

Residential Addition and Renovation



46 Mount Vernon Street
Somerville MA 02145

HISTORIC COMMISSION REVIEW SET

PROJECT NUMBER: 953

DATE: 04/08/25
REVISED: 7/10/25

WARNING:
This document may not be secure, may be corrupted in transmission or due to software incompatibility and/or may be amended or altered by third parties after leaving Joe The Architect LLC's possession. Joe The Architect LLC is not responsible for and accepts no liability for such matters. Subject only to any conflicting provision within any prior binding agreement by Joe The Architect LLC (which agreement may also contain additional conditions relating to this document and its use):
1. the content of this document is confidential and copyright in it belongs to Joe The Architect LLC. They are permitted only to be opened, read and used by the addressee.
2. all users of this document must carry out all relevant investigations and must examine, take advice as required and satisfy themselves concerning the contents, correctness and sufficiency of the attachment and its contents for their purposes.
3. to the extent permitted by law, all conditions and warranties concerning this document or any use to which they may be put (whether as to quality, outcome, fitness, care, skill or otherwise) whether express or implied by statute, common law, equity, trade, custom or usage or otherwise are expressly excluded.
4. any person using or relying document releases and indemnifies and will keep indemnified Joe The Architect LLC against all claims, liabilities, loss, costs and expenses arising directly or indirectly out of or in connection with such use or reliance including without limitation any misrepresentation, error or defect in this document.
Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. All work to comply with I.B.C. Statutory Authorities and relevant American Standards.
© 2023- all rights reserved

PROJECT DESCRIPTION

Residential Addition and Interior Renovation to existing property on 46 Mt Vernon Street, that is designated LHD ('George Pool House', Queen Anne). Exterior work includes: demolition of existing rear single story addition; new 2-story plus roof deck addition to be within similar footprint. Other exterior work includes basement walkout at driveway side and new window wells on opposite side and a spiral stair at rear for roof deck and third floor egress. Exterior work DOES NOT include any front facade work. All new siding to match existing in type and color; all trimwork to match existing in type and color; all new windows to match existing in function and style (double hung).

SHEET LIST:

- 0 0.00 - COVER SHEET
A 0.10 - SITE PLAN
A 0.11 - LOT COVERAGE & EGRESS PLANS
D 1.00 - DEMOLITION FLOOR PLAN
D 1.01 - DEMOLITION FLOOR PLAN
A 1.00 - FLOOR PLAN
A 1.01 - FLOOR PLAN
A 1.02 - FLOOR PLAN
A 1.03 - FLOOR PLAN
A 3.00 - EXTERIOR ELEVATION
A 3.01 - EXTERIOR ELEVATION
A 3.02 - EXTERIOR ELEVATION

STRUCTURAL ENGINEER
COMPANY NAME
COMPANY ADDRESS
CITY, STATE & ZIP CODE
(XXX) XXX.XXXX-T
(XXX) XXX.XXXX-F
CONTACT: NAME
EMAIL: NAME@COMPANY.COM

GENERAL CONTRACTOR
COMPANY NAME
COMPANY ADDRESS
CITY, STATE & ZIP CODE
(XXX) XXX.XXXX-T
(XXX) XXX.XXXX-F
CONTACT: NAME
EMAIL: NAME@COMPANY.COM

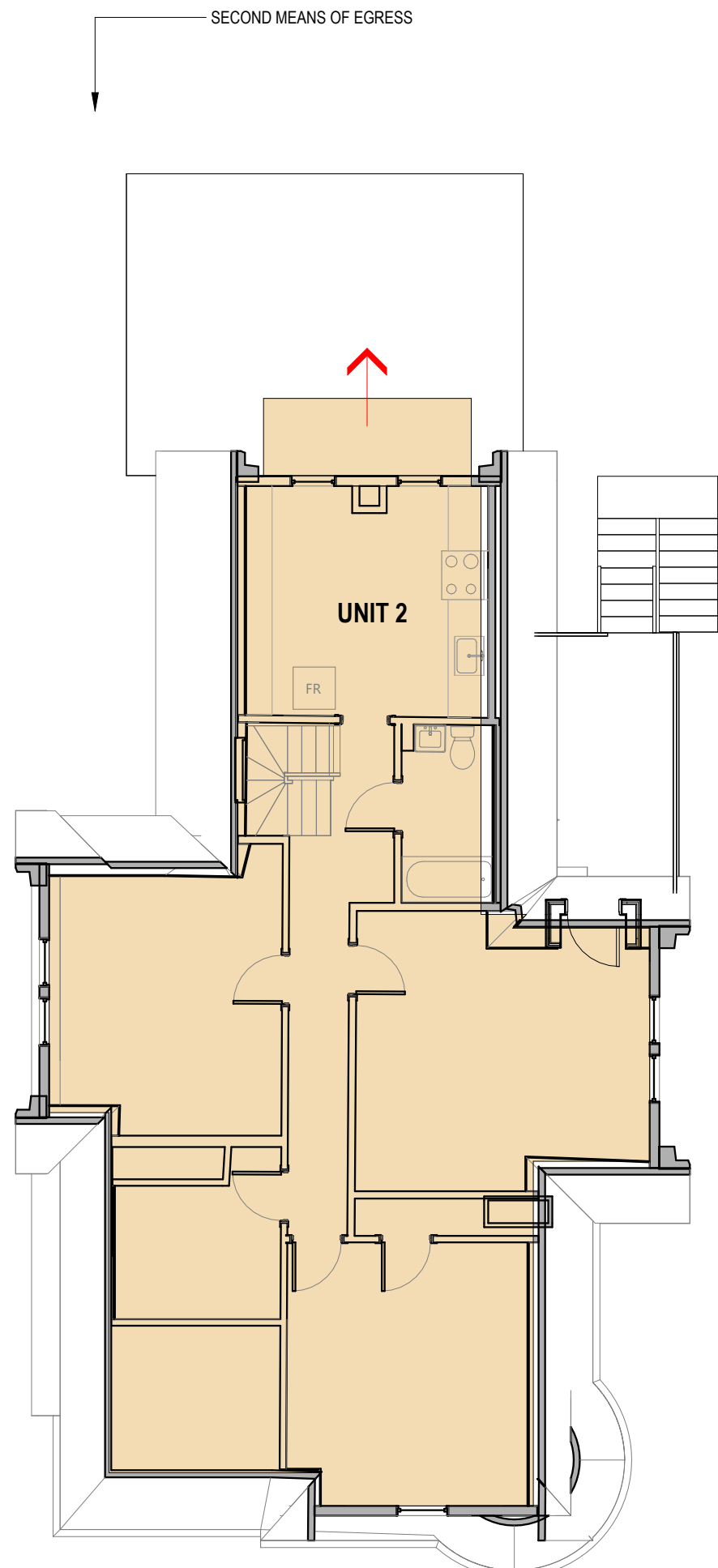
ARCHITECT
JOE THE ARCHITECT
343 MEDFORD STREET, SUITE 4C
SOMERVILLE, MA 02145
(617) 764-3593-T
CONTACT: CONTACT NAME
EMAIL: ASKJOE@JOETHEARCHITECT.COM

CLIENT
LIAM KUANG
46 MT VERNON ST
SOMERVILLE MA 02145
EMAIL: liamkuang@outlook.com

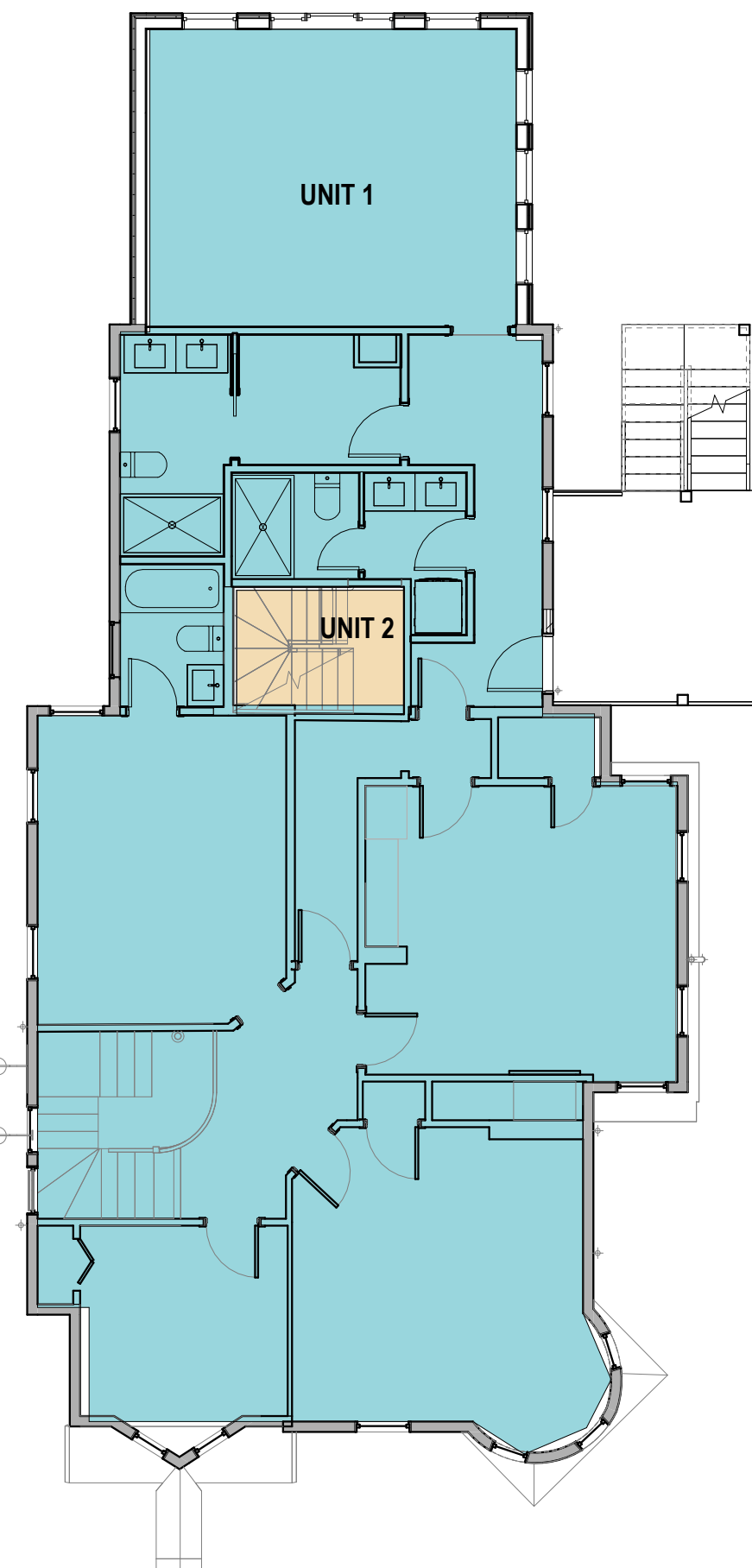
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1 (617) 764-3593
e: askjoe@joethearchitect.com
www.joethearchitect.com

JtA

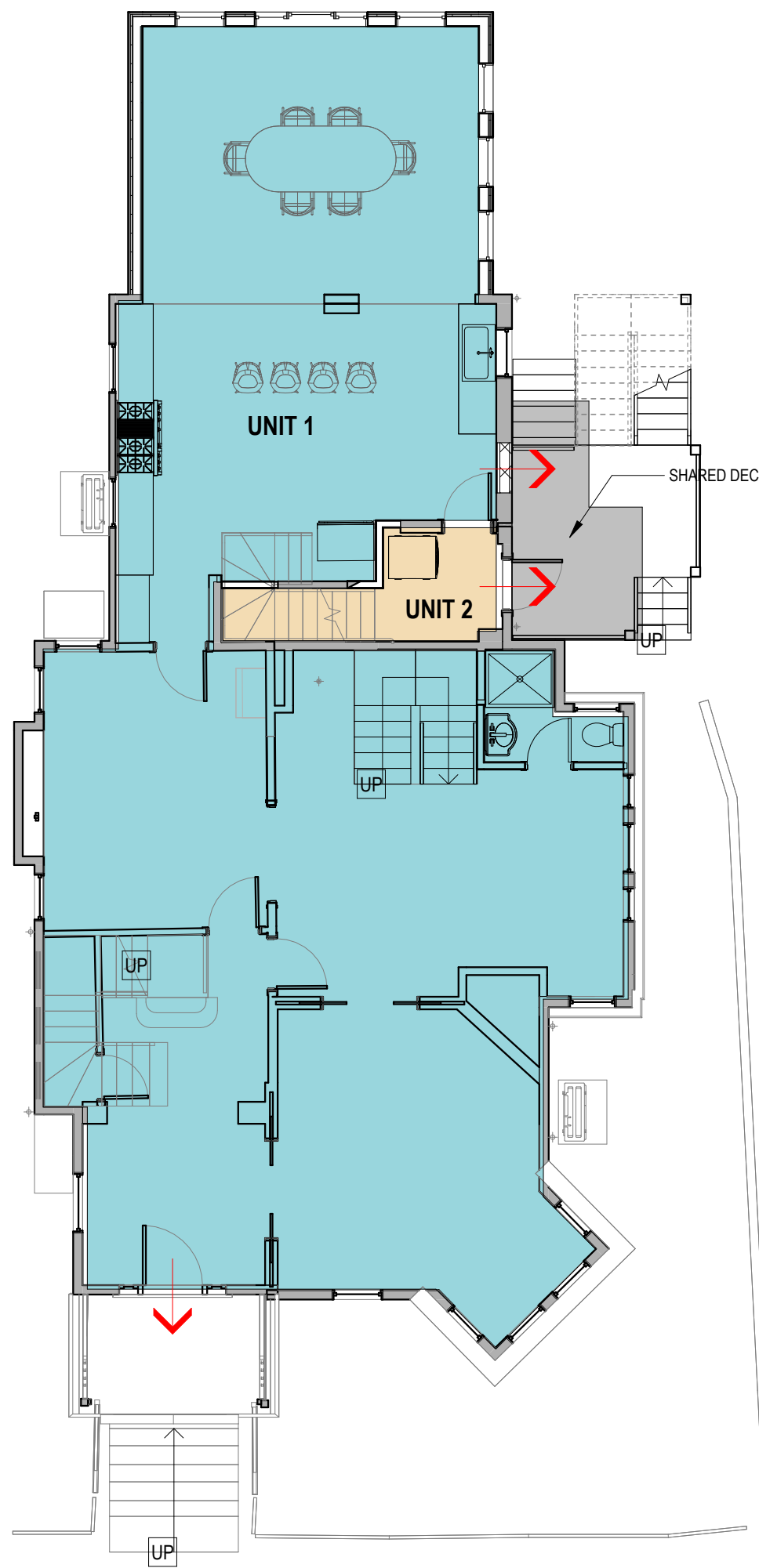
Residential Addition and Renovation
PROJECT NUMBER: 953
DATE: 04/08/25



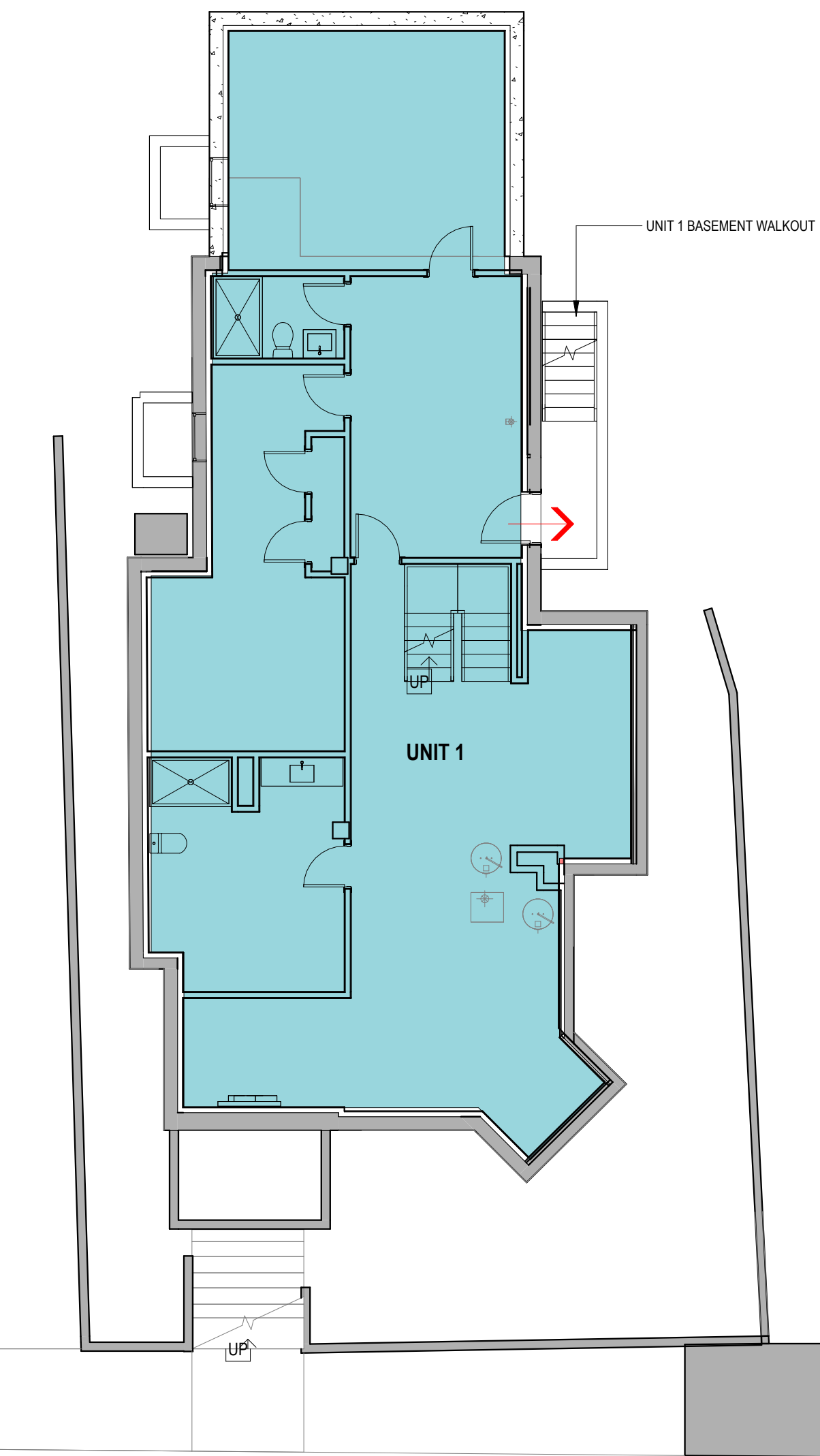
4 Floor 03_Egress Plan
1/8" = 1'-0"



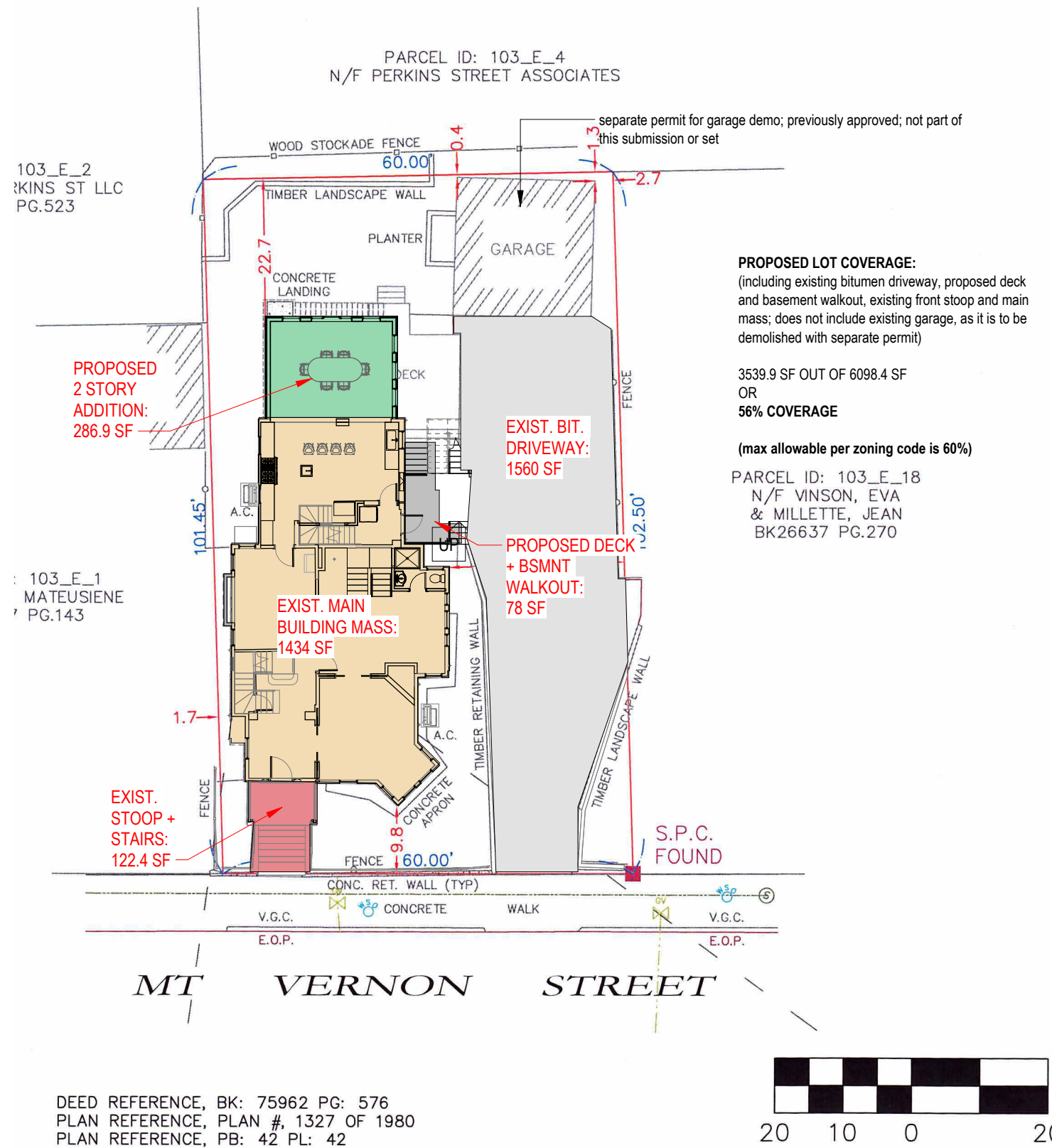
3 Floor 02_Egress Plan
1/8" = 1'-0"



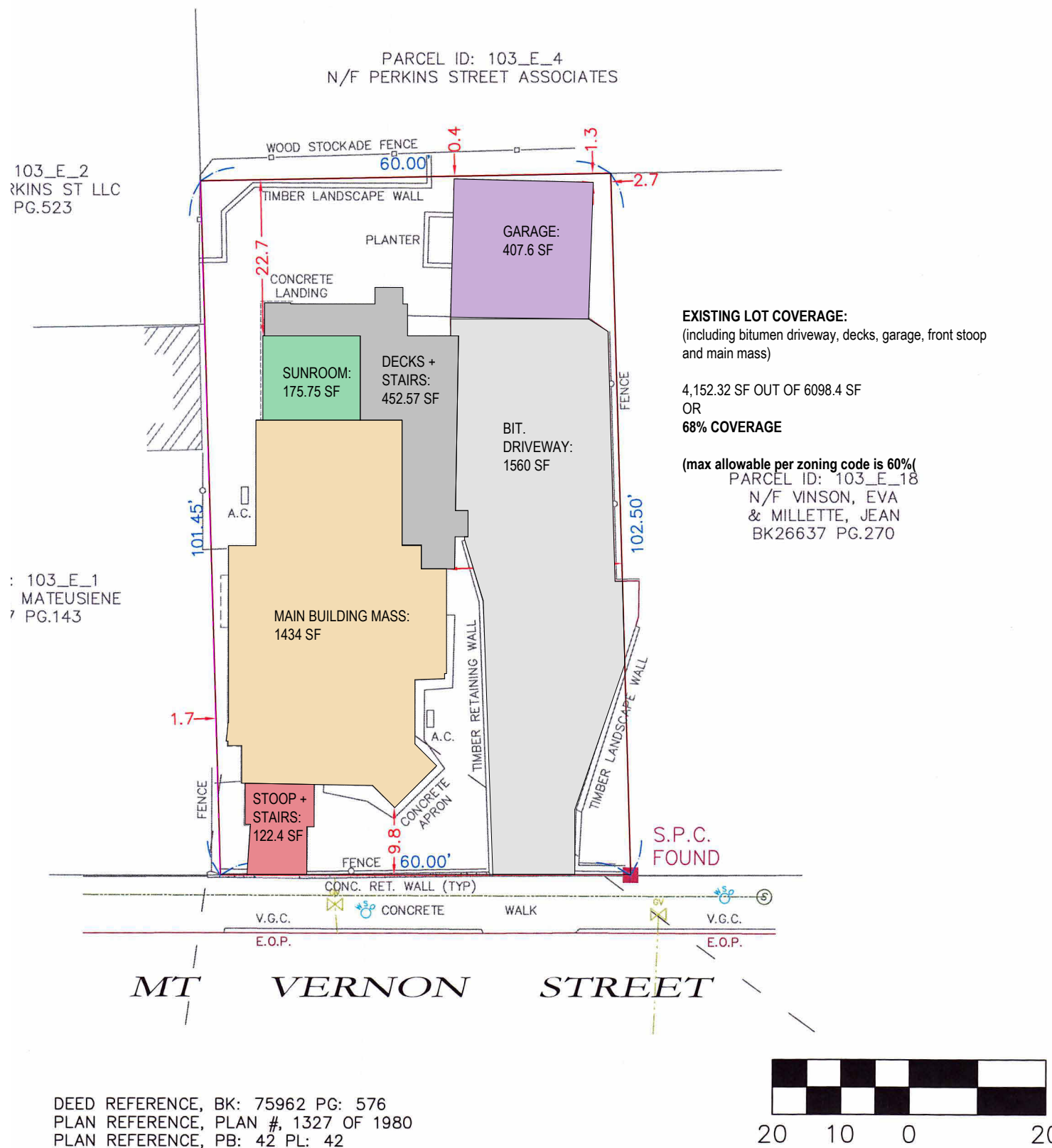
2 Floor 01_Egress Plan
1/8" = 1'-0"



1 Basement_Egress Plan
1/8" = 1'-0"



6 PROPOSED SITE PLAN LOT COVERAGE
1" = 20'-0"



5 Existing Site Plan LOT COVERAGE CALC
1" = 20'-0"

Liam Kuang
46 Mount Vernon St
Somerville MA 02145

DESIGN FIRM

JtA

Joe The Architect, LLC
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

CONSULTANT

<CONSULTANT NAME>

<CONSULTANT ADDRESS>

SEAL

KEY PLAN

PROJECT INFORMATION

**Residential Addition and
Renovation**

46 Mount Vernon Street
Somerville MA 02145

FOR INFORMATION

11/25/2025 10:11:16 AM

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architecture drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or tested. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2021 - all rights reserved

ISSUE CHART

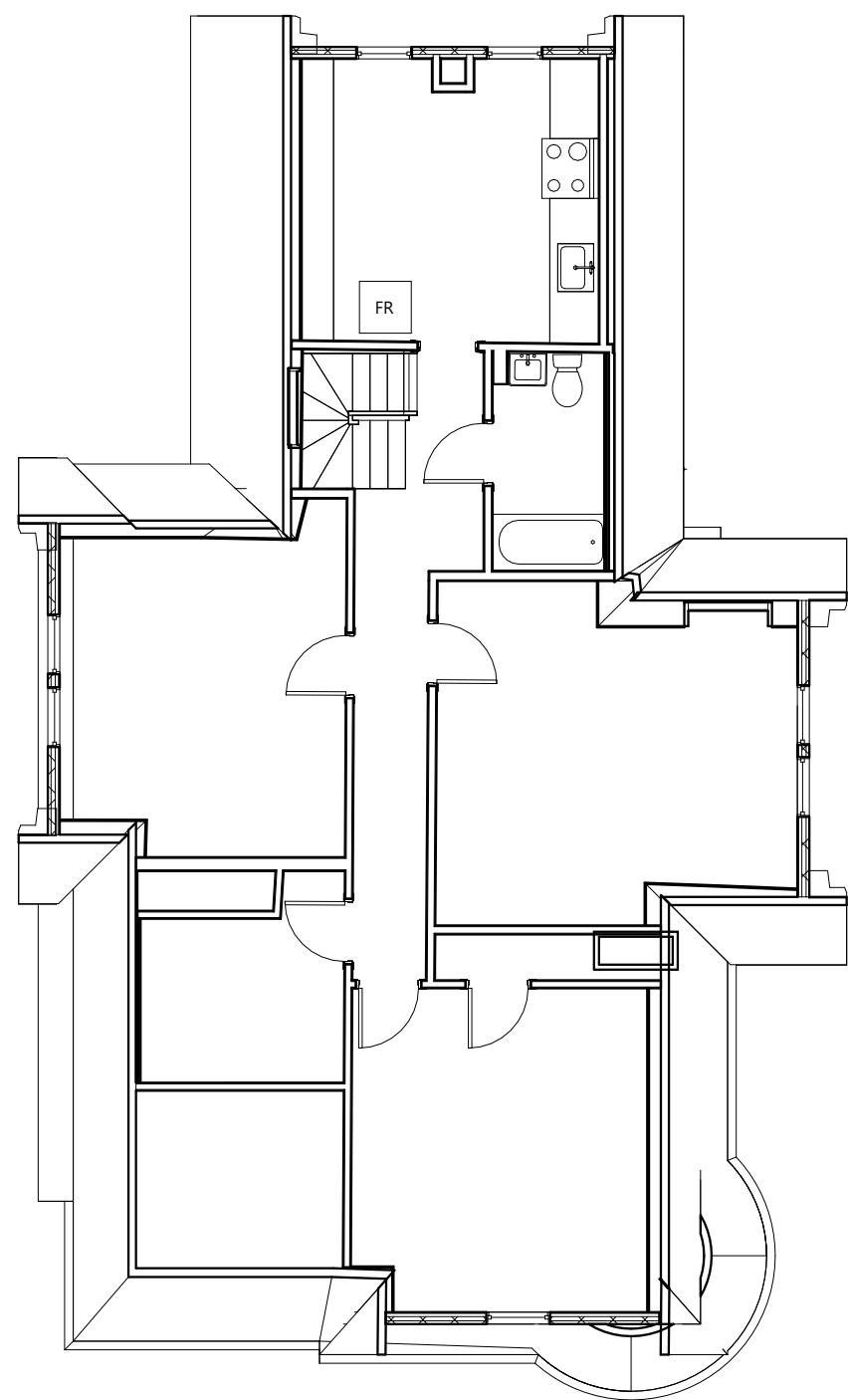
5 REVISED LAYOUT ISSUED 7/10/25
4 REVISED FOR ZONING/HISTORIC FEEDBACK 4/8/25

N	ISSUE	DATE
	953	PROJECT NUMBER
	Checker	CHECKED
	Approver	APPROVED
	As indicated	SCALE
		SHEET NAME

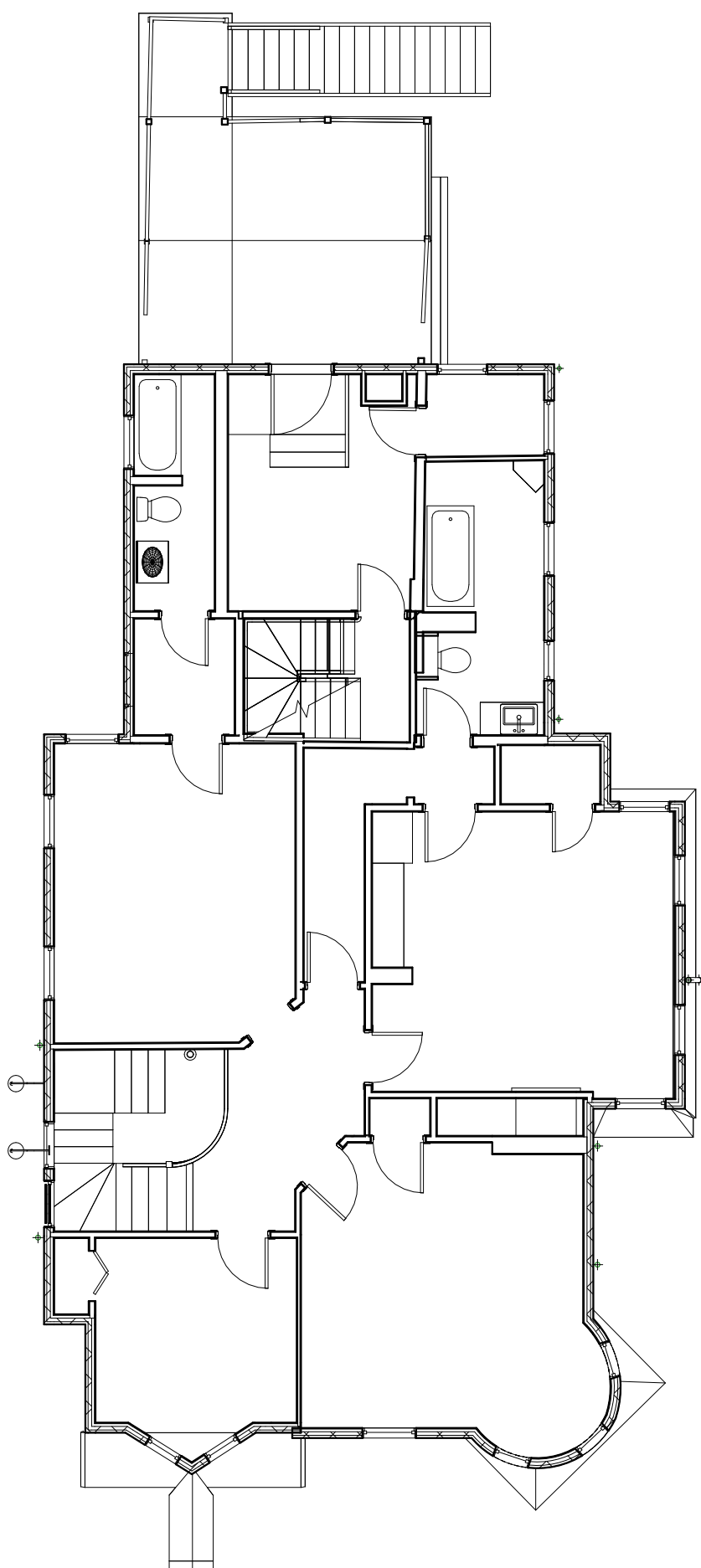
**LOT COVERAGE &
EGRESS PLANS**

SHEET NUMBER

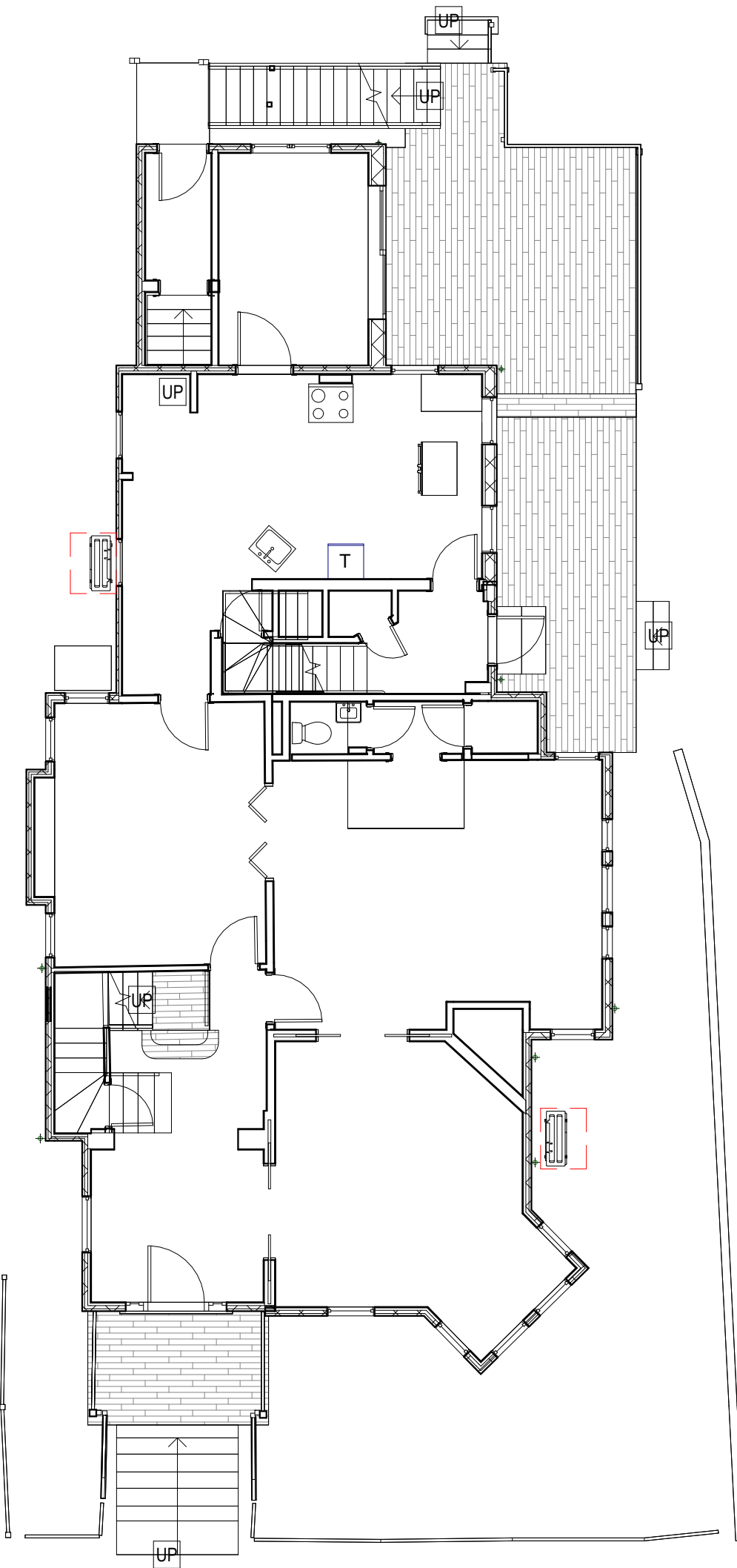
A 0.11



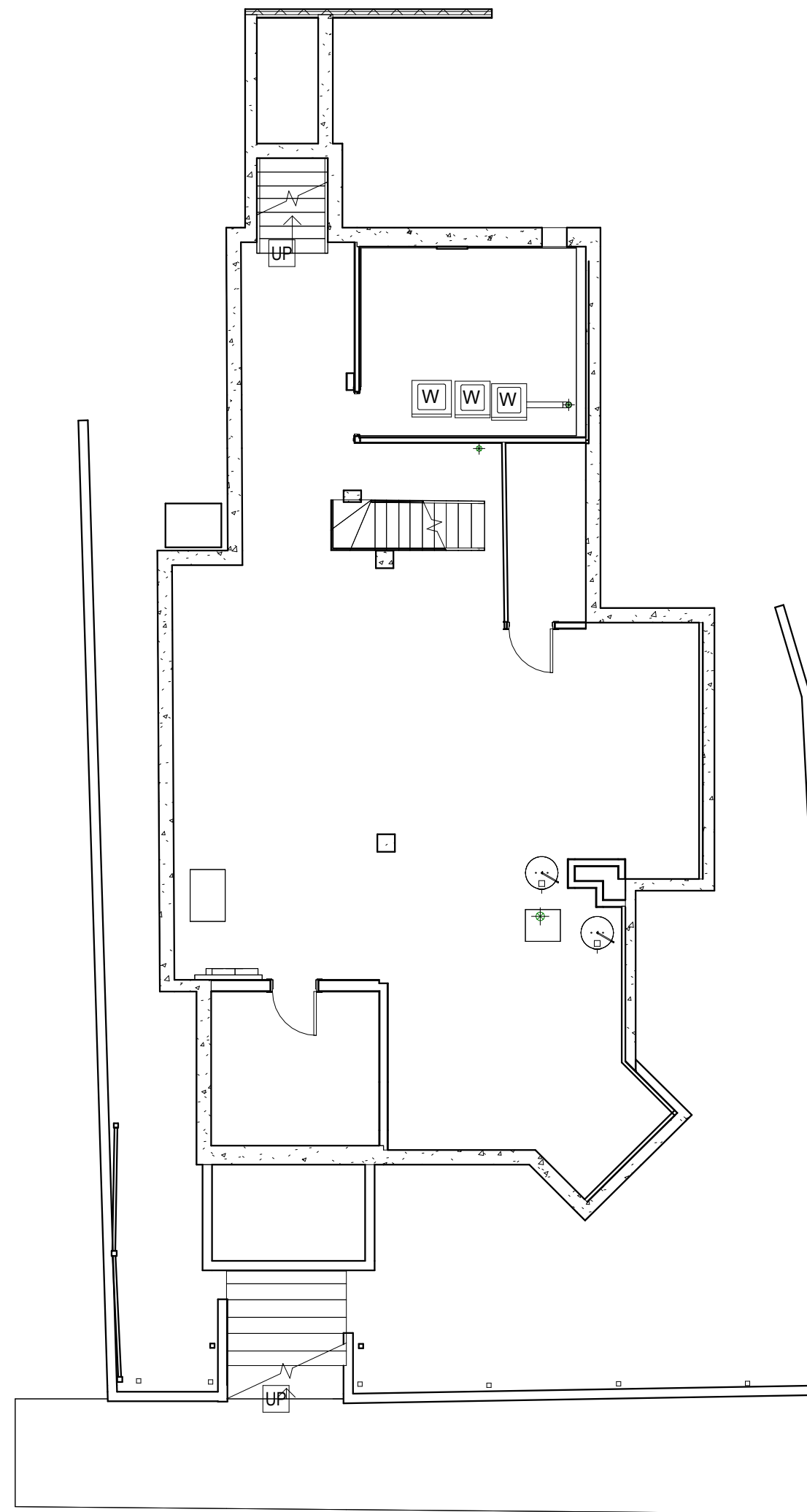
4 Floor 03 Existing Plan
EX 1.00 1/8" = 1'-0"



3 Floor 02 Existing Plan
EX 1.00 1/8" = 1'-0"



2 Floor 01 Existing Plan
EX 1.00 1/8" = 1'-0"



1 Basement Existing Plan
EX 1.00 1/8" = 1'-0"

CLIENT

Liam Kuang

46 Mount Vernon St
Somerville MA 02145

DESIGN FIRM

JtA

Joe The Architect, LLC
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

CONSULTANT

<CONSULTANT NAME>

<CONSULTANT ADDRESS>

SEAL

KEY PLAN

PROJECT INFORMATION

Residential Addition and
Renovation

46 Mount Vernon Street
Somerville MA 02145

FOR INFORMATION

11/25/2025 10:11:17 AM

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architecture drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or tested. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2021 - all rights reserved

ISSUE CHART

3 REVISED FOR HISTORIC • ZONING SUBMISSION 3/27/25

N	ISSUE	DATE
	PROJECT NUMBER	
	953	
	Checker	CHECKED
	Approver	APPROVED
	1/8" = 1'-0"	SCALE
	SHEET NAME	

EXISTING FLOOR
PLAN

SHEET NUMBER

EX 1.00



2 REAR ELEVATION_EXISTING
EX 3.00 1/8" = 1'-0"



1 SOUTH (SIDE) ELEVATION_EXISTING
EX 3.00 1/8" = 1'-0"



3 NORTH (SIDE) ELEVATION_EXISTING
EX 3.00 1/8" = 1'-0"

CLIENT

Liam Kuang

46 Mount Vernon St
Somerville MA 02145

DESIGN FIRM

JtA

Joe The Architect, LLC
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

CONSULTANT

<CONSULTANT NAME>

<CONSULTANT ADDRESS>

SEAL

KEY PLAN

PROJECT INFORMATION

Residential Addition and
Renovation

46 Mount Vernon Street
Somerville MA 02145

FOR INFORMATION

11/25/2025 10:11:24 AM

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architecture drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or tested. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2021 - all rights reserved

ISSUE CHART

3 REVISED FOR HISTORIC • ZONING SUBMISSION 3/27/25

N	ISSUE	DATE
	953	PROJECT NUMBER
	Checker	CHECKED
	Approver	APPROVED
	1/8" = 1'-0"	SCALE

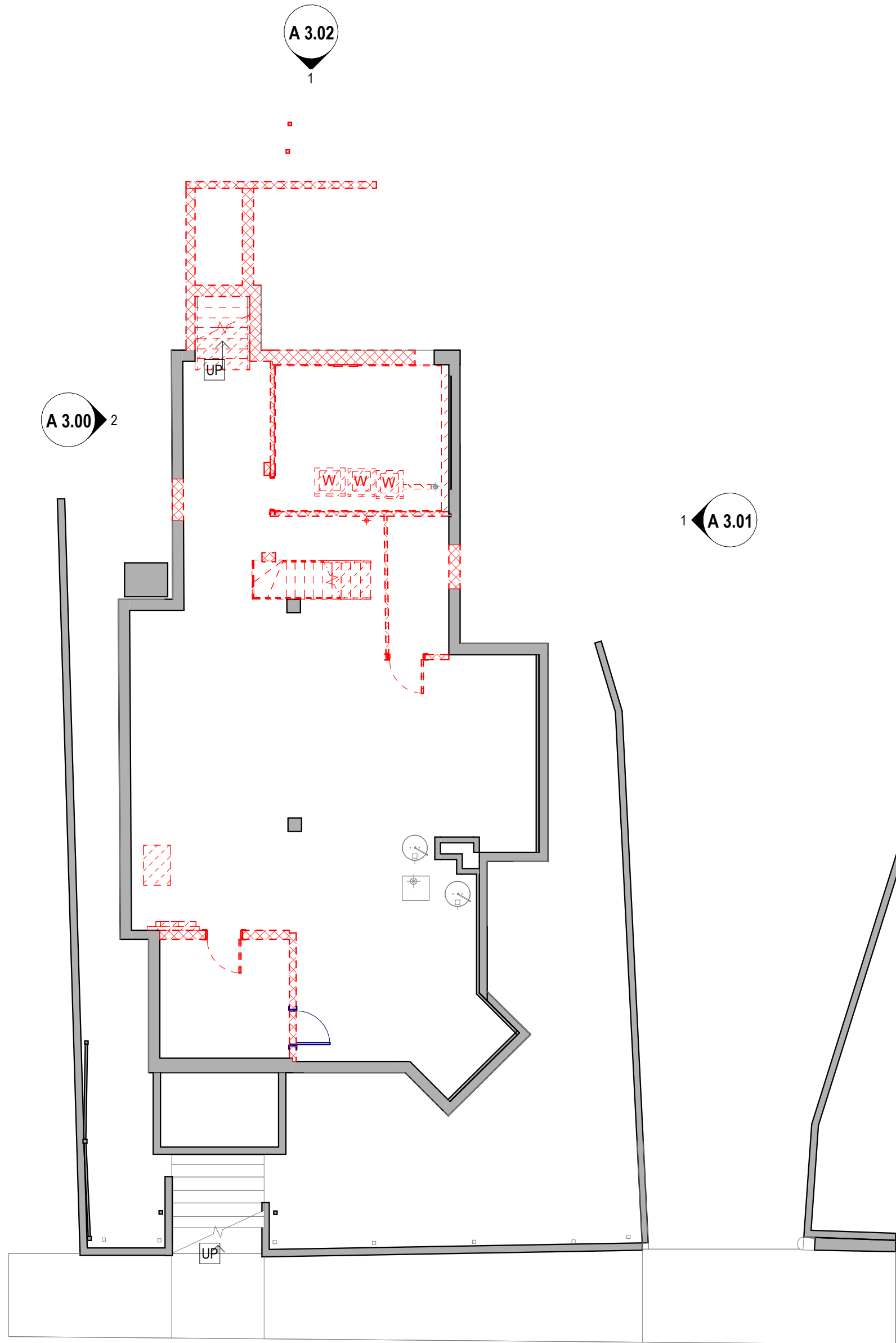
SHEET NAME

EXISTING
ELEVATIONS

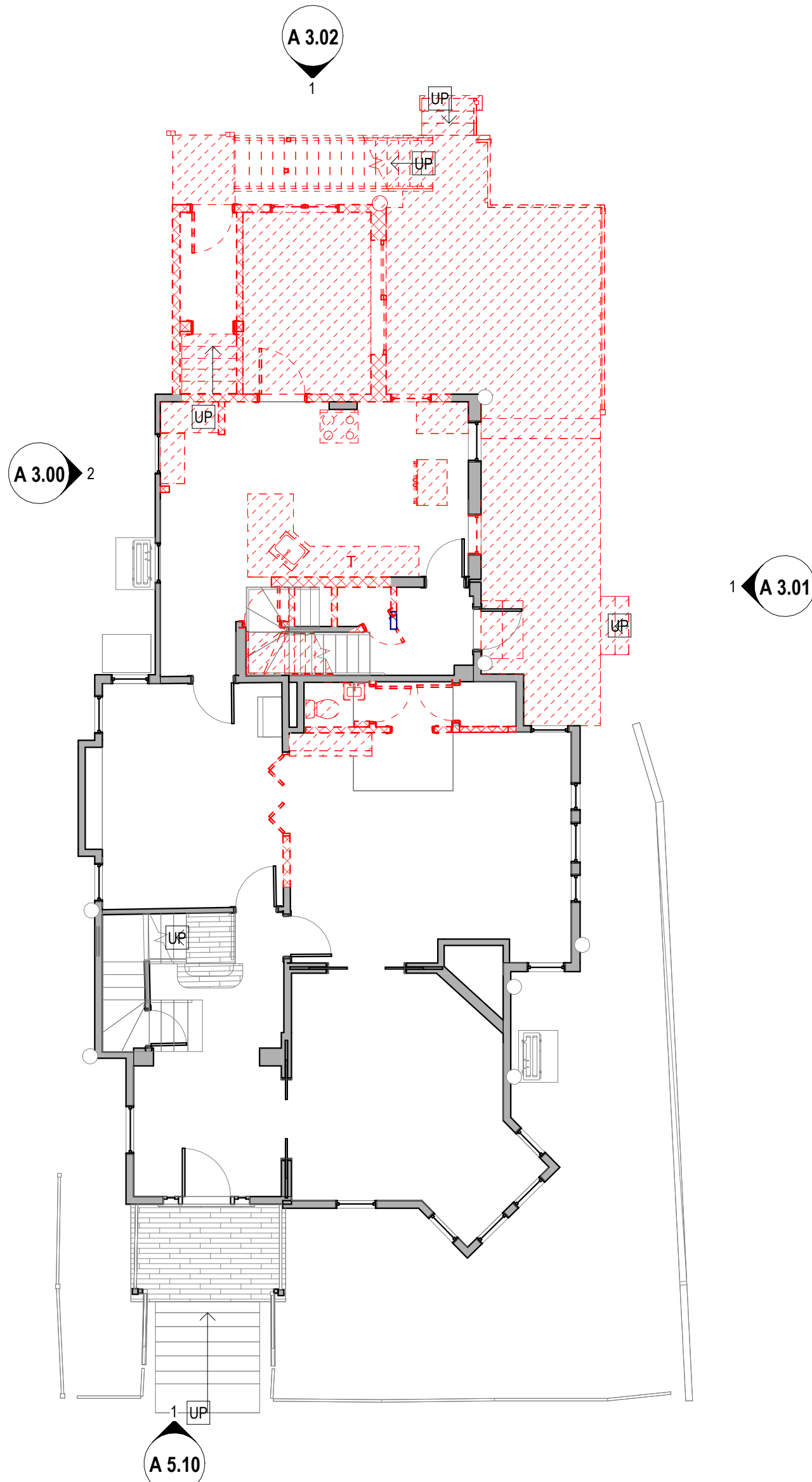
SHEET NUMBER

EX 3.00

1 Basement Demolition Plan
D 1.00 1/8" = 1'-0"



2 Floor 01 Demolition Plan
D 1.00 1/8" = 1'-0"



DEMOLITION LEGEND

- EXISTING SOLID PARTITION TO BE DEMOLISHED
- EXISTING GLAZED OR PARTIALLY GLAZED PARTITION TO BE DEMOLISHED
- EXISTING DOOR AND FRAME TO BE DEMOLISHED
- EXISTING FULL HEIGHT SOLID, GLAZER OR PART GLAZED PARTITION TO REMAIN
- EXISTING DOOR AND FRAME TO REMAIN
- NIC - NOT IN CONTRACT HATCH

GENERAL NOTES - DEMOLITION

- SEE GENERAL CONSTRUCTION NOTES ON SHEET G 0.01.
- THE DRAWINGS HAVE BEEN COMPILED FROM THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF WORK. THE CONTRACTOR MAY UNCOVER HIDDEN CONDITIONS NOT SHOWN IN THIS CONTRACT SET. IN SUCH AN EVENT, THE CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY.
- SELECTIVELY DEMO WALLS, CEILING, AND FLOOR FINISHES AS SHOWN AND AS REQUIRED FOR NEW LAYOUT AND SYSTEMS.
- GO TO COORDINATE CUTTING OF NEW DOOR OPENINGS WITH REQUIRED DIMS FOR UNITS AS SHOWN ON FLOOR PLANS, ELEVATIONS, AND DOOR SCHEDULE. NOTIFY ARCHITECT OF ANY CONFLICTS.
- THE CONTRACTOR SHALL PERFORM DEMO AS REQUIRED FOR WALL MOUNTED FIXTURES, SHELVING, ACCESSORIES, ETC, WHETHER SPECIFICALLY SHOWN OR NOT.
- WHERE REMOVAL OF EXISTING CONSTRUCTION IS REQUIRED FOR PERFORMANCE OF ANY WORK UNDER THIS CONTRACT, REMOVAL & REINSTALLATION SHALL BE ACCOMPLISHED UNDER THE BASE CONTRACT, WHETHER SPECIFICALLY SHOWN OR NOT, INCLUDING RESTORATION OF UTILITIES AND ANY TEMPORARY SHORING OF STRUCTURAL COMPONENTS.
- PROTECT ALL EXISTING WALLS, DOORS, ETC. TO REMAIN. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL FINISHES, FRAMING, AND UTILITIES DAMAGED OR DISTURBED DURING THE COURSE OF THE WORK, INCLUDING SHOP APPLIED FINISHES.
- SEE ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION DRAWINGS AND SPECIFICATIONS FOR RELEVANT INFO AND COORDINATION FOR SYSTEMS WORK. CUT PENETRATIONS FOR MEP/FP, SECURITY AND DATA SYSTEMS, THROUGH WALL, THROUGH CEILING, THROUGH FLOOR AND THROUGH ROOF AS REQUIRED.
- ALL NEW SPRINKLERS & PIPING SHALL BE INSTALLED PRIOR TO DEMOLISHING THE (E) SYSTEM & MAKING FINAL CONNECTIONS, IN ORDER TO MINIMIZE THE IMPACTS OF SHUTDOWNS, DRAIN DOWN, SYSTEM RE-FILL, AND FIRE WATCHES.
- IT IS THE INTENT OF THE DEMOLITION SCOPE TO REMOVE ALL EXISTING ITEMS THAT WILL CONFLICT WITH NEW WORK WHETHER SHOWN OR NOT. ALL EXISTING NON-STRUCTURAL PARTITIONS, CEILINGS, CASEWORK, MEP/FP ITEMS, FURR-OUTS, FINISH MATERIALS, STAIRS, DOORS, WINDOWS AND INDUSTRIAL EQUIPMENT SHALL BE REMOVED. THE CONTRACTOR SHALL VISIT THE SITE PRIOR OF THE START OF ANY WORK TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- REFER TO STRUCTURAL DOCUMENTS FOR ADDITIONAL INFORMATION REGARDING REMOVAL AND SHORING OF STRUCTURAL ELEMENTS.
- REFER TO CIVIL ENGINEERING AND LANDSCAPE ARCHITECTURE DOCUMENTS FOR ADDITIONAL INFORMATION REGARDING REMOVAL OF SITE RELATED FIXTURES, EQUIPMENT, AND ASSOCIATED ACCESSORIES.
- ROOFING SUBCONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL ROOFING, INCLUDING NON-STRUCTURAL SUBSTRATES, GUTTERS, AND ASSOCIATED FLASHINGS. REMOVED MATERIAL SHALL BE DISPOSED OF BY THE GENERAL CONTRACTOR.
- COORDINATE ALL DEMOLITION WITH HAZARDOUS MATERIAL REMOVAL/ABATEMENT REQUIREMENTS.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL EXCESS SALVAGED ITEMS NOT USED IN THE PROJECT OR REQUESTED TO BE RETURNED TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REVIEW WITH ALL TRADES THE EXTENT OF DEMOLITION REQUIRED.
- THE CONTRACTOR SHALL PROTECT ALL MATERIALS AND EQUIPMENT NOTED TO REMAIN. ALL MATERIAL INDICATED TO BE SALVAGED OR REINSTALLED SHALL BE STORED AND PROTECTED FROM DAMAGE UNTIL READY TO BE PERMANENTLY REINSTALLED.
- ALL MATERIAL INDICATED TO BE REMOVED SHALL BE DISPOSED OF IN ACCORDANCE TO APPLICABLE CODES AND LAWS. THE OWNER RETAINS THE RIGHT TO RECLAIM ANY EXISTING MATERIAL. SUCH MATERIAL SHALL BE PROTECTED FROM DAMAGE AND DELIVERED TO THE OWNER AS PER OWNER 'S REQUIREMENTS AND COMPLIANCE WITH SUSTAINABLE PRACTICES. AT THE END OF DEMOLITION, LEAVE THE AREA FREE AND CLEAR, BROOM CLEAN FOR THE APPLICATION OF NEW WORK.
- THE CONTRACTOR SHALL PROVIDE PROTECTION AROUND AND OVER ALL FLOOR OPENINGS. COORDINATE ALL NEW FLOOR OPENING DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
- WHERE FLOOR FINISH REMOVAL IS INDICATED, REMOVE FLOORING MATERIALS DOWN TO SUBSTRATE.
- CLEAN ANY RESIDUE FROM CONCRETE SURFACE. PREP SUBSTRATE TO RECEIVE FINISH AS INDICATED ON FINISH SCHEDULE AND PER FLOORING MANUFACTURES RECOMMENDATIONS.
- WHERE CEILING REMOVAL IS INDICATED, REMOVE ALL COMPONENTS OF EXISTING CEILING SYSTEMS INCLUDING ALL FASTENERS. ALL MATERIALS AND EQUIPMENT SHALL BE REMOVED TO UNDERSIDE OF STRUCTURE ABOVE. PREP SURFACE OF UNDERSIDE OF STRUCTURE FOR NEW FINISH PER FINISH SCHEDULE.
- SEE MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DRAWINGS FOR SCOPE OF MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DEMOLITION. CUT, CAP, AND MAKE SAFE ALL PIPING, CONDUIT, AND WIRING AS INDICATED ON RELATED DRAWINGS.
- CONTRACTOR TO PROVIDE TEMPORARY PROTECTION FOR INTERIOR SIDE OF ALL EXTERIOR WALLS AND SURFACES WHICH WILL REMAIN AFTER DEMOLITION. LOCATIONS OF (E) SPRINKLER HEADS, LIGHTING, HVAC DIFFUSERS/REGISTERS, ETC, AND A.C.T. GRIDS ARE NOT FIELD DIMENSIONED. G.C. TO VERIFY LOCATIONS WHERE IN PROXIMITY OF WORK.
- SPRINKLER HEADS, LIGHTING, HVAC DIFFUSERS/REGISTERS, ETC, AND A.C.T. GRIDS ARE EXISTING TO REMAIN U.O.N.
- PROVIDE TEMPORARY ENCLOSURE OF ALL EXTERIOR OPENINGS CREATED AS A RESULT OF DEMOLITION UNTIL PERMANENT ENCLOSURES ARE INSTALLED.
- PROVIDE TEMPORARY SHORING AT ALL DEMOLITION OF NEW OPENINGS TO INSTALL NEW LINTEL AS INDICATED.

DESIGN/BUILD NOTES (DELETE IF NOT NEEDED)

29. ALL 'MEP/FP' WORK IS TO BE PROVIDED BY THE GENERAL CONTRACTOR ON A DESIGN/BUILD BASIS.

Liam Kuang

46 Mount Vernon St
Somerville MA 02145

DESIGN FIRM

JtA

Joe The Architect, LLC
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

CONSULTANT

<CONSULTANT NAME>

<CONSULTANT ADDRESS>

SEAL

KEY PLAN

PROJECT INFORMATION

Residential Addition and
Renovation

46 Mount Vernon Street
Somerville MA 02145

FOR INFORMATION

11/25/2025 10:11:25 AM

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architecture drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Installation. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or tested. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2021 - all rights reserved

ISSUE CHART

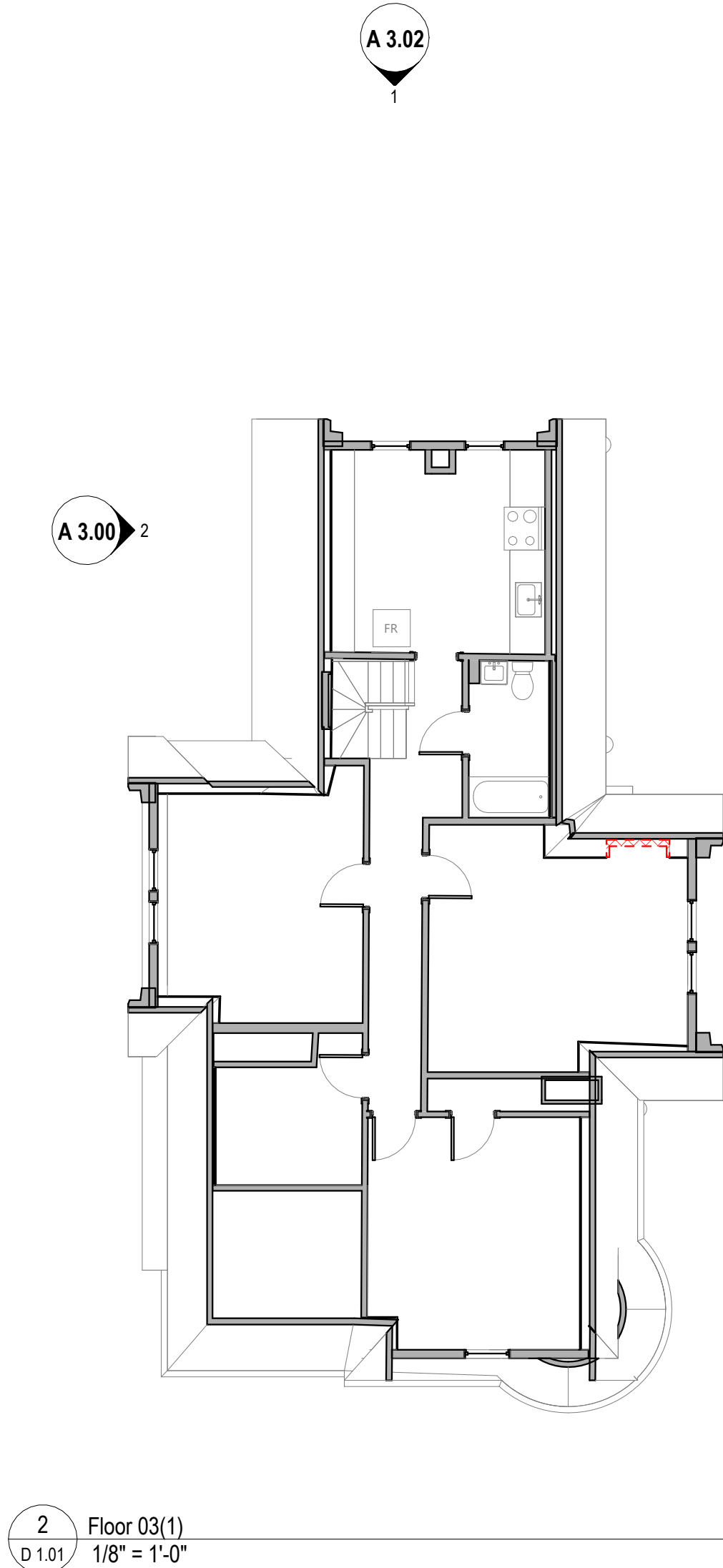
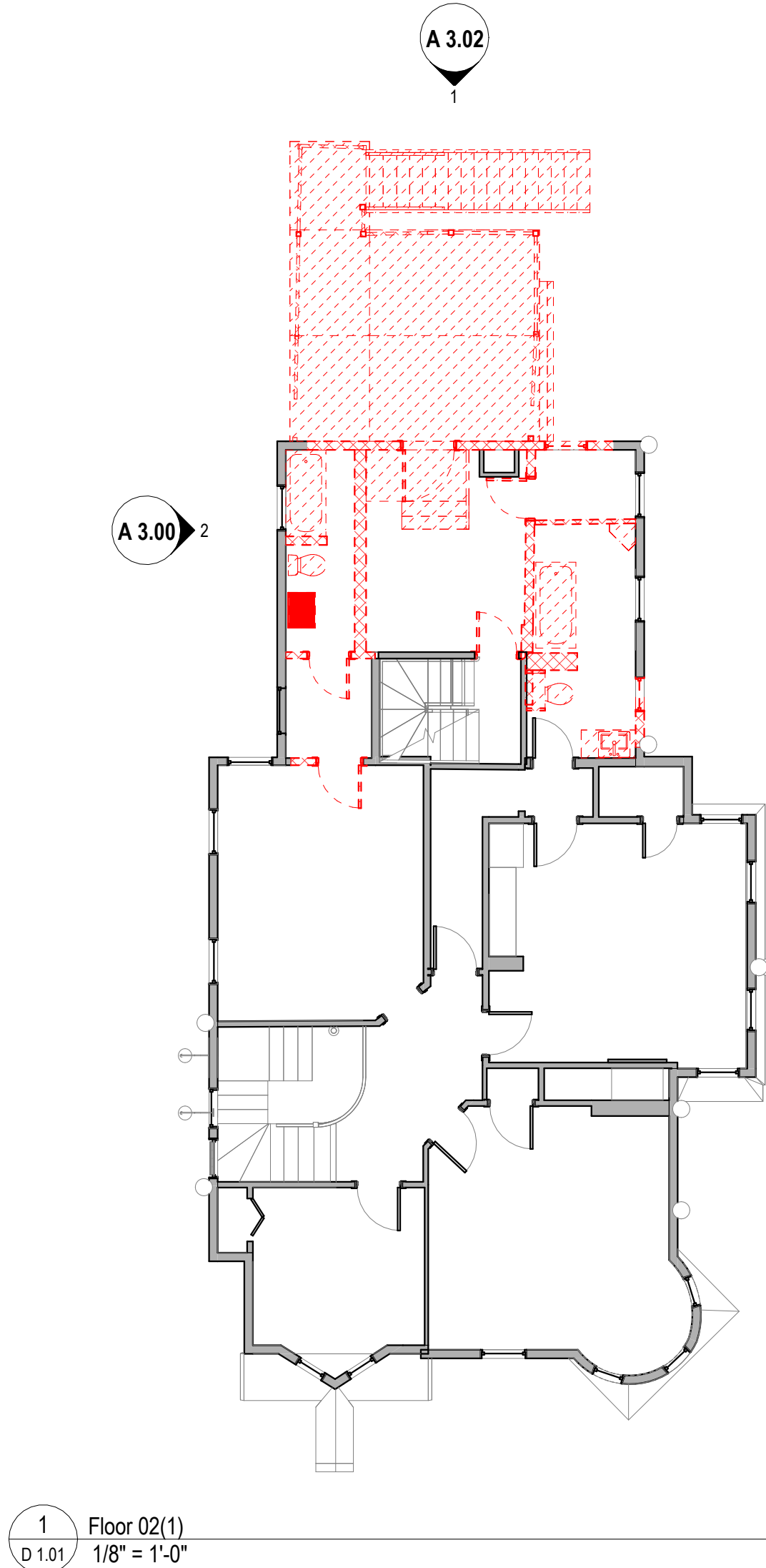
5	REVISED LAYOUT ISSUED	7/10/25
4	REVISED FOR ZONING/HISTORIC FEEDBACK	4/8/25
3	REVISED FOR HISTORIC + ZONING SUBMISSION	3/27/25

N	ISSUE	DATE
953	PROJECT NUMBER	
Checker	CHECKED	
Approver	APPROVED	
As indicated	SCALE	
	SHEET NAME	

DEMOLITION PLAN

SHEET NUMBER

D 1.00



DEMOLITION LEGEND

- EXISTING SOLID PARTITION TO BE DEMOLISHED
- EXISTING GLAZED OR PARTIALLY GLAZED PARTITION TO BE DEMOLISHED
- EXISTING DOOR AND FRAME TO BE DEMOLISHED
- EXISTING FULL HEIGHT SOLID, GLAZER OR PART GLAZED PARTITION TO REMAIN
- EXISTING DOOR AND FRAME TO REMAIN
- NIC - NOT IN CONTRACT HATCH

GENERAL NOTES - DEMOLITION

- SEE GENERAL CONSTRUCTION NOTES ON SHEET G 0.01.
- THE DRAWINGS HAVE BEEN COMPILED FROM THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF WORK. THE CONTRACTOR MAY UNCOVER HIDDEN CONDITIONS NOT SHOWN IN THIS CONTRACT SET. IN SUCH AN EVENT, THE CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY.
- SELECTIVELY DEMO WALLS, CEILING, AND FLOOR FINISHES AS SHOWN AND AS REQUIRED FOR NEW LAYOUT AND SYSTEMS.
- GO TO COORDINATE CUTTING OF NEW DOOR OPENINGS WITH REQUIRED DIMS FOR UNITS AS SHOWN ON FLOOR PLANS, ELEVATIONS, AND DOOR SCHEDULE. NOTIFY ARCHITECT OF ANY CONFLICTS.
- THE CONTRACTOR SHALL PERFORM DEMO AS REQUIRED FOR WALL MOUNTED FIXTURES, SHELVING, ACCESSORIES, ETC, WHETHER SPECIFICALLY SHOWN OR NOT.
- WHERE REMOVAL OF EXISTING CONSTRUCTION IS REQUIRED FOR PERFORMANCE OF ANY WORK UNDER THIS CONTRACT, REMOVAL & REINSTALLATION SHALL BE ACCOMPLISHED UNDER THE BASE CONTRACT, WHETHER SPECIFICALLY SHOWN OR NOT, INCLUDING RESTORATION OF UTILITIES AND ANY TEMPORARY SHORING OF STRUCTURAL COMPONENTS.
- PROTECT ALL EXISTING WALLS, DOORS, ETC. TO REMAIN. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL FINISHES, FRAMING, AND UTILITIES DAMAGED OR DISTURBED DURING THE COURSE OF THE WORK, INCLUDING SHOP APPLIED FINISHES.
- SEE ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION DRAWINGS AND SPECIFICATIONS FOR RELEVANT INFO AND COORDINATION FOR SYSTEMS WORK. CUT PENETRATIONS FOR MEP/FP, SECURITY AND DATA SYSTEMS, THROUGH WALL, THROUGH CEILING, THROUGH FLOOR AND THROUGH ROOF AS REQUIRED.
- ALL NEW SPRINKLERS & PIPING SHALL BE INSTALLED PRIOR TO DEMOLISHING THE (E) SYSTEM & MAKING FINAL CONNECTIONS, IN ORDER TO MINIMIZE THE IMPACTS OF SHUTDOWNS, DRAIN DOWN, SYSTEM RE-FILL, AND FIRE WATCHES.
- IT IS THE INTENT OF THE DEMOLITION SCOPE TO REMOVE ALL EXISTING ITEMS THAT WILL CONFLICT WITH NEW WORK WHETHER SHOWN OR NOT. ALL EXISTING NON-STRUCTURAL PARTITIONS, CEILINGS, CASEWORK, MEP/FP ITEMS, FURR-OUTS, FINISH MATERIALS, STAIRS, DOORS, WINDOWS AND INDUSTRIAL EQUIPMENT SHALL BE REMOVED. THE CONTRACTOR SHALL VISIT THE SITE PRIOR OF THE START OF ANY WORK TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- REFER TO STRUCTURAL DOCUMENTS FOR ADDITIONAL INFORMATION REGARDING REMOVAL AND SHORING OF STRUCTURAL ELEMENTS.
- REFER TO CIVIL ENGINEERING AND LANDSCAPE ARCHITECTURE DOCUMENTS FOR ADDITIONAL INFORMATION REGARDING REMOVAL OF SITE RELATED FIXTURES, EQUIPMENT, AND ASSOCIATED ACCESSORIES.
- ROOFING SUBCONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL ROOFING, INCLUDING NON-STRUCTURAL SUBSTRATES, GUTTERS, AND ASSOCIATED FLASHINGS. REMOVED MATERIAL SHALL BE DISPOSED OF BY THE GENERAL CONTRACTOR.
- COORDINATE ALL DEMOLITION WITH HAZARDOUS MATERIAL REMOVAL/ABATEMENT REQUIREMENTS.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL EXCESS SALVAGED ITEMS NOT USED IN THE PROJECT OR REQUESTED TO BE RETURNED TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REVIEW WITH ALL TRADES THE EXTENT OF DEMOLITION REQUIRED.
- THE CONTRACTOR SHALL PROTECT ALL MATERIALS AND EQUIPMENT NOTED TO REMAIN. ALL MATERIAL INDICATED TO BE SALVAGED OR REINSTALLED SHALL BE STORED AND PROTECTED FROM DAMAGE UNTIL READY TO BE PERMANENTLY REINSTALLED.
- ALL MATERIAL INDICATED TO BE REMOVED SHALL BE DISPOSED OF IN ACCORDANCE TO APPLICABLE CODES AND LAWS. THE OWNER RETAINS THE RIGHT TO RECLAIM ANY EXISTING MATERIAL. SUCH MATERIAL SHALL BE PROTECTED FROM DAMAGE AND DELIVERED TO THE OWNER AS PER OWNER 'S REQUIREMENTS AND COMPLIANCE WITH SUSTAINABLE PRACTICES. AT THE END OF DEMOLITION, LEAVE THE AREA FREE AND CLEAR, BROOM CLEAN FOR THE APPLICATION OF NEW WORK.
- THE CONTRACTOR SHALL PROVIDE PROTECTION AROUND AND OVER ALL FLOOR OPENINGS. COORDINATE ALL NEW FLOOR OPENING DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
- WHERE FLOOR FINISH REMOVAL IS INDICATED, REMOVE FLOORING MATERIALS DOWN TO SUBSTRATE.
- CLEAN ANY RESIDUE FROM CONCRETE SURFACE. PREP SUBSTRATE TO RECEIVE FINISH AS INDICATED ON FINISH SCHEDULE AND PER FLOORING MANUFACTURES RECOMMENDATIONS.
- WHERE CEILING REMOVAL IS INDICATED, REMOVE ALL COMPONENTS OF EXISTING CEILING SYSTEMS INCLUDING ALL FASTENERS. ALL MATERIALS AND EQUIPMENT SHALL BE REMOVED TO UNDERSIDE OF STRUCTURE ABOVE. PREP SURFACE OF UNDERSIDE OF STRUCTURE FOR NEW FINISH PER FINISH SCHEDULE.
- SEE MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DRAWINGS FOR SCOPE OF MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DEMOLITION. CUT, CAP, AND MAKE SAFE ALL PIPING, CONDUIT, AND WIRING AS INDICATED ON RELATED DRAWINGS.
- CONTRACTOR TO PROVIDE TEMPORARY PROTECTION FOR INTERIOR SIDE OF ALL EXTERIOR WALLS AND SURFACES WHICH WILL REMAIN AFTER DEMOLITION. LOCATIONS OF (E) SPRINKLER HEADS, LIGHTING, HVAC DIFFUSERS/REGISTERS, ETC, AND A.C.T. GRIDS ARE NOT FIELD DIMENSIONED. G.C. TO VERIFY LOCATIONS WHERE IN PROXIMITY OF WORK.
- SPRINKLER HEADS, LIGHTING, HVAC DIFFUSERS/REGISTERS, ETC, AND A.C.T. GRIDS ARE EXISTING TO REMAIN U.O.N.
- PROVIDE TEMPORARY ENCLOSURE OF ALL EXTERIOR OPENINGS CREATED AS A RESULT OF DEMOLITION UNTIL PERMANENT ENCLOSURES ARE INSTALLED.
- PROVIDE TEMPORARY SHORING AT ALL DEMOLITION OF NEW OPENINGS TO INSTALL NEW LINTEL AS INDICATED.

DESIGN/BUILD NOTES (DELETE IF NOT NEEDED)

- ALL 'MEP/FP' WORK IS TO BE PROVIDED BY THE GENERAL CONTRACTOR ON A DESIGN/BUILD BASIS.

CLIENT

Liam Kuang

46 Mount Vernon St
Somerville MA 02145

DESIGN FIRM

JtA

Joe The Architect, LLC
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

CONSULTANT

<CONSULTANT NAME>

<CONSULTANT ADDRESS>

SEAL

KEY PLAN

PROJECT INFORMATION

Residential Addition and
Renovation

46 Mount Vernon Street
Somerville MA 02145

FOR INFORMATION

11/25/2025 10:11:26 AM

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architecture drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or tested. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2021 - all rights reserved

ISSUE CHART

5	REVISED LAYOUT ISSUED	7/10/25
4	REVISED FOR ZONING/HISTORIC FEEDBACK	4/8/25
3	REVISED FOR HISTORIC + ZONING SUBMISSION	3/27/25

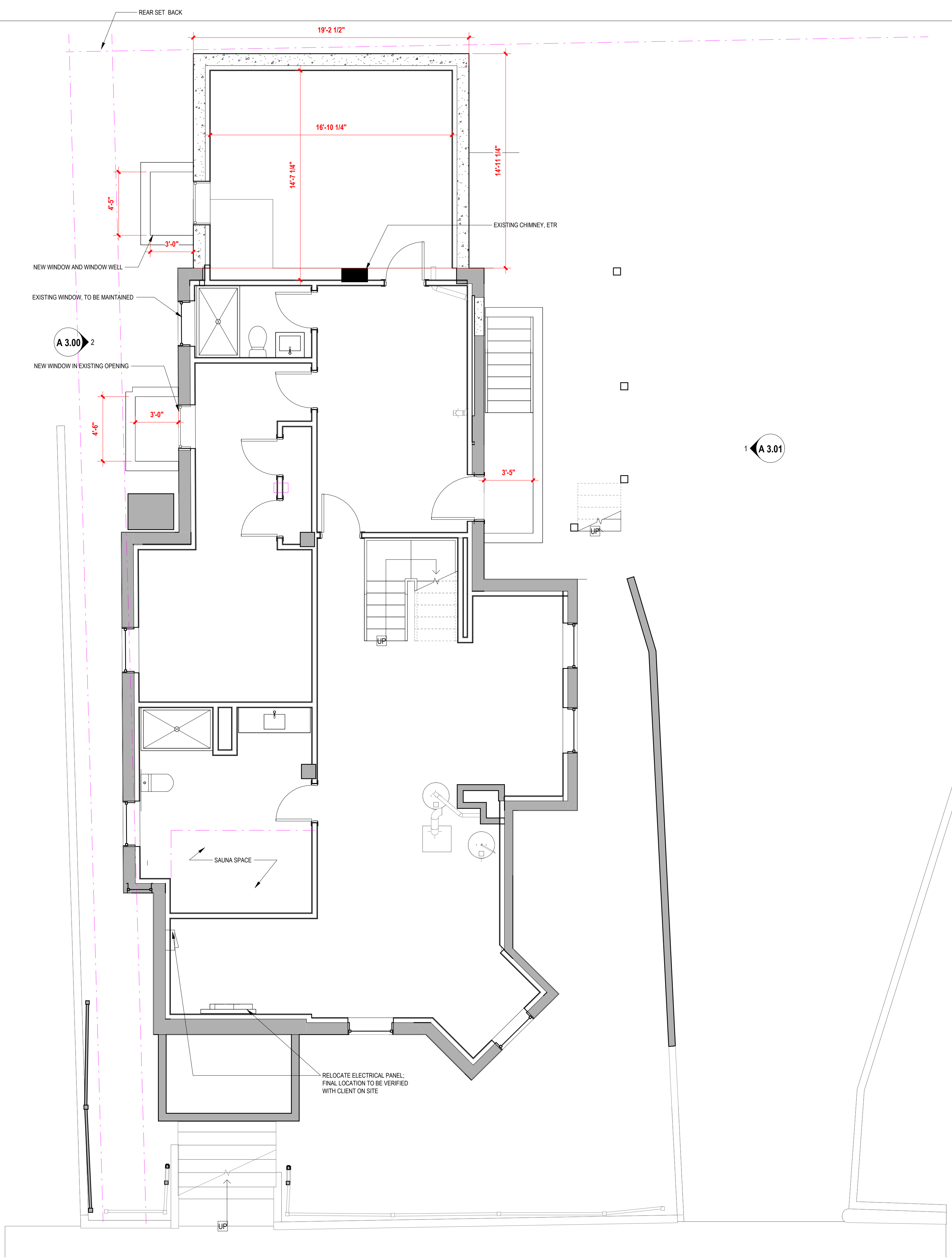
N	ISSUE	DATE
953	PROJECT NUMBER	
Checker	CHECKED	
Approver	APPROVED	
As indicated	SCALE	
	SHEET NAME	

DEMOLITION PLAN

SHEET NUMBER

D 1.01

11/25/2025 10:11:26 AM



CONSTRUCTION LEGEND

SYMBOL	DEFINITION
	EXISTING DOOR TO REMAIN
	EXISTING GWB PARTITION TO REMAIN
	EXISTING GLAZED PARTITION TO REMAIN
	NEW GWB PARTITION
	NEW GLAZED PARTITION
	NEW DOOR AND FRAME
	NEW FIRE EXTINGUISHER
	NIC - NOT IN CONTRACT HATCH

GENERAL NOTES - CONSTRUCTION

1. SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION ON WALL FINISH MATERIALS AND TYPICAL MOUNTING HEIGHTS REQUIRED.

2. SEE GENERAL CONSTRUCTION NOTES ON SHEET 001.

3. SEE REFLECTED CEILING PLANS FOR CEILING FINISH MATERIALS.

4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AFTER DEMOLITION IS COMPLETED.

5. ALL LOCATIONS WHERE INFILL WALLS MEET EXISTING WALLS WITH NEW GWB FINISH SURFACES SHALL ALIGN AT ADJACENT EDGES UNLESS OTHERWISE NOTED.

6. EXISTING WALLS SHOWN WITH ADDITIONAL LINES GRAPHICALLY REPRESENT NEW FINISHES AND SHOULD NOT BE SCALED OR DIMENSIONED FROM. PARTITIONS SHOULD BE BUILT AND FINISHED ACCORDING TO PARTITION AND FINISH SCHEDULE.

7. COORDINATE AREAWAY DRAINS AND FLOOR DRAINS WITH PLUMBING DRAWINGS.

8. PROVIDE BLOCKING FOR GRAB BARS, PLUMBING FIXTURES, MILL WORK AT ALL REQUIRE LOCATIONS.

9. ALL DIMENSIONS INDICATED WITH A ± REPRESENT FIELD MEASUREMENTS TO BE PROVIDED TO ARCHITECT AND VERIFIED BY CONTRACTOR.

10. SEE DOOR SCHEDULE FOR ALL DOOR SIZES, DOOR INFO AND DETAILS.

11. ALL GLASS WITHIN 18" A.F.F. AND/OR WITHIN 4'-0" OF A DOOR SWING SHALL BE TEMPERED SAFETY GLASS.

12. ALL EXISTING WALLS TO BE PATCHED WHERE EXISTING WALLS WERE REMOVED.

13. PROVIDE LEVELING COMPOUND OVER ALL EXISTING CONCRETE FLOOR AREAS TO RECEIVE NEW FLOOR COVERING. NO FLOORING TRANSITIONS ARE TO EXCEED 1/2" IN HEIGHT.

14. PROVIDE IN-WALL BLOCKING AS REQUIRED.

15. PROVIDE IN-WALL BLOCKING FOR ALL FUTURE BUILT-IN CASEWORK WHERE INDICATED.

16. PATCH EXISTING GWB AT ALL LOCATIONS WHERE A PARTITION HAS BEEN REMOVED.

17. AT ALL AREAS OF MEP/FP EQUIPMENT REMOVED FROM WALLS, CONTRACTOR TO PATCH / REPAIR HOLES IN FINISH FROM REMOVED FASTENERS. BLEND PATCHING TO MATCH EXISTING FINISH TO REMAIN.

18. SEAL AIR TIGHT ANY PENETRATIONS MADE THROUGH AIR & VAPOR BARRIERS.

19. PAINT ALL (N) AND (E) GWB & PLASTER FINISHES IN WORK AREA UNLESS NOTED.

20. INTERIOR DIMENSIONS ARE INDICATED TO FINISH WALL (CMU OR GYPSUM BOARD) MATERIALS. U.N.O.

21. MEP/FP ELEMENTS SHOWN ARE SCHEMATIC AND ARE PROVIDED FOR REFERENCE ONLY. REFER TO MEP/FP DRAWINGS & SPECIFICATIONS FOR MORE INFORMATION.

22. EXTERIOR MASONRY DIMENSIONS ARE INDICATED TO CENTERLINE OF JOINTS.

23. WINDOW DIMENSIONS ARE TO CENTER LINE OF OPENING. DIMENSIONS ARE NOMINAL. SEE CURTAIN WALL, DOOR & WINDOW SCHEDULE AND DETAILS FOR ACTUAL OPENING DIMENSION REQUIRED.

24. PROVIDE LEVELING COMPOUND AS REQ. FOR PROPER TILE INSTALLATION TO ACHIEVE SMOOTH LEVEL FLUSH FINISH.

25. ALL MATERIAL INSTALLATION TO BE LEVEL & PLUMB.

26. SEE A130 SERIES FOR ALL FINISHES.

DESIGN/BUILD NOTES (DELETE IF NOT NEEDED)

1. MEP/FP ELEMENTS SHOWN ARE SCHEMATIC AND ARE PROVIDED FOR REFERENCE ONLY. REFER TO MEP/FP DRAWINGS & SPECIFICATIONS FOR MORE INFORMATION.

2. ALL "MEP/FP" WORK IS TO BE PROVIDED BY THE GENERAL CONTRACTOR ON A DESIGN/BUILD BASIS.

CLIENT

Liam Kuang

46 Mount Vernon St
Somerville MA 02145

DESIGN FIRM

JtA

Joe The Architect, LLC
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

CONSULTANT

<CONSULTANT NAME>

<CONSULTANT ADDRESS>

SEAL

KEY PLAN

PROJECT INFORMATION

Residential Addition and
Renovation

46 Mount Vernon Street
Somerville MA 02145

FOR INFORMATION

11/25/2025 10:11:26 AM

WARNING:

Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architecture drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or tested. All work to comply with I.B.C. Regulations and relevant American Standards. © 2021 - all rights reserved

ISSUE CHART

5	REVISED LAYOUT ISSUED	7/10/25
4	REVISED FOR ZONING/HISTORIC FEEDBACK	4/8/25
3	REVISED FOR HISTORIC + ZONING SUBMISSION	3/27/25
2	HISTORIC COMMISSION SET ISSUED	2/21/25
1	SD PRESENTATION	2/21/25

N	ISSUE	DATE
953	PROJECT NUMBER	
	Checker	CHECKED
	Approver	APPROVED
	As indicated	SCALE
		SHEET NAME

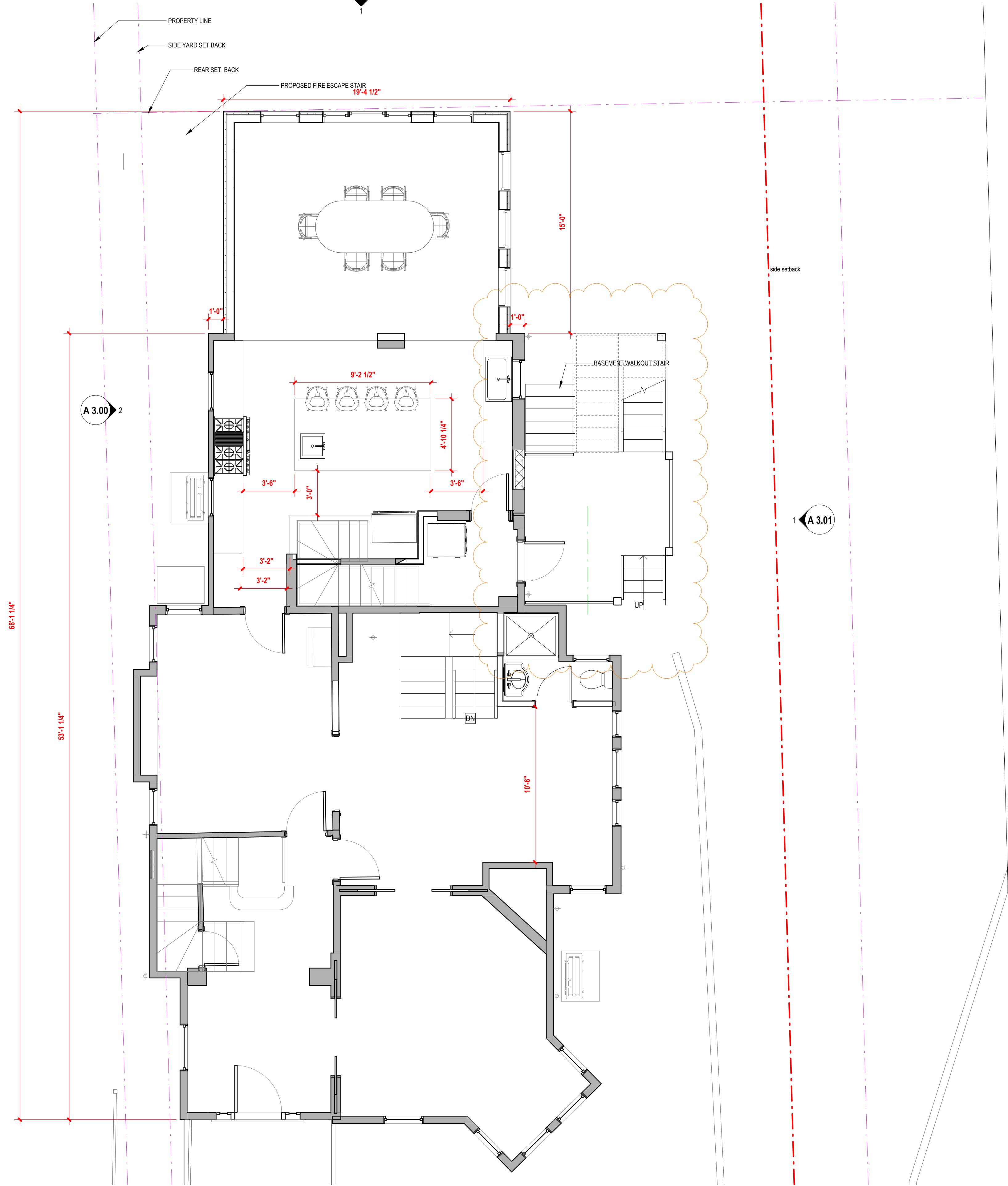
FLOOR PLAN

SHEET NUMBER

A 1.00

11/25/2025 10:11:26 AM

1 Floor 01: Floor Plan
A 1.01 1/4" = 1'-0"



CONSTRUCTION LEGEND

SYMBOL	DEFINITION
	EXISTING DOOR TO REMAIN
	EXISTING GWB PARTITION TO REMAIN
	EXISTING GLAZED PARTITION TO REMAIN
	NEW GWB PARTITION
	NEW GLAZED PARTITION
	NEW DOOR AND FRAME
	NEW FIRE EXTINGUISHER
	NIC - NOT IN CONTRACT HATCH

GENERAL NOTES - CONSTRUCTION

1. SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION ON WALL FINISH MATERIALS AND TYPICAL MOUNTING HEIGHTS REQUIRED.

2. SEE GENERAL CONSTRUCTION NOTES ON SHEET G001.

3. SEE REFLECTED CEILING PLANS FOR CEILING FINISH MATERIALS.

4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AFTER DEMOLITION IS COMPLETED.

5. ALL LOCATIONS WHERE INFILL WALLS MEET EXISTING WALLS WITH NEW GWB FINISH SURFACES SHALL ALIGN AT ADJACENT EDGES UNLESS OTHERWISE NOTED.

6. EXISTING WALLS SHOWN WITH ADDITIONAL LINES GRAPHICALLY REPRESENT NEW FINISHES AND SHOULD NOT BE SCALED OR DIMENSIONED FROM. PARTITIONS SHOULD BE BUILT AND FINISHED ACCORDING TO PARTITION AND FINISH SCHEDULE.

7. COORDINATE AREAWAY DRAINS AND FLOOR DRAINS WITH PLUMBING DRAWINGS.

8. PROVIDE BLOCKING FOR GRAB BARS, PLUMBING FIXTURES, MILL WORK AT ALL REQUIRE LOCATIONS.

9. ALL DIMENSIONS INDICATED WITH A ± REPRESENT FIELD MEASUREMENTS TO BE PROVIDED TO ARCHITECT AND VERIFIED BY CONTRACTOR.

10. SEE DOOR SCHEDULE FOR ALL DOOR SIZES, DOOR INFO AND DETAILS.

11. ALL GLASS WITHIN 16" A.F. AND/OR WITHIN 4'-0" OF A DOOR SWING SHALL BE TEMPERED SAFETY GLASS.

12. ALL EXISTING WALLS TO BE PATCHED WHERE EXISTING WALLS WERE REMOVED.

13. PROVIDE LEVELING COMPOUND OVER ALL EXISTING CONCRETE FLOOR AREAS TO RECEIVE NEW FLOOR COVERING. NO FLOORING TRANSITIONS ARE TO EXCEED 1/2" IN HEIGHT.

14. PROVIDE IN-WALL BLOCKING AS REQUIRED.

15. PROVIDE IN-WALL BLOCKING FOR ALL FUTURE BUILT-IN CASEWORK WHERE INDICATED.

16. PATCH EXISTING GWB AT ALL LOCATIONS WHERE A PARTITION HAS BEEN REMOVED.

17. AT ALL AREAS OF MEP/FP EQUIPMENT REMOVED FROM WALLS, CONTRACTOR TO PATCH / REPAIR HOLES IN FINISH FROM REMOVED FASTENERS. BLEND PATCHING TO MATCH EXISTING FINISH TO REMAIN.

18. SEAL AIR TIGHT ANY PENETRATIONS MADE THROUGH AIR & VAPOR BARRIERS.

19. PAINT ALL (N) AND (E) GWB & PLASTER FINISHES IN WORK AREA UNLESS NOTED.

20. INTERIOR DIMENSIONS ARE INDICATED TO FINISH WALL (CMU OR GYPSUM BOARD) MATERIALS. U.N.O.

21. MEP/FP ELEMENTS SHOWN ARE SCHEMATIC AND ARE PROVIDED FOR REFERENCE ONLY. REFER TO MEP/FP DRAWINGS & SPECIFICATIONS FOR MORE INFORMATION.

22. EXTERIOR MASONRY DIMENSIONS ARE INDICATED TO CENTERLINE OF JOINTS.

23. WINDOW DIMENSIONS ARE TO CENTER LINE OF OPENING. DIMENSIONS ARE NOMINAL. SEE CURTAIN WALL, DOOR & WINDOW SCHEDULE AND DETAILS FOR ACTUAL OPENING DIMENSION REQUIRED.

24. PROVIDE LEVELING COMPOUND AS REQ. FOR PROPER TILE INSTALLATION TO ACHIEVE SMOOTH LEVEL FLUSH FINISH.

25. ALL MATERIAL INSTALLATION TO BE LEVEL & PLUMB.

26. SEE A130 SERIES FOR ALL FINISHES.

DESIGN/BUILD NOTES (DELETE IF NOT NEEDED)

1. MEP/FP ELEMENTS SHOWN ARE SCHEMATIC AND ARE PROVIDED FOR REFERENCE ONLY. REFER TO MEP/FP DRAWINGS & SPECIFICATIONS FOR MORE INFORMATION.

2. ALL "MEP/FP" WORK IS TO BE PROVIDED BY THE GENERAL CONTRACTOR ON A DESIGN/BUILD BASIS.

CLIENT

Liam Kuang

46 Mount Vernon St
Somerville MA 02145

DESIGN FIRM

JtA

Joe The Architect, LLC
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

CONSULTANT

<CONSULTANT NAME>

<CONSULTANT ADDRESS>

SEAL

KEY PLAN

PROJECT INFORMATION

Residential Addition and
Renovation

46 Mount Vernon Street
Somerville MA 02145

FOR INFORMATION

11/25/2025 10:11:27 AM

WARNING:

Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architecture drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or tested. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2021 - all rights reserved

ISSUE CHART

6	REVISED FOR HISTORIC	11/25/25
5	REVISED LAYOUT ISSUED	7/10/25
4	REVISED FOR ZONING/HISTORIC FEEDBACK	4/8/25
3	REVISED FOR HISTORIC + ZONING SUBMISSION	3/27/25
1	SD PRESENTATION	2/21/25

N	ISSUE	DATE
953	PROJECT NUMBER	
Checker	CHECKED	
Approver	APPROVED	
As indicated	SCALE	
SHEET NAME		

FLOOR PLAN

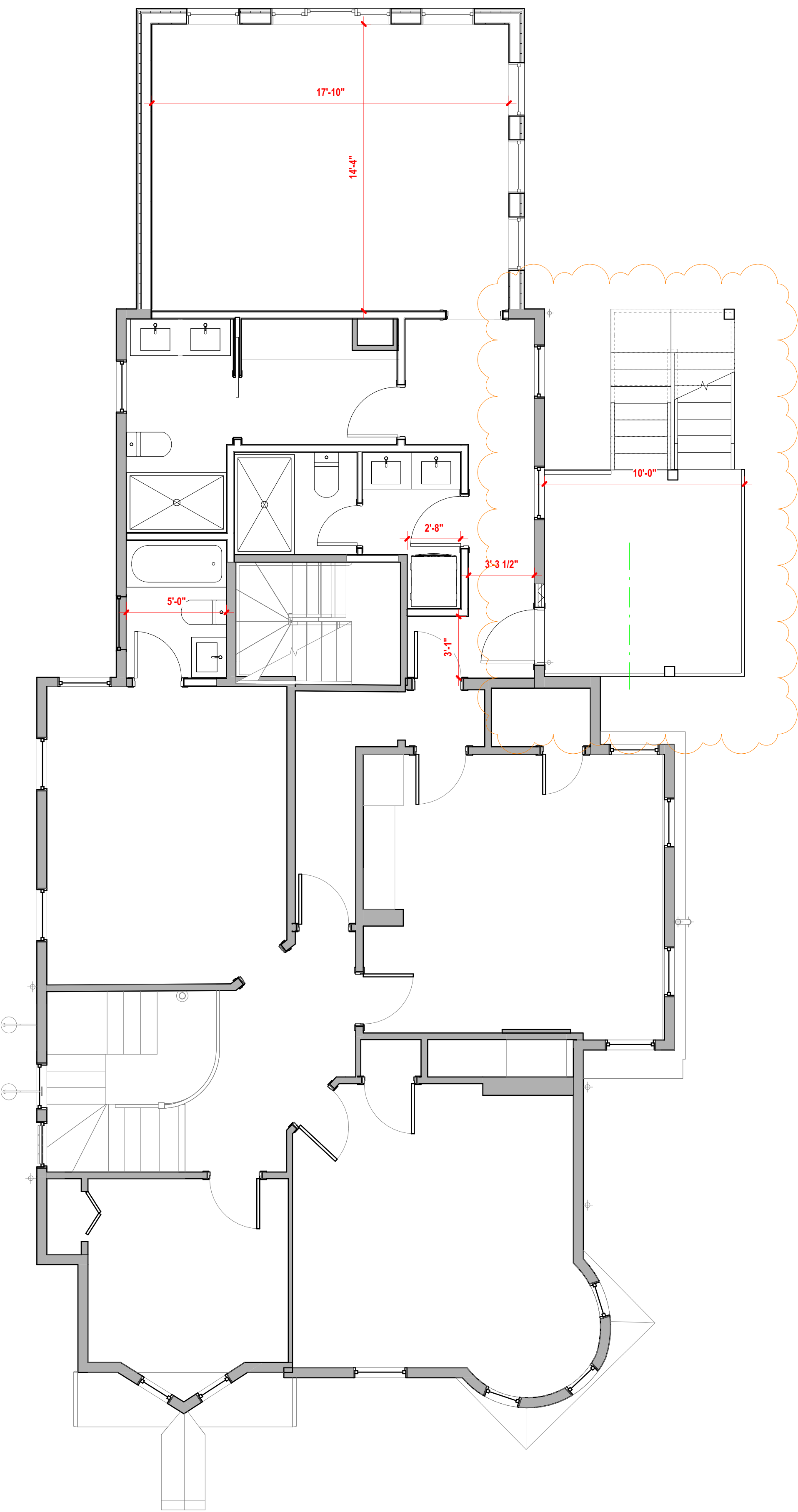
SHEET NUMBER

A 1.01

11/25/2025 10:11:27 AM

1 Floor 02_Floor Plan
A 1.02 1/4" = 1'-0"

A 3.00 2



A 3.02 1

1 A 3.01

CONSTRUCTION LEGEND	
SYMBOL	DEFINITION
	EXISTING DOOR TO REMAIN
	EXISTING GWB PARTITION TO REMAIN
	EXISTING GLAZED PARTITION TO REMAIN
	NEW GWB PARTITION
	NEW GLAZED PARTITION
	NEW DOOR AND FRAME
	NEW FIRE EXTINGUISHER
	NIC - NOT IN CONTRACT HATCH

GENERAL NOTES - CONSTRUCTION	
<div>1. SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION ON WALL FINISH MATERIALS AND TYPICAL MOUNTING HEIGHTS REQUIRED.</div> <div>2. SEE GENERAL CONSTRUCTION NOTES ON SHEET 001.</div> <div>3. SEE REFLECTED CEILING PLANS FOR CEILING FINISH MATERIALS.</div> <div>4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AFTER DEMOLITION IS COMPLETED.</div> <div>5. ALL LOCATIONS WHERE INFILL WALLS MEET EXISTING WALLS WITH NEW GWB FINISH SURFACES SHALL ALIGN AT ADJACENT EDGES UNLESS OTHERWISE NOTED.</div> <div>6. EXISTING WALLS SHOWN WITH ADDITIONAL LINES GRAPHICALLY REPRESENT NEW FINISHES AND SHOULD NOT BE SCALED OR DIMENSIONED FROM. PARTITIONS SHOULD BE BUILT AND FINISHED ACCORDING TO PARTITION AND FINISH SCHEDULE.</div> <div>7. COORDINATE AREAWAY DRAINS AND FLOOR DRAINS WITH PLUMBING DRAWINGS.</div> <div>8. PROVIDE BLOCKING FOR GRAB BARS, PLUMBING FIXTURES, MILL WORK AT ALL REQUIRE LOCATIONS.</div> <div>9. ALL DIMENSIONS INDICATED WITH A ± REPRESENT FIELD MEASUREMENTS TO BE PROVIDED TO ARCHITECT AND VERIFIED BY CONTRACTOR.</div> <div>10. SEE DOOR SCHEDULE FOR ALL DOOR SIZES, DOOR INFO AND DETAILS.</div> <div>11. ALL GLASS WITHIN 18" A.F.F. AND/OR WITHIN 4'-0" OF A DOOR SWING SHALL BE TEMPERED SAFETY GLASS.</div> <div>12. ALL EXISTING WALLS TO BE PATCHED WHERE EXISTING WALLS WERE REMOVED.</div> <div>13. PROVIDE LEVELING COMPOUND OVER ALL EXISTING CONCRETE FLOOR AREAS TO RECEIVE NEW FLOOR COVERING. NO FLOORING TRANSITIONS ARE TO EXCEED 1/2" IN HEIGHT.</div> <div>14. PROVIDE IN-WALL BLOCKING AS REQUIRED.</div> <div>15. PROVIDE IN-WALL BLOCKING FOR ALL FUTURE BUILT-IN CASEWORK WHERE INDICATED.</div> <div>16. PATCH EXISTING GWB AT ALL LOCATIONS WHERE A PARTITION HAS BEEN REMOVED.</div> <div>17. AT ALL AREAS OF MEP/FP EQUIPMENT REMOVED FROM WALLS, CONTRACTOR TO PATCH / REPAIR HOLES IN FINISH FROM REMOVED FASTENERS. BLEND PATCHING TO MATCH EXISTING FINISH TO REMAIN.</div> <div>18. SEAL AIR TIGHT ANY PENETRATIONS MADE THROUGH AIR & VAPOR BARRIERS.</div> <div>19. PAINT ALL (N) AND (E) GWB & PLASTER FINISHES IN WORK AREA UNLESS NOTED</div> <div>20. INTERIOR DIMENSIONS ARE INDICATED TO FINISH WALL (CMU OR GYPSUM BOARD) MATERIALS. U.N.O.</div> <div>21. MEP/FP ELEMENTS SHOWN ARE SCHEMATIC AND ARE PROVIDED FOR REFERENCE ONLY. REFER TO MEP/FP DRAWINGS & SPECIFICATIONS FOR MORE INFORMATION.</div> <div>22. EXTERIOR MASONRY DIMENSIONS ARE INDICATED TO CENTERLINE OF JOINTS.</div> <div>23. WINDOW DIMENSIONS ARE TO CENTER LINE OF OPENING. DIMENSIONS ARE NOMINAL. SEE CURTAIN WALL, DOOR & WINDOW SCHEDULE AND DETAILS FOR ACTUAL OPENING DIMENSION REQUIRED.</div> <div>24. PROVIDE LEVELING COMPOUND AS REQ. FOR PROPER TILE INSTALLATION TO ACHIEVE SMOOTH LEVEL FLUSH FINISH.</div> <div>25. ALL MATERIAL INSTALLATION TO BE LEVEL & PLUMB.</div> <div>26. SEE A130 SERIES FOR ALL FINISHES.</div>	
DESIGN/BUILD NOTES (DELETE IF NOT NEEDED)	
<div>1. MEP/FP ELEMENTS SHOWN ARE SCHEMATIC AND ARE PROVIDED FOR REFERENCE ONLY. REFER TO MEP/FP DRAWINGS & SPECIFICATIONS FOR MORE INFORMATION.</div> <div>2. ALL "MEP/FP" WORK IS TO BE PROVIDED BY THE GENERAL CONTRACTOR ON A DESIGN/BUILD BASIS.</div>	

Liam Kuang

46 Mount Vernon St
Somerville MA 02145

DESIGN FIRM

JtA

Joe The Architect, LLC
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

CONSULTANT

<CONSULTANT NAME>

<CONSULTANT ADDRESS>

SEAL

KEY PLAN

PROJECT INFORMATION

Residential Addition and
Renovation

46 Mount Vernon Street
Somerville MA 02145

FOR INFORMATION

11/25/2025 10:11:27 AM

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architecture drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or tested. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2021 - all rights reserved

ISSUE CHART

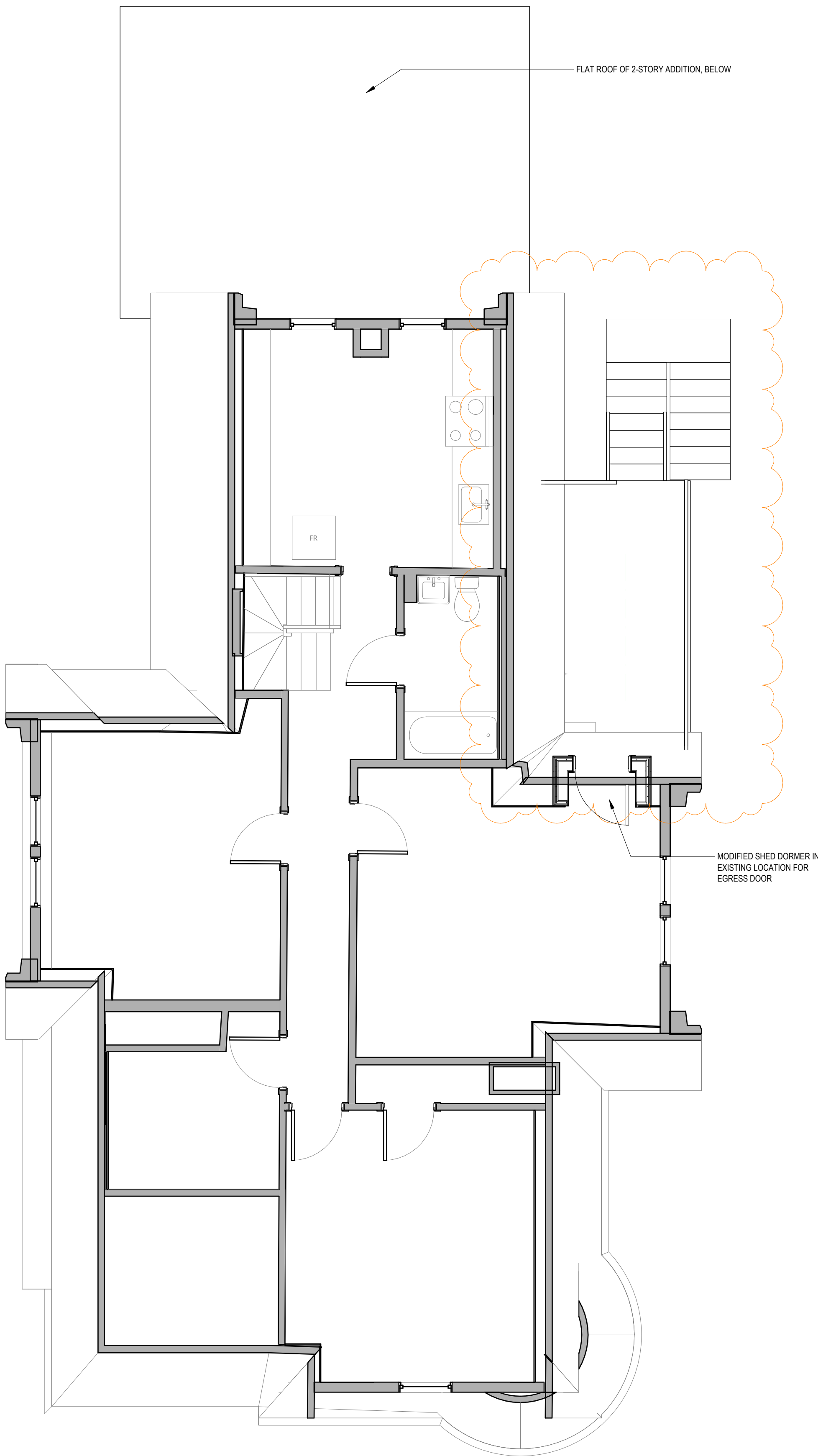
6	REVISED FOR HISTORIC	11/25/25
5	REVISED LAYOUT ISSUED	7/10/25
4	REVISED FOR ZONING/HISTORIC FEEDBACK	4/8/25
3	REVISED FOR HISTORIC • ZONING SUBMISSION	3/27/25
2	HISTORIC COMMISSION SET ISSUED	2/21/25
1	SD PRESENTATION	2/21/25

N	ISSUE	DATE
	PROJECT NUMBER	
	953	
	Checker	CHECKED
	Approver	APPROVED
	As indicated	SCALE
	SHEET NAME	

FLOOR PLAN

SHEET NUMBER

A 1.02



6	REVISED FOR HISTORIC	11/25/25
5	REVISED LAYOUT ISSUED	7/10/25
4	REVISED FOR ZONING/HISTORIC FEEDBACK	4/8/25
3	REVISED FOR HISTORIC + ZONING SUBMISSION	3/27/25
2	HISTORIC COMMISSION SET ISSUED	2/21/25
1	SD PRESENTATION	2/21/25

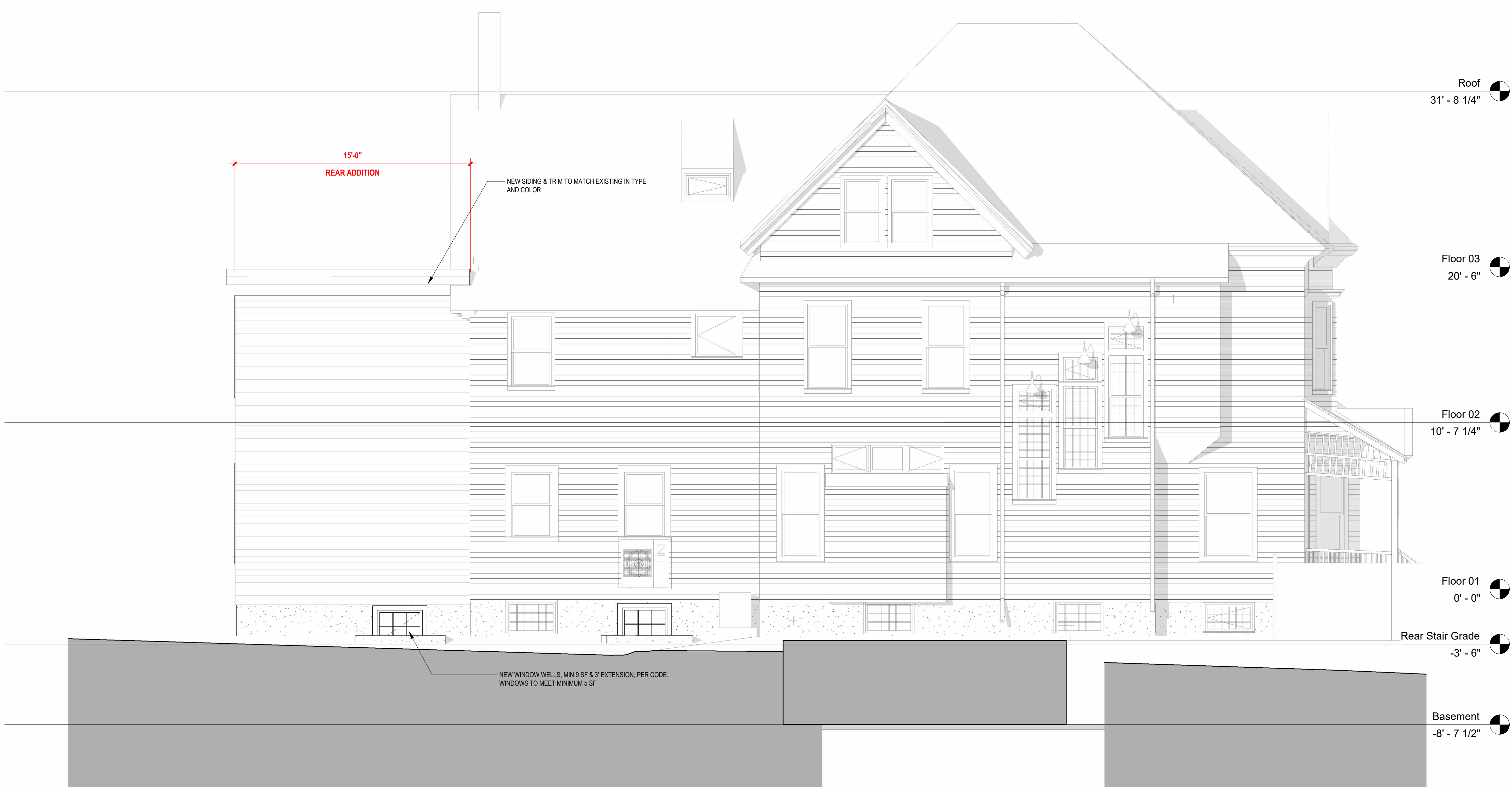
N	ISSUE	DATE
953	PROJECT NUMBER	
	Checker	CHECKED
	Approver	APPROVED
	1/4" = 1'-0"	SCALE
	SHEET NAME	

<SET PHASE>

11/25/2025 10:11:34 AM

\\NAS068653\public\work\1_Active Projects\953 46 Mt. Vernon Street Somerville\A Working Files\3 Central\953 46 Mt. Vernon Street_CENTRAL.rvt

2 NORTH (SIDE) ELEVATION, PROPOSED
A 3.00 1/4" = 1'-0"



CLIENT

Liam Kuang

46 Mount Vernon St
Somerville MA 02145

DESIGN FIRM

JtA

Joe The Architect, LLC
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

CONSULTANT

<CONSULTANT NAME>

<CONSULTANT ADDRESS>

SEAL

PROJECT INFORMATION

Residential Addition and
Renovation

46 Mount Vernon Street
Somerville MA 02145

FOR INFORMATION

11/25/2025 10:11:34 AM

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architecture drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or tested. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2021 - all rights reserved

ISSUE CHART

5	REVISED LAYOUT ISSUED	7/10/25
4	REVISED FOR ZONING/HISTORIC FEEDBACK	4/8/25
3	REVISED FOR HISTORIC + ZONING SUBMISSION	3/27/25
2	HISTORIC COMMISSION SET ISSUED	2/21/25

N	ISSUE	DATE
	PROJECT NUMBER	
	953	
	Checker	CHECKED
	Approver	APPROVED
	1/4" = 1'-0"	SCALE
	SHEET NAME	

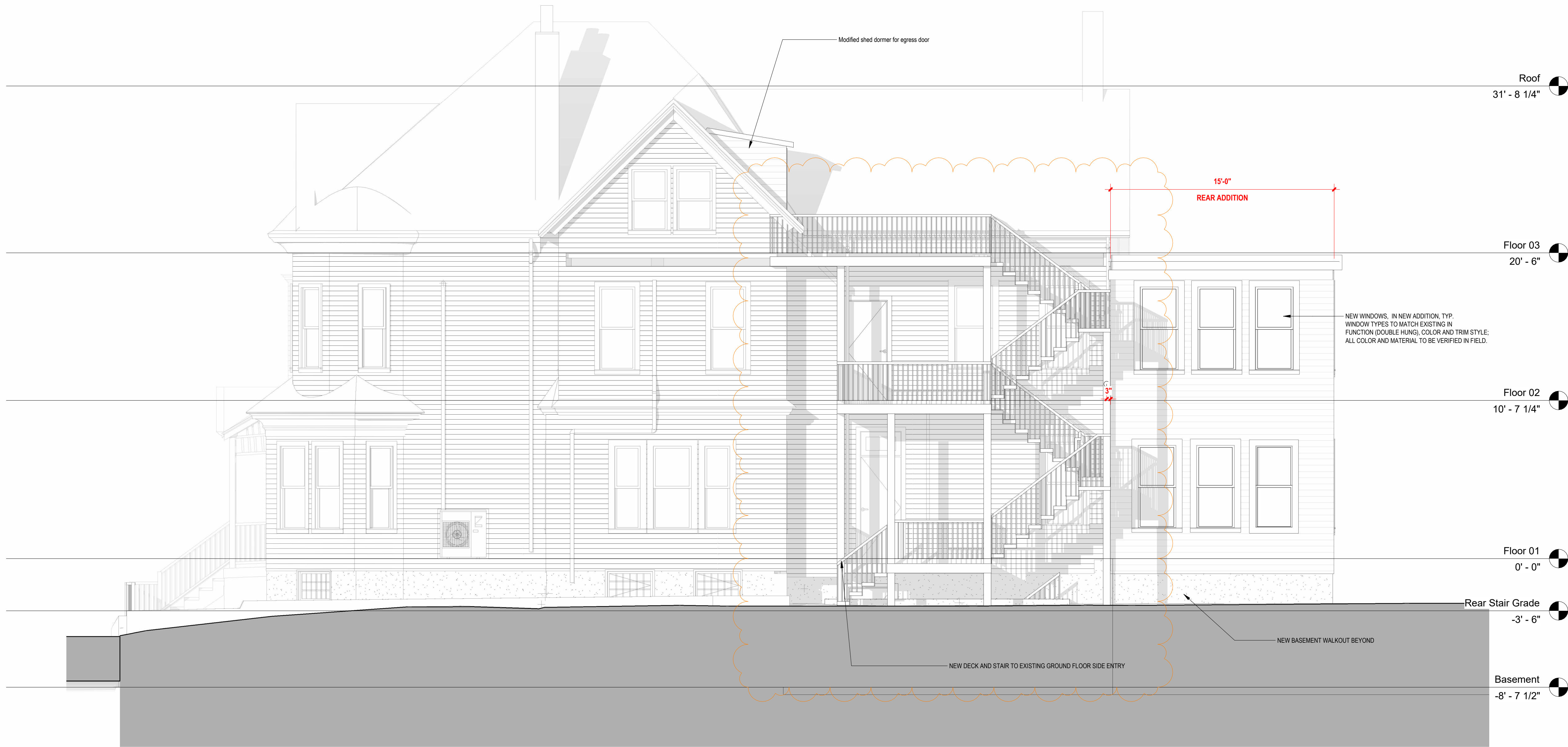
EXTERIOR
ELEVATIONS

SHEET NUMBER

A 3.00

11/25/2025 10:11:34 AM

1 SOUTH (SIDE) ELEVATION, PROPOSED
A 3.01 1/4" = 1'-0"



CLIENT

Liam Kuang

46 Mount Vernon St
Somerville MA 02145

DESIGN FIRM

JtA

Joe The Architect, LLC
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

CONSULTANT

<CONSULTANT NAME>

<CONSULTANT ADDRESS>

SEAL

PROJECT INFORMATION

**Residential Addition and
Renovation**

46 Mount Vernon Street
Somerville MA 02145

FOR INFORMATION

11/25/2025 10:11:41 AM

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architecture drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or tested. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2021 - all rights reserved

ISSUE CHART

6	REVISED FOR HISTORIC	11/25/25
5	REVISED LAYOUT ISSUED	7/10/25
4	REVISED FOR ZONING/HISTORIC FEEDBACK	4/8/25
3	REVISED FOR HISTORIC + ZONING SUBMISSION	3/27/25
2	HISTORIC COMMISSION SET ISSUED	2/21/25

N	ISSUE	DATE
953	PROJECT NUMBER	
	Checker	CHECKED
	Approver	APPROVED
	1/4" = 1'-0"	SCALE
	SHEET NAME	

**EXTERIOR
ELEVATIONS**

SHEET NUMBER

A 3.01



1 REAR ELEVATION_PROPOSED
A 3.02 1/4" = 1'-0"

CLIENT

Liam Kuang

46 Mount Vernon St
Somerville MA 02145

DESIGN FIRM

JtA

Joe The Architect, LLC
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

CONSULTANT

<CONSULTANT NAME>

<CONSULTANT ADDRESS>

SEAL

PROJECT INFORMATION

Residential Addition and
Renovation

46 Mount Vernon Street
Somerville MA 02145

FOR INFORMATION

11/25/2025 10:11:47 AM

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architecture drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or tested. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2021 - all rights reserved

ISSUE CHART

5	REVISED LAYOUT ISSUED	7/10/25
4	REVISED FOR ZONING/HISTORIC FEEDBACK	4/8/25
3	REVISED FOR HISTORIC + ZONING SUBMISSION	3/27/25
2	HISTORIC COMMISSION SET ISSUED	2/21/25

N	ISSUE	DATE
	PROJECT NUMBER	
	953	
	Checker	CHECKED
	Approver	APPROVED
	1/4" = 1'-0"	SCALE
	SHEET NAME	

EXTERIOR
ELEVATIONS

SHEET NUMBER

A 3.02