

36 Beacon LLC  
REAR STAIR

36 Beacon

FOR PERMIT  
2025.07.28

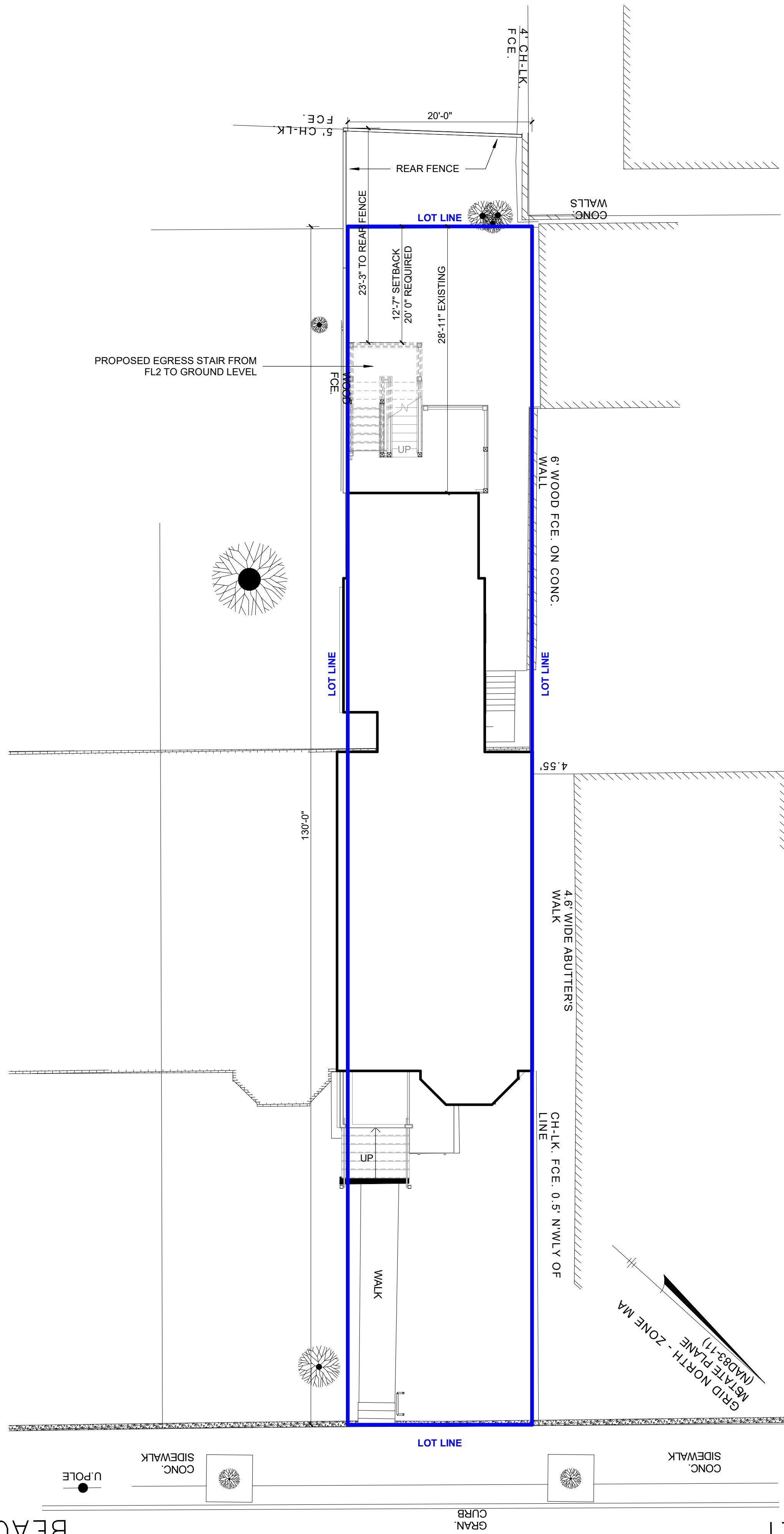
36 Beacon LLC

831 Beacon Street, #425  
Newton, Massachusetts 02459  
T: 857.234.2054

BEACON STREET

1 ZONING PLAN - SETBACKS

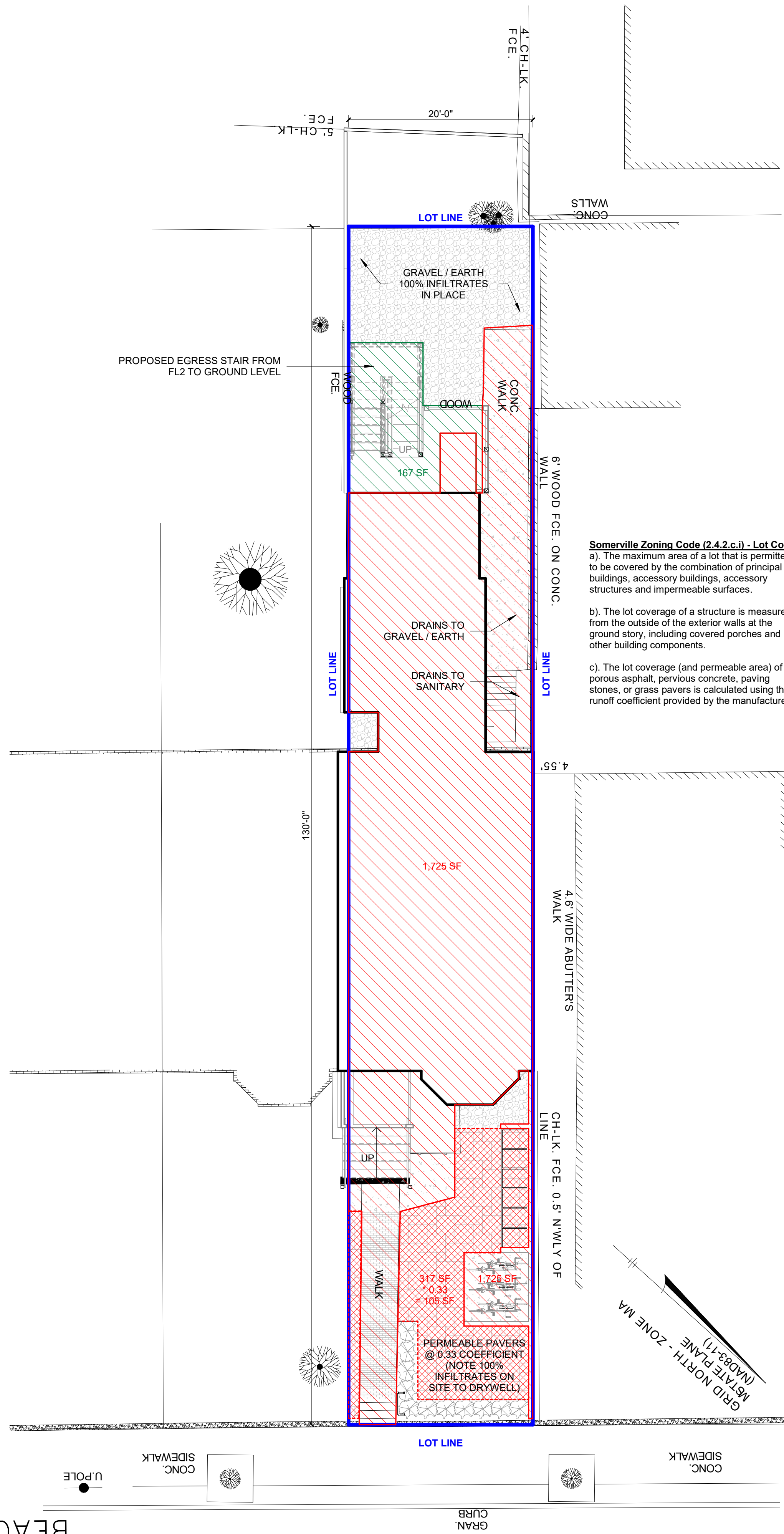
1/8" = 1'-0"



BEACON STREET

2 ZONING PLAN - LOT COVERAGE

1/8" = 1'-0"



DESCRIPTION

Property is an existing masonry/brick R-2 three story residential building with 4 legal units per Certificate of Inspections dated 2007, 2012.

Property gained new Ownership as of 11.14.2019.

Submission for building permit to build rear exterior egress stair to correct outstanding Code Violation issued by Inspector Waldron to former owner on 07/2017.

ZONING DISTRICT

Urban Residential (UR), Ward 2  
Rowhouse built 1886, LHD Overlay  
Parcel ID: 76-F-10

USE

Existing Use: Table 9.1.1 Use Category UR, Residential Housing, Permitted

Future Use: No Change in Use

PARKING

Not required per table 3.2.17

SETBACKS & LOT COVERAGE

Table 3.2.11 - Row Houses

ZONING PROVISION	EXST	REQ'D	w/ STAIR	RELIEF
Min Party Line Setback:	0' 0"	0' 0"	0' 0"	N/A
Min Rear Setback:	28' 11"	20'	12' 7"	7' 5"
Lot Coverage Max:	70.4%	65%	76.8%	6.8%

**Somerville Zoning Code (2.4.2.c.i) - Lot Coverage**  
a) The maximum area of a lot that is permitted to be covered by the combination of principal buildings, accessory buildings, accessory structures and impermeable surfaces.  
b) The lot coverage of a structure is measured from the outside of the exterior walls at the ground story, including covered porches and other building components.  
c) The lot coverage (and permeable area) of porous asphalt, pervious concrete, paving stones, or grass pavers is calculated using the runoff coefficient provided by the manufacturer.

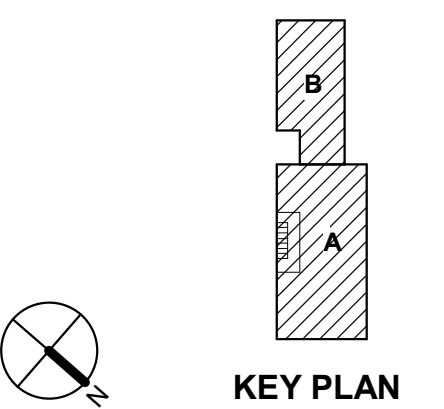
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REAR STAIR



RELEASE 1 20 MAY 2025  
No. Description Date



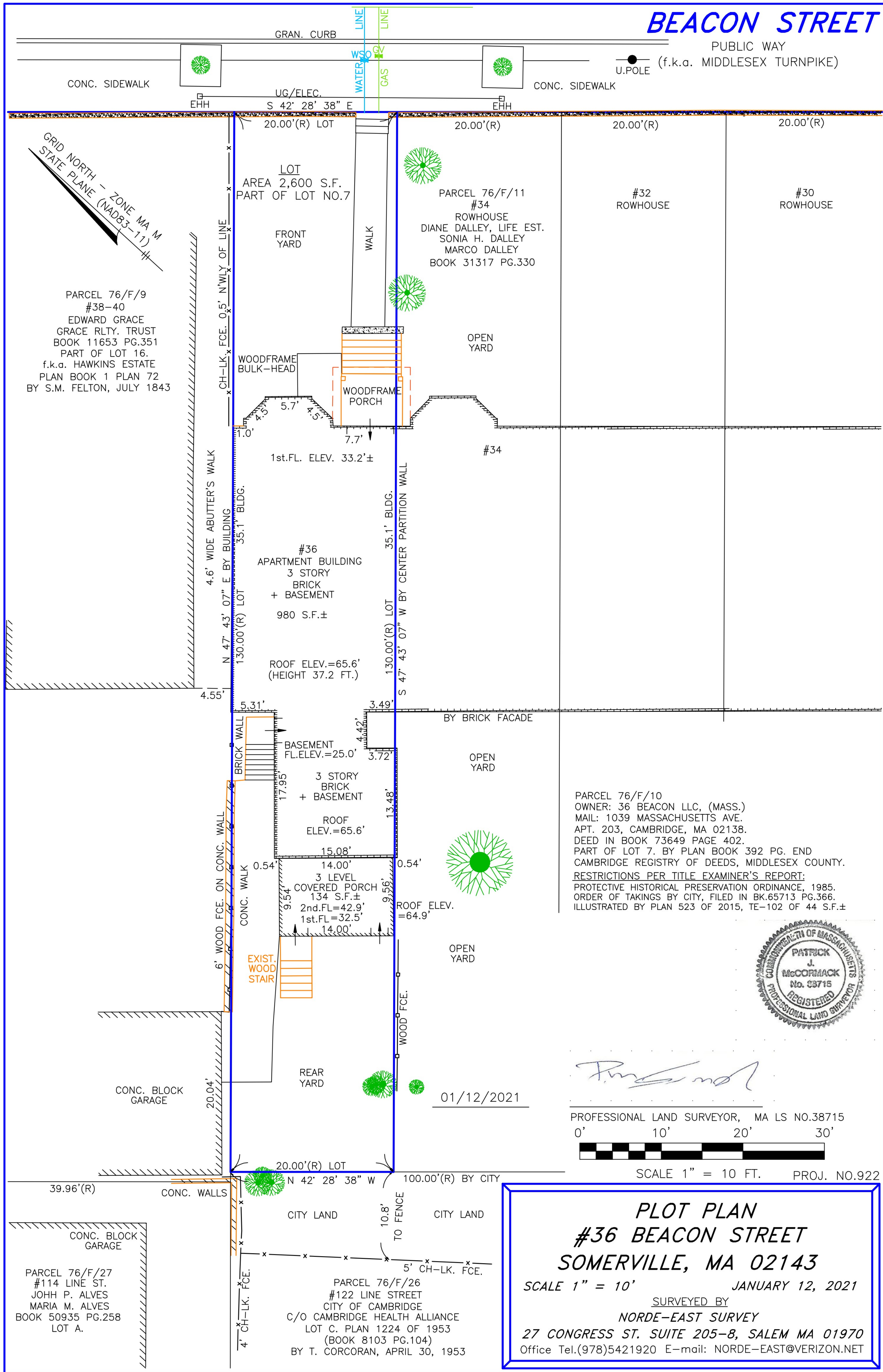
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ZONING

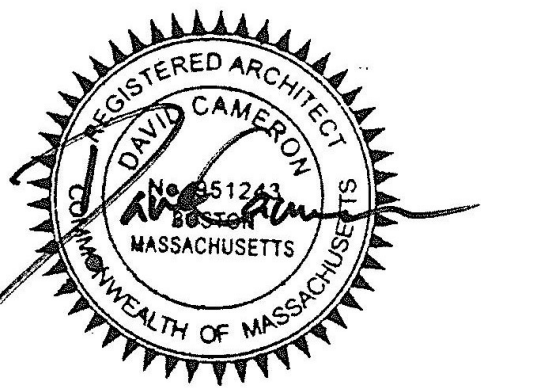
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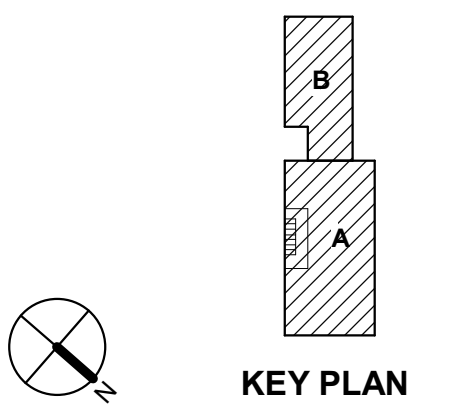




REAR STAIR



RELEASE 1 20 MAY 2025  
No. Description Date



Drawing Title:

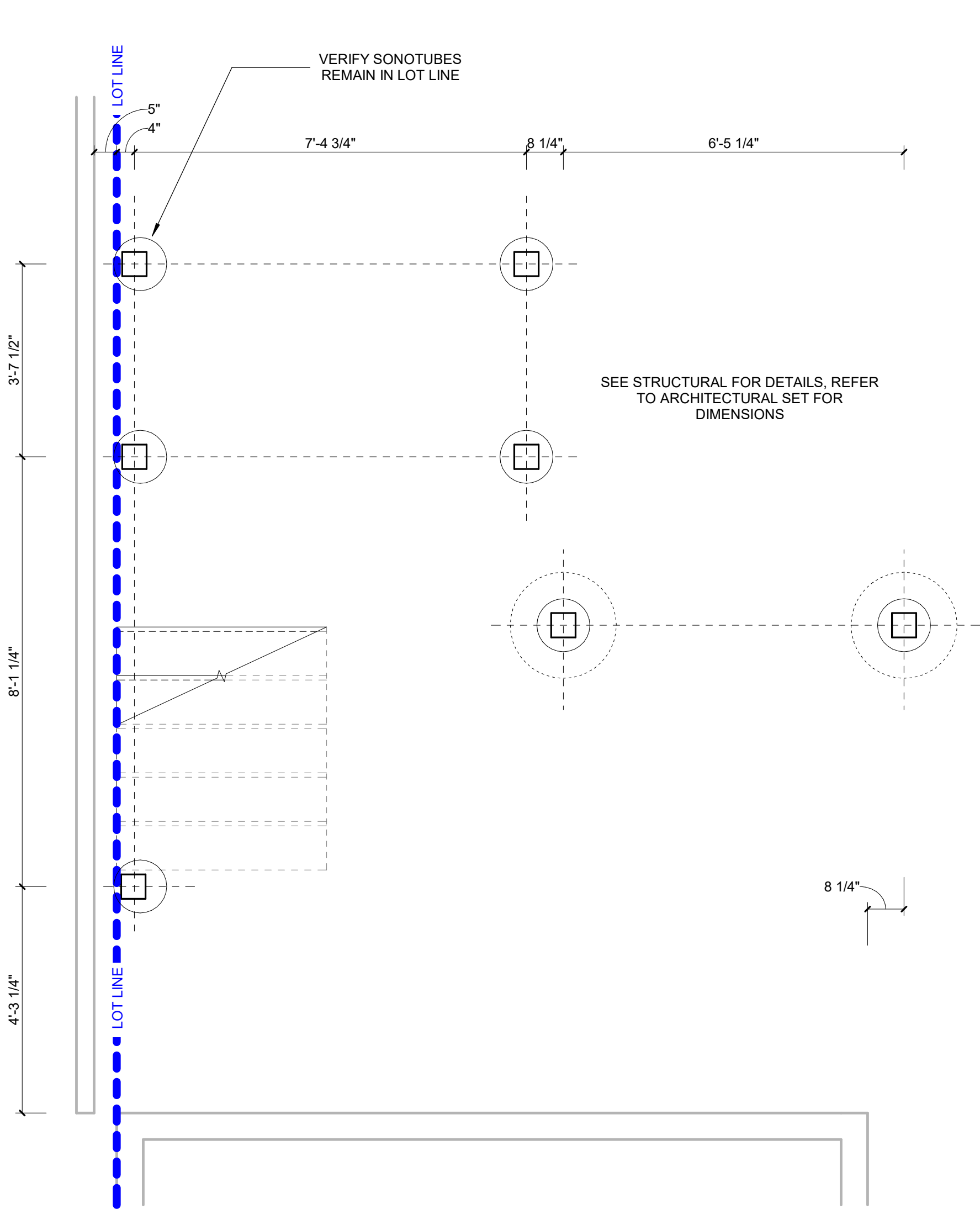
SURVEY & EXISTING  
CONDITIONS

Project No.: Checked by:

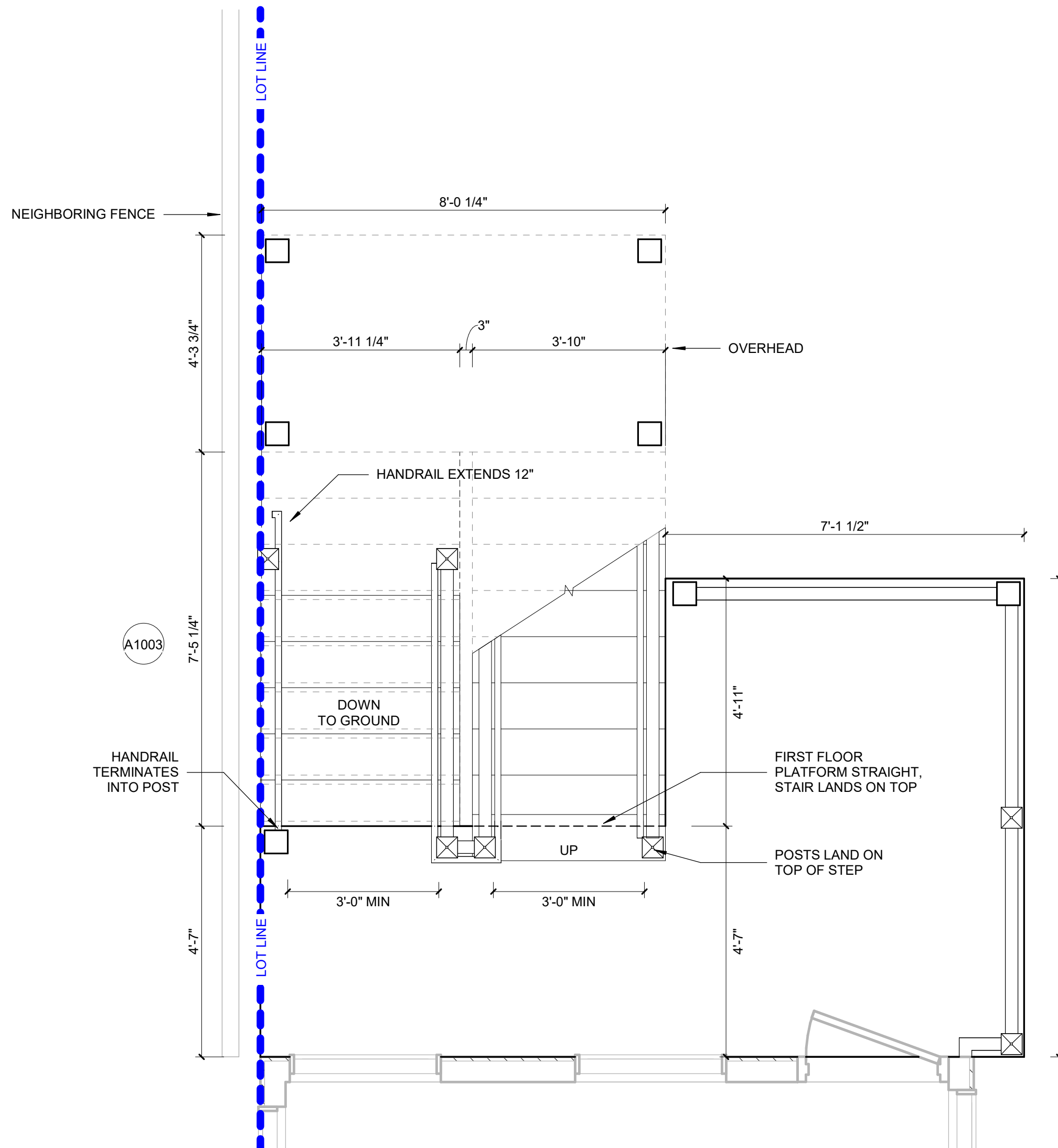
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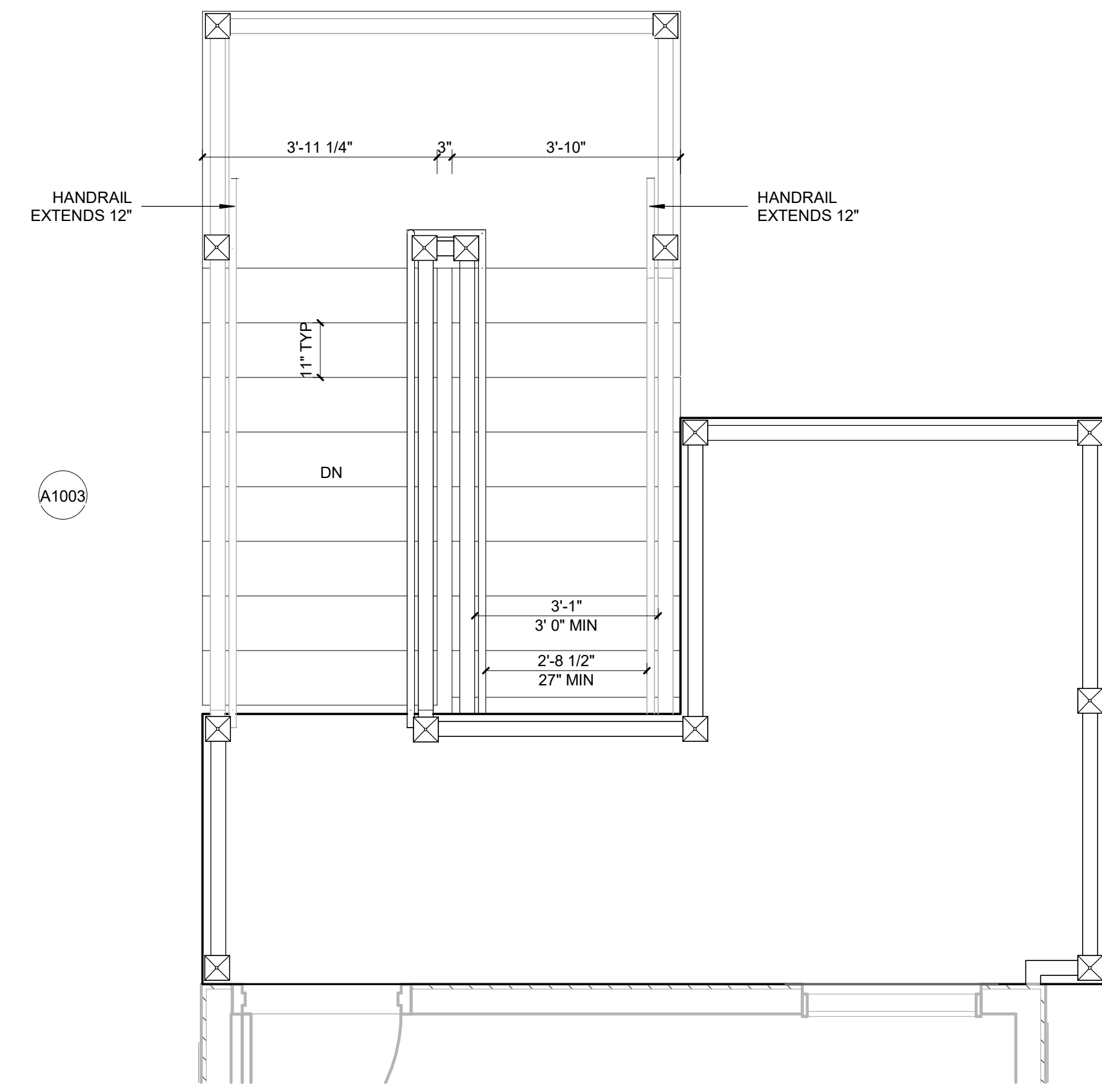
REAR STAIR



1 GROUND - FOUNDATION PLAN  
1/2" = 1'-0"



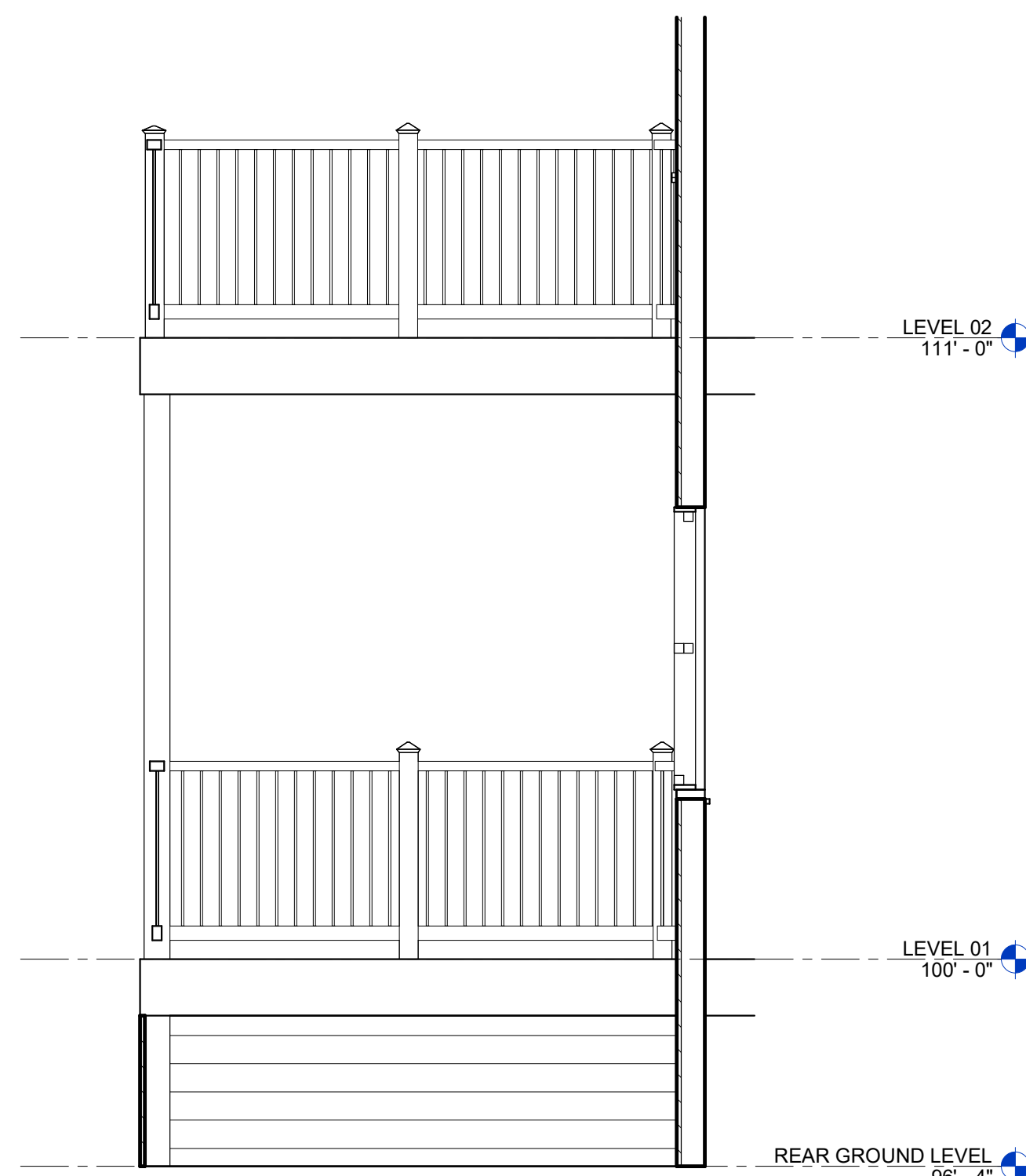
2 LEVEL 01 - STAIR PLAN  
1/2" = 1'-0"



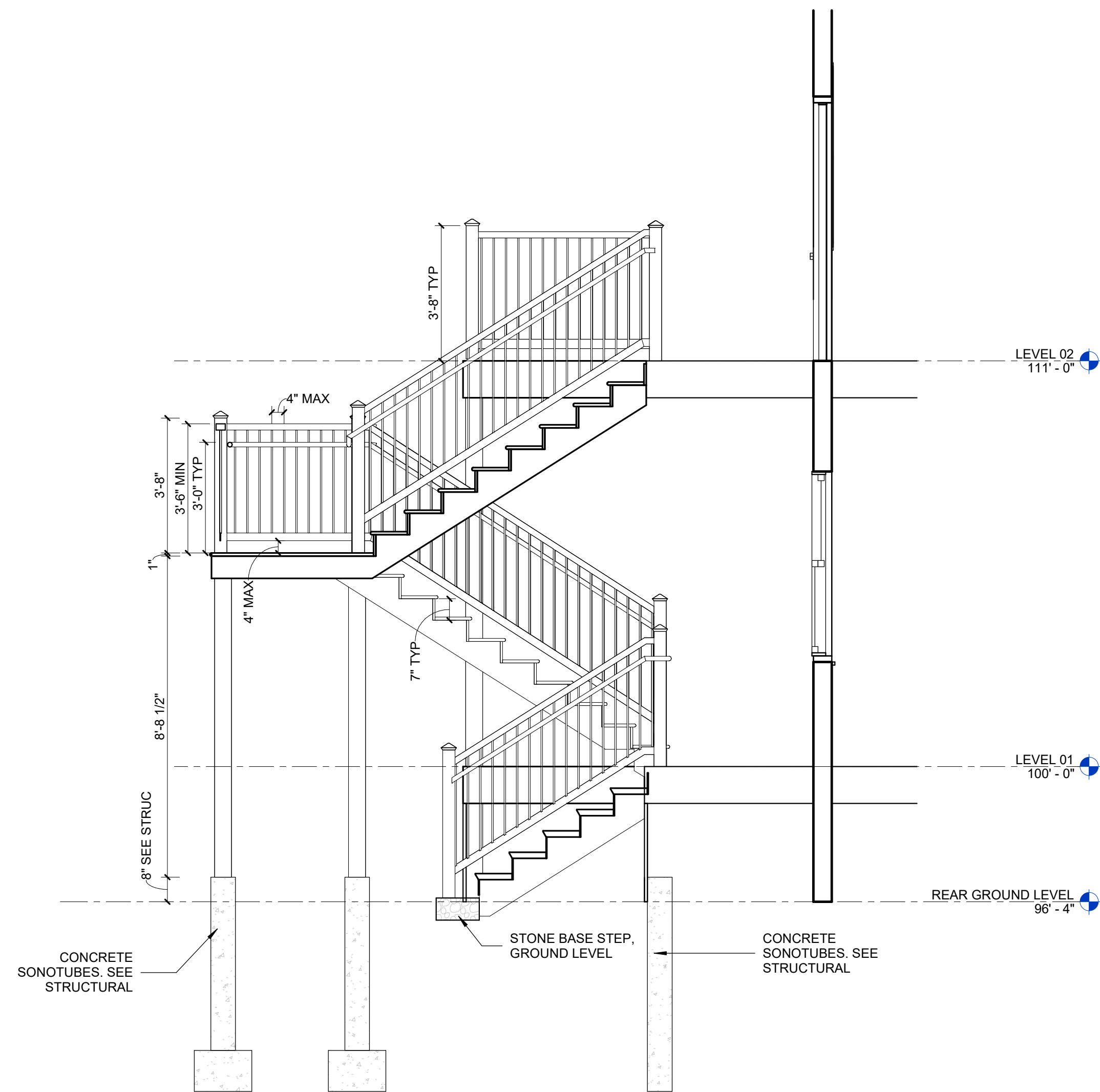
3 LEVEL 2 - STAIR PLAN  
1/2" = 1'-0"



4 STAIR AXO



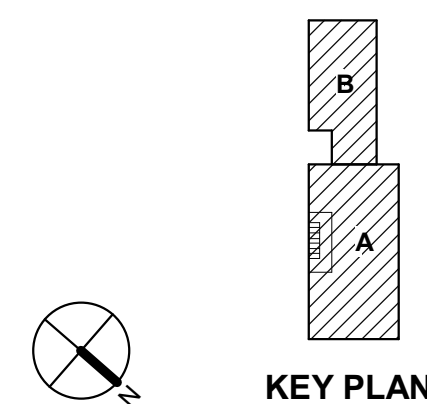
5 EGRESS - ELEVATION  
3/8" = 1'-0"



6 EGRESS - SECTION  
3/8" = 1'-0"



RELEASE 1 20 MAY 2025  
No. Description Date



Drawing Title:

STAIR PLANS AND  
SECTIONS

Project No.: Checked by:

A1003



FOUNDATION NOTES:

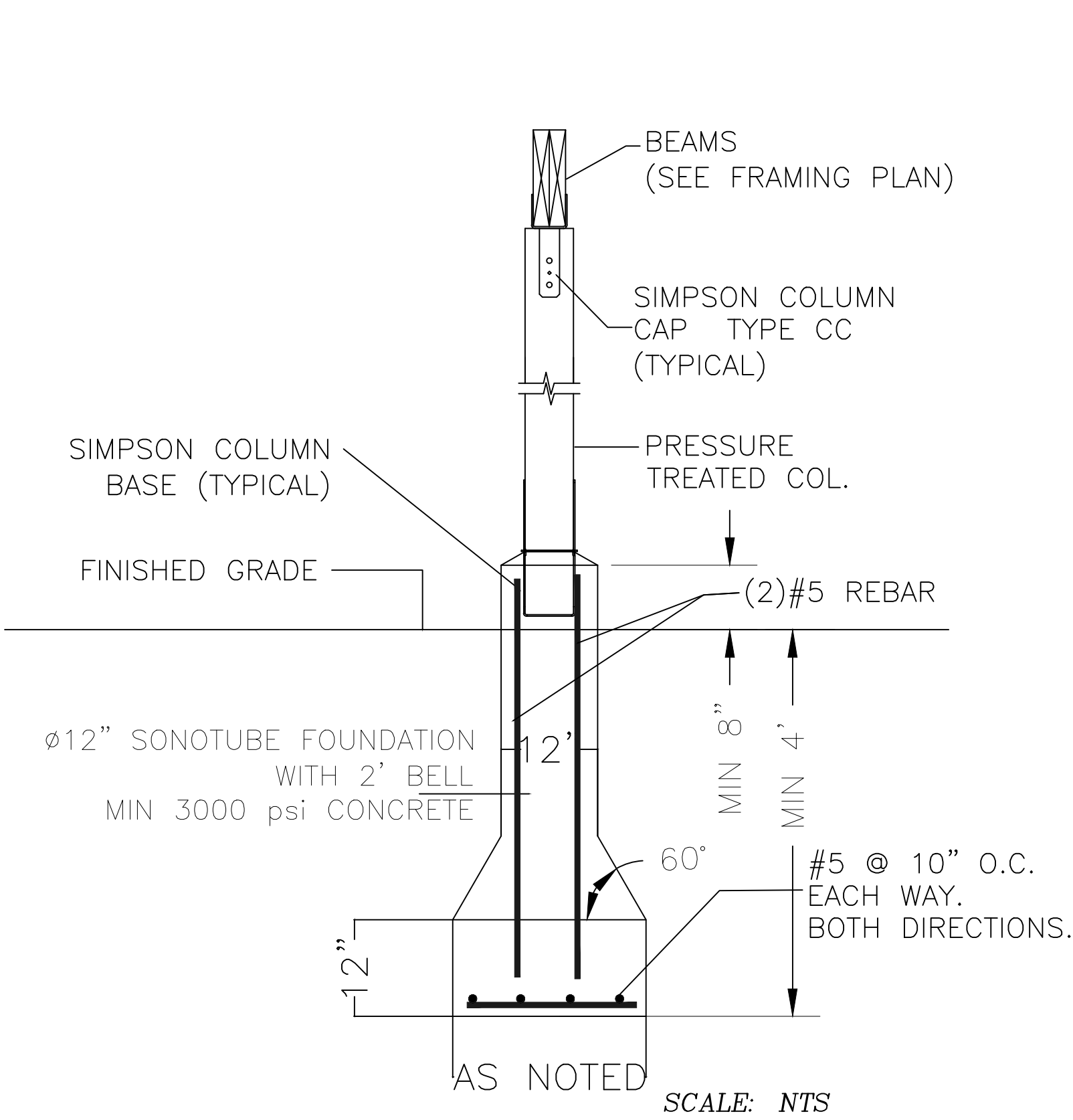
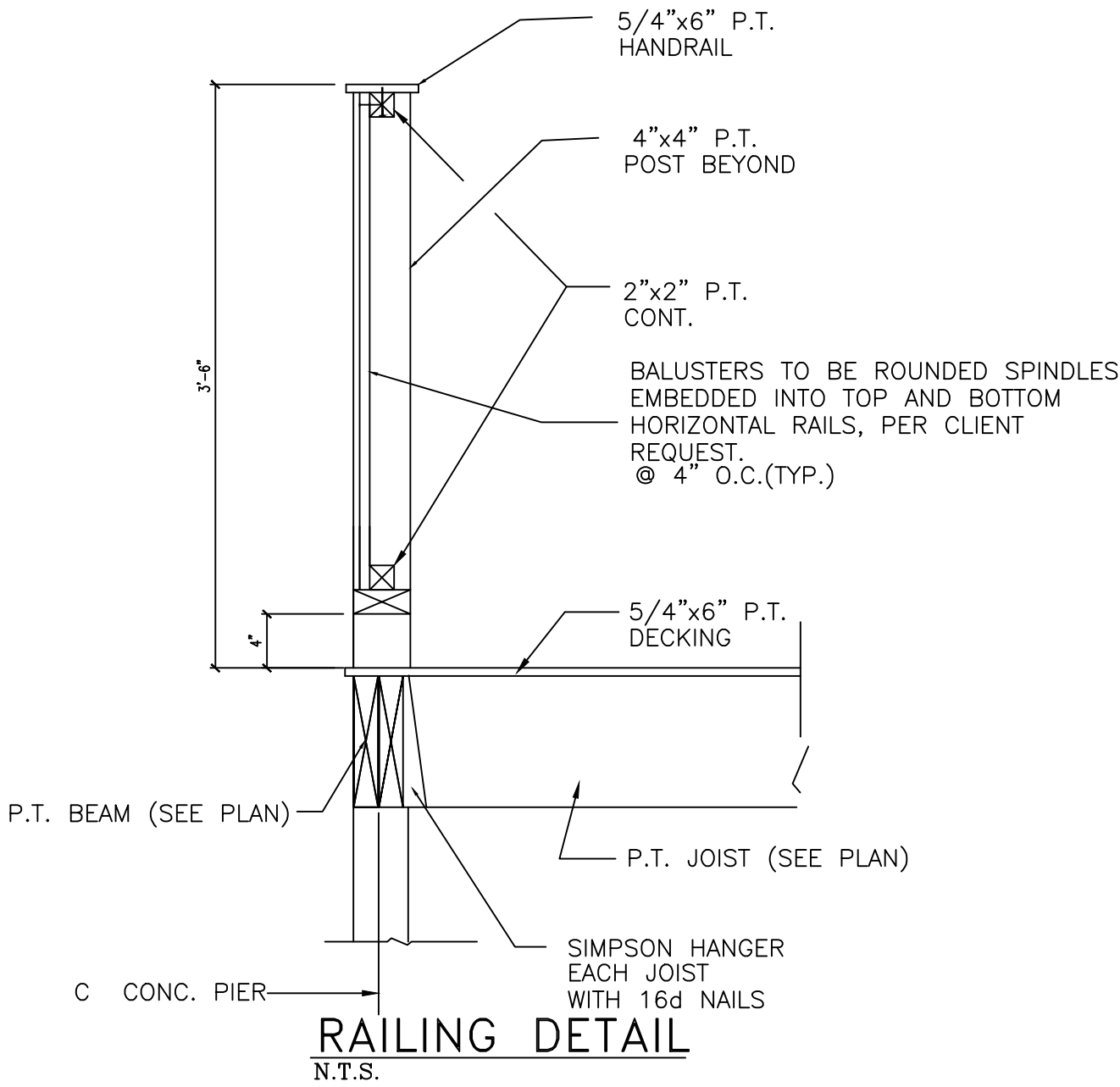
- A. GENERAL: (UNLESS OTHERWISE NOTED)
- 1.) ALL WORK SHALL CONFORM WITH THE MASS. STATE BUILDING CODE, LOCAL ZONING BY LAWS, AND ALL APPLICABLE OSHA STANDARDS.
- 2.) ANY WOOD FRAMING MEMBERS IN DIRECT CONTACT WITH CONCRETE SURFACES SHALL BE COATED WITH PRESERVATIVE.
- 3.) IF THE CONTRACTOR MAKES ANY CHANGES OR DEVIATES FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE ENGINEER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TOTAL DESIGN.

- B. FOUNDATION REQUIREMENTS:
- 1.) THE BOTTOM OF FOOTINGS SHALL BEAR ON UNDISTURBED INORGANIC GRANULAR SOIL OR COMPACTED STRUCTURAL FILL WITH A SAFE ALLOWABLE BEARING PRESSURE OF MINIMUM 2 TONS/SQ. FT.
- 2.) IF ORGANICS ARE ENCOUNTERED IN THE EXCAVATION, WORK SHALL BE SUSPENDED AND THE ENGINEER CONTACTED PRIOR TO COMMENCING WORK.
- 3.) CONCRETE SHALL BE PLACED "IN THE DRY" ONLY, AND NO CONCRETE SHALL BE PLACED ON FROZEN GROUND.
- 4.) SPECIAL CARE SHALL BE TAKEN IN BACKFILLING WALLS AND UTILITY TRENCHES. BACKFILL MATERIAL SHALL BE COMPACTED IN 12" LAYERS MAXIMUM WITH POWER TAMPERS OR BY OTHER APPROVED EQUIPMENT.

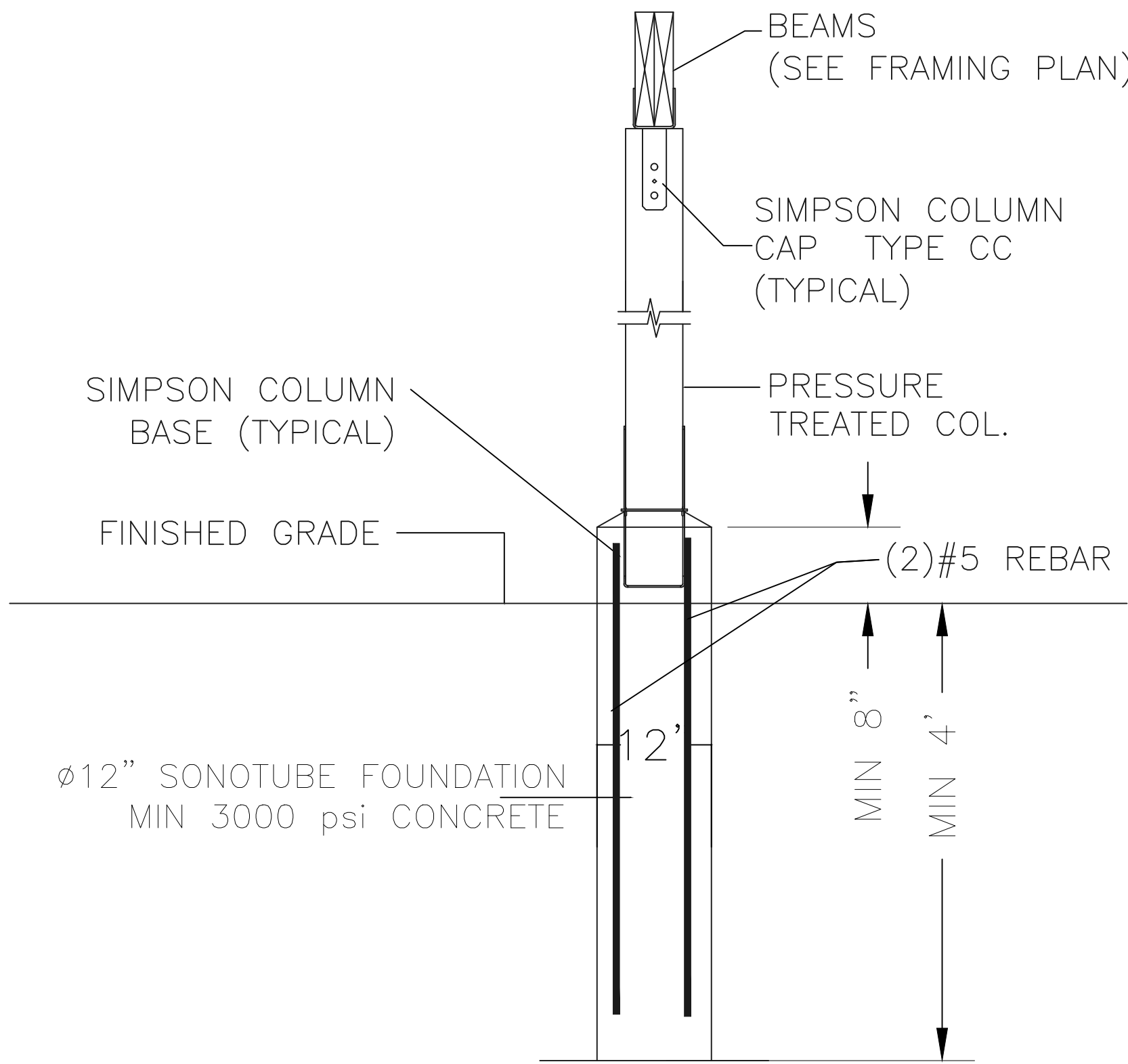
- C. CONCRETE: (UNLESS OTHERWISE NOTED)
- 1.) CONCRETE WORK SHALL CONFORM TO THE LATEST AMERICAN CONCRETE INSTITUTE BUILDING CODE, STANDARDS, RECOMMENDED PRACTICES AND SPECIFICATIONS AS REVISED TO DATE.
- 2.) CONCRETE SHALL BE MIXED IN THE SPECIFIED PROPORTIONS TO GIVE MINIMUM COMPRESSIVE STRENGTH AT THE END OF 28 DAYS OF 4000 PSI.
- 3.) CONSTRUCTION JOINTS IN STRUCTURAL CONCRETE SHALL BE LOCATED IN THE MIDDLE THIRD OF THE SPAN OR OTHER APPROVED LOCATION OF MINIMUM SHEAR.

- D. REINFORCING STEEL: (UNLESS OTHERWISE NOTED)
- 1.) BARS SHALL BE HIGH BOND DEFORMED BARS MEETING ASTM A-615, GRADE 60.

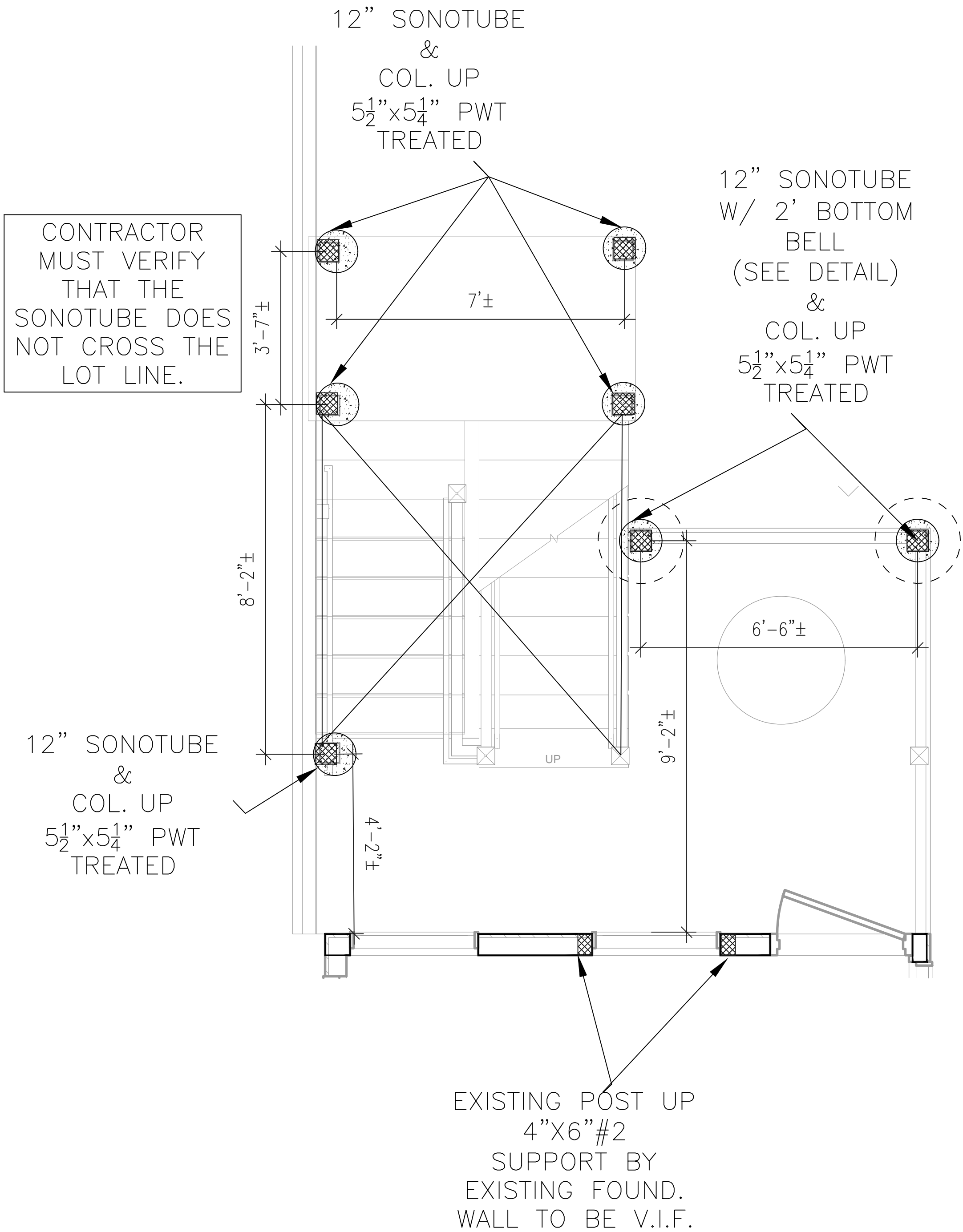
- E. MISCELLANEOUS: (UNLESS OTHERWISE NOTED)
- 1.) VERIFY IN FIELD ALL LOCATIONS AND CONDITIONS IN THE STRUCTURE SHOWN ON THE DRAWINGS AND/OR AFFECTING THE INSTALLATION OF NEW WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE FABRICATION OF DEPENDENT WORK.
- 2.) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE SHORING AND BRACING TO SAFELY SUPPORT THE BUILDING DURING CONSTRUCTION. ANY APPROVAL BY THE ENGINEER WILL NOT RELIEVE THE CONTRACTOR OF FULL RESPONSIBILITY, FOR SHORING AND/OR BRACING.
- 3.) DURING THE CONSTRUCTION PHASE OF THE PROJECT THE CONTRACTOR SHALL REVIEW DESIGN LOADS TO LIMIT AND CONTROL CONSTRUCTION LOADING, INCLUDING BUT NOT LIMITED TO MATERIAL STOCK PILING AND CONSTRUCTION EQUIPMENT.



TYPICAL SONOTUBE  
FOUNDATION W/BELL  
BOTTOM DETAIL



TYPICAL 12"  
SONOTUBE  
FOUNDATION



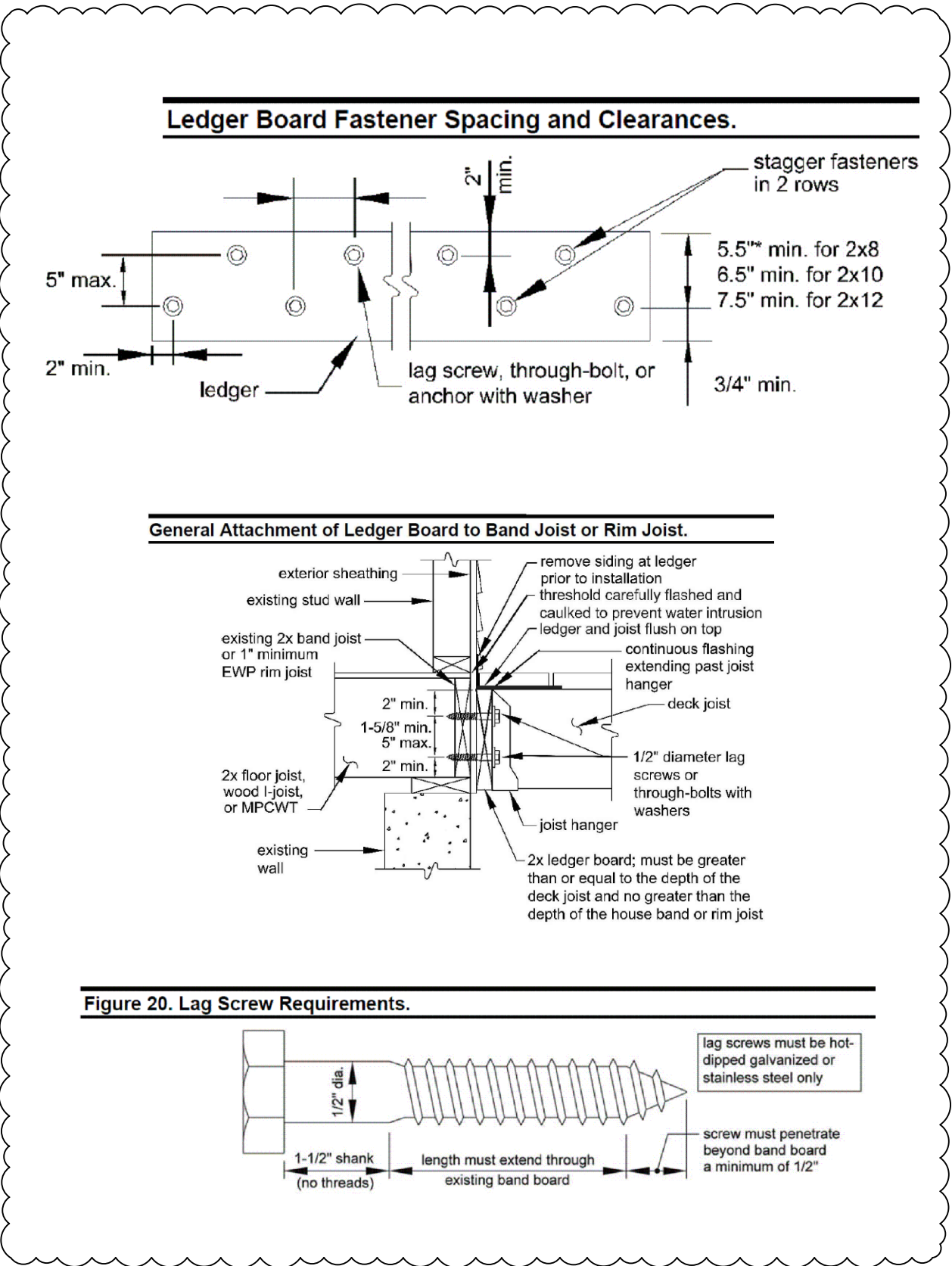
S-001	PROJECT NAME: 36 Beacon St, Somerville, MA Rear Deck			SPRUHAN ENGINEERING P.C. 80 JEWETT STREET (SUITE 1) NEWTON MA E-MAIL: edmond@spruhaneng.com TEL: 617 816 07 22		
				SCALE: 1/2"=1'-0"	DATE: 05.05.2025	DRAWN BY:JM



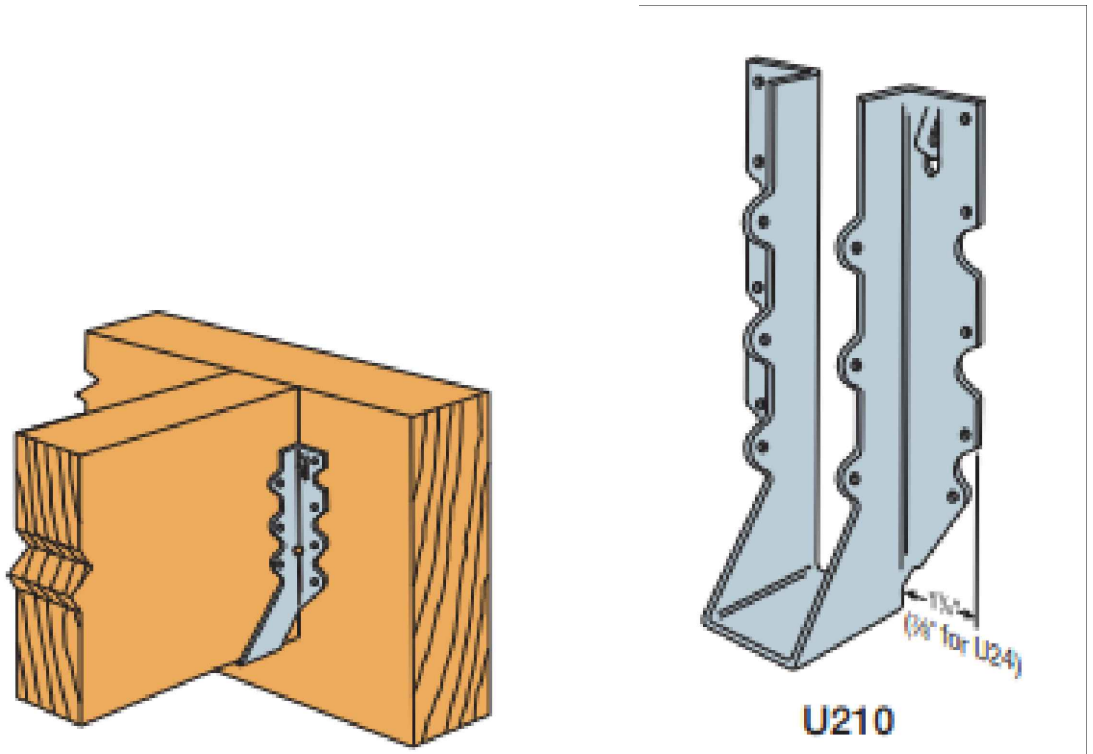
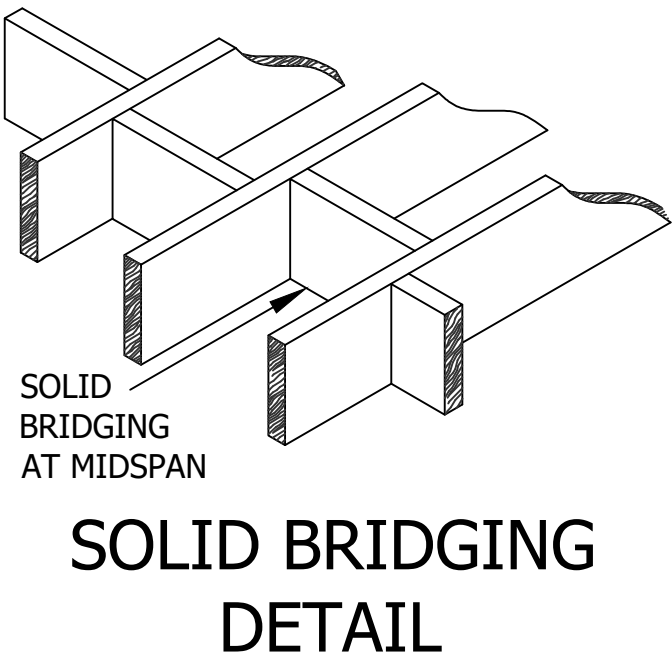
NOTES:

CARPENTRY:

ALL ROUGH CARPENTRY SHALL PRODUCE JOINTS TRUE, TIGHT, WITH ALL MEMBERS ASSEMBLED IN ACCORDANCE WITH THE DRAWINGS AND WITH ALL PERTINENT CODES AND REGULATIONS. CAREFULLY SELECT ALL MEMBERS. SELECT INDIVIDUAL PIECES SO THAT KNOTS AND DEFECTS WILL NOT INTERFERE WITH PLACING BOLTS OR PROPER NAILING OR MAKING CONNECTIONS. LUMBER MAY BE REJECTED BY THE ENGINEER, WHETHER OR NOT IT HAS BEEN INSTALLED, FOR EXCESSIVE WARP, TWIST, BOW, CROOK, MILDEW, FUNGUS, OR MOLD, AS WELL AS FOR IMPROPER CUTTING AND FITTING. DO NOT SHIM SILLS, JOISTS, SHORT STUDS, TRIMMERS, HEADERS, LINTELS, OR OTHER FRAMING COMPONENTS. USE ONLY TREATED LUMBER FOR ALL WOOD BUCKS AND NAILING GROUNDS IN, OR IN CONTACT WITH CONCRETE. TREAT ALL WOOD LESS THAN TWO FEET ABOVE FINISHED GRADE BY SPRAYING WITH THE PRESERVATIVE TO A MINIMUM DISTANCE OF SIX INCHES FROM THE ENDS. PERFORM ALL TREATMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. IN ADDITION TO ALL FRAMING OPERATIONS NORMAL TO FABRICATION AND ERECTION INDICATED ON THE DRAWINGS, INSTALL ALL BACKING REQUIRED FOR WORK OF OTHER TRADES. MAKE ALL BEARINGS FULL. FINISH ALL BEARING SURFACES ON WHICH STRUCTURAL MEMBERS ARE TO REST SO AS TO GIVE SURE AND EVEN SUPPORT. WHERE FRAMING MEMBERS SLOPE, CUT OR NOTCH THE ENDS AS REQUIRED TO GIVE UNIFORM BEARING SURFACE. INSTALL ALL BLOCKING REQUIRED TO SUPPORT ALL ITEMS OF FINISH AND TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL, BETWEEN CEILING AND FLOOR AREAS. FIRE BLOCKS SHALL BE TWO INCHES IN THICKNESS (NOMINAL) BY THE FULL WIDTH OF THE OPENING BEING BLOCKED. INSTALL SOLID BLOCKING BETWEEN JOISTS AT ALL POINTS OF SUPPORT AND WHEREVER SHEATHING OR FLOORING IS DISCONTINUOUS. MAKE ALL STUDS SINGLE LENGTH, UNSPLICED, AND PLATFORM FRAMED. FRAME ALL CORNERS AND INTERSECTIONS WITH THREE OR MORE STUDS AND ALL REQUIRED BEARING FOR WALL FINISH. ON ALL FRAMING MEMBERS TO RECEIVE A FINISHED WALL OR CEILING, ALIGN THE FINISH SUBSURFACE TO VARY NOT MORE THAN 1/8" FROM THE PLANE OF SURFACES OF ADJACENT FRAMING AND FURRING MEMBERS. PLACE ALL PLYWOOD WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND CONTINUOUSLY OVER AT LEAST TWO SUPPORTS. ALL DOORS AND WINDOWS MUST BE INSTALLED WITH ALL NECESSARY APPURTENANCES AND TRIMS.

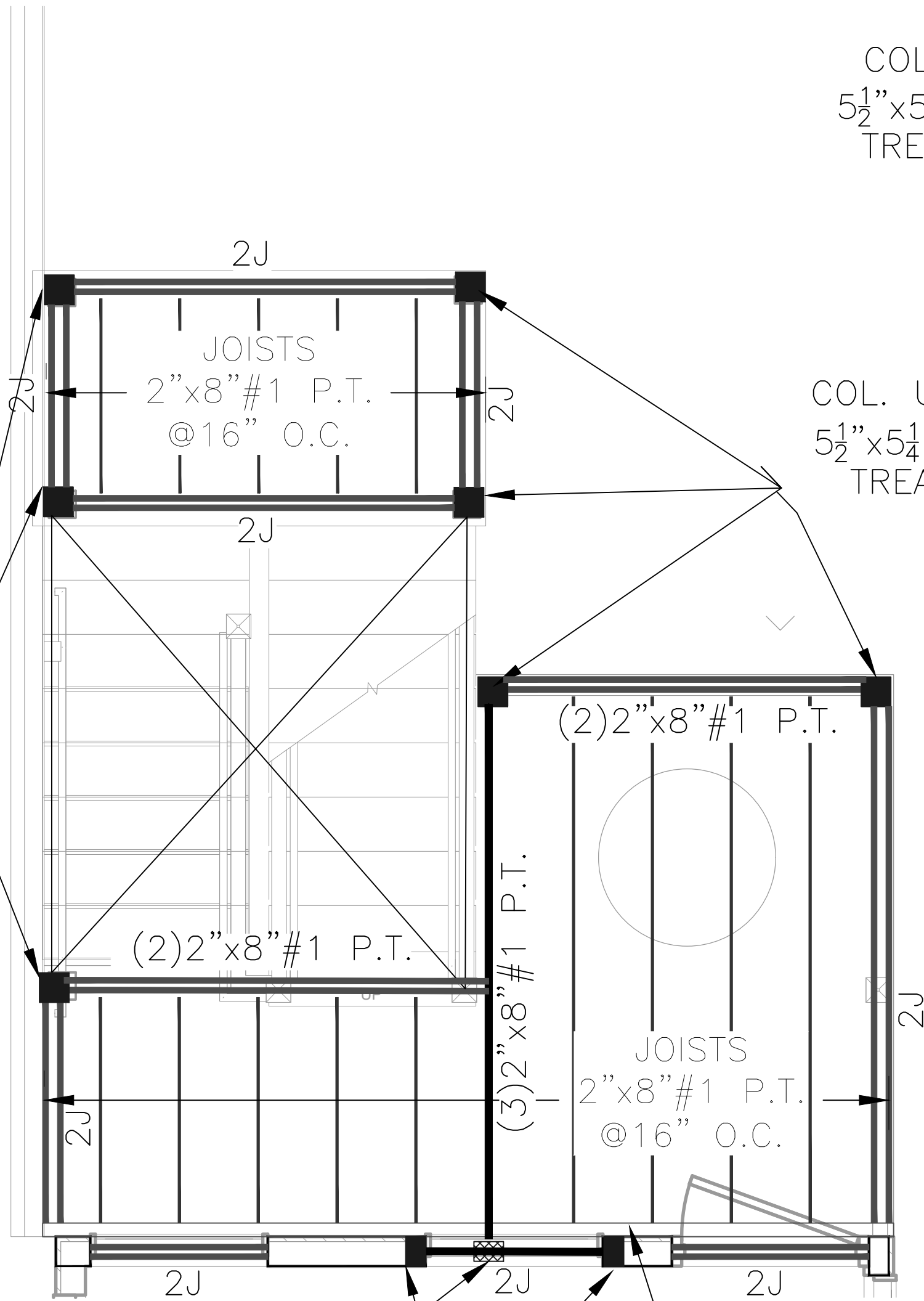


LEDGER DETAILS



EXAMPLE OF SIMPSON HANGER SUPPORT

COL. UP/DN  
5 1/2" x 5 1/4" PWT  
TREATED



POST  
UP  
4" x 6" #2

EXISTING POST  
DN 4" x 6" #2  
TO V.I.F.

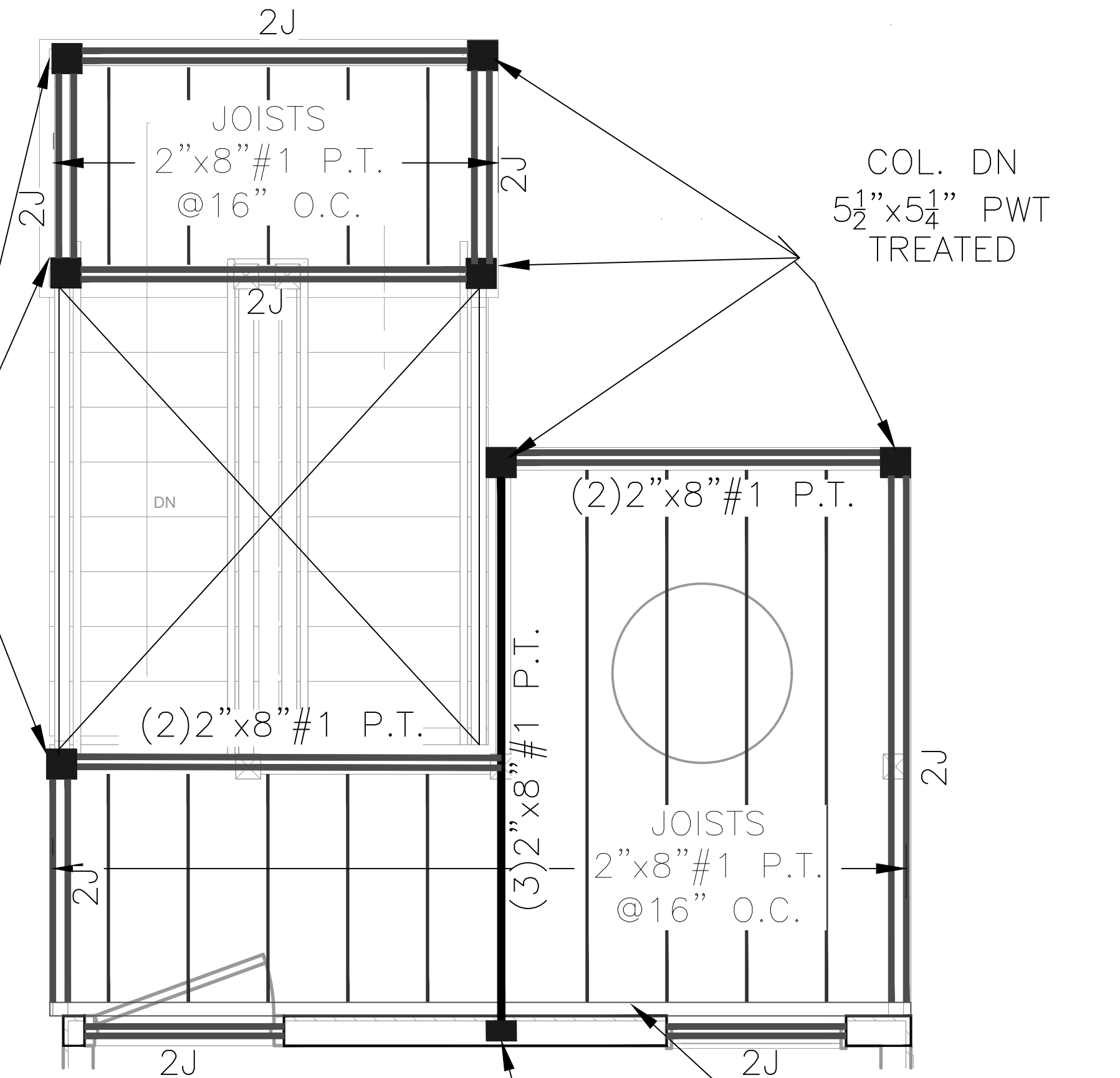
LEDGER  
1 3/4" x 9 1/2" PWT  
TREATED

FIRST FLOOR  
FRAMING

COL. DN  
5 1/2" x 5 1/4" PWT  
TREATED

COL. UP/DN  
5 1/2" x 5 1/4" PWT  
TREATED

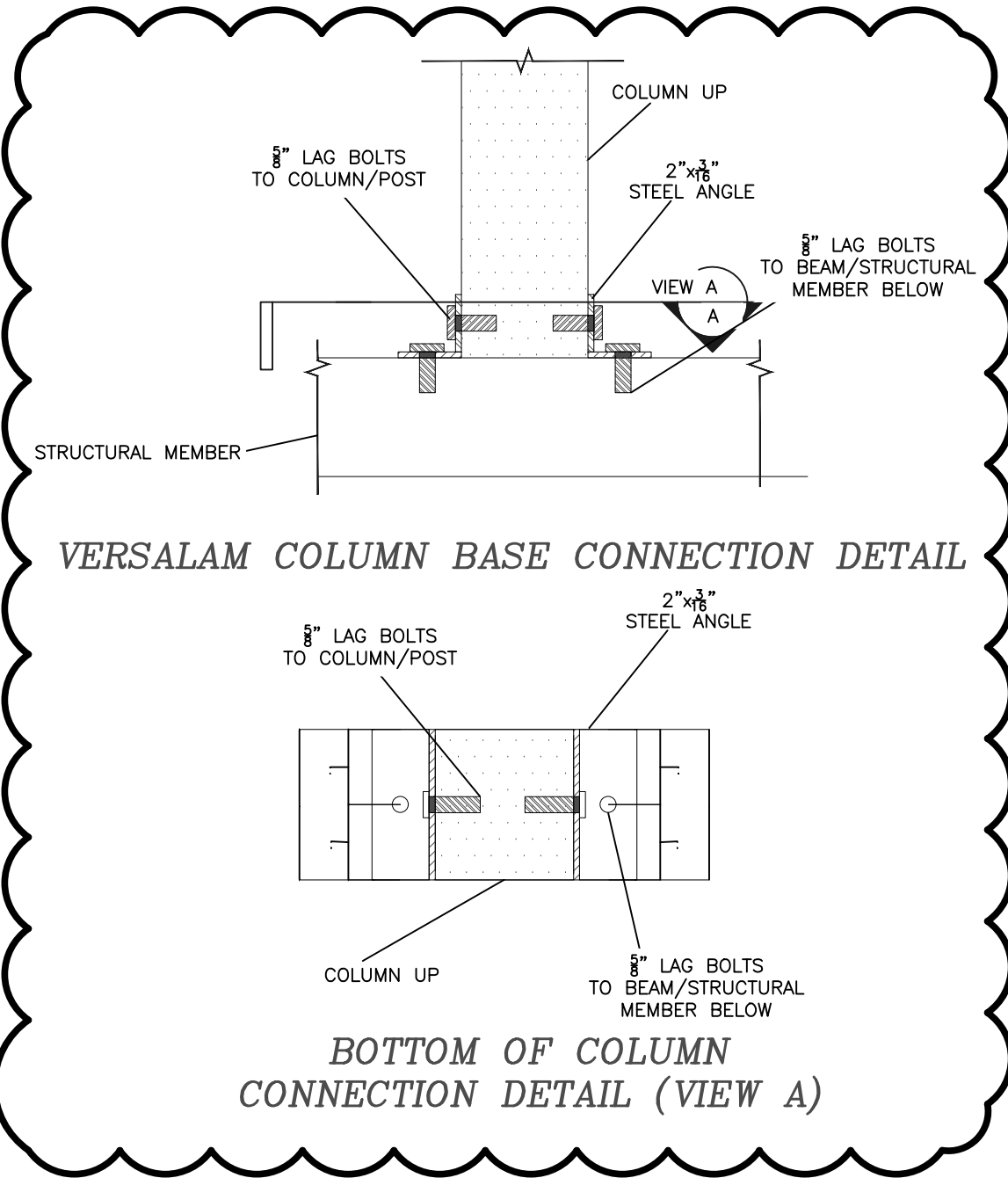
COL. DN  
5 1/2" x 5 1/4" PWT  
TREATED





POST  
UP/DN  
4" x 6" #2

LEDGER  
1 3/4" x 9 1/2" PWT  
TREATED

SECOND FLOOR  
FRAMING



S-002	PROJECT NAME:			SPRUHAN ENGINEERING P.C.		
	36 Beacon St, Somerville, MA Rear Deck			80 JEWETT STREET (SUITE 1) NEWTON MA E-MAIL: edmond@spruhaneng.com TEL: 617 816 07 22		
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