

675 Somerville Ave. Mixed Use Housing

3 CRAIGIE STREET / 675 SOMERVILLE AVE,
SOMERVILLE MA 02143

Development Review Application

02-10-2025 ORIGINAL SUBMISSION
05-12-2025 REVISION 1
06-09-2025 REVISION 2

OWNER: 675 SOMERVILLE AVE, LLC
ARCHITECT: **BOS** | UA, LLC
TRAFFIC: HOWARD STAIN HUDSON
LANDSCAPE: OFFSHOOTS, INC



Architectural Plans - Change Narrative

Project Name:	675 Somerville Avenue	Plan Revision:	2
Project #:	24.01	Revision Name:	ISD Comment Resolution
Drafted by:	BOS UA, LLC	Date of Issue:	6/9/2025

#	Sheet	Name	Description	SZO Reference																
1	A0.006	Gross Floor Area Calculations	<div>Revised gross square footage numbers to reflect plan changes that resulted from updated residential lobby width compliance.</div> <table><tr><td>Use Group</td><td>OLD Sq. Ft.</td><td>-</td><td>New Sq. Ft</td></tr><tr><td>Commercial</td><td>2,732 sf</td><td></td><td>2,644 sf</td></tr><tr><td>Residential</td><td>11,899 sf</td><td></td><td>11,999 sf</td></tr><tr><td>Total GSF</td><td>14,631 sf</td><td></td><td>14,643 sf</td></tr></table>	Use Group	OLD Sq. Ft.	-	New Sq. Ft	Commercial	2,732 sf		2,644 sf	Residential	11,899 sf		11,999 sf	Total GSF	14,631 sf		14,643 sf	Record
Use Group	OLD Sq. Ft.	-	New Sq. Ft																	
Commercial	2,732 sf		2,644 sf																	
Residential	11,899 sf		11,999 sf																	
Total GSF	14,631 sf		14,643 sf																	
1	A2.101	First Floor Plan	Long term bike storage moved to the southern wall of Residential Lobby to accommodate new access for Unit 103.	Record																
1.1	A2.101	First Floor Plan	Use & Occupancy – Commercial Space Depth clarified to comply with 30’ minimum of leasable space.	4.1.8.d																
1.2	A2.101	First Floor Plan	Residential lobby entry width increased to 15’ to comply with SZO.	4.1.10.g																
1.3	A2.101 A3.100 A3.101	First Floor Plan North South Elev. East West Elev.	Residential Unit 103 / 103 entry relocated so primary access is off residential lobby / primary front. Removed primary access from the side yard.	2.4.5.b.i.a																
1.4	A2.101	First Floor Plan	Added dimensions and square footage of private yards for ground level units. Units 101, 102 and 103 each have been provided with 50sf of private outdoor amenity space directly accessed by a sliding glass door.	4.1.8.d. 2.4.5.2.viii.a 2.4.5.2.viii.b																
1.5	A2.101	First Floor Plan	Communal outdoor amenity space dimensions and area provided to clarify shared outdoor amenity space to be distributed amongst all 14 units. Approximately 40 SF per unit provided at ground level in addition to private amenity spaces outlined.	2.4.5.2.viii.c																
1.6	A2.101	First Floor Plan	Single commercial space is now being proposed.																	

#	Sheet	Name	Description	SZO Reference																
1.7	A2.101	First Floor Plan	Added 12' curb setback line with dimension to demonstrate compliance.	4.1.8.a/b																
1.8	A2.101	First Floor Plan	Gate moved forward toward Somerville Avenue to respond to UDC comment to limit acces to the ally and respond to abutter comments to restrict this egress alley becoming a parking space.																	
1.9	A2.102 A2.103	Second Floor Plan Third Floor Plan	Added dimensions and square footage of private balconies for upper level units. All units meet or exceed 24sf of clear area for outdoor amenity space In addition, per SZO 2.4.5.2viii.c, 40SF of area attributed to each unit with the common shared outdoor amenity space on the ground level. See A2.101.	4.1.10.k. 2.4.5.2.viii.a 2.4.5.2.viii.b 2.4.5.2.viii.c																
1.10	A2.102 A2.103	Second Floor Plan Third Floor Plan	Clarification of architectural feature providing vertical continuity from floor to floor, to integrate the balconies into the main front façade.	2.4.3.d.ii																
1.11	A2.103	Third Floor Plan	Revised line of structure to be within the 2'-0" setback per SZO.	2.4.3.d.ii																
2.1	A0.006	Gross Floor Area Calculations	Revised gross square footage numbers to reflect plan changes that resulted from updated sidewalk compliance <table><tr><td><u>Use Group</u></td><td><u>OLD Sq. Ft.</u></td><td><u>-</u></td><td><u>New Sq. Ft</u></td></tr><tr><td>Commercial</td><td>2,644 sf</td><td></td><td>2,710 sf</td></tr><tr><td>Residential</td><td>11,999 sf</td><td></td><td>11,969 sf</td></tr><tr><td>Total GSF</td><td>14,643 sf</td><td></td><td>14,679 sf</td></tr></table>	<u>Use Group</u>	<u>OLD Sq. Ft.</u>	<u>-</u>	<u>New Sq. Ft</u>	Commercial	2,644 sf		2,710 sf	Residential	11,999 sf		11,969 sf	Total GSF	14,643 sf		14,679 sf	Record
<u>Use Group</u>	<u>OLD Sq. Ft.</u>	<u>-</u>	<u>New Sq. Ft</u>																	
Commercial	2,644 sf		2,710 sf																	
Residential	11,999 sf		11,969 sf																	
Total GSF	14,643 sf		14,679 sf																	
2.5	A2.101 A2.102	First Floor Plan Second Floor Plan	Internal design for residential Unit 101 was reworked so that primary entry is now off the interior residential lobby. Stair was re-worked to accommodate space required. The new entrance on the Craigie façade was removed as we reworked the ground story entrance. See above.	2.4.5.b.i.a																

#	Sheet	Name	Description	SZO Reference
2.6	A2.101 A2.102	First Floor Plan Second Floor Plan	Removed 2nd floor Balconies for units 202 and 203, and the 3rd floor balconies for units 201, 301, and 302 that were encroaching into the rear and side setbacks. Communal outdoor amenity space provides required outdoor space per unit.	4.1.10.k
2.7	A2.101	First Floor Plan	12 ft sidewalk width is now being met. The exterior wall along Craigie Street moved so that it is 12' clear.	4.1.16.a.i
2.8	A2.101 A2.102	First Floor Plan Second Floor Plan	Massing projections on the Somerville Ave facade were revised so that the walls portions of the façade do not encroach on the front setback. Insulated sheathing and exterior wall finish do encroach up to the 8" maximum, as allowed so per SZO 2.4.3.d.vi	2.4.3.d.vi
2.9	A2.101 A2.102	First Floor Plan Second Floor Plan	Any proposed signage will need to adhere to the requirements from SZO 10.8.	10.8
2.10	A0.007 A3.100	Fenestration Calculations North South Elevations	Added new sheet A0.007 to graphically support fenestration calculations and façade adjustments required. Adjustments to fenestration percentage updated so that calculations independently for each story on each façade are in compliance with SZO.	2.4.5.a.i.a

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EAST & NORTH ELEVATIONS

BUILDING SECTION

SIGNAGE PLAN

1. CLIENT INFORMATION

Client Name: 675 Somerville Ave LLC
Mailing Address: 675 Somerville Ave
City, State, Zip: Somerville, MA 02143
Email: alex@alexandervarelis.com

2. PROJECT INFORMATION

Project Name:	Mixed Use Housing
Project Number:	24.01
Project Address:	3 Craigie Street
City, State, Zip:	Somerville, MA 02143
Type of Construction:	Type VB
Authorizing Town / City:	Somerville
Zone District:	MR3
Tax Designation Section:	38 Sheet: 14 Block: G Lot: 1

3. ZONING MAPS



ZONING DESIGNATION:MR3



HALF-MILE TRANSIT AREA MAP

4. 4.1.8 GENERAL BUILDING DIMENSIONAL REQUIREMENTS

GENERAL BUILDING	MIN/MAX	MR3	PROPOSED	METRIC
Lot Dimensions				
Lot Width	MIN	30	85'	FT
Lot Development				
Lot Coverage	MAX	90	64	%
Green Score	MIN / IDEAL	0.25/0.30	0.256	
Open Space	MIN	15	36	%
Building Setbacks				
Curb Setback	MIN	12	COMPLIES	FT
Primary Front Setback	MIN/MAX	2/12	2	FT
Secondary Front Setback	MIN/MAX	2/12	2	FT
Side Setback	MIN	0(MR3)/10(NR)	8(MR3)/10(NR)	FT
Rear Setback	MIN	10/20(NR)	20 (NR)	FT
Parking Setbacks				
Primary Front Setback	MIN	30	N/A	FT
Secondary Front Setback	MIN	10	N/A	FT
Main Massing				
Building Width	MAX	200	P:85/ S:75	FT
Facade Build Out	MIN			%
Primary Front	MIN	80	COMPLIES	%
Secondary Front	MIN	65	COMPLIES	%
Floor Plate	MAX	15,000	COMPLIES	SF
Ground Story Elevation	MIN	14	14	FT
Story Height	MIN	10	11- 7 1/2"	
Number of Stories	MIN/MAX	2/3	3	
Building Height	MAX	40	40	FT
Roof Type		FLAT	FLAT	
Façade Composition				
Ground Story Fenestration				
Primary facade	MIN	70	COMPLIES	%
Secondary facade	MIN/MAX	15/70	COMPLIES	%
Upper Story Fenestration	MIN/MAX	15/50	COMPLIES	%
Blank Wall	MAX	20	COMPLIES	FT
Use & Occupancy				
Ground Story Entrance Spacing	MAX	30	COMPLIES	FT
Commercial Space Depth	MIN	30	COMPLIES	FT
Density Factor	MIN	1,125	1,125 / 14 UNITS	
Net Zero Ready Building		850	N/A	
Outdoor Amenity Space	MIN	1/DU	COMPLIES	
Roof Mounted Mechanical				
Mech. Equip, Screening, Penthouse Height		10	COMPLIES	FT
Required ADUs	MIN	20	2.8	%
Linkage				
Development <15,000 SF				
Affordable Housing linkage		-	EXEMPT	\$/SF
Employment Linkage		2.46	EXEMPT	\$/SF

5. 4.1.10 GENERAL BUILDING | PERMITTED BUILDING COMPONENTS

ZONING SECTION	DESCRIPTION / REQUIREMENT	PROPOSED/NOT USED
4.1.10	GENERAL BUILDING PERMITTED BUILDING COMPONENTS	
4.1.10E	Awning	NOT USED
4.1.10F	Entry Canopy <u>Standards</u> a) Entry canopies must be visually supported by brackets, cables, or rods. b) The width of an entry canopy must be equal to or greater than the width of the doorway surround or exterior casing it is mounted over Width: see standards Projection: 3 ft (max) Clearance: 8 ft (min) Front setback encroachment: 100% (max) Setback from curb: 2 ft (min)	 27 ft 2'-6" 12 ft 65% >2 ft
4.1.10G	Lobby Entrance <u>Standards</u> When a lobby entrance is set back from the front lot line, the frontage area must be paved. Width: 15 ft min / 30 ft max Height: 80% of Ground Story Height Recessed Entry Width: 15 ft (max) Recessed Entry Depth: 5 ft (max)	 15' 85% NOT USED NOT USED
4.1.10H	Storefront <u>Standards</u> a) An unobstructed view of the interior space or a lighted and maintained merchandise display(s) must be provided for a depth of at least four (4) feet behind storefront display windows. b) When storefronts are set back from the front lot line, the frontage area must be paved. c) When present, awnings and canopies must be mounted between columns, pilasters, or piers; above doorways and display windows; and below the sign band. d) Exterior security grilles, gates, and roll-down security doors and windows are prohibited. Width: 15 ft min / 30 ft max Height: 80% of Ground Story Height Display Window Height: 8 ft (min) Recessed Entry Width: 15 ft (max) Recessed Entry Depth: 5 ft (max)	 28 ft 85% 12 ft NOT USED NOT USED
4.1.10J	Bay Window <u>Standards</u> a) Bay windows, including box and bow windows, must include at least three (3) windows for each story of the bay window. b) The cumulative width of multiple bays may equal up to fifty percent (50%) of the width of the exterior wall from which the bays project. c) Bays projecting over the sidewalk of a public thoroughfare must have at least two (2) stories of clearance and be compliant with all City Ordinances. d) Bay windows may have integrated recessed balconies, terraces, or roof decks. Width: 16 ft (max) Projection: 3 ft (max) Height: Height of building in Stories (max) Setback encroachment: Front: 3 ft (max)	 NOT USED NOT USED NOT USED NOT USED NOT USED

	Side: 0 ft	NOT USED
	Rear: 0 ft	NOT USED
4.1.10K	Balcony	
	<u>Standards</u> a) Balconies may be recessed, projecting, a combination of the two, or terraced as part of the roof of a portico, porch, or bay. b) A balcony that projects over the sidewalk of a public thoroughfare requires compliance with all City Ordinances. c) Side and rear balconies abutting the NR district must include sight-obscuring visual screening so that it is at least fifty percent (50%) opaque.	
	Width: 4 ft (min)	4' / VARIES
	Height: 3 ft (min)	42 in
	Permitted Front Setback	
	Encroachment: 6 ft (max)	1'-4"



6. 4.1.11 FAÇADE DESIGN

ZONING SECTION	DESCRIPTION / REQUIREMENT	COMPLIANT / NOT USED	COMMENTS
4.1.11	FAÇADE DESIGN		
4.1.11.A	Facades must provide solid material framing each storefront and lobby entrance as follows:		
4.1.11.A1	Pilasters or columns supporting a horizontal lintel and cornice;	COMPLIES	
4.1.11.A2	A spandrel positioned between pilasters or columns that extend from upper stories of the building to the ground; or	NOT USED	SEE 4.1.11.A3
4.1.11.A3	Flat wall above and to either side of a void or punched opening.	COMPLIES	
4.1.11.B	Storefronts and lobby entrances must be set within the resulting frame provided for each by the facade.	COMPLIES	Glass corner provided per UDC recommendation for visibility.
4.1.11.C	Materials framing each storefront or lobby entrance may be integrated into the design of the facade or customized for individual storefronts and lobby entrances.	COMPLIES	Integrated with façade materiality.
4.1.11.D	Mechanical louvers necessary for venting purposes are not permitted in the required frame but may be incorporated into any storefront or lobby entrance system.	COMPLIES	Incorporated into storefront system
4.1.11.E	Facades must differentiate the <u>ground story</u> of the building from the upper stories through horizontal articulation, a change in material, or a change in window size or pattern to create a distinct base to the building facade. The entire height of the ground story must be included in the facade base.	COMPLIES	Combination of material change and window type change to differentiate ground story from the rest of the building.
4.1.11.F	For buildings with more than one facade, the design of the base must align horizontally at the corner.	COMPLIES	Façade turns corner on Craigie and aligns.
4.1.11.G	Facades must provide surface relief from the average plane of the facade by at least four (4) inches, through the <u>use</u> of architectural elements such as bay windows, columns, <u>corner boards</u> , cornices, door and window surrounds, moldings, <u>piers</u> , pilasters, recessed storefronts or lobby entrances, seat walls, sills, wall thickness, and recessed or projecting windows.	COMPLIES	Combination of different types of articulation to provide surface relief such as balconies and recessed window frames.
4.1.11.H	The facade of any <u>principal building</u> greater than one	NOT USED	Façades are less than



	hundred (100) feet in width must be divided vertically and designed as two (2) or more separate and distinct facades of differing architectural treatment so that the building appears to be multiple buildings. Modifications to the facade of existing buildings are exempt. See figure 4.1.11 (b). The differentiation between facade designs must include the following:		100 ft.
4.1.11.H1	A change in cornice, roof eave, or parapet;	NOT USED	
4.1.11.H2	A change in wall material; and	NOT USED	
4.1.11.H3	A pilaster or column on either side of the division between each facade.	NOT USED	

7. 4.1.12 ARCHITECTURAL DESIGN GUIDELINES

ZONING SECTION	DESCRIPTION / REQUIREMENT	COMPLIANT / NOT USED	COMMENTS
4.1.12	ARCHITECTURAL DESIGN GUIDELINES		
4.1.12.A	Facades should be visually divided into a series of architectural bays that are derived, in general, from the building's structural bay spacing.	COMPLIES	
4.1.12.B	Piers, pilasters, or other features defining each architectural bay should either extend all the way to the ground or terminate at any horizontal articulation defining the base of the building .	COMPLIES	Brick piers extend to the ground defining each bay, except at the corner (see 4.1.11.B)
4.1.12.C	Architectural bays should align, in general, with individual or groups of storefronts and lobby entrances.	COMPLIES	
4.1.12.D	Piers, pilasters, or other features defining each architectural bay should always project forward and be uninterrupted by any horizontal articulation, excluding any horizontal articulation used to differentiate the base of the building.		
4.1.12.E	Vents, exhausts, and other utility features on building facades should be architecturally integrated into the design of the building and should be located to minimize adverse effects on pedestrian comfort along sidewalks and within open spaces .	COMPLIES	Integrated in storefront for retail and above 10 ft for pedestrian comfort.
4.1.12.F	Buildings at terminated vistas should be articulated with design features that function as focal points.	NOT USED	
4.1.12.G	Fenestration glazing should be inset from the plane of exterior wall surfaces.	COMPLIES	
4.1.12.H	Ribbon windows should be avoided.	COMPLIES	No ribbon windows
4.1.12.I	Monotonous and repetitive storefront or lobby systems, awnings, canopies, sign types, colors, or designs should be avoided.	NOT USED	
4.1.12.J	Storefronts and lobby entrances should include awnings or canopies to provide weather protection for pedestrians and reduce glare for storefront display areas. Awnings should be open-ended and operable.	COMPLIES	Canopies used for weather protection and signage support.
4.1.12.K	Lobby entrances for upper story uses should be optimally located, well defined, clearly visible, and separate from the entrance for other ground story uses.	COMPLIES	Lobby entrances are visible and distinct.
4.1.12.L	Lobbies should be limited in both width and total area to preserve floor space and frontage for other ground story uses. Buildings should use any	COMPLIES	Change of plane and material used.

	combination of facade articulation, a double-height ceiling, a distinctive doorway, a change in wall material, a change in paving material within the frontage area , or some other architectural element(s) to make lobbies visual and materially distinctive.		
4.1.12.M	The selection of materials, fenestration, and ornamentation should result in a consistent and harmonious composition that appears as a unified whole rather than a collection of unrelated parts.	COMPLIES	The building has a cohesive material palette that unifies the massing,
4.1.12.N	The type and color of materials should be kept to a minimum, preferably three (3) or fewer.	COMPLIES	One primary material and (2) accent materials used.
4.1.12.O	Two (2) or more wall materials should be combined only one above the other, except for bay windows.	NOT USED	
4.1.12.P	Wall materials appearing heavier in weight should be used below wall materials appearing lighter in weight (wood and metal above brick, and all three above stone).	NOT USED	
4.1.12.Q	Horizontal or vertical board siding or shingles, regardless of material, should be avoided.	COMPLIES	No horizontal or vertical board siding used, or shingles.
4.1.12.R	Architectural details and finish materials for the base of a building should be constructed of architectural concrete or pre-cast cementitious panels, natural or cast stone, heavy gauge metal panels, glazed or unglazed architectural terracotta, or brick.	COMPLIES	Brick, cementitious panel, glazing systems and concrete used at base.
4.1.12.S	Exterior Insulation and Finish Systems (EIFS) should be avoided.	COMPLIES	No EIFS used
4.1.12.T	Mechanical penthouses and screening should be located to minimize adverse environmental impacts on civic spaces , sidewalks, and abutting lots .	COMPLIES	
4.1.12.U	Vents, stacks, railings and other components of mechanical equipment required to be outdoors or to project above a penthouse should be limited in height and located toward the center of the roof to every extent practicable.	COMPLIES	

8. 4.1.13 PERMITTED USES

Table 4.1.13 Permitted Uses (continued)

Use Category Specific Use	MR3
Commercial Services	
Animal Services (as noted below)	--
Commercial Kennel	SP
Pet Grooming	P
Pet Daycare & Training	SP
Veterinarian	SP
Assembly or Entertainment	SP (SP)
Banking & Financial Services (except as follows)	P
Personal Credit	SP
Broadcast and/or Recording Studio	P
Building & Home Repair Services	SP
Business Support Services	P
Caterer/Wholesale Food Production	SP
Day Care Service (as noted below)	--
Adult Day Care Center	P
Child Day Care Center	P
Educational Services	P
Maintenance & Repair of Consumer Goods	P
Personal Services (except as follows)	P (P)
Body-Art Services	P (P)
Fitness Services	P (SP)
Funeral Services	SP
Health Care Services	SP (SP)
Recreation Services	SP (SP)
Vehicle Parking (as noted below)	--
Bike Share Parking	P
Car Share Parking (3 or fewer spaces)	P
Car Share Parking (4 or more spaces)	P
Commercial Parking	P

P - Permitted SP - Special Permit Required N - Not Permitted
(P or SP) - Permitted as specified per §4.1.13.b

Table 4.1.13 Permitted Uses (continued)

Use Category Specific Use	MR3
Food and Beverage Service	
Bar/Restaurant/Tavern	P (P)
Bakery/Café/Coffee Shop	P (P)
Lodging	
Bed & Breakfast	SP
Hotel or Hostel	SP
Office	
General Office	P
Research and Development or Laboratory	P
Residential	
Household Living	SP
Group Living (except as follows)	SP
Community or Group Residence	P
Dormitory, Fraternity or Sorority	SP
Homeless Shelter	SP
Nursing Home/Assisted Living Facility	SP
Rooming House	SP
Retail Sales	
Building/Home Supplies & Equipment	SP (SP)
Consumer Goods (except as follows)	P (P)
Alcohol Sales	SP (SP)
Firearms Sales	N
Pet Store	SP (SP)
Fresh Food Market or Grocery Store	P (P)
Farm/Vendor Market	P (P)
Urban Agriculture	
Farming (as noted below)	--
Commercial Farming	P
Community Farming	P
Community Gardening	P

P - Permitted SP - Special Permit Required N - Not Permitted
(P or SP) - Permitted as specified per §4.1.13.b

Household Living

Residential occupancy of a building or portion of a building in dwelling units by any number of persons related by blood, marriage, adoption, or foster care agreement and up to three (3) additional unrelated persons living together as a single housekeeping unit. Rental of a dwelling unit for less than one (1) month requires compliance with all City Ordinances. I. In addition to the review criteria for all Special Permits specified in §15.2.1.e. Review Criteria, the review board shall make findings considering the following in its discretion to approve or deny a special permit authorizing a Household Living principal use: a). The suitability of the site for a household living principal use compared to other potential principal uses. b). The ability of the development proposal to meet the demand for dwelling units of various types, sizes, and bedroom counts. c). The increase or decrease in the number or price of any

previously existing ADUS). The number of motor vehicle parking spaces proposed for development within a Transit Area.

9. 4.1.15 PARKING

Table 4.1.15 Vehicular Parking

Use Category Specific Use	BICYCLE		MOTOR VEHICLE	
	Short-Term (min)	Long-Term (min)	Within a Transit Area ¹ (max)	Outside of a Transit Area ¹ (min)
Arts & Creative Enterprise				
All Permitted Uses	1 / 10,000 sf	1 / 3,000 sf	1 / 800 sf	1 / 1,000 sf
Cannabis Establishment				
Cannabis Retail Sales	1 / 2,500 sf	1 / 10,000 sf	1 / 1,500 sf	1 / 750 sf
Cannabis Research & Development	1 / 20,000 sf	1 / 5,000 sf	1 / 1,000 sf	1 / 1,000 sf
Cannabis Testing Laboratory	1 / 20,000 sf	1 / 5,000 sf	1 / 1,000 sf	1 / 1,000 sf
Civic & Institutional				
Community Center	1 / 10,000 sf	4 / 10,000 sf	1 / 1,800 sf	1 / 600 sf
Educational Facility	1.0 / classroom	4.0 / classroom	1.5 / classroom	3.0 / classroom
Hospital	10 per entrance	1 / 5,000 sf	1 / 200 sf	1 / 1,000 sf
Library	1 / 3,000 sf	1 / 5,000 sf	1 / 800 sf	1 / 500 sf
Minor Utility Facility	n/a	n/a	n/a	n/a
Museum	1 / 2,000 sf	1 / 10,000 sf	1 / 800 sf	1 / 500 sf
Private Non-Profit Club or Lodge	1 / 2,000 sf	1 / 10,000 sf	1 / 200 sf	1 / 1,000 sf
Commercial Services				
Animal Services (as noted below)	--	--	--	--
Commercial Kennel	1 / 2,500 sf	1 / 10,000 sf	1 / 500 sf	1 / 500 sf
Pet Grooming	1 / 2,500 sf	none	1 / 500 sf	1 / 500 sf
Pet Day Care or Training	1 / 2,500 sf	none	1 / 500 sf	1 / 500 sf
Veterinarian	1 / 2,500 sf	1 / 5,000 sf	1 / 500 sf	1 / 500 sf
Assembly or Entertainment	1 / 40 seats	1 / 10,000 sf	1 / 6 seats	1 / 6 seats
Banking & Financial Services (except as noted below)	1 / 2,000 sf	1 / 10,000 sf	1 / 450 sf	1 / 400 sf
Broadcast and/or Recording Studio	1 / 2,500 sf	1 / 10,000 sf	1 / 800 sf	1 / 600 sf
Building & Home Repair Services	1 / 2,500 sf	1 / 10,000 sf	1 / 1,000 sf	1 / 2,000 sf
Business Support Services	1 / 2,500 sf	1 / 10,000 sf	1 / 900 sf	1 / 600 sf
Caterer/Wholesale Food Production	1 / 2,500 sf	1 / 10,000 sf	1 / 800 sf	1 / 1,000 sf
Day Care Service	2	1 / 10,000 sf	1 / 900 sf	1 / 600 sf
Maintenance & Repair of Consumer Goods	1 / 2,500 sf	1 / 10,000 sf	1 / 750 sf	1 / 1,000 sf
Personal Services (except as noted below)	1 / 2,500 sf	1 / 10,000 sf	1 / 750 sf	1 / 1,000 sf
Health Care Services	1 / 2,000 sf	1 / 10,000 sf	1 / 500 sf	1 / 300 sf
Recreation Services	1 / 2,500 sf	1 / 10,000 sf		

sf - Gross Leasable Square Footage

DU - Dwelling Unit RU - Rooming Unit

¹ See the Transit Area Map

Table 4.1.15 Vehicular Parking (continued)

Use Category Specific Use	BICYCLE		MOTOR VEHICLE	
	Short-Term (min)	Long-Term (min)	Within a TRANSIT AREA ¹ (max)	Outside of a TRANSIT AREA ¹ (min)
Food and Beverage Service				
All Permitted Uses	1 / 1,000 sf	1 / 5,000 sf	1 / 300 sf	1 / 500 sf
Lodging				
Bed & Breakfast	n/a	2	1 / DU + 1 / 4 guest rooms	1 / DU + 1 / 4 guest rooms
Hotel or Hostel	1 / 20 rooms	1 / 10 rooms	1 / 2 rooms	1 / 2 rooms
Office				
Co-Working	1 / 20,000 sf	1 / 3,000 sf	1 / 1,200 sf	1 / 800 sf
General Office	1 / 20,000 sf	1 / 3,000 sf	1 / 900 sf	1 / 650 sf
Research and Development or Laboratory	1 / 20,000 sf	1 / 5,000 sf	1 / 1,000 sf	1 / 1,000 sf
Residential				
Household Living	0.1 / DU	1.0 / DU	1.0 / DU	1.0 / DU
Group Living (except as follows)	0.05 / RU	0.5 / RU	—	—
Community or Group Residence	—	—	—	—
Dormitory, Fraternity or Sorority	0.1 / bed	0.5 / bed	.05 / bed	1.0 / 4 beds
Homeless Shelter	—	—	4.0	4.0
Nursing Home/Assisted Living Facility	—	—	1 / 6 beds	1 / 6 beds
Single Room Occupancy Housing	—	—	1 / 6 beds	1 / 4 beds
Retail Sales				
Building/Home Supplies & Equipment	1 / 2,500 sf	1 / 10,000 sf	1 / 1,000 sf	1 / 1,000 sf
Consumer Goods (except as follows)	1 / 2,500 sf	1 / 10,000 sf	1 / 1,500 sf	1 / 750 sf
Fresh Food Market or Grocery Store	1 / 1,000 sf	1 / 10,000 sf	1 / 500 sf	1 / 1,500 sf
Farm/Vendor Market	n/a	n/a	n/a	1 / 1,500 sf

sf - Gross Leasable Square Footage

DU - Dwelling Unit RU - Rooming Unit

¹ See the Transit Area Map

10. REQUIRED PERMITS, APPROVALS & CERTIFICATIONS

Fire Suppression / Sprinkler System required:

☒ Yes ☐ No

Construction Permit

☒ Yes ☐ No

Special Use Permit required:

☒ Yes ☐ No

Wetlands Permit required:

☐ Yes ☒ No

Other permit(s) required:

County Board of Health approval required:

☐ Yes ☒ No

Zoning Board of Appeals approval required:

☒ Yes ☐ No

Planning Board (Site Plan) approval required:

☒ Yes ☐ No

Board of Architectural Review approval required:

☒ Yes ☐ No

Board of Historic Preservation approval required:

☐ Yes ☒ No

LEED Certifiable (>25,000 GSF):

☐ Yes ☒ No

Other required approval(s):

YEAR BUILT: 1960 <75 YEARS

04 ARCHITECTURAL PLANS

ZONING DIMENSIONAL STANDARDS TABLE(S)

COVER PAGE WITH LOCUS MAP

GROSS FLOOR AREA CALCULATION

LIGHTING PLAN(S)

FIRST FLOOR PLAN

SECOND FLOOR PLAN

THIRD FLOOR PLAN

WEST & SOUTH ELEVATIONS

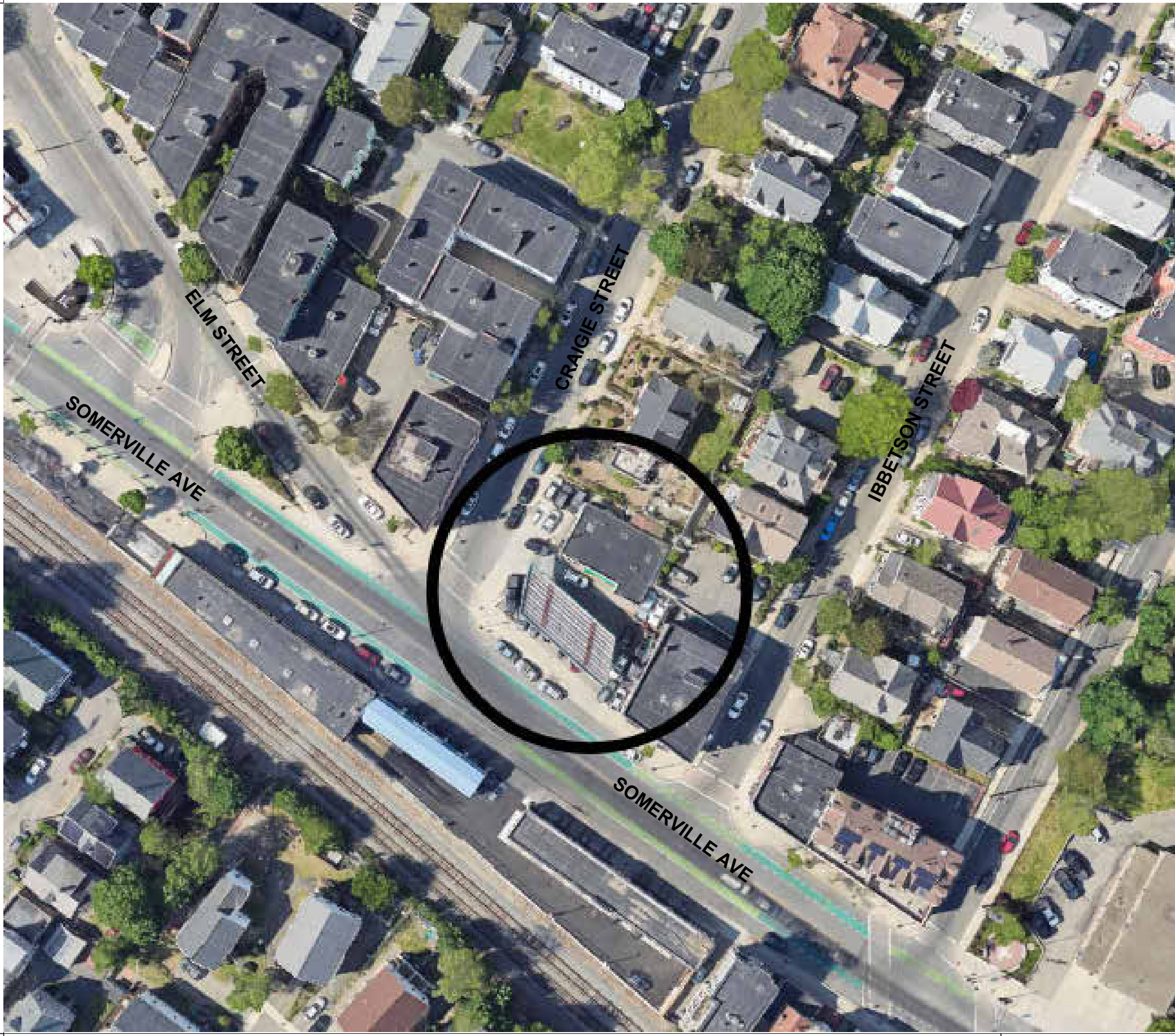
EAST & NORTH ELEVATIONS

BUILDING SECTION

SIGNAGE PLAN



LOCUS MAP
3 CRAIGIE ST / 675 SOMERVILLE AVE. , SOMERVILLE, MA 02143



PROJECT DESCRIPTION

THE PROPOSED DEVELOPMENT AT 3 CRAIGIE ST. / 675 SOMERVILLE AVENUE IS A LOCAL OWNER-DEVELOPED 3-STORY, ALL ELECTRICAL, MIXED-USE GENERAL BUILDING FEATURING COMMERCIAL SPACE ON THE GROUND FLOOR, WITH RENTAL HOUSING UNITS ON THE GROUND (ADA) AND UPPER FLOORS. SITUATED WITHIN THE MR3 ZONING DISTRICT, THE PROJECT ADHERES TO ALL CRITERIA SPECIFIED IN THE SOMERVILLE ZONING ORDINANCE. THE DEVELOPMENT INCLUDES 14 RENTAL UNITS, CONTRIBUTING TO SOMERVILLE'S HOUSING STOCK. THE PROJECT WILL OFFER SEVEN 2-BEDROOM UNITS AND FIVE 1-BEDROOM UNITS, AND TWO STUDIOS WITH TWO OF THESE UNITS (ONE 1-BEDROOM AND ONE STUDIO) DESIGNATED AS AFFORDABLE ACCORDING TO THE SOMERVILLE ZONING ORDINANCE. RESIDENTIAL USE IS BEING REQUESTED THROUGH A SPECIAL PERMIT. LOCATED WITHIN THE HALF-MILE TRANSIT AREA MAP, THE PROJECT PROPOSES NO PARKING, BY RIGHT.

**675 Somerville Ave.
Mixed-Use Housing**

3 CRAIGIE STREET / 675 SOMERVILLE AVE, SOMERVILLE MA 021

**Development Review
Application**

05/12/2025

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A0.010	Lighting Compliance Plans
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APPROVAL STAMP

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ACOUSTIC CONSULTANT

STAMP



REVISIONS

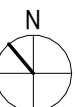
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DEVELOPMENT REVIEW APPLICATION 02/10/2025

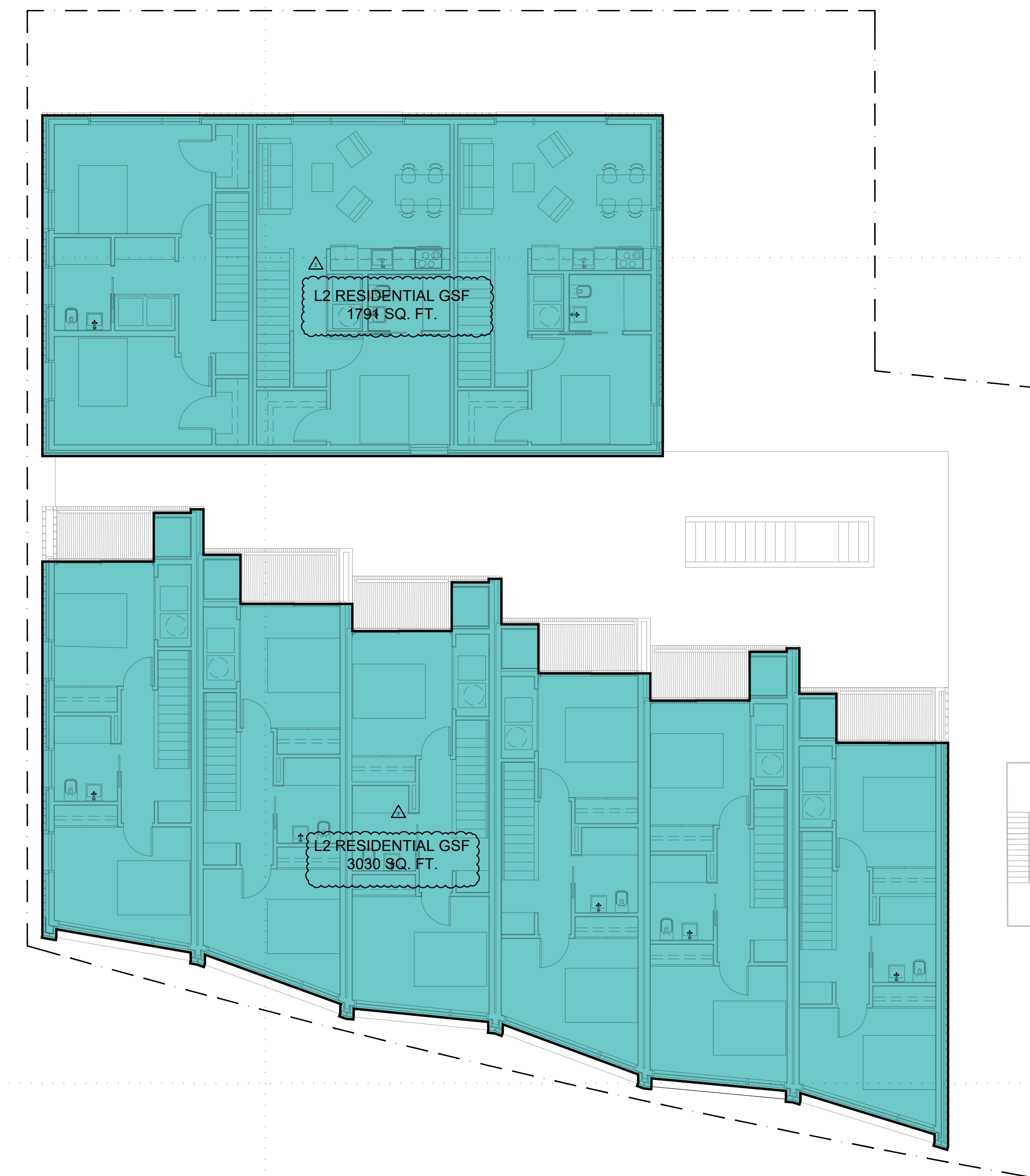
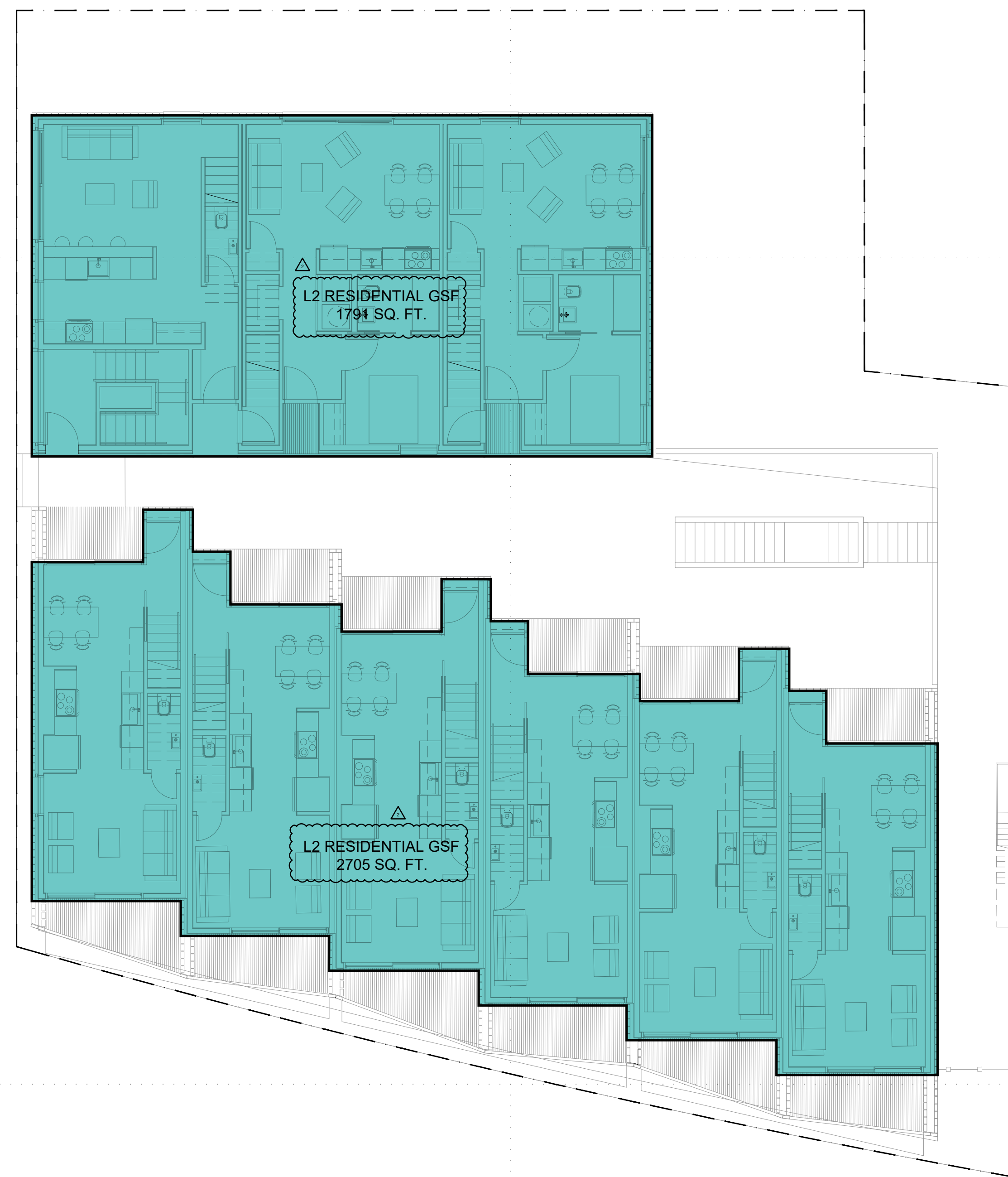
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SCALE

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A0.001





AREA SCHEDULE		
LEVEL	NAME	AREA
LEVEL 1	L1 RESIDENTIAL GSF	2652 SQ. FT.
LEVEL 1	L1 COMMERCIAL GSF	2710 SQ. FT.
LEVEL 2	L2 RESIDENTIAL GSF	1791 SQ. FT.
LEVEL 2	L2 RESIDENTIAL GSF	2705 SQ. FT.
LEVEL 3	L3 RESIDENTIAL GSF	1791 SQ. FT.
LEVEL 3	L3 RESIDENTIAL GSF	3030 SQ. FT.
TOTAL		14879 SQ. FT.

[illegible]

GROSS FLOOR AREA CALCULATIONS

SCALE	
1/8" = 1'-0"	
	DRAWING NUMBER

A0.006



LIGHTING FIXTURE SCHEDULE
Somerville Zoning Ordinance 10.7 Lighting
675 Somerville Ave
Project is in Somerville Zone MR3

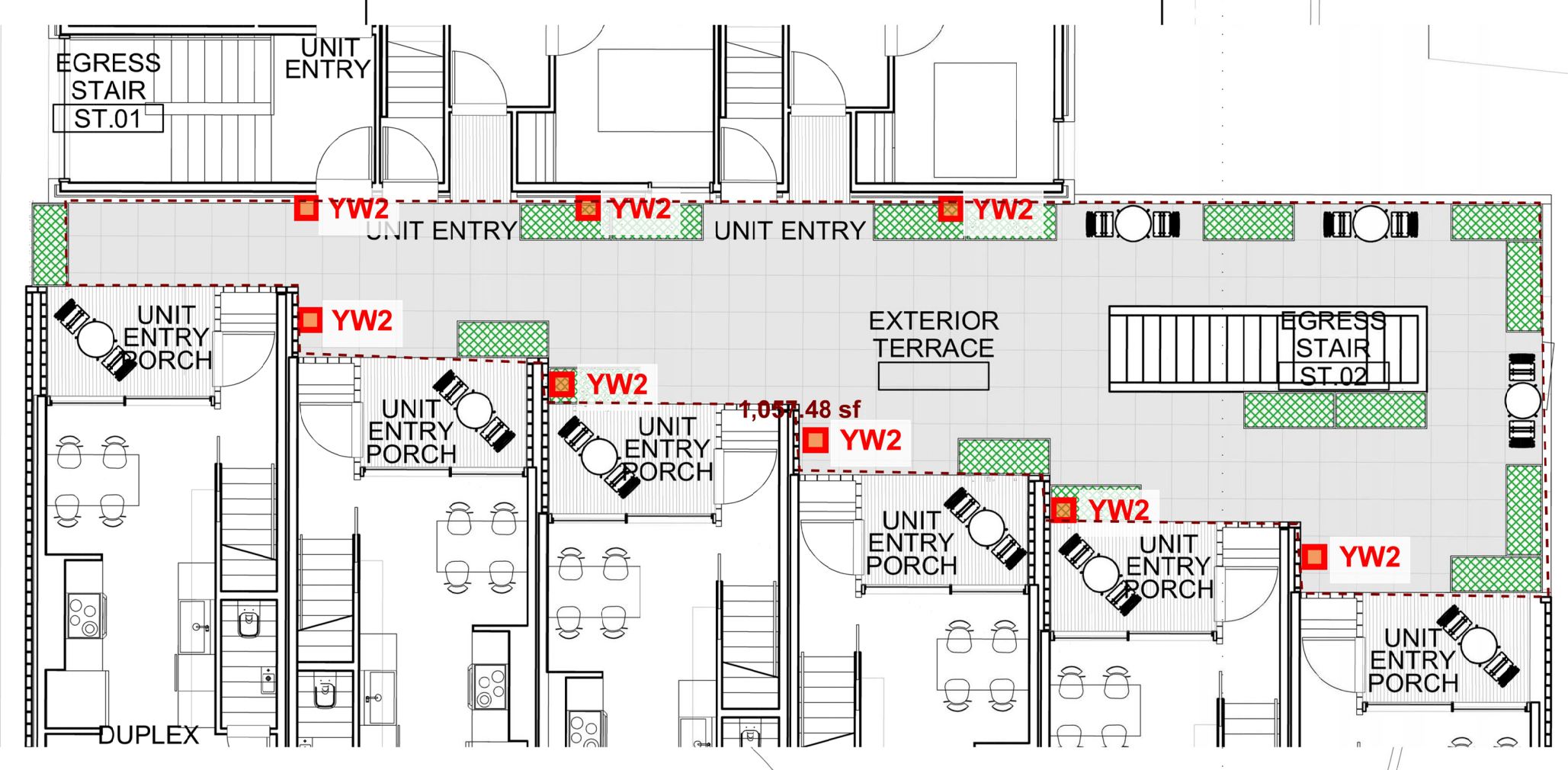
Date issued: 3-Feb-2025
revised:

Lam Project #25006
Written by: GCH
Checked by:

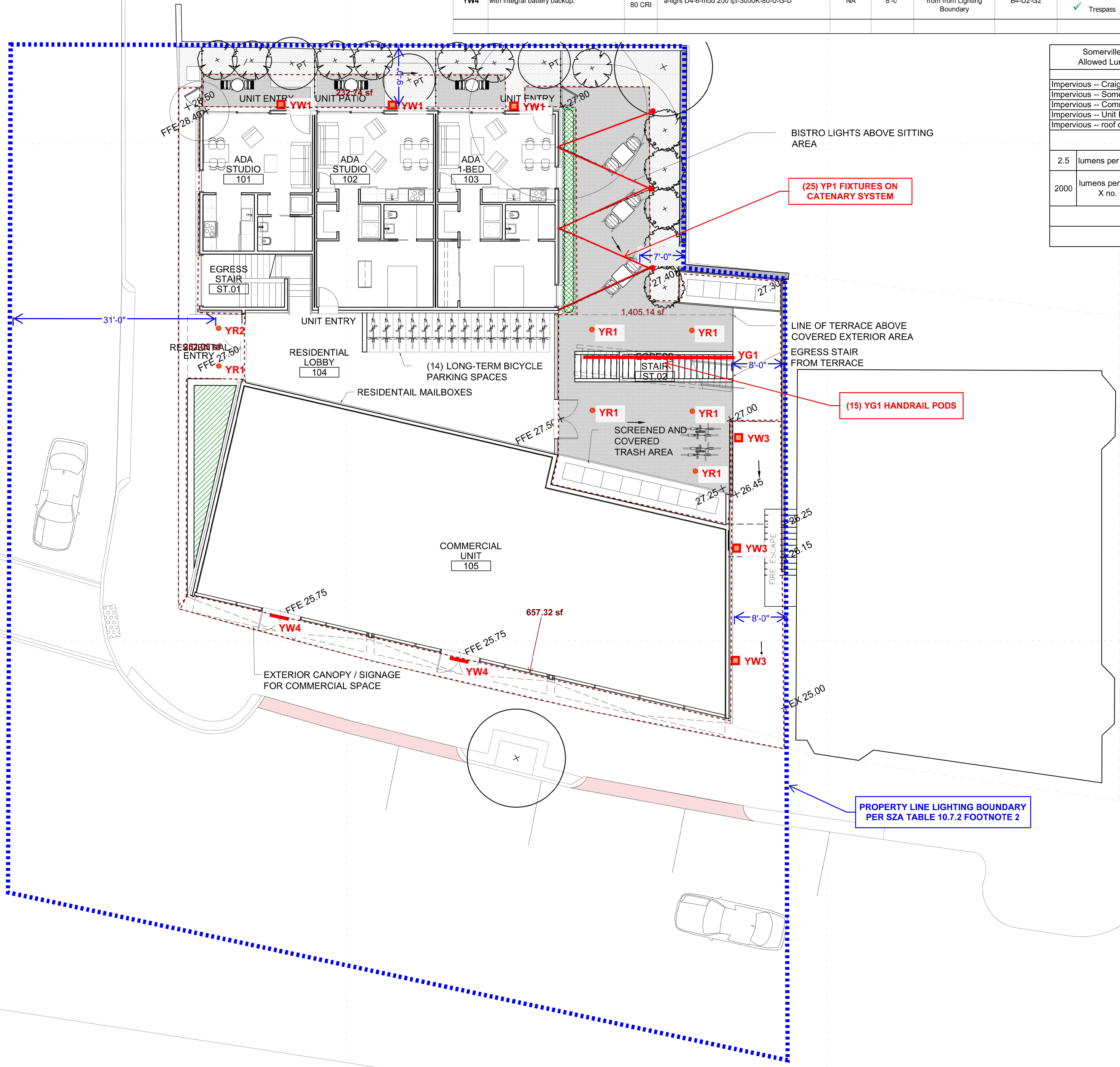
Fixture Type	Description	CCT CRI	Fixture (Manufacturers and Models)	B.U.G	Mounting Height	Worst Case MH to Lighting Boundary	Max B.U.G Rating Allowed	Passes?
YG1	Asymmetric Light Pod in Handrail for Stair Lighting	2700K 80 CRI	Klik LEDpod 40 asymmetric 700ma	B0-U1-G0	4'-0"	1 to less than 2 Mounting Heights from Lighting Boundary	B3-U3-G1	✓ Uplight ✓ Trespass
YP1	Small scale exterior downlight cylinder with decorative glow trim mounted on catenary cable system	2700K 80 CRI	Tegan EX5 Flat GEM on Exton Powerspan Cable System	B0-U2-G0	10'-0"	0.5 to 1 mounting heights from Lighting Boundary	B3-U2-G0	✓ Uplight ✓ Trespass
YR1	Recessed 4" shallow plenum downlight, Air-seal/IC and Wet Location rated	2700K 80 CRI	Gotham - 4" IVO Downlight #IV04S-D-05LM-27K-80CRI-WD-MIN10-MVOLT-ZT-ICAT-WL-P-LD-F	B1-U0-G0	10'-0"	>2 Mounting Heights from from Lighting Boundary	B4-U2-G2	✓ Uplight ✓ Trespass
YR2	Recessed 4" shallow plenum lensed wallwasher, Air-seal/IC and Wet Location rated	2700K 80 CRI	Gotham - 4" IVO Downlight #IV04S-WW-05LM-27K-80CRI-WD-MIN10-MVOLT-ZT-ICAT-WL-P-LD-F	B1-U0-G0	10'-0"	>2 Mounting Heights from from Lighting Boundary	B4-U2-G2	✓ Uplight ✓ Trespass
YW1	Small wall mount downlight	2700K 80 CRI	Lithonia - Wedge #WDGE1 LED-P0-27K-80CRI-VW-MVOLT-SRM-E4WH	B0-U0-G0	6'-0"	1 to less than 2 Mounting Heights from Lighting Boundary	B3-U3-G1	✓ Uplight ✓ Trespass
YW2	Small wall mount downlight with integral battery backup	2700K 80 CRI	Lithonia - Wedge #WDGE1 LED-P0-27K-80CRI-VW-MVOLT-SRM-E4WH	B0-U0-G0	18'-0"	1 to less than 2 Mounting Heights from Lighting Boundary	B3-U3-G1	✓ Uplight ✓ Trespass
YW3	Small wall mount downlight with integral battery backup	2700K 80 CRI	Lithonia - Wedge #WDGE1 LED-P0-27K-80CRI-VW-MVOLT-SRM-E4WH	B0-U0-G0	8'-0"	0.5 to 1 Mounting Heights from Lighting Boundary	B3-U2-G0	✓ Uplight ✓ Trespass
YW4	Mullion mount linear wet location downlight with integral battery backup.	3000K 80 CRI	a-light D4-6-mod 200 lpf-3000K-80-U-G-D	NA	8'-0"	>2 Mounting Heights from from Lighting Boundary	B4-U2-G2	✓ Uplight ✓ Trespass

Lumen Density Analysis			
Quantity (unit or LF)	Lumens per unit or LF	Total	
YG1	15	180	2400
YP1	25	250	6250
YR1	8	500	4000
YR2	1	500	500
YW1	3	694	2082
YW2	8	694	5552
YW3	3	694	2082
YW4	2	600	1200
Total Exterior Lumens		24066	

Somerville Zoning Ordinance: Outdoor Lighting Allowed Lumens in MR3 - Calculations Summary:			
Area sf			
Impervious -- Craigie side		252	
Impervious -- Somerville Ave side and alley		657	
Impervious -- Common outdoor space northeast		1405	
Impervious -- Unit Patios		233	
Impervious -- roof deck/terrace		1057	
Total Impervious Surface Area		3604	
2.5 lumens per sf allowed	X impervious area =	9010	
2000 lumens per door allowed	X no. of doors =	16000	
Total Lumens Allowed		25010	
Total Exterior Lumens		24066	



Second Floor Roof Deck



Somerville Zoning Ordinance - 10.7 Outdoor Lighting Compliance

1 SITE PLAN
1/8" = 1'-0"

APPROVAL STAMP

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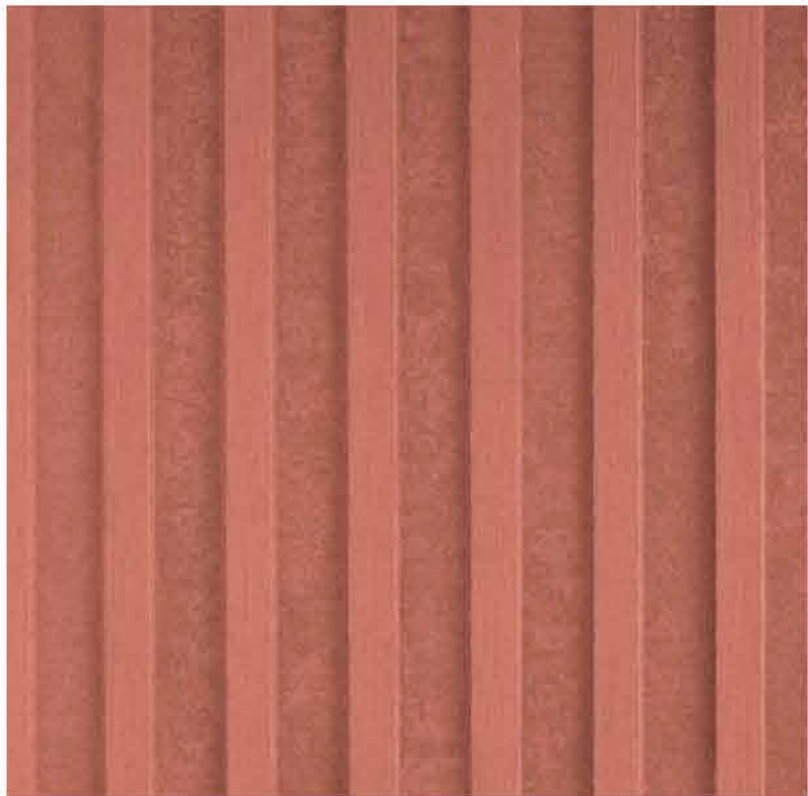
DEVELOPMENT REVIEW SUBMISSION 02/10/2025

LIGHTING COMPLIANCE PLAN

SCALE 1/8" = 1'-0" DRAWING NUMBER

A0.010

FIBRE CEMENT FAÇADE PANELS



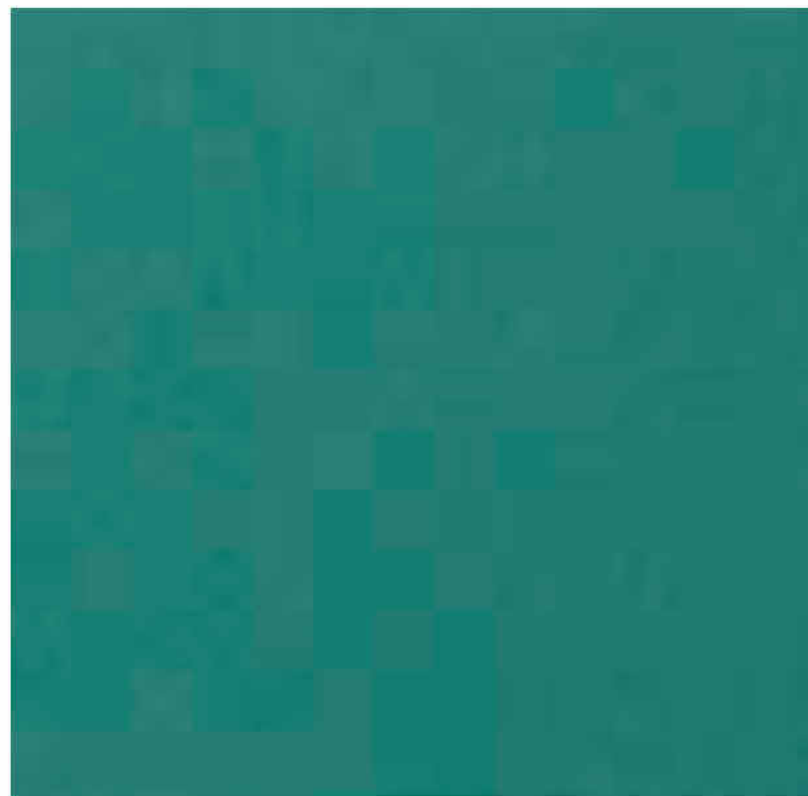
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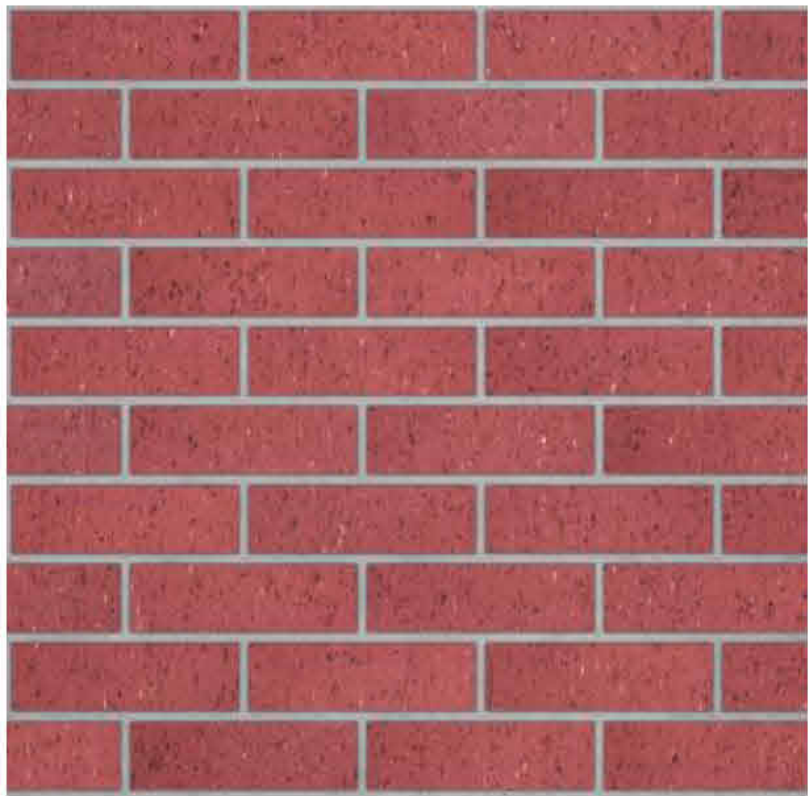
B- SP CARAT CORAL 7032



A1
- FACE BRICK



C-SP CARAT JADE 7050



D- ENDICOTT RED BLEND /
VELOUR TEXTURE



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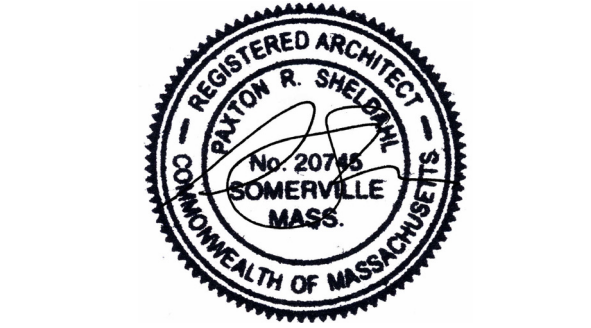
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Material Palette

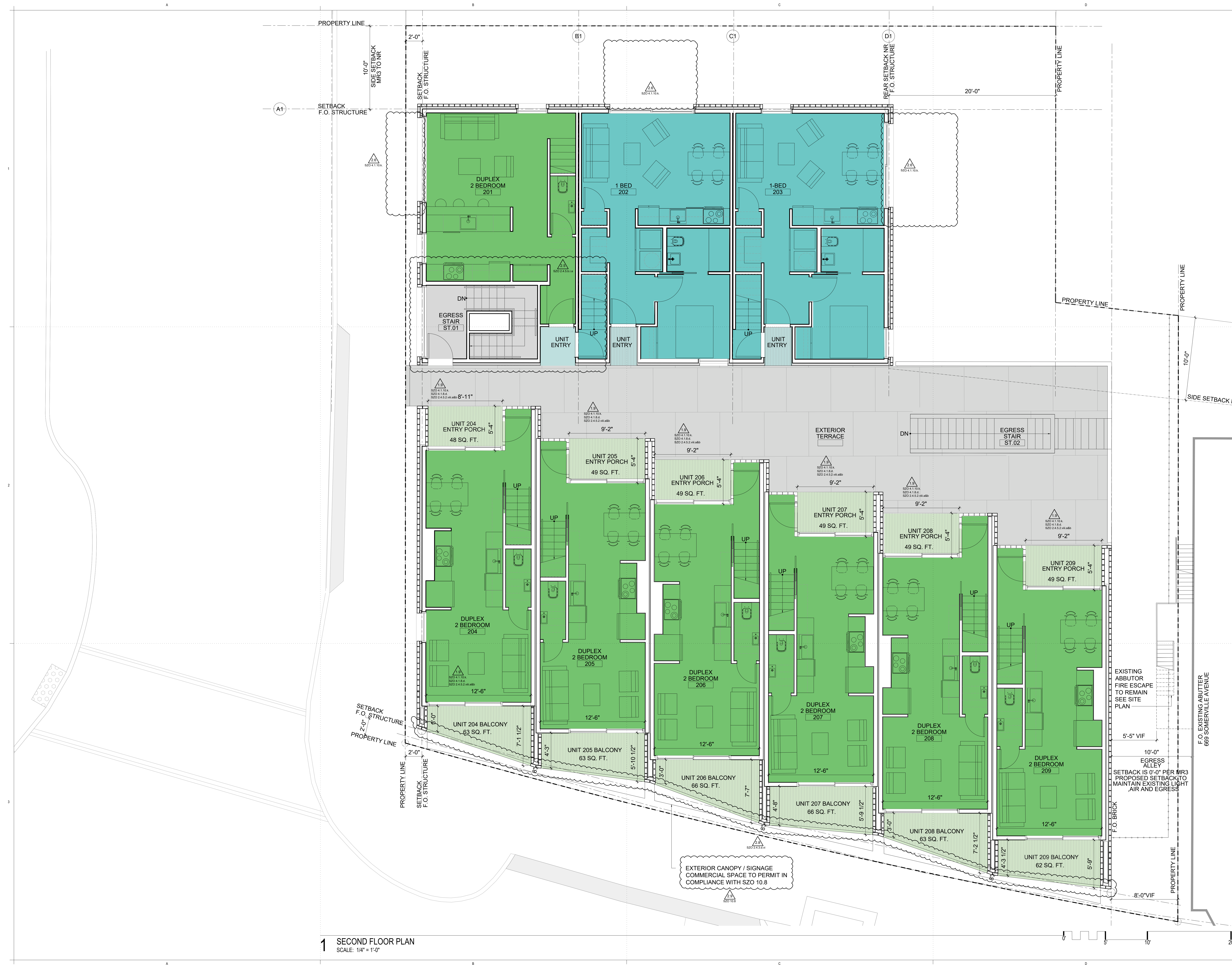
SCALE

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A2.101



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

APPROVAL STAMP

PROJECT ADDRESS

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CHARLESTOWN, MA 02129

617.519.1488

LANDSCAPE ARCHITECT

SECOND FLOOR DATA

4,496 RESIDENTIAL
GROSS SQUARE FT

DWELLING UNIT MIX

2 1 BEDROOM UNIT

7 DUPLEX UNIT

9 TOTAL UNITS THIS FLOOR

STAMP

REGISTERED ARCHITECT
R. SHAPIRO
No. 20744
SOMERVILLE
MASS.
STATE OF MASSACHUSETTS

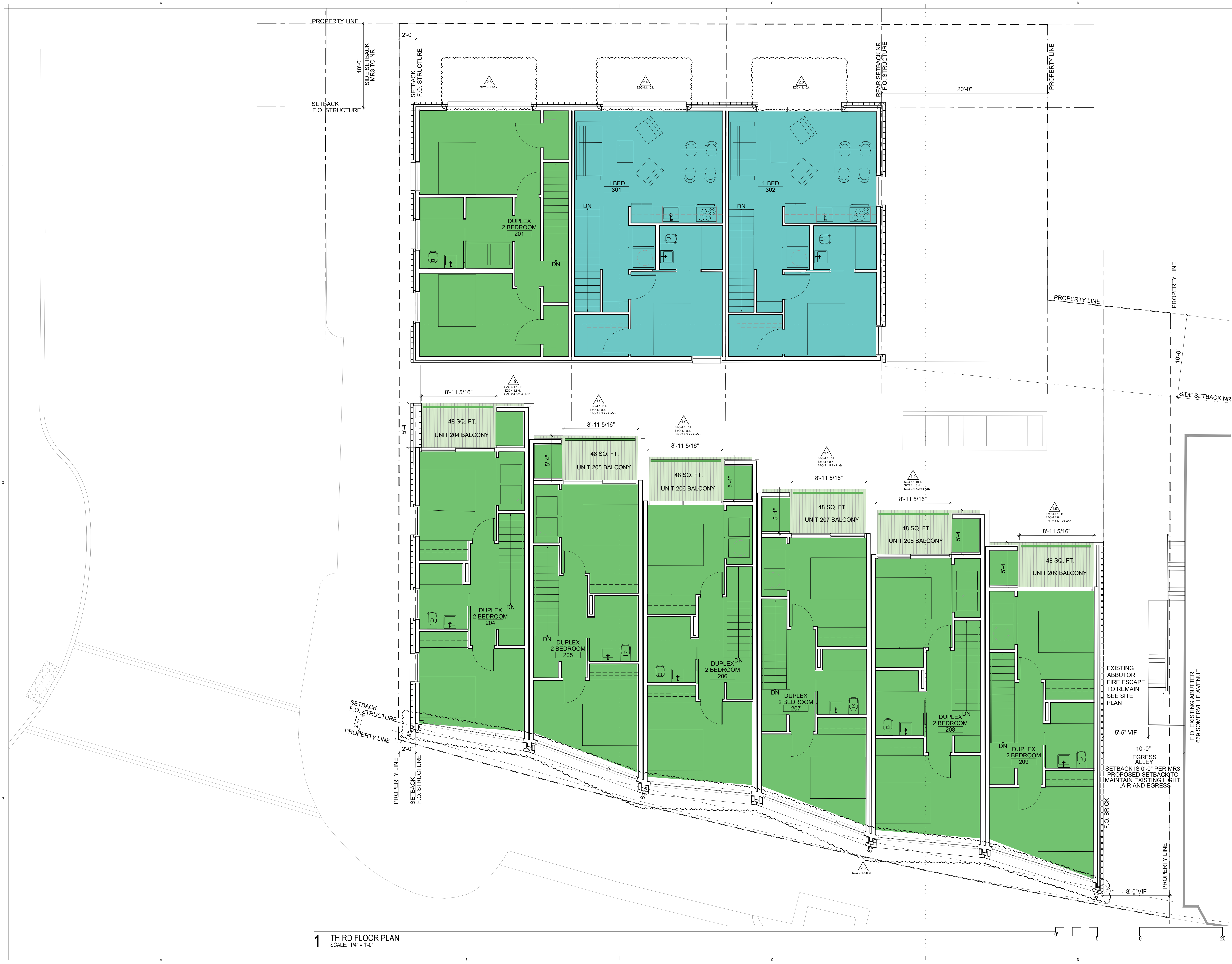
REVISIONS

NO.	DESCRIPTION	DATE
1	ISS COMMENTS REVISION	06/09/2025
2	ISS COMMENTS REVISION	06/09/2025
3	DEVELOPMENT REVIEW SUBMISSION	02/10/2025

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

DRAWING NUMBER



APPROVAL STAMP

PROJECT ADDRESS

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1 617.519.1488

LANDSCAPE ARCHITECT

THIRD FLOOR DATA

4821 RESIDENTIAL
GROSS SQUARE FT

DWELLING UNIT MIX

2	1 BEDROOM UNIT
2	DUPLEX UNIT - 2ND LEVEL
2	TOTAL UNITS THIS FLOOR

STAMP

REGISTERED ARCHITECT
No. 20746
SOMERVILLE
MASS.
JASON R. SHEPHERD
STATE OF MASSACHUSETTS

REVISIONS

1	ISO COMMENTS REVISION	06/09/2025
2	ISO COMMENTS REVISION	06/09/2025
3	DEVELOPMENT REVIEW SUBMISSION	02/10/2025

THIRD FLOOR PLAN

1/8" = 1'-0"

SCALE

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A2.103



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3	ISD COMMENTS REVISION 06/09/2025
3	ISD COMMENTS REVISION 06/09/2025
3	DEVELOPMENT REVIEW SUBMISSION 02/10/2025
NORTH SOUTH ELEVATIONS	
SCALE 1/8" = 1'-0"	
DRAWING NUMBER	
A3.100	



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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OFFSHOOTS

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LANDSCAPE ARCHITECT

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3 ISD COMMENTS REVISION 06/09/2025
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3 DEVELOPMENT REVIEW SUBMISSION 02/10/2025

NORTH
EAST
ELEVATIONS

SCALE 1/8" = 1'-0"

DRAWING NUMBER

A3.101

