



1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY BY PETER NOLAN & ASSOCIATES LLC AS OF 11-11-2023. PERFORMED

2. DEED REFERENCE BOOK 68910 PAGE 267, MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS.

THIS PLAN IS NOT INTENDED TO BE RECORDED.

4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0439E, PANEL NUMBER 0439E, COMMUNITY NUMBER: 250214, DATED JUNE 4, 2010.

5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.

6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.

7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.

8. THE ELEVATIONS SHOWN ARE ON A CITY OF SOMERVILLE DATUM.

9.ZONING DISTRICT = MR3- MID RISE 3

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST RECORD PLANS, DEEDS AND CERTIFICATES OF TITLE.



PETER NOLAN P.L.S B.Sc.

11/29/2023

ONINOZ	THGH	
ZONING DISTRICT:	MD3-	MID RISE 3
	REQUIRED	EXISTING
LOT WIDTH	30'	52'
BUILDING SETBACK		I
PRIMARY FRONT	2'	6.5
SECONDARY FRONT	N	5.2
SIDE SETBACK	0,	
LOT COVERAGE (MAX)	90%	69.4%

APPD BY	CHKD BY	DRAWN BY	CLIENT:	1 OF 1	PLAN NO.	SHEET	11/29/2023	DATE	1"=10'
_							REV	>	
PHONE: 857 EMAIL:	PETE LAND S					103	DATE	2/6/2025	
697 CAMBRIDGE STREET, SUITE 103 BRIGHTON MA 02135 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 569: EMAIL: pnolan@pnasurveyors.com	PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS		FINAL AS BUILT	MASSACHUSETTS		103 WASHINGTON STREET	REVISION	PLAN UPDATED	
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GRAPHIC

SCALE

( IN FEET 1 inch = 10

ft.

XISTING NOT TO

PROFILE

43.3°±

EXISTING ROOF - PEAK ELEV.=52.7±

EXISTING FINISHED FLOOR ELEV.=9.5±

AVG. GRADE PLANE BASED ON BUILDING CORNERS SHOTS ELEV.=9.4±