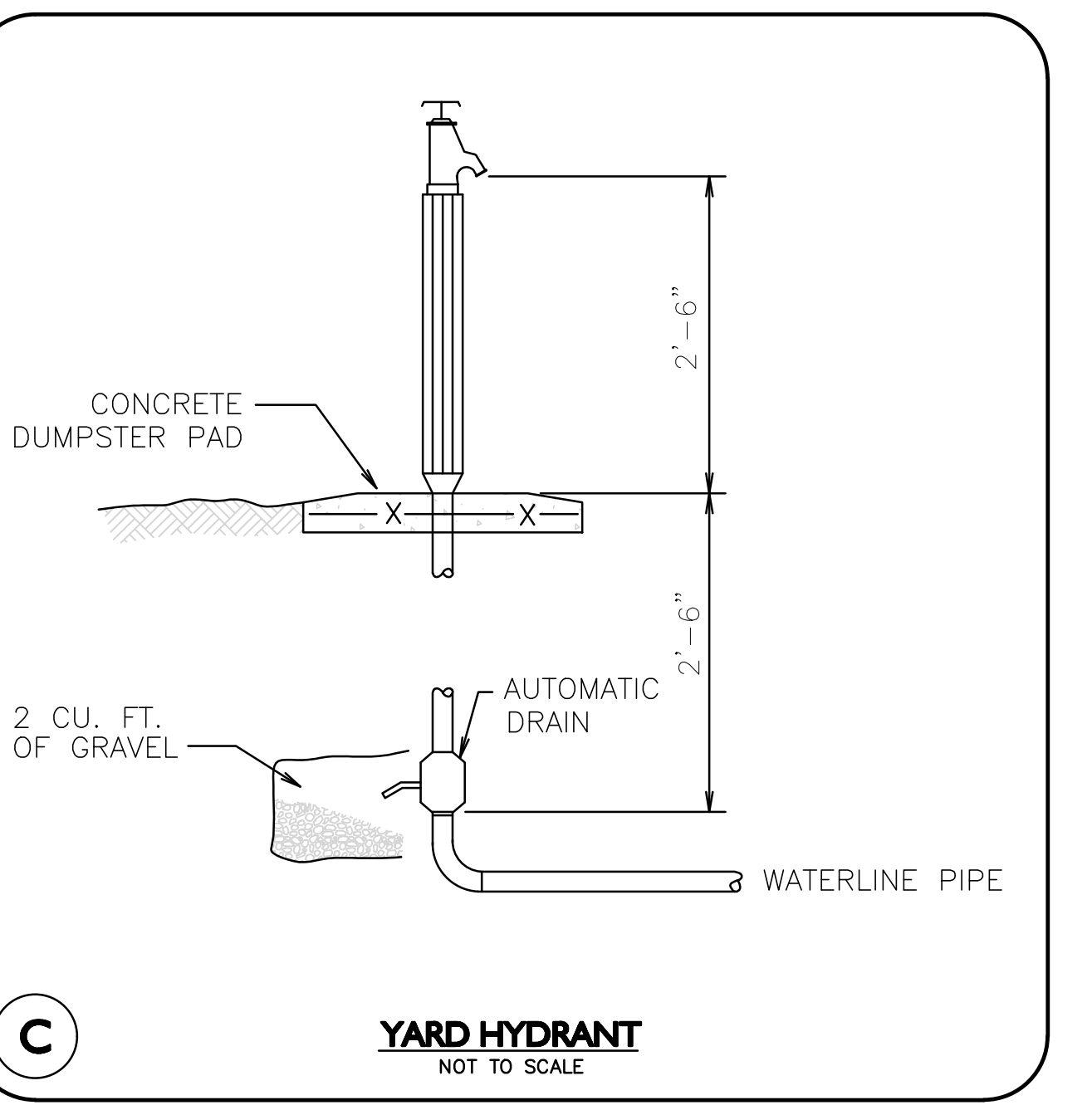
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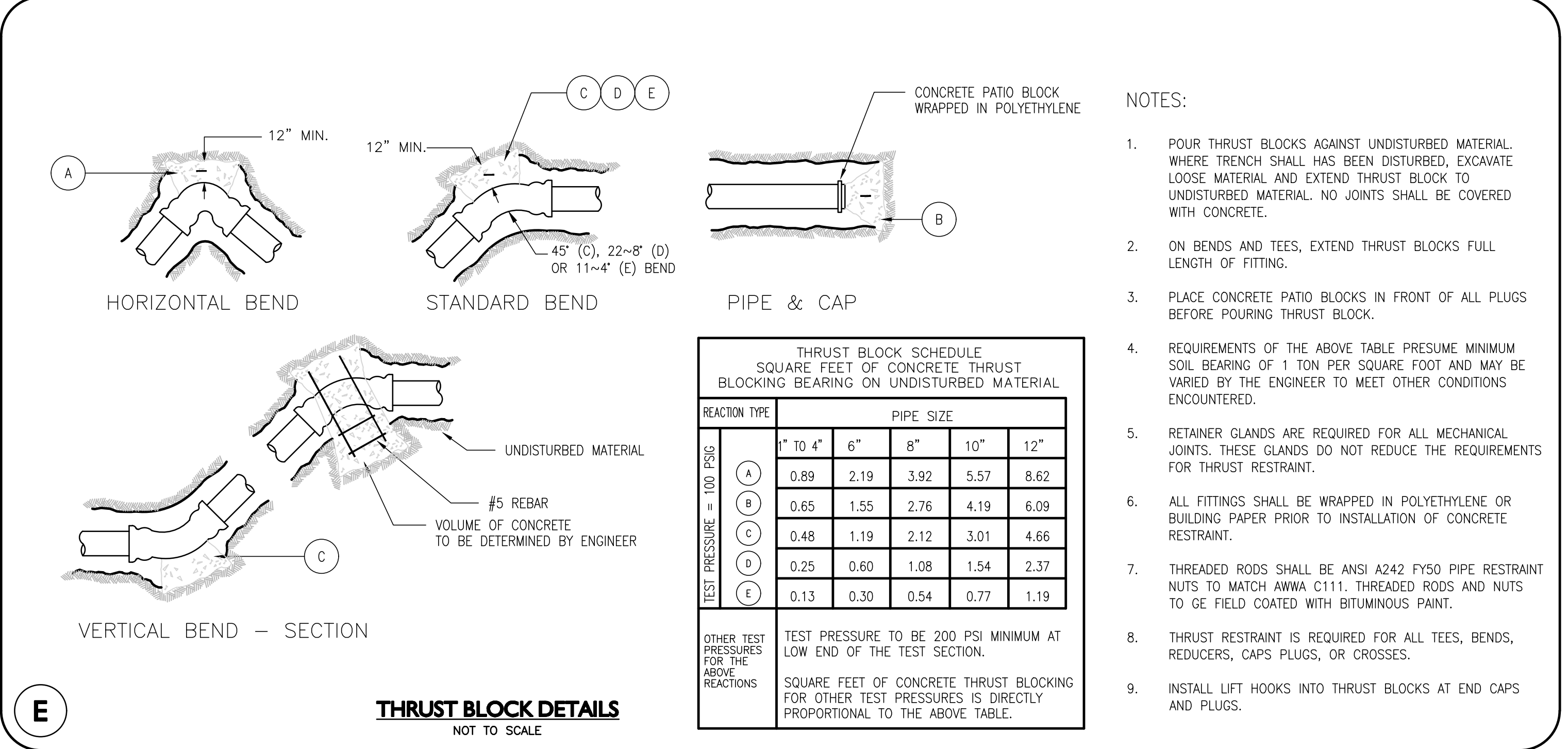
**A** **GATE VALVE DETAIL**  
NOT TO SCALE



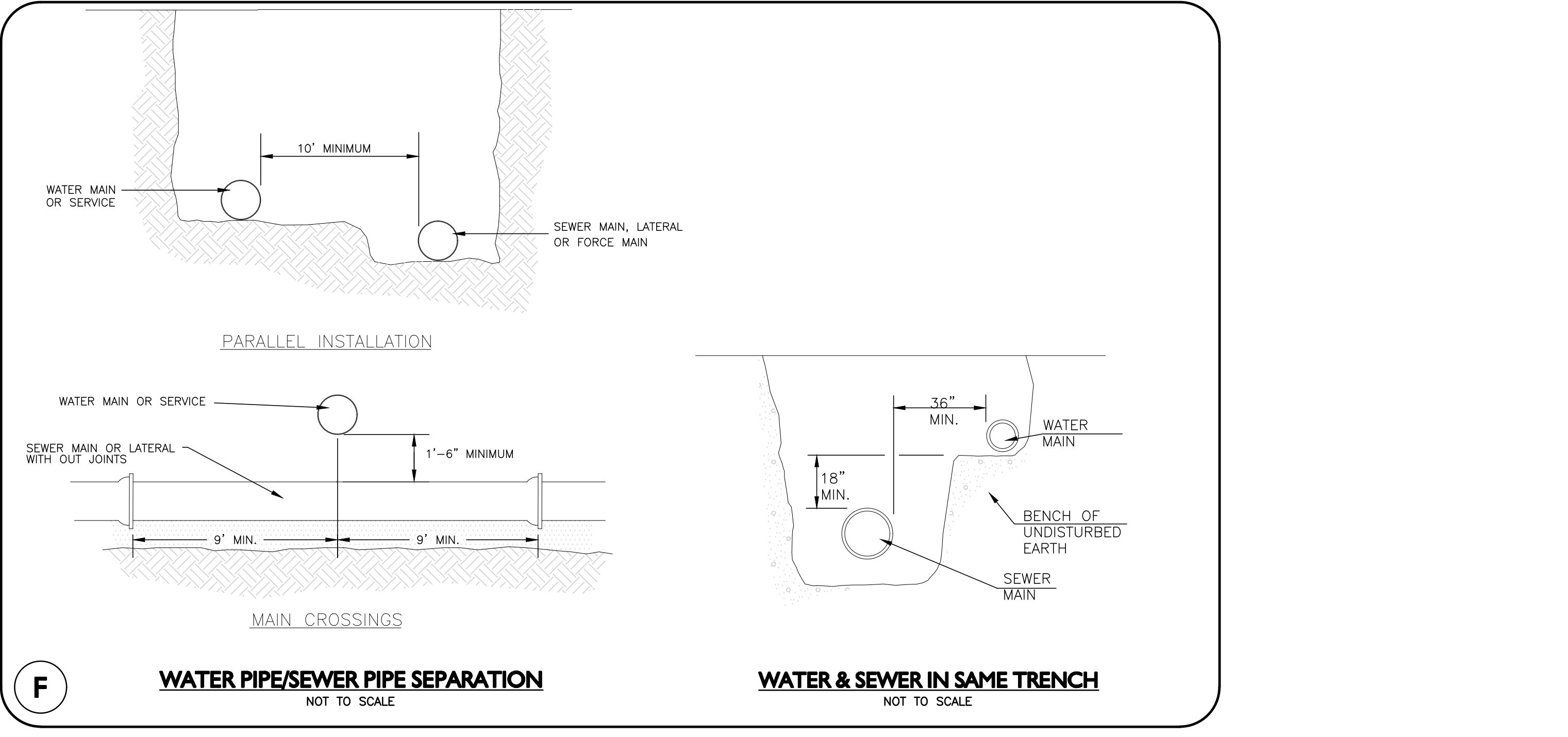
**B** **TYPICAL WATER SERVICE CONNECTION**  
NOT TO SCALE



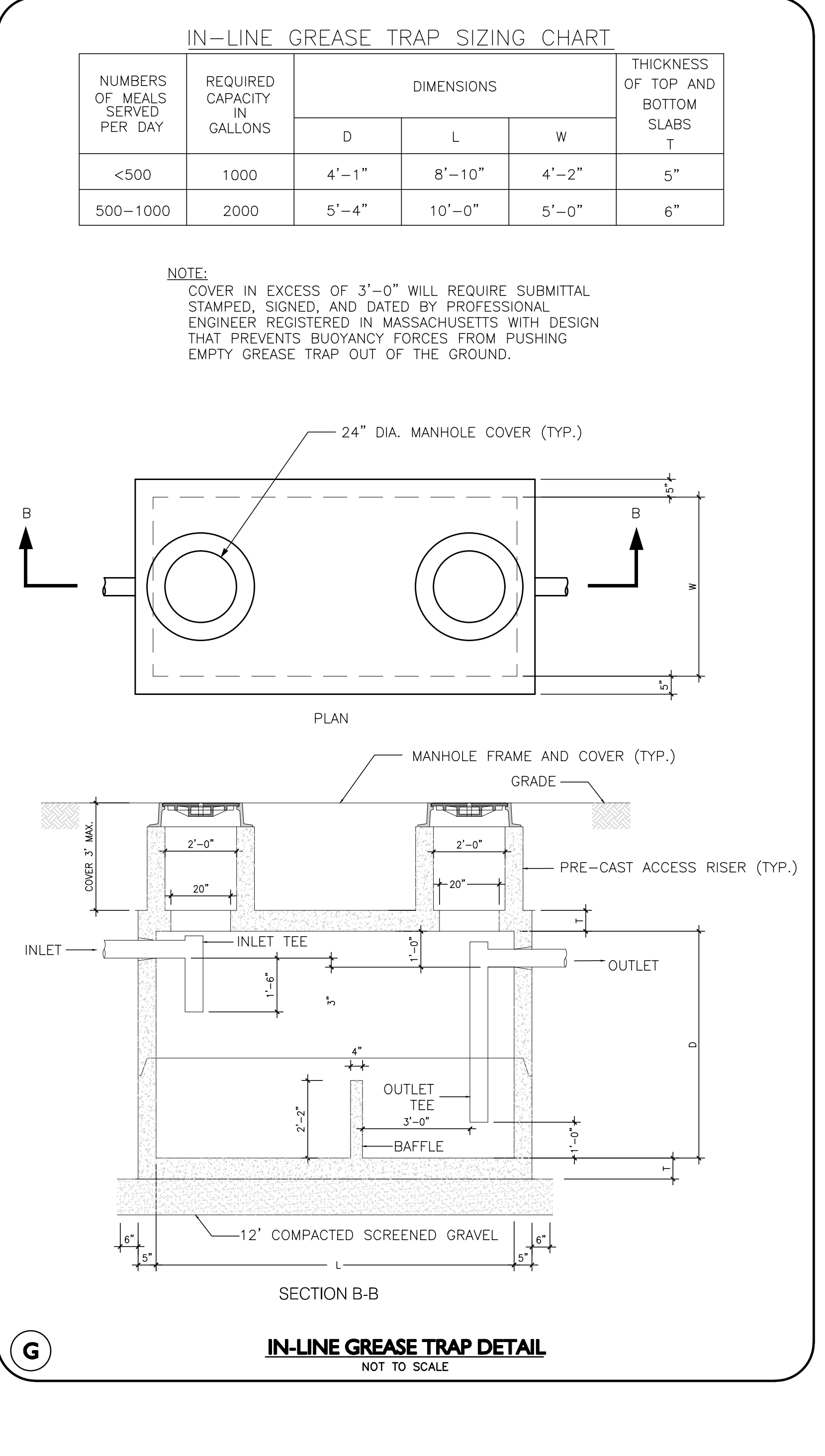
**C** **YARD HYDRANT**  
NOT TO SCALE



**E** **THRUST BLOCK DETAILS**  
NOT TO SCALE



**F** **WATER PIPE/SEWER PIPE SEPARATION**  
NOT TO SCALE



**G** **IN-LINE GREASE TRAP DETAIL**  
NOT TO SCALE



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

OWNER: SOMERBRIDGE HOTEL LLC  
c/o XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

PROJECT: 145 ROOM HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA  
1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: OCTOBER 15, 2025  
SCALE: AS SHOWN DWG.: 1362-16Detail  
DESIGNED BY: SM CHECKED BY: MM

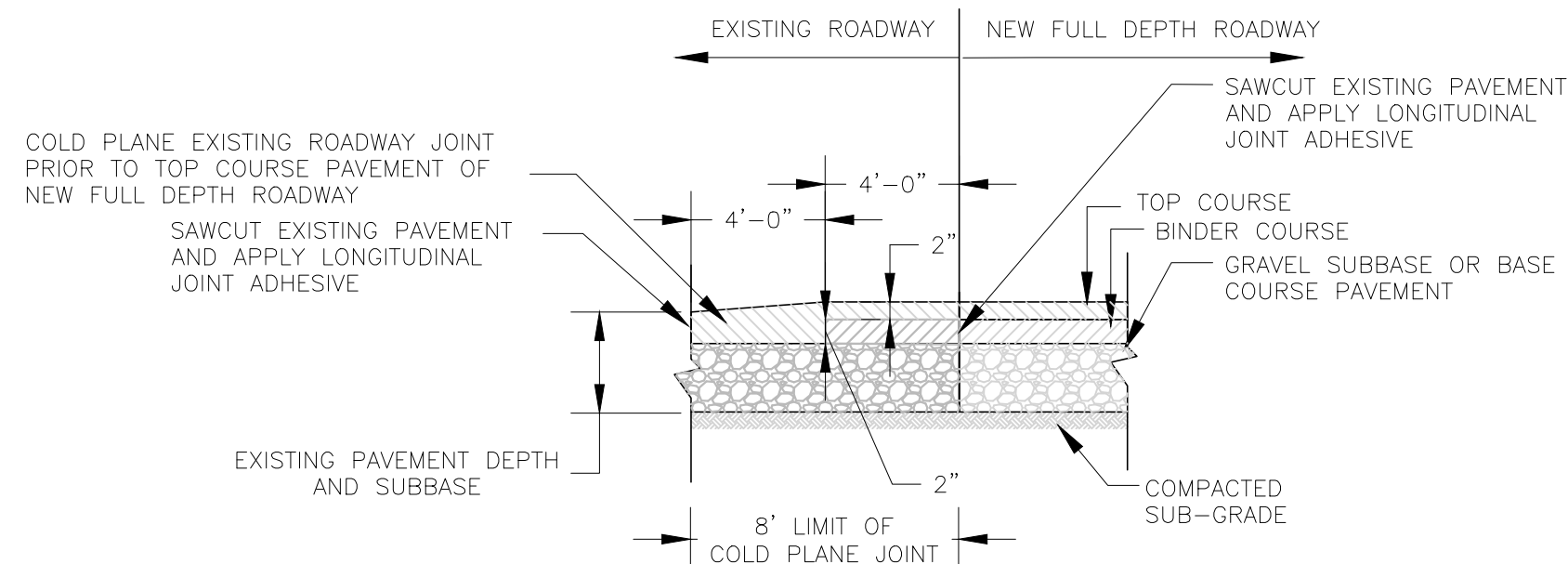
PREPARED BY:

**ALLEN & MAJOR ASSOCIATES, INC.**  
civil engineering • land surveying  
environmental consulting • landscape architecture  
www.allenmajor.com  
400 HARVEY ROAD  
MANCHESTER, NH 03103  
TEL: (603) 627-5500  
FAX: (603) 627-5501

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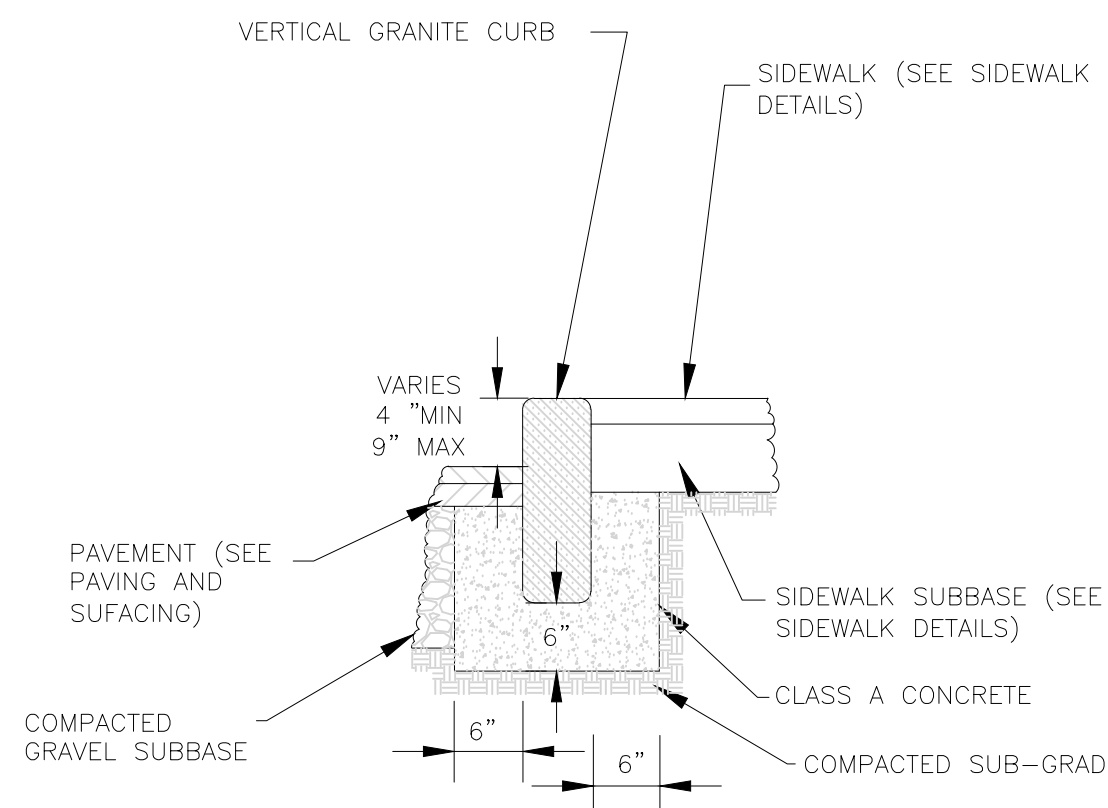
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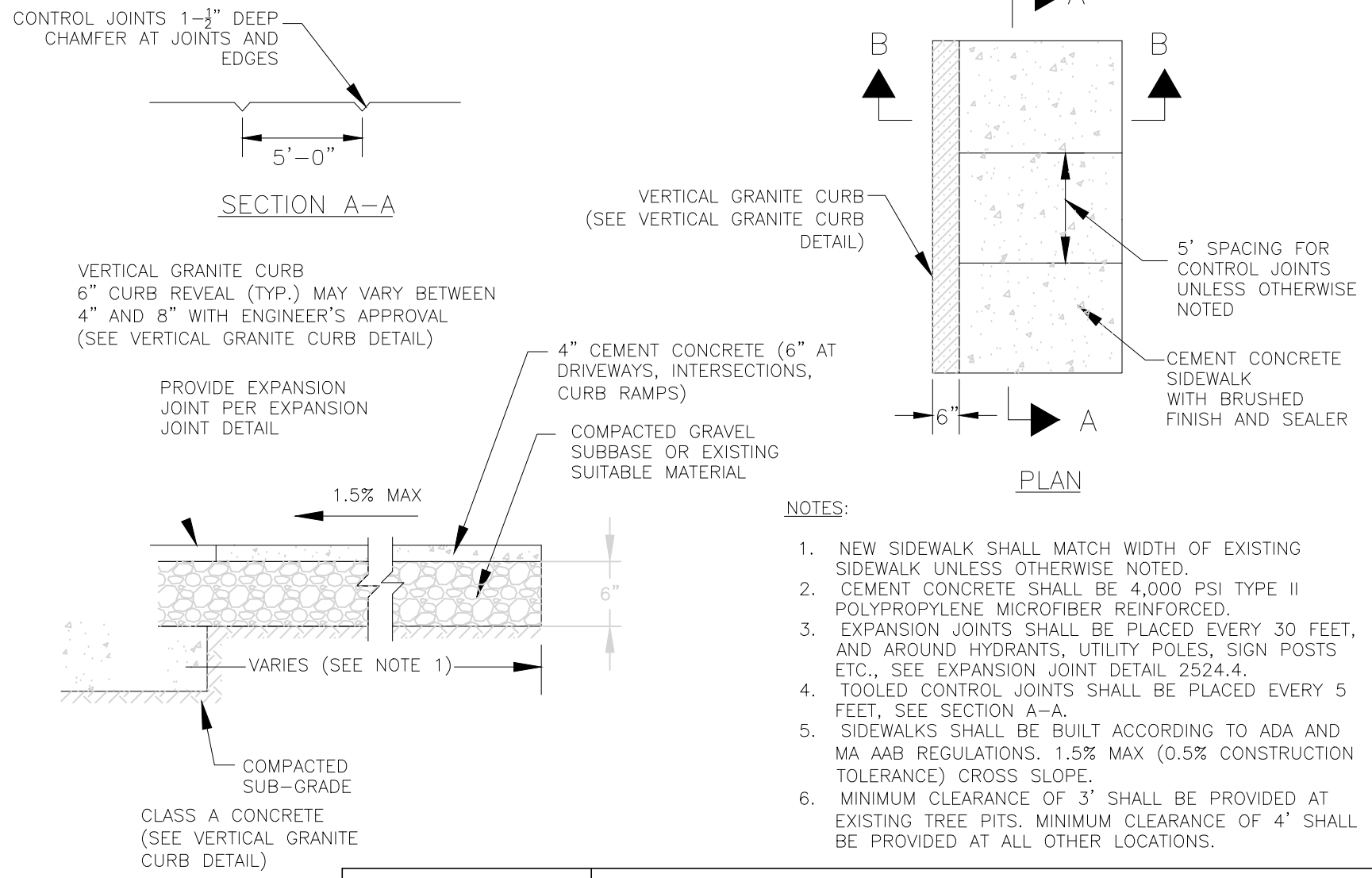


NOTES:  
1. CLEAN ALL COLD PLANED SURFACES BEFORE APPLYING JOINT ADHESIVE AND FINAL PAVEMENT

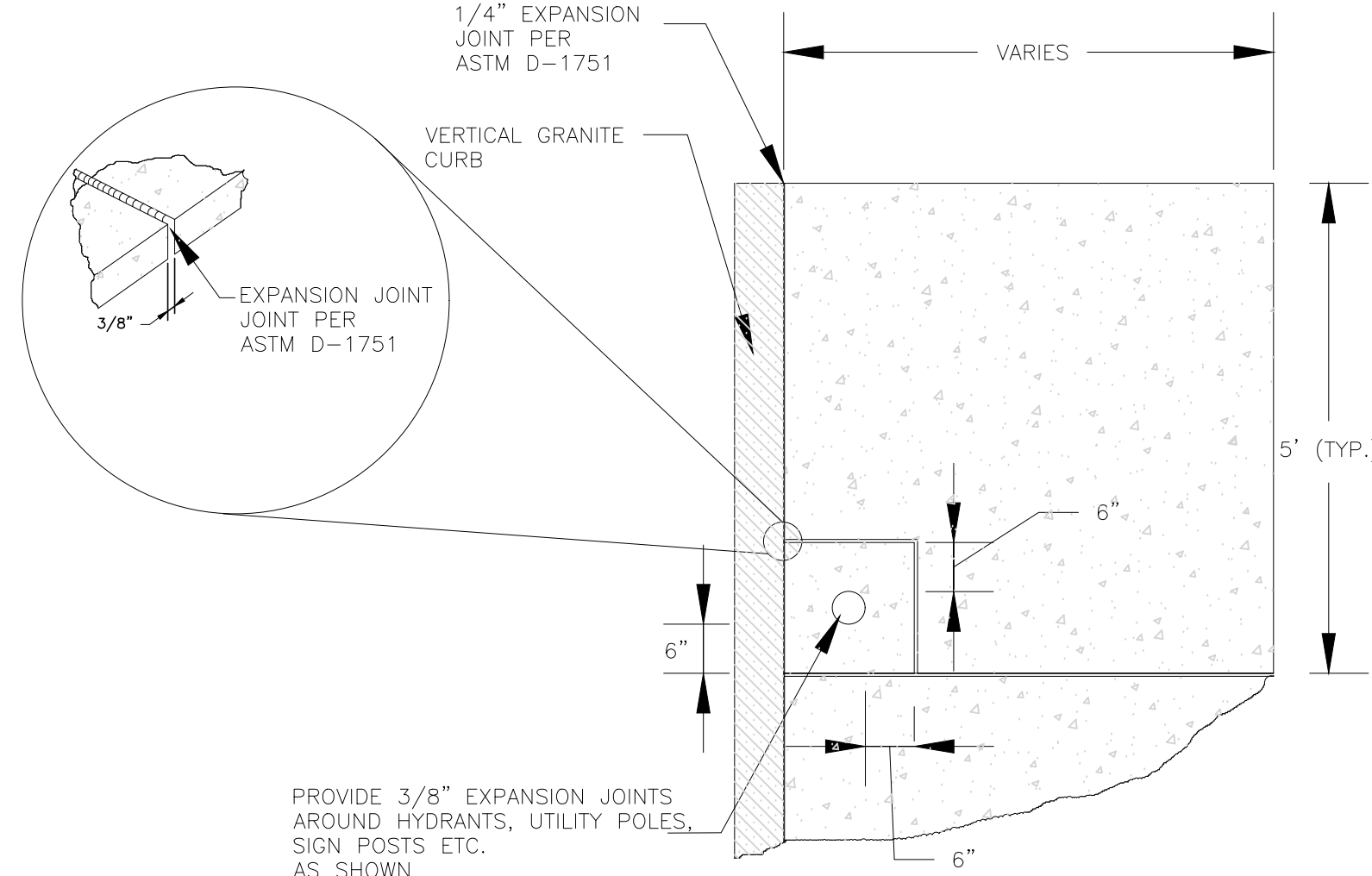
<b>FULL DEPTH PAVEMENT JOINT DETAIL</b>				
CITY OF CAMBRIDGE STANDARD SPECIFICATIONS AND DETAILS				
SCALE: N.T.S.	DATE OF ISSUE: 02/05	SPEC. SECTION REF#: 02500	2500.3	



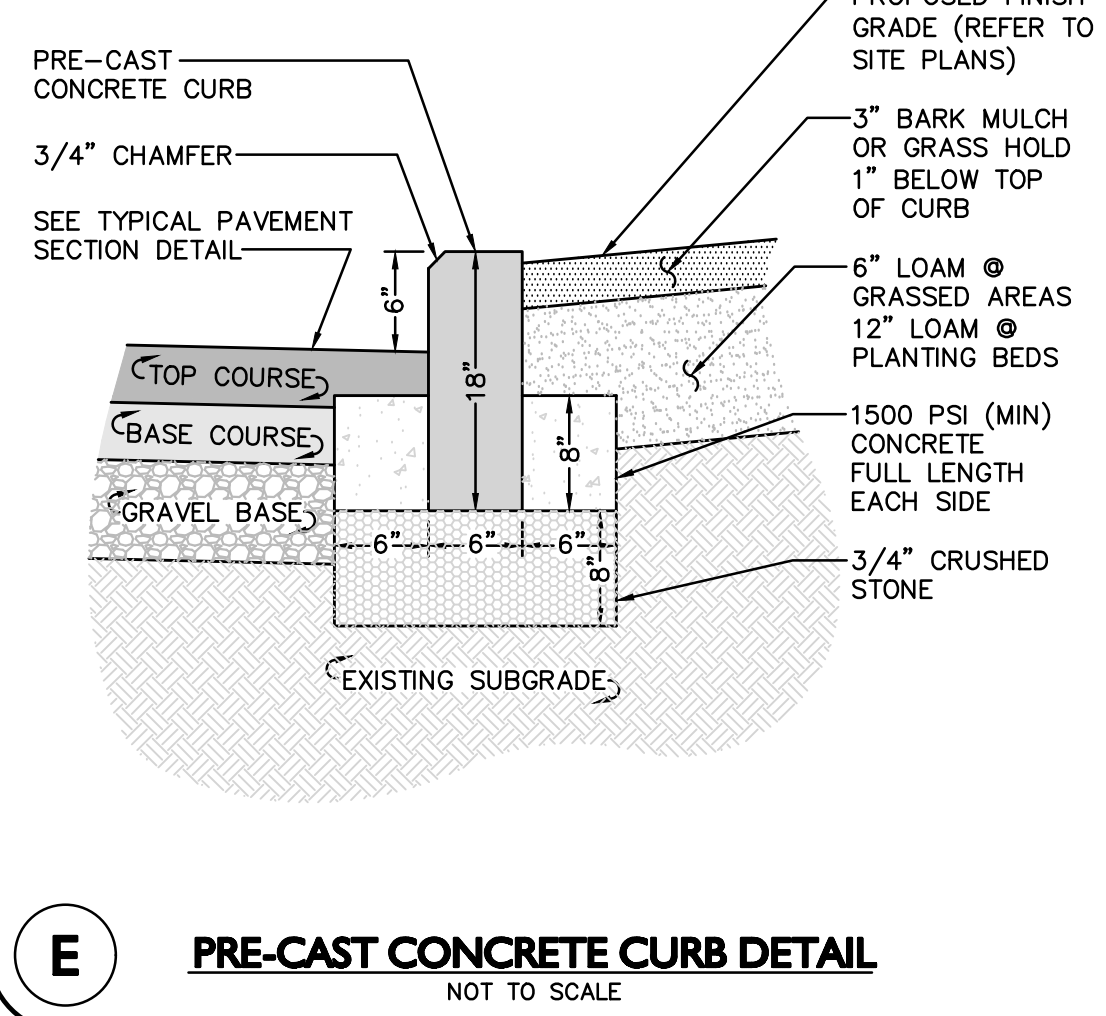
<b>VERTICAL GRANITE CURB DETAIL</b>				
CITY OF CAMBRIDGE STANDARD SPECIFICATIONS AND DETAILS				
SCALE: N.T.S.	DATE OF ISSUE: 02/05	SPEC. SECTION REF#: 02524	2524.1	



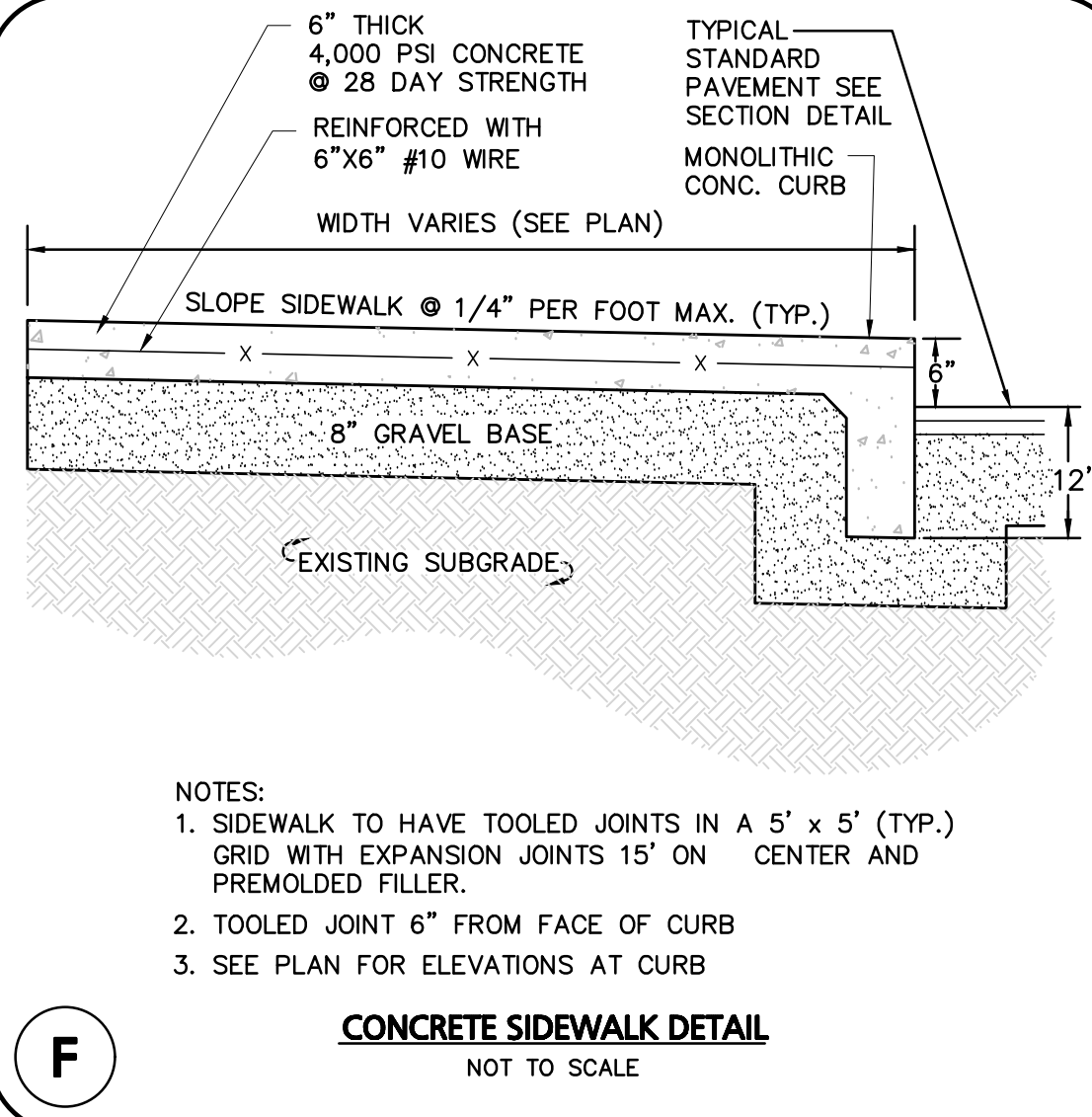
<b>CEMENT CONCRETE SIDEWALK DETAIL</b>				
CITY OF CAMBRIDGE STANDARD SPECIFICATIONS AND DETAILS				
SCALE: N.T.S.	DATE OF ISSUE: 10/21	SPEC. SECTION REF#: 02524	2524.3	



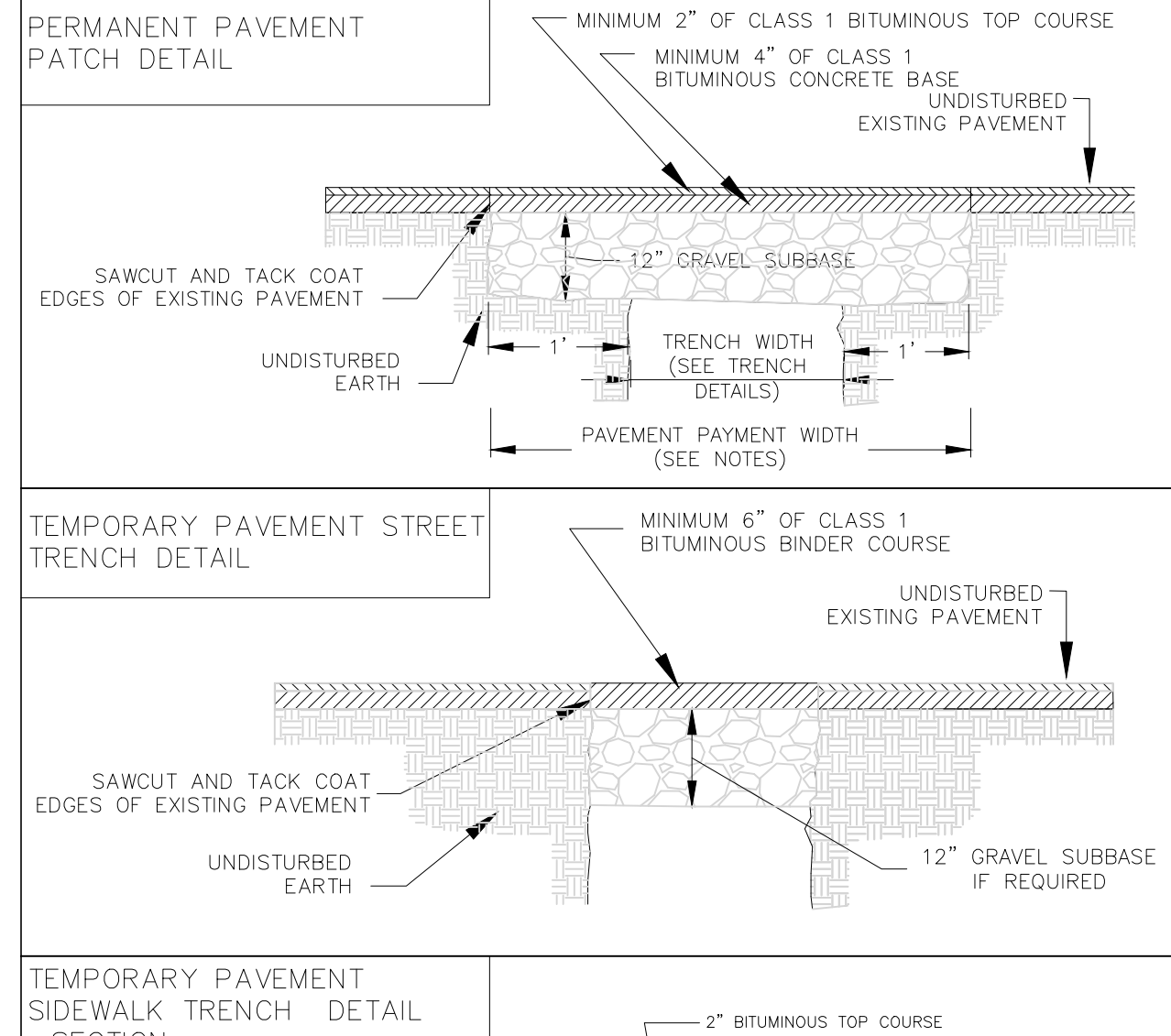
<b>SIDEWALK EXPANSION JOINT DETAIL</b>				
CITY OF CAMBRIDGE STANDARD SPECIFICATIONS AND DETAILS				
SCALE: N.T.S.	DATE OF ISSUE: 02/05	SPEC. SECTION REF#: 02524	2524.4	



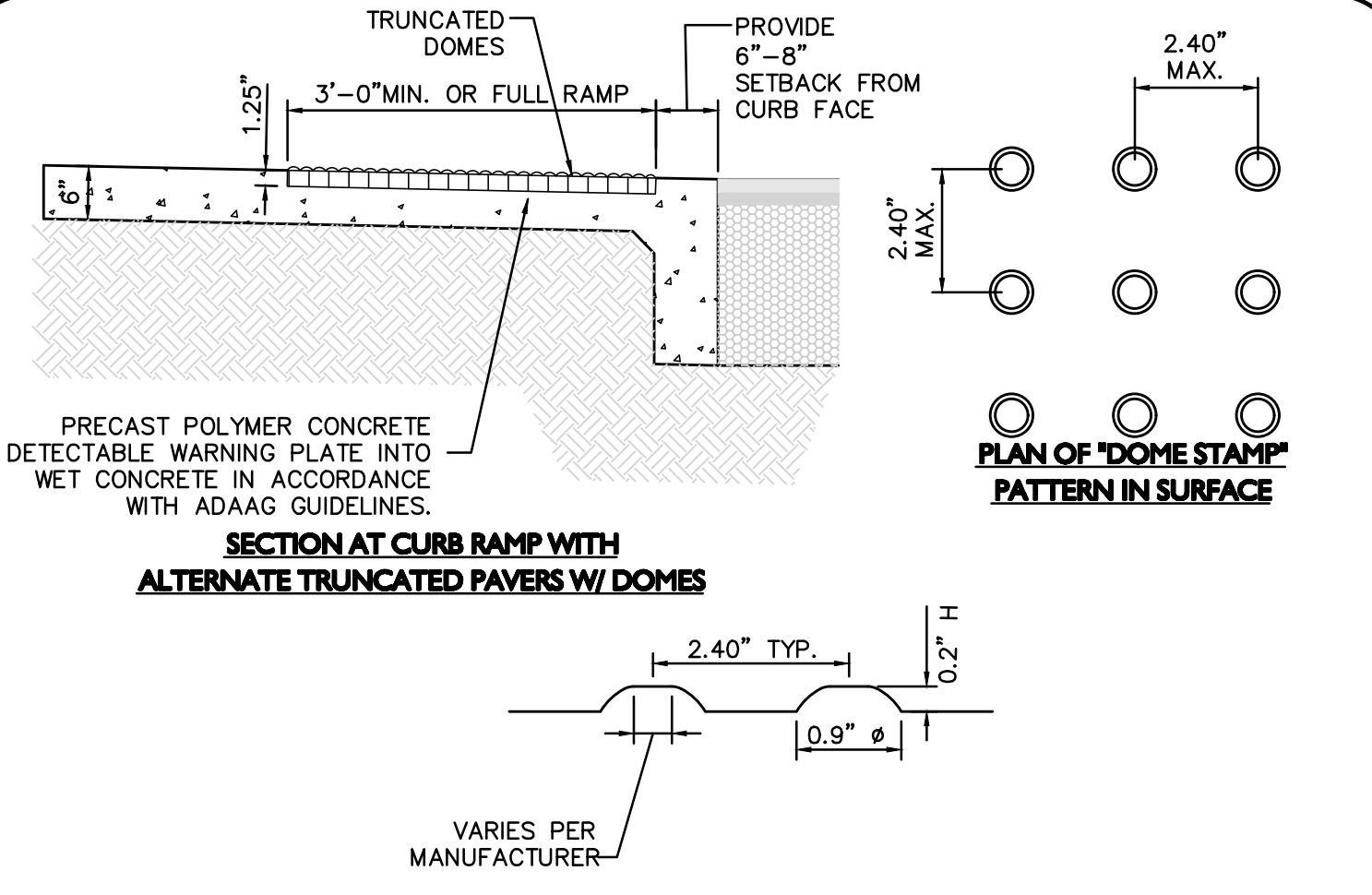
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NOT TO SCALE



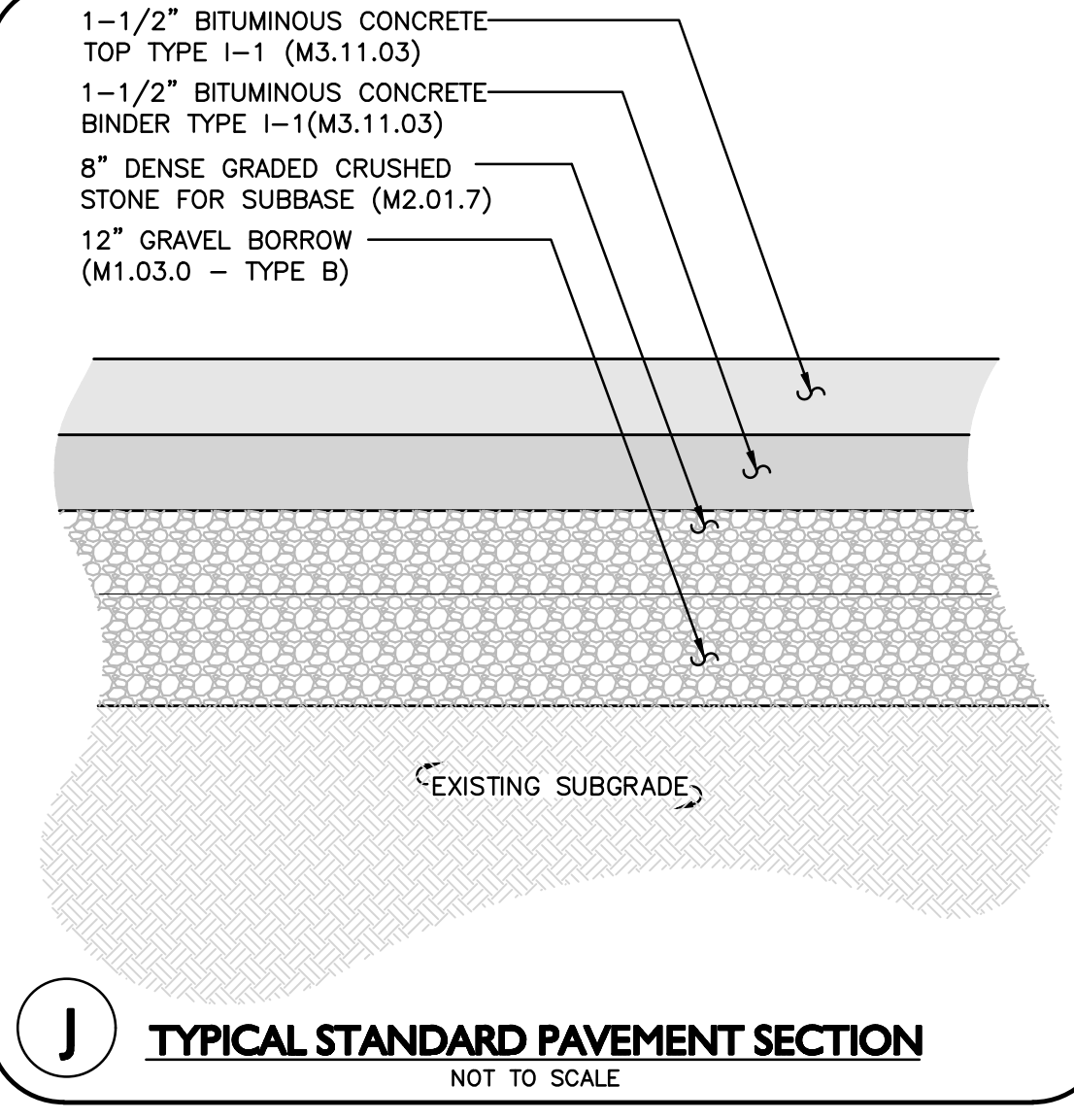
**F CONCRETE SIDEWALK DETAIL**  
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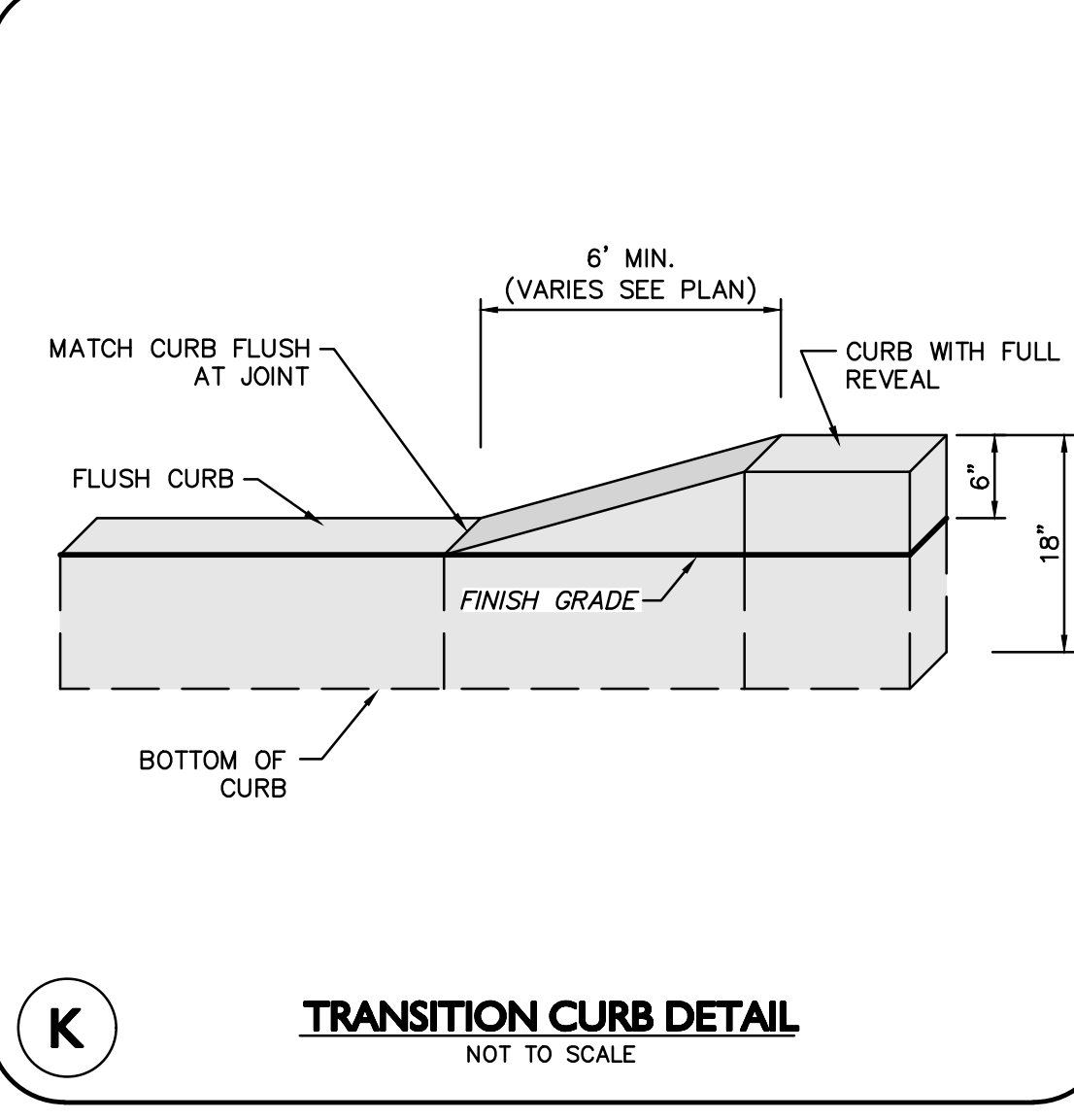
**G TEMPORARY PAVEMENT STREET TRENCH DETAIL**  
NOT TO SCALE



**H CURB RAMP WITH ALTERNATE TRUNCATED DOME PAVERS DETAIL**  
NOT TO SCALE



**J TYPICAL STANDARD PAVEMENT SECTION**  
NOT TO SCALE



**K TRANSITION CURB DETAIL**  
NOT TO SCALE



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

**OWNER:**  
SOMERBRIDGE HOTEL LLC  
c/o XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

**PROJECT:**  
145 ROOM HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA

1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16	DATE: OCTOBER 15, 2025
SCALE: AS SHOWN	DWG.: 1362-16Details
DESIGNED BY: SM	CHECKED BY: MM

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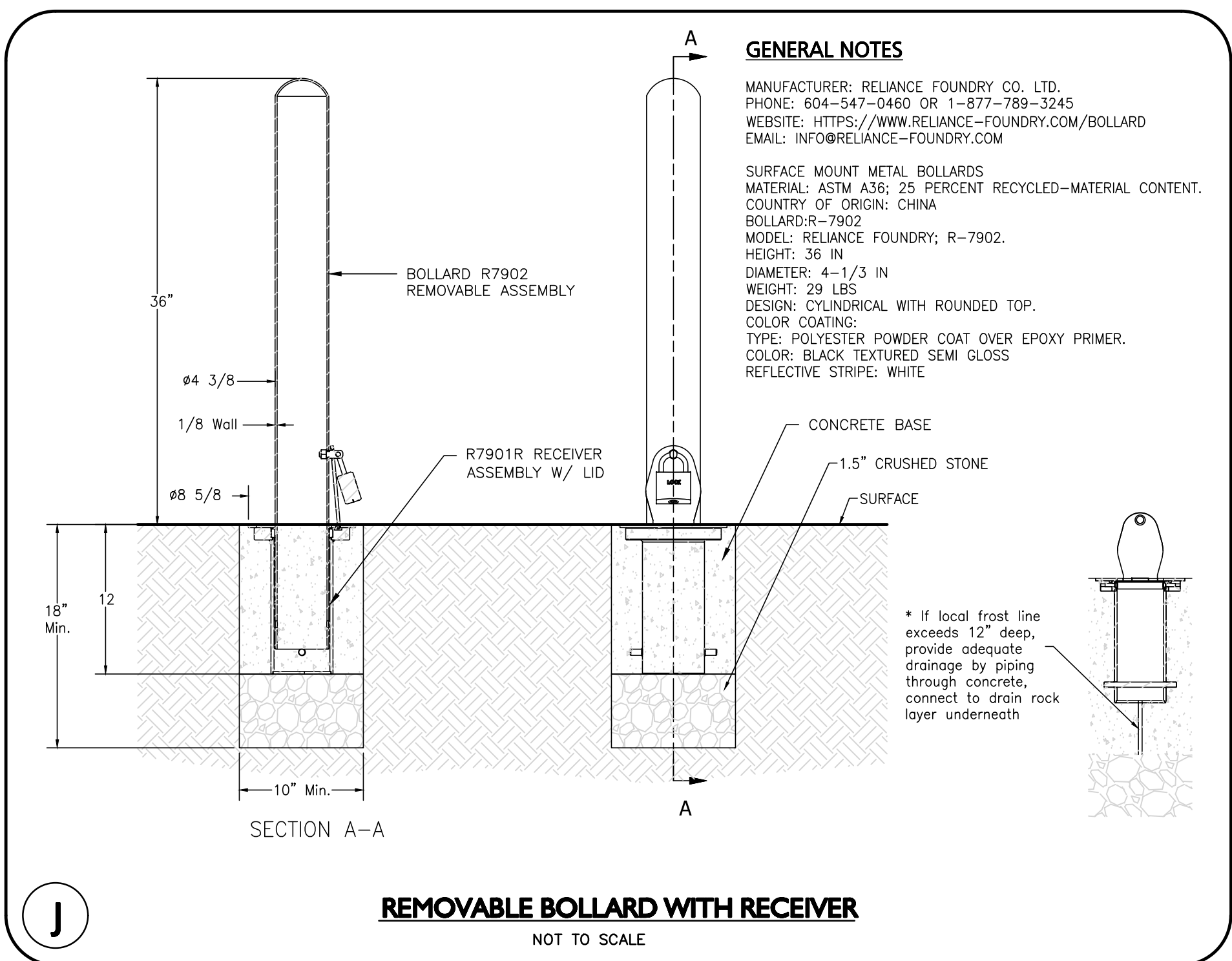
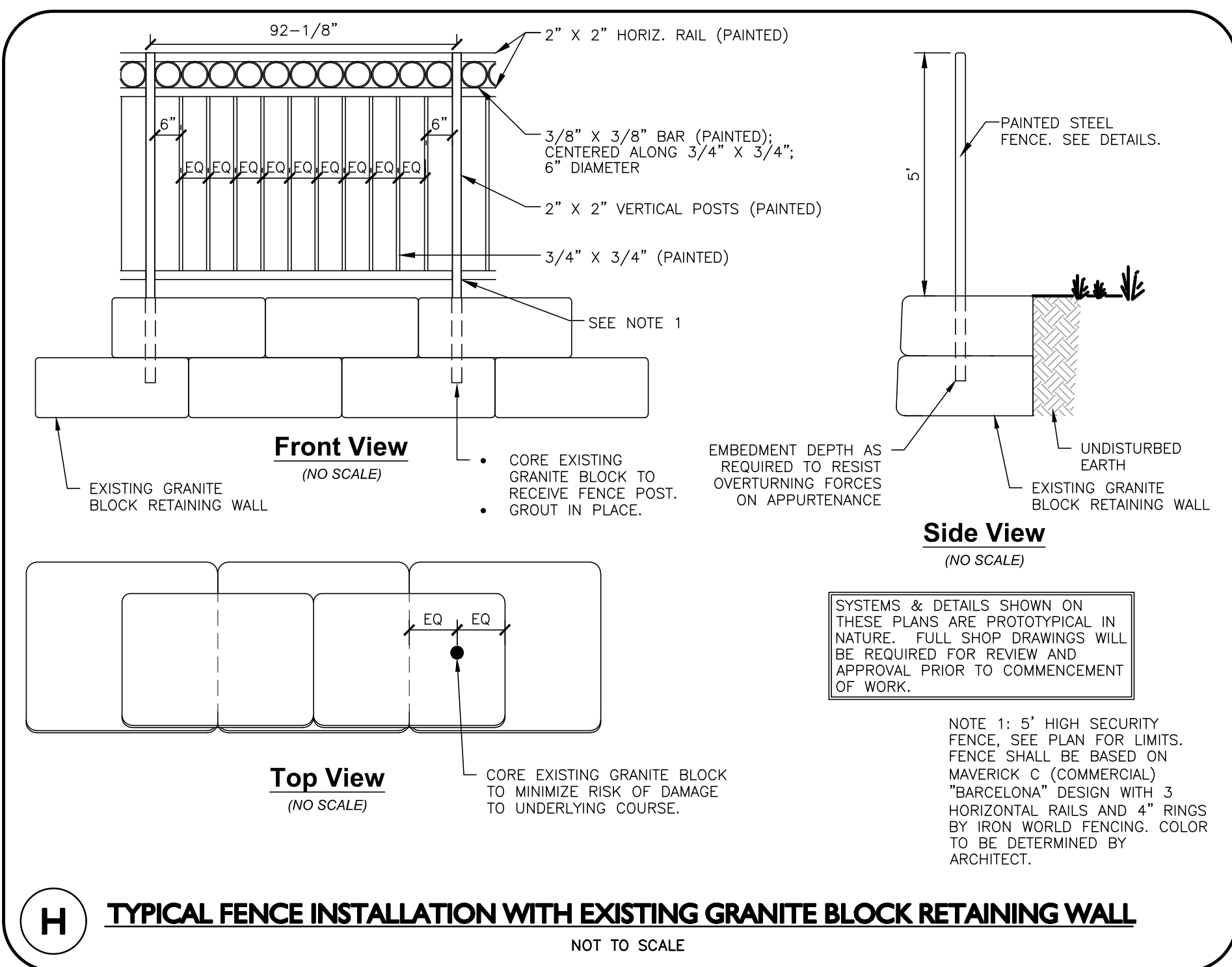
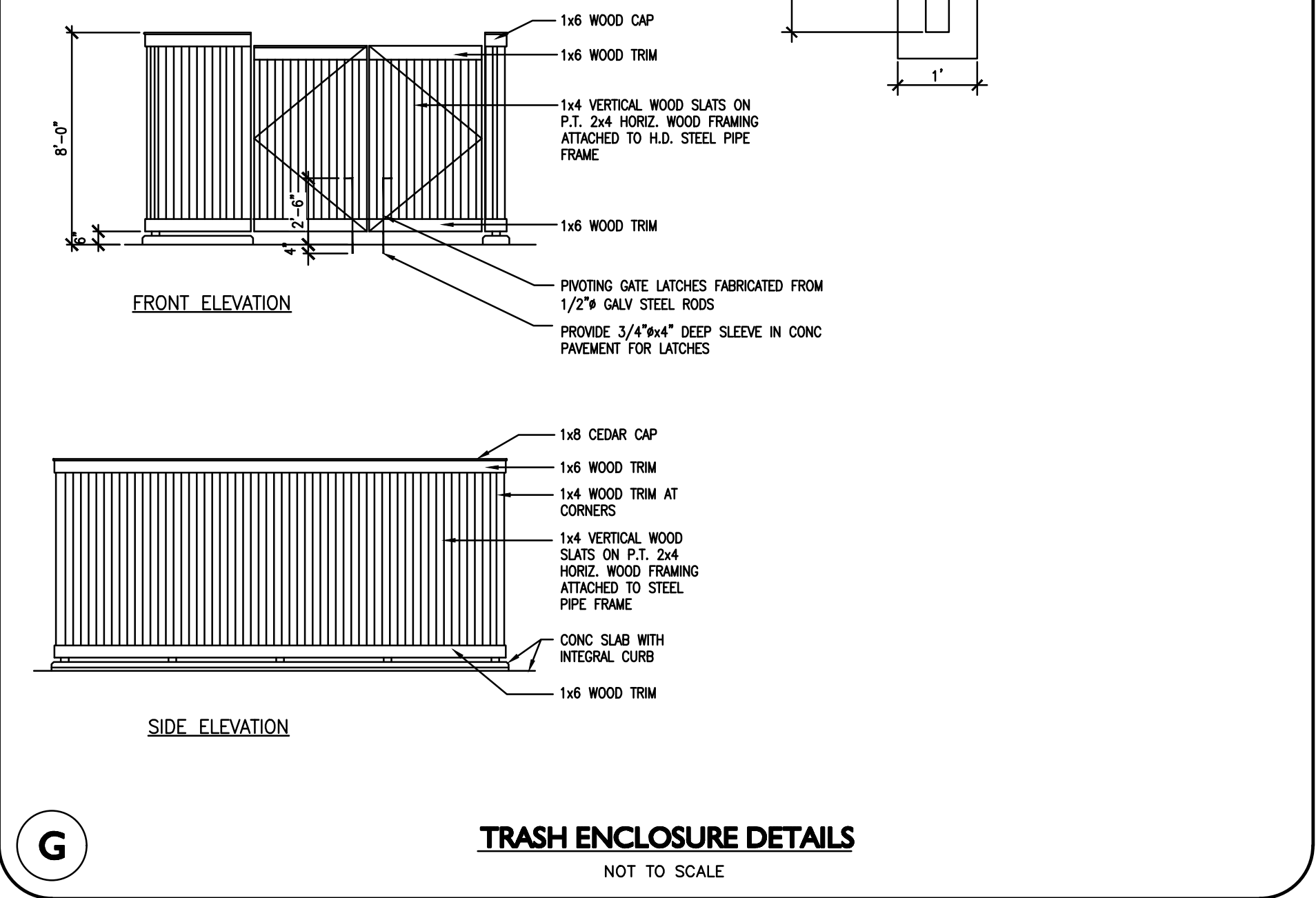
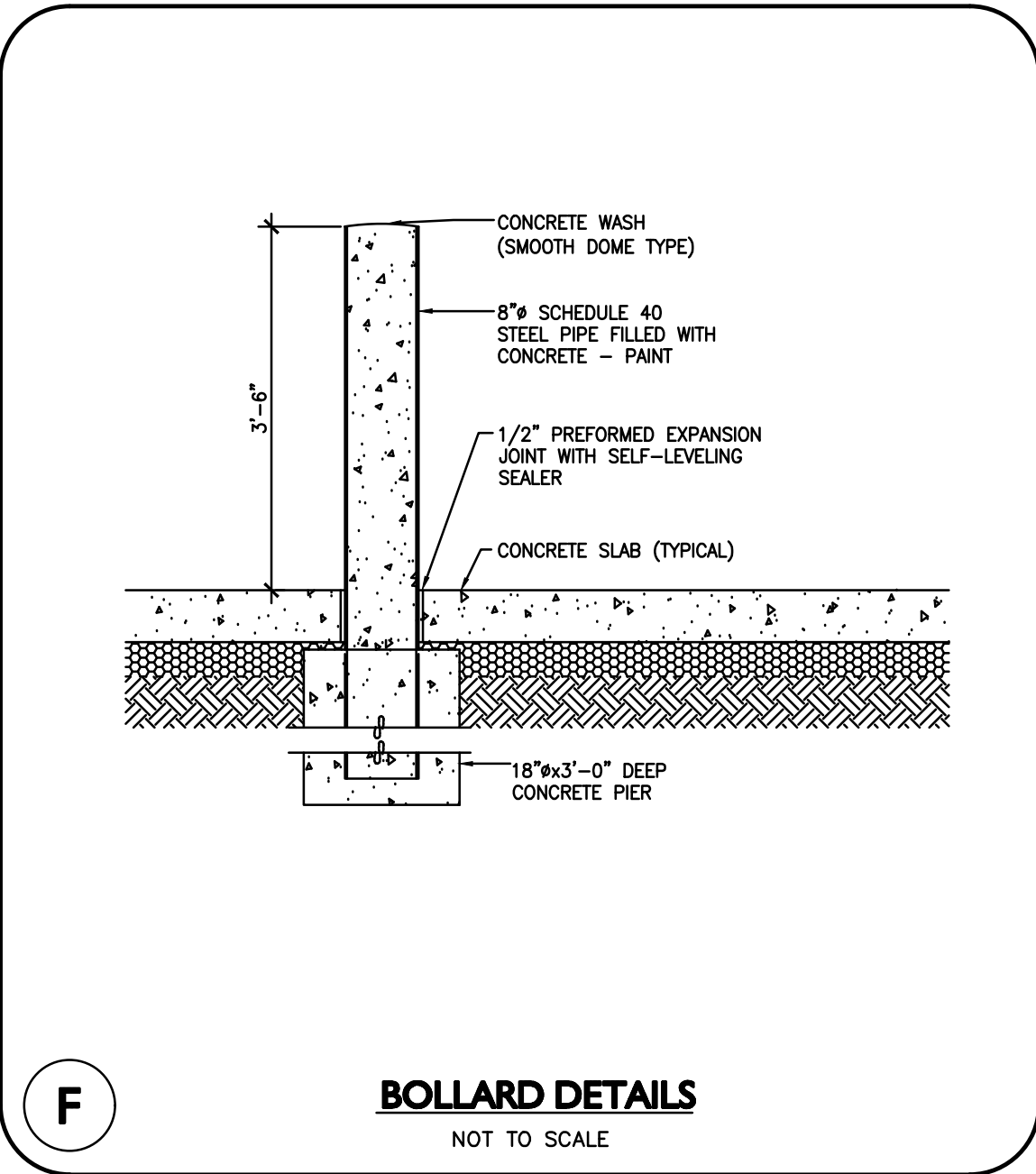
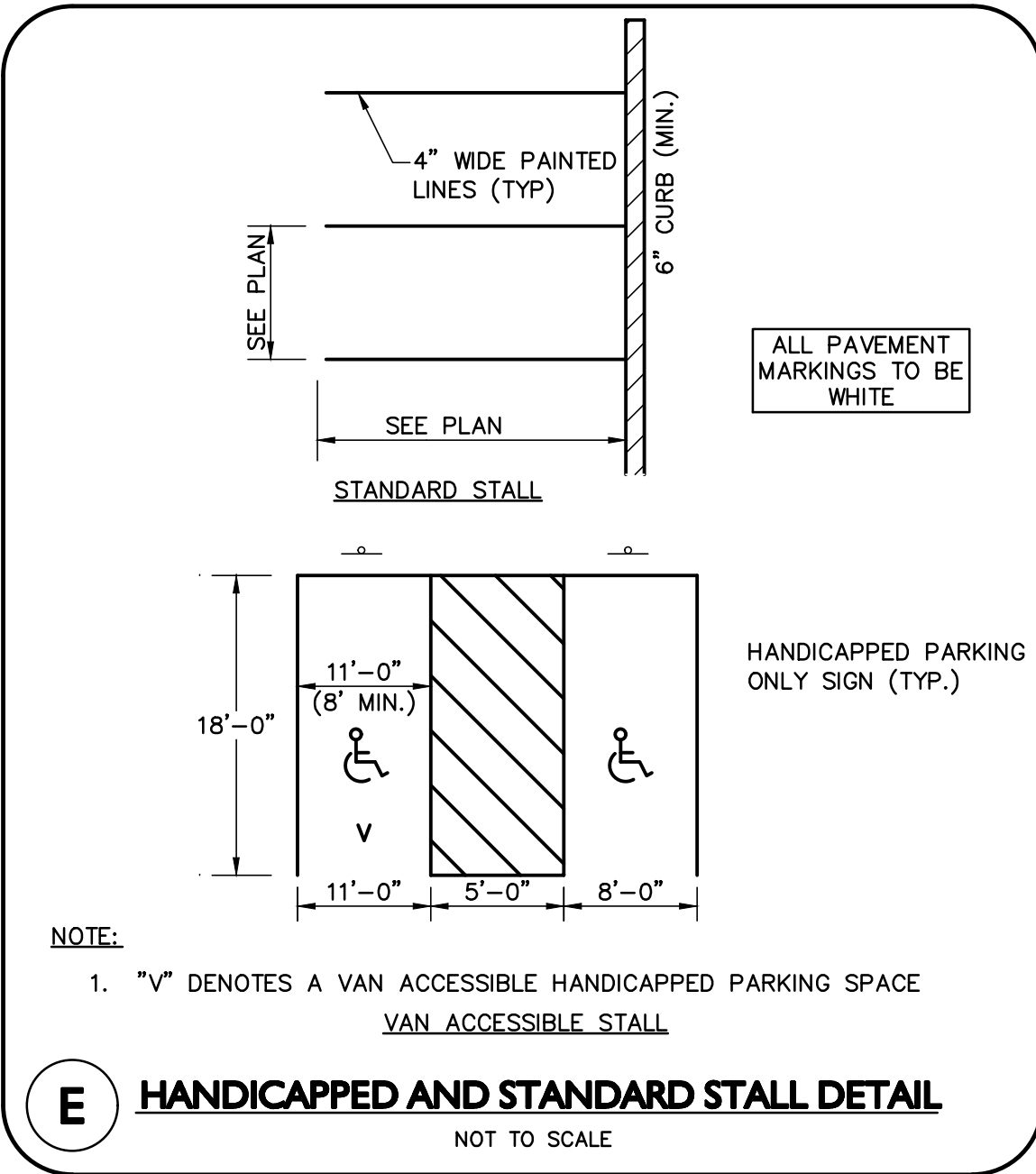
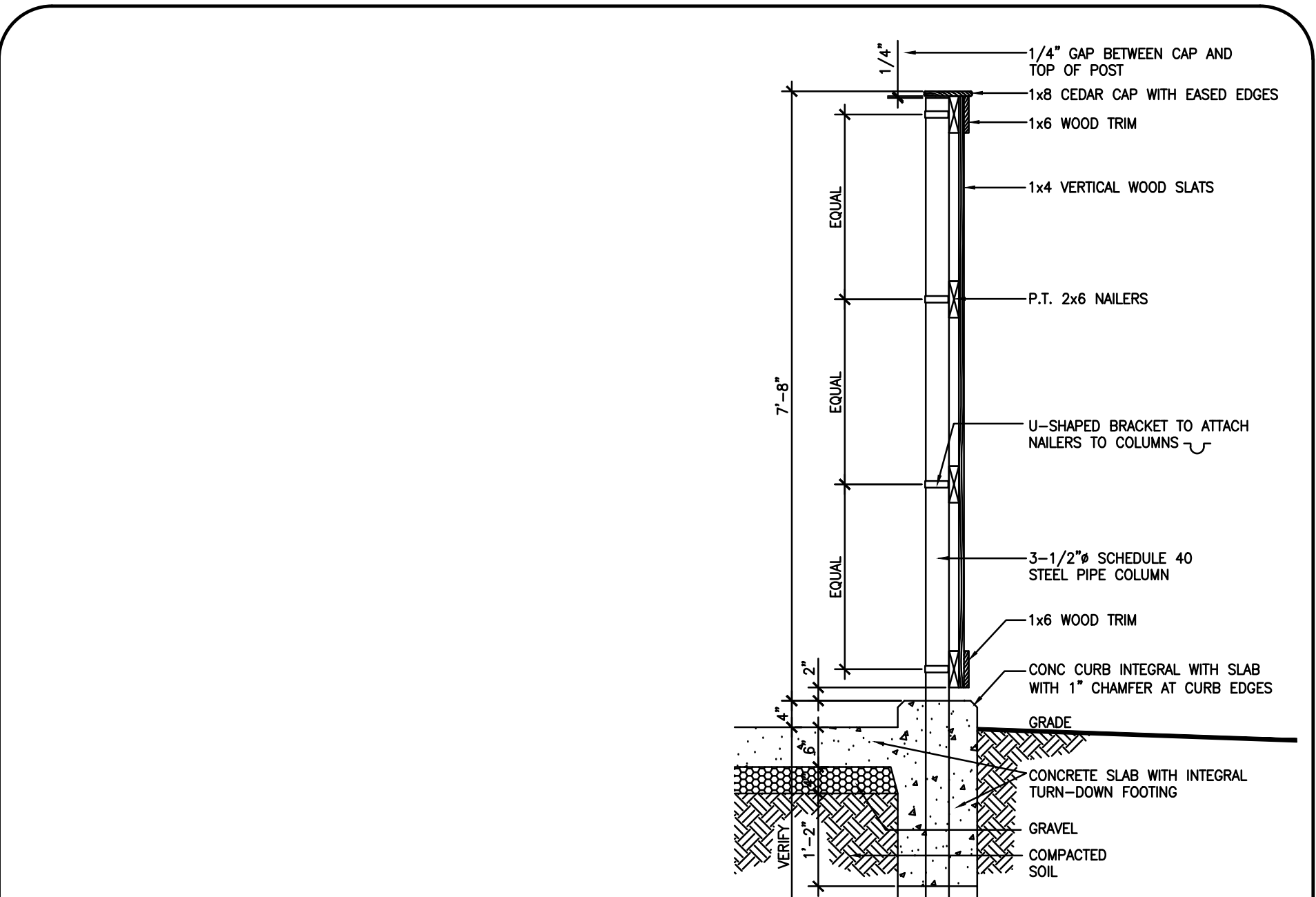
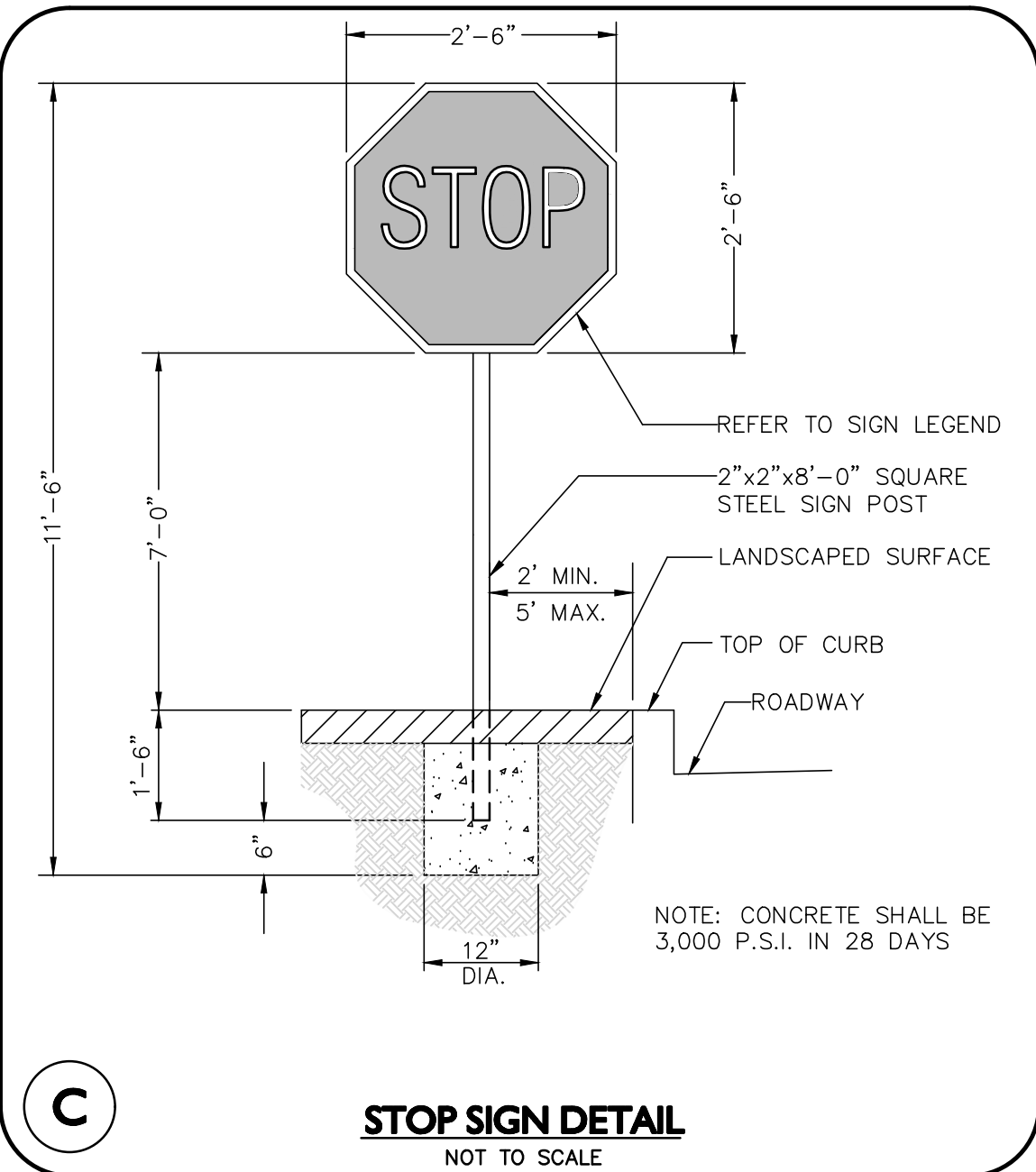
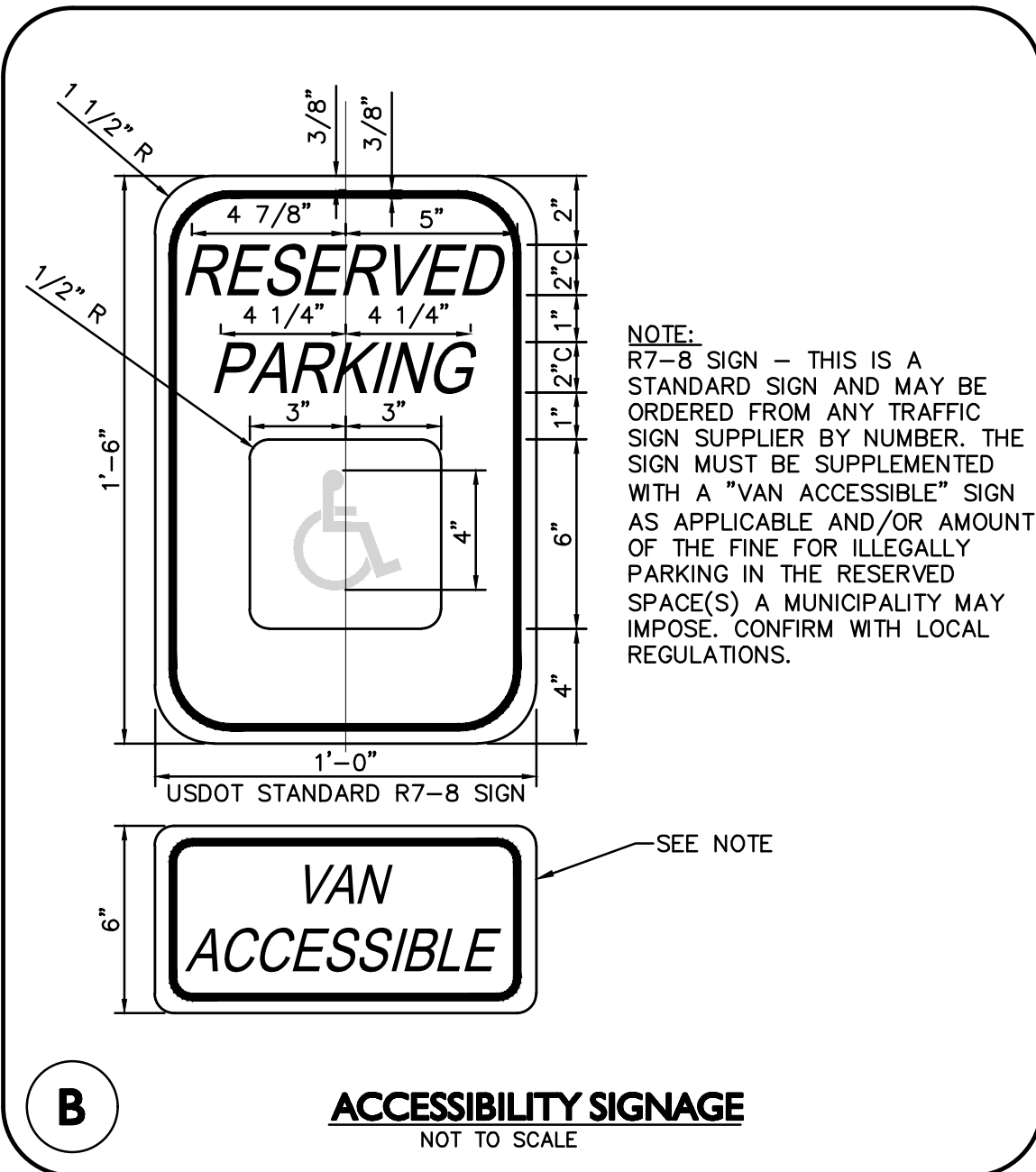
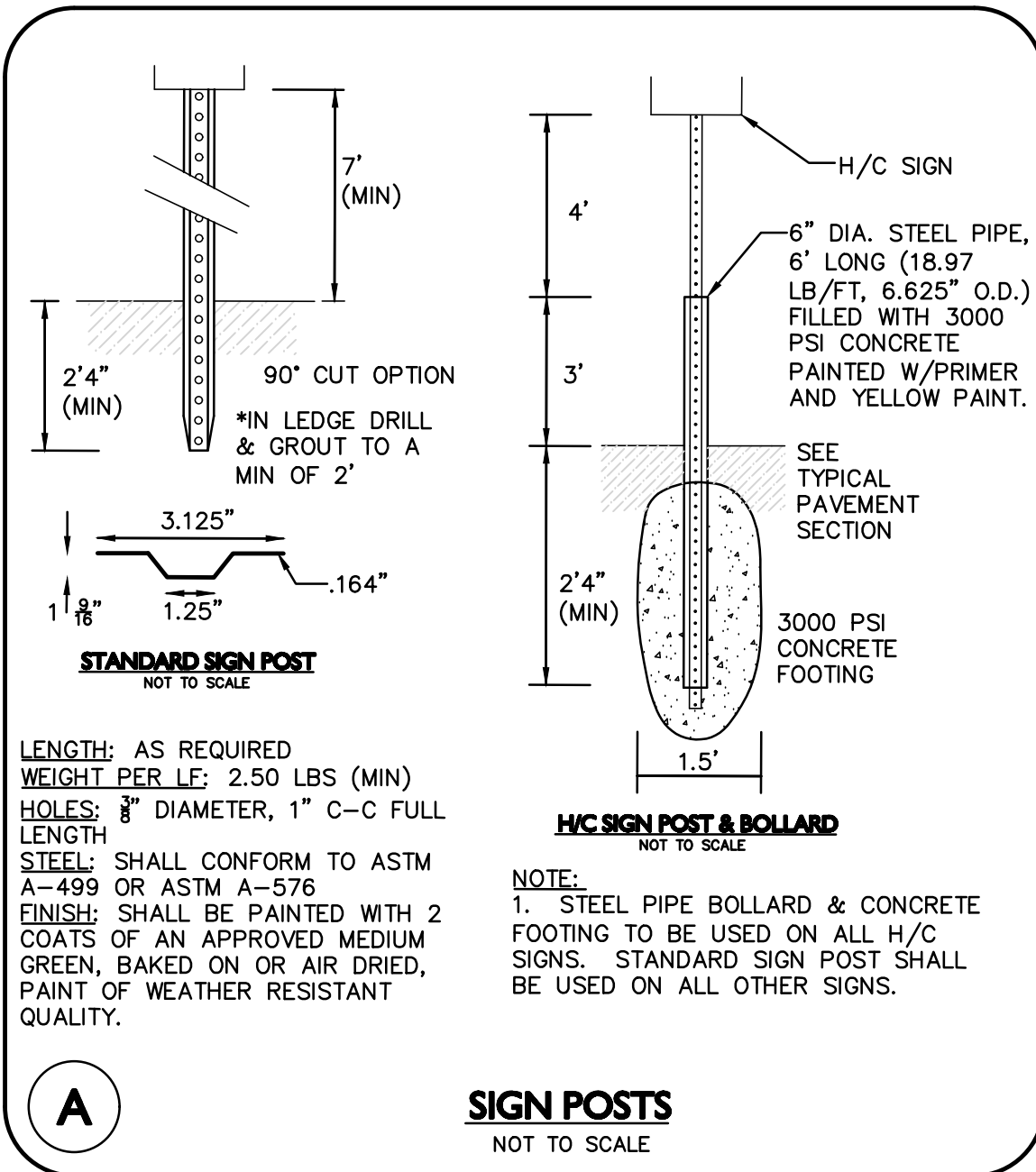
400 HARVEY ROAD  
MANCHESTER, NH 03103  
TEL: (603) 627-5500  
FAX: (603) 627-5501

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DRAWING TITLE: <b>DETAILS</b>	SHEET No. <b>D-4</b>
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PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

11-05-2025

REV	DATE	DESCRIPTION

OWNER: SOMERBRIDGE HOTEL LLC  
c/o XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

PROJECT: 145 ROOM HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA

1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: OCTOBER 15, 2025

SCALE: AS SHOWN DWG.: 1362-16Detail

DESIGNED BY: SM CHECKED BY: MM

PREPARED BY:

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environmental consulting • landscape architecture  
[www.allenmajor.com](http://www.allenmajor.com)  
400 HARVEY ROAD  
MANCHESTER, NH 03103  
TEL: (603) 627-5500  
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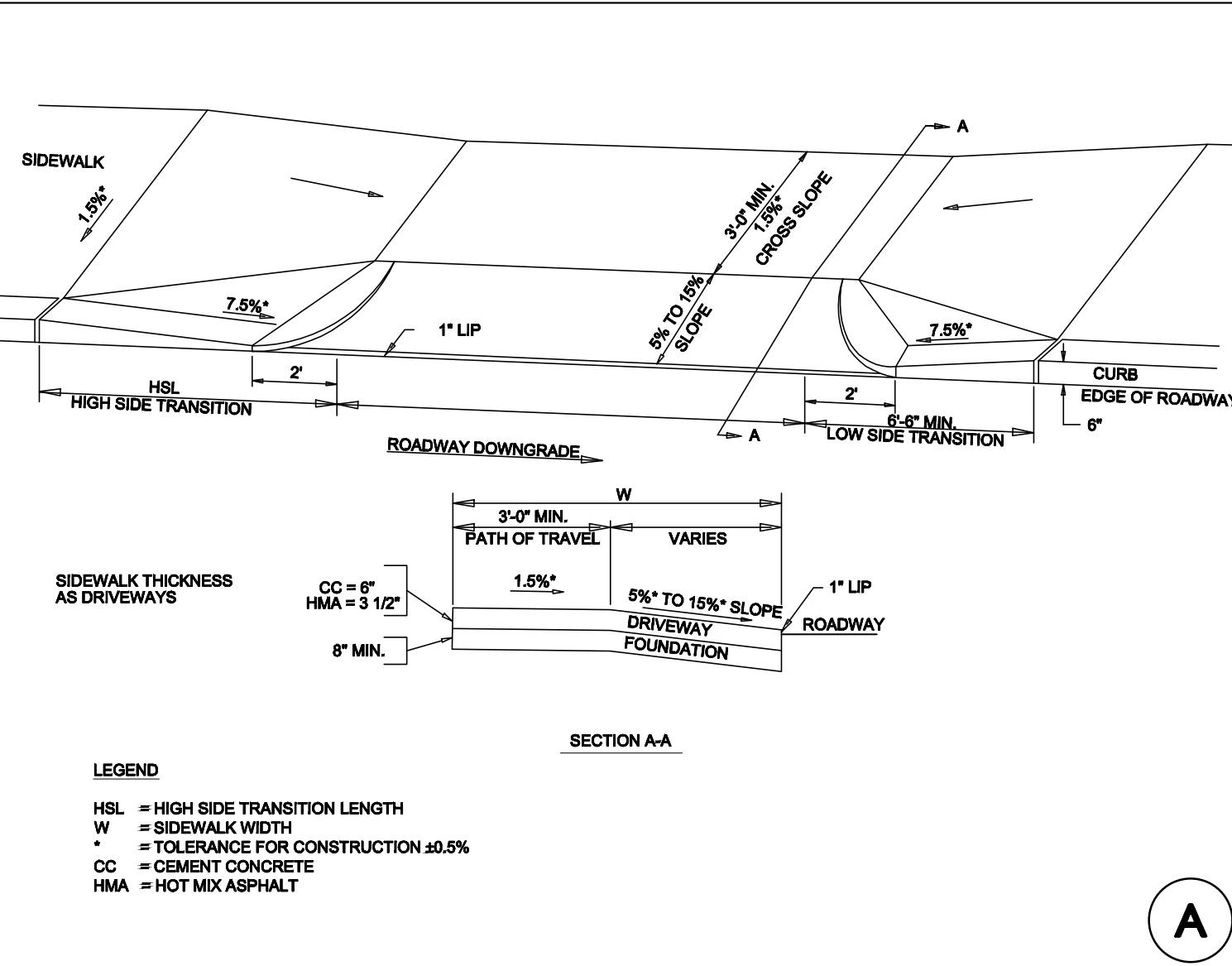
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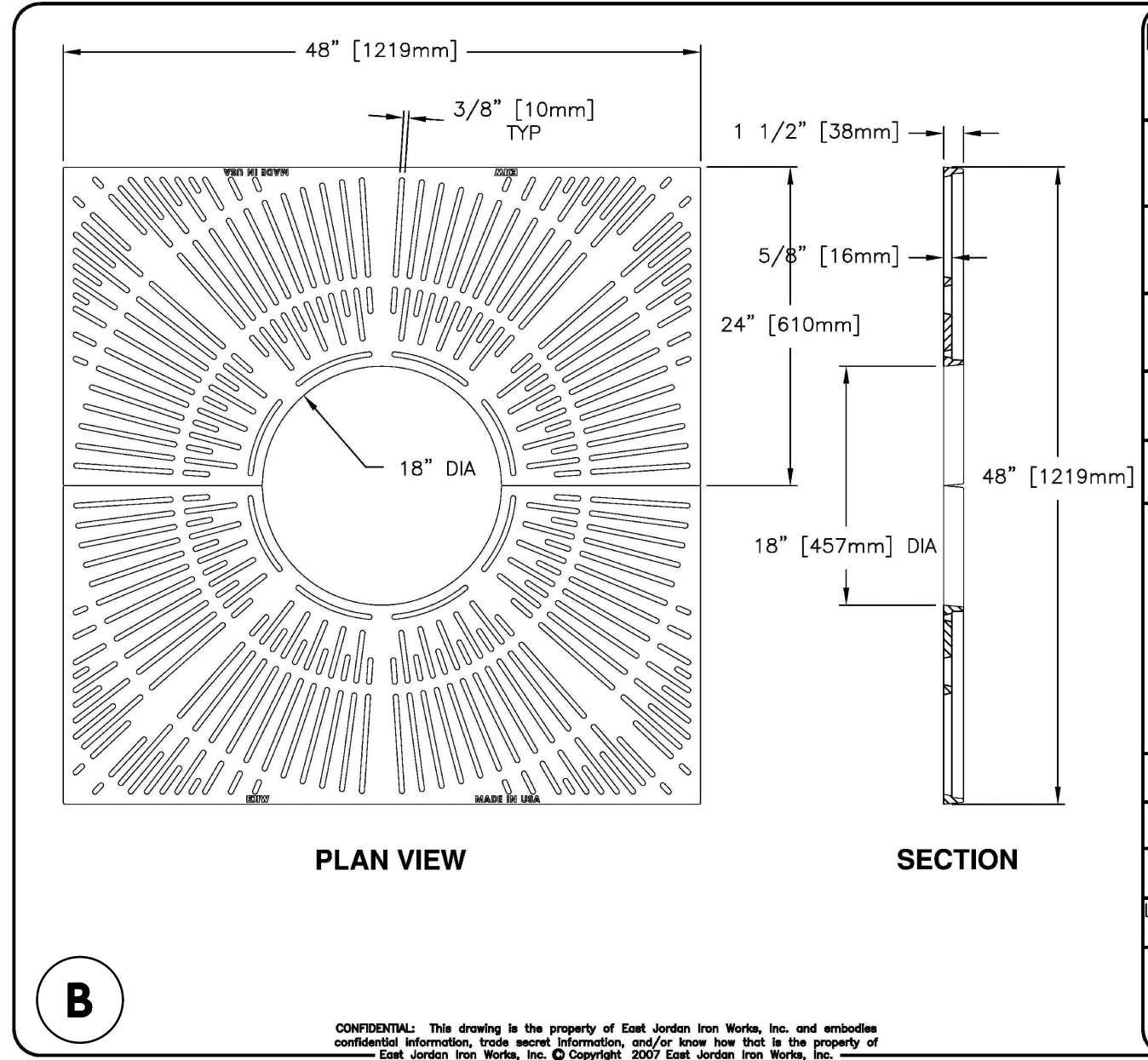
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MASSDOT CONSTRUCTION STANDARDS  
 SIDEWALK THROUGH DRIVEWAYS WITH CURB RETURNS 2 CURB CORNERS  
 DATE OF ISSUE: NOVEMBER 2010  
 PROJECT NUMBER: 10780



A



**EJW EAST JORDAN**  
 800-626-4653  
 www.ejw.com  
 MADE IN USA

PRODUCT NUMBER  
**00867130**

CATALOG NUMBER  
**8671**

**ADA TREE GRATE SET**

LOAD RATING  
**NON-TRAFFIC**

COATING  
**DIPPED**

MATERIAL SPECIFICATION  
 GRATE - GRAY IRON  
 ASTM A48 CL35B

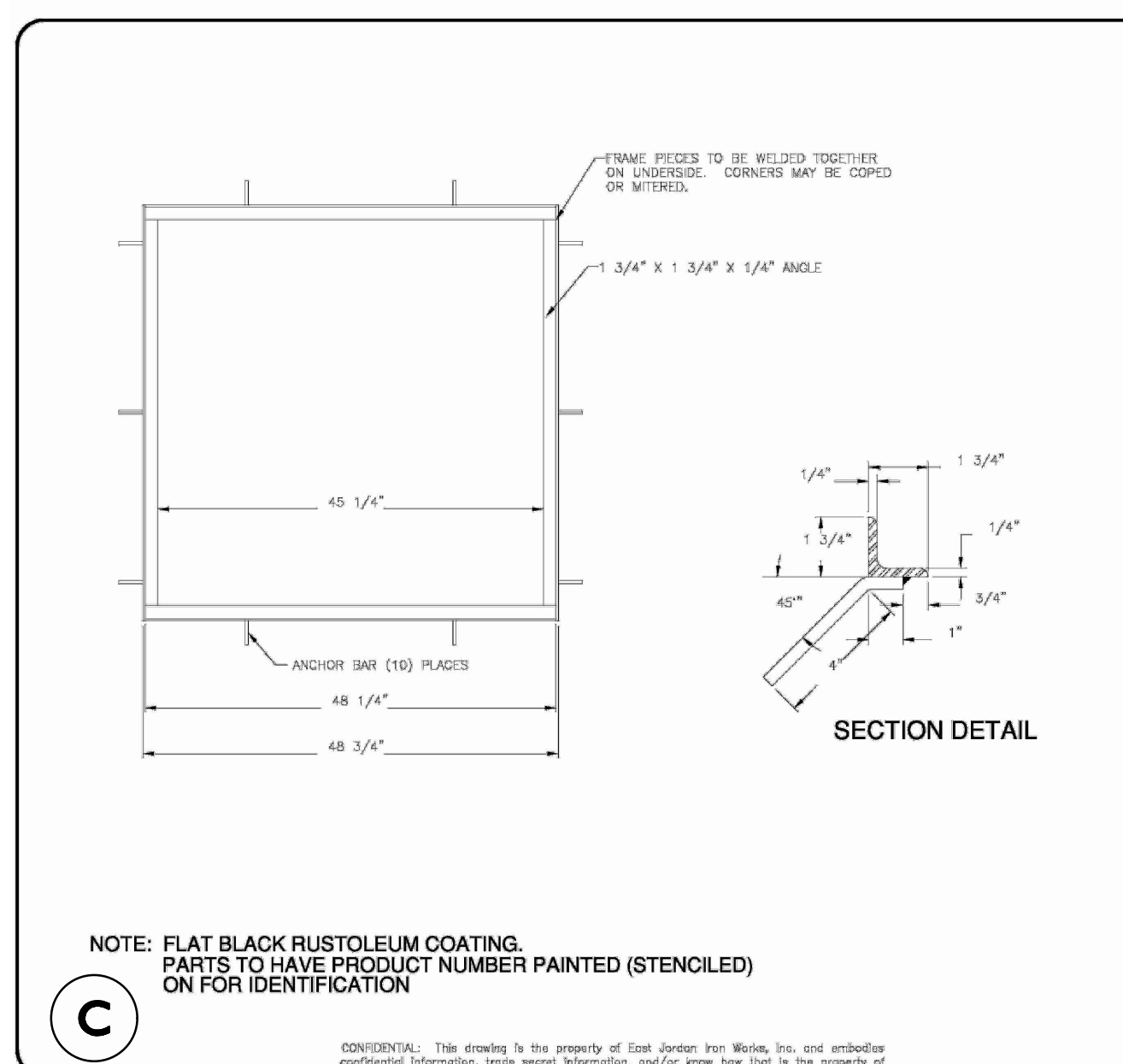
OPEN AREA  
 418 SQ. INCHES

DESIGNATES MACHINED SURFACE

DRAWN DATE  
 DEW 04/26/08

LAST REVISED DATE  
 NDM 6/03/10

B



C

**EJW EAST JORDAN**  
 800-626-4653  
 www.ejw.com  
 MADE IN USA

PRODUCT NUMBER  
**48954011**

CATALOG NUMBER  
**V8954**

**STEEL FRAME**

LOAD RATING  
**NON-TRAFFIC**

COATING  
**RUSTOLEUM**

MATERIAL SPECIFICATION  
 FRAME - STEEL ASTM A36

OPEN AREA  
 N/A

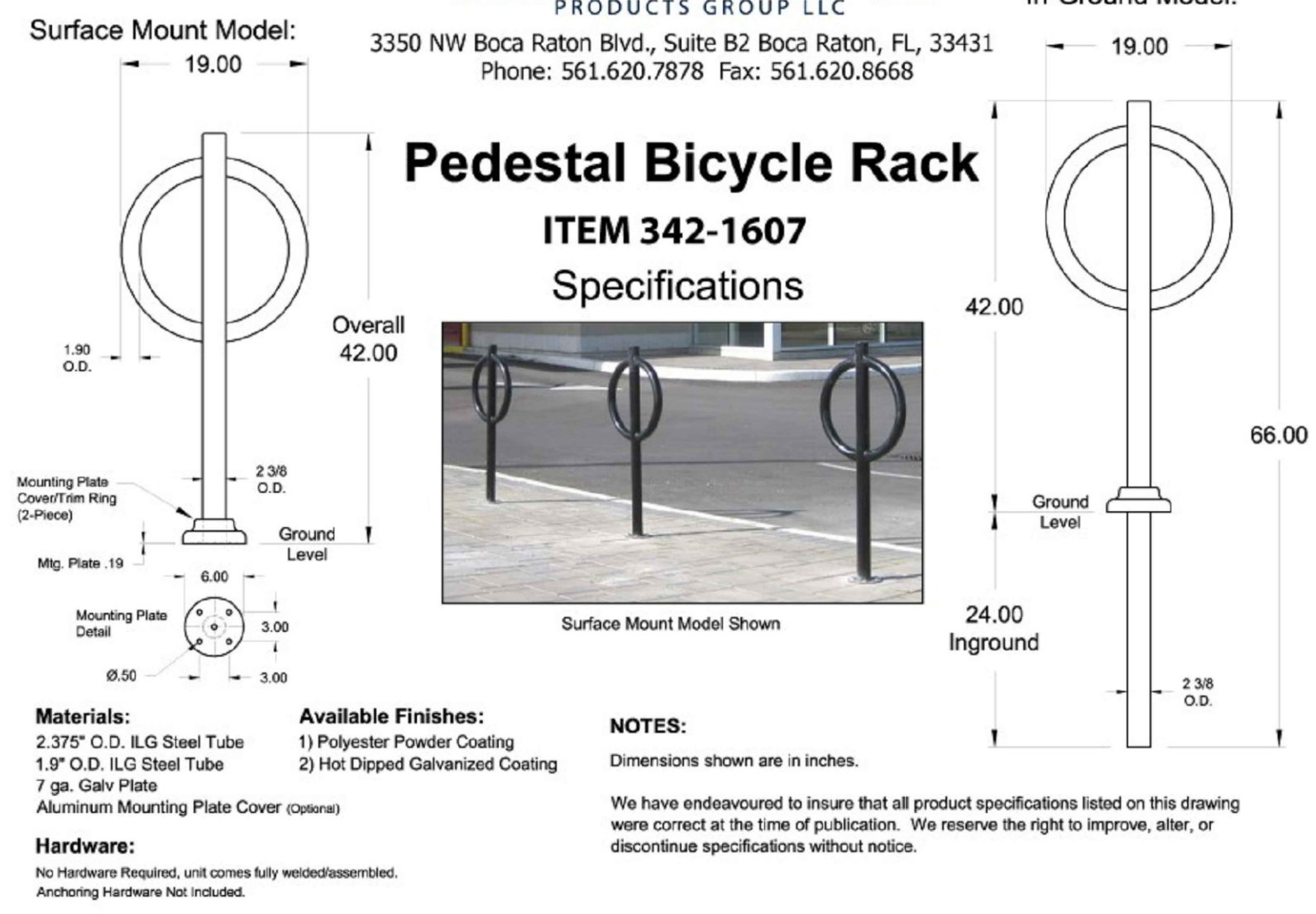
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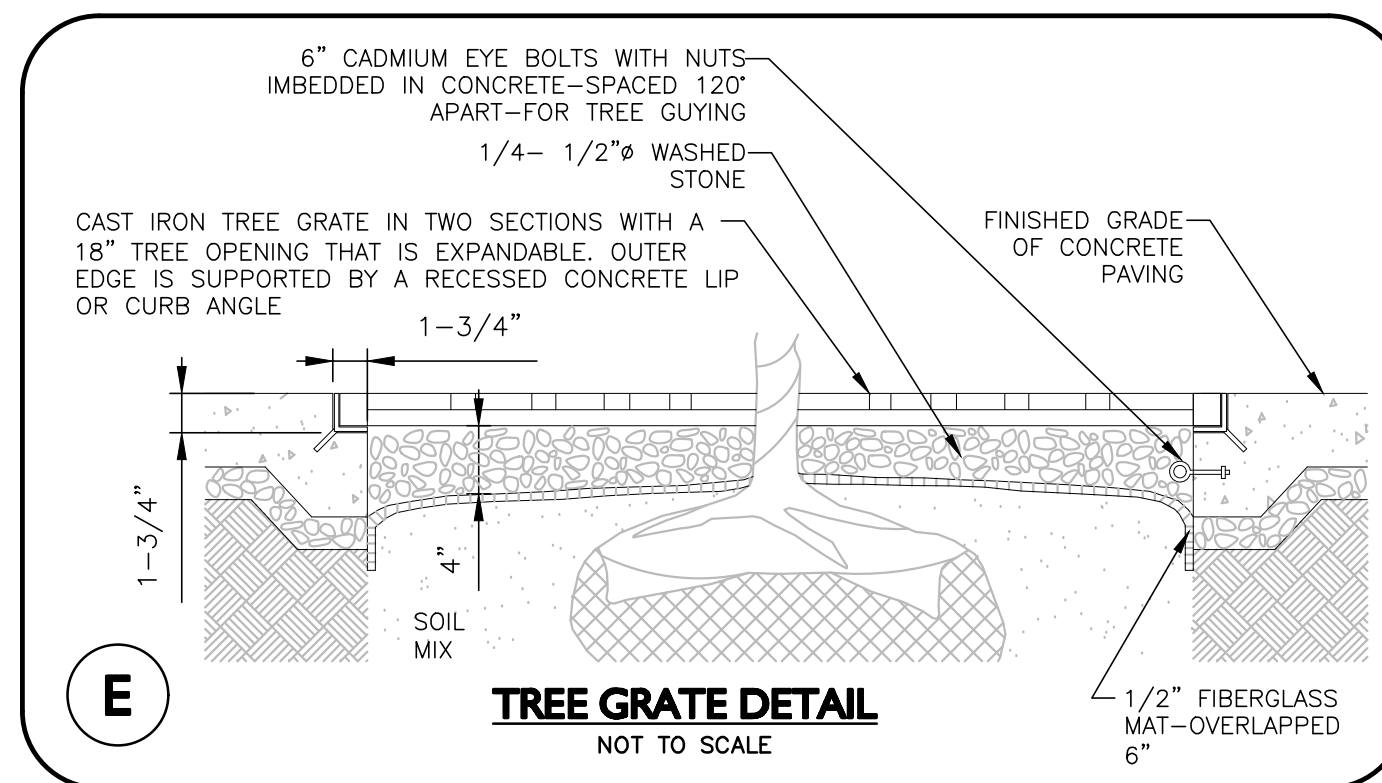


**Pedestal Bicycle Rack**  
 ITEM 342-1607  
 Specifications



D

**PEDESTAL BIKE RACK DETAIL**  
 NOT TO SCALE



E



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

OWNER:  
 SOMERBRIDGE HOTEL LLC  
 c/o XSS HOTELS  
 PO BOX 4430  
 MANCHESTER, NH 03108

PROJECT:  
 145 ROOM HOTEL  
 263 MONSIGNOR O'BRIEN HIGHWAY  
 CAMBRIDGE, MA  
 1 McGRATH HIGHWAY  
 SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: OCTOBER 15, 2025

SCALE: AS SHOWN DWG.: 1362-16Detail

DESIGNED BY: SM CHECKED BY: MM

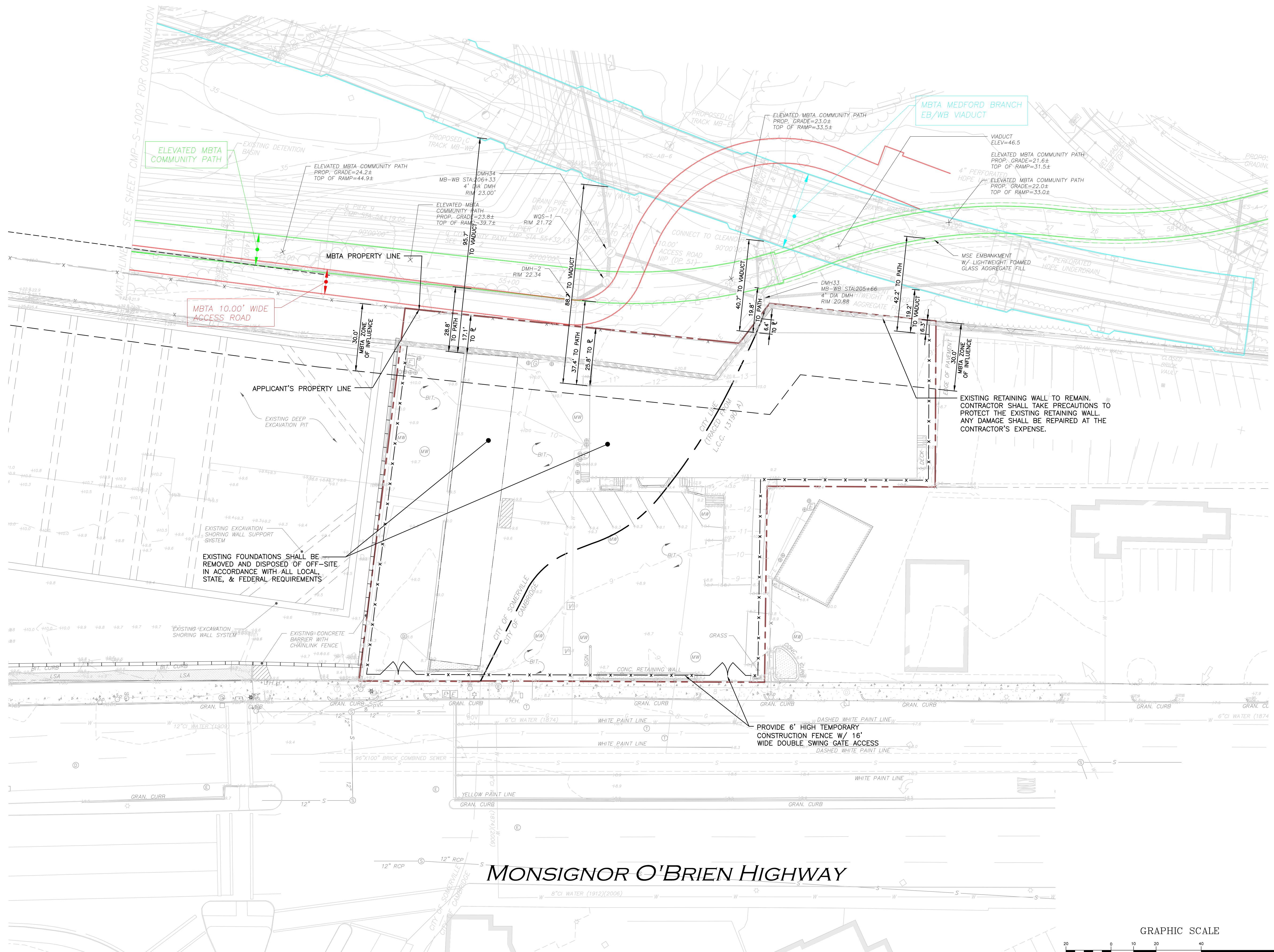
PREPARED BY:

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 400 HARVEY ROAD  
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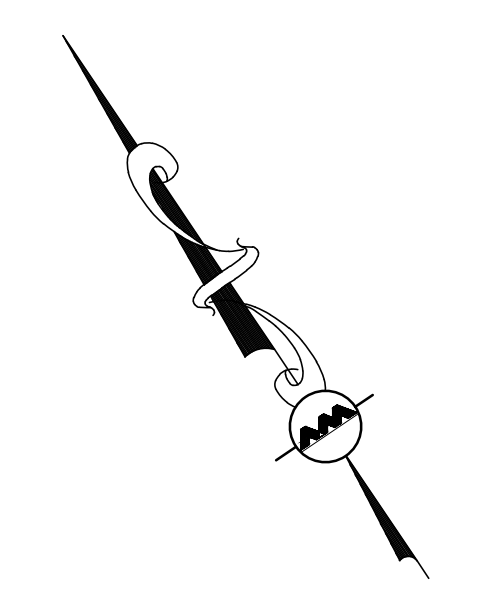
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DETAILS D-6



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PROFESSIONAL ENGINEER FOR  
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REV DATE DESCRIPTION

OWNER: SOMERBRIDGE HOTEL LLC  
c/o XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

PROJECT: 145 ROOM HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA  
  
1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: OCTOBER 15, 2025

SCALE: 1" = 20' DWG.: 1362-16\_MBTAPlan

DESIGNED BY: SM CHECKED BY: MM

PREPARED BY:



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MANCHESTER, NH 03103  
TEL: (603) 627-5500  
FAX: (603) 627-5501

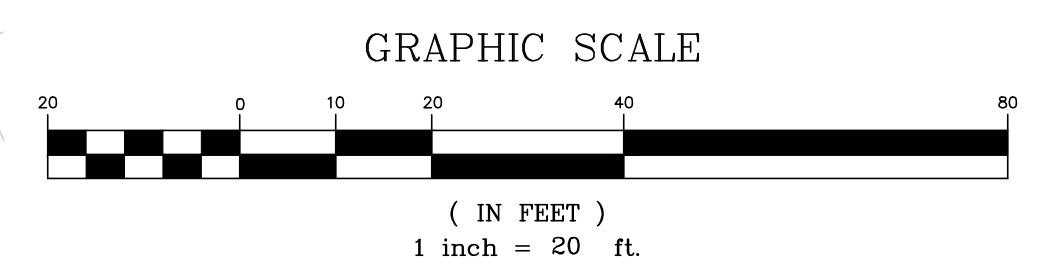
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DRAWING TITLE: SHEET NO.

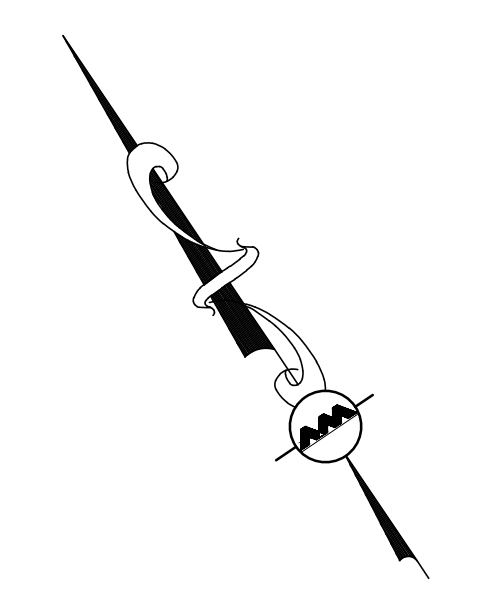
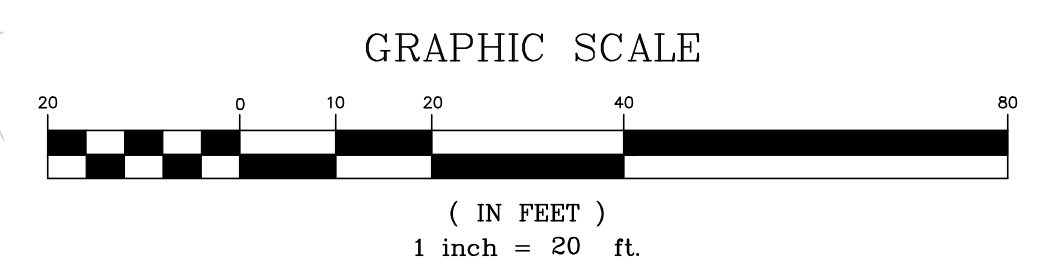
MBTA COORDINATION FIGURE SITE PREPARATION MBTA-1

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# MONSIGNOR O'BRIEN HIGHWAY

R:\PROJECTS\1362-16\CIVIL\DRAWINGS\CURRENT\1362-16\_MBT\_A\_PLAN.DWG



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

OWNER:  
**SOMERBRIDGE HOTEL LLC**  
c/o XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

PROJECT:  
**145 ROOM HOTEL**  
**263 MONSIGNOR O'BRIEN HIGHWAY**  
**CAMBRIDGE, MA**  
  
**1 McGRATH HIGHWAY**  
**SOMERVILLE, MA**

PROJECT NO. 1362-16 DATE: OCTOBER 15, 2025

SCALE: 1" = 20' DWG.: 1362-16\_MBT\_A.Pln

DESIGNED BY: SM CHECKED BY: MM

PREPARED BY:

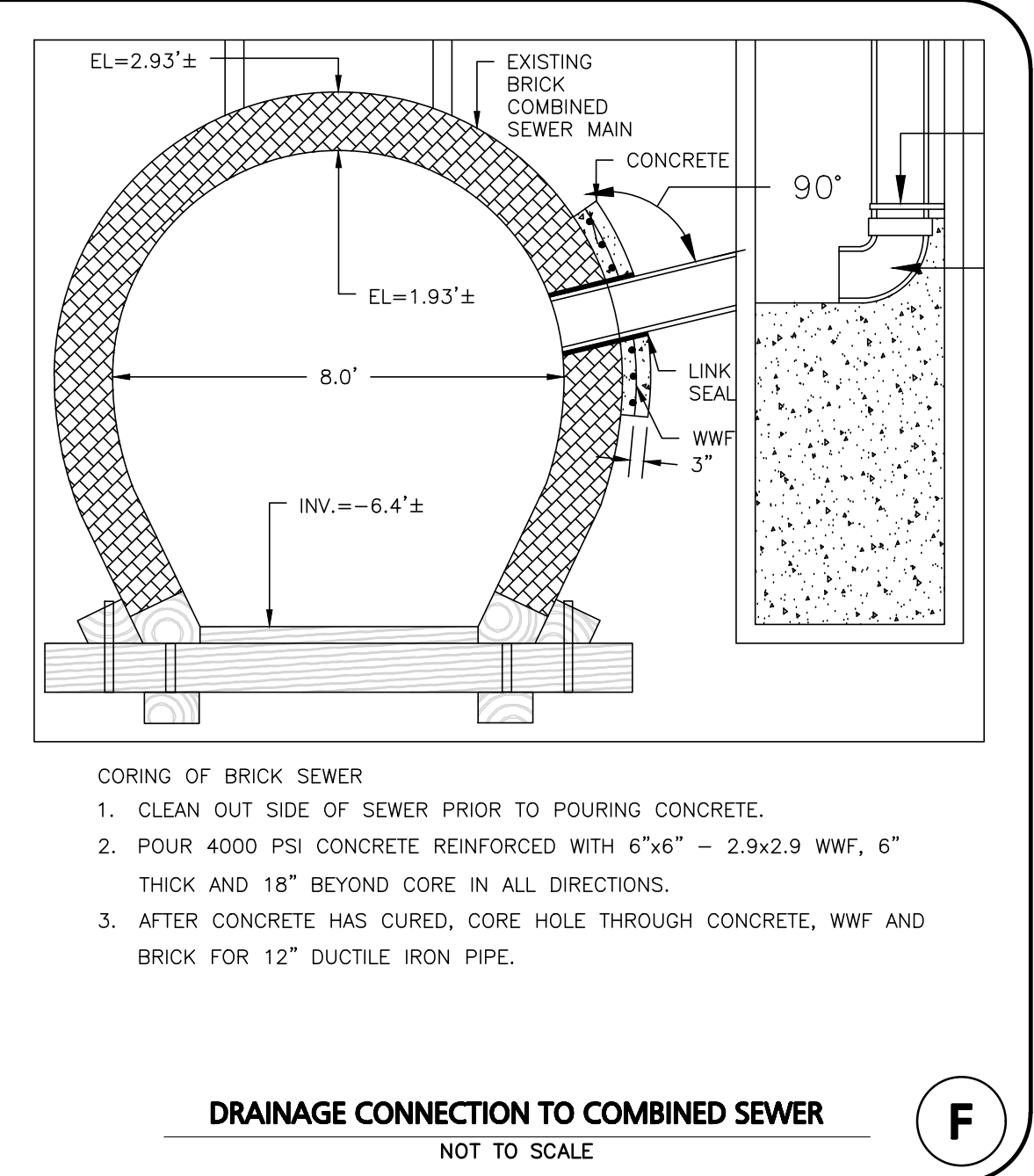
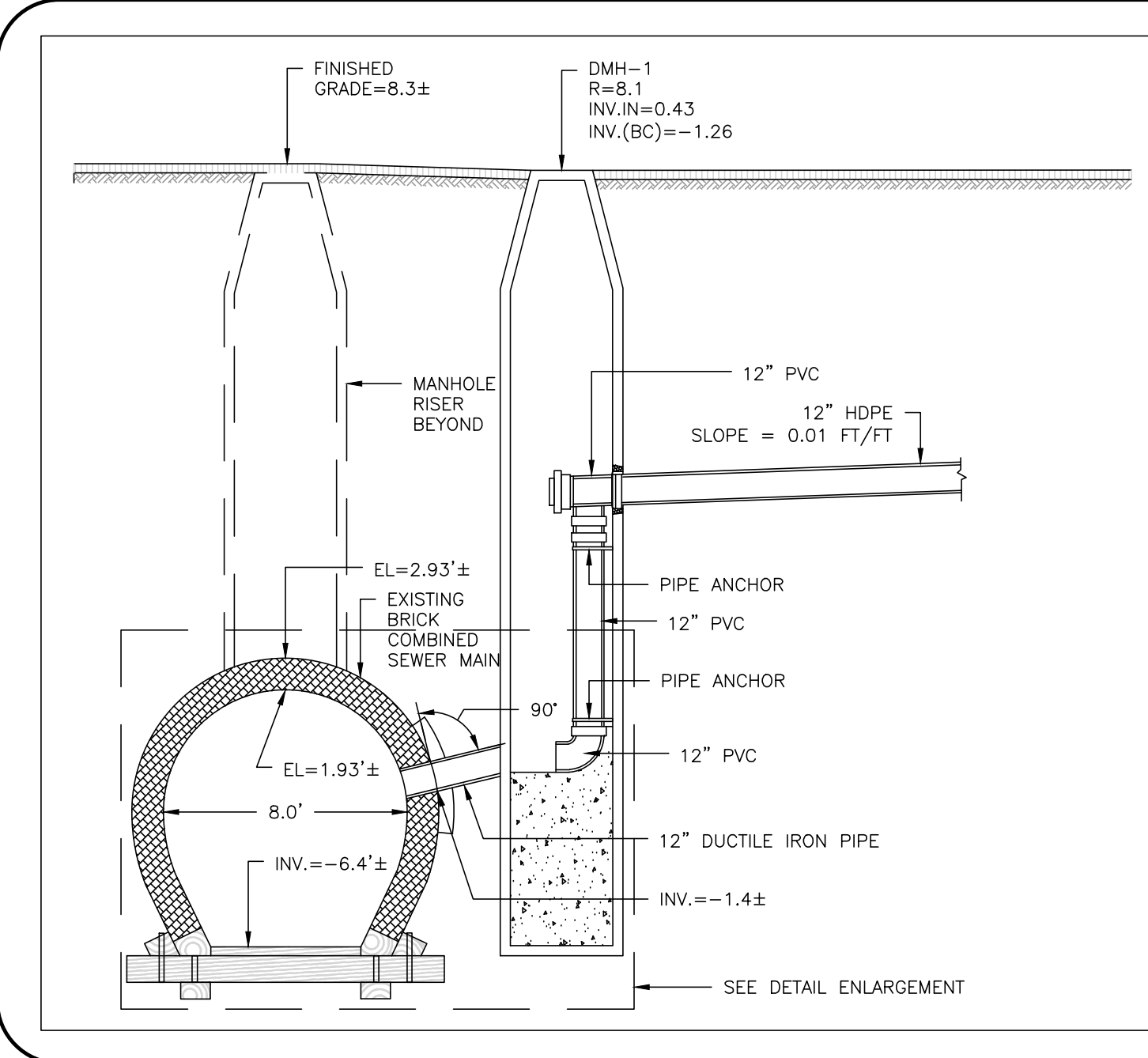
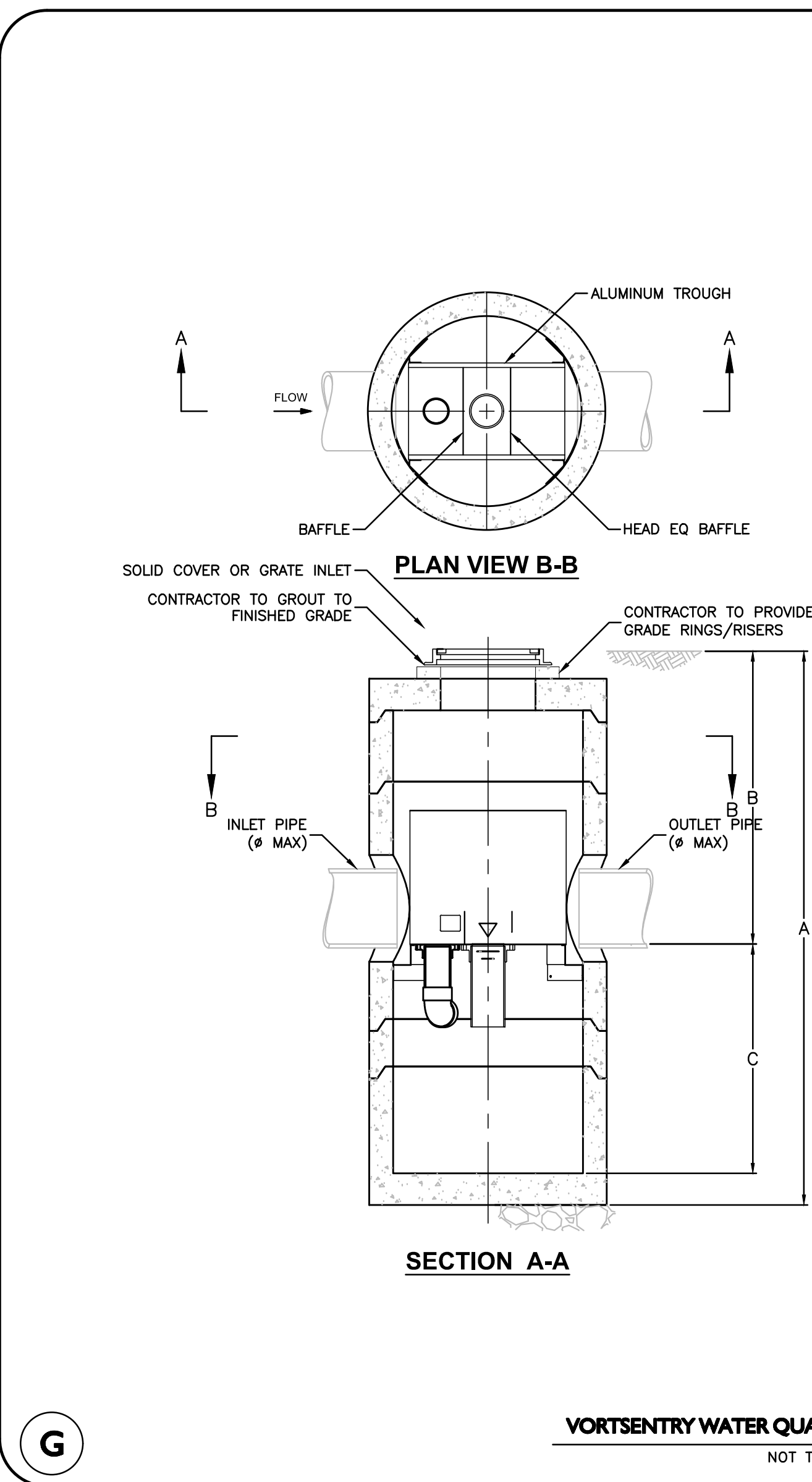
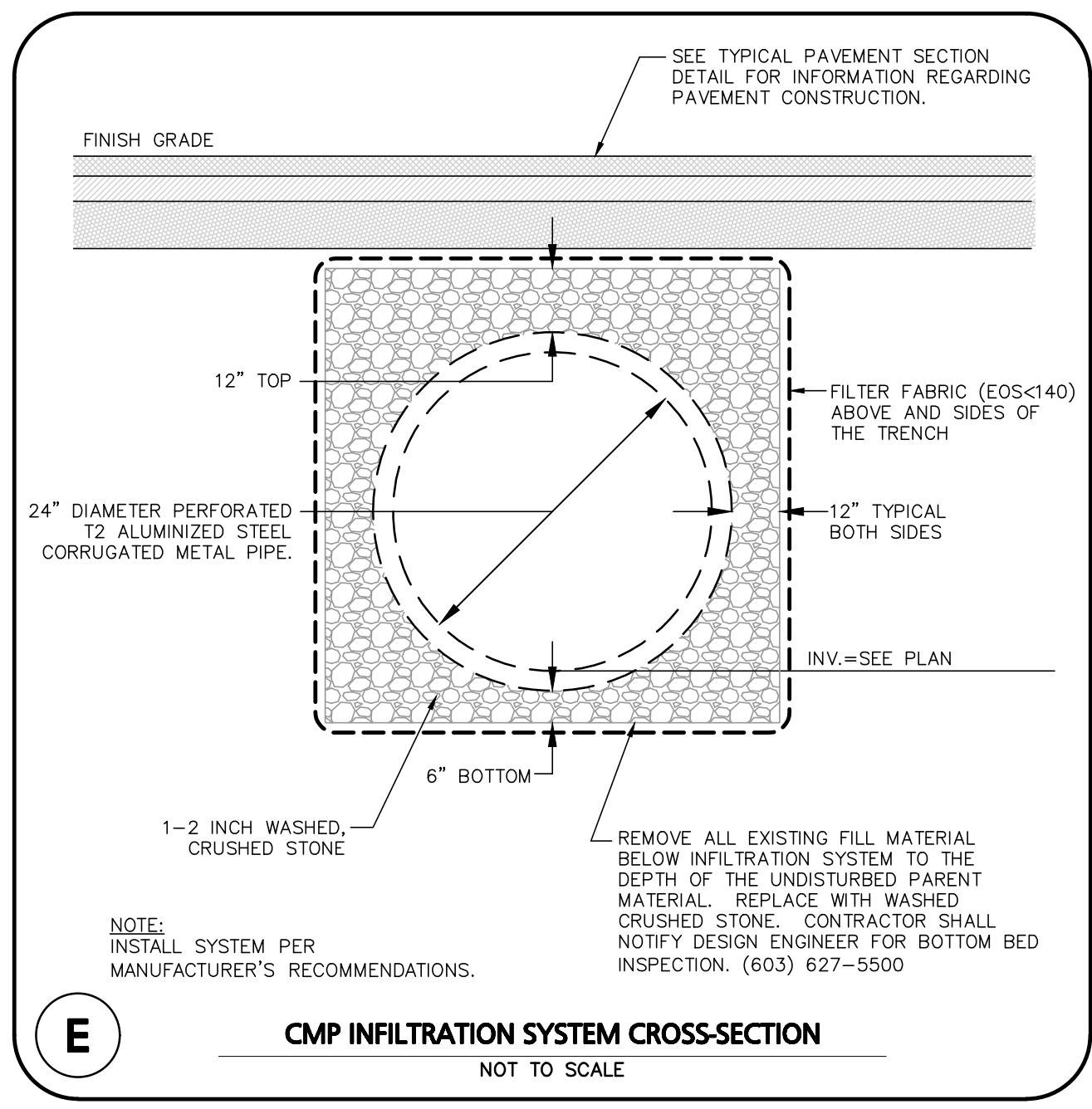
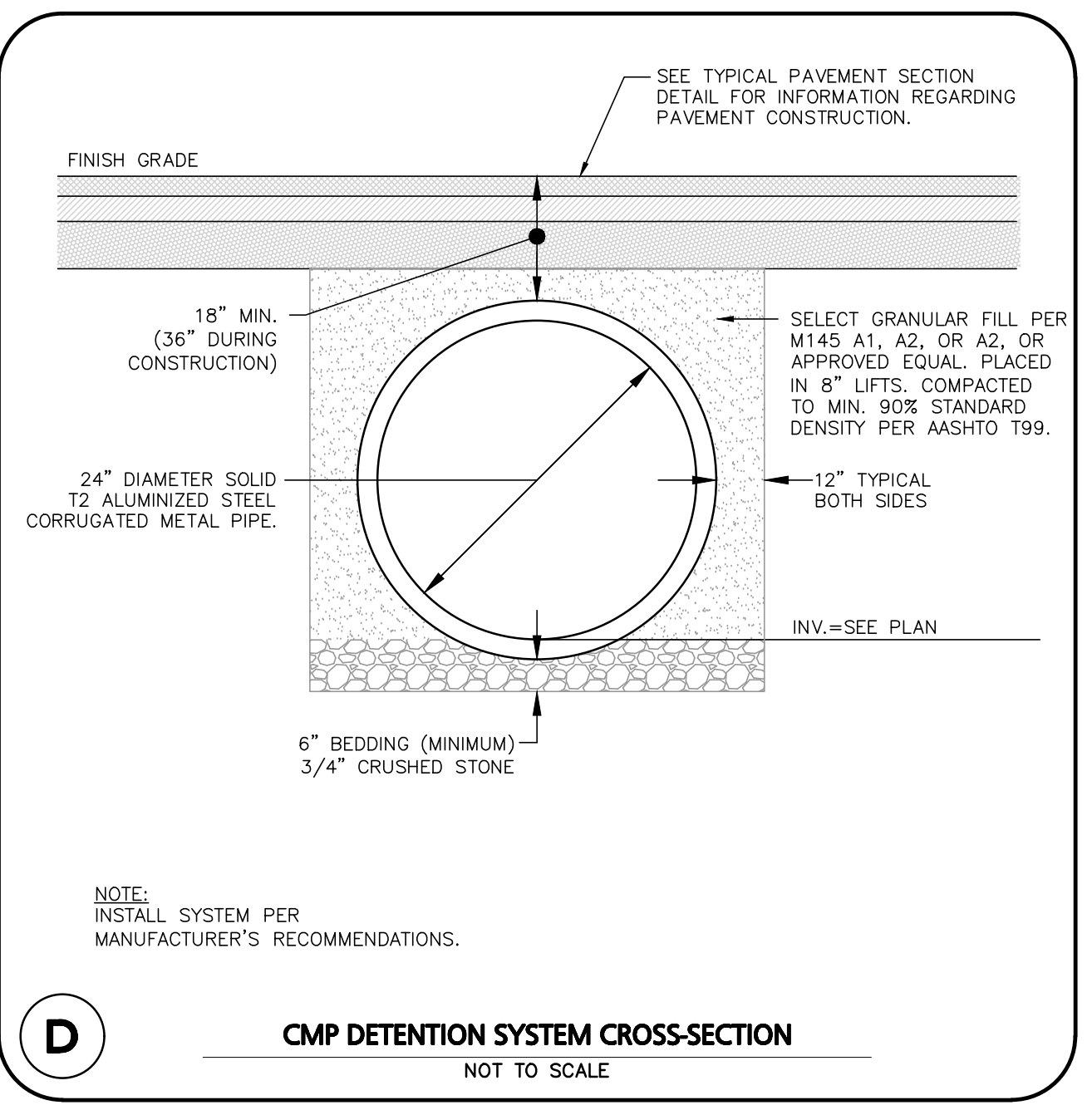
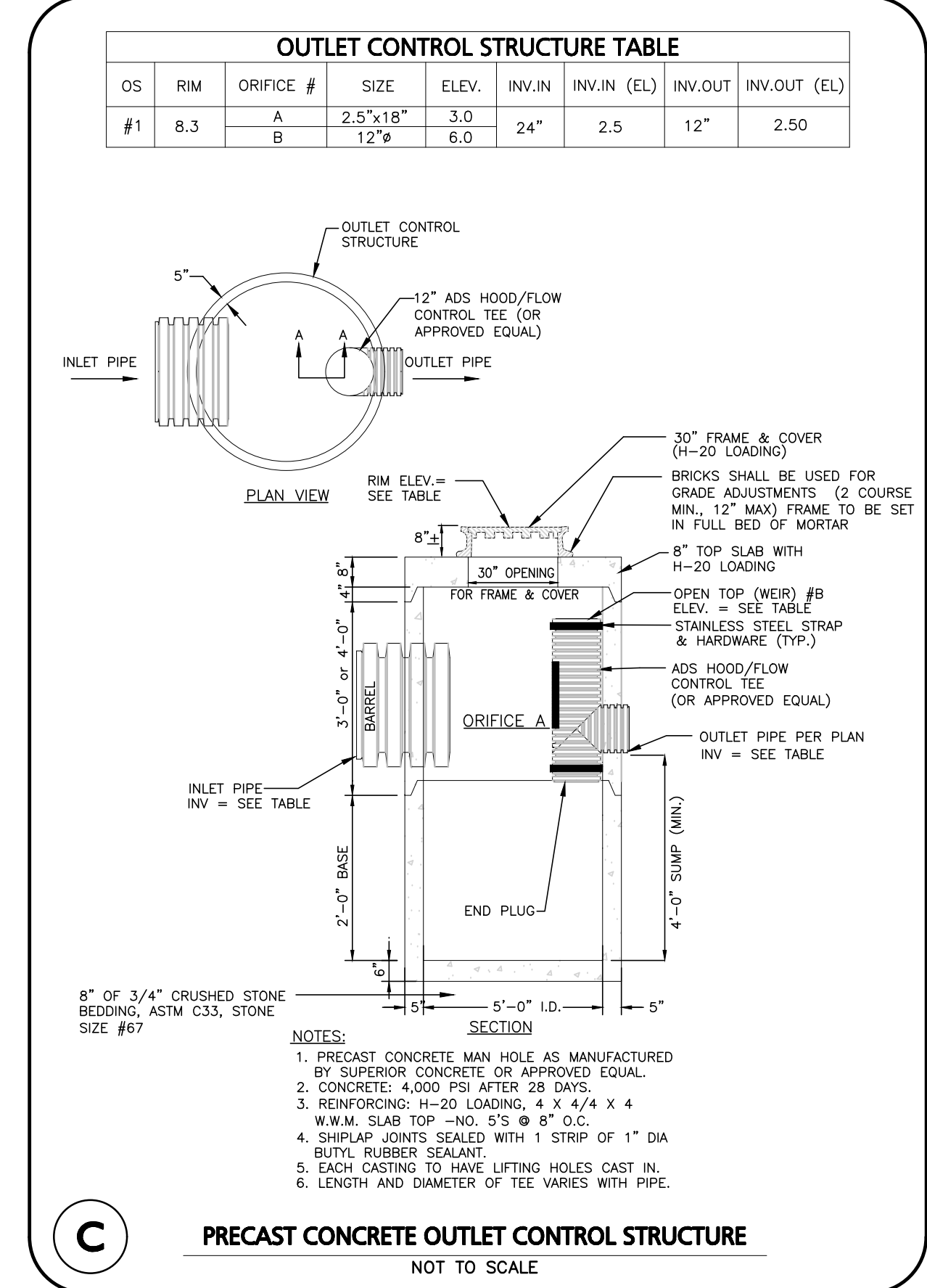
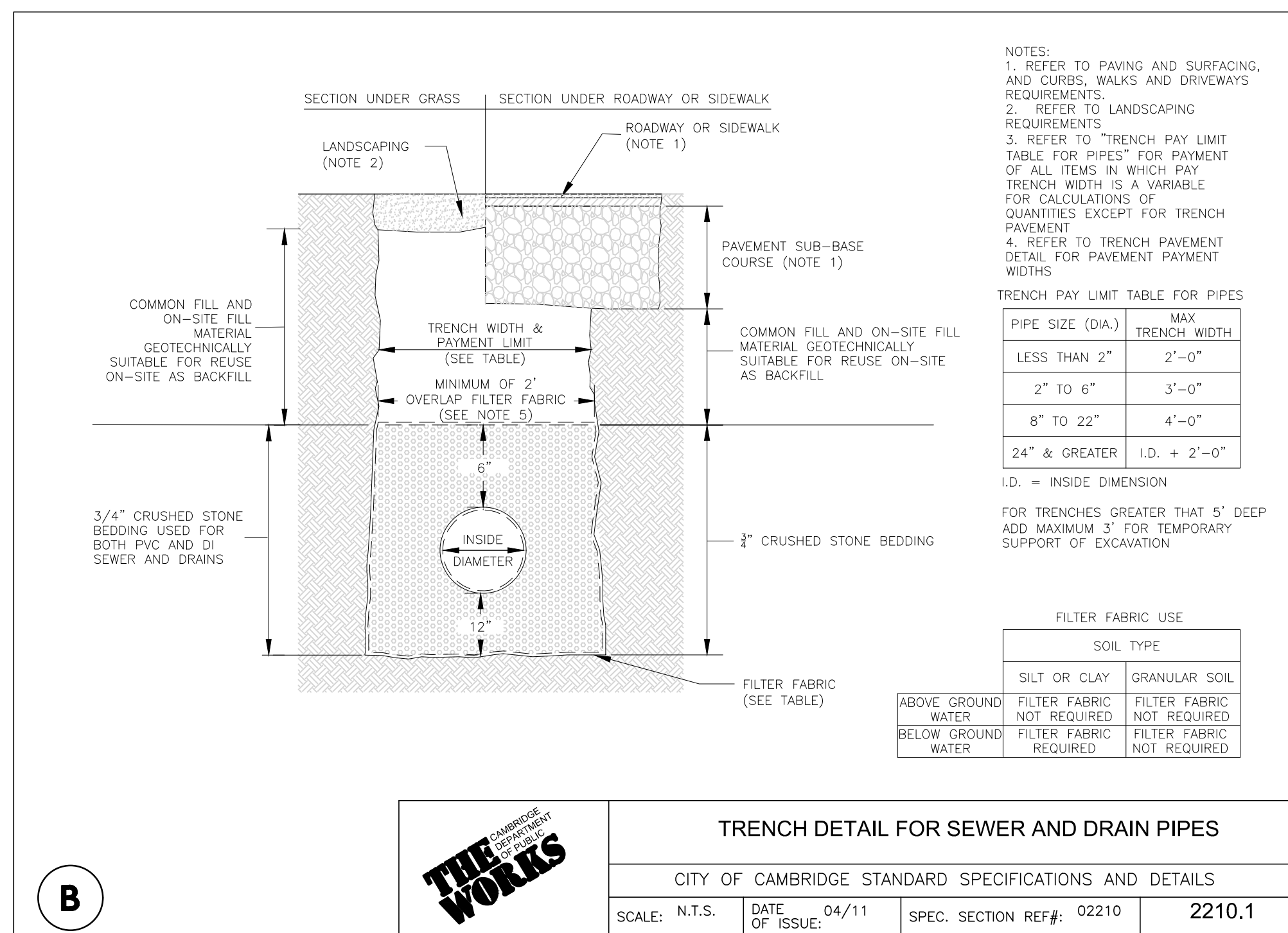
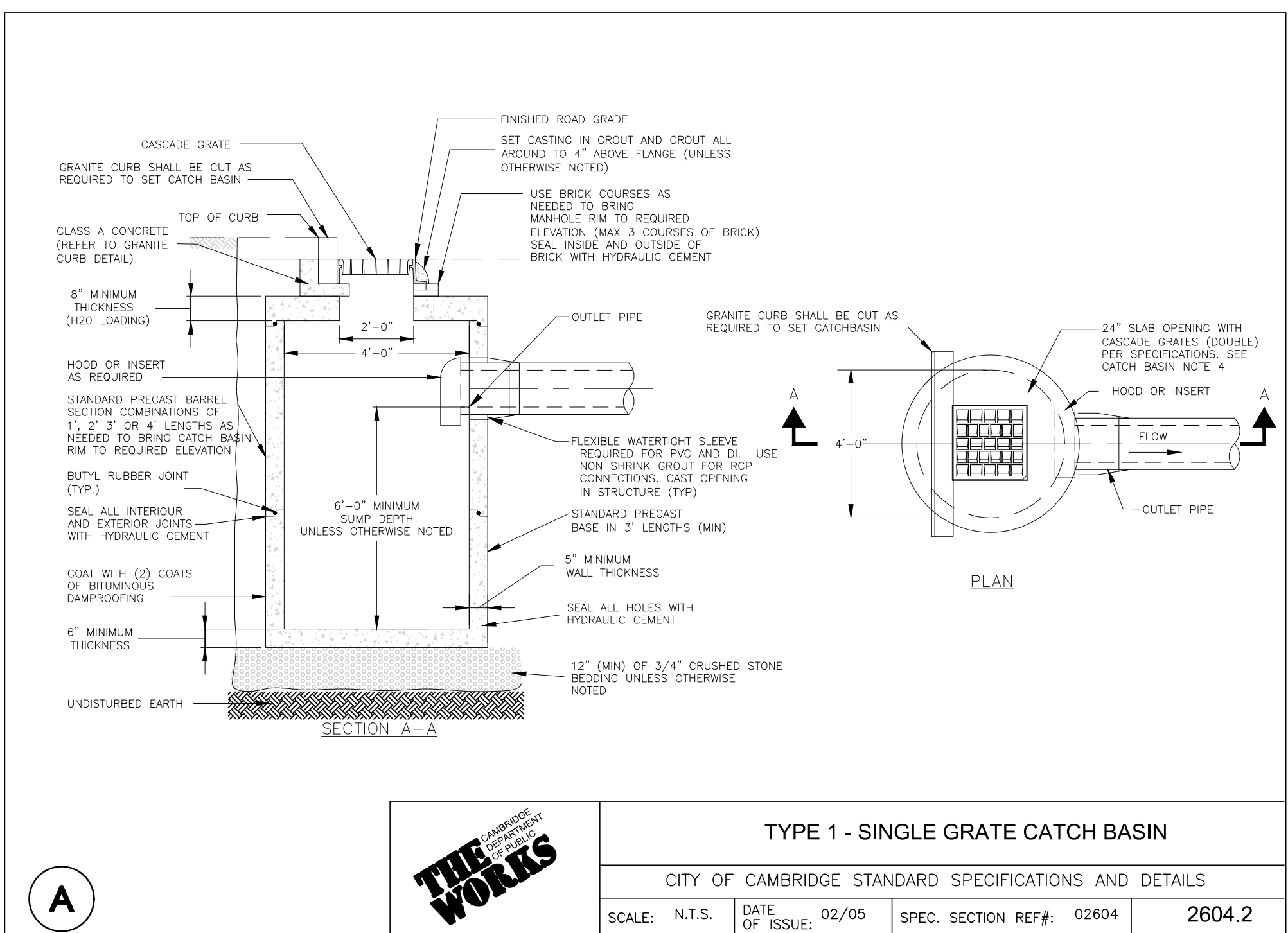
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PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

11-09-2025

REV	DATE	DESCRIPTION

OWNER: SOMERBRIDGE HOTEL LLC  
c/o XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

PROJECT: 145 ROOM HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA  
1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: OCTOBER 15, 2025  
SCALE: AS SHOWN DWG.: 1362-16/Details  
DESIGNED BY: SM CHECKED BY: MM

PREPARED BY:

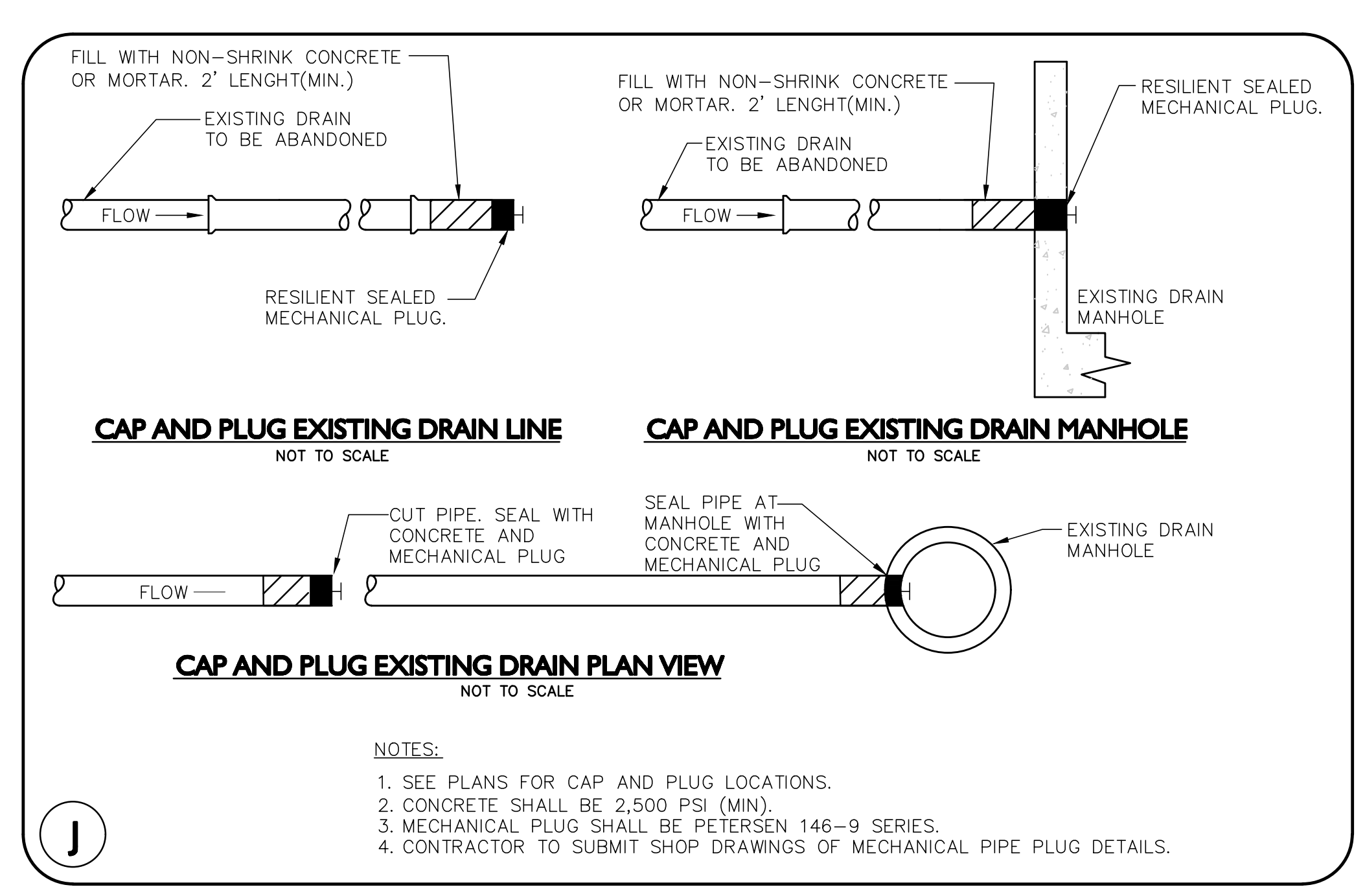
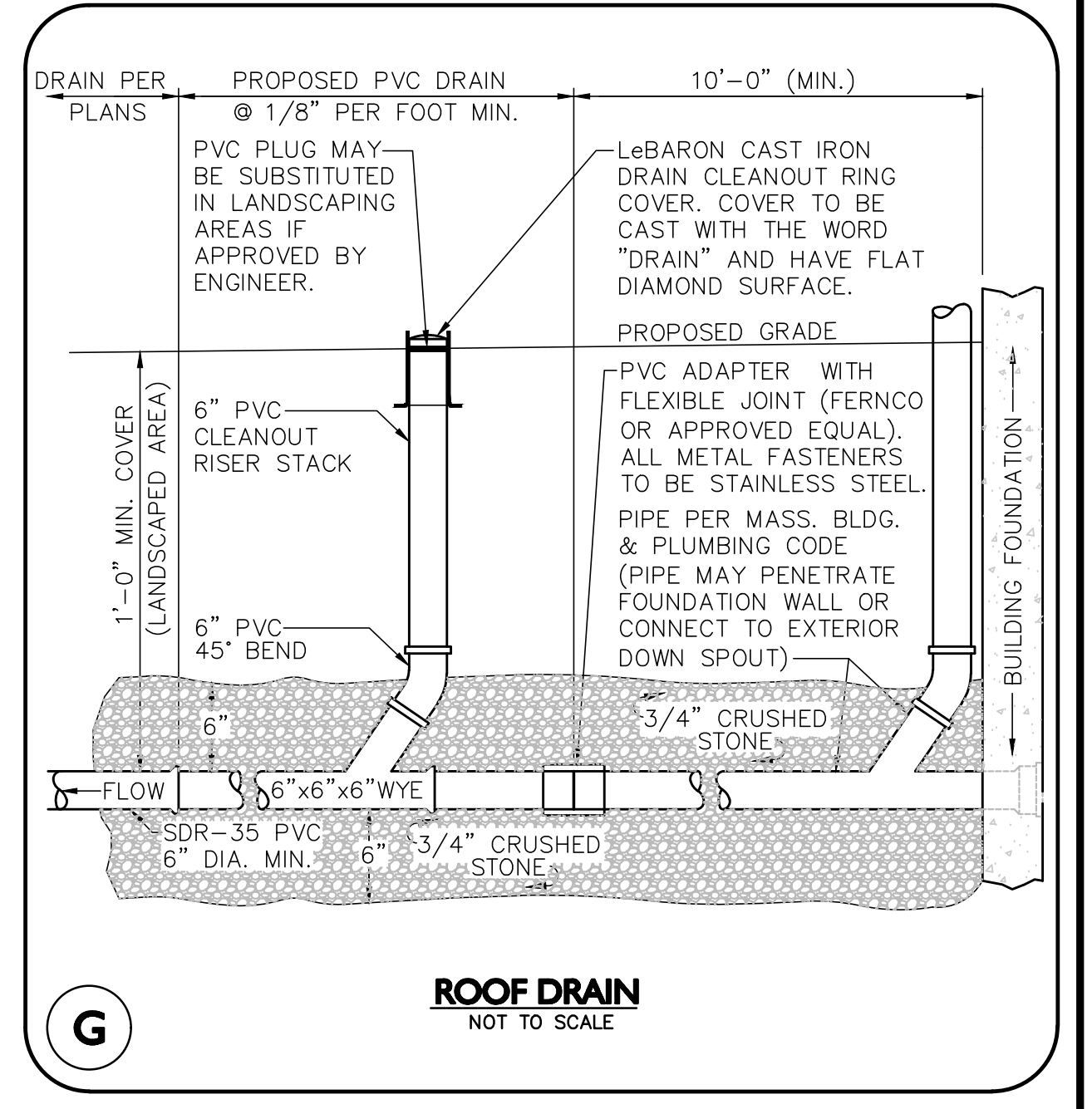
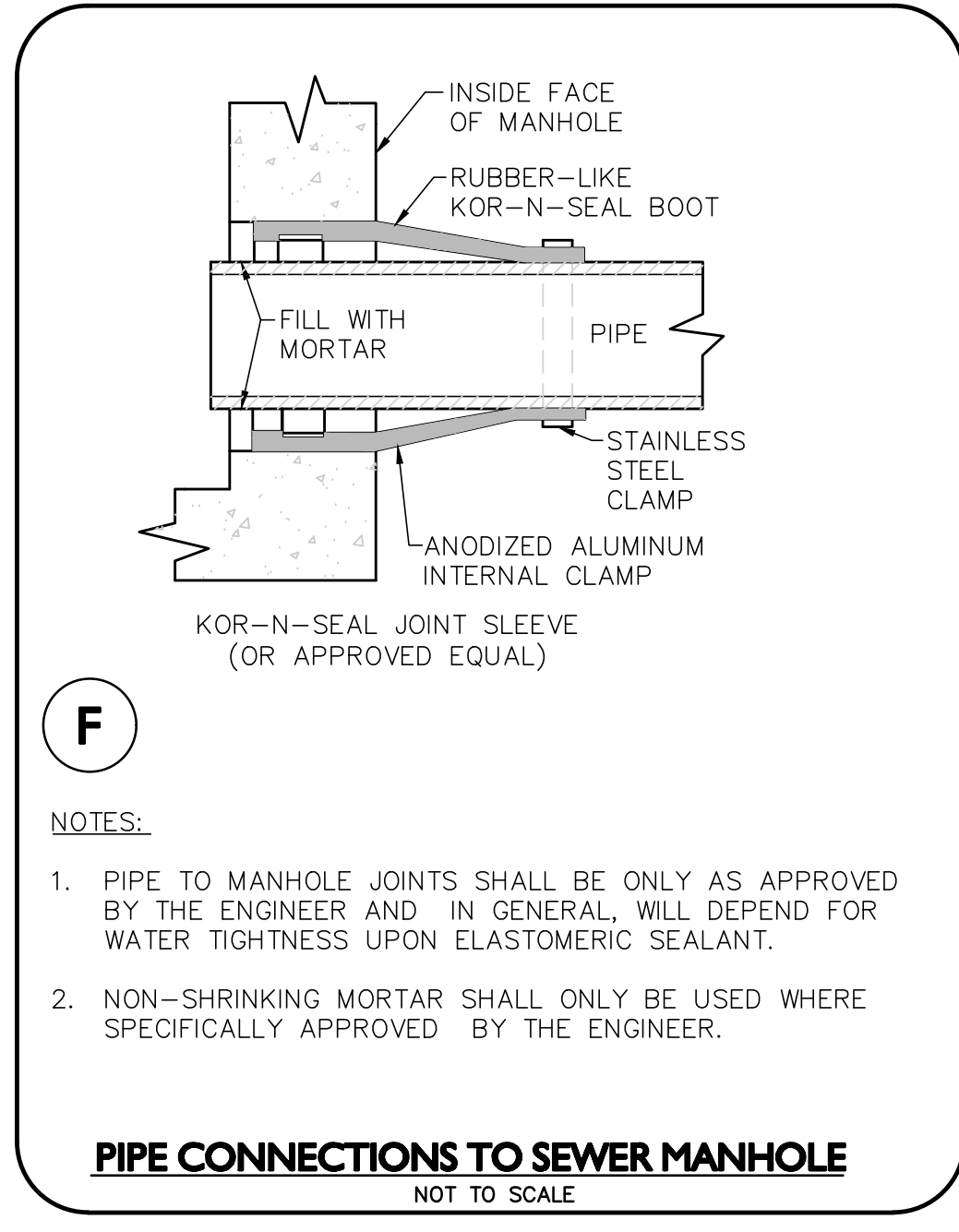
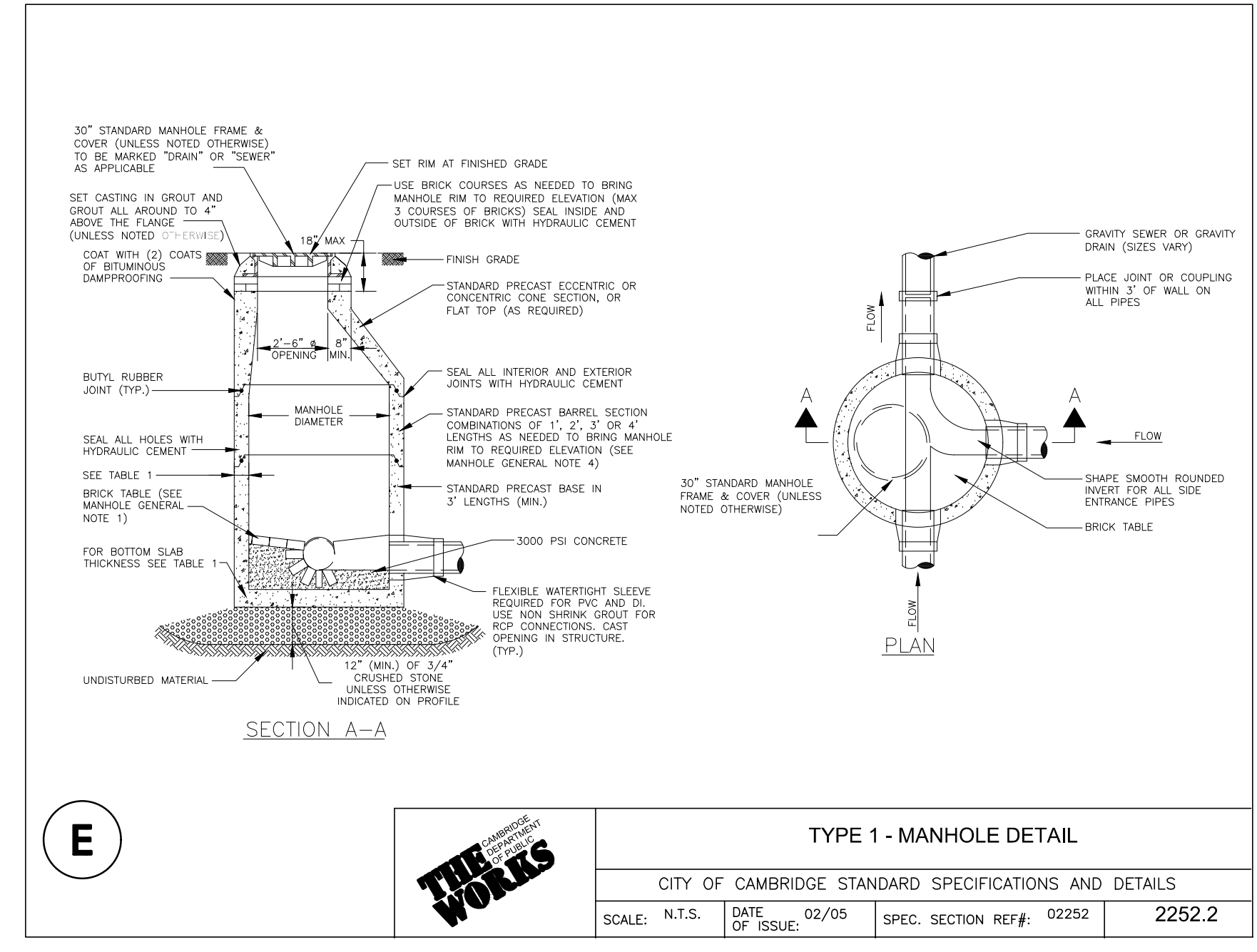
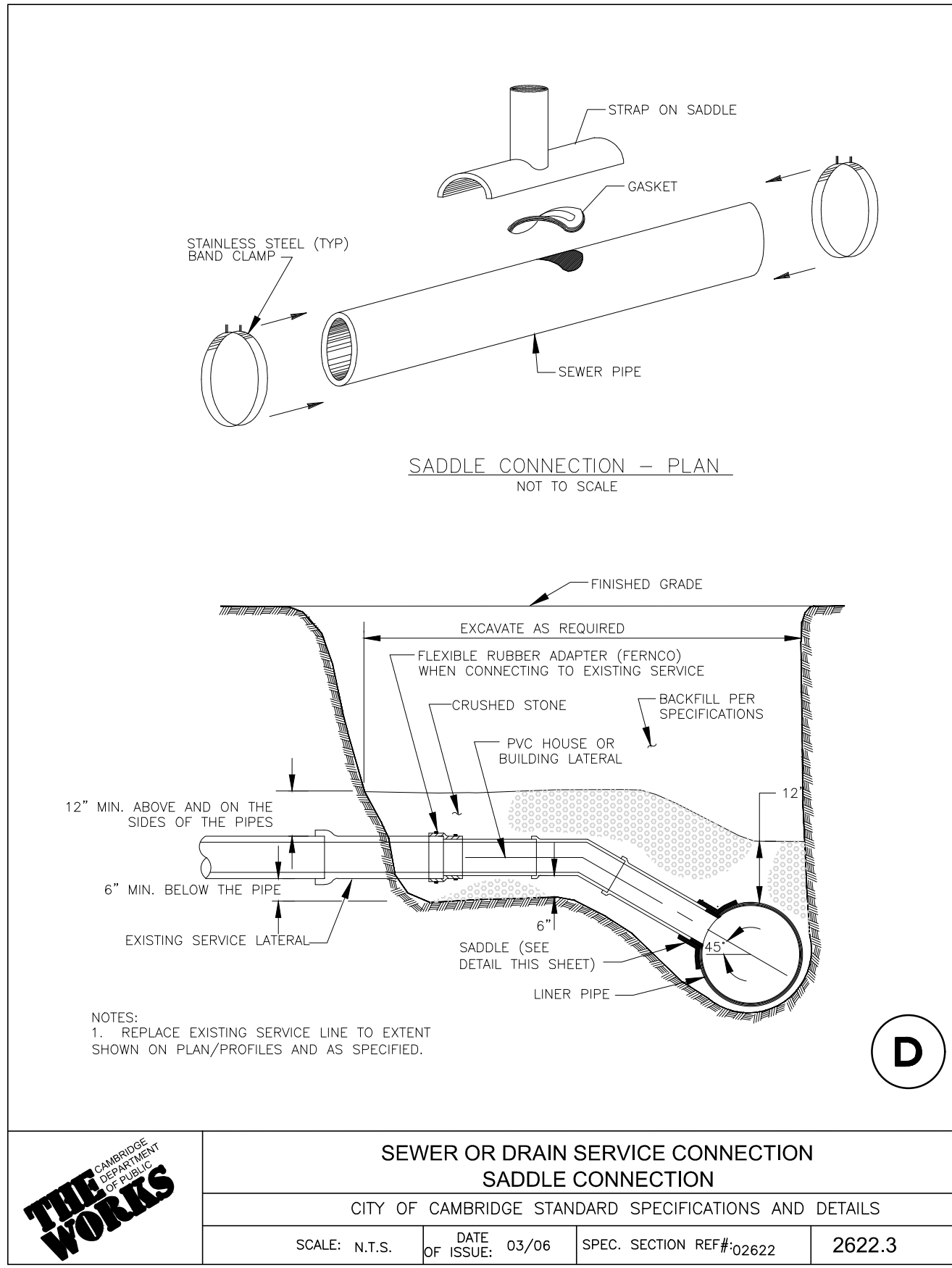
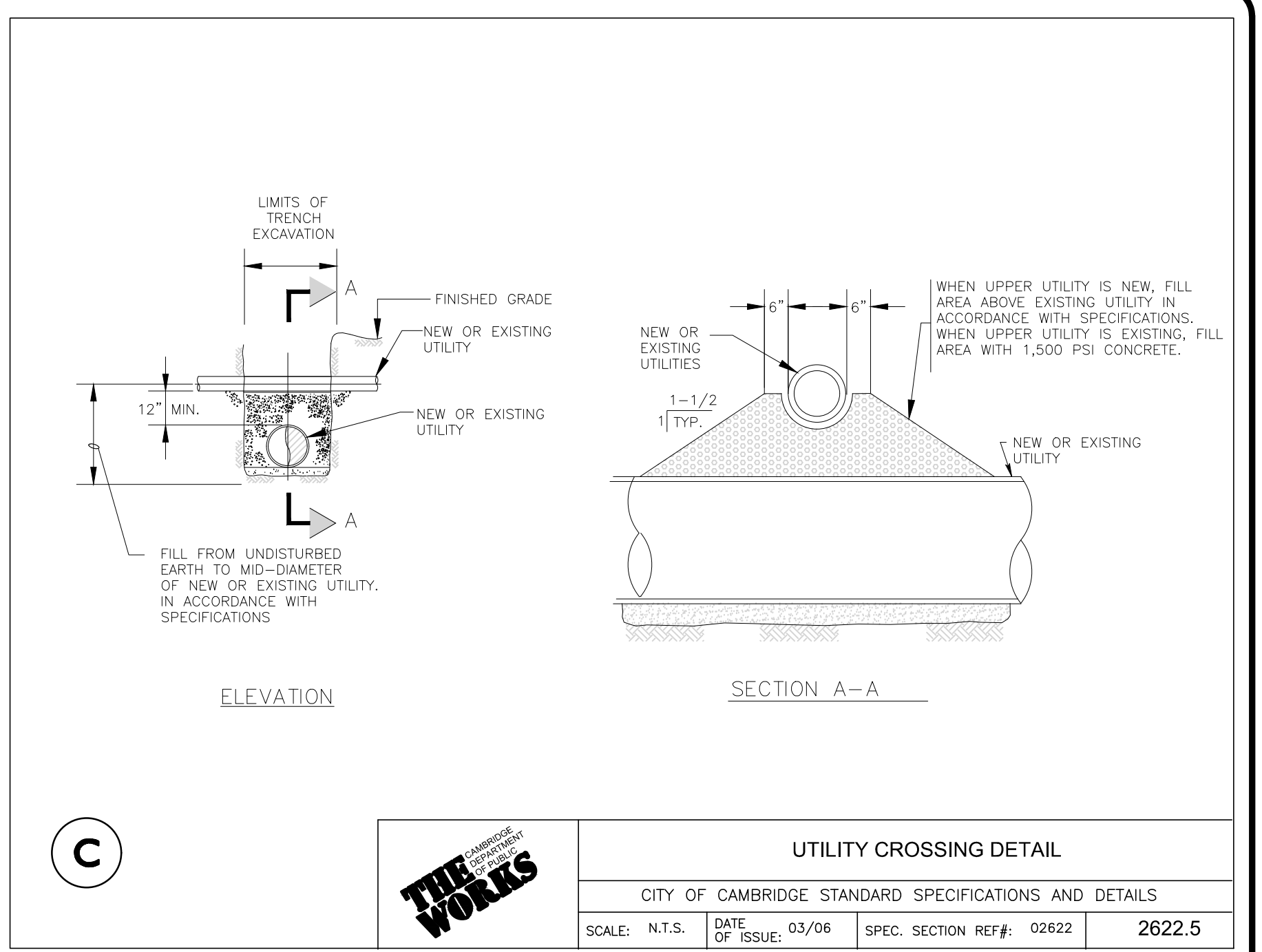
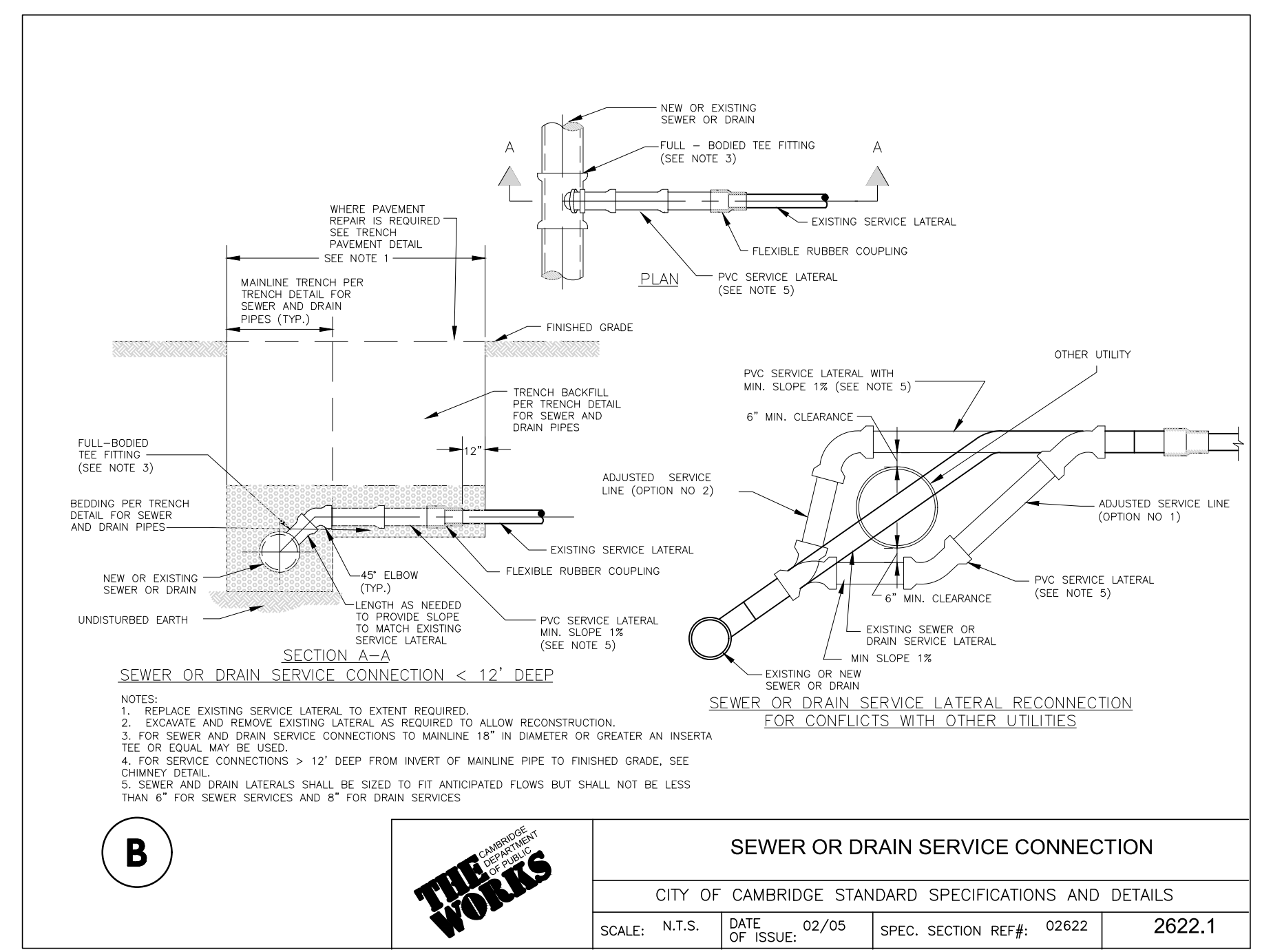
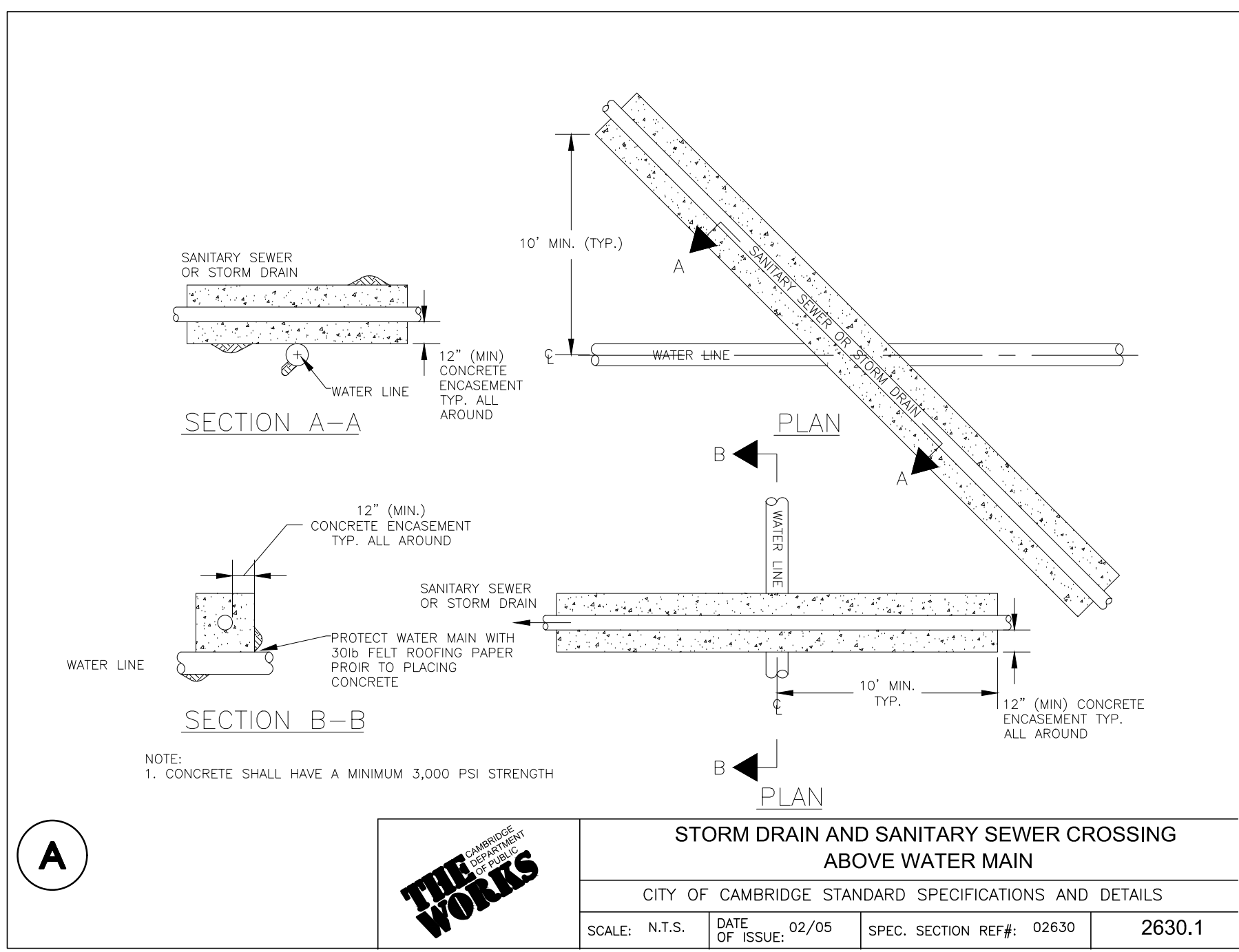
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DRAWING TITLE: DETAILS SHEET No. D-1

REV: PROJECTS\1362-16\CIVIL\DRAWINGS\CURRENT\1362-16-DETAILS.DWG



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV. DATE DESCRIPTION

OWNER: SOMERBRIDGE HOTEL LLC  
c/o XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

PROJECT: 145 ROOM HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA  
1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: OCTOBER 15, 2025  
SCALE: AS SHOWN DWG.: 1362-16Detail

DESIGNED BY: SM CHECKED BY: MM

PREPARED BY:

**ALLEN & MAJOR ASSOCIATES, INC.**  
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www.allenmajor.com  
400 HARVEY ROAD  
MANCHESTER, NH 03103  
TEL: (603) 627-5500  
FAX: (603) 627-5501

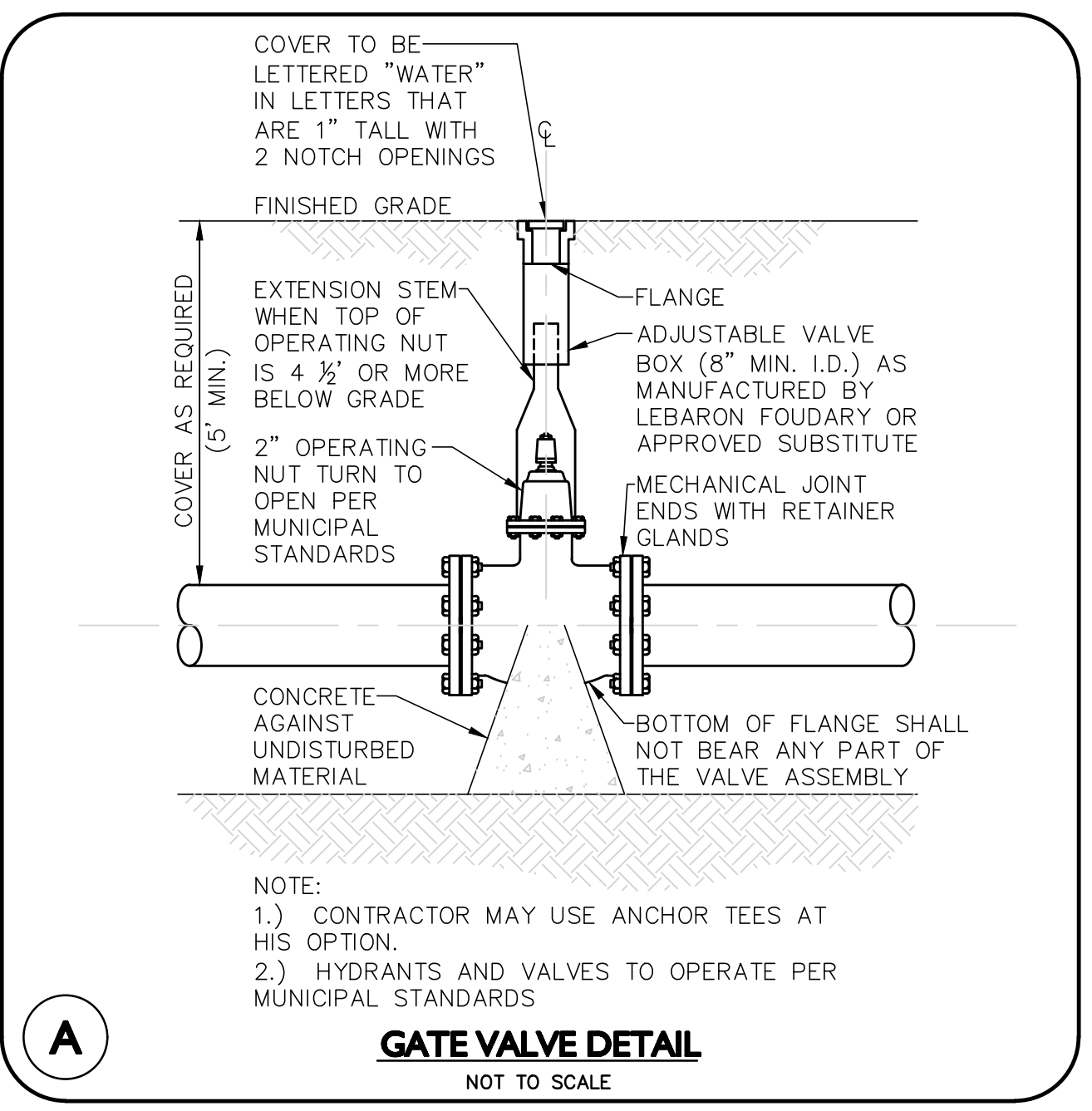
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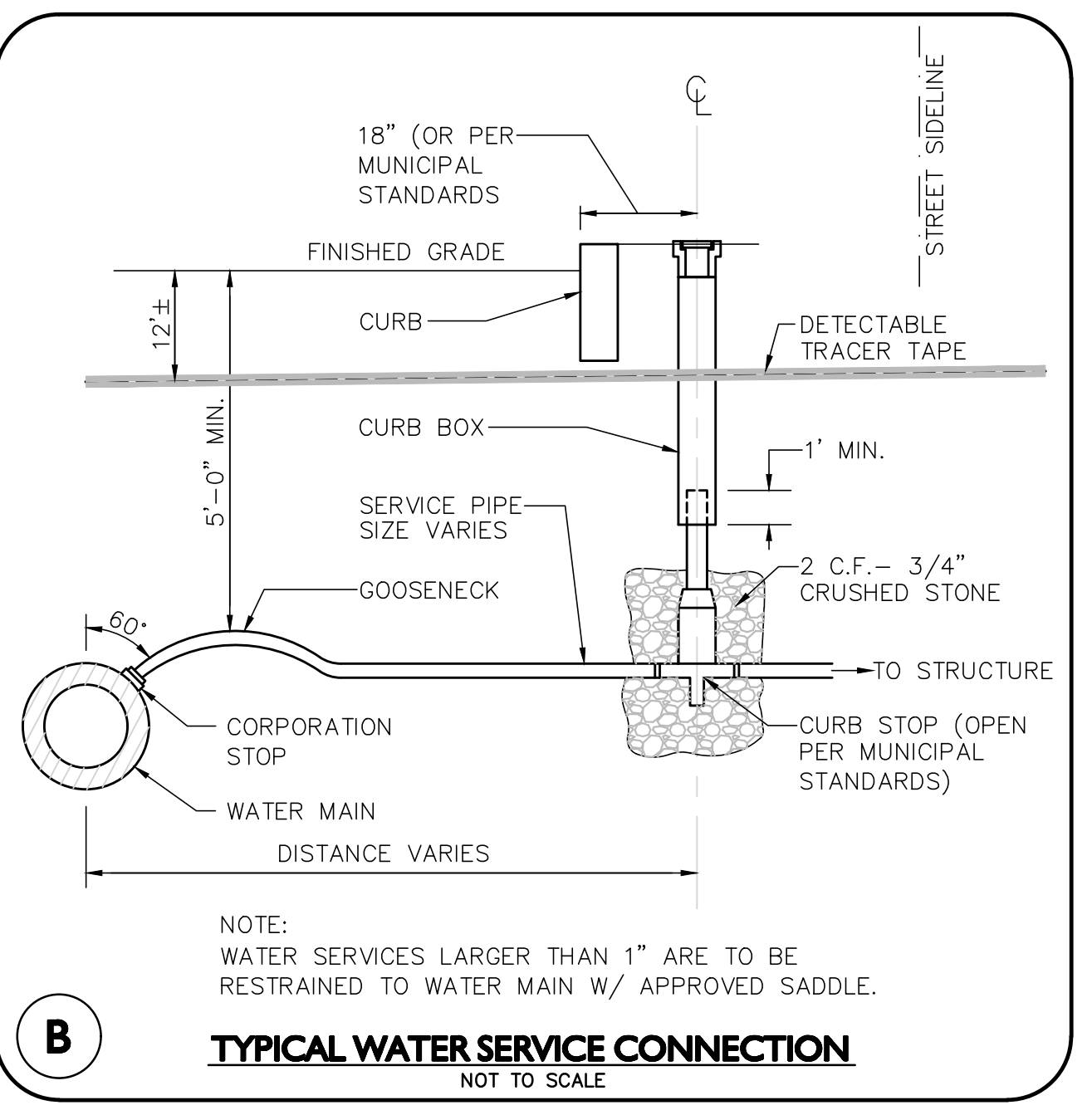
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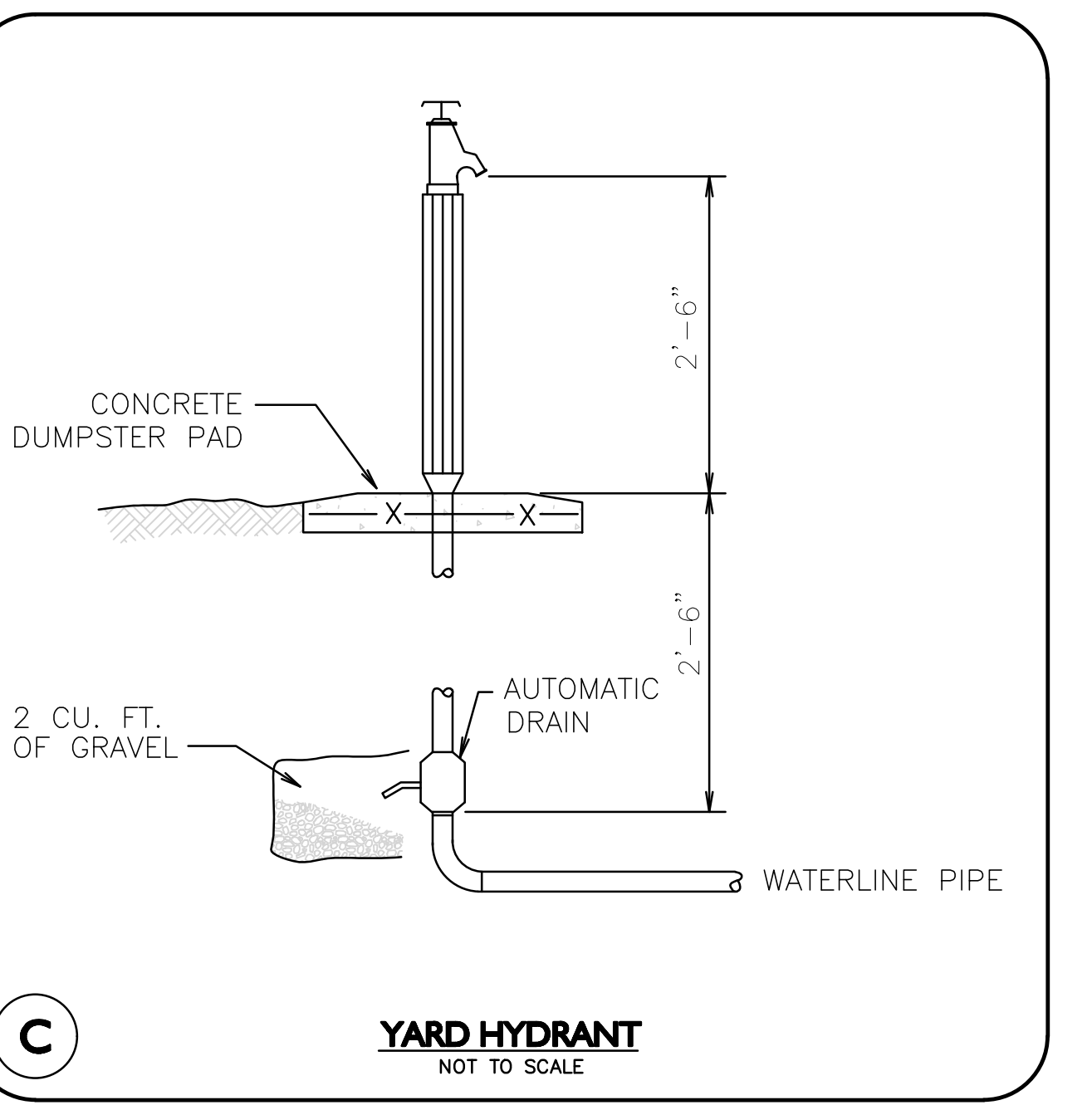
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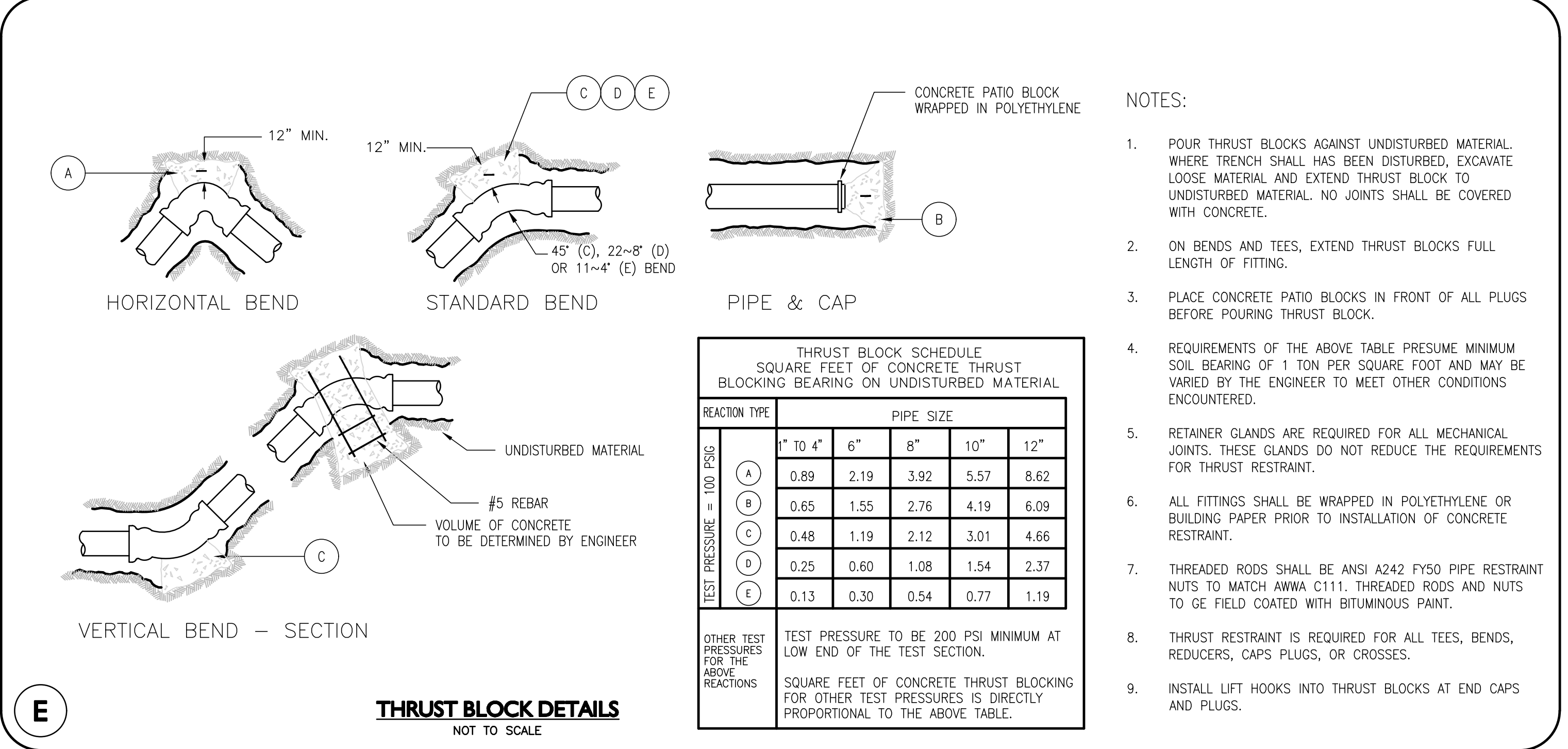
**A** **GATE VALVE DETAIL**  
NOT TO SCALE



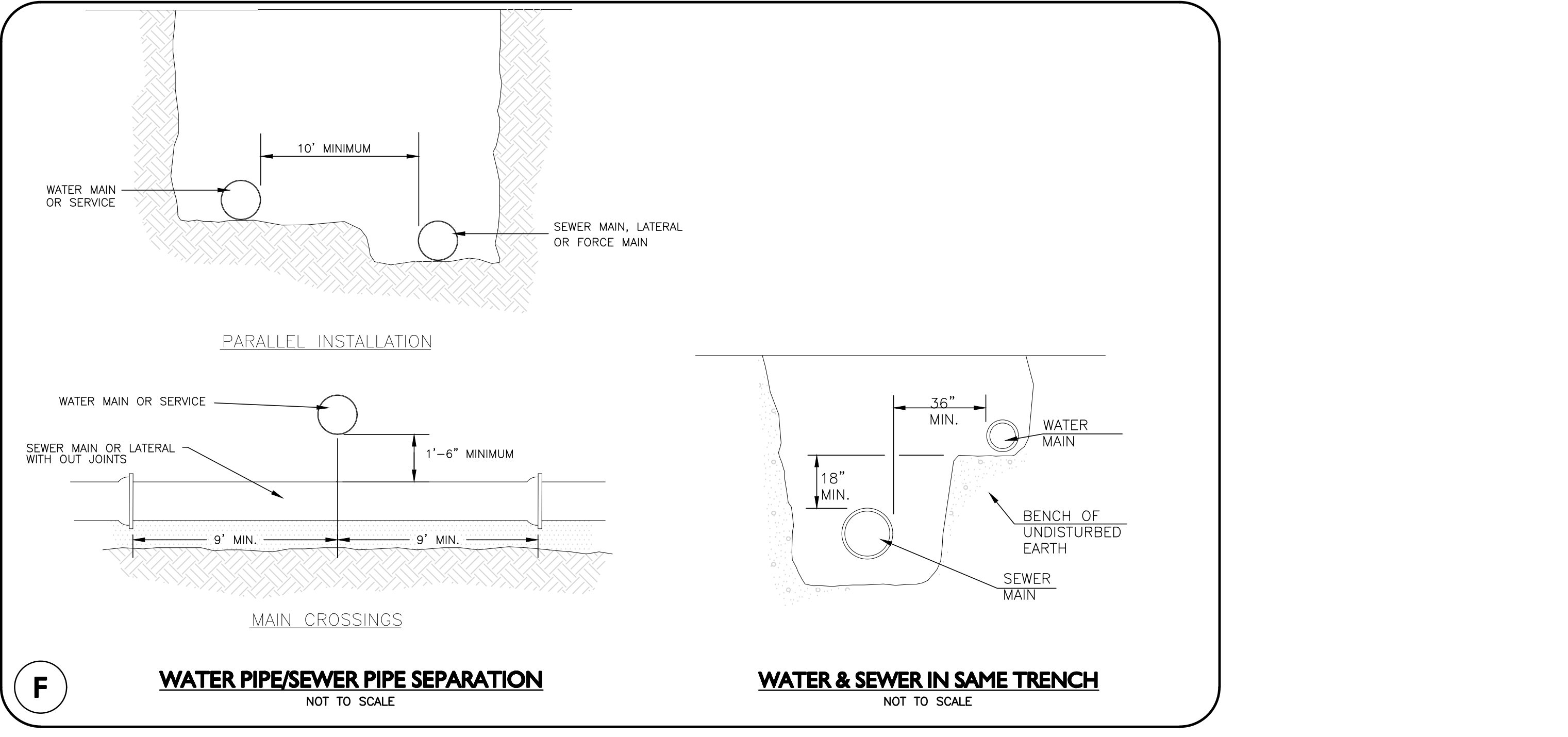
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NOT TO SCALE



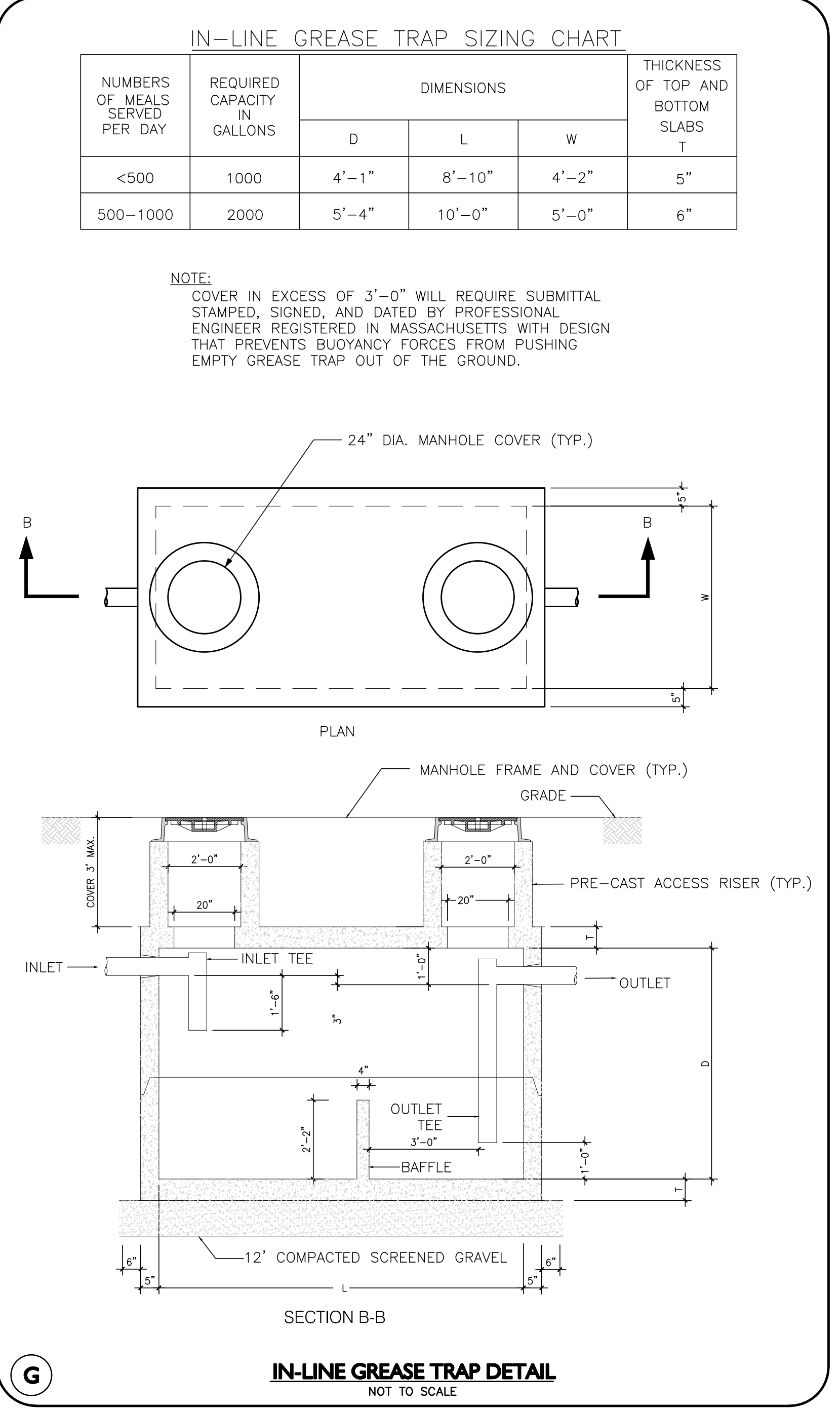
**C** **YARD HYDRANT**  
NOT TO SCALE



**E** **THRUST BLOCK DETAILS**  
NOT TO SCALE



**F** **WATER PIPE/SEWER PIPE SEPARATION**  
NOT TO SCALE



**G** **IN-LINE GREASE TRAP DETAIL**  
NOT TO SCALE



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

OWNER: SOMERBRIDGE HOTEL LLC  
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PO BOX 4430  
MANCHESTER, NH 03108

PROJECT: 145 ROOM HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA  
1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: OCTOBER 15, 2025  
SCALE: AS SHOWN DWG.: 1362-16Detail  
DESIGNED BY: SM CHECKED BY: MM

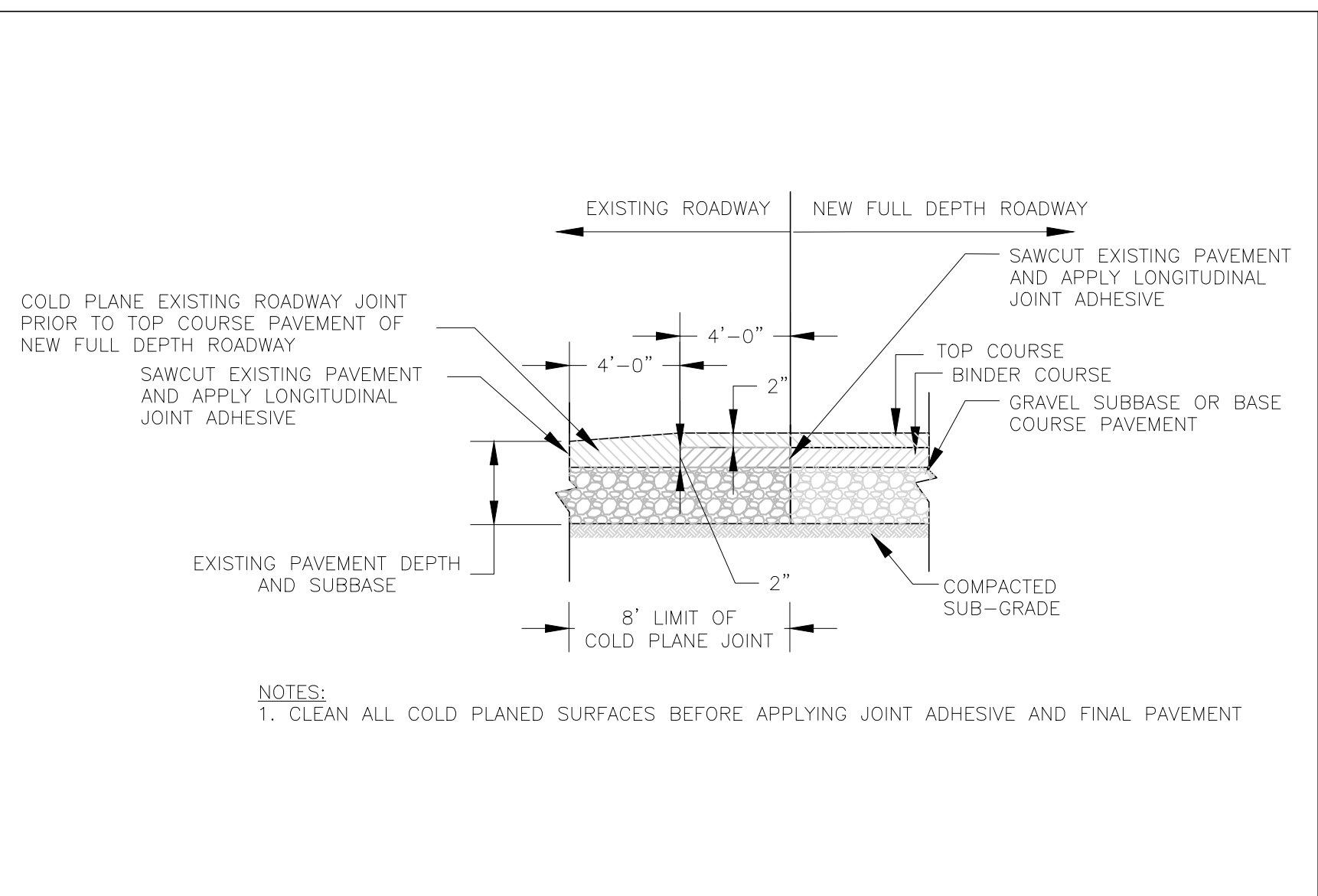
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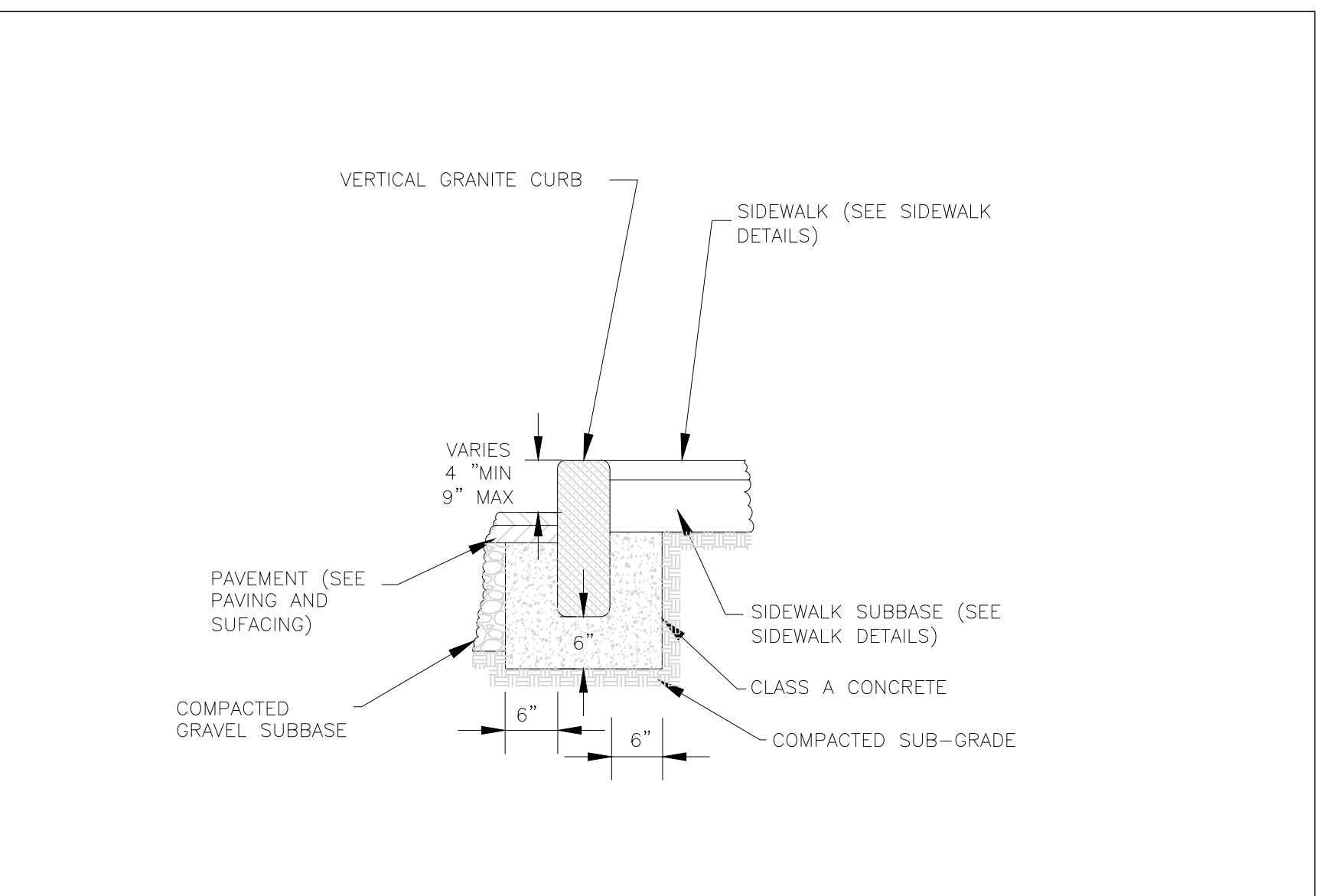
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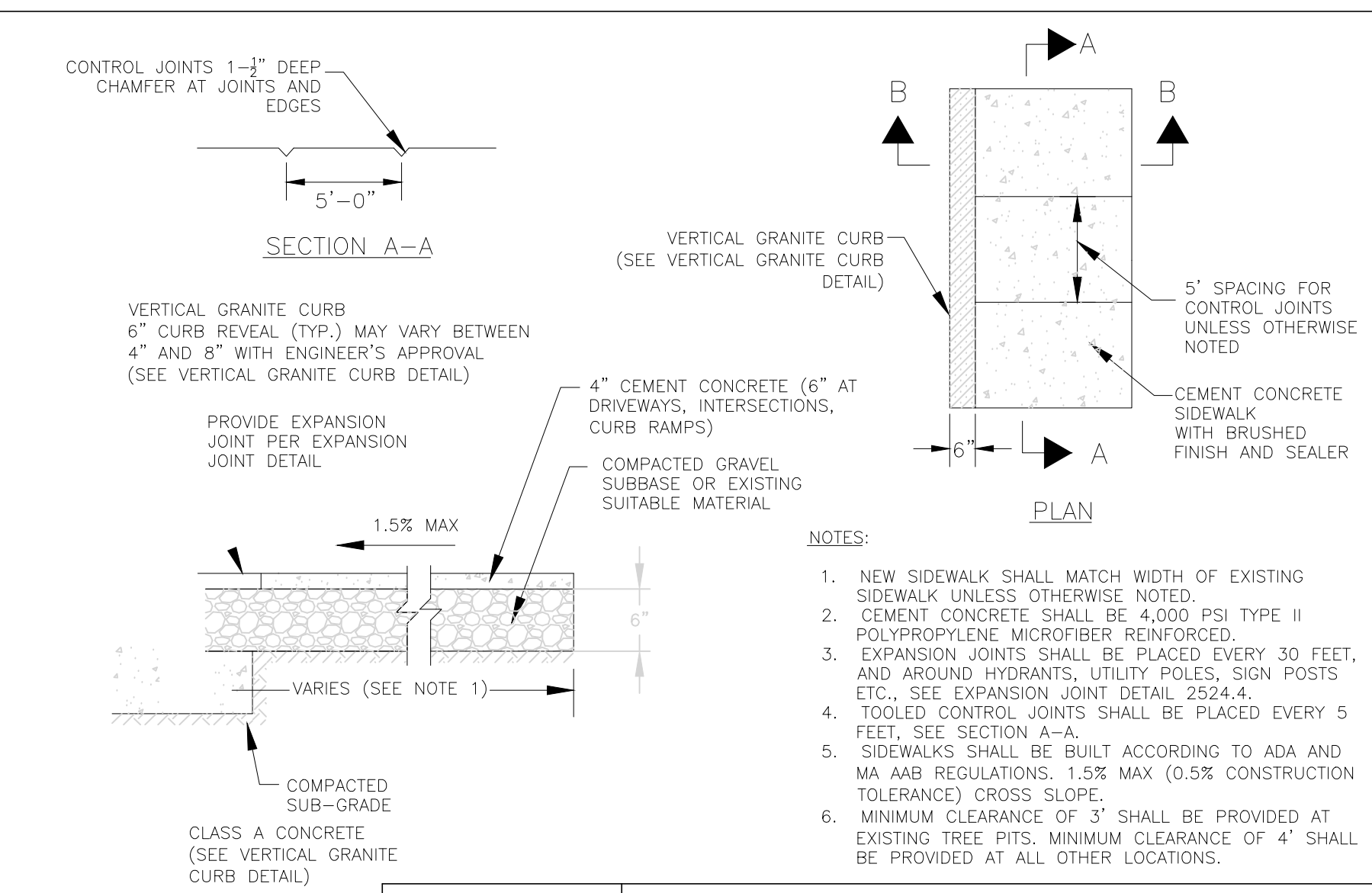
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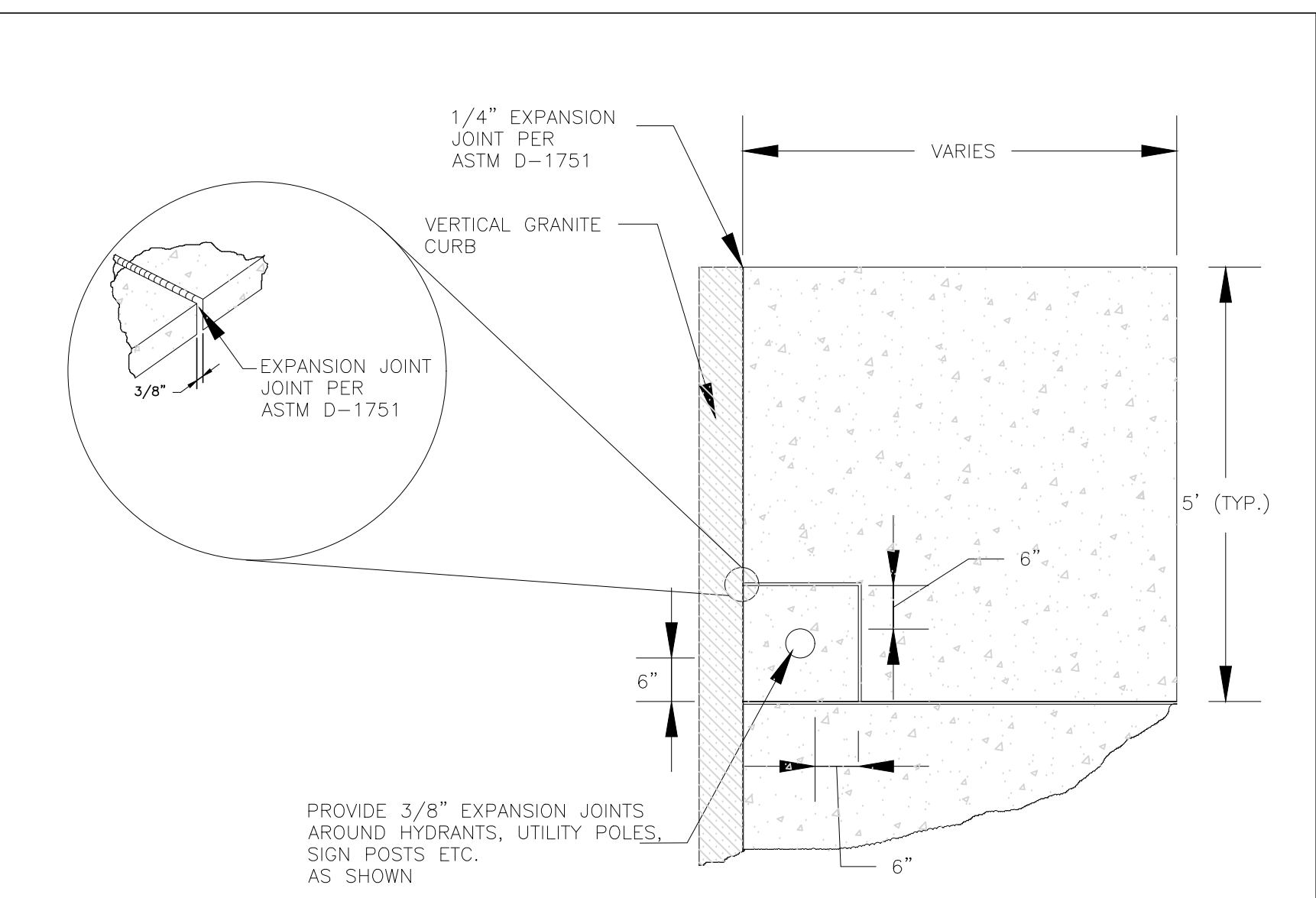
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		CITY OF CAMBRIDGE STANDARD SPECIFICATIONS AND DETAILS				
		SCALE: N.T.S.	DATE OF ISSUE: 02/05	SPEC. SECTION REF#: 02500	2500.3	



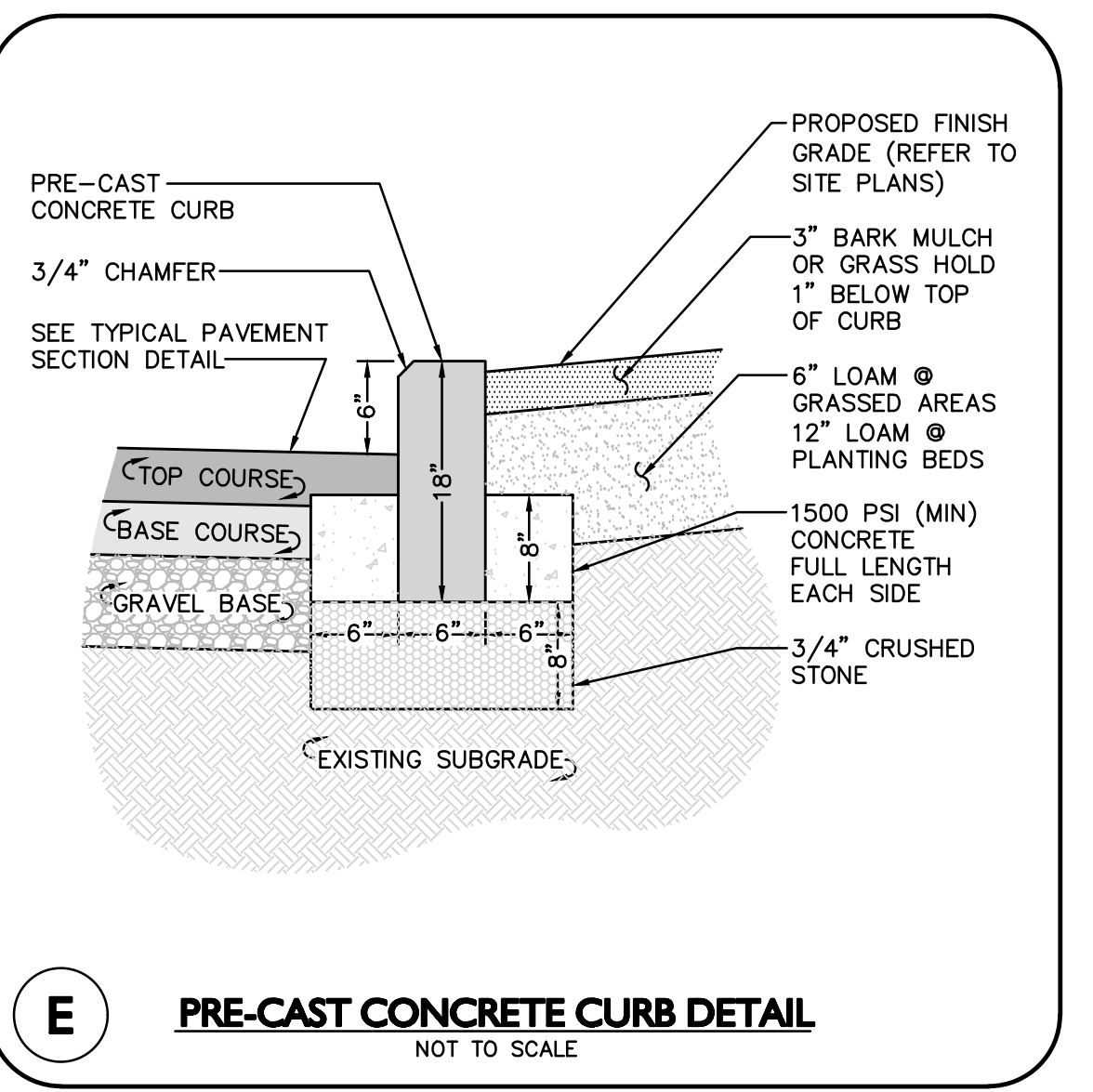
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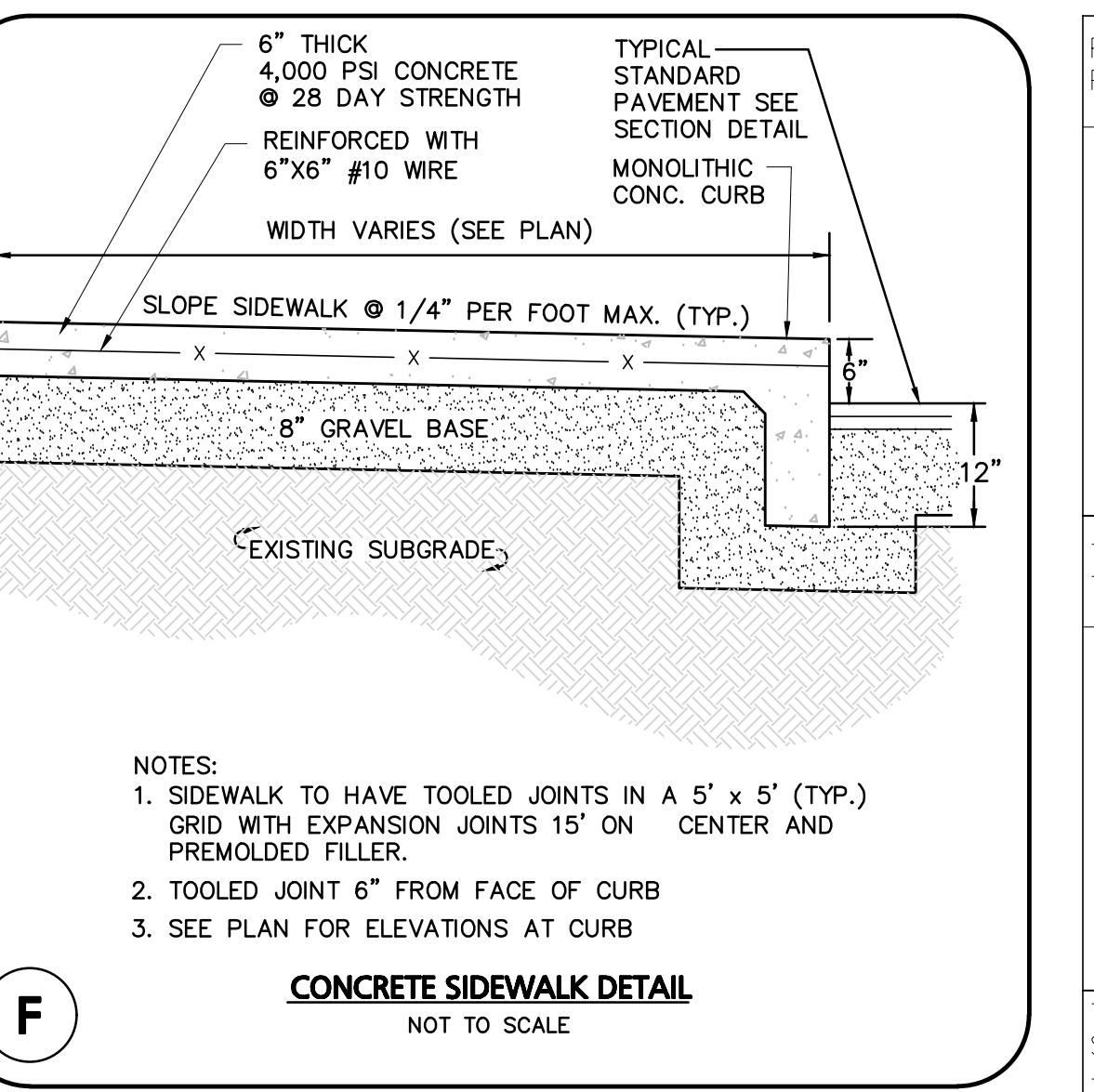
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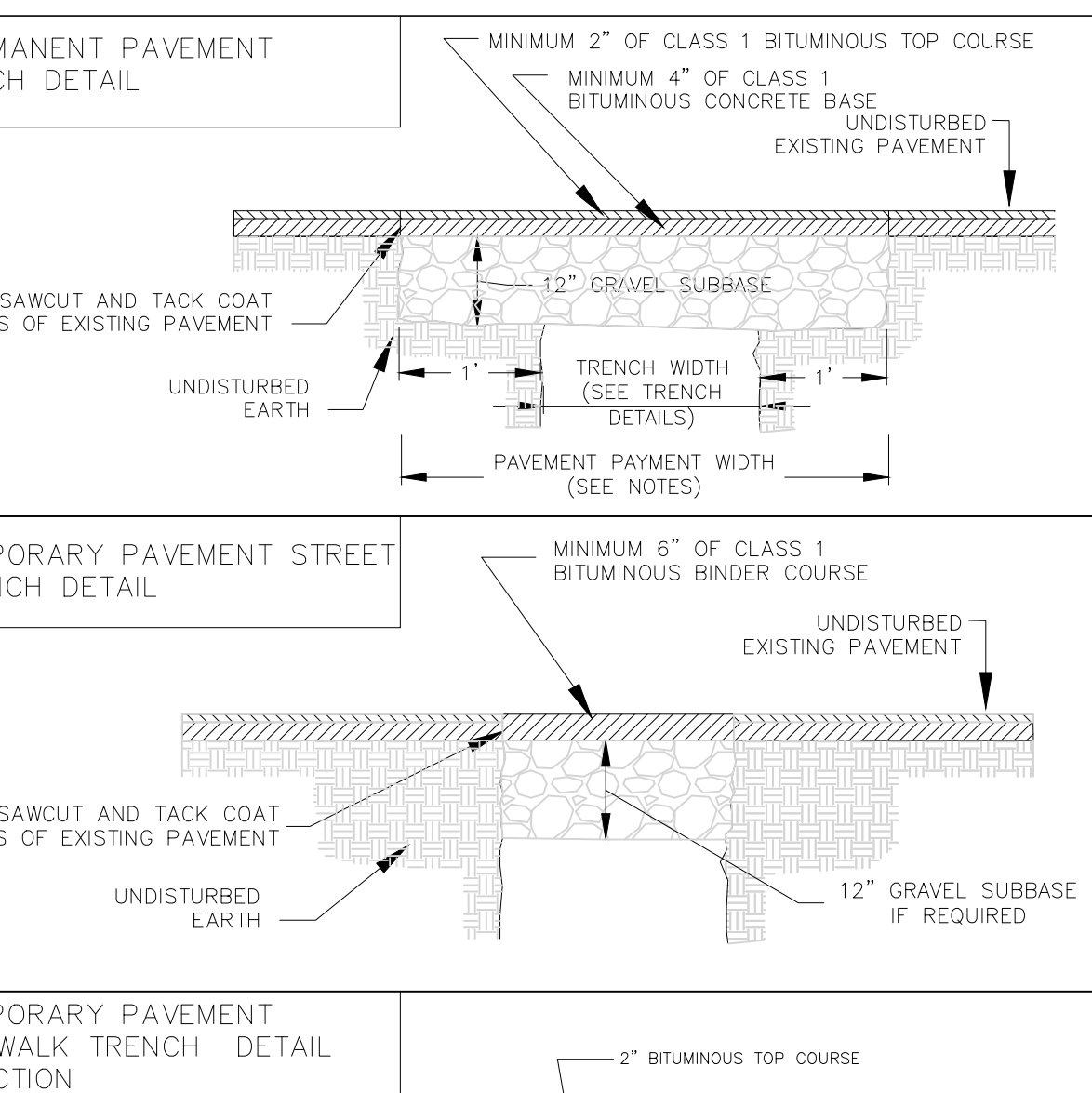
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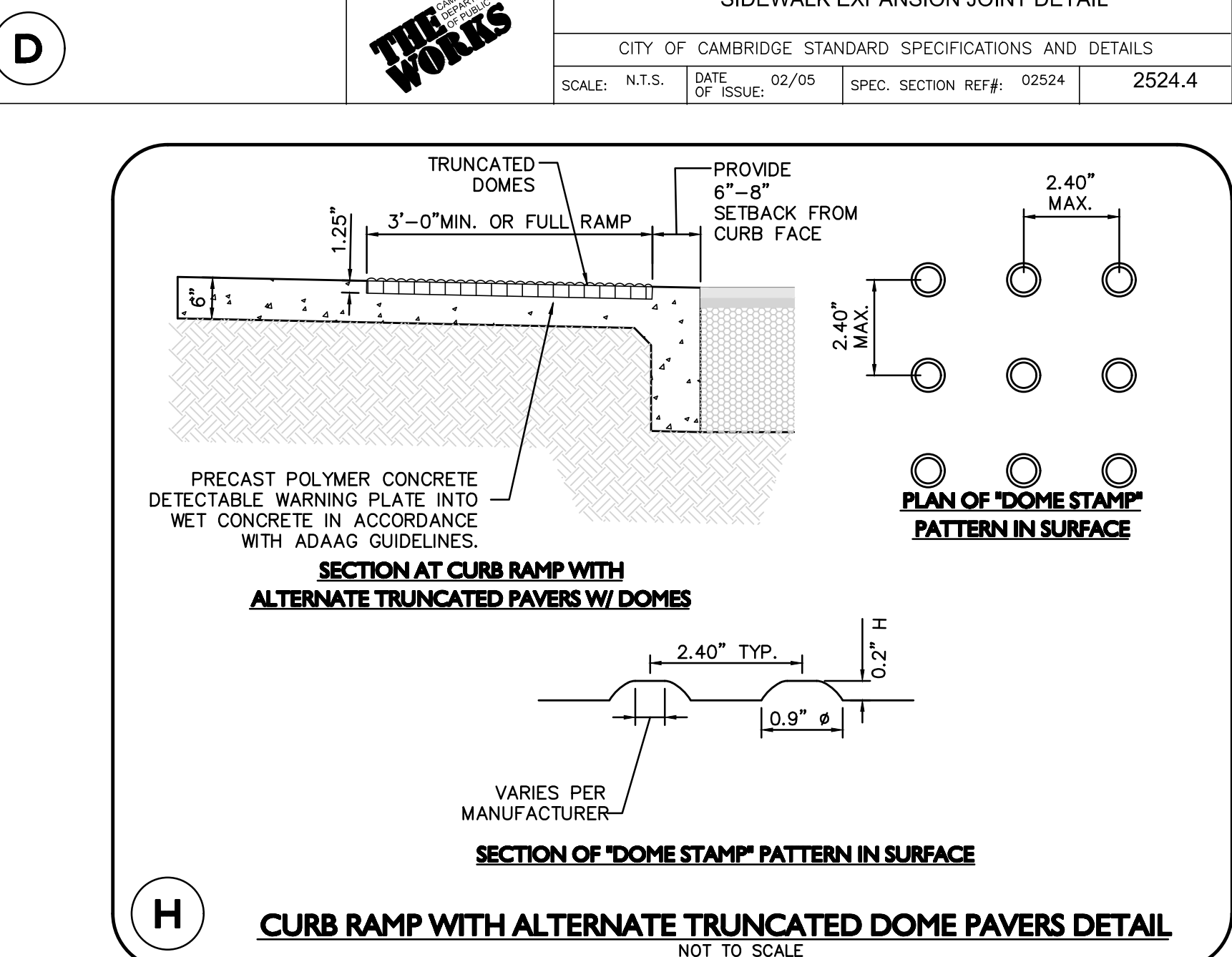
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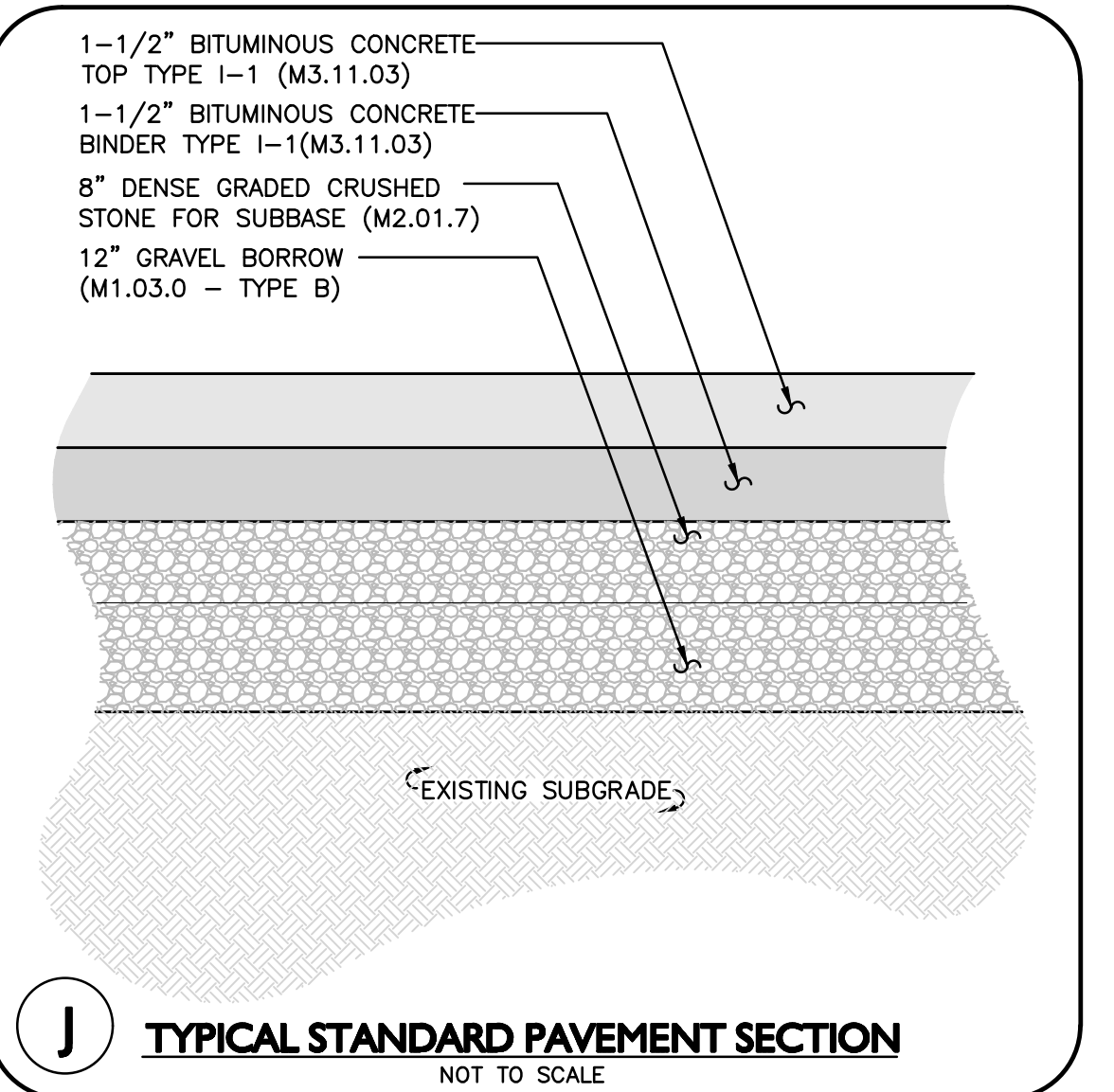
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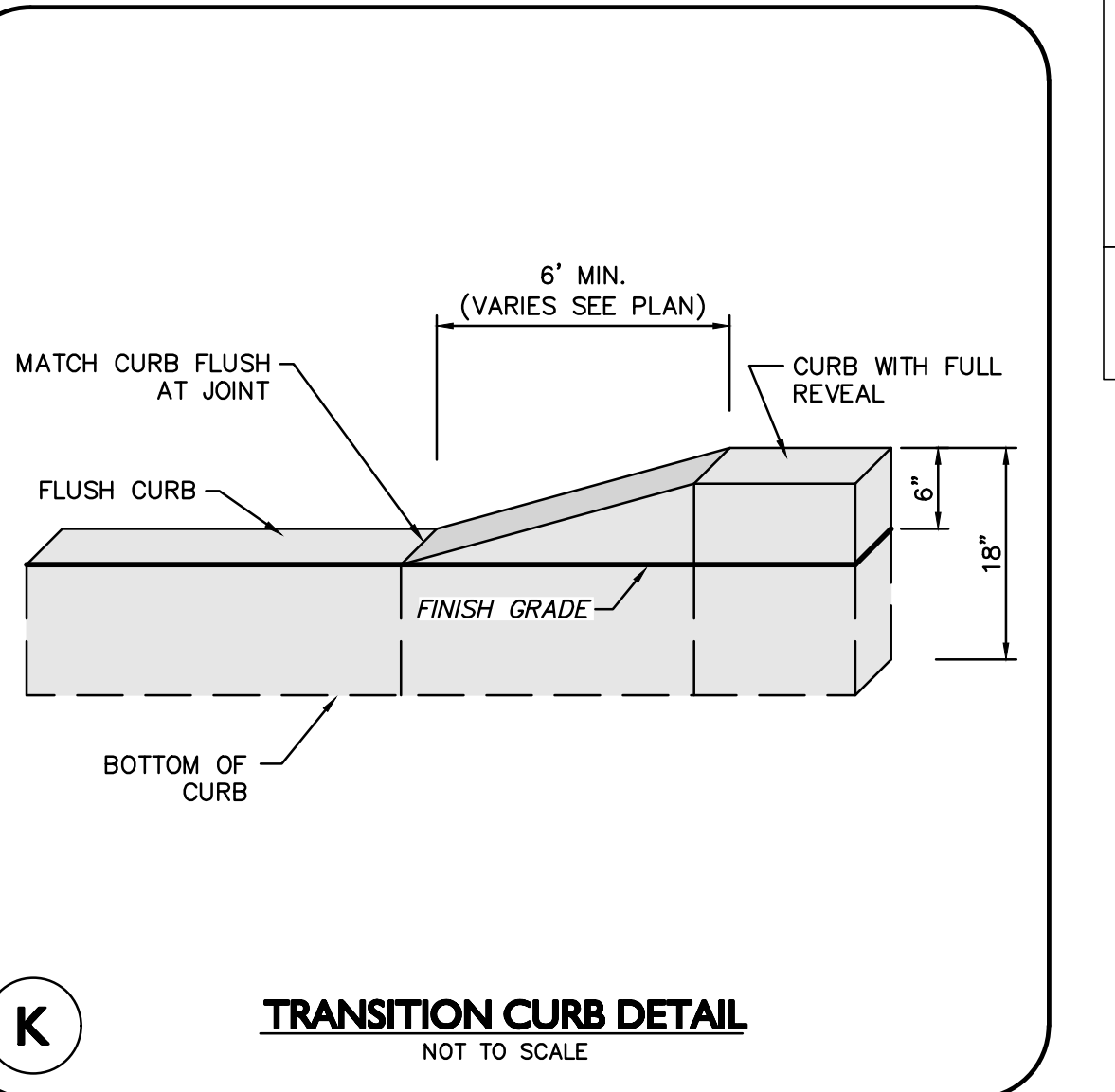
<b>G</b>	<b>THE WORKS</b>	<b>TEMPORARY PAVEMENT STREET TRENCH DETAIL</b>				
		NOT TO SCALE				



<b>H</b>	<b>THE WORKS</b>	<b>CURB RAMP WITH ALTERNATE TRUNCATED DOME PAVERS DETAIL</b>				
		NOT TO SCALE				



<b>J</b>	<b>THE WORKS</b>	<b>TYPICAL STANDARD PAVEMENT SECTION</b>				
		NOT TO SCALE				



<b>K</b>	<b>THE WORKS</b>	<b>TRANSITION CURB DETAIL</b>				
		NOT TO SCALE				



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

**OWNER:**  
SOMERBRIDGE HOTEL LLC  
c/o XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

**PROJECT:**  
145 ROOM HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA

1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16	DATE: OCTOBER 15, 2025
SCALE: AS SHOWN	DWG.: 1362-16Detail
DESIGNED BY: SM	CHECKED BY: MM

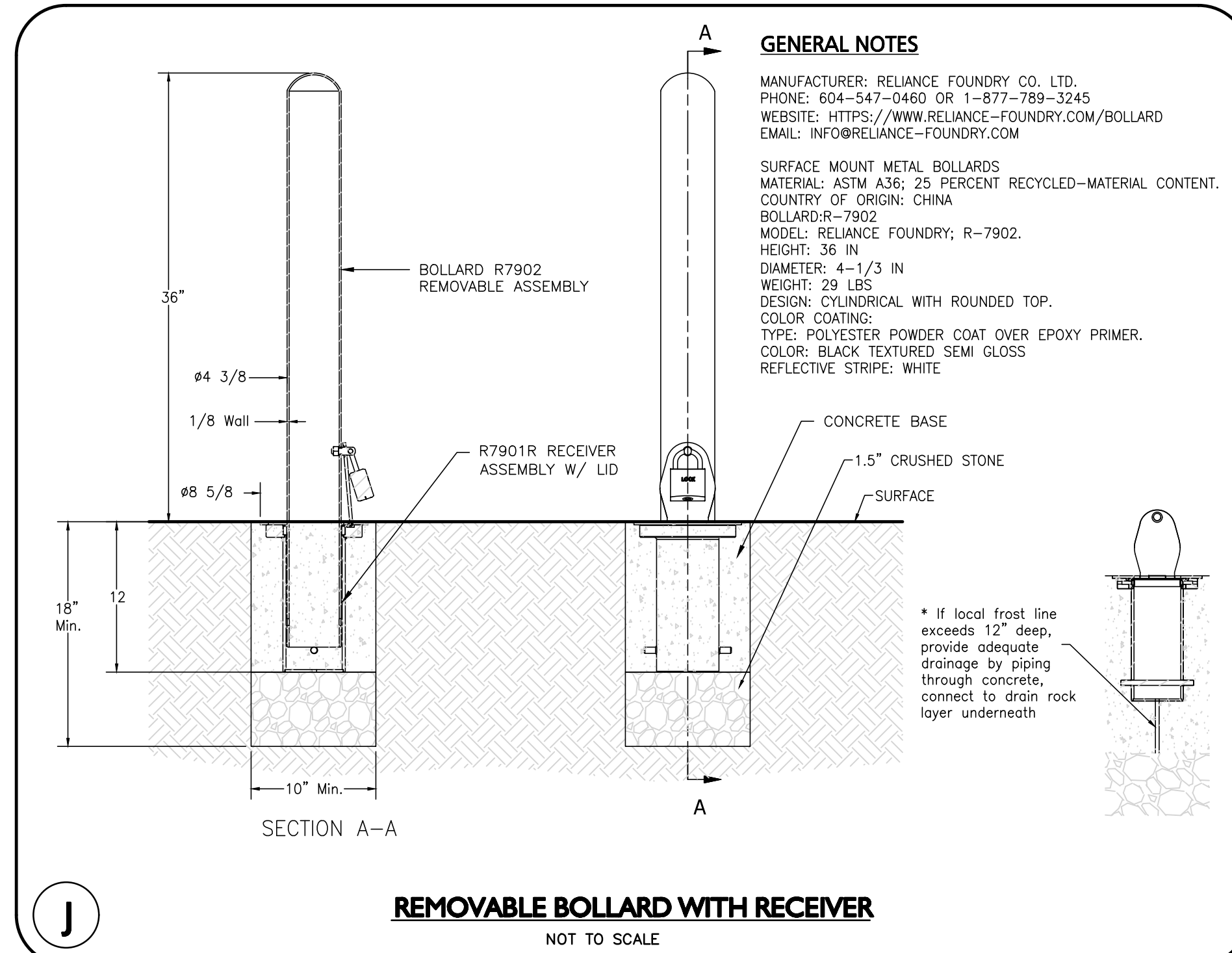
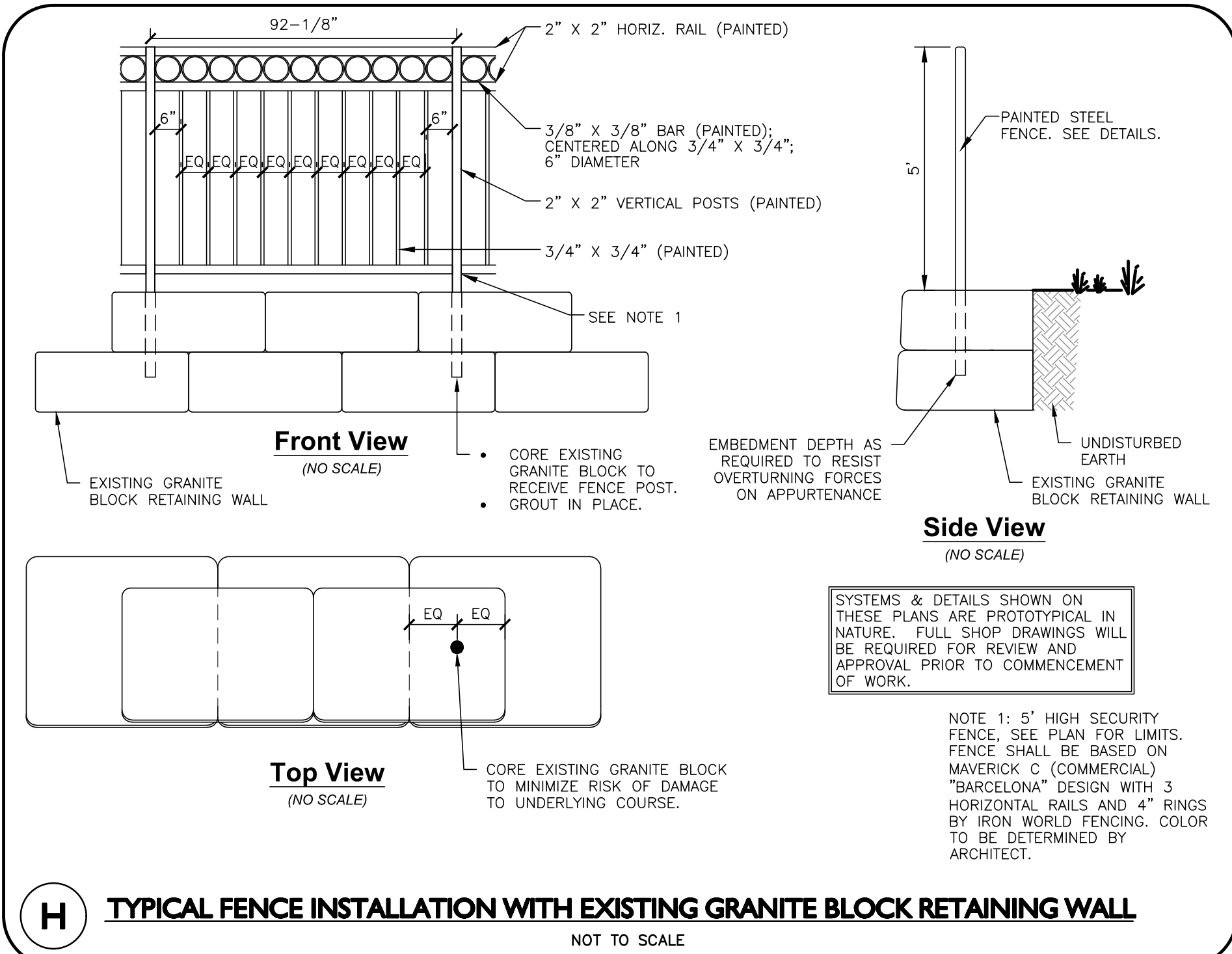
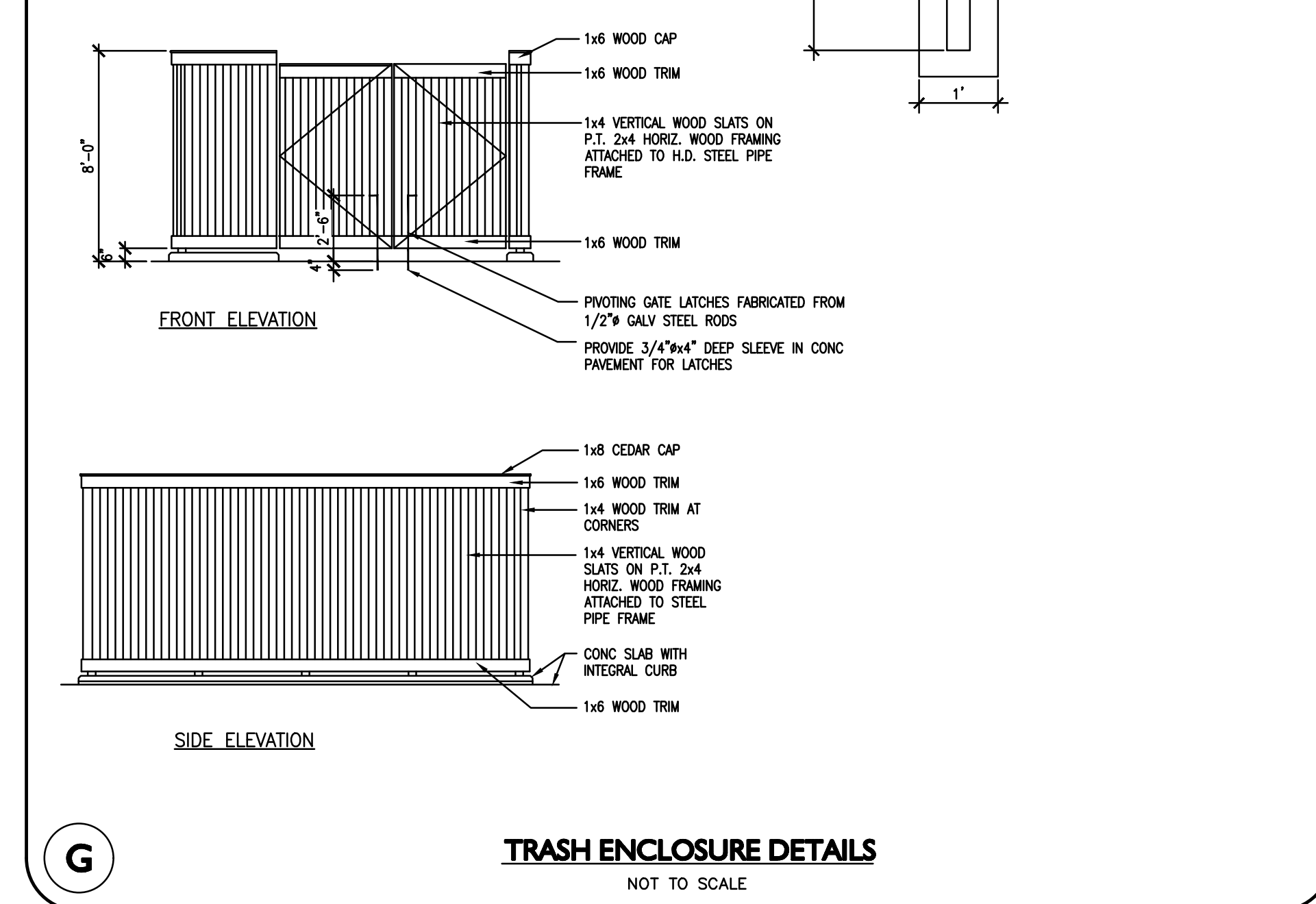
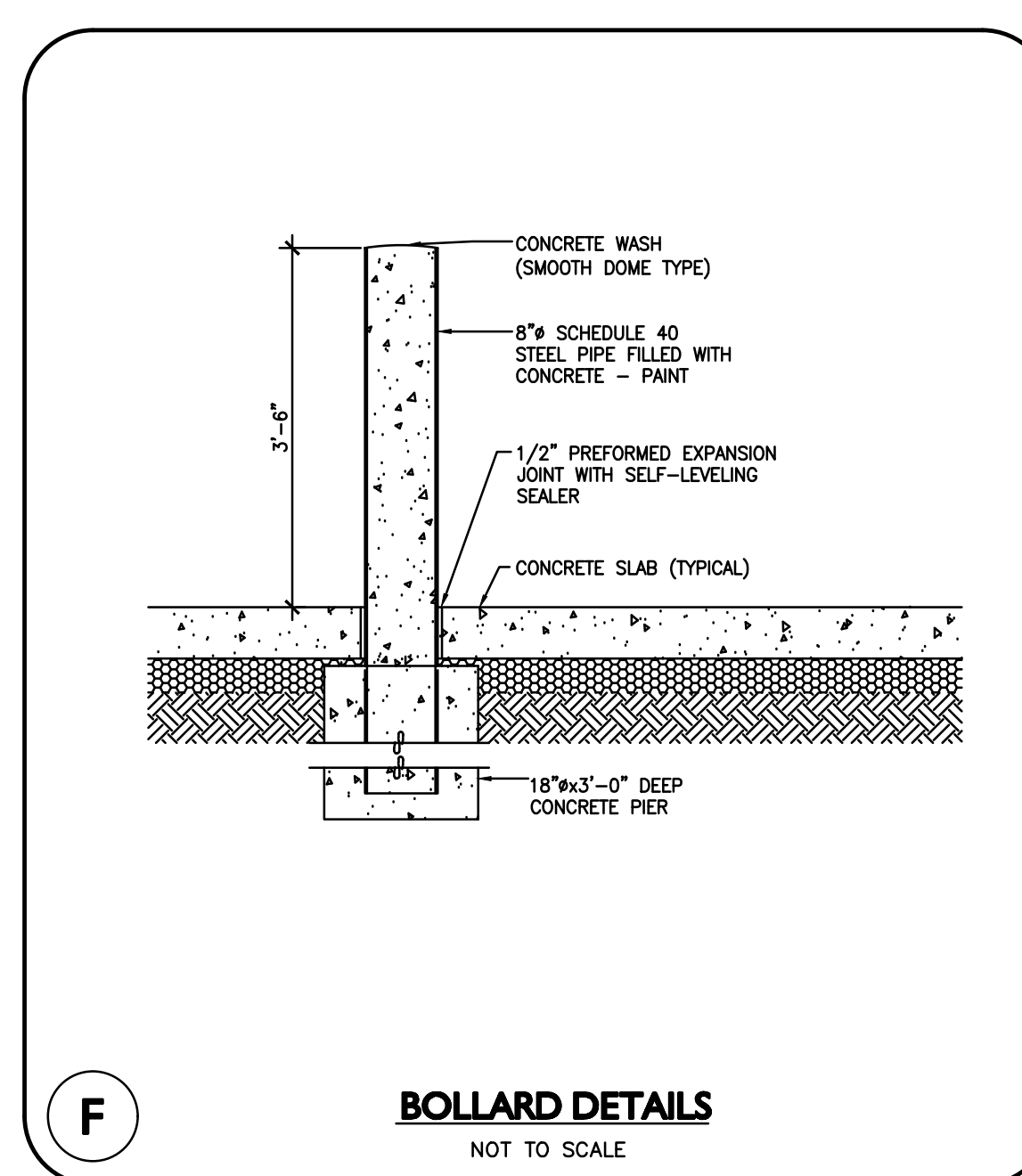
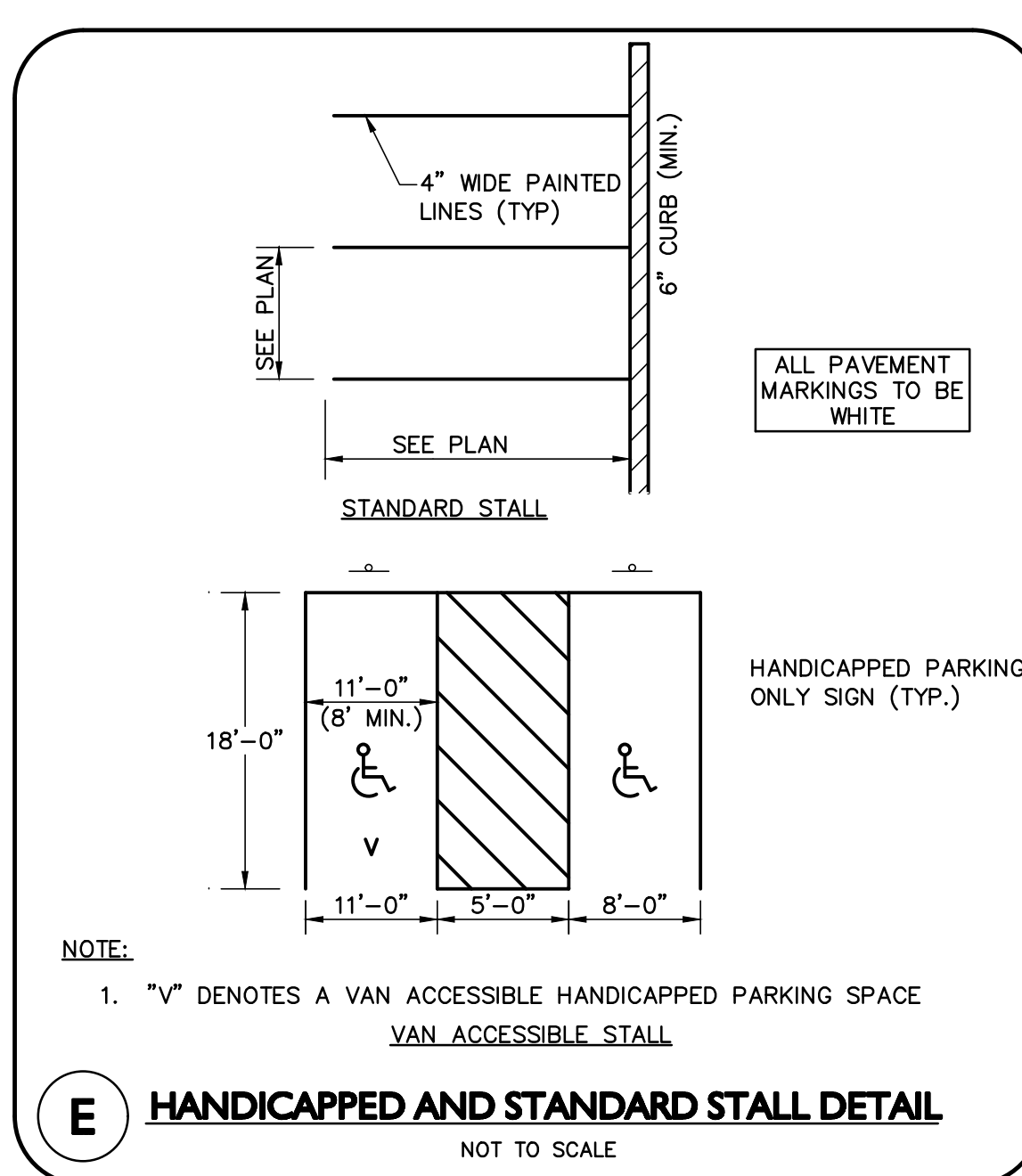
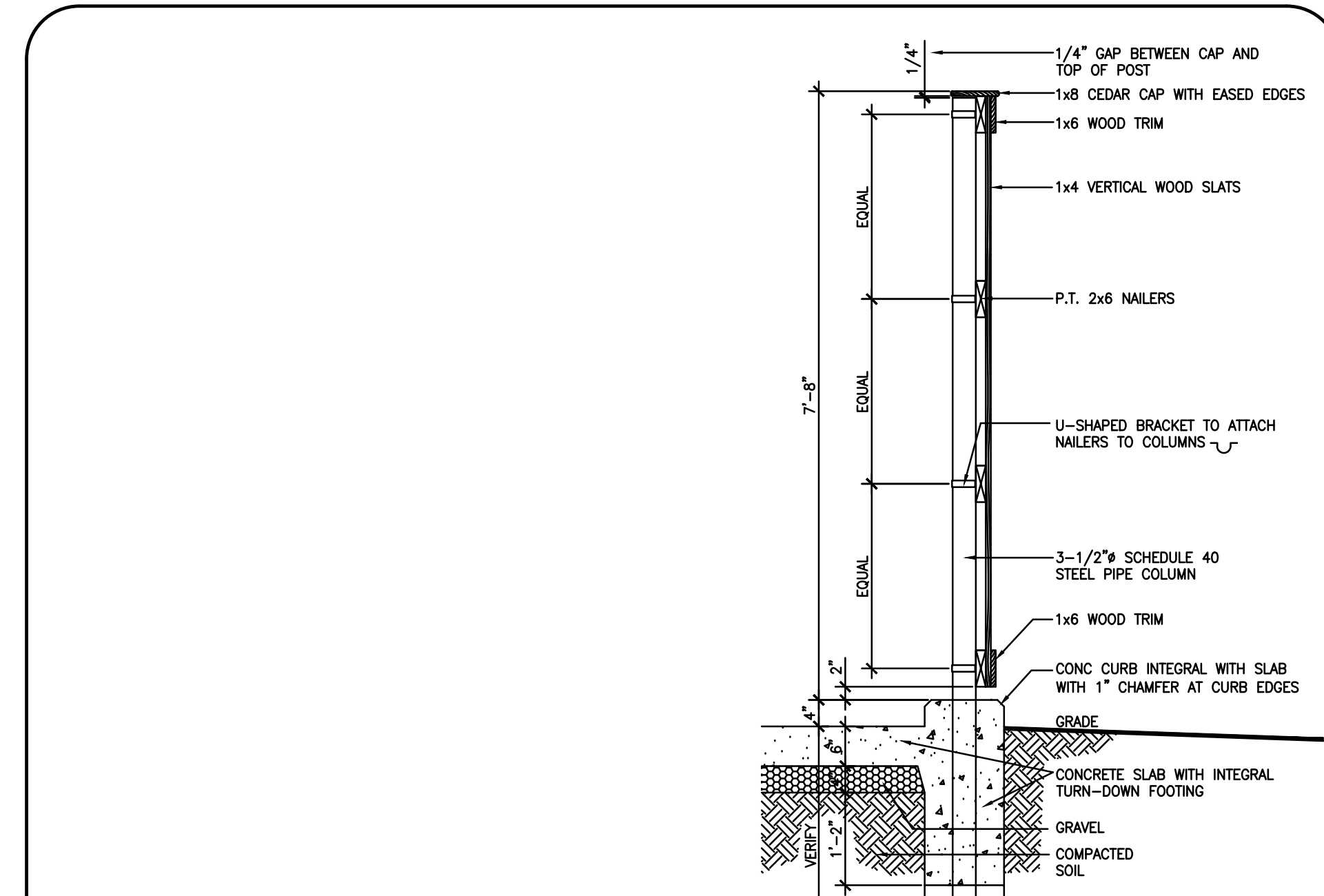
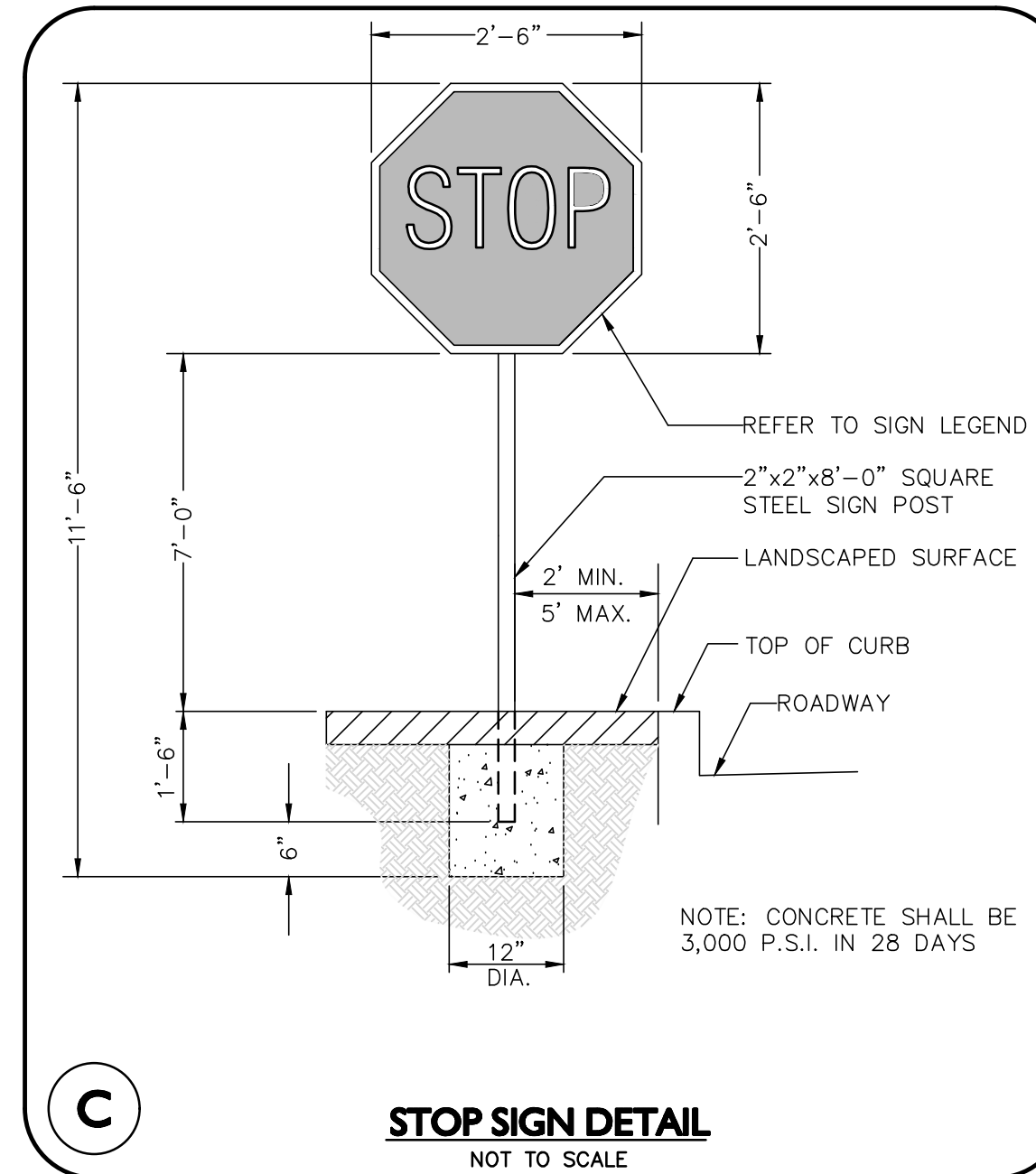
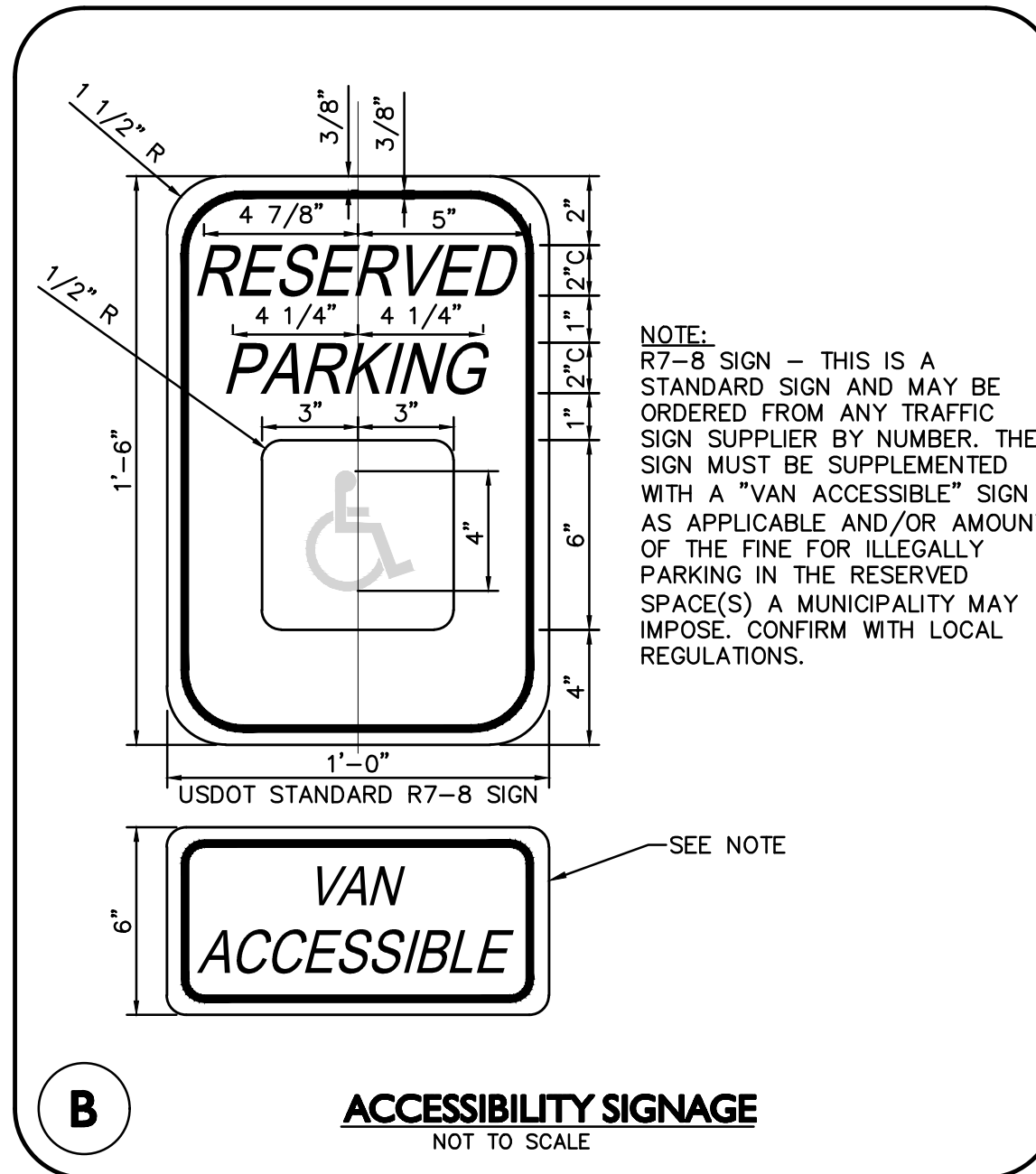
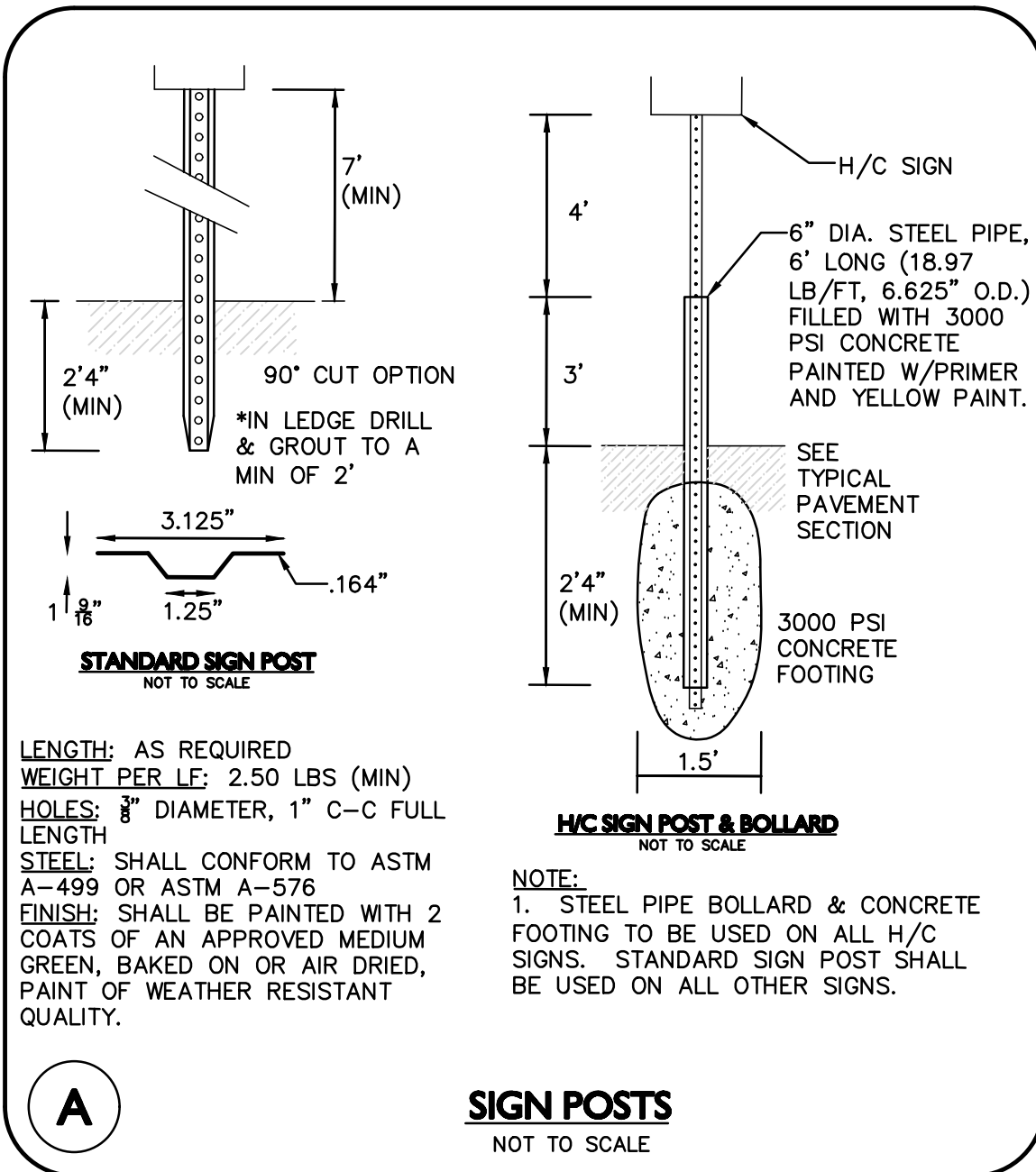
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DRAWING TITLE: <b>DETAILS</b>	SHEET No. <b>D-4</b>
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MICHAEL A. MALYNSKI  
CIVIL  
No. 47268  
REG. IN THE STATE OF MASSACHUSETTS  
11-05-2025

REV	DATE	DESCRIPTION

OWNER: SOMERBRIDGE HOTEL LLC  
c/o XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

PROJECT: 145 ROOM HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA

1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: OCTOBER 15, 2025

SCALE: AS SHOWN DWG.: 1362-16Detail

DESIGNED BY: SM CHECKED BY: MM

PREPARED BY:

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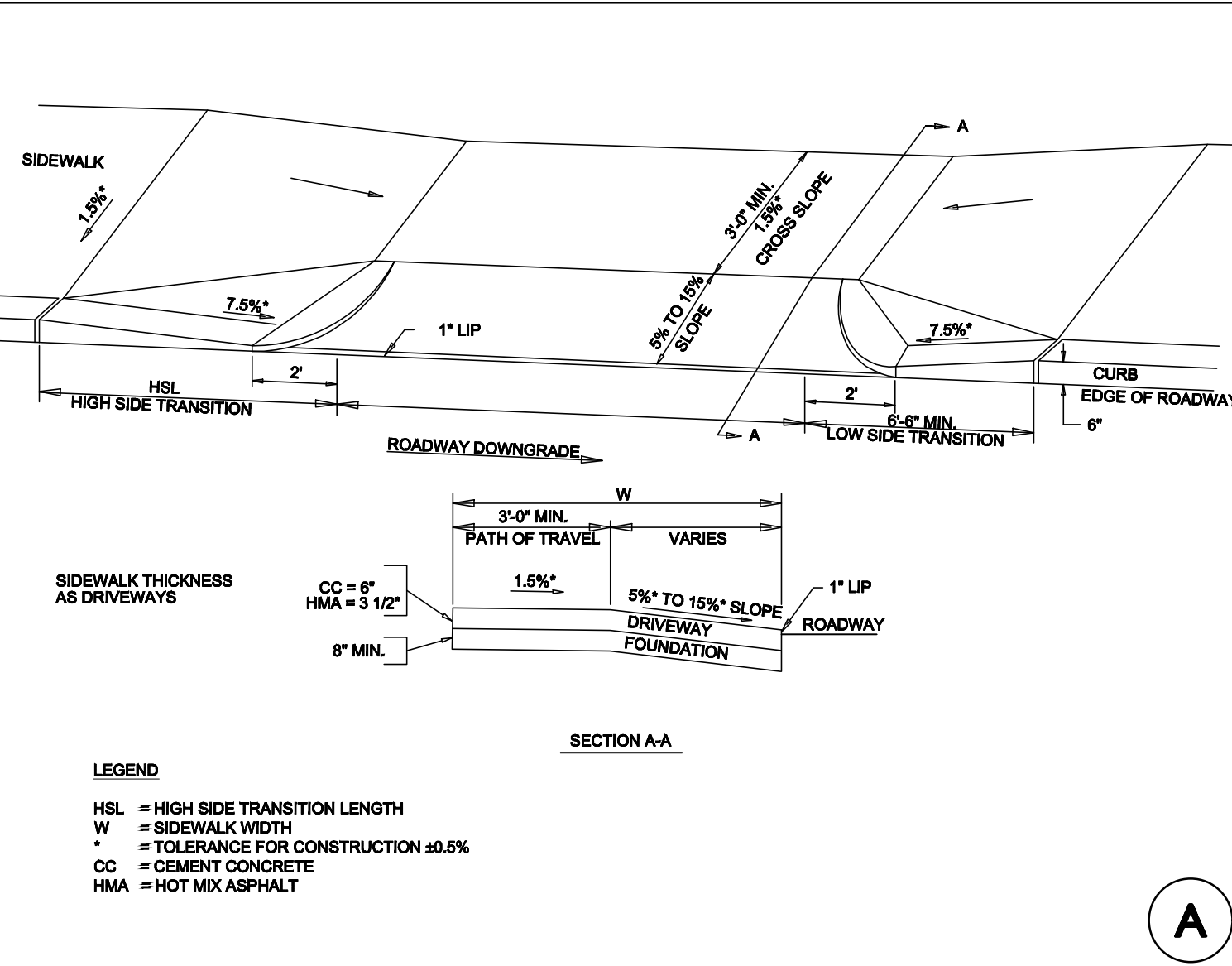
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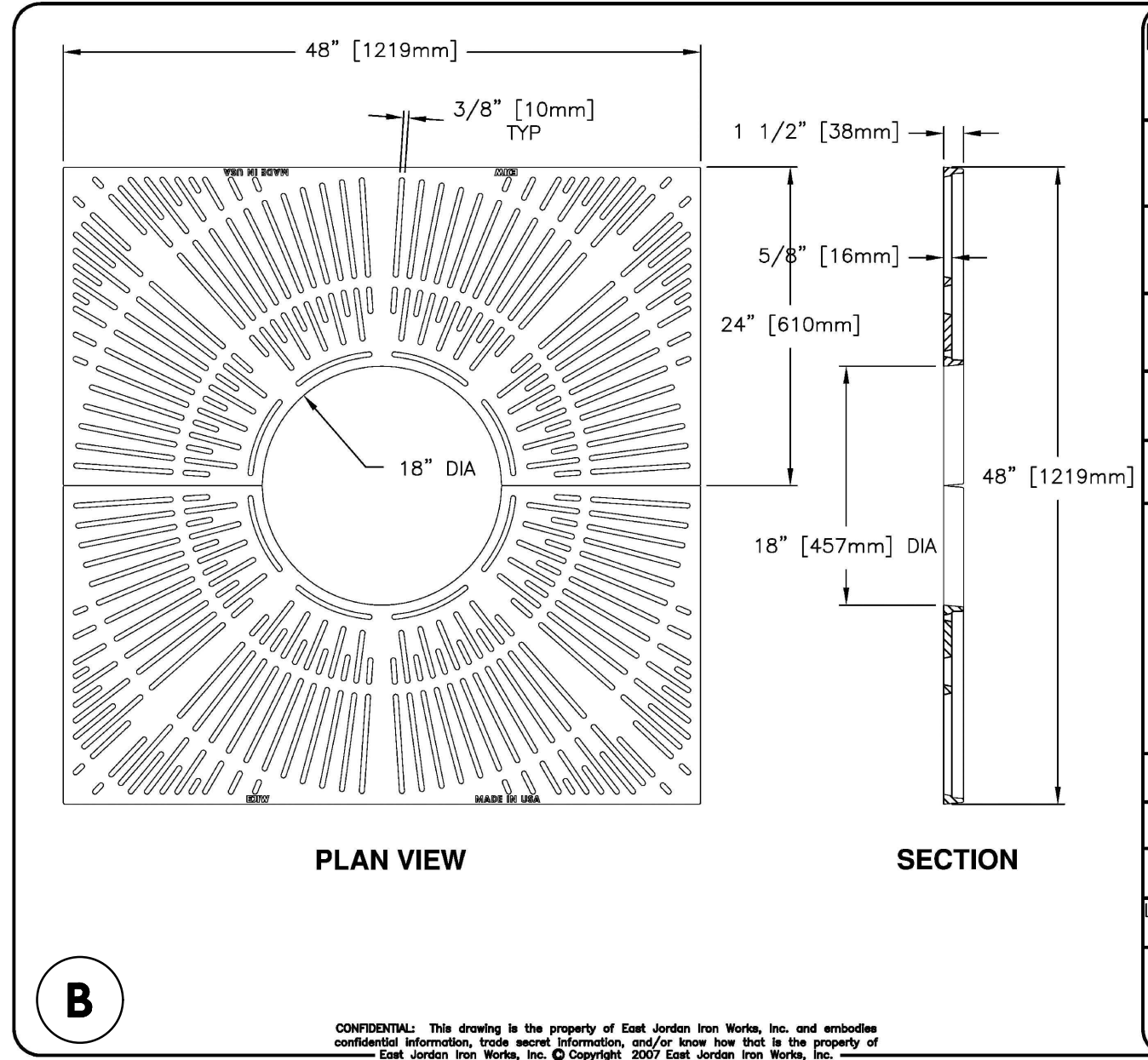
DRAWING TITLE: DETAILS SHEET No. D-5

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MASSDOT CONSTRUCTION STANDARDS  
 SIDEWALK THROUGH DRIVEWAYS WITH CURB RETURNS 2 CURB CORNERS  
 DATE OF ISSUE: NOVEMBER 2010  
 PROJECT NUMBER: 10780



(A)



(B)

**EJW EAST JORDAN**  
 800-626-4653  
 www.ejw.com  
 MADE IN USA

PRODUCT NUMBER  
**00867130**

CATALOG NUMBER  
**8671**

**ADA TREE GRATE SET**

LOAD RATING  
**NON-TRAFFIC**

COATING  
**DIPPED**

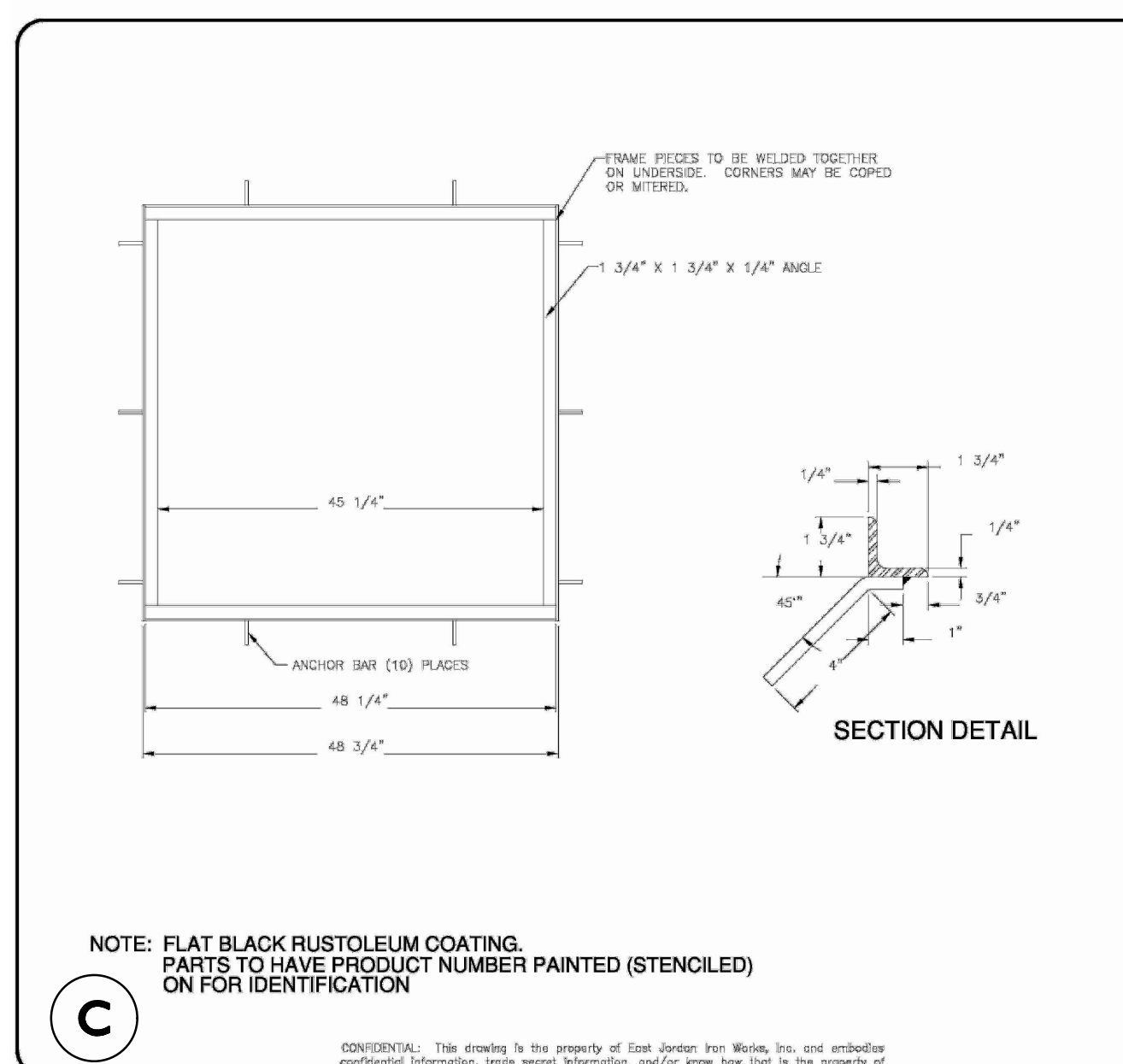
MATERIAL SPECIFICATION  
 GRATE - GRAY IRON  
 ASTM A48 CL35B

OPEN AREA  
 418 SQ. INCHES

DESIGNATES MACHINED SURFACE

DRAWN DATE  
 DEW 04/26/08

LAST REVISED DATE  
 NDM 6/03/10



(C)

**EJW EAST JORDAN**  
 800-626-4653  
 www.ejw.com  
 MADE IN USA

PRODUCT NUMBER  
**48954011**

CATALOG NUMBER  
**V8954**

**STEEL FRAME**

LOAD RATING  
**NON-TRAFFIC**

COATING  
**RUSTOLEUM**

MATERIAL SPECIFICATION  
 FRAME - STEEL ASTM A36

OPEN AREA  
 N/A

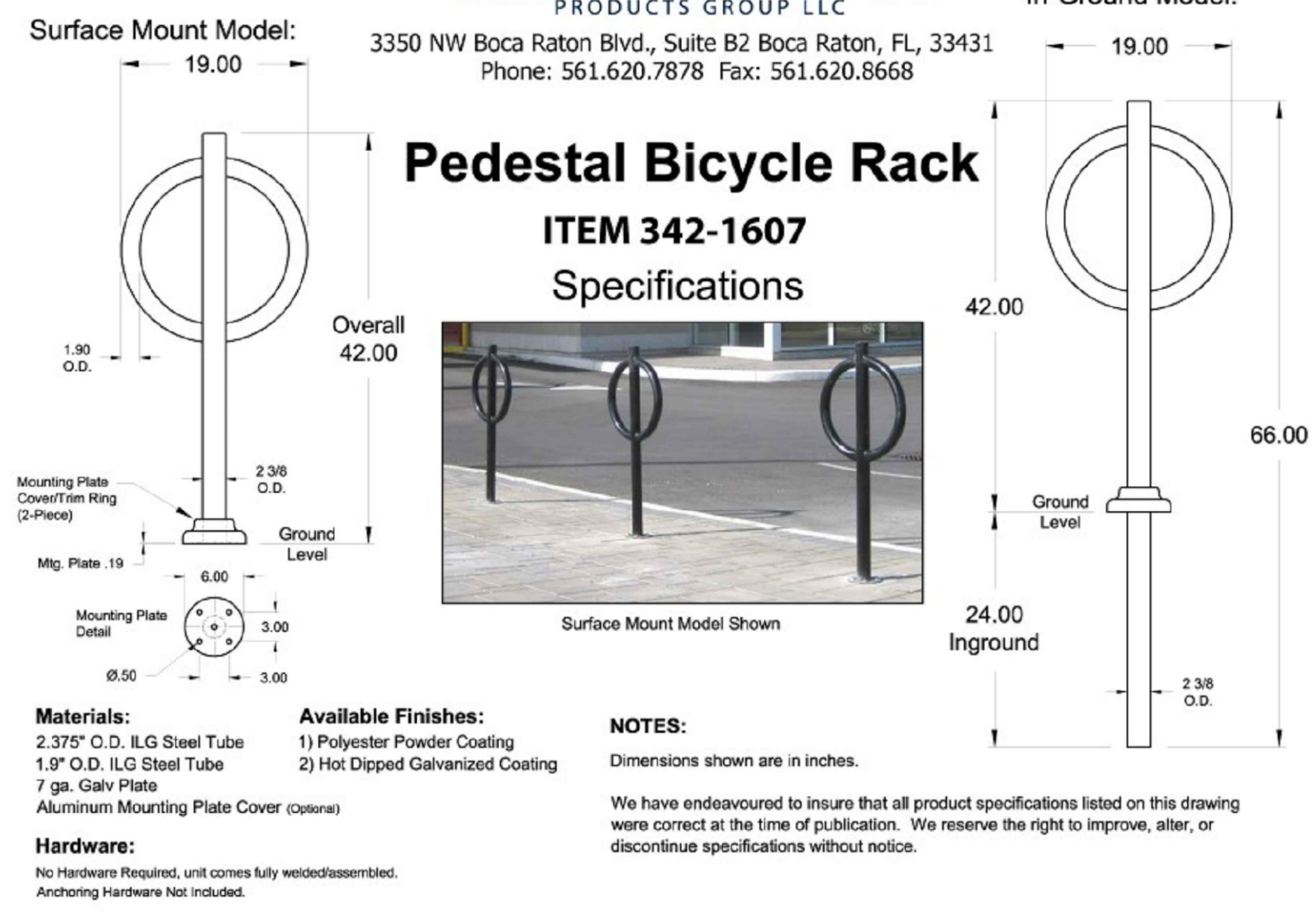
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 CJC 06/20/07

LAST REVISED DATE  
 BDJ 02/02/11

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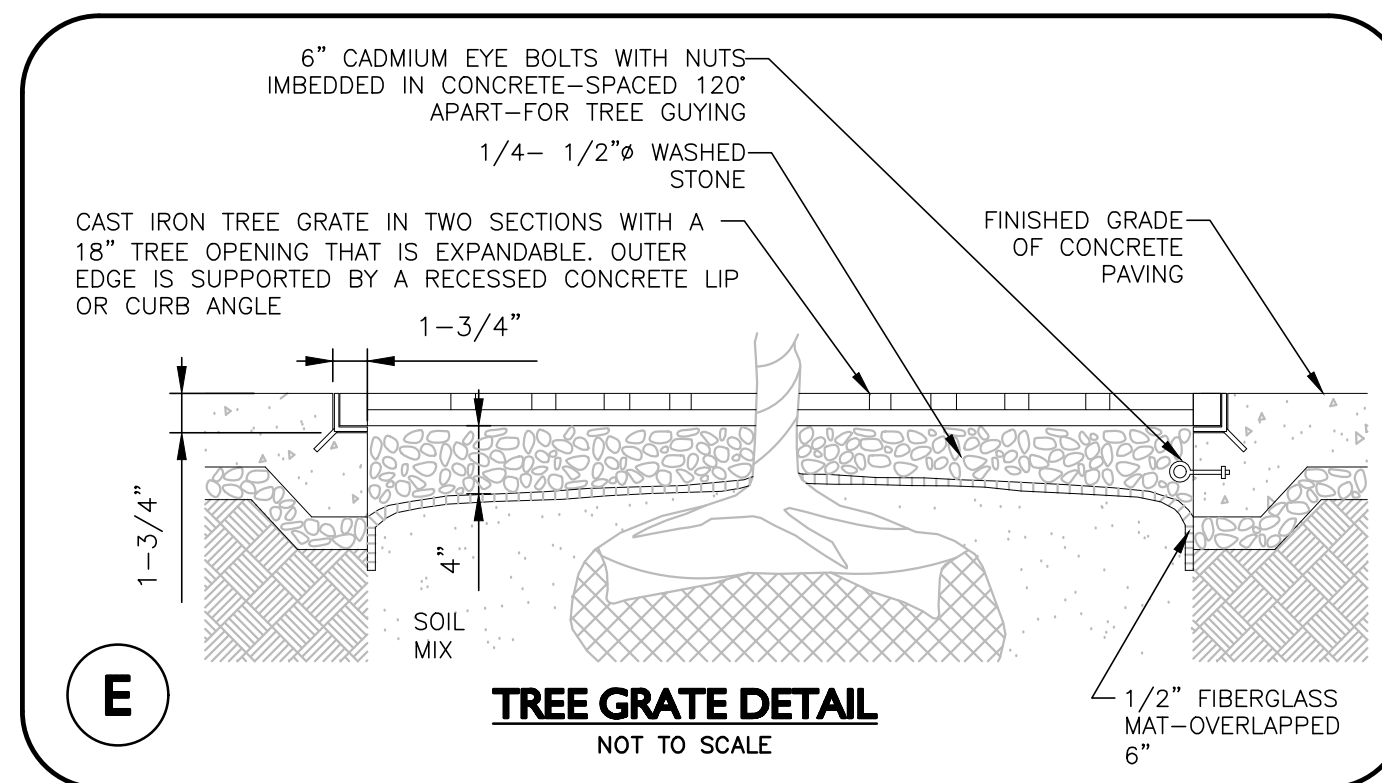


3350 NW Boca Raton Blvd., Suite B2 Boca Raton, FL, 33431  
 Phone: 561.620.7878 Fax: 561.620.8668



(D)

**PEDESTAL BIKE RACK DETAIL**  
 NOT TO SCALE



(E)



PROFESSIONAL ENGINEER FOR  
 ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

OWNER:  
 SOMERBRIDGE HOTEL LLC  
 c/o XSS HOTELS  
 PO BOX 4430  
 MANCHESTER, NH 03108

PROJECT:  
 145 ROOM HOTEL  
 263 MONSIGNOR O'BRIEN HIGHWAY  
 CAMBRIDGE, MA  
 1 McGRATH HIGHWAY  
 SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: OCTOBER 15, 2025  
 SCALE: AS SHOWN DWG.: 1362-16Detail  
 DESIGNED BY: SM CHECKED BY: MM

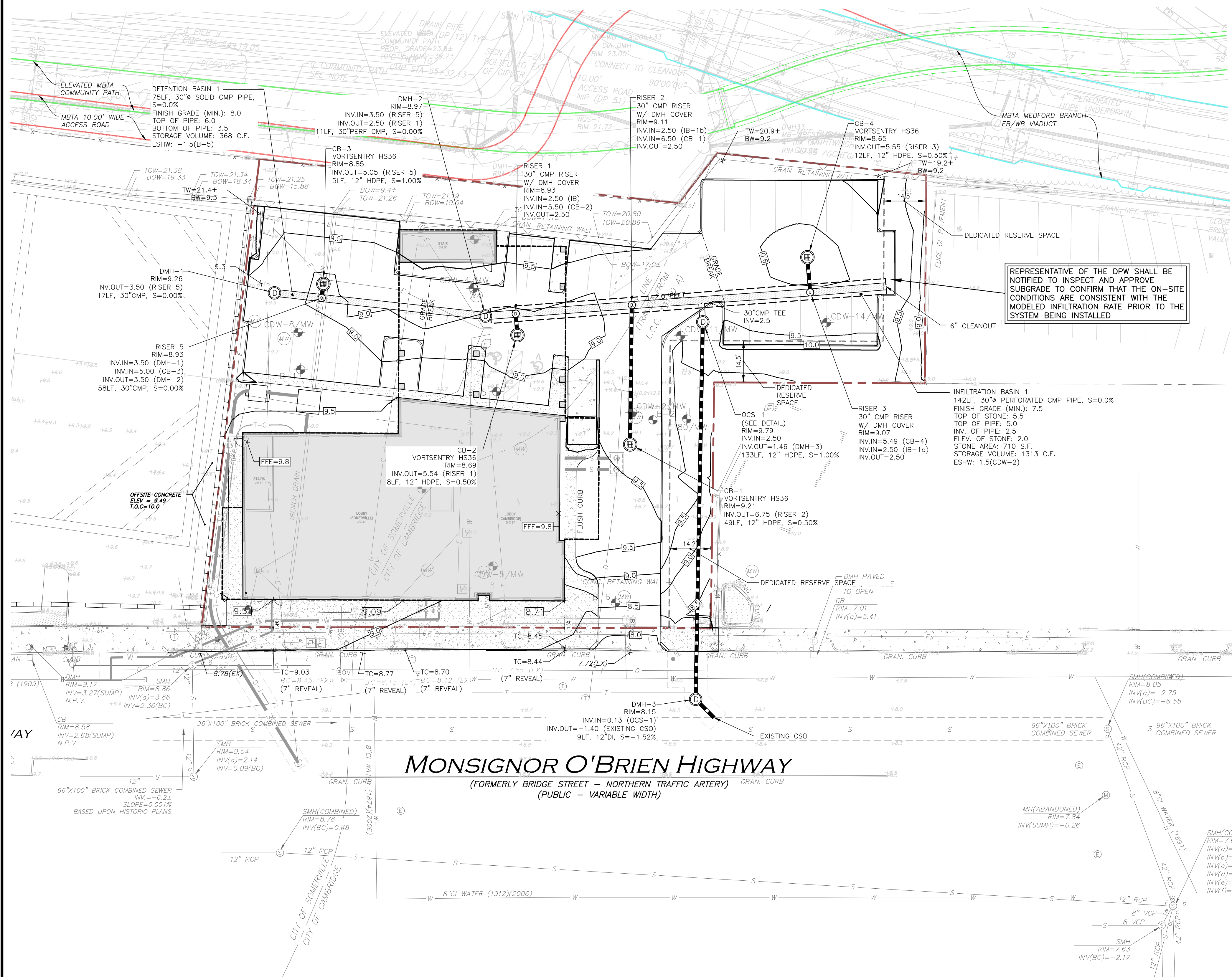
PREPARED BY:

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DRAWING TITLE: <b>DETAILS</b>	SHEET No. <b>D-6</b>
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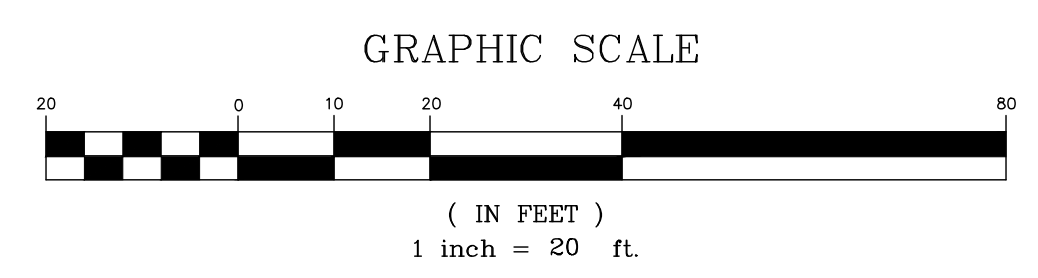
**GRADING AND DRAINAGE NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
2. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
3. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
4. STORM PIPE SHALL BE HDPE.
5. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
6. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT
7. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
8. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
9. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
10. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "DRAIN".
11. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
12. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
13. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
14. TOPOGRAPHIC INFORMATION OBTAINED FROM AN ACTUAL FIELD SURVEY PERFORMED ON OR BETWEEN JULY 9, 2015 AND JULY 28, 2015.
15. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
16. ALL CATCH BASINS ON-SITE SHALL BE EQUIPPED WITH HOODS AND 4 FOOT SUMPS AND SHALL CONFORM TO LOCAL DRAINAGE REQUIREMENTS.
17. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF TEN FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
18. ALL DRAINAGE SHALL CONFORM TO LOCAL REQUIREMENTS.
19. ROOF DRAINS SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS AND FLOW VIA GRAVITY TO THE PROPOSED DETENTION SYSTEM.
20. CONTRACTOR SHALL VERIFY CONDITION AND DEPTH OF EXISTING GRANITE RETAINING WALL TO REMAIN, PRIOR TO CONSTRUCTION IN ORDER TO DETERMINE THAT THE GRADES SHOWN HEREON ARE ACHIEVABLE.

REPRESENTATIVE OF THE DPW SHALL BE NOTIFIED TO INSPECT AND APPROVE SUBGRADE TO CONFIRM THAT THE ON-SITE CONDITIONS ARE CONSISTENT WITH THE MODELED INFILTRATION RATE PRIOR TO THE SYSTEM BEING INSTALLED

**LEGEND:**

- DRAIN MANHOLE
- CATCH BASIN
- DRAIN LINE
- 1' CONTOUR
- SPOT GRADE
- INFILTRATION PIPE
- DETENTION PIPE
- ROOF DRAIN LINE



CITY OF CAMBRIDGE DPW  
STORMWATER CONTROL PERMIT NUMBER

PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

OWNER: SOMERBRIDGE HOTEL LLC  
c/o XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

PROJECT: 145 ROOM HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA

1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: OCTOBER 15, 2025

SCALE: DWG.: 1362-16 Grading and Drainage

DESIGNED BY: SM CHECKED BY: MM

ALLEN & MAJOR ASSOCIATES, INC.

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environmental consulting • landscape architecture  
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## GENERALIZED CONSTRUCTION SEQUENCE

THE BMP'S ASSOCIATED WITH THIS PROJECT WILL BE OWNED BY THE DEVELOPER, WHO WILL BE RESPONSIBLE FOR INSPECTION, OPERATION, AND MAINTENANCE.

- INSTALL STABILIZED CONSTRUCTION ENTRANCES.
- PREPARE TEMPORARY PARKING AND STORAGE AREA. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., DENOTE THEM ON THE SITE MAPS IMMEDIATELY AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
- INSTALL SILTATION FENCES AND CATCH BASIN INLET PROTECTION IN LOCATIONS SHOWN ON PLANS AND/OR AS DIRECTED. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION. PREPARE STABILIZED CONSTRUCTION ENTRANCE IN SUITABLE LOCATIONS AS SHOWN ON THE PLANS OR AT LOCATIONS WHERE CONSTRUCTION VEHICLES ARE EXITING ONTO PUBLIC ROADWAYS.
- CUT AND CLEAR TREES; CHIP WOOD STUMPS; DISPOSE OF DEBRIS. STRIPPED TOPSOIL SHALL BE STOCKPILED, WITHOUT COMPACTION, AND STABILIZED WITH TEMPORARY SEEDING AGAINST EROSION. SILT FENCE SHALL BE PLACED AROUND STOCKPILES.
- CONSTRUCT AREAS TO BE USED AS SEDIMENT PONDS DURING CONSTRUCTION, AS NEEDED.
- THE WORK AREA SHALL BE GRADED, SHAPED, AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE LIMITS OF THE WORK AREA. SILT FENCES, AND/OR SEDIMENTATION BASINS MAY BE NECESSARY TO ACCOMPLISH THIS END.
- PERFORM SITE GRADING. INSTALL DRAINAGE SYSTEMS AND UTILITIES. DISTURBED AREAS SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE EROSION CONTROL NOTES. INSTALL INLET PROTECTION IN ALL CATCH BASINS. ALL SIDE SLOPES SHALL BE STABILIZED WITHIN 72 HOURS.
- FINALIZE GRADING AND PLACEMENT OF SELECTS.
- INSTALL EROSION CONTROL PROTECTION ON CATCH BASIN RIMS UNTIL ROADWAY IS PAVED. IF SEDIMENT IS COLLECTING AROUND CATCH BASINS AFTER THE PLACEMENT OF THE BINDER COURSE, THE SILT SACKS SHALL REMAIN AND HAYBALES SHALL BE PLACED AROUND CATCH BASINS.
- INSPECT AND MAINTAIN EROSION CONTROL MEASURES WEEKLY AND AFTER EVERY RAIN EVENT OF 0.5" OR GREATER. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, CULVERTS, DITCHES SILTATION DEVICES SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
- FINISH GRADING TO PREPARE FOR PAVEMENT, LOAMING AND SEEDING. NO PORTION OF THIS SITE SHALL REMAIN UNSTABILIZED FOR OVER 45 DAYS. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF FINAL GRADING.
- FINISH PAVING ROADWAY AND CONSTRUCT DRIVES. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE STABILIZED AND HAVE A HEALTHY VEGETATIVE COVER. ONCE A HEALTHY VEGETATIVE COVER HAS BEEN ESTABLISHED ALL SILT FENCES, SILT SACKS, CATCH BASIN EROSION CONTROL, STONE CHECK DAMS AND ORANGE CONSTRUCTION FENCE SHALL BE REMOVED.
- WINTERIZATION EFFORTS FOR AREAS NOT STABILIZED BY NOV. 1ST SHALL BE MADE BY THE APPROPRIATE USE OF MATTING, BLANKETS, MULCH AND SEEDING.

- A CONSTRUCTION AREA SHALL BE CONSIDERED STABLE IF:
  - COMPACTED BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO RECEIVE PAVEMENT. A MINIMUM OF 2 INCHES OF GROWTH HAS BEEN ESTABLISHED.
  - CUT OR FILL SLOPES HAVE A MINIMUM OF 3" NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP OR EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.
  - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

- CLEAN ALL DRAINAGE STRUCTURE SUMPS OF SEDIMENT AND DEBRIS (INCLUDING ALL STRUCTURES WITHIN THE LIMIT OF WORK).

- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY ADEQUATE USE OF WATER AND/OR CALCIUM CHLORIDE.

- THE DETENTION/INFILTRATION BASINS MUST BE CLEANED OUT SEEDED AND MATTED UPON COMPLETION OF THIS PROJECT. NO STORMWATER SHALL BE DISCHARGED UNLESS PERMANENT SEEDING HAS BEEN WELL ESTABLISHED. THE FOLLOWING PRECAUTIONS WILL BE OBSERVED DURING THE CONSTRUCTION OF THE INFILTRATION BASINS:
  - PROPOSED INFILTRATION BASINS SHOULD NEVER SERVE AS TEMPORARY SEDIMENT TRAPS FOR CONSTRUCTION.
  - BEFORE THE DEVELOPMENT SITE IS GRADED, THE AREA OF THE INFILTRATION BASINS SHOULD BE ROPED OFF AND FLAGGED TO PREVENT HEAVY EQUIPMENT FROM COMPACTING THE UNDERLYING SOILS.
  - INFILTRATION TRENCHES SHOULD NOT BE CONSTRUCTED UNTIL THE ENTIRE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
  - DIVERSION BERMS SHOULD BE PLACED AROUND THE PERIMETER OF THE INFILTRATION BASIN DURING ALL PHASES OF CONSTRUCTION. SEDIMENT AND EROSION CONTROLS SHOULD BE USED TO KEEP RUNOFF AND SEDIMENT AWAY FROM THE TRENCH.
  - DURING AND AFTER EXCAVATION, ALL EXCAVATED MATERIALS SHOULD BE PLACED DOWNSTREAM, AWAY FROM THE INFILTRATION TRENCH, TO PREVENT REDEPOSITION OF THESE MATERIALS DURING RUNOFF EVENTS. THESE MATERIALS SHOULD BE PROPERLY HANDLED AND DISPOSED OF DURING AND AFTER CONSTRUCTION.
  - LIGHT EARTH-MOVING EQUIPMENT SHOULD BE USED TO EXCAVATE THE INFILTRATION TRENCH. USE OF HEAVY EQUIPMENT CAUSES COMPACTION OF THE SOILS BENEATH THEIR TRENCH FLOOR, RESULTING IN REDUCED INFILTRATION CAPACITY.

- SEEDING SCHEDULE
  - SEEDING OPERATIONS SHOULD BE PERFORMED AS AN EARLY SPRING SEEDING (APRIL 1-MAY 15) WITH THE USE OF COLD TREATED SEED. A LATE FALL EARLY WINTER DORMANT SEEDING (NOVEMBER 1 - DECEMBER 15) CAN ALSO BE MADE, HOWEVER THE SEEDING RATE WILL NEED TO BE INCREASED BY 50%.
  - PERMANENT SEEDING SHOULD BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST. IF SEEDING CANNOT BE DONE WITHIN THE SPECIFIED SEEDING DATES, MULCH ACCORDING TO THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS, CONSTRUCTION PHASES AND SEDIMENT CONTROLS AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- ESTABLISHING A STAND
  - STONES AND TRASH SHOULD BE REMOVED SO AS NOT TO INTERFERE WITH THE SEEDING AREA.
  - WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
  - IF APPLICABLE, FERTILIZER AND ORGANIC SOIL AMENDMENTS SHOULD BE APPLIED DURING THE GROWING SEASON.
  - APPLY UNIFORMLY 2 TONS OF GROUND LIMESTONE PER ACRE (100 LBS. PER 1,000 SQ. FT.) OR ACCORDING TO SOIL TEST. APPLY UNIFORMLY 10-10-10 ANALYSIS FERTILIZER AT THE RATE OF 400 LBS. PER ACRE (14 LBS. PER 1,000 SQ. FT.) OR AS INDICATED BY SOIL TEST. FORTY PERCENT OF THE NITROGEN SHOULD BE IN ORGANIC FORM.
- WORK IN LIME AND FERTILIZER TO A DEPTH OF 4 INCHES USING ANY SUITABLE EQUIPMENT. SEED SHOULD BE SPREAD UNIFORMLY BY A METHOD MOST APPROPRIATE FOR THE SITE. SEEDING SHOULD BE PERFORMED BY ONE OF THE FOLLOWING METHODS:
  - DRILL SEEDINGS (DE-ANNED OR DE-BEARDED SEED SHOULD BE USED UNLESS THE DRILL IS EQUIPPED WITH SPECIAL FEATURES TO ACCEPT ANNED SEED).
  - BROADCAST SEEDING WITH SUBSEQUENT ROLLING, CULTPACKING OR TRACKING THE SEEDING WITH SMALL TRACK CONSTRUCTION EQUIPMENT. TRACKING SHOULD BE ORIENTED UP AND DOWN THE SLOPE.
  - HYDROSEEDING WITH SUBSEQUENT TRACKING. IF WOOD FIBER MULCH IS USED, IT SHOULD BE APPLIED AS A SEPARATE OPERATION AFTER SEEDING AND TRACKING TO ASSURE GOOD SEED TO SOIL CONTACT.

SPECIES	POUNDS PER 1,000 SQ. FT.	POUNDS PER ACRE	RECOMMENDED SEEDING DATES
ANNUAL RYE GRASS	1	40	APRIL 1 TO JUNE 1
AUG. 15 TO SEPT. 15 FOXTAIL MILLET	0.7	30	MAY 1 TO JUNE 30
OATS	2	80	APRIL 1 TO JULY 1
WINTER RYE	3	120	AUGUST 15 TO SEPT. 15 AUG. 15 TO OCT. 15

- SEEDING FOR TEMPORARY COVER

SPECIES	POUNDS PER 1,000 SQ. FT.	POUNDS PER ACRE	RECOMMENDED SEEDING DATES
ANNUAL RYE GRASS	1	40	APRIL 1 TO JUNE 1
AUG. 15 TO SEPT. 15 FOXTAIL MILLET	0.7	30	MAY 1 TO JUNE 30
OATS	2	80	APRIL 1 TO JULY 1
WINTER RYE	3	120	AUGUST 15 TO SEPT. 15 AUG. 15 TO OCT. 15

## CONSTRUCTION GENERAL PERMIT NOTES

**NARRATIVE:** THE STORMWATER POLLUTION PREVENTION PLANS TOGETHER WITH AN EXISTING CONDITIONS PLAN, AND GRADING PLAN ARE THE TOTAL EROSION CONTROL MEASURES.

THE STORMWATER POLLUTION PREVENTION PLANS CONSIST OF:

- NOTES SHEETS, SWPPP-1
- THE STORMWATER PREVENTION POLLUTION PLAN: SWPPP-2 (SHOWING THE EROSION CONTROL MEASURES)
- THE STORMWATER PREVENTION POLLUTION DETAILS: SWPPP-3

THE EROSION CONTROL PLAN WILL BE IMPLEMENTED TO:

- TREAT EROSION AS SOON AS POSSIBLE AFTER DISTURBANCE.
- PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION AREA AND ENTERING THE MUNICIPAL SYSTEM.
- CONSTRUCTION ACTIVITIES SHALL BE SCHEDULED TO MINIMIZE EROSION.
- ONLY DISTURB, CLEAR, OR GRADE AREAS NECESSARY FOR CONSTRUCTION.

## CONSTRUCTION PHASE

THE OWNER IS TO BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE STRUCTURES IN THE PROJECT - INCLUDING DRAIN PIPES, ABOVEGROUND DETENTION BASINS AND SUBSURFACE INFILTRATION SYSTEMS. THE DEVELOPER WILL ULTIMATELY BE RESPONSIBLE FOR COMPLIANCE WITH THE PLAN.

REGULAR MAINTENANCE IS TO INCLUDE THE FOLLOWING:

- DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED:
- INSTALLATION OF SILTATION FENCES SHALL BE COMPLETED PRIOR TO THE START OF THE SITE WORK IN ANY GIVEN AREA. PREFABRICATED SILTATION FENCES SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- SILTATION FENCES SHALL BE KEPT CLEAN DURING CONSTRUCTION AND REMOVED WHEN ALL SLOPES HAVE A HEALTHY STAND OF VEGETATIVE COVER. EROSION CONTROL MEASURES SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EVERY RAIN EVENT OF 0.5" OR GREATER.
- EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.
- THE AREA OF LAND EXPOSED AND THE TIME OF EXPOSURE SHALL BE MINIMIZED. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING WITH EITHER PERMANENT MEASURES OR TEMPORARY MEASURES. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 45 DAYS SHALL BE STABILIZED.
- IN NO CASE SHALL ANY DISTURBED AREAS BE LEFT UNSTABILIZED WITH EITHER PERMANENT OR TEMPORARY EROSION CONTROL MEASURES FOR MORE THAN 72 HOURS, OR AS NEEDED TO ENSURE SUFFICIENT STABILIZATION DUE TO WEATHER OR OTHER CONDITIONS.
- SIMULTANEOUS WORK IN MULTIPLE AREAS MAY BE PERMITTED AS NEEDED, SUBJECT TO THE ABOVE, HOWEVER THE CONTRACTOR SHALL NOT DISTURB AREAS THAT CANNOT REASONABLY BE PROPERLY STABILIZED AND MAINTAINED WITHIN 72 HOURS.
- ALL DISTURBED AREAS SHALL HAVE A MINIMUM OF 4" OF LOAM INSTALLED WITH NOT LESS THAN 1.1 POUNDS OF SEED MIX PER 1,000 SQ. FT. SEED MIXTURE SHALL BE:
  - SLOPE AND DETENTION MIX (MIX 5)
    - CREeping REE D FESCUE - 0.25 LBS
    - CANADA BLUEGRASS - 0.25 LBS
    - PERENNIAL RYEGRASS - 0.25 LBS
    - RED TOP - 0.10 LBS
  - MIX: LAWN: MIX (MIX 11):
    - CREeping BENTGRASS - 0.10 LBS
    - BLUEJOINT REED GRASS - 0.10 LBS
    - VIRGINIA WILD RYE - 0.10 LBS
    - FOWL MEADOW GRASS - 0.25 LBS
    - SHOWY TICK TREFLOW - 0.10 LBS
    - RED TOP - 0.10 LBS
- LIME AND FERTILIZER SHALL BE INCORPORATED INTO THE SOIL PRIOR TO OR AT THE TIME OF SEEDING. A MINIMUM OF 25 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED. SEEDING PRACTICES SHALL COMPLY WITH LOCAL USDA SOIL CONSERVATION SERVICES RECOMMENDATIONS.
- HAY MULCH AND SLOPE PROTECTION BLANKET SHALL BE USED WHERE INDICATED ON THE PLANS. A MINIMUM OF 1.5 TONS OF MULCH PER ACRE SHALL BE APPLIED. MULCH SHALL BE ANCHORED IN PLACE WHERE NECESSARY. SLOPE PROTECTION BLANKET SHALL BE LAID IN THE DIRECTION OF RUNOFF FLOW AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND/OR THE DETAILS.
- PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS. WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY FALL. WHEN SEEDING AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM APRIL 1 TO MAY 15 OR FROM AUGUST 1 TO SEPTEMBER 10. DORMANT SEEDING RATE WILL NEED TO BE INCREASED BY 50%. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING WINTER MONTHS.
- CALCIUM CHLORIDE AND/OR WATER SHALL BE USED FOR DUST CONTROL IN APPROPRIATE AREAS.
- ALTERNATE PERMANENT SEEDING FOR AREAS NOT RECEIVING LAWN OR LANDSCAPING SHALL BE AS FOLLOWS: THE NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DRY SITES PROVIDES AN APPROPRIATE SELECTION OF NATIVE AND NON-NATIVE GRASSES TO ENSURE THAT DRY AND RECENTLY DISTURBED SITES WILL BE QUICKLY REVEGETATED AND THE SOIL SURFACE STABILIZED. IT IS AN APPROPRIATE SEED MIX FOR ROAD CUTS, PIPELINES, DETENTION BASIN SIDE SLOPES, AND AREAS REQUIRING TEMPORARY COVER DURING THE ECOLOGICAL RESTORATION PROCESS. THE MIX MAY BE APPLIED BY HYDRO SEEDING, BY MECHANICAL SPREADER, OR ON SMALL SITES IT MAY BE SPREAD BY HAND. WHEN APPLYING ON BARE SOIL, RAKE THE SOIL TO CREATE GROOVES, APPLY SEED, AND THEN LIGHTLY RAKE OVER. THIS MIX MAY BE APPLIED AT ANY TIME OF THE YEAR. A LIGHT MULCHING OF WEEP FREE STRAW TO CONSERVE MOISTURE AND TO AID IN SLOPE STABILIZATION AND FERTILIZATION WITH 10-10-10 IS RECOMMENDED.
  - APPLICATION RATE: 35 LBS/ACRE (1245 SQ FT/LB)
  - SPECIES: (CREeping) RED FESCUE (FESTUCA RUBRA), ANNUAL RYE GRASS (LOLIUM MULTIFLORUM), TIMOTHY (PHELU M PRATENSE), WHITE CLOVER (TRIFOLIUM REPENS), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), RED TOP (AGROSTIS ALBA), SIDE-OATS GRAMA-GRASS (BOULELUNA CURTIPENDULA), SWITCHGRASS (PANICUM VIRGATUM), VIRGINIA WILD RYE (ELYMUS VIRGINICUS), CREeping REE FESCUE (FESTUCA RUBRA), FOX SEDGE (CAREX VULPINOIDEA), CREeping BENTGRASS (AGROSTIS STOLONIFERA), SILKY WILD RYE (ELYMUS VILLOSUS), NODDING BUR-MARIGOLD (BIENS GERMINA), SOFT RUSH (JUNCUS EFFUSUS), GRASS-LEAVED GOLDENROD (SOLIDAGO GRAMINIFOLIA), SENSITIVE FERN (ONOCLEA SENSIBILIS), JOE-PYE WEED (EUPATORIUM MACULATUM), BONESET (EUPATORIUM PERFORIATUM), FLAT-TOP ASTER (ASTER UMBELLATUS), NEW YORK ASTER (ASTER NOVI-BELGII), BLUE VERVAIN (VERBENA HASTATA).

- IF, DURING CONSTRUCTION, IT COMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO IMMEDIATELY INSTALL AND MAINTAIN THE NECESSARY EROSION PROTECTION.

- INSPECTIONS AND MONITORING MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. WEEKLY INSPECTIONS SHALL BE HELD THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITY. WEEKLY INSPECTION REPORTS SHALL BE MAINTAINED IN THE CONTRACTOR'S FIELD OFFICE. IN ADDITION TO THE NORMAL WEEKLY INSPECTIONS, THE CONTRACTOR SHALL PERFORM AN INSPECTION OF ALL EROSION CONTROL MEASURES AFTER EACH RAINFALL OR RUNOFF EVENT, AND PERFORM THE NECESSARY REPAIRS. THE INSPECTIONS SHALL INCLUDE BUT NOT BE LIMITED TO THE SITE'S DOWN STREAM DISCHARGE POINTS.
- IF ANY EVIDENCE OF SEDIMENTATION IS OBSERVED IN THE INLETS, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, PROVIDE A PLAN TO THE ENGINEER TO REMOVE ANY ACCUMULATED SEDIMENT IN THESE AREAS. THE CONTRACTOR SHALL ALSO IMMEDIATELY PROVIDE ADDITIONAL ON-SITE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT FURTHER DEGRADATION OF THE AREA.
- FOLLOWING THE TEMPORARY OR FINAL SEEDINGS, THE CONTRACTOR SHALL INSPECT THE WORK AREA BIMONTHLY TO ENSURE THE AREAS HAVE A MINIMUM OF 85-90% VEGETATED VIGOROUS GROWTH. RESEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW UP INSPECTIONS IN THE EVEN OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.
- THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

- THE DEVELOPER (OWNER) WILL BE RESPONSIBLE FOR MAINTENANCE OF THE SYSTEMS IN ACCORDANCE WITH THE PROJECT OPERATION AND MAINTENANCE PLAN INCLUDING THE FOLLOWING:
  - INSPECTION OF ALL DRAINAGE FACILITIES AND SYSTEMS THREE MONTHS. DURING THE FIRST YEAR OF OPERATION, ALL DRAINAGE FACILITIES SHOULD BE INSPECTED AFTER EVERY STORM, AND 2-3 DAYS AFTERWARD. THESE INSPECTIONS SHOULD LOOK FOR EVIDENCE STRUCTURAL DAMAGE, SILT ACCUMULATION (NEAR INLET INVERTS ON CATCH BASINS), AND IMPROPER FUNCTION.
  - AFTER INSPECTION, IF ANY OF THE ABOVE CONDITIONS EXIST, THE OWNER SHALL IMMEDIATELY ARRANGE FOR ALL NECESSARY REPAIRS AND SEDIMENT REMOVAL.
  - THE CATCH BASINS AND DETENTION BASIN ARE TO BE INSPECTED ANNUALLY. REMOVE OIL, DEBRIS, AND SEDIMENT AFTER INSPECTIONS.
  - ALL GRADED SLOPES SHALL BE INSPECTED FOR EROSION. UPON DISCOVERY OF ANY EROSION, LOAM AND SEED SHALL BE PUT IN PLACE AND NURTURED.

## POST CONSTRUCTION PHASE

THE DEVELOPER (OWNER) WILL BE RESPONSIBLE FOR MAINTENANCE OF THE SYSTEMS IN ACCORDANCE WITH THE PROJECT OPERATION AND MAINTENANCE PLAN INCLUDING THE FOLLOWING:

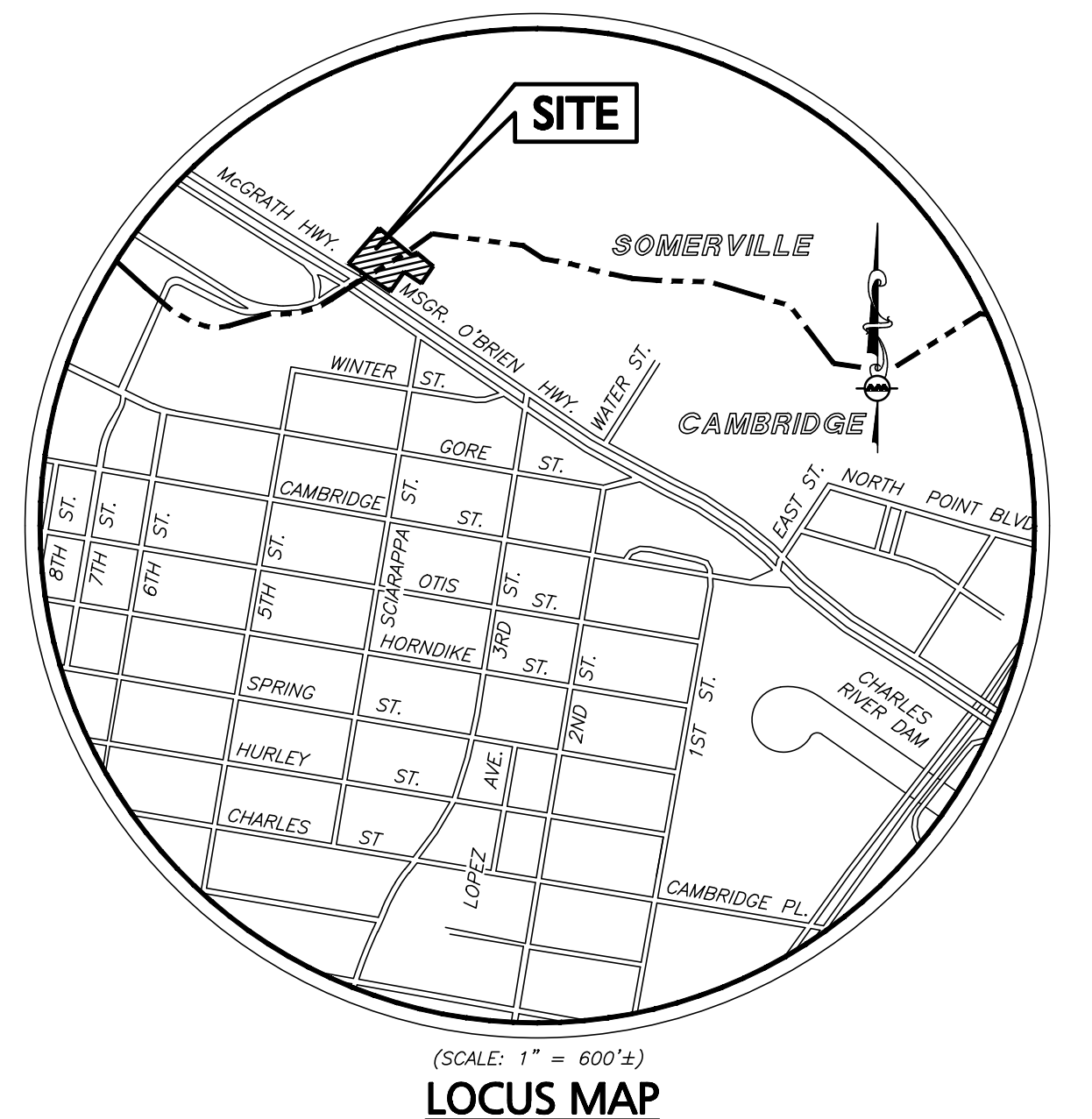
- INSPECTION OF ALL DRAINAGE FACILITIES AND SYSTEMS THREE MONTHS. DURING THE FIRST YEAR OF OPERATION, ALL DRAINAGE FACILITIES SHOULD BE INSPECTED AFTER EVERY STORM, AND 2-3 DAYS AFTERWARD. THESE INSPECTIONS SHOULD LOOK FOR EVIDENCE STRUCTURAL DAMAGE, SILT ACCUMULATION (NEAR INLET INVERTS ON CATCH BASINS), AND IMPROPER FUNCTION.
- AFTER INSPECTION, IF ANY OF THE ABOVE CONDITIONS EXIST, THE OWNER SHALL IMMEDIATELY ARRANGE FOR ALL NECESSARY REPAIRS AND SEDIMENT REMOVAL.
- THE CATCH BASINS AND DETENTION BASIN ARE TO BE INSPECTED ANNUALLY. REMOVE OIL, DEBRIS, AND SEDIMENT AFTER INSPECTIONS.
- ALL GRADED SLOPES SHALL BE INSPECTED FOR EROSION. UPON DISCOVERY OF ANY EROSION, LOAM AND SEED SHALL BE PUT IN PLACE AND NURTURED.

## MAINTENANCE

- ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN AND NOTES, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
  - INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
  - ALL SEEDING AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
  - SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES SIX INCHES IN HEIGHT, OR AS REQUESTED BY THE OWNER OR ENGINEER.
  - THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
  - THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.

## EROSION CONTROL AND SEDIMENT CONTROL NOTES:

- REFER TO PROJECT PLANS FOR ADDITIONAL INFORMATION.
- AS CONSTRUCTION DISTURBANCE IS LESS THAN 1 ACRE, A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT NO. AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ARE NOT REQUIRED. THESE PLANS WILL MEET ALL LOCAL REQUIREMENTS FOR EROSION CONTROLS AND STORM WATER POLLUTION PREVENTION.
- SILT CONTROL SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE. ANY MODIFICATIONS TO SILT CONTROLS SHOWN ON THE APPROVED PLANS AS A RESULT OF ACTUAL FIELD CONDITIONS OR CONSTRUCTION PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH B.M.P. (BEST MANAGEMENT PRACTICES) PER THE E.P.A. 1992 "STORMWATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES" MANUAL. ANY SUCH MODIFICATIONS SHALL BE INSTALLED AS APPROVED BY THE ENGINEER.
- AREAS OF EXPOSED SOIL UNDERGOING CONSTRUCTION THAT WILL NOT BE COVERED AND OR FINISHED GRADED WITHIN 7 DAYS OF EXPOSURE SHALL BE ANCHORED WITH TEMPORARY EROSION CONTROL MEASURES WITHIN 7 DAYS OF DISTURBANCE. TEMPORARY EROSION CONTROL MEASURES SHALL INCLUDE EROSION CONTROL MESH, NETTING OR MULCH AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND SHOWN ON THE DESIGN PLANS. IF MULCH IS USED, HAY OR STRAW MULCH SHALL BE APPLIED AT THE RATE OF 1.5 TO 2 TONS PER ACRE OR 70 TO 90 LBS PER 1,000 SQUARE FEET. APPLICATION AREA SHALL BE SUFFICIENTLY COVERED WITH MULCH TO AVOID ANY VISIBLE SOIL EXPOSURE. MULCH SHALL BE KEPT MOIST TO AVOID LOSS DUE TO WIND. MULCH AND NETTING SHALL BE APPLIED TO THE BASE OF ALL GRASSED WATERWAYS AND IN VEGETATED SLOPES WHICH EXCEED 15% AND DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS.
- IF DISTURBED AREAS DO NOT RECEIVE FINAL SEEDING BY SEPTEMBER 15 OF THE CONSTRUCTION YEAR, THEN ALL DISTURBED AREAS SHALL BE SEEDING WITH A WINTER COVER CROP AT THE RATE OF 3 LBS PER 1,000 SQUARE FEET. WINTER SEEDING SHALL BE COVERED WITH EROSION CONTROL MESH (MULCH AND NETTING). HEAVY GRADE MATS SHALL BE USED IN THE BASE OF ALL GRASSED WATERWAYS ON VEGETATED SLOPES IN EXCESS OF 15%, AND ANY DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS. MULCH AND NETTING SHALL ALSO BE PROVIDED FOR ADDITIONAL WINTER PROTECTION.
- SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH HAY AND MULCH (AT 100LBS/1,000 SF), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEEDING WITH WINTER RYE (FOR FILL SEEDING AT 3LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH HAY MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL. LOAM SHALL BE STOCKPILED AT LOCATIONS DESIGNATED BY THE OWNER AND ENGINEER.
- ALL HAYBALE FILTER BARRIERS, SILT SACKS, AND FILTER FABRICS SHALL BE INSTALLED ACCORDING TO THE EROSION CONTROL PLAN. THESE SHALL BE MAINTAINED DURING CONSTRUCTION TO REMOVE SEDIMENT FROM RUNOFF WATER. ALL THE EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER ANY RAINFALL OR RUNOFF EVENT, MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE AT LEAST 85-90% VIGOROUS PERENNIAL COVER OF GRASSES.
- THE EXISTING PARKING LOT SHALL BE PERIODICALLY SWEEPED OR WASHED TO AVOID TRACKING MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA. A WATERING TRUCK WILL BE USED TO PERIODICALLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS AND AS REQUIRED.
- THE CONTRACTOR SHALL USE EXTREME CAUTION TO AVOID ALLOWING SEDIMENTS TO ENTER THE STORM DRAIN SYSTEM DURING CONSTRUCTION. CATCH BASIN INLETS SHALL ALSO BE PROTECTED DURING CONSTRUCTION BY THE USE OF STRAW BALE BARRIERS AROUND EACH INLET. SILT SACKS SHALL BE INSTALLED IN ALL EXISTING BASINS. INLET PROTECTION MAY BE REMOVED ONLY AFTER FINISHED AREAS ARE PAVED AND THE VEGETATED SLOPES ARE ESTABLISHED WITH AT LEAST 85-90% OF VIGOROUS PERENNIAL GROWTH.
- REVEGETATION MEASURES SHALL COMMENCE IMMEDIATELY UPON THE COMPLETION OF FOLLOWING SEED BED PREPARATION AT AREAS NOT NOTED TO RECEIVE COVER SHALL BE LOAM AND SEEDED. AREAS SEEDING BETWEEN MAY 15 TO AUGUST 15TH SHALL BE COVERED WITH HAY OR STRAW MULCH. VEGETATED GROWTH COVERING AT LEAST 85% OF THE DISTURBED AREA SHALL BE ACHIEVED PRIOR TO OCTOBER 15TH. HAY AND STRAW MULCHES SHALL BE ANCHORED WITH MULCH NETTING OR TACKLING SO THAT THEY ARE NOT BLOWN AWAY BY WIND OR WASHED AWAY BY FLOWING WATER. HAY OR STRAW MULCH SHALL BE APPLIED AT A RATE OF 1.5 TO 2 TONS PER ACRE OR 70 TO 90 LBS. PER 1,000 S.F.
- IN LIEU OF SOIL TESTS, SOIL AMENDMENTS FOR TEMPORARY SEEDING AREAS MAY BE APPLIED AS FOLLOWS:
  - 10-10-10 FERTILIZER (N-P205-K20 OR EQUAL). APPLICATION RATE = 25 LBS/1,000 S.F.
  - GROUND LIMESTONE (85% OF TOTAL CARBONATES). LIMESTONE SHALL BE GROUND TO SUCH FINENESS THAT 50% WILL PASS A 100 MESH SIEVE AND 90% WILL PASS THROUGH A 20 MESH SIEVE. APPLICATION RATE = 100 LB/1,000 S.F.
  - WHEN FERTILIZER IS APPLIED WITHIN 100' OF ANY RIVER, STREAM, POND, OR LAKE IT SHALL BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER.
- LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE PER SPECIFICATIONS. LOAM SHALL BE FREE OF SOIL, CLAY LUMPS, STONES AND OTHER OBJECTS OVER 1 INCH IN DIAMETER, AND WITHOUT WEEDS, ROOTS OR OTHER DELICIOUS MATERIAL AND MEET THE LOAM SPECIFICATION DETAIL.
- EROSION CONTROL MESH SHALL BE APPLIED IN ACCORDANCE WITH THE PLANS OVER ALL FINISHED SEEDING AREAS AS SPECIFIED ON THE DESIGN PLANS.
- AT THE OWNER'S DISCRETION ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED TO MAINTAIN STABILITY OF EARTHWORKS AND FINISHED GRADED AREAS. THE CONTRACTOR, AT HIS OWN EXPENSE, WILL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ANY ADDITIONAL MEASURES AS SPECIFIED BY THE OWNER. THIS INCLUDES BUT IS NOT LIMITED TO REQUESTS BY EPA AND THE MUNICIPALITY, AS AUTHORIZED BY THE OWNER.
- INSPECTIONS AND MONITORING MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. WEEKLY INSPECTIONS SHALL BE HELD THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITY. WEEKLY INSPECTION REPORTS SHALL BE MAINTAINED IN THE CONTRACTOR'S FIELD OFFICE. IN ADDITION TO THE NORMAL WEEKLY INSPECTIONS, THE CONTRACTOR SHALL PERFORM AN INSPECTION OF ALL EROSION CONTROL MEASURES AFTER EACH RAINFALL OR RUNOFF EVENT, AND PERFORM THE NECESSARY REPAIRS. THE INSPECTIONS SHALL INCLUDE BUT NOT BE LIMITED TO THE SITE'S DOWN STREAM DISCHARGE POINTS.
- IF ANY EVIDENCE OF SEDIMENTATION IS OBSERVED IN THE INLETS, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, PROVIDE A PLAN TO THE ENGINEER TO REMOVE ANY ACCUMULATED SEDIMENT IN THESE AREAS. THE CONTRACTOR SHALL ALSO IMMEDIATELY PROVIDE ADDITIONAL ON-SITE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT FURTHER DEGRADATION OF THE AREA.
- FOLLOWING THE TEMPORARY OR FINAL SEEDINGS, THE CONTRACTOR SHALL INSPECT THE WORK AREA BIMONTHLY TO ENSURE THE AREAS HAVE A MINIMUM OF 85-90% VEGETATED VIGOROUS GROWTH. RESEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW UP INSPECTIONS IN THE EVEN OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.
- THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.



## CAMBRIDGE EROSION CONTROL NOTES

- PRIOR TO ANY LAND DISTURBANCE ACTIVITIES COMMENCING ON THE SITE, THE DEVELOPER SHALL PHYSICALLY MARK LIMITS OF NO-LAND DISTURBANCE ON THE SITE WITH TAPE, SIGNS, OR ORANGE CONSTRUCTION FENCE, SO THAT WORKERS CAN SEE THE AREAS TO BE PROTECTED. THE PHYSICAL MARKERS SHALL REMAIN IN PLACE UNTIL A CERTIFICATE OF COMPLETION HAS BEEN ISSUED.
- APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO SOIL DISTURBANCE. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
- MINIMIZE TOTAL AREA OF DISTURBANCE AND PROTECT NATURAL FEATURES AND SOIL.
- THE CONTRACTOR SHALL SEQUENCE ALL ACTIVITIES TO MINIMIZE SIMULTANEOUS AREAS OF DISTURBANCE. MASS CLEARINGS AND GRADING OF THE ENTIRE SITE SHALL BE AVOIDED.
- MINIMIZE SOIL EROSION AND CONTROL SEDIMENTATION DURING CONSTRUCTION.
- DIVERT UNCONTAMINATED WATER AROUND DISTURBED AREAS.
- INSTALL AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICES OR THE 2008 EPA'S CONSTRUCTION GENERAL PERMIT.
- PROTECT AND MANAGE ON AND OFF-SITE MATERIAL STORAGE AREAS (OVERBURDEN AND STOCKPILES OF DIRT, BORROW AREAS, OR OTHER AREAS USED SOLELY BY THE PERMITTED PROJECT ARE CONSIDERED A PART OF THE PROJECT).
- COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS INCLUDING WASTE DISPOSAL, SANITARY SEWER OR SEPTIC SYSTEM REGULATIONS, AND AIR QUALITY REQUIREMENTS, INCLUDING DUST CONTROL.
- SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF THE EROSION CONTROL DEVICE. SEDIMENT SHALL BE REMOVED FROM SILT FENCE PRIOR TO REACHING THE LOAD-BEARING CAPACITY OF THE SILT FENCE WHICH MAY BE LOWER THAN 14 TO THE HEIGHT.
- SEDIMENT FROM SEDIMENT TRAPS OR SEDIMENTATION PONDS SHALL BE REMOVED WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT.
- BMPs TO BE USED FOR INFILTRATION AFTER CONSTRUCTION SHALL NOT BE USED AS BMPs DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE BOARD. MANY INFILTRATION TECHNOLOGIES ARE NOT DESIGNED TO HANDLE THE HIGH CONCENTRATIONS OF SEDIMENTS TYPICALLY FOUND IN CONSTRUCTION RUNOFF, AND THUS MUST BE PROTECTED FROM CONSTRUCTION RELATED SEDIMENT LOADINGS.
- SOIL STOCKPILES MUST BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY. STOCKPILE SIDE SLOPES SHALL NOT BE GREATER THAN 2:1. ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROLS.
- FOR ACTIVE CONSTRUCTION AREAS SUCH AS BORROW OR STOCKPILE AREAS, ROADWAY IMPROVEMENTS AND AREAS WITHIN 50 FEET OF A BUILDING UNDER CONSTRUCTION, A PERIMETER SEDIMENT CONTROL SYSTEM SHALL BE INSTALLED AND MAINTAINED TO CONTAIN SOIL.
- A TRACKING PAD OR OTHER APPROVED STABILIZATION METHOD SHALL BE CONSTRUCTED AT ALL ENTRANCE/EXIST POINTS OF THE SITE TO REDUCE THE AMOUNT OF SOIL CARRIED ONTO ROADWAYS AND OFF THE SITE.
- ON THE CUT SIDE OF ROADS, DITCHES SHALL BE STABILIZED IMMEDIATELY WITH ROCK RIP-RAP OR OTHER NON-ERODIBLE LINERS, OR WHERE APPROPRIATE, VEGETATIVE MEASURES SUCH AS HYDRO SEEDING OR JUTE MATTING.
- PERMANENT SEEDING SHALL BE UNDERTAKEN IN THE SPRING FROM MARCH THROUGH MAY, AND IN LATE SUMMER AND EARLY FALL FROM AUGUST TO OCTOBER 15. DURING THE PEAK SUMMER MONTHS AND IN THE FALL AFTER OCTOBER 15, WHEN SEEDING IS FOUND TO BE IMPRACTICAL, APPROPRIATE TEMPORARY STABILIZATION SHALL BE APPLIED. PERMANENT SEEDING MAY BE UNDERTAKEN DURING THE SUMMER IF PLANS PROVIDE FOR ADEQUATE MULCHING AND WATERING.
- ALL SLOPES STEEPER THAN 3:1 (H: V, 33.3%), AS WELL AS PERIMETER DIKES, SEDIMENT BASINS OR TRAPS, AND EMBANKMENTS MUST, UPON COMPLETION, BE IMMEDIATELY STABILIZED WITH SOIL SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES. AREAS OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM MUST NOT BE DISTURBED.
- TEMPORARY SEDIMENT TRAPPING DEVICES MUST NOT BE REMOVED UNTIL PERMANENT STABILIZATION IS ESTABLISHED IN ALL CONTRIBUTORY DRAINAGE AREAS.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS OF REMOVAL.
- PROPERLY MANAGE ON-SITE CONSTRUCTION AND WASTE MATERIALS.
- PREVENT OFF-SITE VEHICLE TRACKING OF SEDIMENTS.
- DUST SHALL BE CONTROLLED AT THE SITE.
- ALL PREVIOUSLY DISTURBED LAND SHALL BE STABILIZED BY APPROVED METHODS AFTER 14 DAYS IF LEFT UNDISTURBED. THIS INCLUDES STOCKPILES, CONSTRUCTION ENTRANCES, GRADED AREAS AND OTHER CONSTRUCTION ACTIVITY RELATED CLEARING.
- IF WORK IS HALTED OVER WINTER MONTHS THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILIZING THE AREA THROUGH GROUND COVER PRACTICES.

## GENERAL NOTES

- SEE SHEET 1 FOR EXISTING CONDITIONS.
- SEE SHEET C-3 FOR GRADING AND DRAINAGE
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CITY OF CAMBRIDGE DPW  
STORMWATER CONTROL PERMIT NUMBER



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	02-10-23	ISSUED TO CAMBRIDGE

OWNER:  
**SOMERBRIDGE HOTEL LLC**  
c/o XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

PROJECT:  
**145 ROOM HOTEL**  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA  
  
**1 McGRATH HIGHWAY**  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: OCTOBER 15, 2025

SCALE: AS SHOWN DWG.: 1362-16 SWPPP Erosion Control

DESIGNED BY: SM CHECKED BY: MM

PREPARED BY:

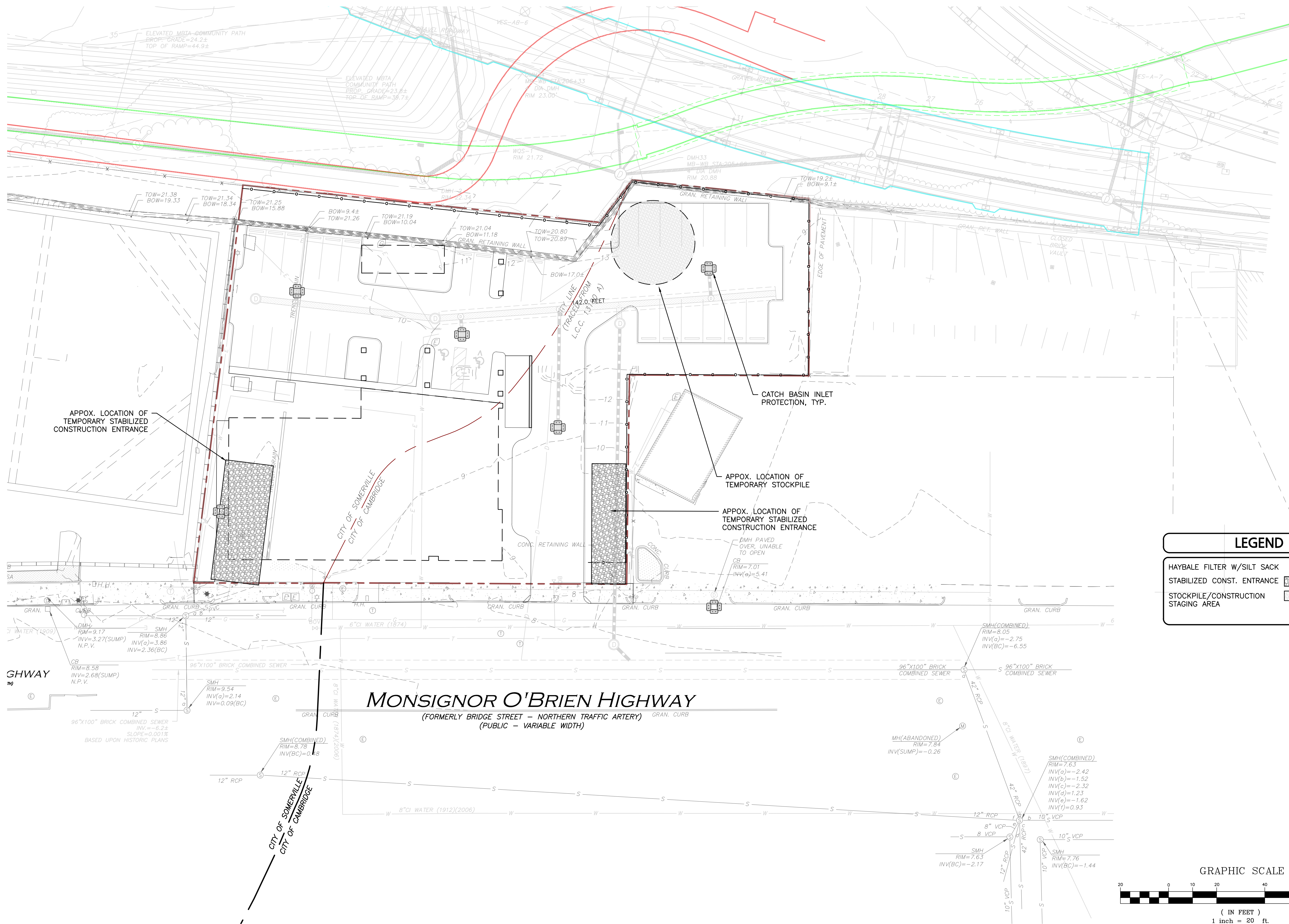
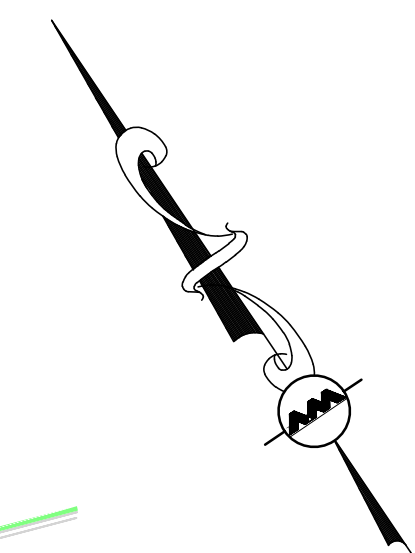


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DRAWING TITLE: **STORMW**

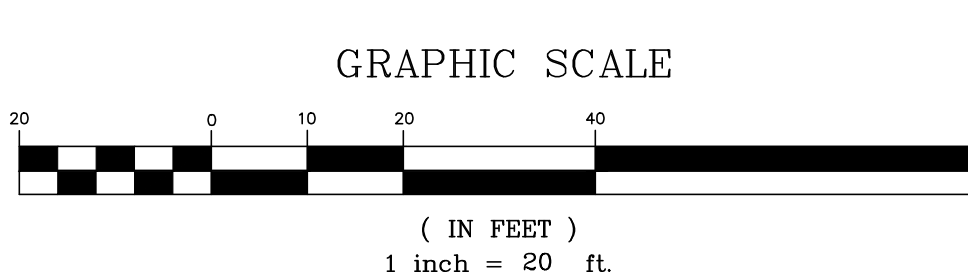
**GENERAL NOTES:**

- SEE SHEET C-3 FOR GRADING & DRAINAGE.
- SEE SHEET 1 FOR EXISTING CONDITIONS.
- SHEETS SWPPP 1-3 MAKE UP THE COMPLETE STORMWATER PREVENTION PACKAGE.
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**LEGEND**

- HAYBALE FILTER W/SILT SACK
- STABILIZED CONST. ENTRANCE
- STOCKPILE/CONSTRUCTION STAGING AREA



CITY OF CAMBRIDGE DPW  
STORMWATER CONTROL PERMIT NUMBER



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

OWNER:  
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c/o XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

PROJECT:  
**145 ROOM HOTEL**  
**263 MONSIGNOR O'BRIEN HIGHWAY**  
CAMBRIDGE, MA  
**1 McGRATH HIGHWAY**  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: OCTOBER 15, 2025

SCALE: DWG.: 1362-16-SWPPP-Erosion Control

DESIGNED BY: SM CHECKED BY: MM

PREPARED BY:

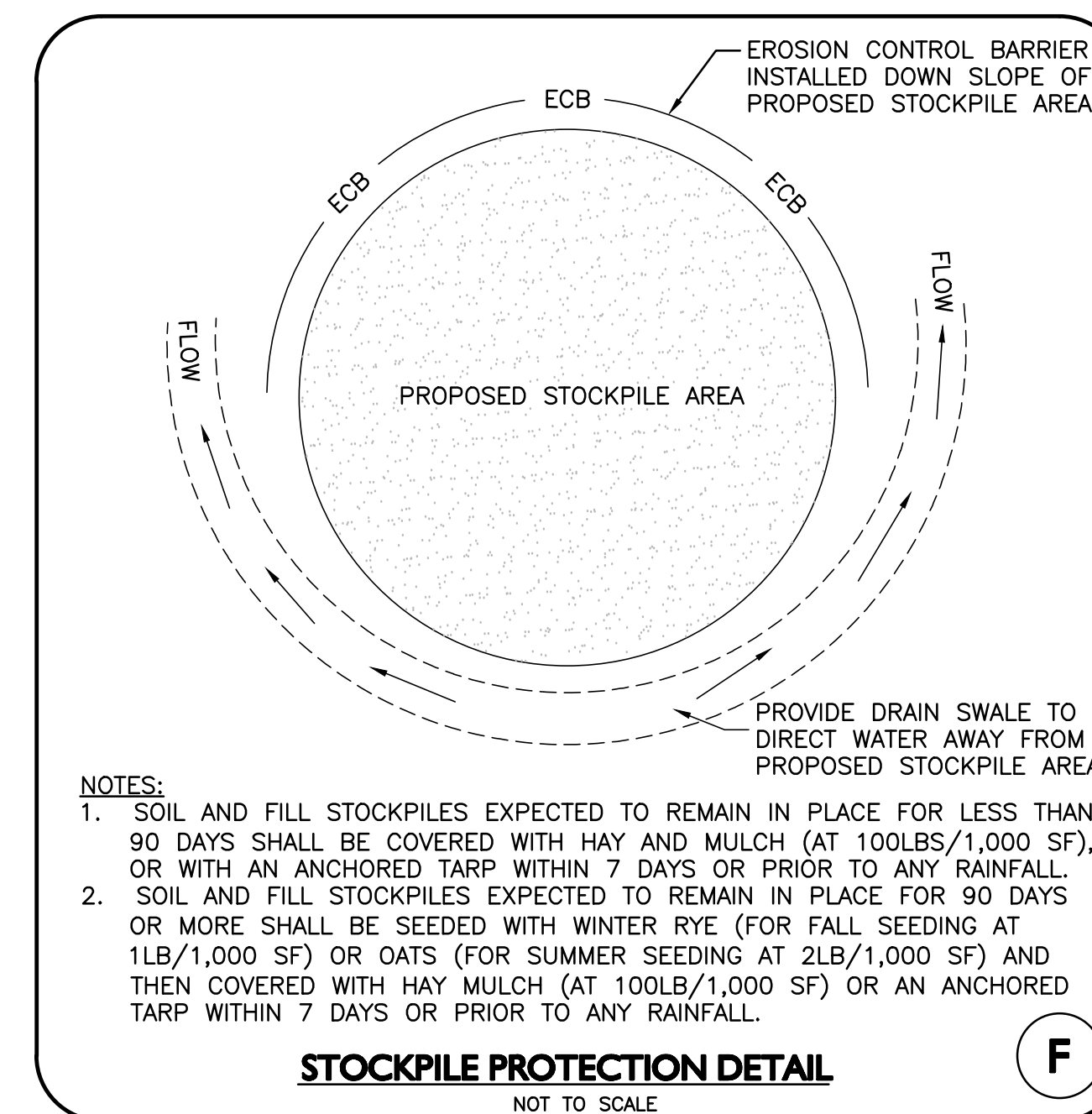
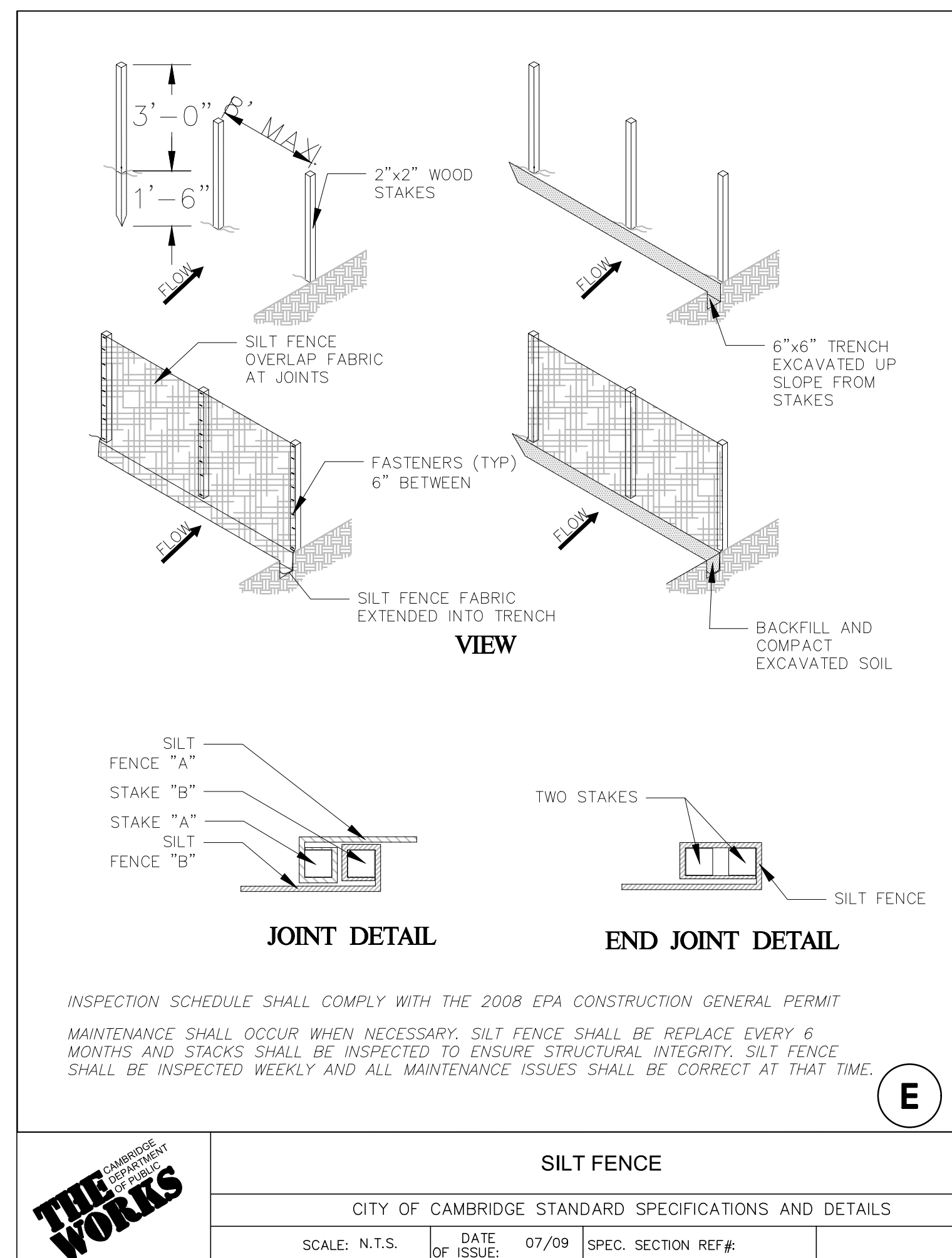
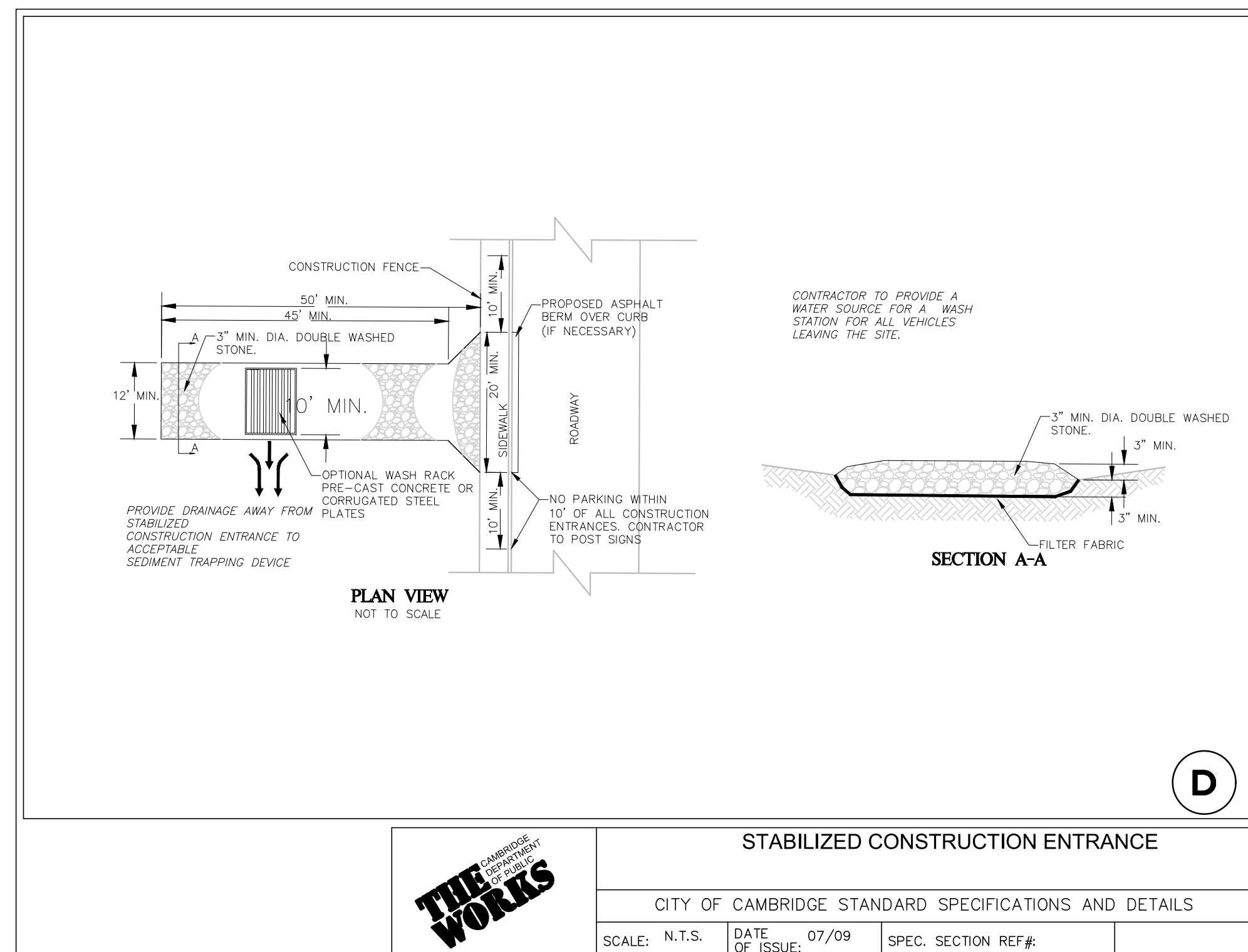
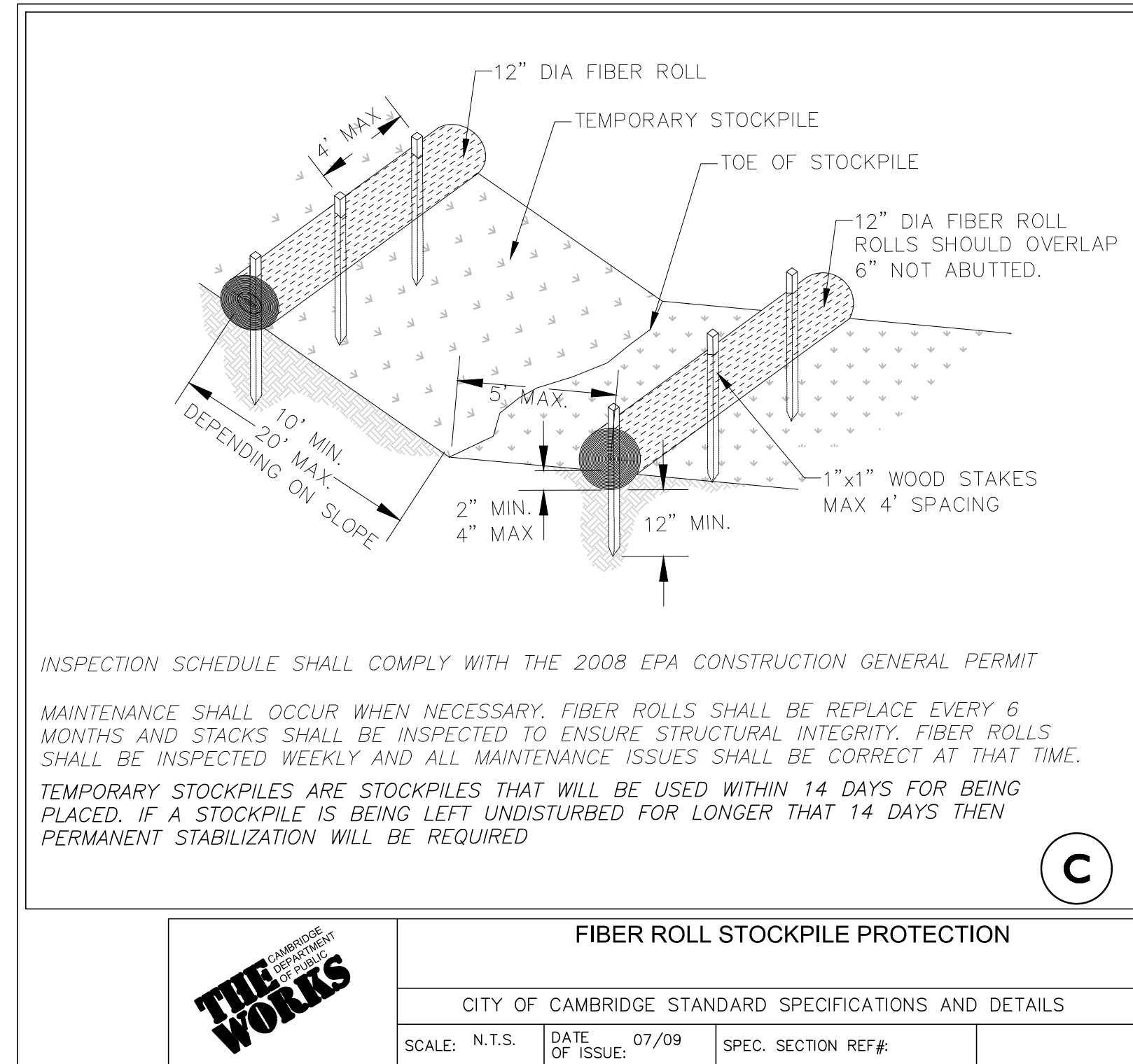
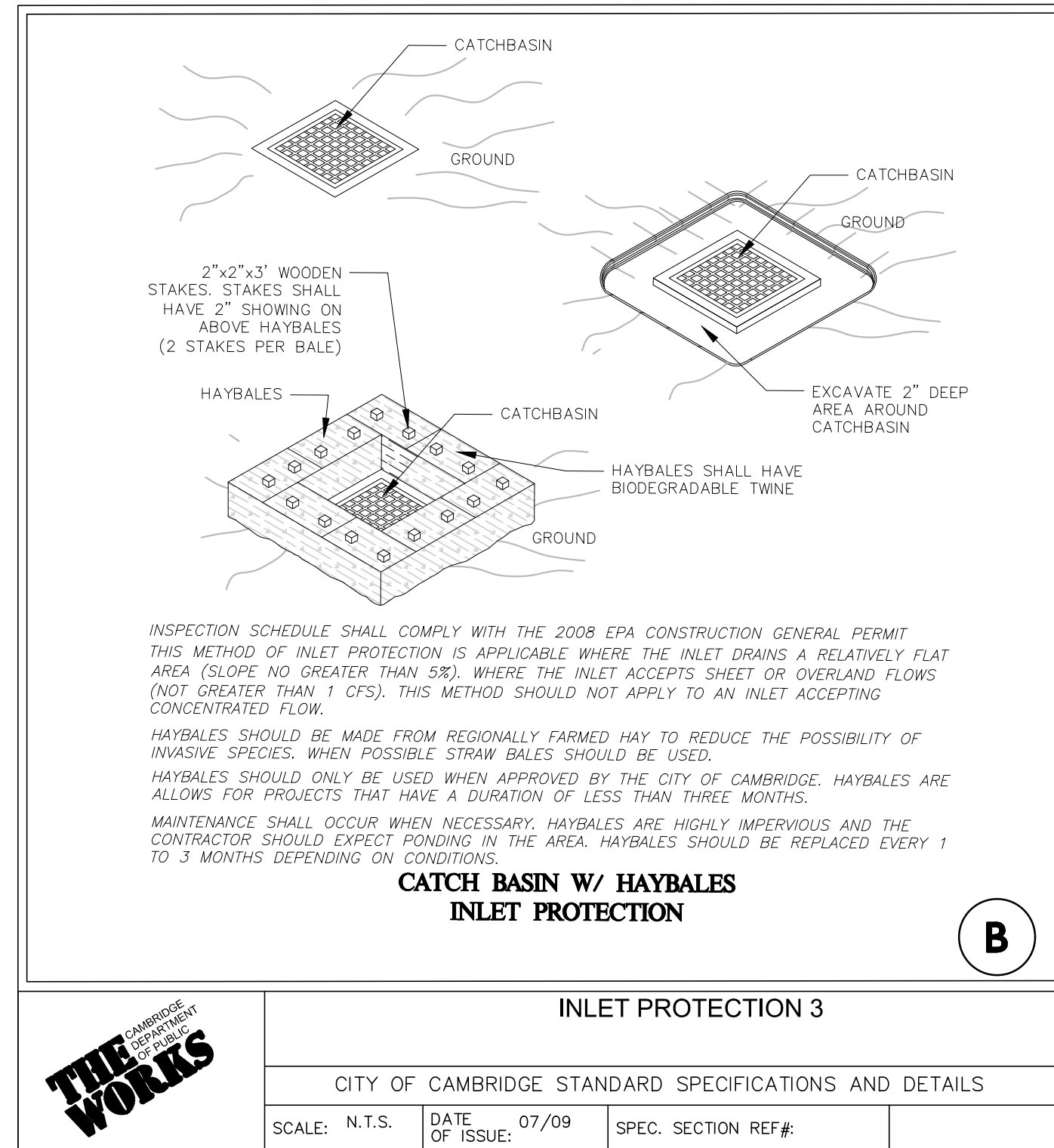
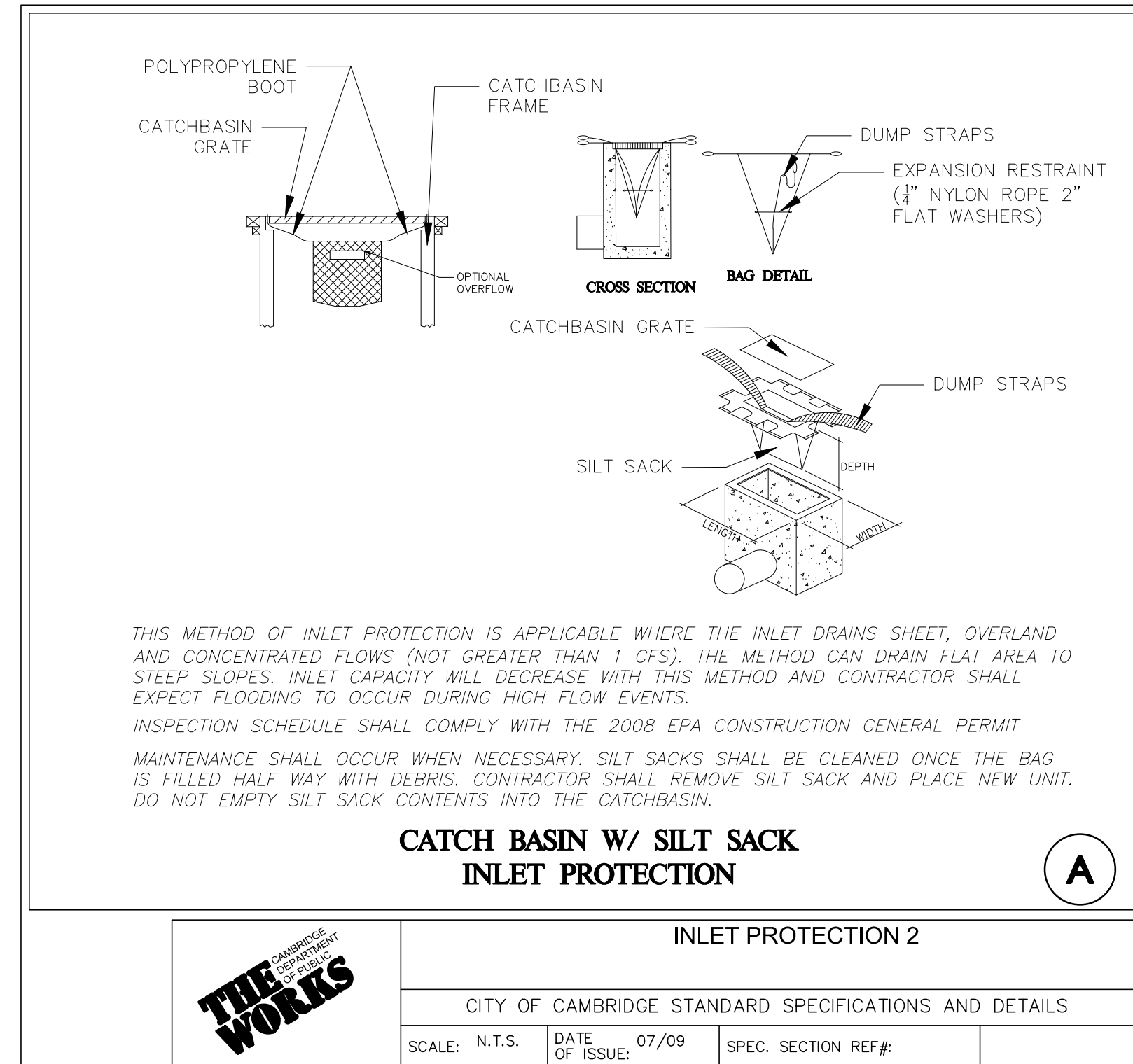
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DRAWING TITLE: **STORMWATER POLLUTION PREVENTION PLAN** SHEET NO. **SWPPP 2**

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CITY OF CAMBRIDGE DPW  
STORMWATER CONTROL PERMIT NUMBER



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

OWNER:  
SOMERBRIDGE HOTEL LLC  
c/o XSS HOTELS  
PO BOX 4430  
MANCHESTER, NH 03108

PROJECT:  
145 ROOM HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA  
  
1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: OCTOBER 15, 2025

SCALE: AS SHOWN DWG.: 1362-16-SWPPP-Erosion Control

DESIGNED BY: SM CHECKED BY: MM

PREPARED BY:

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DRAWING TITLE: STORMWATER POLLUTION PREVENTION DETAILS SHEET No. SWPPP 3

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