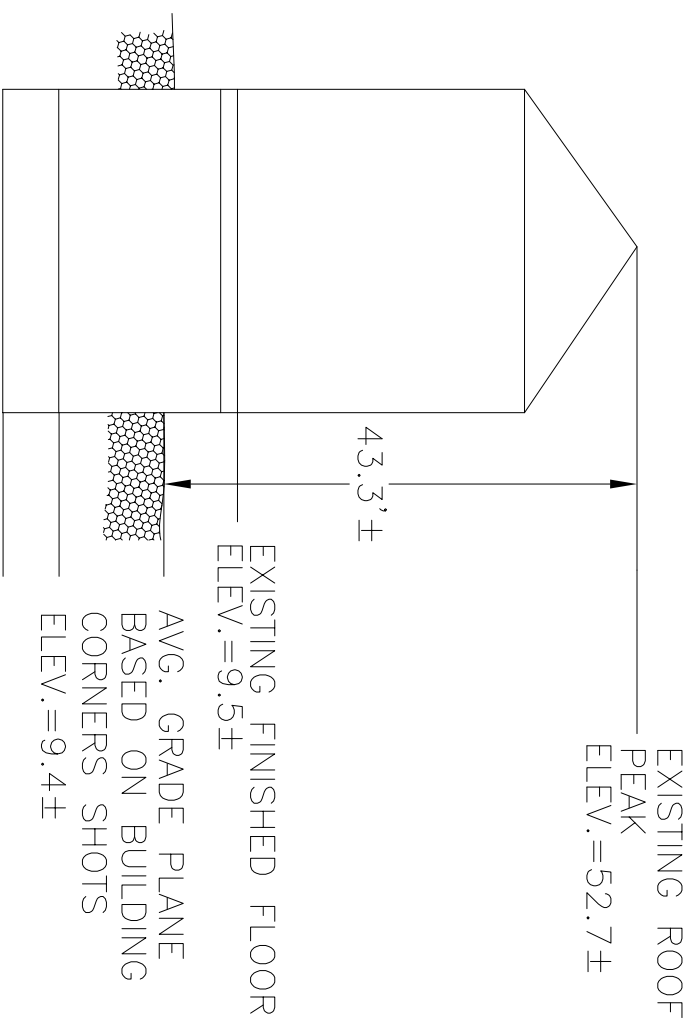
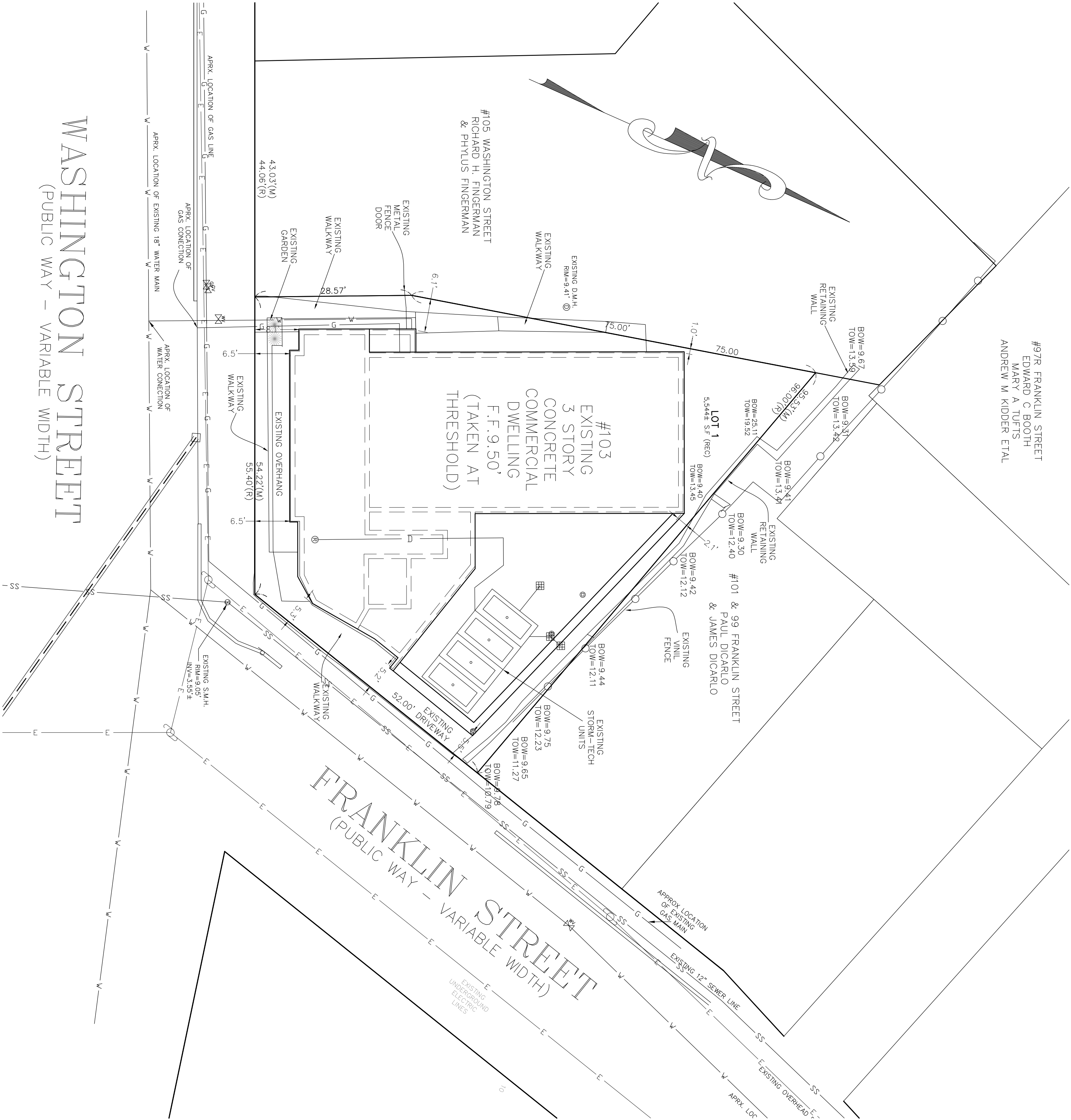
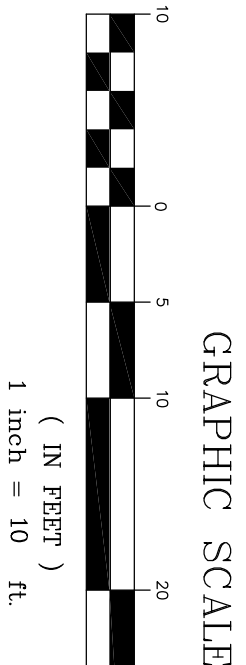


EXISTING LEGEND

SS	SEWER LINE
⊗	SEWER MANHOLE
W	WATER LINE
G	GAS LINE
⊕	UTILITY POLE
⊗	GAS VALVE
E	OVERHEAD ELECTRIC SERVICE
WV	WATER VALVE
□	CATCH BASIN
○	FENCE
-205-	CONTOUR LINE (MAF)
-195-	CONTOUR LINE (MAH)
X	SPOT GRADE
Ⓛ	DRAIN MANHOLE
⊗	HYDRANT
⊗	TREE

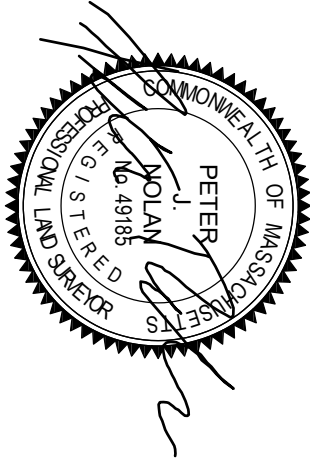


EXISTING PROFILE
NOT TO SCALE



NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 11-11-2023.
 2. DEED REFERENCE BOOK 68910 PAGE 267 MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS.
 3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
 4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0439E, PANEL NUMBER 0439E, COMMUNITY NUMBER: 250214, DATED JUNE 4, 2010.
 5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND, HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.
 6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
 7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
 8. THE ELEVATIONS SHOWN ARE ON A CITY OF SOMERVILLE DATUM.
 9. ZONING DISTRICT = MR3- MID RISE 3
- I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST RECORD PLANS, DEEDS AND CERTIFICATES OF TITLE.



PETER NOLAN P.L.S B.Sc.

11/29/2023
DATE

ZONING LEGEND			
ZONING DISTRICT: MD3- MID RISE 3			
	REQUIRED	EXISTING	
LOT WIDTH	30'	52'	
BUILDING SETBACK	-	-	
PRIMARY FRONT	2'	6.5'	
SECONDARY FRONT	2'	5.2'	
SIDE SETBACK	0'	1'	
LOT COVERAGE (MAX)	90%	69.4%	

SCALE			
T=10'			
DATE	A	2/6/2025	PLAN UPDATED
11/29/2023	REV	DATE	REVISION
			BY
SHEET			
1			
PLAN NO.			
1 OF 1			
CLIENT:			
DRAWN BY			
DS			
CHECKED BY			
PLAN			
APPROVED BY			
PAN			
PETER NOLAN & ASSOCIATES LLC			
LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS			
697 CAMBRIDGE STREET, SUITE 103 BRIGHTON MA 02135			
PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691			
EMAIL: pnolan@pnasurveyors.com			
FINAL AS BUILT PLAN			SHEET NO.
			1