

299 BROADWAY

P&Z #22-092

COMPREHENSIVE PERMIT APPLICATION
BUILDING B - REVISION 3

APRIL 16, 2025

DRAFT



COMPREHENSIVE PERMIT APPLICATION REVISED DRAWING LIST

A000.Br3	COVER SHEET		
A000.B2r3	DESIGN NARRATIVE		
A000.B3r2	DIMENSIONAL TABLE		
A000.B3r3	DIMENSIONAL TABLE		
A000.B4r2	GROSS FLOOR AREA PLANS		
A000.B4r3	GROSS FLOOR AREA PLANS		
A000.B5r2	FACADE ANALYSIS		
A000.B5r3	FACADE ANALYSIS		
A001.B1r2	BUILDING B - LEVEL 1		
A001.B1r3	BUILDING B - LEVEL 1		
A003.B1r2	BUILDING B - ELEVATIONS		
A003.B1r3	BUILDING B - ELEVATIONS		
A003.B2r2	BUILDING B - ELEVATIONS	A004.B1	SIGNAGE PLANS
A003.B2r3	BUILDING B - ELEVATIONS	A004.B1r1	SIGNAGE PLANS
A003.B3r2	BUILDING B - ELEVATIONS	A004.B2	SIGNAGE PLANS
A003.B3r3	BUILDING B - ELEVATIONS	A004.B2r1	SIGNAGE PLANS
A003.B5r2	BUILDING B - ELEVATIONS	A004.B3	SIGNAGE PLANS
A003.B5r3	BUILDING B - ELEVATIONS	A004.B3r1	SIGNAGE PLANS
A003.B6r2	BUILDING B - ELEVATIONS	A004.B4	SIGNAGE PLANS
A003.B6r3	BUILDING B - ELEVATIONS	A004.B4r1	SIGNAGE PLANS
A003.B7r2	BUILDING B - ELEVATIONS	A004.B5	SIGNAGE PLANS
A003.B7r3	BUILDING B - ELEVATIONS		

299 BROADWAY - BUILDING B - DESIGN CHANGE NARRATIVE*	
SHEET**	COMMENT
A000.B3r3	Highlighted figures show revised fenestration of proposed elevations.
A000.B4r3	Clouded areas indicate changes in floorplan. Highlighted figures show revised calculations for proposed fenestration.
A000.B5r3	Clouded areas indicate changes to fenestartion dimensions and locations. Highlighted figures show revised calculations for proposed fenestration.
A001.B1r3	Clouded areas indicate changes to the floorplan.
A003.B1r3	Clouded areas indicate change in fenestration dimensions, alignment, and added vents.
A003.B2r3	Clouded areas indicate change in fenestration dimensions, alignment, and added vents.
A003.B3r3	Clouded areas indicate change in fenestration dimensions, alignment, and added vents.
A003.B4	NOT USED.
A003.B5r3	Clouded areas indicate added door and vents.
A003.B6r3	Clouded areas indicate change in fenestration dimensions, alignment, and added vents.
A003.B7r3	Clouded areas indicate change in fenestration dimensions, alignment, and added vents.
A004.B1r1	Revised signage locations due to elevation changes.
A004.B2r1	Revised signage locations due to elevation changes.
A004.B3r1	Revised signage locations due to elevation changes.
A004.B4r1	Revised signage locations due to elevation changes.
A004.B5	New sheet showing address signage at secondary entrance.
L.001.B2	Clouded areas indicate updates to Site Plan & Landscape
L.001.B4	Added proposed streetscape elements to the set, including street trees, planting areas, Bluebikes station, and bike racks Revised planter layout, planting design and paving layout at the new fitness room entry along the Mews, including removal of café seating near fitness room; removed one bench to accommodate a plaza tree (see plaza notes). Updated courtyard design, including layout, furniture and planting to accommodate current elevations and building entries; reduced tree count in accordance with green score to improve visibility and light. Green Score: limited paving to central Mews pathway; updated planting categories based on the 100% CD planting plan and revised courtyard design

* Note that minor changes may have been made to overall fenestration size or location but have not been clouded because the original design intent is still being met. Additionally, unit mix has been reconfigured to better stack demising walls. These changes have been made to improve overall structural efficiency.

** Note that sheets that are not listed or included in this set have not been modified from previously approved comprehensive permit packages.

LOT 2 ZONING AND DEVELOPMENT SUMMARY			
ZONING DISTRICT	MR4/MR6		
TRANSIT AREA	YES - INSIDE HALF MILE WALKSHED		
PEDESTRIAN STREET	YES - BROADWAY		
PRINCIPAL BUILDING TYPE	GENERAL BUILDING		
LOT AREA (SQFT)	WHOLE LOT	MR4	MR6
	58,554	13,759	44,795
GROSS FLOOR AREA (SQFT)	193,799	40,559	153,240
RETAIL/COMMERCIAL	6,641	0	6,641
RESIDENTIAL	160,810	40,418	120,392
MECHANICAL	26,348	141	26,207
NOTE:	844 SQFT (5% OF SITE WIDE COMMERCIAL AREA) RESERVED FOR ARTS & CREATIVE ENTERPRISE IS PROVIDED IN LOT 1. PLEASE SEE A000.A3 AND A001.A1 FOR MORE INFORMATION.		

PARKING				
HOUSEHOLD LIVING COMMERCIAL/RETAIL FOOD & BEVERAGE ARTS & CREATIVE COMMUNITY CENTER TOTAL REQUIRED TOTAL PROPOSED	BIKES			
	SHORT TERM		LONG TERM	
	REQUIRED	AS OF RIGHT	REQUIRED	AS OF RIGHT
	0.1/DU		1.0/DU	
	20.4		204.0	
	1/2,500 SF		1/10,000 SF	
	1.34		0.33	
	1/1,000 SF		1/5,000 SF	
	5.1		1.0	
	1/10,00 SF		1/3,000 SF	
	0		0	
	1/10,00 SF		4/10,000 SF	
	0		0	
	27		205	
	27	YES	205	YES
	LONG TERM SPOT - CATEGORIES			
2FT X 6FT (MAX) 3FT X 8FT (MIN) RACKS (2 BIKES) (MAX)	TOTAL ALLOWED	TOTAL PROPOSED	AS OF RIGHT	
	132	132	YES	
	21	21	YES	
	26 RACKS (52 BIKES)	26 RACKS (52 BIKES)	YES	

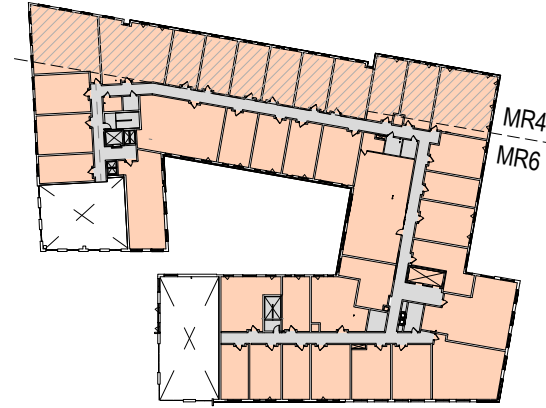
NOTES
1. PLEASE REFER TO ATTACHED REQUESTED WAIVERS MASTER LIST 2. LOT 2/BUILDING-B SPANS BETWEEN THE MR4 AND MR6 DISTRICTS OF THE CITY OF SOMERVILLE OFFICIAL ZONING MAP AND CITY OF SOMERVILLE 2019 ZONING ORDINANCE AND 2021 AMENDMENTS. NOT ALL REGULATED STANDARDS OF THE SZO DIMENSIONAL TABLES OCCUR IN EACH ZONE IN WHICH THE PROJECT OCCURS. N/A DENOTES THAT THE PARTICULAR STANDARD DOES NOT OCCUR IN THAT PARTICULAR ZONE. 3. DURING UDC DESIGN REVIEW IT WAS REQUESTED THAT THE DESIGN TEAM RELOCATE SOME OF THE REQUIRED STEPBACKS ALONG BROADWAY UP TO THE 6TH FLOOR FROM THE 5TH FLOOR. PLEASE REFER TO PLANS AND ELEVATIONS FOR SPECIFIC LOCATIONS. PLEASE REFER TO ATTACHED REQUESTED WAIVERS MASTER LIST FOR ASSOCAITED WAIVER. 4. THE BROADAY FACADE AND CIVIC PLAZA FACE OF LOT 2/BUILDING B FACE THE SAME FRONT LOT LINE ALONG BROADWAY. IF COUNTED TOGETHER THE FACADE BUILD OUT FOR THIS LOT LINE IS GREATER THAN 80%. PLEASE NOTE THAT THE STEPBACK AT THE CIVIC PLAZA FACADE IS GREATER THAN 15FT AND IS LISTED ON THE ATTACHED REQUESTED WAIVERS MASTER LIST. 5. REQUIRED OUTDOOR AMENITY SPACE FOR THE ENTIRE LOT IS PROVIDED BY THE BUILDING COURTYARD WHICH OCCURS SOLELY WITHIN THE MR6 DISTRICT. 5A. LOT2/BUILDING B CONTAINS 173 DWELLING UNITS. OUTDOOR AMENITY SPACE IS MEASURED AT 24 SQUARE FEET PER A DWELLING UNIT. 5B. 173 DWELLING UNITS X 24 SQFT/DU = 4,152 SQFT MINIMUM 5C. ACTUAL OUTDOOR AMENITY SPACE PROVIDED = 5,580 SQFT. 5,580 SQFT > 4,152 SQFT.

ZONING TABLES						
	ALLOWED MR4	PROPOSED MR4	AS OF RIGHT	ALLOWED MR6	PROPOSED MR6	AS OF RIGHT
LOT DIMENSIONS & DEVELOPMENT						
LOT WIDTH (MIN)						
BROADWAY	30FT	N/A²	N/A²	30FT	261FT	YES
GRANT	30FT	N/A²	N/A²	30FT	18FT 7 INCHES	NO¹
LOT COVERAGE (MAX)	90%	48%	YES	62%	71%	YES
GREEN SCORE						
MIN/IDEAL	.25/.30	.351	YES	.20/.25	.351	YES
OPEN SPACE (MIN)	15%	52%	YES	15%	38%	YES
BUILDING SETBACKS						
PRIMARY FRONT SETBACK (MIN/MAX)						
PRIMARY FRONT (BROADWAY)	2FT 15FT	N/A²	N/A²	2FT 15FT	2FT 3FT 8 IN	YES
PRIMARY FRONT (GRANT)	2FT 15FT	N/A²	N/A²	2FT 15FT	99 FT 5 1/2 INCHES	NO¹
SECONDARY FRONT SETBACK (MIN/MAX)	2FT 15FT	21FT 10 INCHES¹	NO¹	2FT 15FT	N/A²	N/A²
SIDE SETBACK (MIN)						
ABUTTING ANY NON-NR/LHD	0FT	14FT 6INCHES	YES	0FT	10FT	YES
1ST-3RD STORY ABUTTING NR/LHD	10FT	10FT	YES	10FT	10FT	YES
4TH-6TH STORY ABUTTING NR/LHD	30FT	10FT	NO	30FT	30FT	YES
REAR SETBACK (MIN)						
ABUTTING ANY NON-NR/LHD	10FT	N/A²	N/A²	10FT	N/A²	N/A²
1ST-3RD STORY ABUTTING NR/LHD	20FT	20FT 6 INCHES	YES	20FT	N/A²	N/A²
4TH-6TH STORY ABUTTING NR/LHD	30FT	30FT	YES	30FT	N/A²	N/A²
MAIN MASSING						
BUILDING WIDTH (MAX)						
BROADWAY FACADE	200FT	N/A²	N/A²	200FT	177 FT 5 INCHES	YES
CIVIC PLAZA FACADE	200FT	N/A²	N/A²	200FT	66 FT 0 INCHES	YES
GRANT FACADE	200FT	N/A²	N/A²	200FT	20 FT 0 INCHES	YES
FACADE BUILD OUT (MIN)						
PRIMARY FRONT (BROADWAY + CIVIC PLAZA)⁴	80%	N/A²	N/A²	80%	93%⁴	YES⁴
PRIMARY FRONT (GRANT)	80%	N/A²	N/A²	80%	100%	YES
SECONDARY FRONT	65%	27%¹	NO¹	65%	N/A²	N/A²
FLOOR PLATE (MAX)	15,000 SQFT	6,845 SQFT	YES	30,000 SQFT	27,368 SQFT	YES
GROUND STORY HEIGHT (MIN)	14FT	16 FT 9 INCHES	YES	18FT	13FT 0 INCHES	NO¹
UPPER STORY HEIGHT (MIN)	10FT	10 FT 8 INCHES	YES	10FT	10FT 8 INCHES	YES
NUMBER OF STORIES (MIN/MAX)	3 4	6	YES	3 6	6	YES
STEP BACK, 5TH-6TH STORY (MIN)	N/A²	8 FT 0 INCHES	NO	10FT	8¹.³	NO¹
BUILDING HEIGHT, FEET (MAX)	52FT	60 FT 8 INCHES	NO	80FT	67FT 9 INCHES	YES
ROOF TYPE	FLAT	FLAT	YES	FLAT	FLAT	YES
FACADE COMPOSITION						
GROUND STORY FENESTRATION						
PRIMARY FACADE (BROADWAY)	70%	N/A²	N/A²	70%	51%	YES
PRIMARY FACADE (PLAZA)	70%	N/A²	N/A²	70%	35%	NO
PRIMARY FACADE (GRANT)	70%	N/A²	N/A²	70%	48%	NO
SECONDARY FACADE (MIN/MAX)	15% 70%	32.9	YES	15% 70%	N/A²	N/A²
UPPER STORY FENESTRATION	15% 50%	24%	YES	15% 50%	27%	YES
BLANK WALL (MAX)	20FT		YES	20FT		YES
USE & OCCUPANCY						
GROUND STORY ENTRY SPACING (MAX)	30FT	SEE ELEVATIONS¹	SEE ELEVATIONS¹	30FT	SEE ELEVATIONS¹	SEE ELEVATIONS¹
COMMERCIAL SPACE DEPTH (MIN)	30FT	N/A²	YES	30FT	30FT 2 INCHES	YES
DENSITY FACTOR (MIN)	SEE GROSS PLANS	SEE GROSS PLANS	YES	SEE GROSS PLANS	SEE GROSS PLANS	YES
OUTDOOR AMENITY SPACE (MIN)	1/DU	N/A².5	YES².5	1/DU	5,580 SQFT⁵	YES



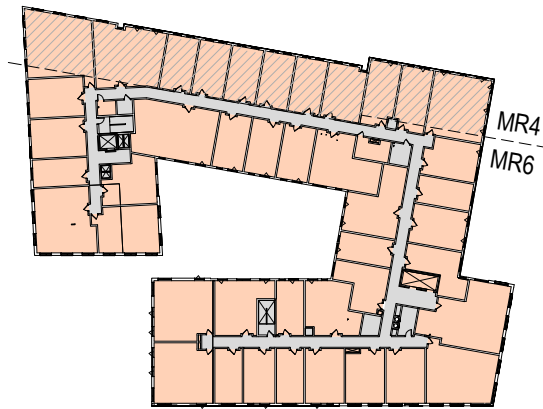
1 LEVEL 1
1" = 100'-0"

LEVEL 01	MR4	MR6
COMMERCIAL AREA	0 SQF	6641 SQF
RESIDENTIAL AREA	6835 SQF	14154 SQF
MECHANICAL AREA	141 SQF	5125 SQF
PARKING AREA	0 SQF	0 SQF
TOTAL AREA PER ZONE	6976 SQF	26470 SQF
TOTAL AREA COMBINED	32896 SQF	



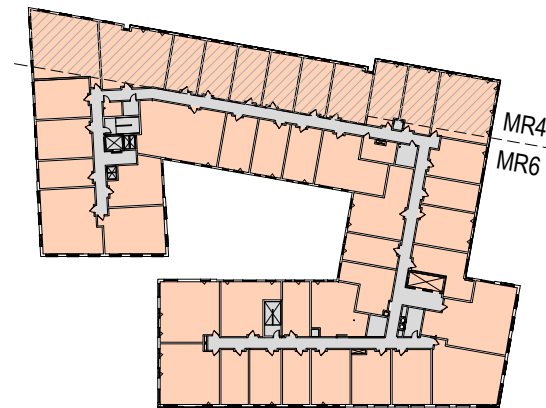
2 LEVEL 2
1" = 100'-0"

LEVEL 02	MR4	MR6
COMMERCIAL AREA	0 SQF	0 SQF
RESIDENTIAL AREA	7302 SQF	19529 SQF
MECHANICAL AREA	0 SQF	4016 SQF
PARKING AREA	0 SQF	0 SQF
TOTAL AREA PER ZONE	7302 SQF	23545 SQF
TOTAL AREA COMBINED	30847 SQF	



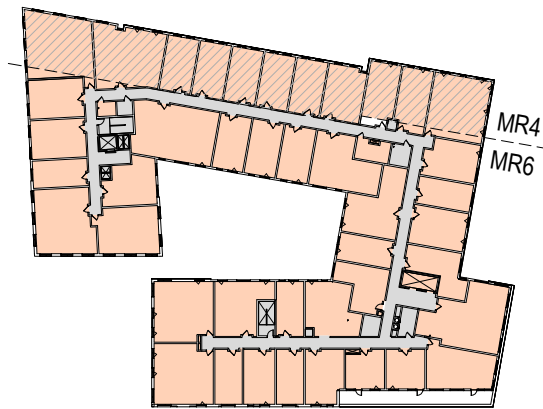
3 LEVEL 3
1" = 100'-0"

LEVEL 03	MR4	MR6
COMMERCIAL AREA	0 SQF	0 SQF
RESIDENTIAL AREA	7302 SQF	23102 SQF
MECHANICAL AREA	0 SQF	4171 SQF
PARKING AREA	0 SQF	0 SQF
TOTAL AREA PER ZONE	7302 SQF	27273 SQF
TOTAL AREA COMBINED	34575 SQF	



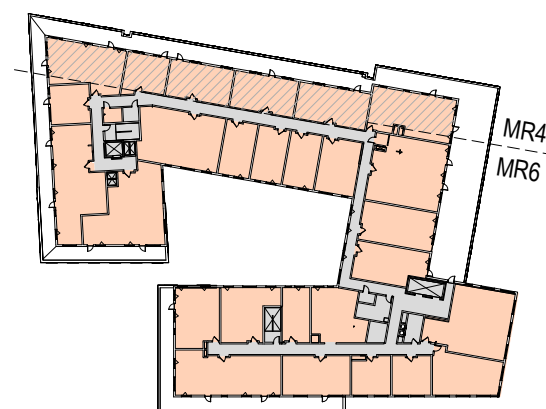
4 LEVEL 4
1" = 100'-0"

LEVEL 04	MR4	MR6
COMMERCIAL AREA	0 SQF	0 SQF
RESIDENTIAL AREA	7302 SQF	23102 SQF
MECHANICAL AREA	0 SQF	4171 SQF
PARKING AREA	0 SQF	0 SQF
TOTAL AREA PER ZONE	7302 SQF	27273 SQF
TOTAL AREA COMBINED	34575 SQF	



5 LEVEL 5
1" = 100'-0"

LEVEL 05	MR4	MR6
COMMERCIAL AREA	0 SQF	0 SQF
RESIDENTIAL AREA	7302 SQF	22359 SQF
MECHANICAL AREA	0 SQF	4203 SQF
PARKING AREA	0 SQF	0 SQF
TOTAL AREA PER ZONE	7302 SQF	26562 SQF
TOTAL AREA COMBINED	33864 SQF	



6 LEVEL 6
1" = 100'-0"

LEVEL 06	MR4	MR6
COMMERCIAL AREA	0 SQF	0 SQF
RESIDENTIAL AREA	4357 SQF	18146 SQF
MECHANICAL AREA	0 SQF	4213 SQF
PARKING AREA	0 SQF	0 SQF
TOTAL AREA PER ZONE	4357 SQF	22359 SQF
TOTAL AREA COMBINED	26734 SQF	

NOTES:

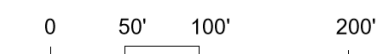
- BUILDING A IS LOCATED IN BOTH THE MR4 AND MR6 ZONING DISTRICTS.
- LOT AREA 58,5545 SQFT
- TOTAL GROSS AREA ALL FLOORS = 193,799 SQFT
 - TOTAL GROSS AREA ALL FLOORS IN MR4 = 40,559 SQFT
 - TOTAL GROSS AREA ALL FLOORS IN MR6 = 153,240 SQFT
- DENSITY FACTOR:
 - IN MR4 FOR LOTS OVER 5,500 SQFT THE DENSITY FACTOR IS **1,125**.
 $40,559 \text{ (SQFT IN MR4)} / 1,125 = \mathbf{36 \text{ PERMITTED UNITS}}$
 - IN MR6 FOR LOTS OVER 6,500 SQFT THE DENSITY FACTOR IS **850**.
 $153,240 \text{ (SQFT IN MR6)} / 850 = \mathbf{180 \text{ PERMITTED UNITS}}$
- ACTUAL UNITS PROVIDED = 204
204 UNITS < 216 UNITS (36 MR4 UNITS + 180 MR6 UNITS)

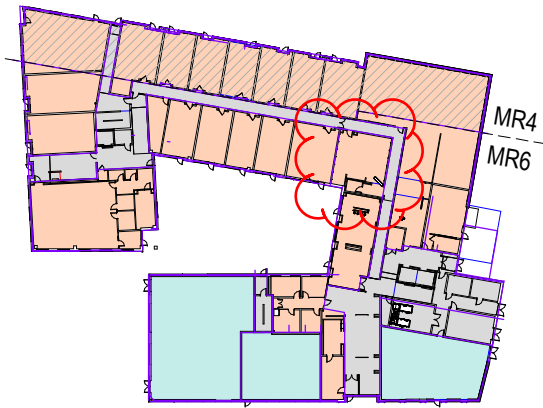
KEY

- COMMERCIAL AREAS MR6
- COMMERCIAL AREAS MR4
- RESIDENTIAL AREAS MR6
- RESIDENTIAL AREAS MR4
- MECHANICAL AREAS MR6
- MECHANICAL AREAS MR4

BUILDING B SUMMARY	MR4	MR6
COMMERCIAL AREA	0 SQF	6641 SQF
RESIDENTIAL AREA	40418 SQF	120392 SQF
MECHANICAL AREA	141 SQF	24414 SQF
PARKING AREA	0 SQF	0 SQF
TOTAL AREA PER ZONE	40559 SQF	153240 SQF
TOTAL AREA COMBINED	193783 SQF	

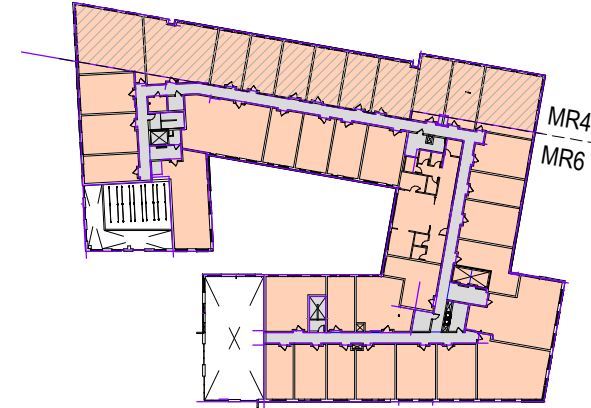
PREVIOUS





1 LEVEL 1
1" = 100'-0"

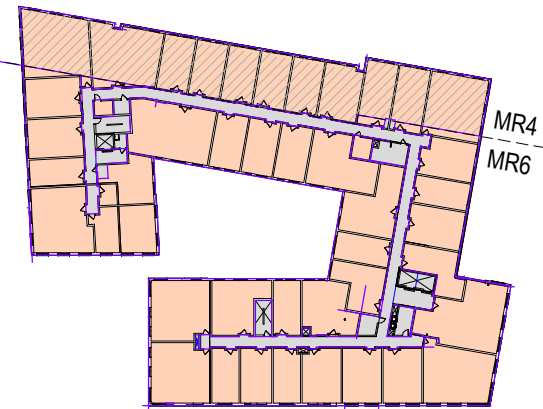
LEVEL 1	
COMMERCIAL	6641 SF
MECHANICAL	2420 SF
RESIDENTIAL	15521 SF
RESIDENTIAL MR4	7203 SF
	33588 SF



2 LEVEL 2
1" = 100'-0"

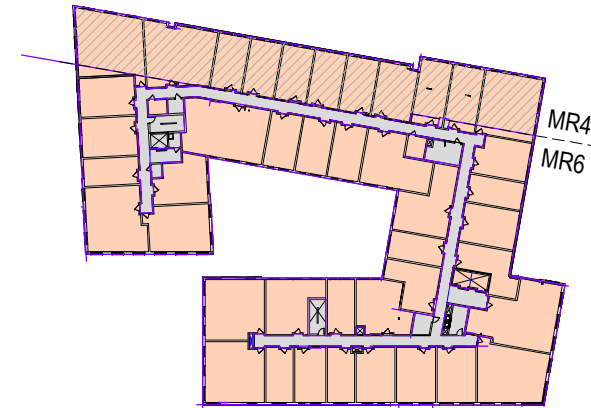
LEVEL 4	
MECHANICAL	1166 SF
RESIDENTIAL	25945 SF
RESIDENTIAL MR4	7403 SF
	34514 SF

- NOTES:
1. BUILDING A IS LOCATED IN BOTH THE MR4 AND MR6 ZONING DISTRICTS.
 2. LOT AREA 58,5545 SQFT
 3. TOTAL GROSS AREA ALL FLOORS = 193,799 SQFT
 - 3A. TOTAL GROSS AREA ALL FLOORS IN MR4 = 40,559 SQFT
 - 3B. TOTAL GROSS AREA ALL FLOORS IN MR6 = 153,240 SQFT
 4. DENSITY FACTOR:
 - 4A. IN MR4 FOR LOTS OVER 5,500 SQFT THE DENSITY FACTOR IS 1,125.
 $40,559 \text{ (SQFT IN MR4)} / 1,125 = 36 \text{ PERMITTED UNITS}$
 - 4B. IN MR6 FOR LOTS OVER 6,500 SQFT THE DENSITY FACTOR IS 850.
 $153,240 \text{ (SQFT IN MR6)} / 850 = 180 \text{ PERMITTED UNITS}$
 - 4C. ACTUAL UNITS PROVIDED = 204
204 UNITS < 216 UNITS (36 MR4 UNITS + 180 MR6 UNITS)



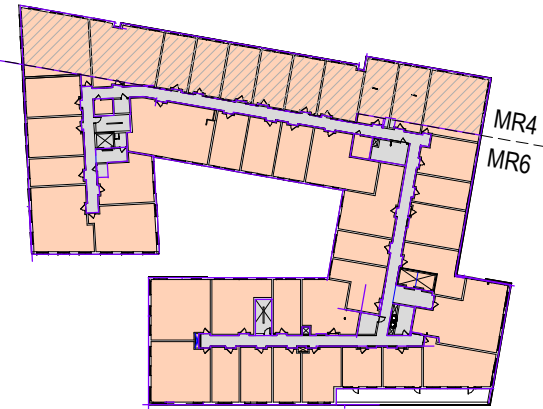
3 LEVEL 3
1" = 100'-0"

LEVEL 2	
MECHANICAL	1085 SF
RESIDENTIAL	13517 SF
RESIDENTIAL MR4	7403 SF
	22005 SF



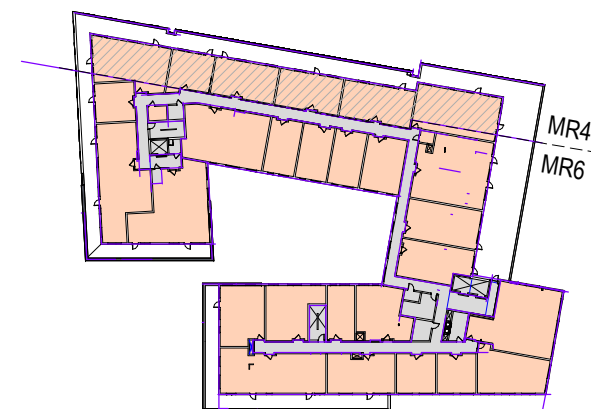
4 LEVEL 4
1" = 100'-0"

LEVEL 5	
MECHANICAL	1147 SF
RESIDENTIAL	25253 SF
RESIDENTIAL MR4	7403 SF
	33803 SF



5 LEVEL 5
1" = 100'-0"

LEVEL 3	
MECHANICAL	1166 SF
RESIDENTIAL	25945 SF
RESIDENTIAL MR4	7403 SF
	34514 SF



6 LEVEL 6
1" = 100'-0"

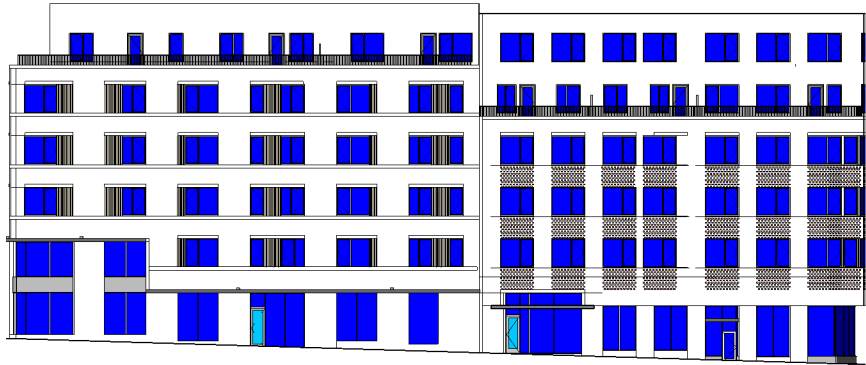
LEVEL 6	
MECHANICAL	964 SF
RESIDENTIAL	21239 SF
RESIDENTIAL MR4	4479 SF
	26681 SF

BUILDING B SUMMARY	MR4	MR6
COMMERCIAL AREA	0 SQF	6641 SQF
RESIDENTIAL AREA	41,294 SQF	127,420 SQF
MECHANICAL AREA	0 SQF	7,948 SQF
PARKING AREA	0 SQF	0 SQF
TOTAL AREA PER ZONE	41,294 SQF	142,009 SQF
TOTAL AREA COMBINED	183,303 SQF	

KEY	
	COMMERCIAL AREAS MR6
	COMMERCIAL AREAS MR4
	RESIDENTIAL AREAS MR6
	RESIDENTIAL AREAS MR4
	MECHANICAL AREAS MR6
	MECHANICAL AREAS MR4



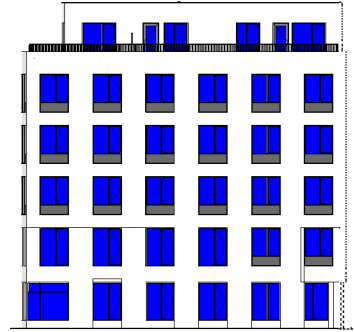
1 PLAZA EAST
1" = 40'-0"



2 BROADWAY - PRIMARY FACADE
1" = 40'-0"

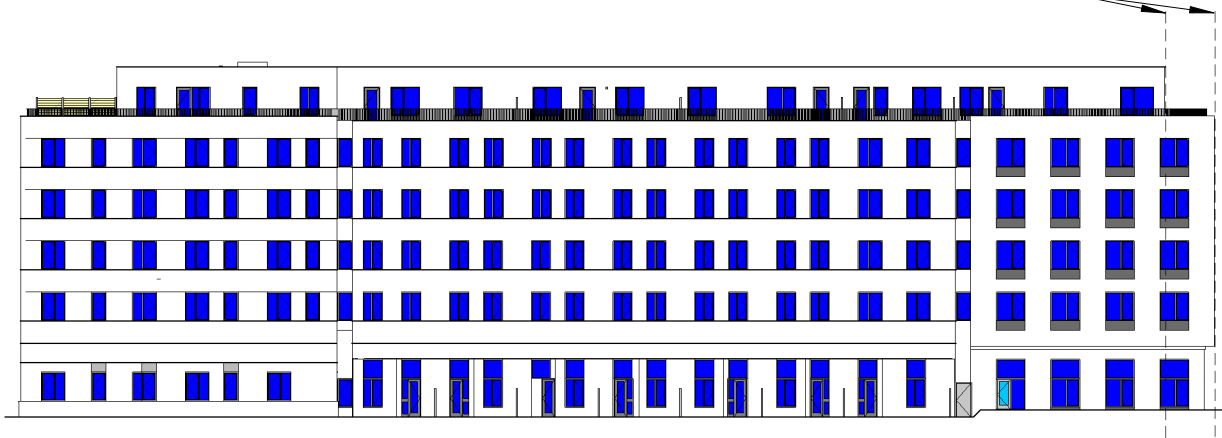


3 MEWS
1" = 40'-0"

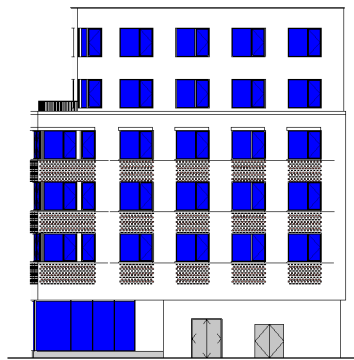


4 PLAZA NORTH - PRIMARY FACADE
1" = 40'-0"

LINE OF EXTENT OF SECONDARY FACADE⁴



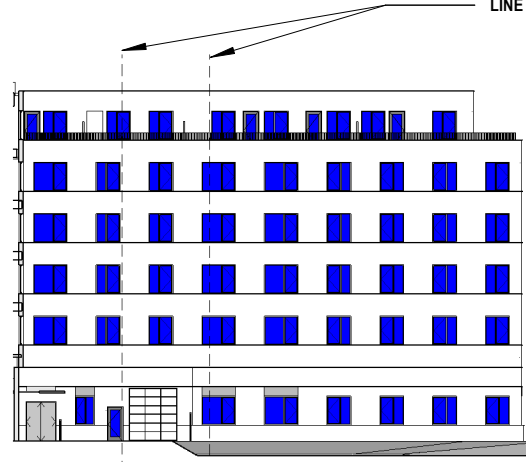
5 SEWALL
1" = 40'-0"



6 GRANT
1" = 40'-0"

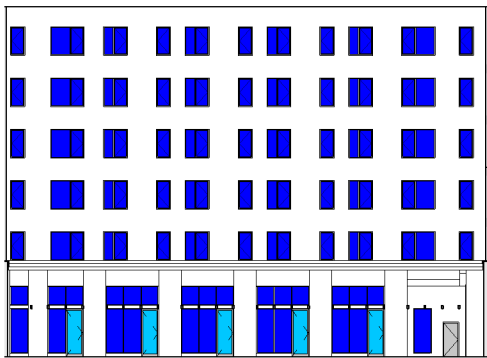


7 GRANT 2
1" = 40'-0"

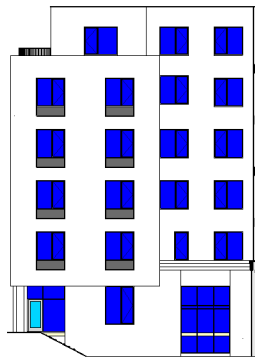


LINE OF EXTENT OF PRIMARY FACADE³

8 GRANT 3
1" = 40'-0"



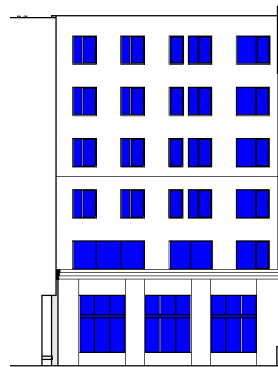
9 COURTYARD NORTH
1" = 40'-0"



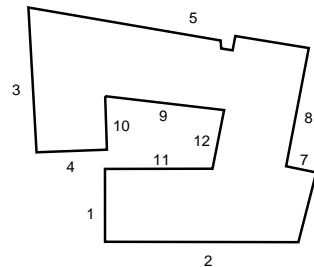
10 COURTYARD WEST
1" = 40'-0"



11 COURTYARD SOUTH
1" = 40'-0"



12 COURTYARD EAST
1" = 40'-0"



GROUND STORY FENESTRATION

FAÇADE	REQUIRED	PROPOSED
PRIMARY FAÇADE (BROADWAY)	70%	51%
PRIMARY FAÇADE (PLAZA NORTH)	70%	35%
PRIMARY FAÇADE (GRANT)	70%	48%
SECONDARY FAÇADE (SEWALL)	15-70%	50%

UPPER STORY FENESTRATION

LEVEL	REQUIRED	PROPOSED
2	15% 50%	24%
3	15% 50%	23%
4	15% 50%	23%
5	15% 50%	22%
6	15% 50%	21%
TOTAL		23%

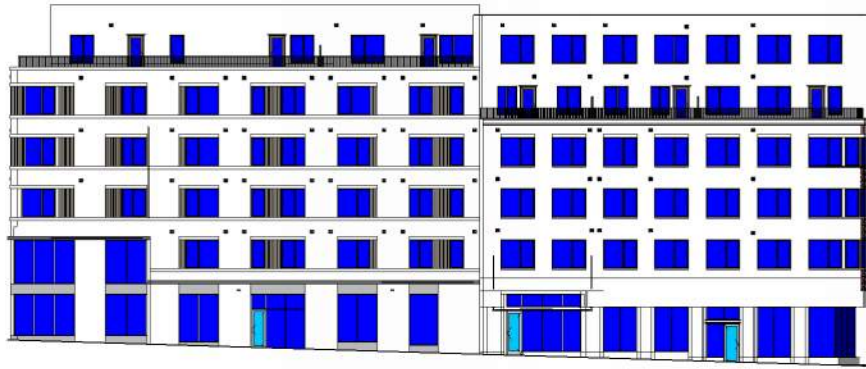
NOTES

1. LOT 2/BUILDING B HAS MULTIPLE SPACES FOR COMMERCIAL ESTABLISHMENTS. PER SZO 2.4.5.a.i.a.i BUILDINGS WITH GROUND STORY COMMERCIAL SHOULD MEASURE GROUND STORY FENESTRATION BETWEEN TWO FEET AND TWELF FEET ABOVE THE FINISHED FLOOR. NUMBERS INDICATED FOR GROUND STORY FENESTRATION COMPLIANCE MEASURE FENESTRATION BETWEEN TWO FEET AND TWELVE FEET FOR ALL SPACES.
2. PER SZO 2.4.2.a.iii.b BOTH FRONT LOT LINES FOR A THROUGH LOT ARE THE PRIMARY FRONT LOT LINES AND PER SZO 2.1.a LOT 1 IS B THROUGH LOT. THOSE FAÇADES THAT FACE PRIMARY FRONT LOT LINES HAVE BEEN IDENTIFIED ABOVE.
3. ONLY THAT PORTION OF THE GRANT STREET ELEVATION THAT IS DIRECTLY OPPOSITE THE FRONT LOT LINE ON GRANT STREET QUALIFIES AS A PRIMARY FAÇADE PER SZO 2.1.a.
4. ONLY THAT PORTION OF THE SEWALL STREET ELEVATION WEST OF THE INDICATED LINE QUALIFIES AS A SECONDARY FAÇADE PER SZO 2.1.A.





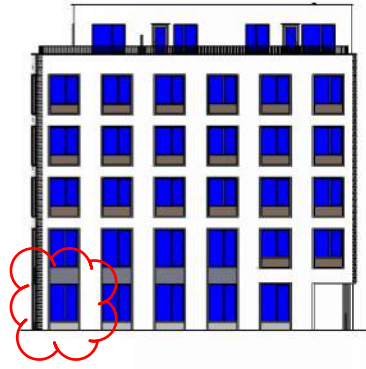
1 PLAZA EAST
1" = 40'-0"



2 BROADWAY - PRIMARY FACADE
1" = 40'-0"

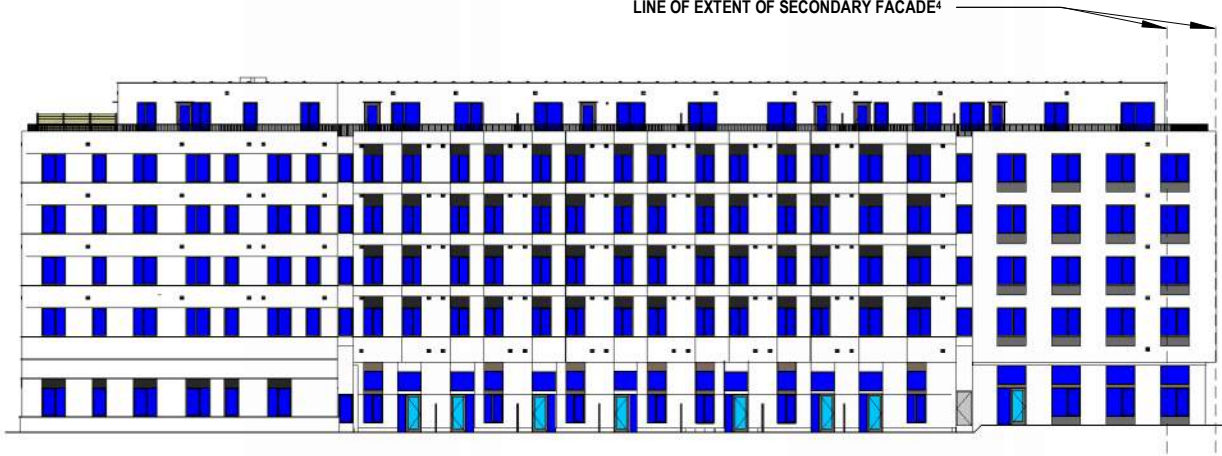


3 MEWS
1" = 40'-0"

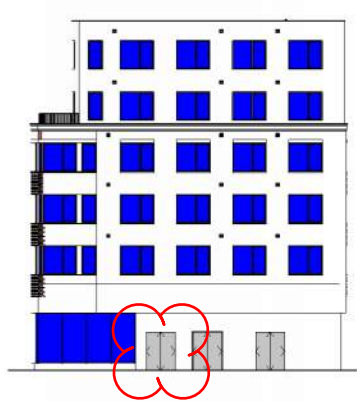


4 PLAZA NORTH - PRIMARY FACADE
1" = 40'-0"

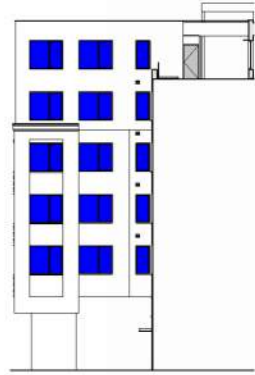
LINE OF EXTENT OF SECONDARY FACADE⁴



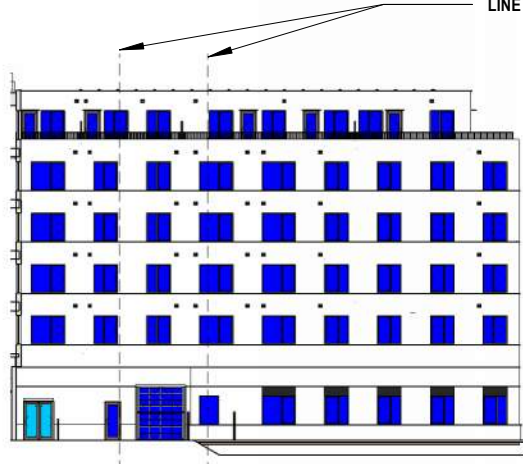
5 SEWALL
1" = 40'-0"



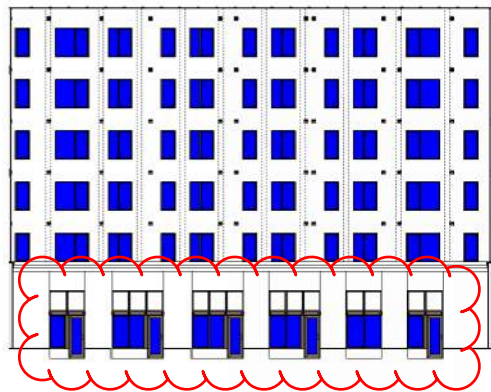
6 GRANT
1" = 40'-0"



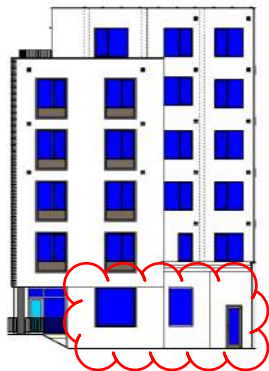
7 GRANT 2
1" = 40'-0"



8 GRANT 3
1" = 40'-0"



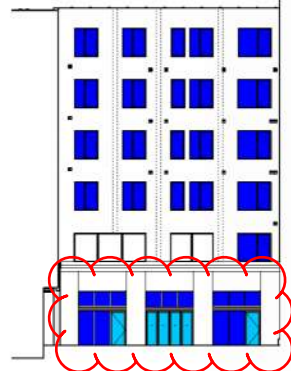
9 COURTYARD NORTH
1" = 40'-0"



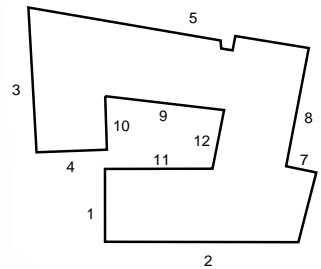
10 COURTYARD WEST
1" = 40'-0"



11 COURTYARD SOUTH
1" = 40'-0"



12 COURTYARD EAST
1" = 40'-0"



GROUND STORY FENESTRATION

FAÇADE	REQUIRED	PROPOSED
PRIMARY FAÇADE (BROADWAY)	70%	51%
PRIMARY FAÇADE (PLAZA NORTH)	70%	33%
PRIMARY FAÇADE (GRANT)	70%	48%
SECONDARY FAÇADE (SEWALL)	15-70%	50%

UPPER STORY FENESTRATION

LEVEL	REQUIRED	PROPOSED
2	15% 50%	24%
3	15% 50%	23%
4	15% 50%	23%
5	15% 50%	22%
6	15% 50%	21%
TOTAL		23%

NOTES

1. LOT 2/BUILDING B HAS MULTIPLE SPACES FOR COMMERCIAL ESTABLISHMENTS. PER SZO 2.4.5.a.i.a.i BUILDINGS WITH GROUND STORY COMMERCIAL SHOULD MEASURE GROUND STORY FENESTRATION BETWEEN TWO FEET AND TWELF FEET ABOVE THE FINISHED FLOOR. NUMBERS INDICATED FOR GROUND STORY FENESTRATION COMPLIANCE MEASURE FENESTRATION BETWEEN TWO FEET AND TWELVE FEET FOR ALL SPACES.
2. PER SZO 2.4.2.a.iii.b BOTH FRONT LOT LINES FOR A THROUGH LOT ARE THE PRIMARY FRONT LOT LINES AND PER SZO 2.1.a LOT 1 IS B THROUGH LOT. THOSE FAÇADES THAT FACE PRIMARY FRONT LOT LINES HAVE BEEN IDENTIFIED ABOVE.
3. ONLY THAT PORTION OF THE GRANT STREET ELEVATION THAT IS DIRECTLY OPPOSITE THE FRONT LOT LINE ON GRANT STREET QUALIFIES AS A PRIMARY FAÇADE PER SZO 2.1.a.
4. ONLY THAT PORTION OF THE SEWALL STREET ELEVATION WEST OF THE INDICATED LINE QUALIFIES AS A SECONDARY FAÇADE PER SZO 2.1.A.



1 BUILDING B - LEVEL 1
1/32" = 1'-0"



ELEVATION KEY NOTES

- | | | | |
|--------------------------------|-------------------------------------------------|------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------|
| (1A) BRICK A: RUNNING BOND | (2A) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR A | (3A) PRECAST; COLOR A | (7) PAINTED HOLLOW METAL DOOR; CUSTOM COLOR E |
| (1A) BRICK A: DECORATIVE BOND | (2A) 6" REVEAL CEMENT CLAPBOARD SIDING: COLOR A | (3B) PRECAST; COLOR B | (##) TILT-TURN STYLE, TRIPLE-GLAZED HIGH PERFORMANCE UPVC WINDOWS, TYPICAL; SEE WINDOW SCHEDULE FOR SIZING, OPERATION, AND ADDITIONAL REQUIREMENTS |
| (1B) BRICK B: RUNNING BOND | (2B) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR B | (1B) PRECAST WATERTABLE; COLOR B | (SF#) 6" THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM; SEE ENLARGED ELEVATIONS FOR SIZING, OPENING OPERATION, AND ADDITIONAL REQUIREMENTS |
| (1B) BRICK B: DECORATIVE BOND | (2C) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR C | (3C) PRECAST WINDOW BOX; COLOR C | |
| (1C) BRICK C: RUNNING BOND | (2D) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR D | | |
| (1C) BRICK C: DECORATIVE BOND | (2D) 6" REVEAL CEMENT CLAPBOARD SIDING: COLOR D | | |
| (1D) BRICK SOLDIER COURSE BAND | (2E) FC BOARD & BATTEN SIDING: COLOR E | (6A) FACTORY FINISH METAL ROOF EDGE, COLOR TBD | |
| | (2F) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR F | (6B) FACTORY FINISHED ALUMINUM WINDOW TRIM, TYPICAL | |
| | (2G) FC PANEL: COLOR G | (6C) GALV POWDER COATED METAL SOLAR SHADE PROJECTION | |
| | (2H) FC PANEL: COLOR H | (6D) GALV POWDER COATED METEAL PICKET BALCONY RAIL | |





2 NORTHWEST ELEVATION @ PLAZA
3/64" = 1'-0"

1 SOUTHWEST ELEVATION
3/64" = 1'-0"

ELEVATION KEY NOTES			
(1A) BRICK A: RUNNING BOND	(2A) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR A	(3A) PRECAST; COLOR A	(7) PAINTED HOLLOW METAL DOOR; CUSTOM COLOR E
(1A.2) BRICK A: DECORATIVE BOND	(2A.2) 6" REVEAL CEMENT CLAPBOARD SIDING: COLOR A	(3B) PRECAST; COLOR B	(##) TILT-TURN STYLE, TRIPLE-GLAZED HIGH PERFORMANCE UPVC WINDOWS, TYPICAL; SEE WINDOW SCHEDULE FOR SIZING, OPERATION, AND ADDITIONAL REQUIREMENTS
(1B) BRICK B: RUNNING BOND	(2B) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR B	(3B.2) PRECAST WATERTABLE; COLOR B	(SF#) 6" THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM; SEE ENLARGED ELEVATIONS FOR SIZING, OPENING OPERATION, AND ADDITIONAL REQUIREMENTS
(1B.2) BRICK B: DECORATIVE BOND	(2C) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR C	(3C) PRECAST WINDOW BOX; COLOR C	
(1C) BRICK C: RUNNING BOND	(2D) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR D		
(1C.2) BRICK C: DECORATIVE BOND	(2D.2) 6" REVEAL CEMENT CLAPBOARD SIDING: COLOR D		
(1D) BRICK SOLDIER COURSE BAND	(2E) FC BOARD & BATTEN SIDING: COLOR E	(6A) FACTORY FINISH METAL ROOF EDGE, COLOR TBD	
	(2F) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR F	(6B) FACTORY FINISHED ALUMINUM WINDOW TRIM, TYPICAL	
	(2G) FC PANEL: COLOR G	(6C) GALV POWDER COATED METAL SOLAR SHADE PROJECTION	
	(2H) FC PANEL: COLOR H	(6D) GALV POWDER COATED METEAL PICKET BALCONY RAIL	



1 NORTHWEST ELEVATION @ MEWS
3/64" = 1'-0"



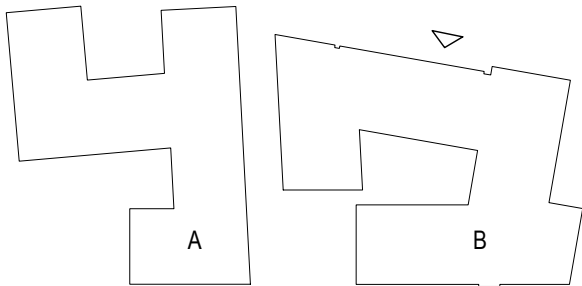
2 SOUTHWEST ELEVATION @ PLAZA
3/64" = 1'-0"

ELEVATION KEY NOTES			
1A	BRICK A: RUNNING BOND	2A	4" REVEAL CEMENT CLAPBOARD SIDING: COLOR A
1A	BRICK A: DECORATIVE BOND	2A	6" REVEAL CEMENT CLAPBOARD SIDING: COLOR A
1B	BRICK B: RUNNING BOND	2B	4" REVEAL CEMENT CLAPBOARD SIDING: COLOR B
1B	BRICK B: DECORATIVE BOND	2C	4" REVEAL CEMENT CLAPBOARD SIDING: COLOR C
1C	BRICK C: RUNNING BOND	2D	4" REVEAL CEMENT CLAPBOARD SIDING: COLOR D
1C	BRICK C: DECORATIVE BOND	2D	6" REVEAL CEMENT CLAPBOARD SIDING: COLOR D
1D	BRICK SOLDIER COURSE BAND	2E	FC BOARD & BATTEN SIDING: COLOR E
		2F	4" REVEAL CEMENT CLAPBOARD SIDING: COLOR F
		2G	FC PANEL: COLOR G
		2H	FC PANEL: COLOR H
		3A	PRECAST; COLOR A
		3B	PRECAST; COLOR B
		3B	PRECAST WATERTABLE; COLOR B
		3C	PRECAST WINDOW BOX; COLOR C
		6A	FACTORY FINISH METAL ROOF EDGE, COLOR TBD
		6B	FACTORY FINISHED ALUMINUM WINDOW TRIM, TYPICAL
		6C	GALV POWDER COATED METAL SOLAR SHADE PROJECTION
		6D	GALV POWDER COATED METEAL PICKET BALCONY RAIL
		7	PAINTED HOLLOW METAL DOOR; CUSTOM COLOR E
		##	TILT-TURN STYLE, TRIPLE-GLAZED HIGH PERFORMANCE UPVC WINDOWS, TYPICAL; SEE WINDOW SCHEDULE FOR SIZING, OPERATION, AND ADDITIONAL REQUIREMENTS
		SF#	6" THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM; SEE ENLARGED ELEVATIONS FOR SIZING, OPENING OPERATION, AND ADDITIONAL REQUIREMENTS



2 SOUTHWEST ELEVATION @ PLAZA

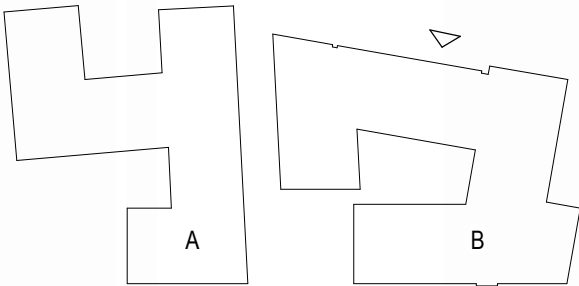
1A	BRICK A: RUNNING BOND	2A	4" REVEAL CEMENT CLAPBOARD SIDING: COLOR A	3A	PRECAST; COLOR A	7	PAINTED HOLLOW METAL DOOR; CUSTOM COLOR E
1A.2	BRICK A: DECORATIVE BOND	2A.2	6" REVEAL CEMENT CLAPBOARD SIDING: COLOR A	3B	PRECAST; COLOR B	##	TILT-TURN STYLE, TRIPLE-GLAZED HIGH PERFORMANCE UPVC WINDOWS, TYPICAL; SEE WINDOW SCHEDULE FOR SIZING, OPERATION, AND ADDITIONAL REQUIREMENTS
1B	BRICK B: RUNNING BOND	2B	4" REVEAL CEMENT CLAPBOARD SIDING: COLOR B	3B.2	PRECAST WATERTABLE; COLOR B	SF#	6" THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM; SEE ENLARGED ELEVATIONS FOR SIZING, OPENING OPERATION, AND ADDITIONAL REQUIREMENTS
1B.2	BRICK B: DECORATIVE BOND	2C	4" REVEAL CEMENT CLAPBOARD SIDING: COLOR C	3C	PRECAST WINDOW BOX; COLOR C		
1C	BRICK C: RUNNING BOND	2D	4" REVEAL CEMENT CLAPBOARD SIDING: COLOR D				
1C.2	BRICK C: DECORATIVE BOND	2D.2	6" REVEAL CEMENT CLAPBOARD SIDING: COLOR D				
1D	BRICK SOLDIER COURSE BAND	2E	FC BOARD & BATTEN SIDING: COLOR E	6A	FACTORY FINISH METAL ROOF EDGE, COLOR TBD		
		2F	4" REVEAL CEMENT CLAPBOARD SIDING: COLOR F	6B	FACTORY FINISHED ALUMINUM WINDOW TRIM, TYPICAL		
		2G	FC PANEL: COLOR G	6C	GALV POWDER COATED METAL SOLAR SHADE PROJECTION		
		2H	FC PANEL: COLOR H	6D	GALV POWDER COATED METEAL PICKET BALCONY RAIL		



1 **NORTHEAST ELEVATION**
3/64" = 1'-0"

ELEVATION KEY NOTES			
Ⓐ BRICK A: RUNNING BOND	Ⓐ 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR A	Ⓐ PRECAST; COLOR A	⑦ PAINTED HOLLOW METAL DOOR; CUSTOM COLOR E
Ⓐ BRICK A: DECORATIVE BOND	Ⓐ 6" REVEAL CEMENT CLAPBOARD SIDING: COLOR A	Ⓑ PRECAST; COLOR B	## TILT-TURN STYLE, TRIPLE-GLAZED HIGH PERFORMANCE UPVC WINDOWS, TYPICAL; SEE WINDOW SCHEDULE FOR SIZING, OPERATION, AND ADDITIONAL REQUIREMENTS
Ⓑ BRICK B: RUNNING BOND	Ⓑ 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR B	Ⓒ PRECAST WATERTABLE; COLOR B	Ⓕ 6" THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM; SEE ENLARGED ELEVATIONS FOR SIZING, OPENING OPERATION, AND ADDITIONAL REQUIREMENTS
Ⓑ BRICK B: DECORATIVE BOND	Ⓒ 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR C	Ⓓ PRECAST WINDOW BOX; COLOR C	
Ⓒ BRICK C: RUNNING BOND	Ⓓ 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR D		
Ⓒ BRICK C: DECORATIVE BOND	Ⓔ 6" REVEAL CEMENT CLAPBOARD SIDING: COLOR D		
Ⓓ BRICK SOLDIER COURSE BAND	Ⓕ FC BOARD & BATTEN SIDING: COLOR E	Ⓐ FACTORY FINISH METAL ROOF EDGE, COLOR TBD	
	Ⓖ 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR F	Ⓑ FACTORY FINISHED ALUMINUM WINDOW TRIM, TYPICAL	
	Ⓖ FC PANEL: COLOR G	Ⓒ GALV POWDER COATED METAL SOLAR SHADE PROJECTION	
	Ⓖ FC PANEL: COLOR H	Ⓓ GALV POWDER COATED METEAL PICKET BALCONY RAIL	





1 **NORTHEAST ELEVATION**
3/64" = 1'-0"

ELEVATION KEY NOTES			
(1A) BRICK A: RUNNING BOND	(2A) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR A	(3A) PRECAST; COLOR A	(7) PAINTED HOLLOW METAL DOOR; CUSTOM COLOR E
(1A.2) BRICK A: DECORATIVE BOND	(2A.2) 6" REVEAL CEMENT CLAPBOARD SIDING: COLOR A	(3B) PRECAST; COLOR B	(##) TILT-TURN STYLE, TRIPLE-GLAZED HIGH PERFORMANCE UPVC WINDOWS, TYPICAL; SEE WINDOW SCHEDULE FOR SIZING, OPERATION, AND ADDITIONAL REQUIREMENTS
(1B) BRICK B: RUNNING BOND	(2B) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR B	(3B.2) PRECAST WATERTABLE; COLOR B	(SF#) 6" THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM; SEE ENLARGED ELEVATIONS FOR SIZING, OPENING OPERATION, AND ADDITIONAL REQUIREMENTS
(1B.2) BRICK B: DECORATIVE BOND	(2C) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR C	(3C) PRECAST WINDOW BOX; COLOR C	
(1C) BRICK C: RUNNING BOND	(2D) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR D		
(1C.2) BRICK C: DECORATIVE BOND	(2D.2) 6" REVEAL CEMENT CLAPBOARD SIDING: COLOR D		
(1D) BRICK SOLDIER COURSE BAND	(2E) FC BOARD & BATTEN SIDING: COLOR E	(6A) FACTORY FINISH METAL ROOF EDGE, COLOR TBD	
	(2F) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR F	(6B) FACTORY FINISHED ALUMINUM WINDOW TRIM, TYPICAL	
	(2G) FC PANEL: COLOR G	(6C) GALV POWDER COATED METAL SOLAR SHADE PROJECTION	
	(2H) FC PANEL: COLOR H	(6D) GALV POWDER COATED METEAL PICKET BALCONY RAIL	



2 BUILDING B - SOUTHEAST ELEVATION
3/64" = 1'-0"

3 BUILDING B - GRANT ELEVATION 1
3/64" = 1'-0"

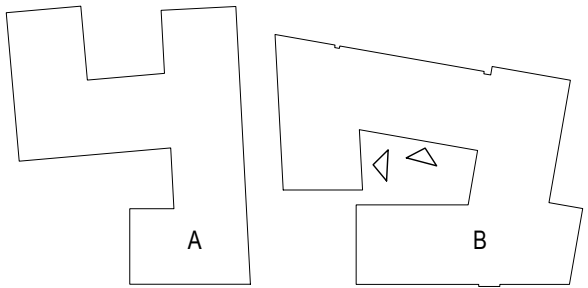
1 BUILDING B - GRANT ELEVATION 2
3/64" = 1'-0"

ELEVATION KEY NOTES			
(1A) BRICK A: RUNNING BOND	(2A) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR A	(3A) PRECAST; COLOR A	(7) PAINTED HOLLOW METAL DOOR; CUSTOM COLOR E
(1A) BRICK A: DECORATIVE BOND	(1A) 6" REVEAL CEMENT CLAPBOARD SIDING: COLOR A	(3B) PRECAST; COLOR B	(##) TILT-TURN STYLE, TRIPLE-GLAZED HIGH PERFORMANCE UPVC WINDOWS, TYPICAL; SEE WINDOW SCHEDULE FOR SIZING, OPERATION, AND ADDITIONAL REQUIREMENTS
(1B) BRICK B: RUNNING BOND	(2B) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR B	(1B) PRECAST WATERTABLE; COLOR B	(SF#) 6" THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM; SEE ENLARGED ELEVATIONS FOR SIZING, OPENING OPERATION, AND ADDITIONAL REQUIREMENTS
(1B) BRICK B: DECORATIVE BOND	(2C) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR C	(3C) PRECAST WINDOW BOX; COLOR C	
(1C) BRICK C: RUNNING BOND	(2D) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR D		
(1C) BRICK C: DECORATIVE BOND	(1D) 6" REVEAL CEMENT CLAPBOARD SIDING: COLOR D		
(1D) BRICK SOLDIER COURSE BAND	(2E) FC BOARD & BATTEN SIDING: COLOR E	(6A) FACTORY FINISH METAL ROOF EDGE, COLOR TBD	
	(2F) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR F	(6B) FACTORY FINISHED ALUMINUM WINDOW TRIM, TYPICAL	
	(2G) FC PANEL: COLOR G	(6C) GALV POWDER COATED METAL SOLAR SHADE PROJECTION	
	(2H) FC PANEL: COLOR H	(6D) GALV POWDER COATED METEAL PICKET BALCONY RAIL	



ELEVATION KEY NOTES

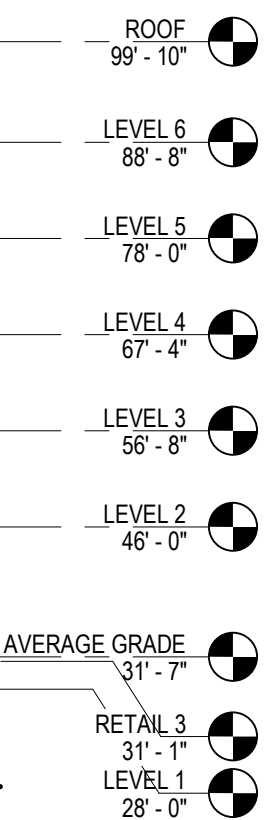
- | | | | |
|---------------------------------|---------------------------------------------------|------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------|
| (1A) BRICK A: RUNNING BOND | (2A) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR A | (3A) PRECAST; COLOR A | (7) PAINTED HOLLOW METAL DOOR; CUSTOM COLOR E |
| (1A.2) BRICK A: DECORATIVE BOND | (2A.2) 6" REVEAL CEMENT CLAPBOARD SIDING: COLOR A | (3B) PRECAST; COLOR B | (##) TILT-TURN STYLE, TRIPLE-GLAZED HIGH PERFORMANCE UPVC WINDOWS, TYPICAL; SEE WINDOW SCHEDULE FOR SIZING, OPERATION, AND ADDITIONAL REQUIREMENTS |
| (1B) BRICK B: RUNNING BOND | (2B) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR B | (3B.2) PRECAST WATERTABLE; COLOR B | (SF#) 6" THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM; SEE ENLARGED ELEVATIONS FOR SIZING, OPENING OPERATION, AND ADDITIONAL REQUIREMENTS |
| (1B.2) BRICK B: DECORATIVE BOND | (2C) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR C | (3C) PRECAST WINDOW BOX; COLOR C | |
| (1C) BRICK C: RUNNING BOND | (2D) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR D | | |
| (1C.2) BRICK C: DECORATIVE BOND | (2D.2) 6" REVEAL CEMENT CLAPBOARD SIDING: COLOR D | | |
| (1D) BRICK SOLDIER COURSE BAND | (2E) FC BOARD & BATTEN SIDING: COLOR E | (6A) FACTORY FINISH METAL ROOF EDGE, COLOR TBD | |
| | (2F) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR F | (6B) FACTORY FINISHED ALUMINUM WINDOW TRIM, TYPICAL | |
| | (2G) FC PANEL: COLOR G | (6C) GALV POWDER COATED METAL SOLAR SHADE PROJECTION | |
| | (2H) FC PANEL: COLOR H | (6D) GALV POWDER COATED METEAL PICKET BALCONY RAIL | |



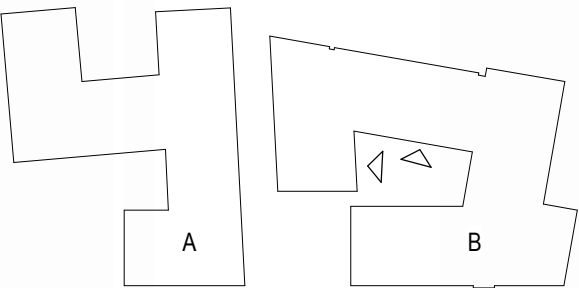
1 BUILDING B - COURTYARD WEST ELEVATION
3/64" = 1'-0"



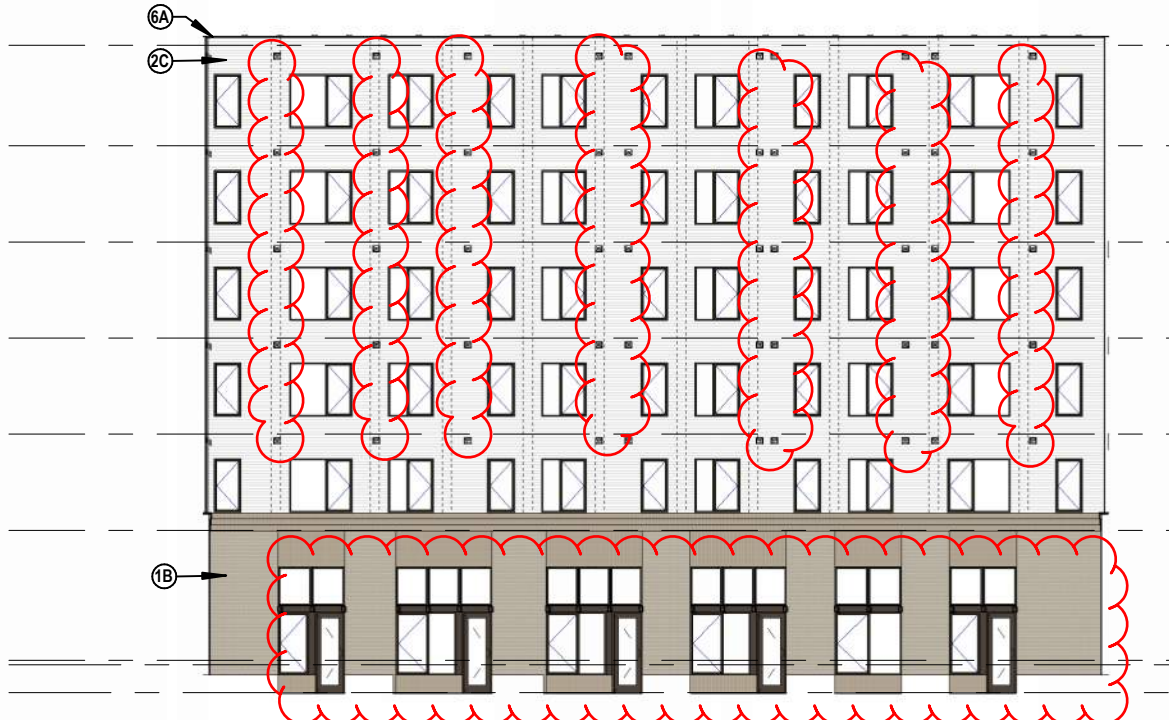
2 BUILDING B - COURTYARD NORTH ELEVATION
3/64" = 1'-0"



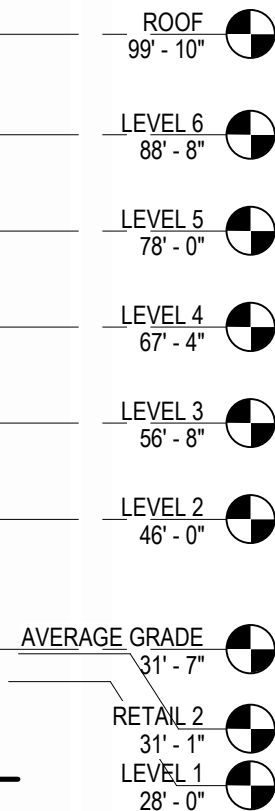
ELEVATION KEY NOTES			
(1A) BRICK A: RUNNING BOND	(2A) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR A	(3A) PRECAST; COLOR A	(7) PAINTED HOLLOW METAL DOOR; CUSTOM COLOR E
(1A) BRICK A: DECORATIVE BOND	(2A) 6" REVEAL CEMENT CLAPBOARD SIDING: COLOR A	(3B) PRECAST; COLOR B	(##) TILT-TURN STYLE, TRIPLE-GLAZED HIGH PERFORMANCE UPVC WINDOWS, TYPICAL; SEE WINDOW SCHEDULE FOR SIZING, OPERATION, AND ADDITIONAL REQUIREMENTS
(1B) BRICK B: RUNNING BOND	(2B) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR B	(3B) PRECAST WATERTABLE; COLOR B	(SF#) 6" THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM; SEE ENLARGED ELEVATIONS FOR SIZING, OPENING OPERATION, AND ADDITIONAL REQUIREMENTS
(1B) BRICK B: DECORATIVE BOND	(2C) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR C	(3C) PRECAST WINDOW BOX; COLOR C	
(1C) BRICK C: RUNNING BOND	(2D) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR D		
(1C) BRICK C: DECORATIVE BOND	(2D) 6" REVEAL CEMENT CLAPBOARD SIDING: COLOR D		
(1D) BRICK SOLDIER COURSE BAND	(2E) FC BOARD & BATTEN SIDING: COLOR E	(6A) FACTORY FINISH METAL ROOF EDGE, COLOR TBD	
	(2F) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR F	(6B) FACTORY FINISHED ALUMINUM WINDOW TRIM, TYPICAL	
	(2G) FC PANEL: COLOR G	(6C) GALV POWDER COATED METAL SOLAR SHADE PROJECTION	
	(2H) FC PANEL: COLOR H	(6D) GALV POWDER COATED METEAL PICKET BALCONY RAIL	



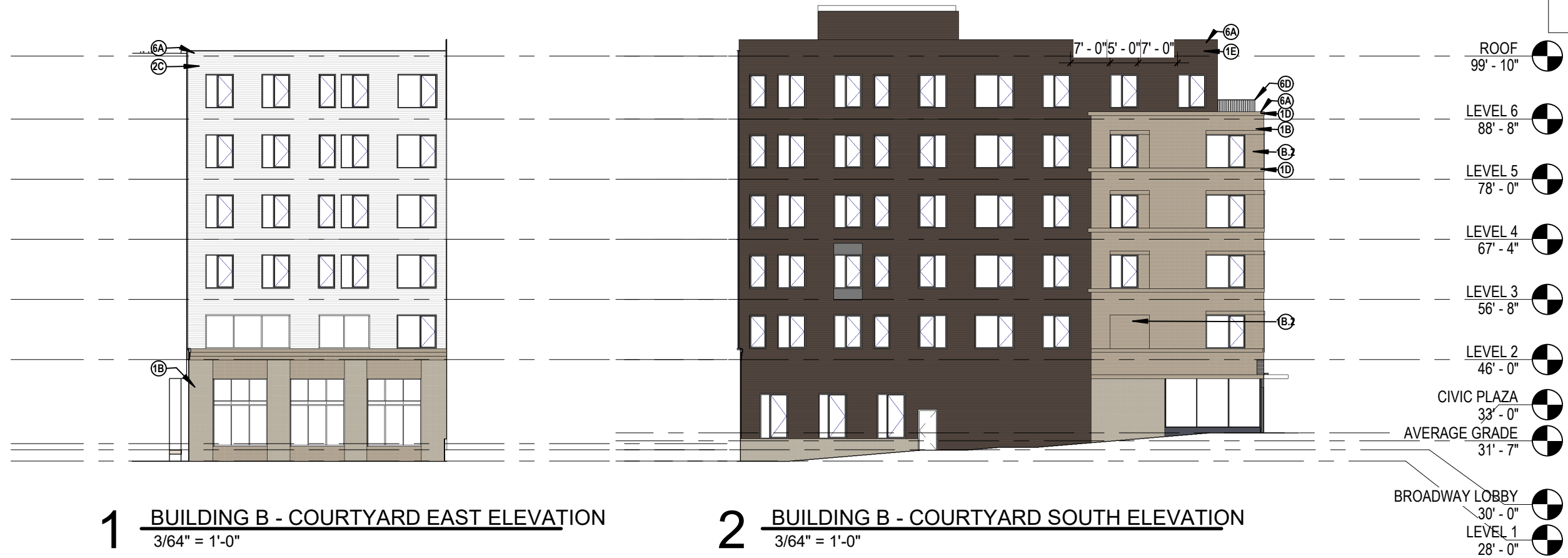
1 BUILDING B - COURTYARD WEST ELEVATION
3/64" = 1'-0"



2 BUILDING B - COURTYARD NORTH ELEVATION
3/64" = 1'-0"



ELEVATION KEY NOTES			
(1A) BRICK A: RUNNING BOND	(2A) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR A	(3A) PRECAST; COLOR A	(7) PAINTED HOLLOW METAL DOOR; CUSTOM COLOR E
(1A.2) BRICK A: DECORATIVE BOND	(2A.2) 6" REVEAL CEMENT CLAPBOARD SIDING: COLOR A	(3B) PRECAST; COLOR B	(##) TILT-TURN STYLE, TRIPLE-GLAZED HIGH PERFORMANCE UPVC WINDOWS, TYPICAL; SEE WINDOW SCHEDULE FOR SIZING, OPERATION, AND ADDITIONAL REQUIREMENTS
(1B) BRICK B: RUNNING BOND	(2B) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR B	(3B.2) PRECAST WATERTABLE; COLOR B	(SF#) 6" THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM; SEE ENLARGED ELEVATIONS FOR SIZING, OPENING OPERATION, AND ADDITIONAL REQUIREMENTS
(1B.2) BRICK B: DECORATIVE BOND	(2C) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR C	(3C) PRECAST WINDOW BOX; COLOR C	
(1C) BRICK C: RUNNING BOND	(2D) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR D		
(1C.2) BRICK C: DECORATIVE BOND	(2D.2) 6" REVEAL CEMENT CLAPBOARD SIDING: COLOR D		
(1D) BRICK SOLDIER COURSE BAND	(2E) FC BOARD & BATTEN SIDING: COLOR E	(6A) FACTORY FINISH METAL ROOF EDGE, COLOR TBD	
	(2F) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR F	(6B) FACTORY FINISHED ALUMINUM WINDOW TRIM, TYPICAL	
	(2G) FC PANEL: COLOR G	(6C) GALV POWDER COATED METAL SOLAR SHADE PROJECTION	
	(2H) FC PANEL: COLOR H	(6D) GALV POWDER COATED METEAL PICKET BALCONY RAIL	

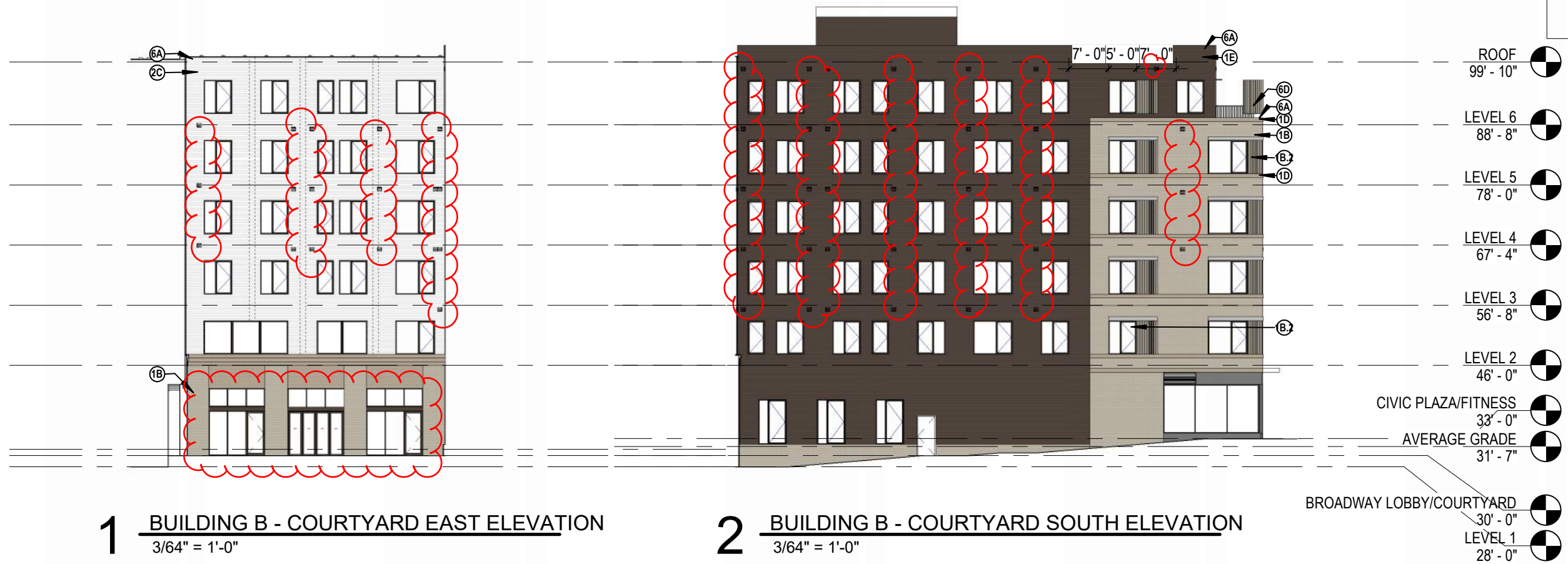


1 **BUILDING B - COURTYARD EAST ELEVATION**
3/64" = 1'-0"

2 **BUILDING B - COURTYARD SOUTH ELEVATION**
3/64" = 1'-0"

ELEVATION KEY NOTES			
(A) BRICK A: RUNNING BOND	(2A) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR A	(3A) PRECAST; COLOR A	(7) PAINTED HOLLOW METAL DOOR; CUSTOM COLOR E
(A) BRICK A: DECORATIVE BOND	(2A) 6" REVEAL CEMENT CLAPBOARD SIDING: COLOR A	(3B) PRECAST; COLOR B	(##) TILT-TURN STYLE, TRIPLE-GLAZED HIGH PERFORMANCE UPVC WINDOWS, TYPICAL; SEE WINDOW SCHEDULE FOR SIZING, OPERATION, AND ADDITIONAL REQUIREMENTS
(1B) BRICK B: RUNNING BOND	(2B) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR B	(1B) PRECAST WATERTABLE; COLOR B	(SF#) 6" THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM; SEE ENLARGED ELEVATIONS FOR SIZING, OPENING OPERATION, AND ADDITIONAL REQUIREMENTS
(B) BRICK B: DECORATIVE BOND	(2C) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR C	(3C) PRECAST WINDOW BOX; COLOR C	
(1C) BRICK C: RUNNING BOND	(2D) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR D		
(C) BRICK C: DECORATIVE BOND	(2D) 6" REVEAL CEMENT CLAPBOARD SIDING: COLOR D		
(1D) BRICK SOLDIER COURSE BAND	(2E) FC BOARD & BATTEN SIDING: COLOR E	(6A) FACTORY FINISH METAL ROOF EDGE, COLOR TBD	
	(2F) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR F	(6B) FACTORY FINISHED ALUMINUM WINDOW TRIM, TYPICAL	
	(2G) FC PANEL: COLOR G	(6C) GALV POWDER COATED METAL SOLAR SHADE PROJECTION	
	(2H) FC PANEL: COLOR H	(6D) GALV POWDER COATED METEAL PICKET BALCONY RAIL	

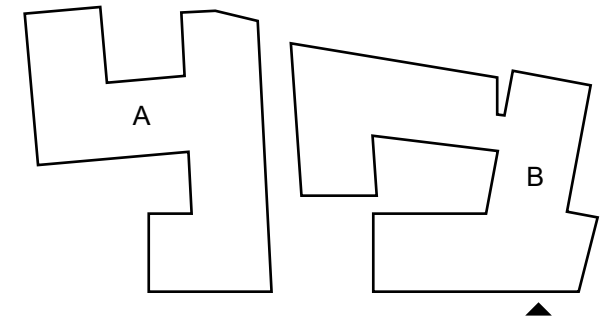




1 BUILDING B - COURTYARD EAST ELEVATION
3/64" = 1'-0"

2 BUILDING B - COURTYARD SOUTH ELEVATION
3/64" = 1'-0"

ELEVATION KEY NOTES			
(1A) BRICK A: RUNNING BOND	(2A) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR A	(3A) PRECAST; COLOR A	(7) PAINTED HOLLOW METAL DOOR; CUSTOM COLOR E
(1A.2) BRICK A: DECORATIVE BOND	(2A.2) 6" REVEAL CEMENT CLAPBOARD SIDING: COLOR A	(3B) PRECAST; COLOR B	(##) TILT-TURN STYLE, TRIPLE-GLAZED HIGH PERFORMANCE UPVC WINDOWS, TYPICAL; SEE WINDOW SCHEDULE FOR SIZING, OPERATION, AND ADDITIONAL REQUIREMENTS
(1B) BRICK B: RUNNING BOND	(2B) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR B	(3B.2) PRECAST WATERTABLE; COLOR B	(SF#) 6" THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM; SEE ENLARGED ELEVATIONS FOR SIZING, OPENING OPERATION, AND ADDITIONAL REQUIREMENTS
(1B.2) BRICK B: DECORATIVE BOND	(2C) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR C	(3C) PRECAST WINDOW BOX; COLOR C	
(1C) BRICK C: RUNNING BOND	(2D) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR D		
(1C.2) BRICK C: DECORATIVE BOND	(2D.2) 6" REVEAL CEMENT CLAPBOARD SIDING: COLOR D		
(1D) BRICK SOLDIER COURSE BAND	(2E) FC BOARD & BATTEN SIDING: COLOR E	(6A) FACTORY FINISH METAL ROOF EDGE, COLOR TBD	
	(2F) 4" REVEAL CEMENT CLAPBOARD SIDING: COLOR F	(6B) FACTORY FINISHED ALUMINUM WINDOW TRIM, TYPICAL	
	(2G) FC PANEL: COLOR G	(6C) GALV POWDER COATED METAL SOLAR SHADE PROJECTION	
	(2H) FC PANEL: COLOR H	(6D) GALV POWDER COATED METEAL PICKET BALCONY RAIL	



SIGN-13
299 BROADWAY NAME CANOPY SIGN

SIGN-11
299 BROADWAY ADDRESS


SIGN-22
RETAIL 3 WALL SIGN

SIGN-23
RETAIL 3 BLADE SIGN

SIGN-21
RETAIL 3 ADDRESS

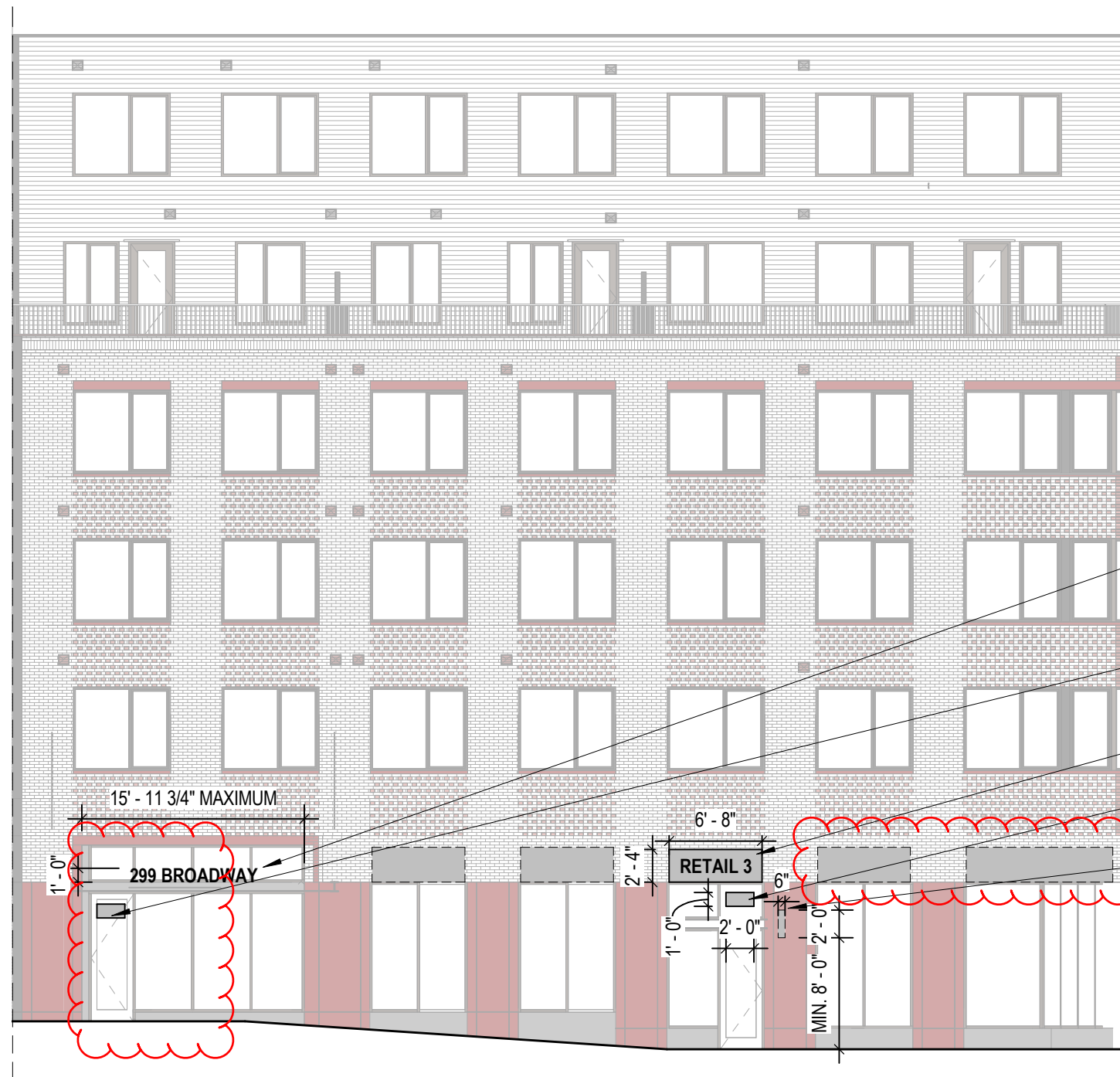
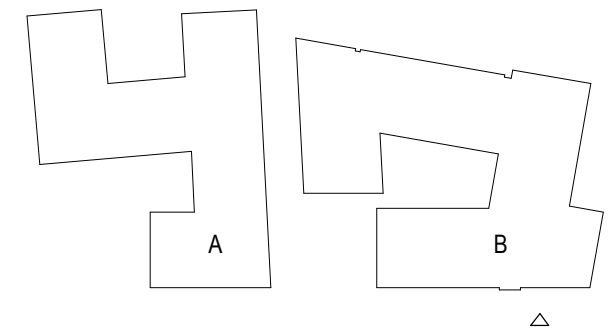
LEGEND

 SIGNAGE

 SIGNAGE BAND FOR POTENTIAL
RETAIL WALL SIGNAGE

1 BUILDING B BROADWAY ELEVATION

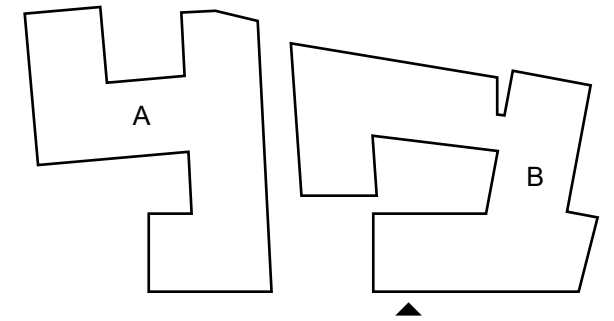
$\frac{3}{32}" = 1' - 0"$



- SIGN-13
299 BROADWAY NAME CANOPY SIGN*
- *NAME TBD
- SIGN-11
299 BROADWAY ADDRESS
- SIGN-22
RETAIL 3 WALL SIGN
- SIGN-21
RETAIL 3 ADDRESS
- SIGN-23
RETAIL 3 BLADE SIGN

LEGEND	
	SIGNAGE
	SIGNAGE BAND FOR POTENTIAL RETAIL WALL SIGNAGE

1 BUILDING B BROADWAY ELEVATION
3/32" = 1'-0"

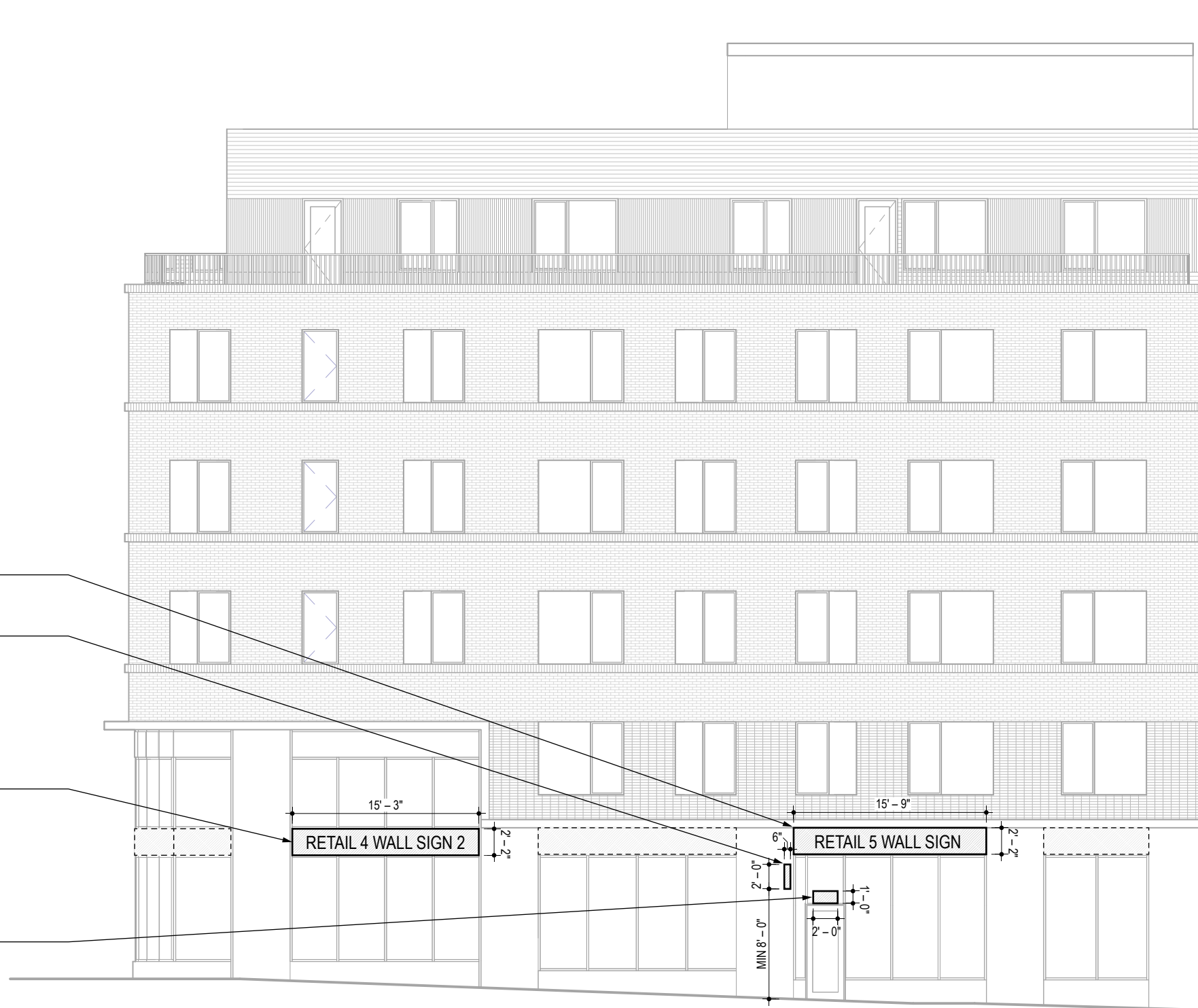


SIGN-29
RETAIL 5 WALL SIGN

SIGN-30
RETAIL 5 BLADE SIGN

SIGN-26
RETAIL 4 WALL SIGN 2

SIGN-28
RETAIL 5 ADDRESS



LEGEND

 SIGNAGE

 SIGNAGE BAND FOR POTENTIAL RETAIL WALL SIGNAGE

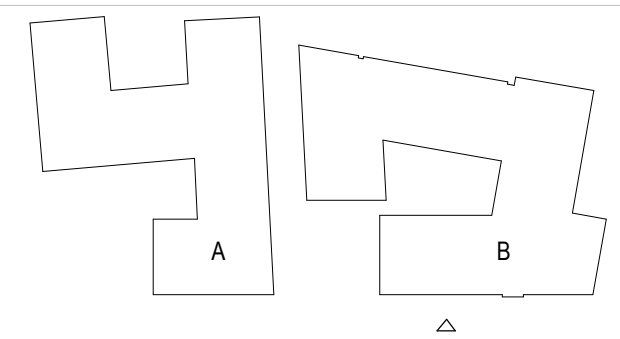
1 BUILDING B BROADWAY ELEVATION

$\frac{3}{32}'' = 1' - 0''$

PREVIOUS

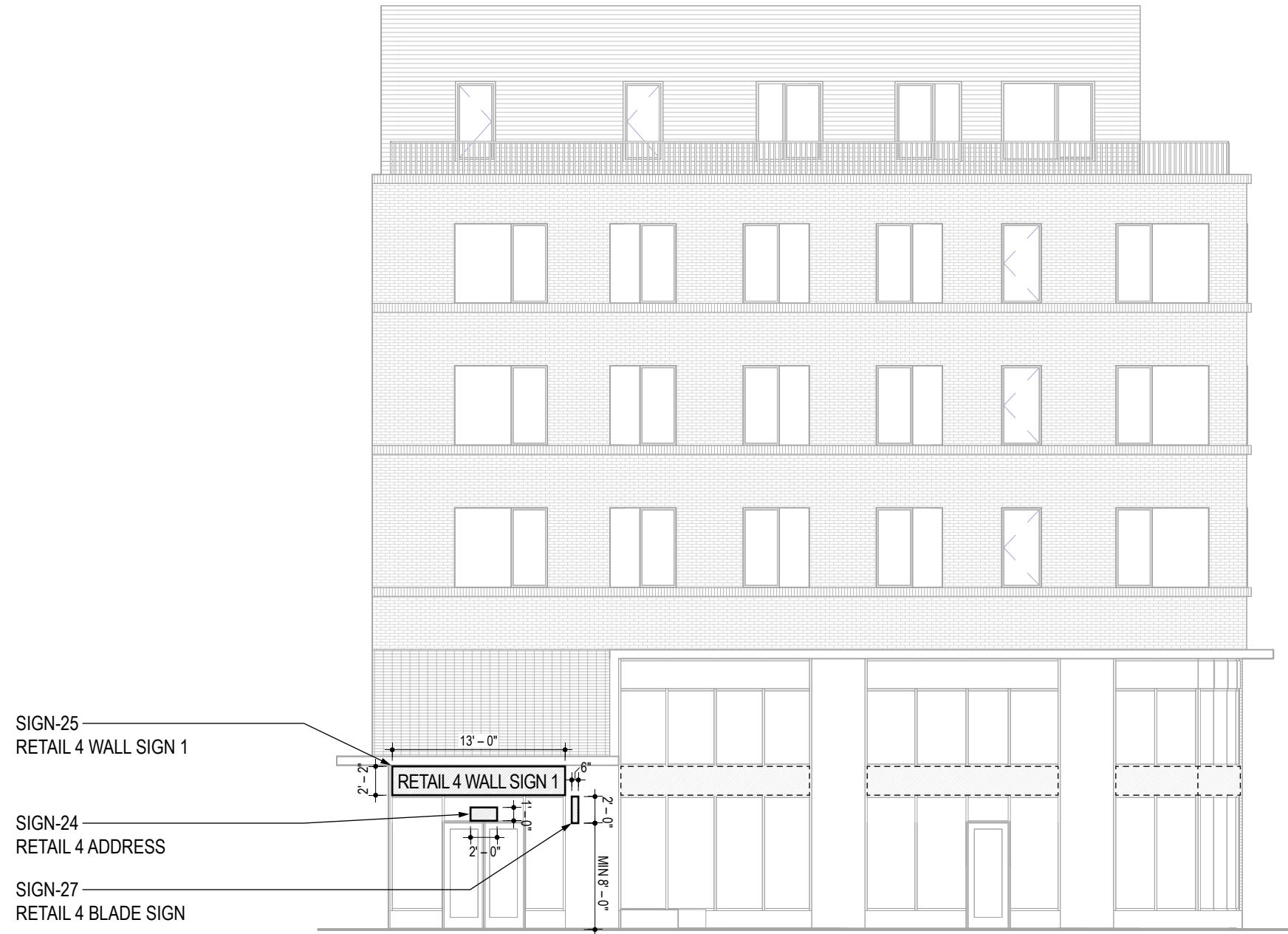
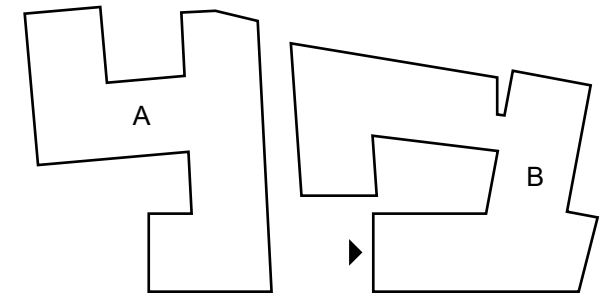
0' 4' 8' 16'





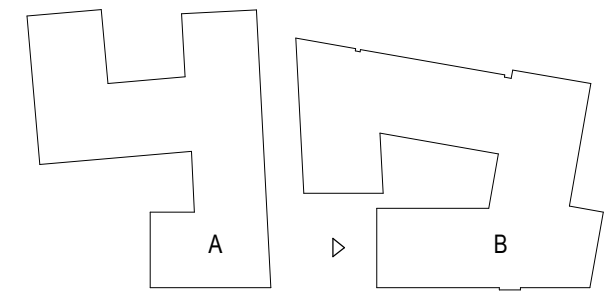
LEGEND	
	SIGNAGE
	SIGNAGE BAND FOR POTENTIAL RETAIL WALL SIGNAGE

1 BUILDING B BROADWAY ELEVATION Copy 1
3/32" = 1'-0"





- LEGEND
- SIGNAGE
 - SIGNAGE BAND FOR POTENTIAL RETAIL WALL SIGNAGE

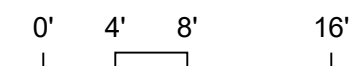
1 PLAZA EAST ELEVATION
3/32" = 1' - 0"

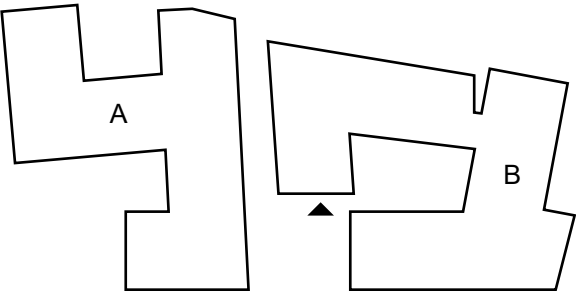


1 **PLAZA EAST ELEVATION**
3/32" = 1'-0"

LEGEND	
	SIGNAGE
	SIGNAGE BAND FOR POTENTIAL RETAIL WALL SIGNAGE

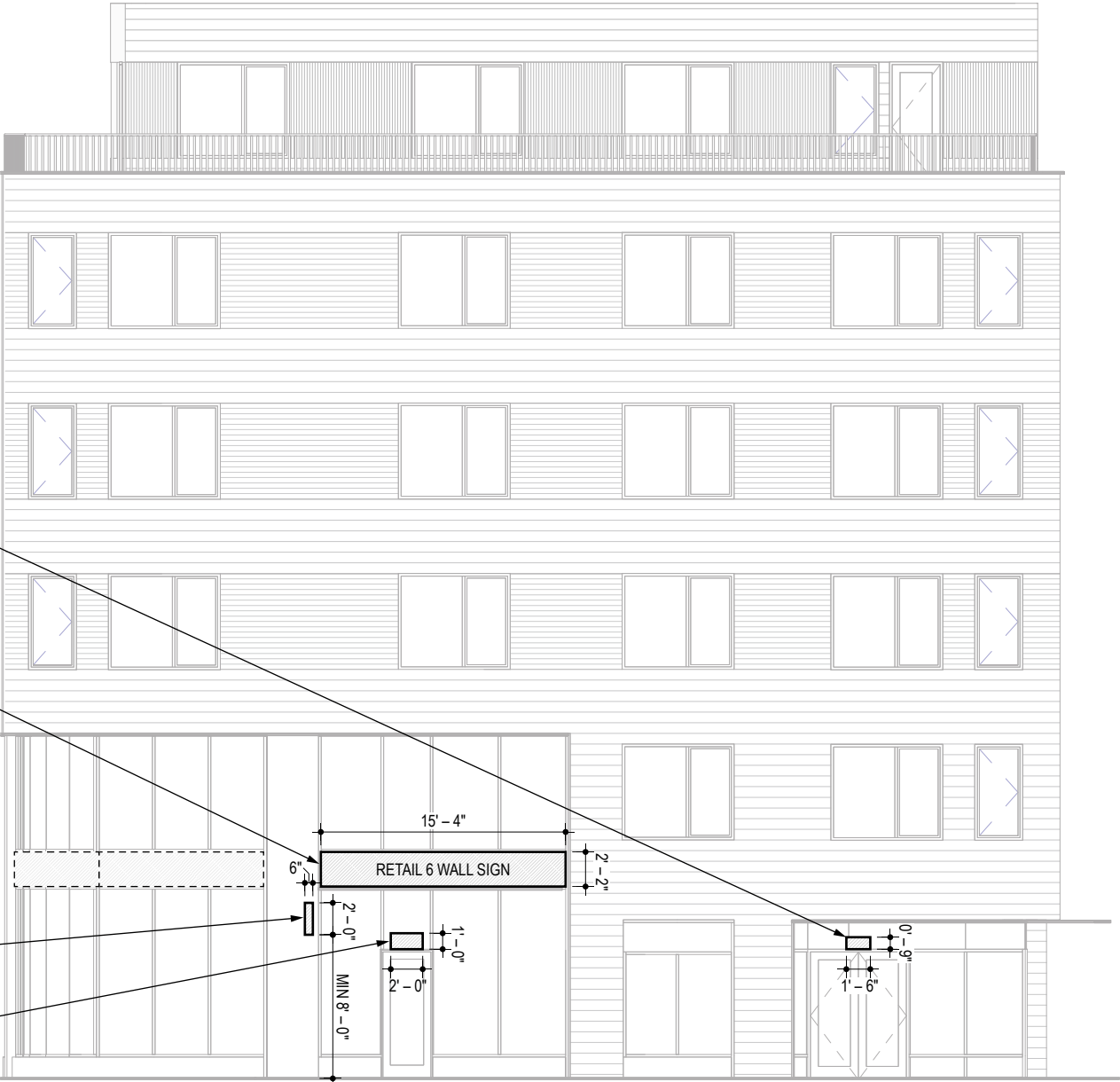
PROPOSED





- LEGEND
- SIGNAGE
 - SIGNAGE BAND FOR POTENTIAL RETAIL WALL SIGNAGE

- SIGN-12
299 BROADWAY
ADDRESS
- SIGN-32
RETAIL 6 WALL SIGN
- SIGN-33
RETAIL 6 BLADE SIGN
- SIGN-31
RETAIL 6 ADDRESS

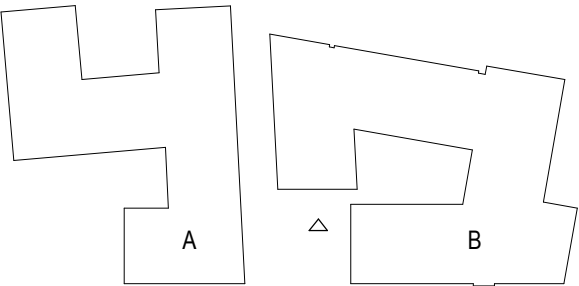


1 PLAZA NORTH ELEVATION

$\frac{3}{32}" = 1' - 0"$

Sign ID	Sign Description		Sign Type	Dimensions (max)
Sign-11	Address sign at 299 Broadway primary residential entrance	Dimensional letters on glass w vinyl backer	Address Sign	2' - 0" x 1' - 0"
Sign-12	Address sign at 299 Broadway secondary residential entrance	Vinyl letters on glass, 2nd surface mounted	Window Sign	1' - 6" x 0' - 9"
Sign-13	299 Broadway name sign	Dimensional letters mounted to top of canopy	Canopy Sign	17' - 8" x 1' - 0"
Sign-21	Address sign at Retail 3 Entrance	Dimensional letters on glass w vinyl backer	Address Sign	2' - 0" x 1' - 0"
Sign-22	Retail 3 name wall sign	Dimensional, pin mounted letters on metal signage band	Wall Sign	6' - 9" x 2' - 9"
Sign-23	Retail 3 name blade sign	Blade sign mounted to brick	Blade sign	3' - 0" x 2' - 0" x 0' - 6"
Sign-24	Address sign at Retail 4 Entrance	Dimensional letters on glass w vinyl backer	Address Sign	2' - 0" x 1' - 0"
Sign-25	Retail 4 name wall sign (1 of 2)	Dimensional, pin mounted letters on metal signage band	Wall Sign	14' - 4" x 2' - 2"
Sign-26	Retail 4 name wall sign (2 of 2)	Dimensional, pin mounted letters on metal signage band	Wall Sign	15' - 3" x 2' - 2"
Sign-27	Retail 4 name blade sign	Blade sign mounted to metal	Blade sign	3' - 0" x 2' - 0" x 0' - 6"
Sign-28	Address sign at Retail 5 Entrance	Dimensional letters on glass w vinyl backer	Address Sign	2' - 0" x 1' - 0"
Sign-29	Retail 5 name wall sign	Dimensional, pin mounted letters on metal signage band	Wall Sign	15' - 9" x 2' - 2"
Sign-30	Retail 5 name blade sign	Blade sign mounted to metal	Blade sign	3' - 0" x 2' - 0" x 0' - 6"
Sign-31	Address sign at Retail 6 Entrance	Dimensional letters on glass w vinyl backer	Address Sign	2' - 0" x 1' - 0"
Sign-32	Retail 6 name wall sign	Dimensional, pin mounted letters on metal signage band	Wall Sign	15' - 4" x 2' - 2"
Sign-33	Retail 6 name blade sign	Blade sign mounted to metal	Blade sign	3' - 0" x 2' - 0" x 0' - 6"

2 BUILDING B SIGNAGE PLAN SCHEDULE



Sign ID	Sign Description		Sign Type	Dimensions (max)
Sign-01	Address sign at 15 Temple St; primary residential entrance	Dimensional letters on glass w vinyl backer	Address Sign	2' - 0" x 1' - 0" x 0' - 1"
Sign-02	Address sign at 15 Temple St, secondary residential entrance	Vinyl letters on glass, 2nd surface mounted	Address Sign	2' - 0" x 1' - 0"
Sign-03	15 Temple name sign	Dimensional letters mounted to top of canopy	Canopy Sign	9' - 0" x 1' - 0" x 0' - 6"
Sign-04	Address sign at A.C.E. entrance	Vinyl letters on glass, 2nd surface mounted	Address Sign	2' - 0" x 1' - 0"
Sign-05	Address sign at Winter Hill Community Space	Dimensional letters on glass w vinyl backer	Address Sign	2' - 0" x 1' - 0" x 0' - 1"
Sign-06	Winter Hill Community Space name wall sign 1	Dimensional, pin mounted letters on metal signage band	Wall Sign	29' - 0" x 3' - 6" x 0' - 6"
Sign-07	Winter Hill Community Space name wall sign 2	Dimensional, pin mounted letters on metal signage band	Wall Sign	9' - 4" x 3' - 6" x 0' - 6"
Sign-08	Winter Hill Community Space name window sign	Vinyl letters on glass, 2nd surface mounted	Window Sign	4' - 7" x 2' - 0"
Sign-09	Address sign at Retail 2 Entrance	Dimensional letters on glass w vinyl backer	Address Sign	2' - 0" x 1' - 0" x 0' - 1"
Sign-10	Retail 2 name window sign	Vinyl letters on glass, 2nd surface mounted	Window Sign	8' - 0" x 3' - 0"
Sign-11	Retail 2 name blade sign	Blade sign mounted underneath canopy	Blade Sign	3' - 0" x 2' - 0" x 0' - 6"
Sign-12	Address sign at Retail 1 Entrance	Dimensional letters on glass w vinyl backer	Address Sign	2' - 0" x 1' - 0" x 0' - 1"
Sign-13	Retail 1 name window sign	Vinyl letters on glass, 2nd surface mounted	Window Sign	8' - 0" x 3' - 0"
Sign-14	Retail 1 name blade sign	Blade sign mounted underneath canopy	Blade Sign	3' - 0" x 2' - 0" x 0' - 6"
Sign-34	Broadway Fitness Entry Wall Signage	Dimensional, pin mounted letters on wall	Wall Sign	4' - 0" x 2' - 0" x 0' - 2"
Sign-35	299 Broadway Blade Sign	Blade sign mounted underneath canopy	Blade Sign	3' - 0" x 2' - 0" x 0' - 6"

2 BUILDING A SIGNAGE PLAN SCHEDULE

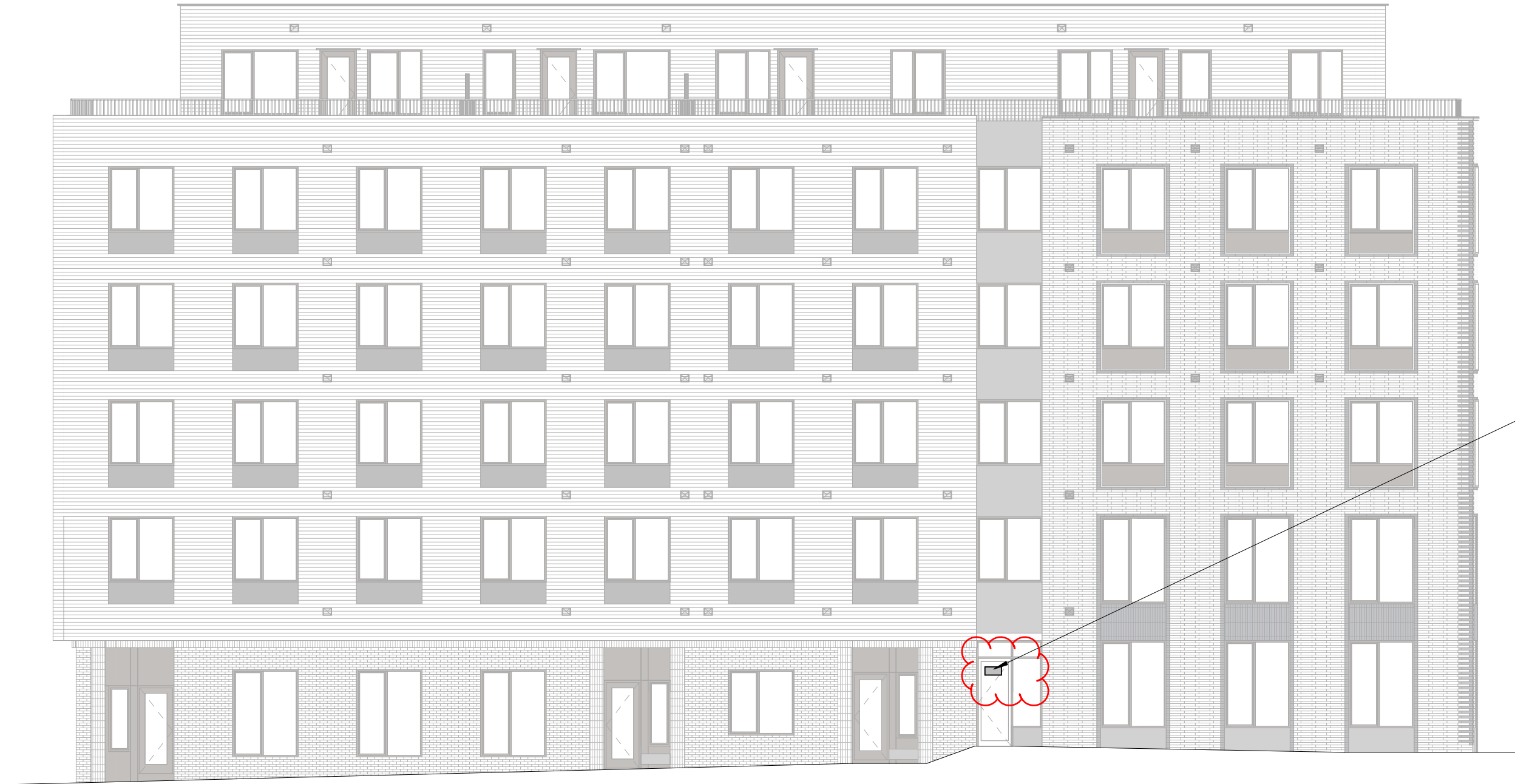
1 PLAZA NORTH ELEVATION



3/32" = 1'-0"

SIGN-35
299 BROADWAY BLADE SIGN

SIGN-34
299 BROADWAY FITNESS ENTRY WALL SIGN

LEGEND	
	SIGNAGE
	SIGNAGE BAND FOR POTENTIAL RETAIL WALL SIGNAGE



LEGEND	
	SIGNAGE
	SIGNAGE BAND FOR POTENTIAL RETAIL WALL SIGNAGE



LEGEND

PROPERTY LINE

LOT LINE

PLANTING BED

PROPOSED TREE

LIGHT POLE

BIKE RACK

Somerville Green Score - LOT 2

Area or Number		Sqm Credit			
58,326		Sq Ft Credit	Multiplier	Weighted Area	Score Value
Soils					
Landscape area with a soil depth less than 24 inches	0	actual sq ft	0.3	0	0.000
Landscape area with a soil depth equal to or greater than 24 inches	8,643	actual sq ft	0.6	5185.8	0.089
Pervious Paving with 6 to 24 inches of subsurface soil or gravel	0	actual sq ft	0.2	0	0.000
Pervious Paving with more than 24 inches of subsurface soil or gravel	3,106	actual sq ft	0.5	1553	0.027
Groundcovers					
Turf grass, mulch, and inorganic surfacing materials	0	actual sq ft	0.1	0	0.000
Plants					
Vegetation less than two (2) feet tall at maturity	2183	actual sq ft	0.2	436.6	0.007
Vegetation at least two (2) feet tall at maturity	5614	12	0.3	20210.4	0.347
Trees					
Small Tree	18	50	0.6	540	0.009
Large Tree	39	450	0.6	10530	0.181
Preserved Tree	0	65	0.8	0	0.000
Engineered Landscape					
Vegetated Wall	0	actual sq ft	0.1	0	0.000
Rain gardens, bioswales, and stormwater planters	0	actual sq ft	1.0	0	0.000
Green Roof with up to 6" of growth medium	0	actual sq ft	0.1	0	0.000
Green Roof with 6"-10" of growth medium	0	actual sq ft	0.4	0	0.000
Green Roof of 10"-24" growth medium	0	actual sq ft	0.6	0	0.000
Green Roof of over 24" growth medium	N/A	Calculate as if soils, groundcovers, plants, and trees			
Possible Bonuses					
Publicly Visible Landscape	3,434	actual sq ft	0.1	343.4	0.006
Native Species	6500	actual sq ft	0.1	650	0.011
High Value Species	3,900	actual sq ft	0.1	390	0.007
50% Irrigation from storm water	0	actual sq ft	0.1	0	0.000
Food cultivation	0	actual sq ft	0.1	0	0.000
De-paved lot area	0	actual sq ft	0.1	0	0.000
Green Score =		0.659			
Green Score District Requirements					
NR & UR	MR3 & MR4	MR5, MR6, & HR	FAB, CC, CB, CI		
0.35	0.25	0.20	0.20		
0.40	0.3	0.25	-		
0.659	0.659	0.659	0.683		
Required Score:					
Target Score:					
Actual Green Score:					

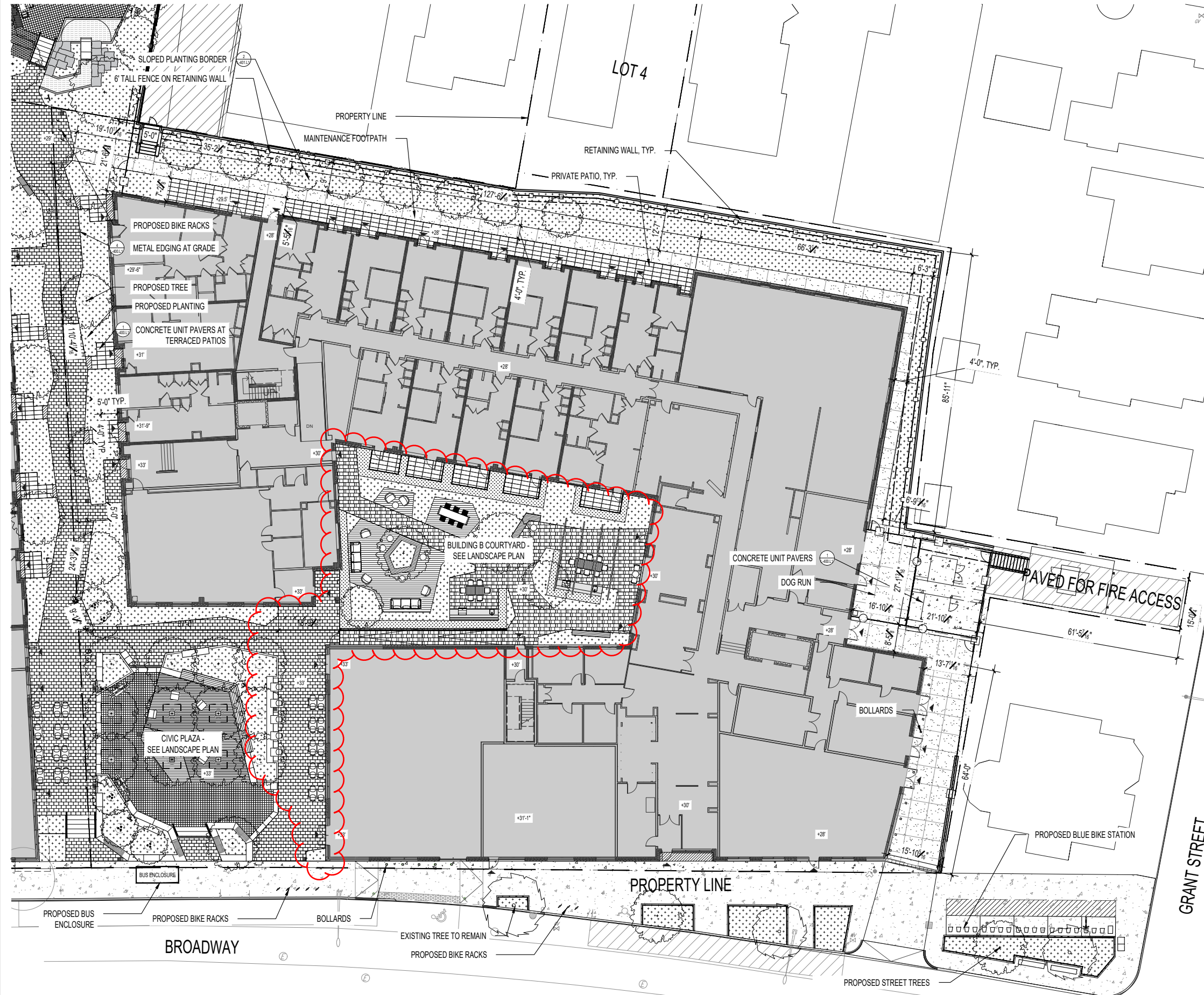
PREVIOUS

FUTURE GREEN

utile
Architecture & Planning



Scale: 1/32" = 1'



LEGEND

PROPERTY LINE

LOT LINE

PLANTING BED

PROPOSED TREE

LIGHT POLE

BIKE RACK

SITE DIMENSION

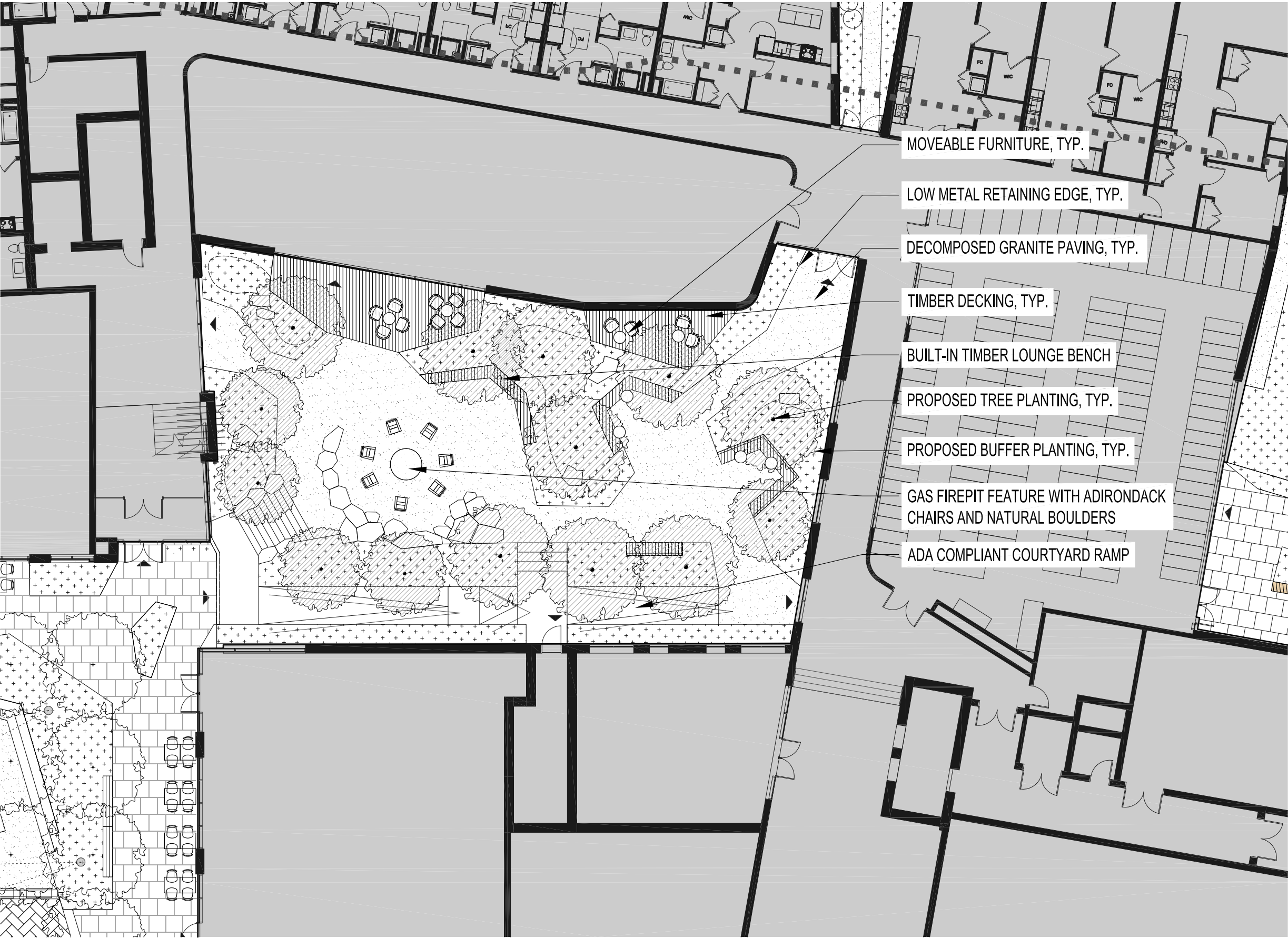
Somerville Green Score - LOT 2

Area or Number	Sq Ft Credit	Multiplier	Weighted Area	Score Value	
51,072					
Soils					
Landscaped area with a soil depth less than 24 inches	1,152	actual sq ft	0.3	345.6	0.007
Landscaped area with a soil depth equal to or greater than 24 inches	5,446	actual sq ft	0.6	3267.3	0.064
Pervious Paving with 6 to 24 inches of subsurface soil or gravel	904	actual sq ft	0.2	180.8	0.004
Pervious Paving with more than 24 inches of subsurface soil or gravel	0	actual sq ft	0.5	0	0.000
Groundcovers					
Turf grass, mulch, and inorganic surfacing materials	0	actual sq ft	0.1	0	0.000
Plants					
Vegetation less than two (2) feet tall at maturity	3,540	actual sq ft	0.2	707.915	0.014
Vegetation at least two (2) feet tall at maturity	2,192	12	0.3	7890.5295	0.154
Trees					
Small Tree	12	50	0.6	360	0.007
Large Tree	4	450	0.6	1080	0.021
Preserved Tree	0	65	0.8	0	0.000
Engineered Landscape					
Vegetated Wall	0	actual sq ft	0.1	0	0.000
Rain gardens, bioswales, and stormwater planters	0	actual sq ft	1.0	0	0.000
Green Roof with up to 6" of growth medium	0	actual sq ft	0.1	0	0.000
Green Roof with 6"-10" of growth medium	0	actual sq ft	0.4	0	0.000
Green Roof of 10"-24" growth medium	0		0.6	0	0.000
Green Roof of over 24" growth medium	N/A	Calculate as if soils, groundcovers, plants, and trees			
Weighted Score Subtotal=				0.271	
Possible Bonuses					
Publicly Visible Landscape	4602	actual sq ft	0.1	460.2	0.009
Native Species	4,084	actual sq ft	0.1	408.4125	0.008
High Value Species	29	actual sq ft	0.1	2.9	0.000
50% Irrigation from storm water	0	actual sq ft	0.1	0	0.000
Food cultivation	0	actual sq ft	0.1	0	0.000
De-paved lot area	0	actual sq ft	0.1	0	0.000
Green Score District Requirements					
NR & UR	MR3 & MR4	MR5, MR6, & HR	FAB, CC, CB, CI		
0.35	0.25	0.20	0.20		
0.40	0.3	0.25	-		
Required Score:	0.271	0.271	0.271	0.288	
Target Score:					
Actual Green Score:					



PROPOSED

FUTURE GREEN



LEGEND

---	PROPERTY LINE
---	LOT LINE
+	PLANTING BED
●	PROPOSED TREE

FURNITURE SCHEDULE

SYMB	ITEM	QTY
☺	LOUNGE CHAIR	12
○	CAFE TABLE	4
○	GAS FIREPIT	1
☒	ADIRONDACK CHAIR	6

PAVING SCHEDULE

	TYPE	QTY
+	BUFFER PLANTING	2088 SQ FT
+	DECOMPOSED GRANITE PAVING	1966 SQ FT
	TIMBER DECKING	630 SQ FT

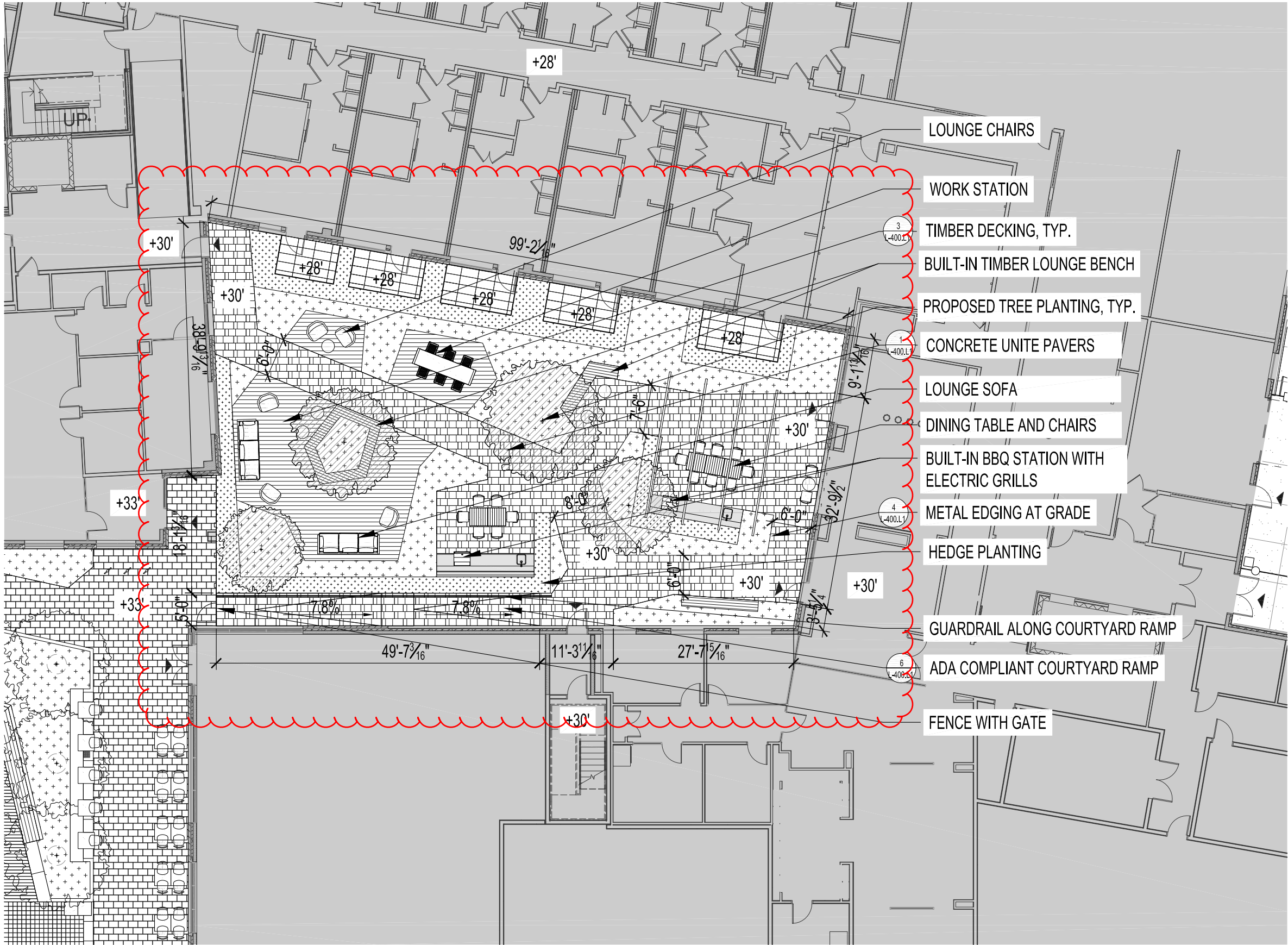


Scale: 1/16" = 1'



PREVIOUS

FUTURE GREEN



LEGEND

---	PROPERTY LINE
---	LOT LINE
[Pattern]	PLANTING BED
[Symbol]	PROPOSED TREE
[Symbol]	SITE DIMENSION
[Symbol]	GATE
[Symbol]	RAILING

FURNITURE SCHEDULE

SYMB	ITEM	QTY
[Symbol]	LOUNGE SOFA	2
[Symbol]	BUILT-IN TIMBER LOUNGE BENCH	3
[Symbol]	DINING CHAIR	16
[Symbol]	DINING TABLE	2
[Symbol]	LOUNGE CHAIR	5
[Symbol]	LOW TABLE	8
[Symbol]	BBQ STATION WITH ELECTRIC GRILL	2
[Symbol]	WORK STATION	1

PAVING SCHEDULE

	TYPE	QTY
[Pattern]	COURTYARD PLANTING	1146 SQ FT
[Pattern]	HEDGE PLANTING	627 SQ FT
[Pattern]	CONCRETE UNIT PAVERS	1954 SQ FT
[Pattern]	TIMBER DECKING	716 SQ FT



Scale: 1/16" = 1'

