

# Residential Addition and Renovation



46 Mount Vernon Street  
Somerville MA 02145

## HISTORIC COMMISSION REVIEW SET

PROJECT NUMBER: 953

DATE: 04/08/25  
REVISED: 7/10/25

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Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. All work to comply with I.B.C. Statutory Authorities and relevant American Standards.  
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### PROJECT DESCRIPTION

Residential Addition and Interior Renovation to existing property on 46 Mt Vernon Street, that is designated LHD ('George Pool House', Queen Anne). Exterior work includes: demolition of existing rear single story addition; new 2-story plus roof deck addition to be within similar footprint. Other exterior work includes basement walkout at driveway side and new window wells on opposite side and a spiral stair at rear for roof deck and third floor egress. Exterior work DOES NOT include any front facade work. All new siding to match existing in type and color; all trimwork to match existing in type and color; all new windows to match existing in function and style (double hung).

### SHEET LIST:

- 0 0.00 - COVER SHEET
- A 0.10 - SITE PLAN
- A 0.11 - LOT COVERAGE & EGRESS PLANS
- D 1.00 - DEMOLITION FLOOR PLAN
- D 1.01 - DEMOLITION FLOOR PLAN
- A 1.00 - FLOOR PLAN
- A 1.01 - FLOOR PLAN
- A 1.02 - FLOOR PLAN
- A 1.03 - FLOOR PLAN
- A 3.00 - EXTERIOR ELEVATION
- A 3.01 - EXTERIOR ELEVATION
- A 3.02 - EXTERIOR ELEVATION

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CITY, STATE & ZIP CODE  
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(XXX) XXX.XXXX-F  
CONTACT: NAME  
EMAIL: NAME@COMPANY.COM

**GENERAL CONTRACTOR**  
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COMPANY ADDRESS  
CITY, STATE & ZIP CODE  
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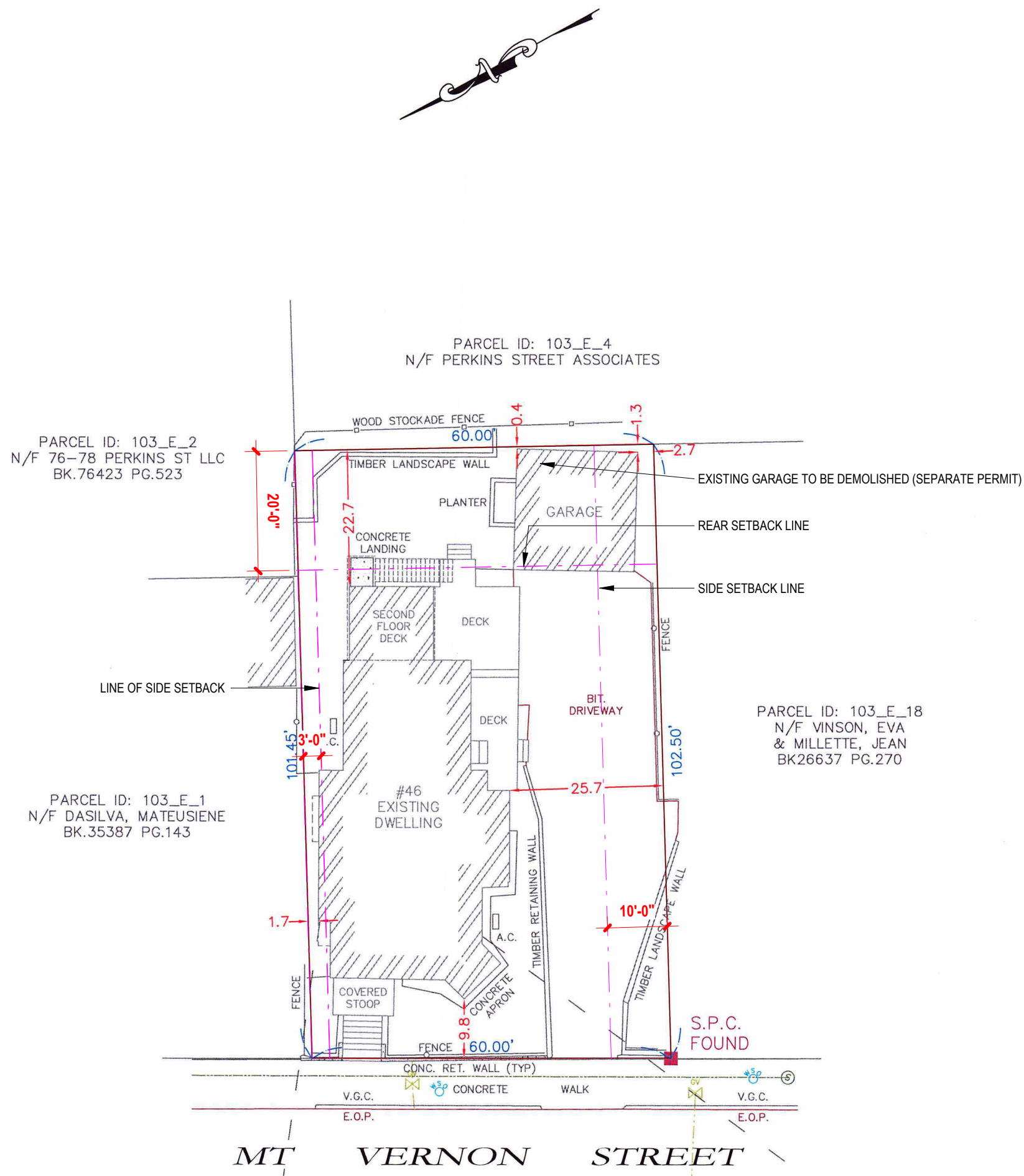




NOTES

- ALL DIMENSIONS TO STRUCTURES ARE TO SIDING UNLESS OTHERWISE NOTED.
- PROPERTY OWNER TO VERIFY ZONING REGULATIONS WITH THE CITY OF SOMERVILLE.
- THIS PLAN IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES, RECORD PLANS, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.

LEGEND

- PROPERTY LINE
- ABUTTERS
- EDGE OF PAVEMENT
- GRANITE CURB
- SEWER
- GAS
- O.H.W.
- SEWER MAN HOLE
- WATER SHUT OFF
- GAS VALVE
- STONE POST CENTER



	DEED REFERENCE: BK: 75962 PG: 576 PLAN REFERENCE: PLAN # 1327 OF 1980 PLAN REFERENCE: PB: 42 PL: 42		<b>D. O'BRIEN</b> LAND SURVEYING 480 WEST CENTRAL ST. #3 1996 FRANKLIN, MA 02038 508-541-0048	<b>CERTIFIED PLOT PLAN</b> 46 MT VERNON STREET SOMERVILLE MA MIDDLESEX COUNTY	SCALE: 1:20' DATE: 3/28/2024 REVISED: --- DRAWN BY: J.A.A. CHECKED BY: D.O.
Dennis O'Brien P.L.S.					

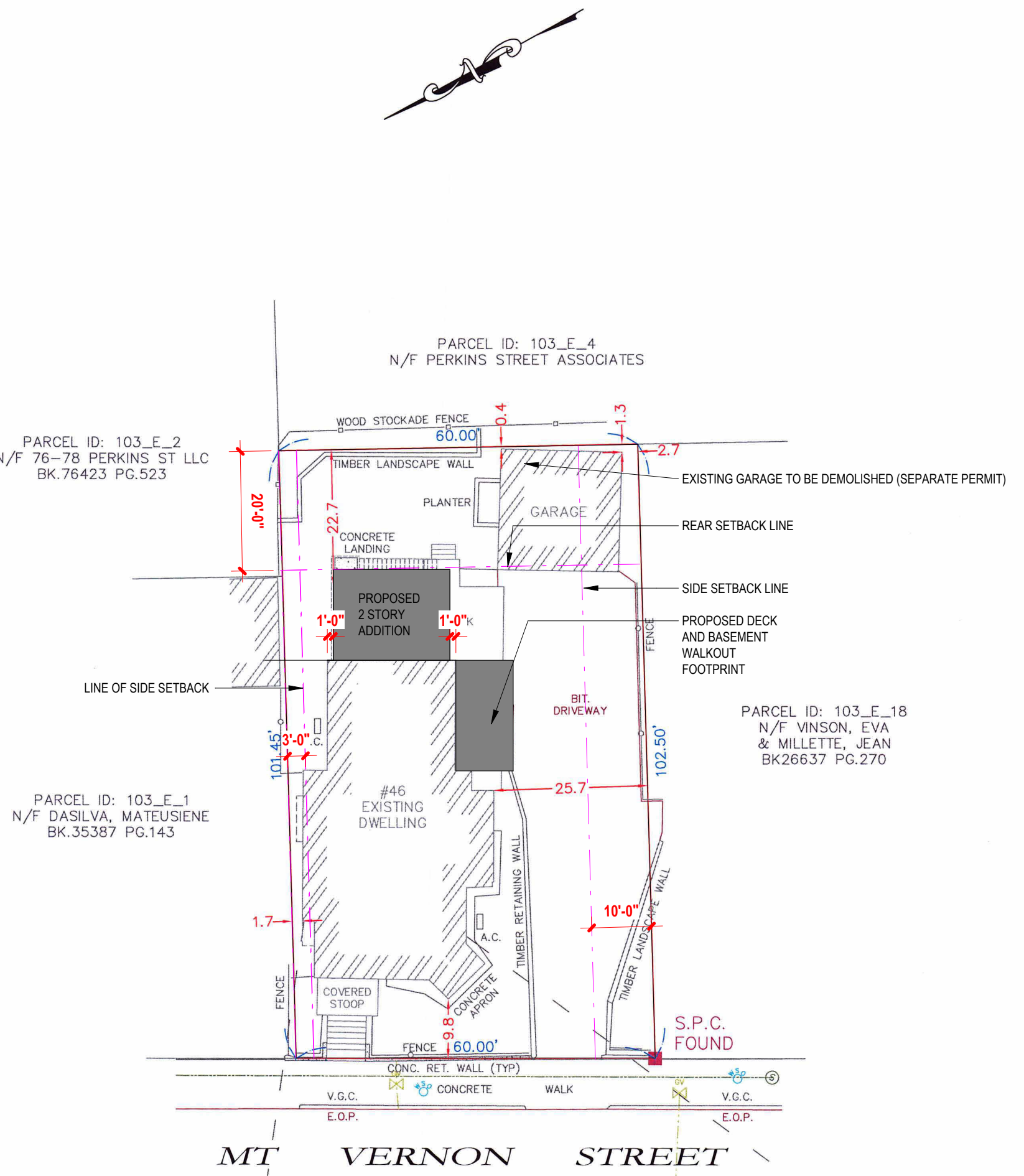
2  
A 0.10  
Existing Site Plan  
1" = 20'-0"



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1  
A 0.10  
Proposed Site Plan  
1" = 20'-0"

zoning district NR  
maplot 46 Mt Vernon St, Somerville

ZONING DATA	NR	46 Mount Vernon Street
USE	detached, semi-detached, cottage, duplex, triple decker	detached house; two-family
LOT AREA (min.)	n/a	6098.4 sf (0.14 acre)
LOT WIDTH (min.)	32 ft / 34 ft	60 ft
T COVERAGE (x.)	60%	EXIST: 68% PROPOSED: 58% (see site plan diagrams for sf take-offs)
EEN SCORE (n.)	0.35	
ONT YARD SET CK (min/max)	10 ft / 20ft	9.8', ETR
IE YARD SET CK (min)	no driveway access: 5ft front driveway access: 3ft sum of side setbacks: 10ft/12ft	left: 1.7 ft, ETR right: 25'-7"
AR YARD TBACK	20 ft	PROPOSED: 20 ft
ILDING HEIGHT (x.)	2.5 stories max	2.5, EXIST TO REMAIN

GENERAL PROJECT NOTES

- Visit premises to become familiar with existing conditions. verify the scope of work and evaluate potential problems attendant to its execution.
- The submission of pricing shall evidence that the contractor has fully evaluated potential problems and later additional cost claims for labor, equipment, material or hardship will not be considered.
- The documents, drawings, and construction manuals are complimentary in nature. what is called for by one is binding by all. inform jacobs interior architects of any discrepancies should they occur.
- Elevations, details, and sections for typical conditions are generally referred to (on the plan, elevation or detail where they first occur), and are typical for like conditions throughout, unless otherwise indicated.
- "Typical" means typical for all similar conditions, unless otherwise noted.
- "Similar" means referenced item is similar in nature to actual detail, section or elevation (i.e. opposite-hand, reverse direction, etc).
- Restrict construction work, staff, material, and debris to the contract premises and as authorized by base building representative.
- Plan and provide for temporary partitions and all other required safe guards for the protection of existing base building employees and building users from construction hazards during all phases of construction. seal area of construction with plastics to minimize the spread of dust, materials, debris, and rubble from demolition to be promptly removed from premises. temporary partitions and doors shall be installed as required to maintain a secure workplace.
- Provide for temporary fire extinguishers during all phases.
- Maintain accessibility to required means of egress by tenant employees and building visitors during all phases.
- Coordinate trades to insure timely completion of work and to minimize disruption of the on-going business activities of existing tenants.
- Obtain all required permits.
- During the entire contract period, maintain in operating condition all existing exits, exit lighting, fire protective devices and alarms as per code. coordinate with base building representative.
- All work performed shall be done in accordance with all applicable codes and regulations. nothing in the drawings or related documents is to be construed as requiring or permitting work that is contrary to code requirements.
- Manufacturer's suggested methods of installation shall take precedence over methods recommended on the construction documents.
- Coordinate the arrival and storage of materials.
- Coordinate power and emergency power with base building representative.
- Base building elements (access components, egress components, parking accommodations, toilet cores, etc.) to comply with all applicable codes and ada accessible guidelines. base building "core and shell" improvements as required are not to be included in "tenant" improvement contract.
- Information shown on these drawings is based on information provided to or obtained by jacobs indicating existing conditions. actual field conditions may vary from those indicated on the drawings. should actual conditions differ substantially from those indicated on the drawings or from those ordinarily encountered in renovation work of this type, promptly notify jacobs interior architect before any of these conditions are disturbed. failure to do so may waive the contractor's right to additional time or other consideration due to such conditions.
- Confirmation of long-lead items shall be submitted to jacobs interior architect and owner's representative for approval with bid submission.
- Contractor to comply with base building construction rules, restrictions, regulations and hours of operation. to include restrictions and allowances concerning off-hours activities such as floor coring, material deliveries and shot anchor installations. coordinate with base building representative for additional information.
- Upon completion of the work, contractor shall notify jacobs interior architect to prepare a "punchlist" of corrections and unsatisfactory and/or incomplete work. jacobs interior architect shall prepare one punchlist and shall perform one subsequent review of completed work. should more than one punchlist or more than one subsequent review be necessary because of untimely or incomplete work by the contractor, the additional time by jacobs interior architect shall be at the contractor's sole expense.
- Occupant move-in date shall be approved by tenant representative. contractor to complete a final clean prior to move-in. to include removal of temporary protections, wiping down, cleaning glass, washing, waxing, vacuuming, and any other service which would be performed under tenant and base building standard cleaning and maintenance programs.
- Contractor to warranty work performed for all phases for minimum of one year from the date of final acceptance.
- Maintain continuous service to all utilities and feeds serving adjacent occupied spaces. services to be uninterrupted to allow for typical business operations.
- Utilize rebar detector / x-ray technology to locate existing post-tension tendons and rebars within concrete slabs and construction. install anchors at minimum 2 inches away from existing metal elements. coordinate with on-site conditions.
- Full project scope is shown at plans, elevations and details. work is to be completed in multiple phases. see schematic phasing diagram at sheet a-004. coordinate final demarcation between phases with tenant representative and on-site conditions.
- Where existing fire proofing is to remain at structural elements or shaft locations, selectively patch and repair any damaged fire proofing materials with new to match to yield continuous "like new" protection.
- In addition to exit sign locations shown on plan, provide for a quantity of 10%, but not less than four (4), additional illuminated exit signs to be installed at architect's direction on site.
- Provide engineering design/build services for associated engineering scope (mechanical, electrical, sprinkler, plumbing, etc.). coordinate with on-site conditions.



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FOR INFORMATION

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5	REVISED LAYOUT ISSUED	7/10/25
4	REVISED FOR ZONING/HISTORIC FEEDBACK	4/8/25
2	HISTORIC COMMISSION SET ISSUED	2/21/25
1	SD PRESENTATION	2/21/25

N	ISSUE	DATE
953	PROJECT NUMBER	
	Checker	CHECKED
	Approver	APPROVED
	As indicated	SCALE
	SHEET NAME	

SITE PLAN





2 REAR ELEVATION\_EXISTING  
EX 3.00 1/8" = 1'-0"



1 SOUTH (SIDE) ELEVATION\_EXISTING  
EX 3.00 1/8" = 1'-0"



3 NORTH (SIDE) ELEVATION\_EXISTING  
EX 3.00 1/8" = 1'-0"

CLIENT

Liam Kuang

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CONSULTANT

<CONSULTANT NAME>

<CONSULTANT ADDRESS>

SEAL

KEY PLAN

PROJECT INFORMATION

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FOR INFORMATION

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ISSUE CHART

3 REVISED FOR HISTORIC + ZONING SUBMISSION 3/27/25

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	Approver	APPROVED
	1/8" = 1'-0"	SCALE

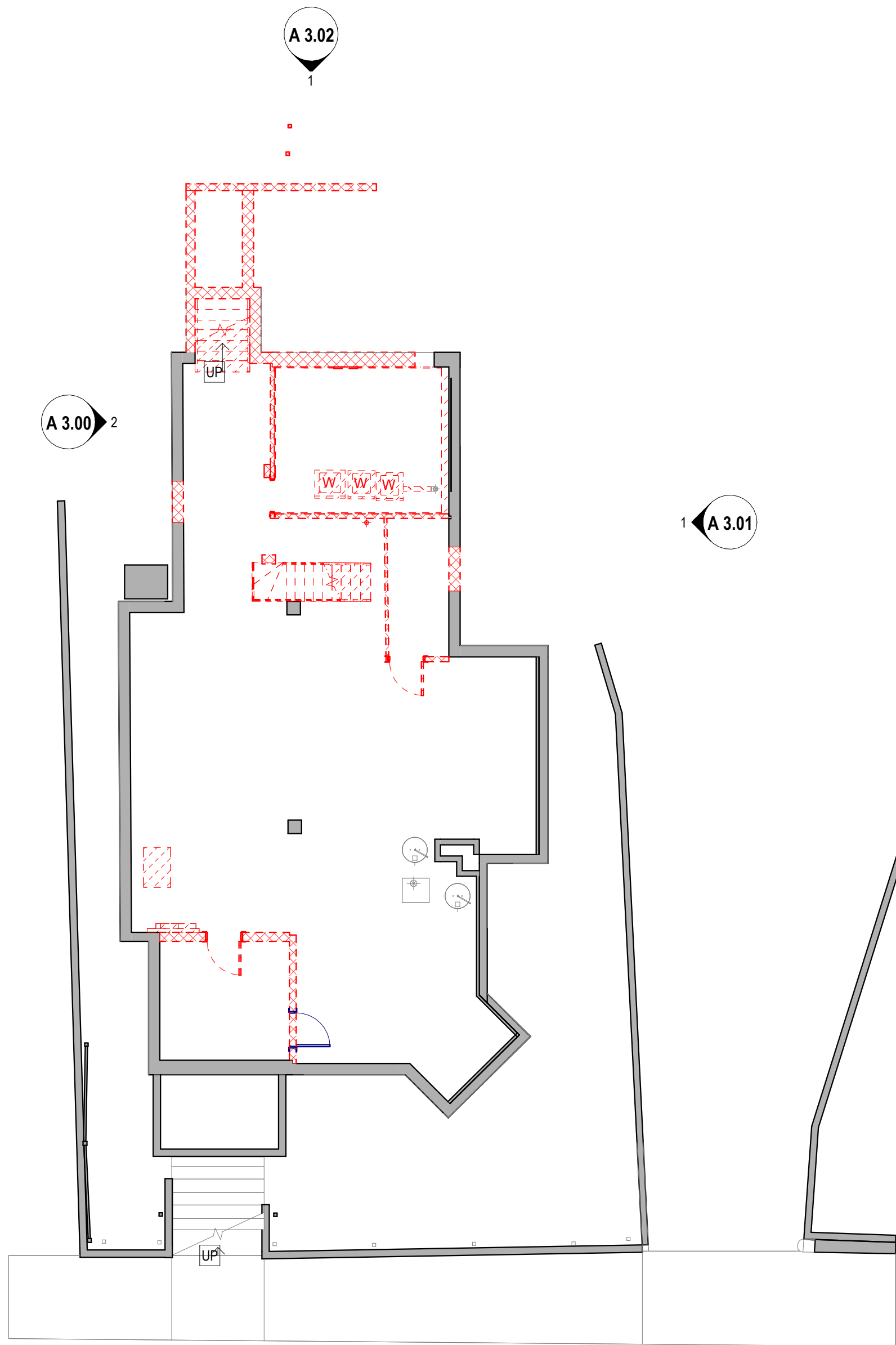
SHEET NAME

EXISTING  
ELEVATIONS

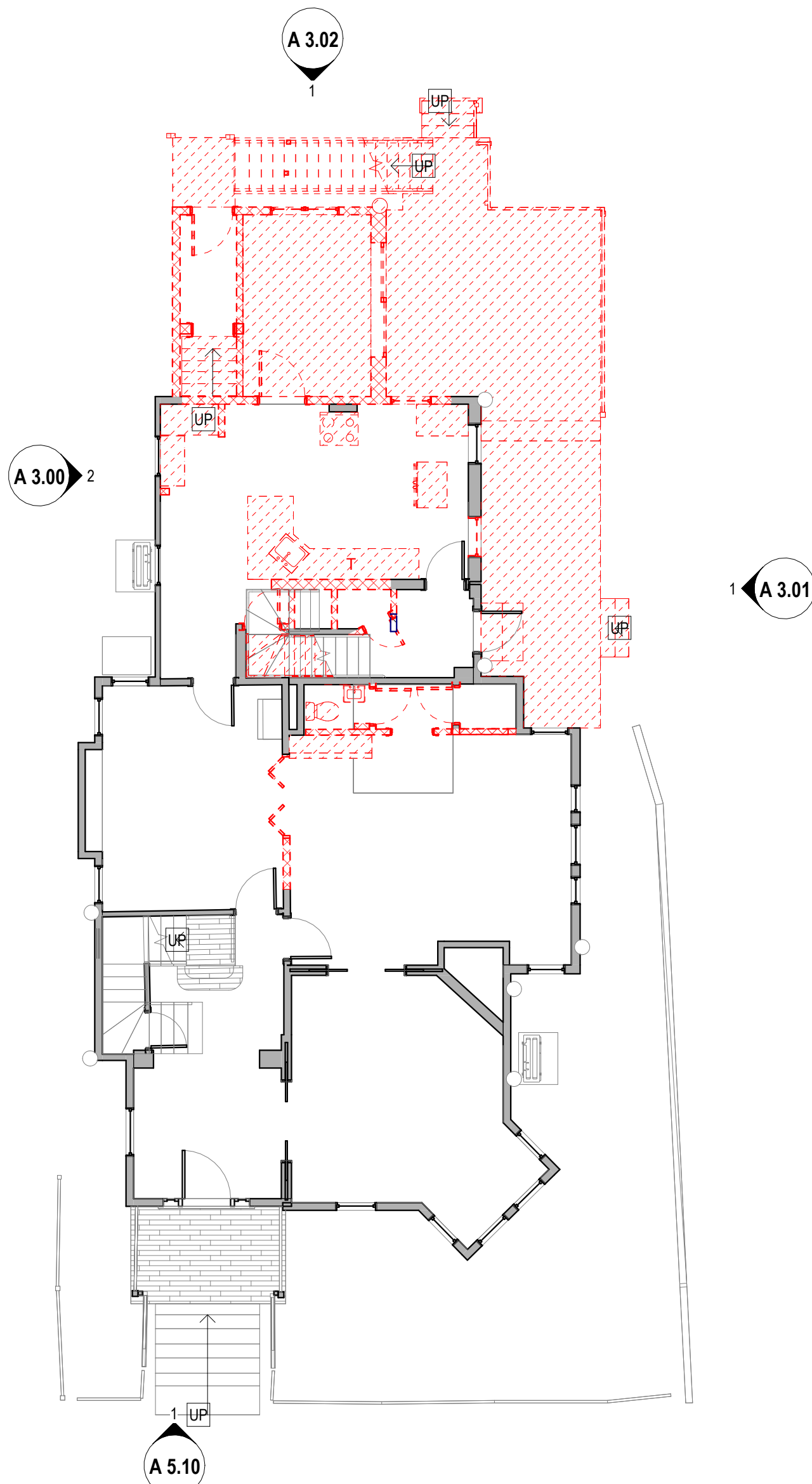
SHEET NUMBER

EX 3.00

1 Basement Demolition Plan  
D 1.00 1/8" = 1'-0"



2 Floor 01 Demolition Plan  
D 1.00 1/8" = 1'-0"



## DEMOLITION LEGEND

- EXISTING SOLID PARTITION TO BE DEMOLISHED
- EXISTING GLAZED OR PARTIALLY GLAZED PARTITION TO BE DEMOLISHED
- EXISTING DOOR AND FRAME TO BE DEMOLISHED
- EXISTING FULL HEIGHT SOLID, GLAZER OR PART GLAZED PARTITION TO REMAIN
- EXISTING DOOR AND FRAME TO REMAIN
- NIC - NOT IN CONTRACT HATCH

## GENERAL NOTES - DEMOLITION

- SEE GENERAL CONSTRUCTION NOTES ON SHEET G 0.01.
- THE DRAWINGS HAVE BEEN COMPILED FROM THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF WORK. THE CONTRACTOR MAY UNCOVER HIDDEN CONDITIONS NOT SHOWN IN THIS CONTRACT SET. IN SUCH AN EVENT, THE CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY.
- SELECTIVELY DEMO WALLS, CEILING, AND FLOOR FINISHES AS SHOWN AND AS REQUIRED FOR NEW LAYOUT AND SYSTEMS.
- GO TO COORDINATE CUTTING OF NEW DOOR OPENINGS WITH REQUIRED DIMS FOR UNITS AS SHOWN ON FLOOR PLANS, ELEVATIONS, AND DOOR SCHEDULE. NOTIFY ARCHITECT OF ANY CONFLICTS.
- THE CONTRACTOR SHALL PERFORM DEMO AS REQUIRED FOR WALL MOUNTED FIXTURES, SHELVING, ACCESSORIES, ETC, WHETHER SPECIFICALLY SHOWN OR NOT.
- WHERE REMOVAL OF EXISTING CONSTRUCTION IS REQUIRED FOR PERFORMANCE OF ANY WORK UNDER THIS CONTRACT, REMOVAL & REINSTALLATION SHALL BE ACCOMPLISHED UNDER THE BASE CONTRACT, WHETHER SPECIFICALLY SHOWN OR NOT, INCLUDING RESTORATION OF UTILITIES AND ANY TEMPORARY SHORING OF STRUCTURAL COMPONENTS.
- PROTECT ALL EXISTING WALLS, DOORS, ETC. TO REMAIN. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL FINISHES, FRAMING, AND UTILITIES DAMAGED OR DISTURBED DURING THE COURSE OF THE WORK, INCLUDING SHOP APPLIED FINISHES.
- SEE ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION DRAWINGS AND SPECIFICATIONS FOR RELEVANT INFO AND COORDINATION FOR SYSTEMS WORK. CUT PENETRATIONS FOR MEP/FP, SECURITY AND DATA SYSTEMS, THROUGH WALL, THROUGH CEILING, THROUGH FLOOR AND THROUGH ROOF AS REQUIRED.
- ALL NEW SPRINKLERS & PIPING SHALL BE INSTALLED PRIOR TO DEMOLISHING THE (E) SYSTEM & MAKING FINAL CONNECTIONS, IN ORDER TO MINIMIZE THE IMPACTS OF SHUTDOWNS, DRAIN DOWN, SYSTEM RE-FILL, AND FIRE WATCHES.
- IT IS THE INTENT OF THE DEMOLITION SCOPE TO REMOVE ALL EXISTING ITEMS THAT WILL CONFLICT WITH NEW WORK WHETHER SHOWN OR NOT. ALL EXISTING NON-STRUCTURAL PARTITIONS, CEILINGS, CASEWORK, MEP/FP ITEMS, FURR-OUTS, FINISH MATERIALS, STAIRS, DOORS, WINDOWS AND INDUSTRIAL EQUIPMENT SHALL BE REMOVED. THE CONTRACTOR SHALL VISIT THE SITE PRIOR OF THE START OF ANY WORK TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- REFER TO STRUCTURAL DOCUMENTS FOR ADDITIONAL INFORMATION REGARDING REMOVAL AND SHORING OF STRUCTURAL ELEMENTS.
- REFER TO CIVIL ENGINEERING AND LANDSCAPE ARCHITECTURE DOCUMENTS FOR ADDITIONAL INFORMATION REGARDING REMOVAL OF SITE RELATED FIXTURES, EQUIPMENT, AND ASSOCIATED ACCESSORIES.
- ROOFING SUBCONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL ROOFING, INCLUDING NON-STRUCTURAL SUBSTRATES, GUTTERS, AND ASSOCIATED FLASHINGS. REMOVED MATERIAL SHALL BE DISPOSED OF BY THE GENERAL CONTRACTOR.
- COORDINATE ALL DEMOLITION WITH HAZARDOUS MATERIAL REMOVAL/ABATEMENT REQUIREMENTS.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL EXCESS SALVAGED ITEMS NOT USED IN THE PROJECT OR REQUESTED TO BE RETURNED TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REVIEW WITH ALL TRADES THE EXTENT OF DEMOLITION REQUIRED.
- THE CONTRACTOR SHALL PROTECT ALL MATERIALS AND EQUIPMENT NOTED TO REMAIN. ALL MATERIAL INDICATED TO BE SALVAGED OR REINSTALLED SHALL BE STORED AND PROTECTED FROM DAMAGE UNTIL READY TO BE PERMANENTLY REINSTALLED.
- ALL MATERIAL INDICATED TO BE REMOVED SHALL BE DISPOSED OF IN ACCORDANCE TO APPLICABLE CODES AND LAWS. THE OWNER RETAINS THE RIGHT TO RECLAIM ANY EXISTING MATERIAL. SUCH MATERIAL SHALL BE PROTECTED FROM DAMAGE AND DELIVERED TO THE OWNER AS PER OWNER 'S REQUIREMENTS AND COMPLIANCE WITH SUSTAINABLE PRACTICES. AT THE END OF DEMOLITION, LEAVE THE AREA FREE AND CLEAR, BROOM CLEAN FOR THE APPLICATION OF NEW WORK.
- THE CONTRACTOR SHALL PROVIDE PROTECTION AROUND AND OVER ALL FLOOR OPENINGS. COORDINATE ALL NEW FLOOR OPENING DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
- WHERE FLOOR FINISH REMOVAL IS INDICATED, REMOVE FLOORING MATERIALS DOWN TO SUBSTRATE.
- CLEAN ANY RESIDUE FROM CONCRETE SURFACE. PREP SUBSTRATE TO RECEIVE FINISH AS INDICATED ON FINISH SCHEDULE AND PER FLOORING MANUFACTURES RECOMMENDATIONS.
- WHERE CEILING REMOVAL IS INDICATED, REMOVE ALL COMPONENTS OF EXISTING CEILING SYSTEMS INCLUDING ALL FASTENERS. ALL MATERIALS AND EQUIPMENT SHALL BE REMOVED TO UNDERSIDE OF STRUCTURE ABOVE. PREP SURFACE OF UNDERSIDE OF STRUCTURE FOR NEW FINISH PER FINISH SCHEDULE.
- SEE MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DRAWINGS FOR SCOPE OF MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DEMOLITION. CUT, CAP, AND MAKE SAFE ALL PIPING, CONDUIT, AND WIRING AS INDICATED ON RELATED DRAWINGS.
- CONTRACTOR TO PROVIDE TEMPORARY PROTECTION FOR INTERIOR SIDE OF ALL EXTERIOR WALLS & SURFACES WHICH WILL REMAIN AFTER DEMOLITION. LOCATIONS OF (E) SPRINKLER HEADS, LIGHTING, HVAC DIFFUSERS/REGISTERS, ETC, AND A.C.T. GRIDS ARE NOT FIELD DIMENSIONED. G.C. TO VERIFY LOCATIONS WHERE IN PROXIMITY OF WORK.
- SPRINKLER HEADS, LIGHTING, HVAC DIFFUSERS/REGISTERS, ETC, AND A.C.T. GRIDS ARE EXISTING TO REMAIN U.O.N.
- PROVIDE TEMPORARY ENCLOSURE OF ALL EXTERIOR OPENINGS CREATED AS A RESULT OF DEMOLITION UNTIL PERMANENT ENCLOSURES ARE INSTALLED.
- PROVIDE TEMPORARY SHORING AT ALL DEMOLITION OF NEW OPENINGS TO INSTALL NEW LINTEL AS INDICATED.

DESIGN/BUILD NOTES (DELETE IF NOT NEEDED)

29. ALL 'MEP/FP' WORK IS TO BE PROVIDED BY THE GENERAL CONTRACTOR ON A DESIGN/BUILD BASIS.

Liam Kuang

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DESIGN FIRM

JtA

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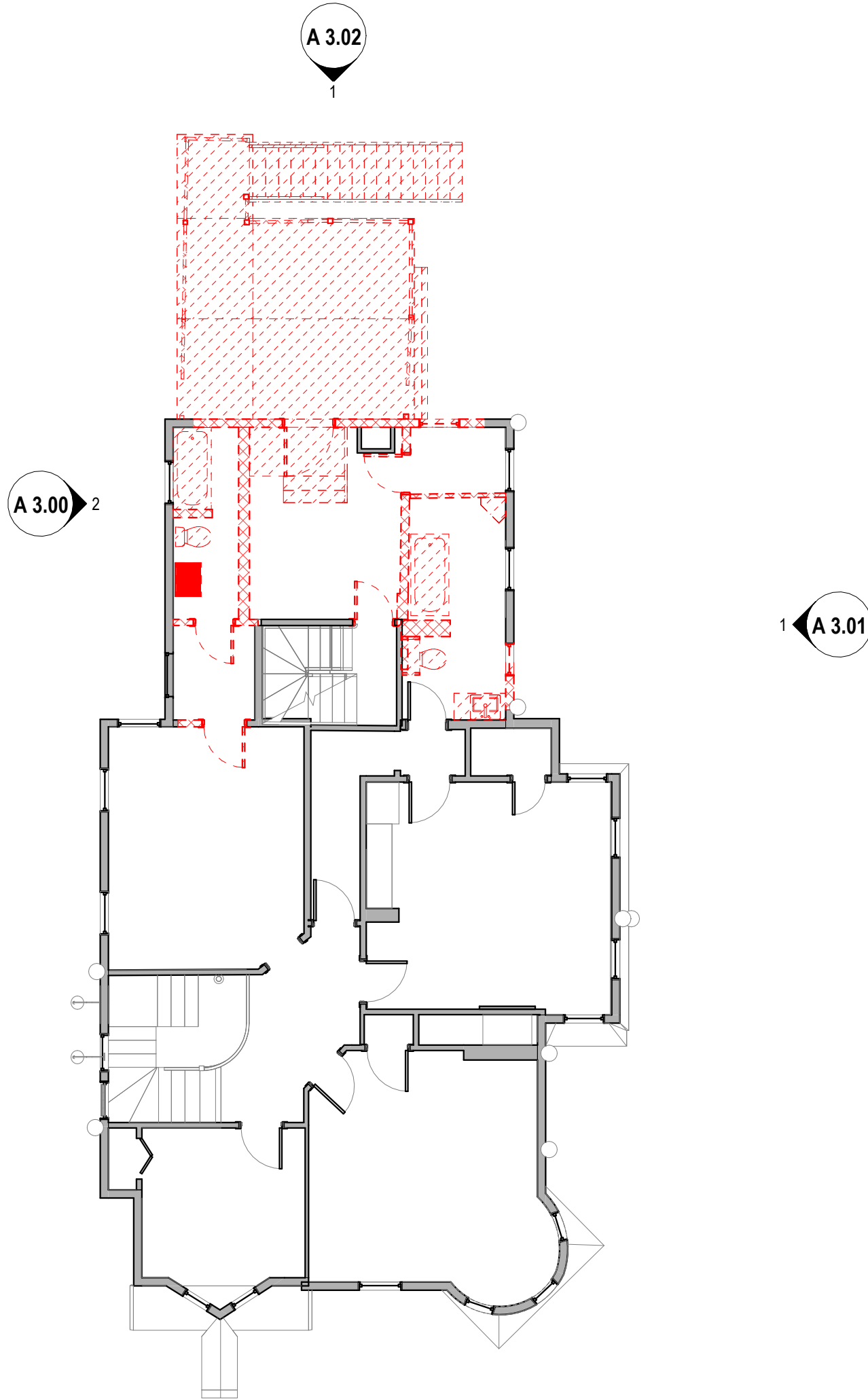
DEMOLITION PLAN

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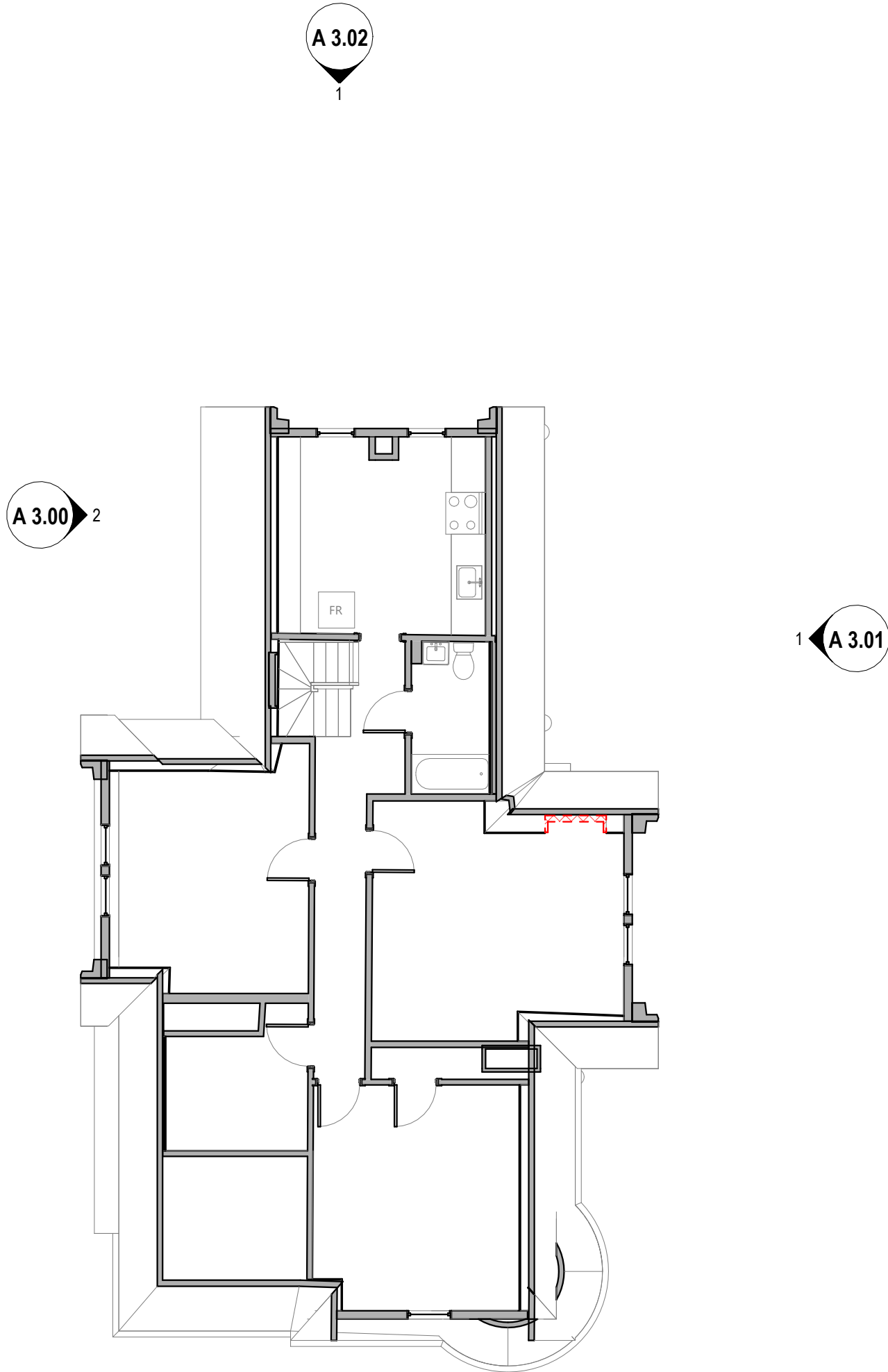
D 1.00



1 Floor 02(1)  
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2 Floor 03(1)  
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- PROTECT ALL EXISTING WALLS, DOORS, ETC. TO REMAIN. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL FINISHES, FRAMING, AND UTILITIES DAMAGED OR DISTURBED DURING THE COURSE OF THE WORK, INCLUDING SHOP APPLIED FINISHES.
- SEE ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION DRAWINGS AND SPECIFICATIONS FOR RELEVANT INFO AND COORDINATION FOR SYSTEMS WORK. CUT PENETRATIONS FOR MEP/FP, SECURITY AND DATA SYSTEMS, THROUGH WALL, THROUGH CEILING, THROUGH FLOOR AND THROUGH ROOF AS REQUIRED.
- ALL NEW SPRINKLERS & PIPING SHALL BE INSTALLED PRIOR TO DEMOLISHING THE (E) SYSTEM & MAKING FINAL CONNECTIONS. IN ORDER TO MINIMIZE THE IMPACTS OF SHUTDOWNS, DRAIN DOWN, SYSTEM RE-FILL, AND FIRE WATCHES.
- IT IS THE INTENT OF THE DEMOLITION SCOPE TO REMOVE ALL EXISTING ITEMS THAT WILL CONFLICT WITH NEW WORK WHETHER SHOWN OR NOT. ALL EXISTING NON-STRUCTURAL PARTITIONS, CEILINGS, CASEWORK, MEP/FP ITEMS, FURR-OUTS, FINISH MATERIALS, STAIRS, DOORS, WINDOWS AND INDUSTRIAL EQUIPMENT SHALL BE REMOVED. THE CONTRACTOR SHALL VISIT THE SITE PRIOR OF THE START OF ANY WORK TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- REFER TO STRUCTURAL DOCUMENTS FOR ADDITIONAL INFORMATION REGARDING REMOVAL AND SHORING OF STRUCTURAL ELEMENTS.
- REFER TO CIVIL ENGINEERING AND LANDSCAPE ARCHITECTURE DOCUMENTS FOR ADDITIONAL INFORMATION REGARDING REMOVAL OF SITE RELATED FIXTURES, EQUIPMENT, AND ASSOCIATED ACCESSORIES.
- ROOFING SUBCONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL ROOFING, INCLUDING NON-STRUCTURAL SUBSTRATES, GUTTERS, AND ASSOCIATED FLASHINGS. REMOVED MATERIAL SHALL BE DISPOSED OF BY THE GENERAL CONTRACTOR.
- COORDINATE ALL DEMOLITION WITH HAZARDOUS MATERIAL REMOVAL/ABATEMENT REQUIREMENTS.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL EXCESS SALVAGED ITEMS NOT USED IN THE PROJECT OR REQUESTED TO BE RETURNED TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REVIEW WITH ALL TRADES THE EXTENT OF DEMOLITION REQUIRED.
- THE CONTRACTOR SHALL PROTECT ALL MATERIALS AND EQUIPMENT NOTED TO REMAIN. ALL MATERIAL INDICATED TO BE SALVAGED OR REINSTALLED SHALL BE STORED AND PROTECTED FROM DAMAGE UNTIL READY TO BE PERMANENTLY REINSTALLED.
- ALL MATERIAL INDICATED TO BE REMOVED SHALL BE DISPOSED OF IN ACCORDANCE TO APPLICABLE CODES AND LAWS. THE OWNER RETAINS THE RIGHT TO RECLAIM ANY EXISTING MATERIAL. SUCH MATERIAL SHALL BE PROTECTED FROM DAMAGE AND DELIVERED TO THE OWNER AS PER OWNER 'S REQUIREMENTS AND COMPLIANCE WITH SUSTAINABLE PRACTICES. AT THE END OF DEMOLITION, LEAVE THE AREA FREE AND CLEAR, BROOM CLEAN FOR THE APPLICATION OF NEW WORK.
- THE CONTRACTOR SHALL PROVIDE PROTECTION AROUND AND OVER ALL FLOOR OPENINGS. COORDINATE ALL NEW FLOOR OPENING DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
- WHERE FLOOR FINISH REMOVAL IS INDICATED, REMOVE FLOORING MATERIALS DOWN TO SUBSTRATE.
- CLEAN ANY RESIDUE FROM CONCRETE SURFACE. PREP SUBSTRATE TO RECEIVE FINISH AS INDICATED ON FINISH SCHEDULE AND PER FLOORING MANUFACTURES RECOMMENDATIONS.
- WHERE CEILING REMOVAL IS INDICATED, REMOVE ALL COMPONENTS OF EXISTING CEILING SYSTEMS INCLUDING ALL FASTENERS. ALL MATERIALS AND EQUIPMENT SHALL BE REMOVED TO UNDERSIDE OF STRUCTURE ABOVE. PREP SURFACE OF UNDERSIDE OF STRUCTURE FOR NEW FINISH PER FINISH SCHEDULE.
- SEE MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DRAWINGS FOR SCOPE OF MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DEMOLITION. CUT, CAP, AND MAKE SAFE ALL PIPING, CONDUIT, AND WIRING AS INDICATED ON RELATED DRAWINGS.
- CONTRACTOR TO PROVIDE TEMPORARY PROTECTION FOR INTERIOR SIDE OF ALL EXTERIOR WALLS AND SURFACES WHICH WILL REMAIN AFTER DEMOLITION. LOCATIONS OF (E) SPRINKLER HEADS, LIGHTING, HVAC DIFFUSERS/REGISTERS, ETC, AND A.C.T. GRIDS ARE NOT FIELD DIMENSIONED. G.C. TO VERIFY LOCATIONS WHERE IN PROXIMITY OF WORK.
- SPRINKLER HEADS, LIGHTING, HVAC DIFFUSERS/REGISTERS, ETC, AND A.C.T. GRIDS ARE EXISTING TO REMAIN U.O.N.
- PROVIDE TEMPORARY ENCLOSURE OF ALL EXTERIOR OPENINGS CREATED AS A RESULT OF DEMOLITION UNTIL PERMANENT ENCLOSURES ARE INSTALLED.
- PROVIDE TEMPORARY SHORING AT ALL DEMOLITION OF NEW OPENINGS TO INSTALL NEW LINTEL AS INDICATED.

DESIGN/BUILD NOTES (DELETE IF NOT NEEDED)

29. ALL 'MEP/FP' WORK IS TO BE PROVIDED BY THE GENERAL CONTRACTOR ON A DESIGN/BUILD BASIS.

Liam Kuang

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DESIGN FIRM

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CONSULTANT

<CONSULTANT NAME>

<CONSULTANT ADDRESS>

SEAL

KEY PLAN

PROJECT INFORMATION

Residential Addition and  
Renovation

46 Mount Vernon Street  
Somerville MA 02145

FOR INFORMATION

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ISSUE CHART

5	REVISED LAYOUT ISSUED	7/10/25
4	REVISED FOR ZONING/HISTORIC FEEDBACK	4/8/25
3	REVISED FOR HISTORIC + ZONING SUBMISSION	3/27/25

N	ISSUE	DATE
953	PROJECT NUMBER	
Checker	CHECKED	
Approver	APPROVED	
As indicated	SCALE	
	SHEET NAME	

DEMOLITION PLAN

SHEET NUMBER

D 1.01



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PROJECT INFORMATION

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Renovation

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2	HISTORIC COMMISSION SET ISSUED	2/21/25

N	ISSUE	DATE
	PROJECT NUMBER	
	953	
	Checker	CHECKED
	Approver	APPROVED
	1/4" = 1'-0"	SCALE
	SHEET NAME	

EXTERIOR  
ELEVATIONS

SHEET NUMBER

A 3.00



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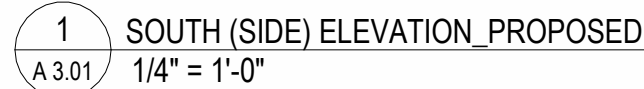
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## ISSUE CHART

**SHEET NAME**

**SHEET NUMBER**

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1 REAR ELEVATION - PROPOSED  
A 3.02 1/4" = 1'-0"

CLIENT

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PROJECT INFORMATION

Residential Addition and  
Renovation

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FOR INFORMATION

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EXTERIOR  
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A 3.02