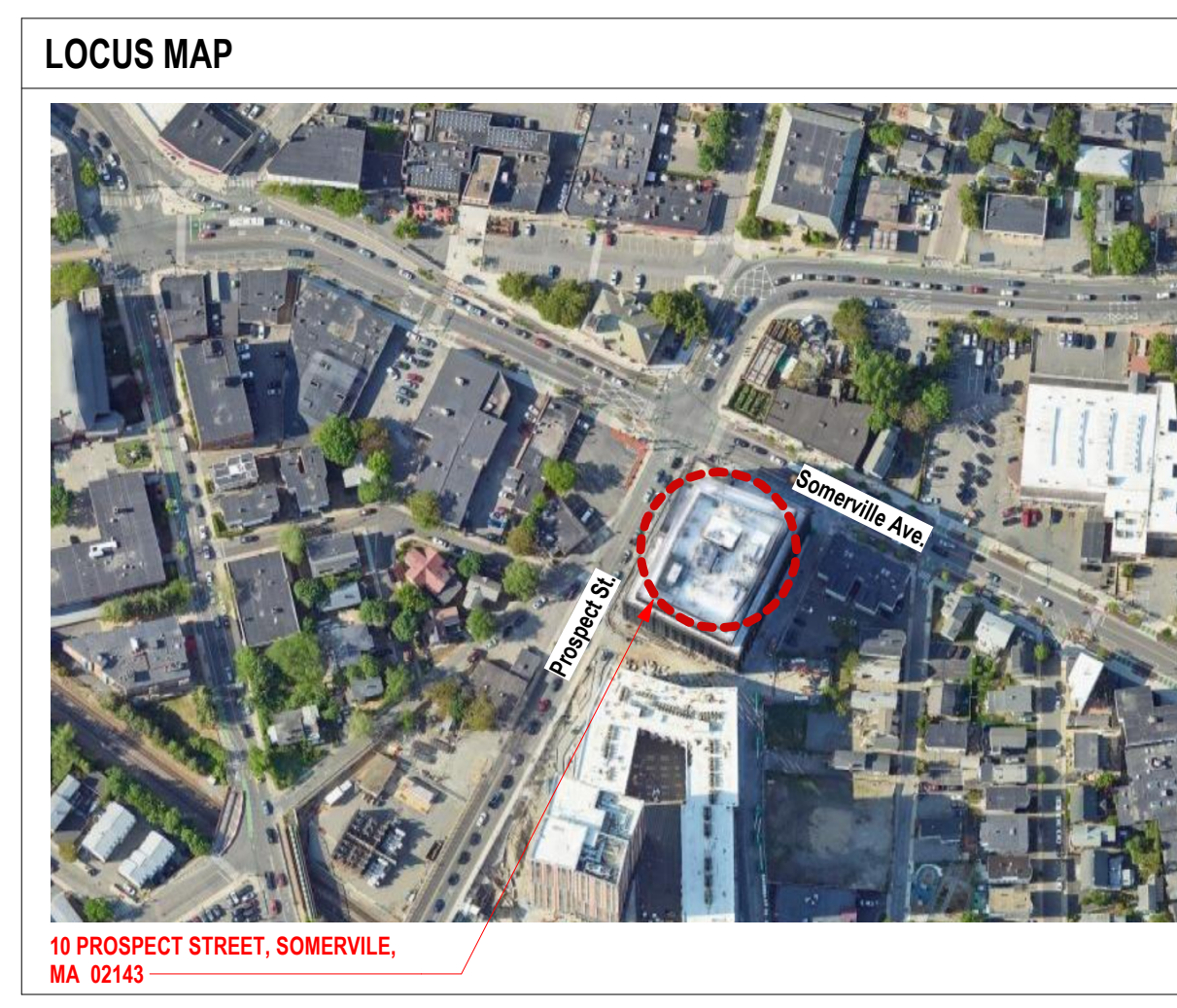


PROSPECT STREET

NOTE: COORDINATION WITH FIRE ALARM DRAWINGS. SEE SHEETS FA 0.01 & FA 1.00 FOR MORE INFORMATION.



SOMERVILLE AVE.

1 EGRESS PLAN, LEVEL 01
A.0.20 3/16" = 1'-0"

USE & TYPE OF CONSTRUCTION (780 CMR CH 3 & 6)			
Per Massachusetts state building code 780 CMR 9th edition/ international building code			
	Existing	Proposed	
Use Group (780 CMR Section 304)	N/A	A-2	
Type of construction (780 CMR Section 602)	1B	1B	
Number of stories	8	ETR	
Fire Protection	Building is Fully Sprinklered	Building is Fully Sprinklered	
Building Element (780 CMR Section 601)		Fire Resistance Rating	
primary structural frame		2	
bearing walls		2	
exterior walls		2	
interior walls		2	
non-bearing walls and interior		0	
floor construction and secondary members		2	
roof construction and secondary members		1	
Notes: See: IBC TABLE 601 for reference.			

PLUMBING FIXTURE ANALYSIS									
Class Code/ Space	Gender	Toilet Analysis				Lavatories Analysis			
		Count	Ratio	Occupancy		Count	Ratio	Occupancy	
A-2	Women	3 toilets	1/25	75	75	2	1/50	75	100
		1 toilet	1/50	50	50	2	1/50	75	100
	Men	1 toilet	50%	25	25				
		1 toilet	1/25	25	25	1	1/50	25	50
	Unsex	1 toilet	1/25	25	25				
Total		6		175	175	6		175	250

EXIT CAPACITY (780 CMR CH 10 TABLES 1006.2.1/1006.3.1)					
Exit Door Width					
		Inches	Ratio	Allowable	Proposed
Exit #1	DASHIZEN (Ramen Cafe)	38.5	0.15	256	49
Exit #2	EBI SUSHI Egress	38.5	0.15	256	126/ 2 = 63
Exit #3	EBI SUSHI Egress	38.5	0.15	256	126/ 2 = 63
TOTAL EXIT CAPACITY				768	175

OCCUPANT LOAD ANALYSIS (780 CMR CH 10)				
ALLOWABLE OCCUPANCY based on Area Calculations for Ebi Sushi & Dashizen				
Floor	Function of Space (Use) Table 1004.1.2	Occupant Load Factor	Area (SF)	Occupancy
1	Assembly (Unconcentrated) Ebi Sushi	15 Net	1,679	112
	Kitchen/ Bar	1/200 Gross	1622.5	8 Min.
	Outdoor Patio (seasonal)	15 Net	346	23
				Occupant Load 143
1	Assembly (Unconcentrated) Dashizen	15 Net	667	44
	Kitchen/ Bar	1/200 Gross	730	4 Min.
				Occupant Load 48
				TOTAL OCCUPANT LOAD 191
A-2 Assembly (Restaurant) EBI SUSHI				
General Dining	Fixed Quantity	Total Seats	30	
	Fixed Quantity	Total Seats	44	
Private Room	Fixed Quantity	Total Seats	14	
Waiting & Standing	5 SqFt	102/ 5 = 20.4	20	proposed
Kitchen/ Bar Staff	200 SqFt/ person	1,622.5/ 200= 8 Min.	18	proposed
			Proposed Occupant Load	*126
Outdoor Patio *Seasonal	Fixed Quantity	Total Seats	*14	
* During Patio Season, indoor occupancy for Ebi Sushi will be reduced to 112 to keep the proposed occupancy of 175 that equal the maximum allowable occupancy per plumbing fixture count of 175.				
A-2 Assembly (Restaurant) DASHIZEN				
General Dining	Fixed Quantity	Total Seats	10	
	Fixed Quantity	Total Seats	34	
Waiting & Standing	5 SqFt	0	0	proposed
Kitchen/ Bar Staff	200 SqFt/ person	730/ 200 = 3.65 Min.	5	proposed
			Proposed Occupant Load	49
			Total Occupant Load	189.14 = 175
TOTAL PROPOSED OCCUPANT LOAD				175

GENERAL NOTES & EGRESS NOTES

- THE FLOOR PLAN BACKGROUND FOR NEW AND EXISTING CONSTRUCTION IS SHOWN IN GRAY HALF-TONE. DESIGNATIONS FOR FIRE RATED PARTITIONS, SMOKE PARTITIONS AND OTHER CODE COMPLIANCE RELATED INFORMATION ARE SHOWN IN FULL BLACK TONE. REFER TO CONTRACT DRAWINGS TO DETERMINE WHICH COMPONENTS ARE NEW AND WHICH ARE EXISTING.
- THE FIRE AND SMOKE DESIGNATIONS FOR EXISTING CONSTRUCTION ARE SHOWN FOR REFERENCE ONLY AND ARE BASED ON INFORMATION PROVIDED BY THE OWNER/CLIENT. THIS INFORMATION HAS NOT BEEN INDEPENDENTLY VERIFIED BY JOE THE ARCHITECT, LLC.
- REFER TO ELECTRICAL DRAWINGS IF APPLICABLE FOR LOCATIONS OF EXIT LIGHTS, EMERGENCY LIGHTS, AND FIRE ALARM SYSTEM.
- REFER TO FIRE PROTECTION DRAWINGS IF APPLICABLE FOR LOCATIONS OF SPRINKLERS AND FIRE PUMP.
- REFER TO PLUMBING DRAWINGS IF APPLICABLE FOR ALL PLUMBING FIXTURE COUNTS.
- REFER TO STRUCTURAL DRAWINGS IF APPLICABLE FOR ALL STRUCTURAL LOADS.

GENERAL NOTES AND LEGENDS

- LIFE SAFETY**
- • • Sprinkler | standard concealed upright
 - Fire alarm pull station
 - Fire alarm control panel
 - Fire alarm remote panel
 - Fire extinguisher cabinet
 - Fire extinguisher wall hung
 - Fire alarm horn & strobe
 - Photoelectric smoke detector
 - Carbon monoxide detector
 - Smoke / carbon monoxide detector
 - Emergency lighting, battery pack
 - Exit signage with direction indicator
- EXIT**
- Building exit arrow indicator
 - Egress path of travel indicator
 - Egress exit triangle indicator
 - Standing Area
 - NIC - NOT IN CONTRACT HATCH

PARTITION FIRE RATING LEGEND

key & graphic symbol	wall type
	default existing partition
	default new partition
	1 hour fire separation
	2 hour fire separation
	3 hour fire separation

PROJECT GENERAL INFORMATION (PROJECT DATA SHEET)

Project Number	941
Project Title	EBI SUSHI & RAMEN CAFE
Project Address	10 PROSPECT STREET, SOMERVILLE MA, 02143
Client Name	EBI SUSHI INC.
Client Address	290 SOMERVILLE AVE. SOMERVILLE MA 02143

PROJECT DESCRIPTION

One restaurant with two service concepts interior fit-out in an existing shell space of approximately 5,100 Sq Ft. The two concepts will share bathrooms and BOH. The program includes two new commercial kitchens with connections in the BOH area and sharing new restrooms. Each space will have a bar and a variety of patron seating.

EXISTING STRUCTURES (IEBC)

Alteration - Level 2 (section 504)
Based on our interpretation of the IEBC 2015 Chapter 5 - Classification of work, 10 Prospect St, Somerville Tenat Space Sa is Alteration - Level 2 (section 504). This work includes, the interior fit-out of an existing shell space with new partitions, doors, extension & addition to the existing mechanical, fire alarm, fire protection, plumbing and electrical systems to match the new bar and kitchen equipment configuration. This work will not exceed 50% of the building Area, therefore it will not need to comply with Chapter 9 Alterations - Level 3 but will comply with all required provisions of Chapter 7 Alterations - Level 1 as well as all the required provisions of Chapter 8 Alterations - Level 2.

APPLICABLE CODES & REGULATIONS (9th EDITION 780 CMR)

Code Type	Applicable Code
MA Building	780 CMR: Massachusetts State Building Code - 9th Edition
As a reminder, the new, ninth edition code is based on modified versions of the following 2015 codes as published by the International Code Council (ICC):	
Residential	International Residential Code 2015 (IRC 2015)
Existing Buildings	International Existing Building Code (IEBC)
Plumbing	248 CMR 10.00: Uniform State Plumbing Code
Energy	International Energy Conservation Code (IECC)
Accessibility	521 CMR: Massachusetts Architectural Access Board Regulations

CLIENT

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FOUNTAINHEAD
foodservice group
Fountainhead Foodservice Group, Inc.
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<CONSULTANT NAME>
<CONSULTANT ADDRESS>



PROJECT INFORMATION
EBI SUSHI & DASHIZEN

10 PROSPECT STREET
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CODE ANALYSIS & EGRESS PLAN

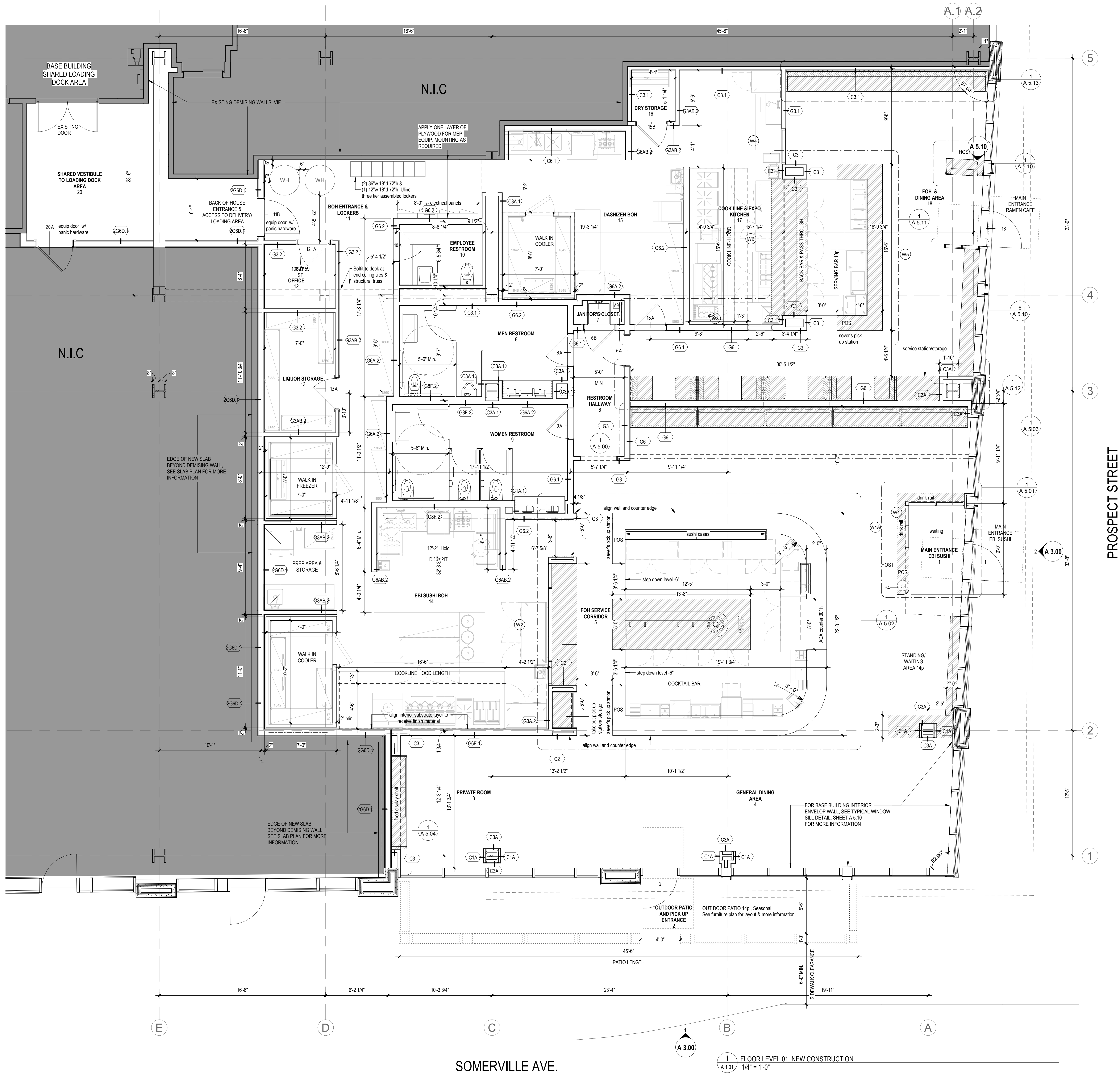
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CONSTRUCTION LEGEND

SYMBOL	DEFINITION
W1	WINDOW TAG
G1	WALL TAG
EXISTING GWB PARTITION TO REMAIN	
EXISTING GLAZED PARTITION TO REMAIN	
NEW GWB PARTITION	
NEW GLAZED PARTITION	
NEW DOOR AND FRAME	
FEC	NEW FIRE EXTINGUISHER
NIC - NOT IN CONTRACT HATCH	
MILLWORK HATCH	

GENERAL NOTES - CONSTRUCTION

- SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION ON WALL FINISH MATERIALS AND TYPICAL MOUNTING HEIGHTS REQUIRED.
- SEE GENERAL CONSTRUCTION NOTES ON SHEET 0001.
- SEE REFLECTED CEILING PLANS FOR CEILING FINISH MATERIALS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AFTER DEMOLITION IS COMPLETED.
- ALL LOCATIONS WHERE INFILL WALLS MEET EXISTING WALLS WITH NEW GWB FINISH SURFACES SHALL ALIGN AT ADJACENT EDGES UNLESS OTHERWISE NOTED.
- EXISTING WALLS SHOWN WITH ADDITIONAL LINES GRAPHICALLY REPRESENT NEW FINISHES AND SHOULD NOT BE BUILT OR FINISHED ACCORDING TO PARTITION AND FINISH SCHEDULE.
- COORDINATE AREAWAY DRAINS AND FLOOR DRAINS WITH PLUMBING DRAWINGS.
- PROVIDE BLOCKING FOR GRAB BARS, PLUMBING FIXTURES, MILL WORK AT ALL REQUIRE LOCATIONS.
- ALL DIMENSIONS INDICATED WITH A ± REPRESENT FIELD MEASUREMENTS TO BE PROVIDED TO ARCHITECT AND VERIFIED BY CONTRACTOR.
- SEE DOOR SCHEDULE FOR ALL DOOR SIZES, DOOR INFO AND DETAILS.
- ALL GLASS WITHIN 18" A.F.F. AND/OR WITHIN 4'-0" OF A DOOR SWING SHALL BE TEMPERED SAFETY GLASS.
- ALL EXISTING WALLS TO BE PATCHED WHERE EXISTING WALLS WERE REMOVED.
- PROVIDE LEVELING COMPOUND OVER ALL EXISTING CONCRETE FLOOR AREAS TO RECEIVE NEW FLOOR COVERING. NO FLOORING TRANSITIONS ARE TO EXCEED 1/2" IN HEIGHT.
- PROVIDE IN-WALL BLOCKING AS REQUIRED.
- PROVIDE IN-WALL BLOCKING FOR ALL FUTURE BUILT-IN CASEWORK WHERE INDICATED.
- PATCH EXISTING GWB AT ALL LOCATIONS WHERE A PARTITION HAS BEEN REMOVED.
- AT ALL AREAS OF MEPPF EQUIPMENT REMOVED FROM WALLS, CONTRACTOR TO PATCH / REPAIR HOLES IN FINISH FROM REMOVED FASTENERS. BLEND PATCHING TO MATCH EXISTING FINISH TO REMAIN.
- SEAL AIR TIGHT ANY PENETRATIONS MADE THROUGH AIR & VAPOR BARRIERS.
- PAINT ALL (N) AND (E) GWB & PLASTER FINISHES IN WORK AREA UNLESS NOTED.
- INTERIOR DIMENSIONS ARE INDICATED TO FINISH WALL (CMU OR GYPSUM BOARD) MATERIALS, U.N.O.
- MEPPF ELEMENTS SHOWN ARE SCHEMATIC AND ARE PROVIDED FOR REFERENCE ONLY. REFER TO MEPPF DRAWINGS & SPECIFICATIONS FOR MORE INFORMATION.
- WINDOW DIMENSIONS ARE TO CENTER LINE OF OPENING; DIMENSIONS ARE NOMINAL. SEE CURTAIN WALL, DOOR & WINDOW SCHEDULE AND DETAILS FOR ACTUAL OPENING DIMENSION REQUIRED.
- PROVIDE LEVELING COMPOUND AS REQ. FOR PROPER TILE INSTALLATION TO ACHIEVE SMOOTH, LEVEL, FLUSH FINISH.
- ALL MATERIAL INSTALLATION TO BE LEVEL & PLUMB.
- SEE A130 SERIES FOR ALL FINISHES.

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EBI SUSHI & DASHIZEN

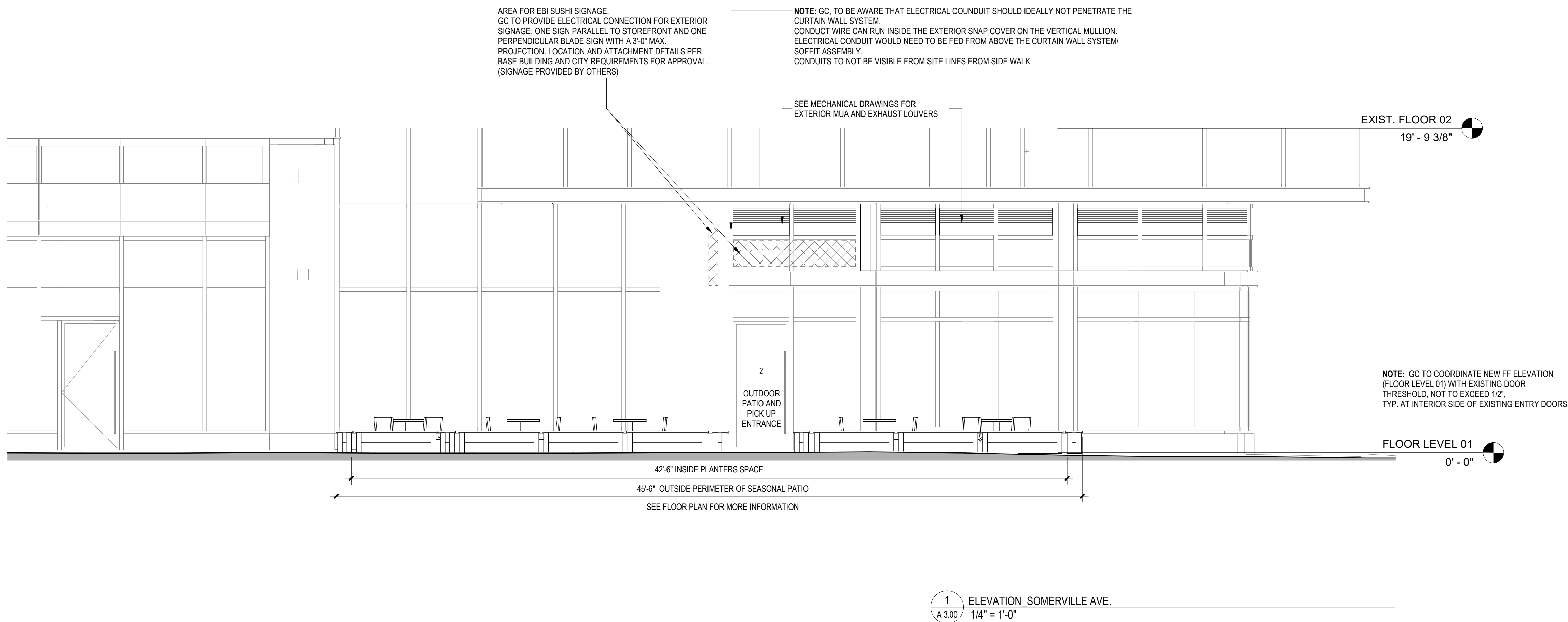
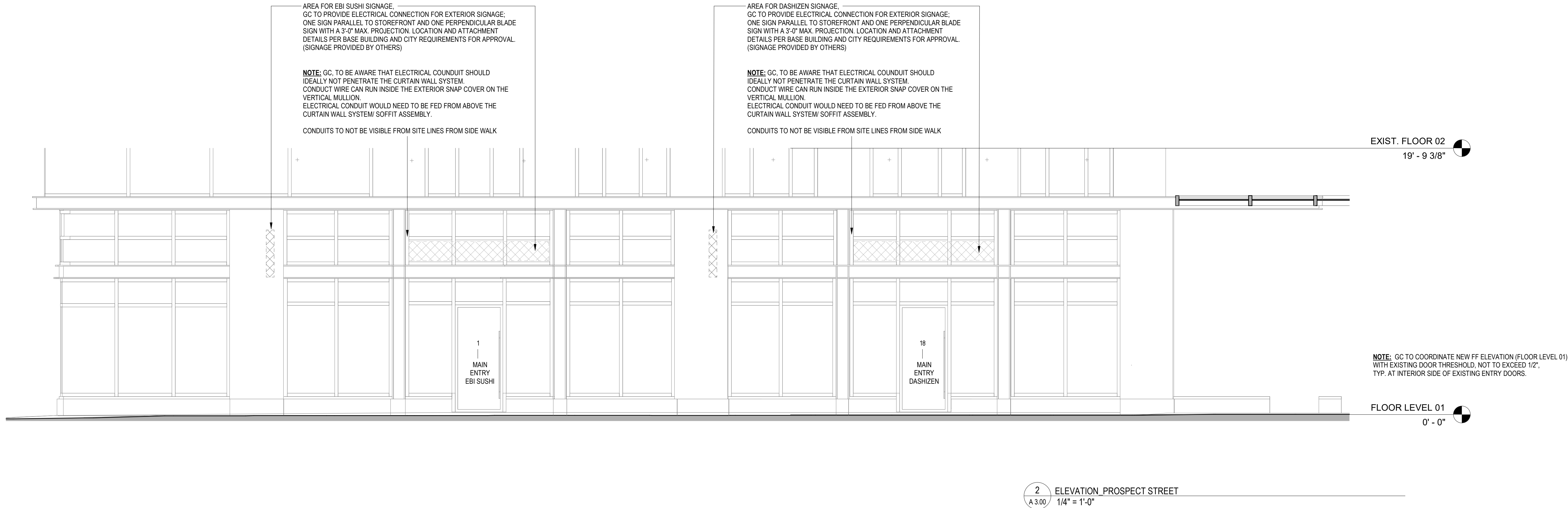
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PROJECT INFORMATION

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**EXTERIOR
ELEVATIONS**

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