

# REDEVELOPMENT OF 53 CHESTER ST

SOMERVILLE, MA 02144  
A MIXED-USED COMMERCIAL AND RESIDENTIAL PROJECT



3D VIEW AT CHESTER STREET CORNER

PROGRAM SUMMARY

- 3 RESIDENTIAL UNITS
- 1 COMMERCIAL SPACE
- 3 PARKING SPACES
- 8 BIKE SPACES
- 4 LONG-TERM IN PARKING GARAGE
- 4 SHORT-TERM IN FURNISHING ZONE OF SIDEWALK

PREPARED BY:

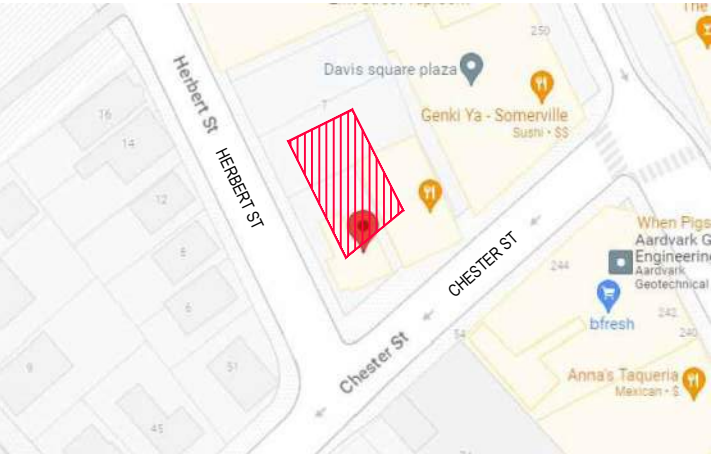
ARCHITECT  
PETER QUINN  
ARCHITECTS LLC  
259 ELM ST, STE 301  
SOMERVILLE, MA 02144  
PH (617) 354 3989

SURVEYOR  
BOSTON SURVEY,  
INC.  
UNIT C-4 SHIPWAY PLACE  
CHARLESTOWN, MA 02129  
PH (617) 242 1313

LANDSCAPE ARCHITECT  
VERDANT LANDSCAPE  
ARCHITECTS  
318 HARVARD ST, STE 25  
BROOKLINE, MA 02446  
PH (617) 735 1180

LIST OF DRAWINGS		NEIGHBORHOOD PRESENTATION 07 JUNE 2023	UDC SUBMISSION 12 JULY 2023	NEIGHBORHOOD PRESENTATION 28 NOV 2023	PB SP/SPR 18 JAN 2024	PB SP/SPR REV-1 26 AUG 2024	PB SP/SPR REV-2 5 SEP 2024	PB SP/SPR REV-3 8 OCT 2024	PB SP/SPR REV-4 6 NOV 2024
GENERAL									
T-1	TITLE SHEET	X	X	X	X	X	X	X	X
	EXISTING CONDITIONS PLOT PLAN	X	X	X	X	X	X	X	X
L1-6	LANDSCAPE PLAN (9 SHEETS)		X	X	X	X	X		
Z-1	ZONING ANALYSIS - ZONING TABLE		X	X	X	X	X	X	X
Z-2	ZONING ANALYSIS - DIMENSIONAL SITE PLAN		X	X	X	X	X	X	X
Z-3	ZONING ANALYSIS - GROSS SQ FOOTAGE		X	X	X	X	X	X	X
Z-4	ZONING ANALYSIS - FENESTRATION CALCULATION		X	X	X	X	X	X	X
Z-5	ZONING ANALYSIS - LOT CALC. & BLDG HEIGHT		X	X	X	X	X	X	X
Z-6	ZONING ANALYSIS - LOBBY ENTRANCE, STOREFRONT					X	X	X	X
Z-7	ZONING ANALYSIS - BAY WINDOWS					X	X	X	X
Z-8	ZONING ANALYSIS - SEC. 8.2.5 COMPLIANCE							X	X

ARCHITECTURAL									
A0.1	3D VIEW	X	X	X	X	X	X	X	X
AS-1	CONTEXT SITE PLAN		X	X	X	X	X	X	X
A-1	FIRST FLOOR PLAN	X	X	X	X	X	X	X	X
A-2	SECOND FLOOR PLAN	X	X	X	X	X	X	X	X
A-3	THIRD FLOOR PLAN						X	X	X
A-4	FOURTH FLOOR PLAN	X	X	X	X	X	X	X	X
A-5	ROOF PLAN	X	X	X	X	X	X	X	X
A-6	HERBERT STREET ELEVATION (STUDY #1)	X	X	X	X	X	X	X	X
A-7	CHESTER STREET ELEVATION (STUDY #1)	X	X	X	X	X	X	X	X
A-8	RIGHT ELEVATION (STUDY #1)	X	X	X	X	X	X	X	X
A-9	REAR ELEVATION (STUDY #1)	X	X	X	X	X	X	X	X
A-10	STREETSCAPE ELEVATION (STUDY #1)	X	X	X	X	X	X	X	X
A-5a	HERBERT ST ELEVATION (STUDY #2)		X	X	X	X			
A-6a	CHESTER ST ELEVATION (STUDY #2)		X	X	X	X			
A-5b	HERBERT ST ELEVATION (STUDY #3)		X	X	X	X			
A-6b	CHESTER ST ELEVATION (STUDY #3)		X	X	X	X			
A-11	TRANSVERSE SECTION	X	X	X	X	X	X	X	X
A-12	CROSS SECTION			X	X	X	X	X	X
A-13	MATERIALS BOARD		X	X	X	X	X	X	X
SH 1-3	SHADOW STUDY (3 SHEETS)	X	X	X	X	X	X	X	X



LOCUS PLAN

PETER  
QUINN  
ARCHI  
TECTS  
ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

PETER QUINN ARCHITECTS LLC  
259 ELM STREET, SUITE 301  
SOMERVILLE, MA 02144  
PH 617-354-3989

SEAL

CONSULTANT

PROJECT

53 CHESTER ST

53 CHESTER STREET  
SOMERVILLE, MA 02144

PREPARED FOR

G2 PAR  
SOMERVILLE LLC

62 BLACK ROCK RD.  
COHASSET, MA 02025

DRAWING TITLE

TITLE SHEET

SCALE AS NOTED

REVISION DATE

PB SP/SPR REV-4	6 NOV 2024
PB SP/SPR REV-3	8 OCT 2024
PB SP/SPR REV-2	5 SEP 2024
PB SP/SPR REV-1	26 AUG 2024
PB SP/SPR	18 JAN 2024
DRAWN BY MN / YC	REVIEWED BY PQ
SHEET	

T-1

OWNER OF RECORD:  
G2 PAR SOMERVILLE, LLC  
62 BLACK ROCK ROAD  
COHASSET, MA 02025

DEED: BK 77708; PG 103  
PLAN: BK 2360; PG END  
No. 985 OF 2018

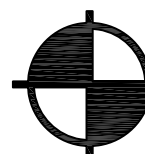
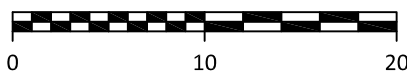
MBLU: 22/C/6  
PID: 4554  
DISTRICT: MR4

V. DATUM: SOMERVILLE DATUM

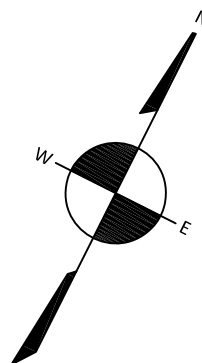
LOCATED AT  
53 CHESTER STREET  
SOMERVILLE, MA

LOCATED AT

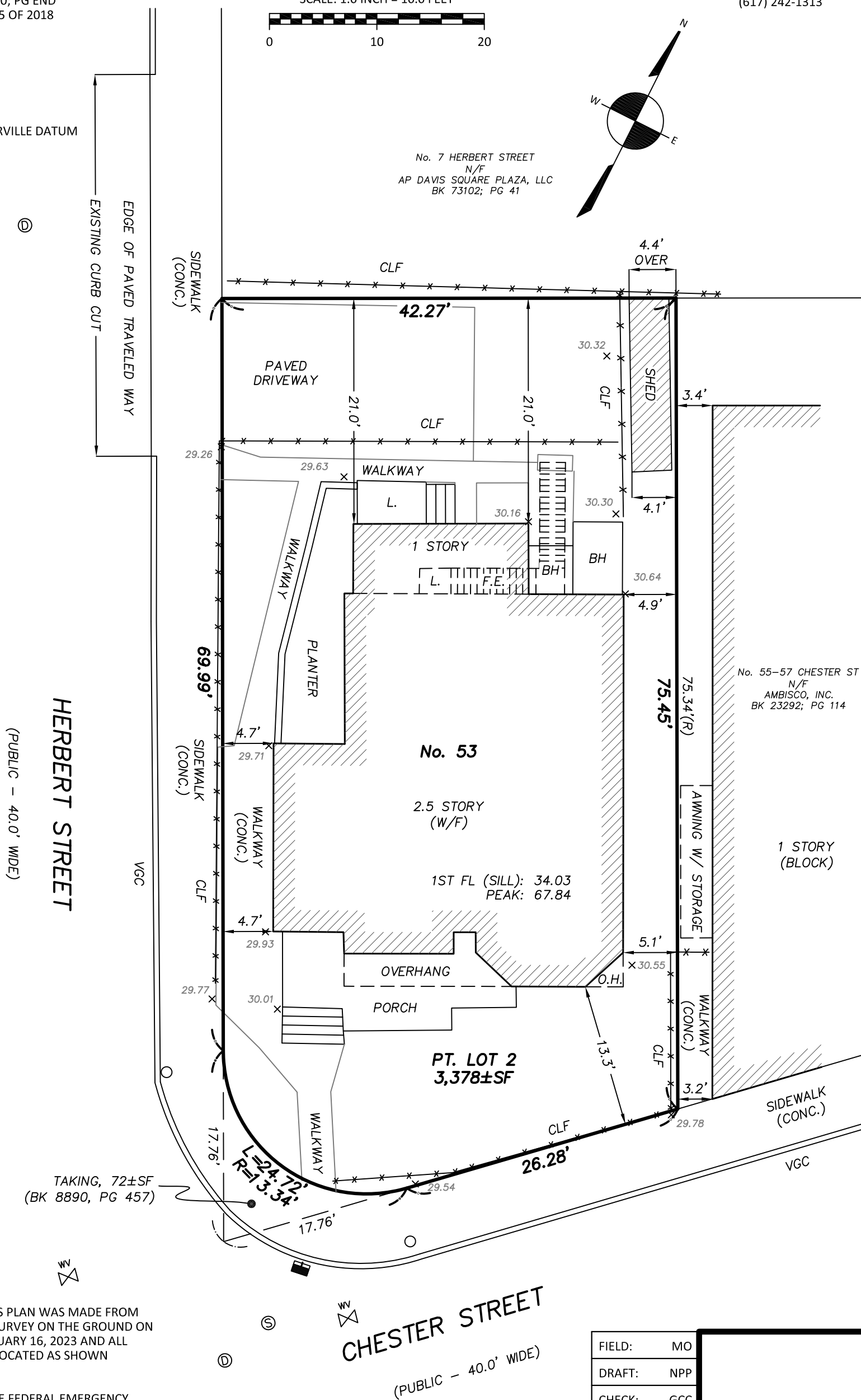
SCALE: 1.0 INCH = 10.0 FEET



**BOSTON**  
**SURVEY, INC.**  
UNIT C-4 SHIPWAY PLACE  
CHARLESTOWN, MA 02129  
(617) 242-1313



No. 7 HERBERT STREET  
N/F  
AP DAVIS SQUARE PLAZA, LLC  
BK 73102: PG 41



I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF FEBRUARY 16, 2023 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY  
MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE  
MAJOR IMPROVEMENTS ON THIS PROPERTY  
FALL IN AN AREA DESIGNATED AS  
ZONE: X  
COMMUNITY PANEL: 25017C0438E  
EFFECTIVE DATE: 06/04/2010

FIELD:	MO
DRAFT:	NPP
CHECK:	GCC
DATE:	03/14/24
JOB #	22-00797





SCALE: 1/8" = 1'-0"



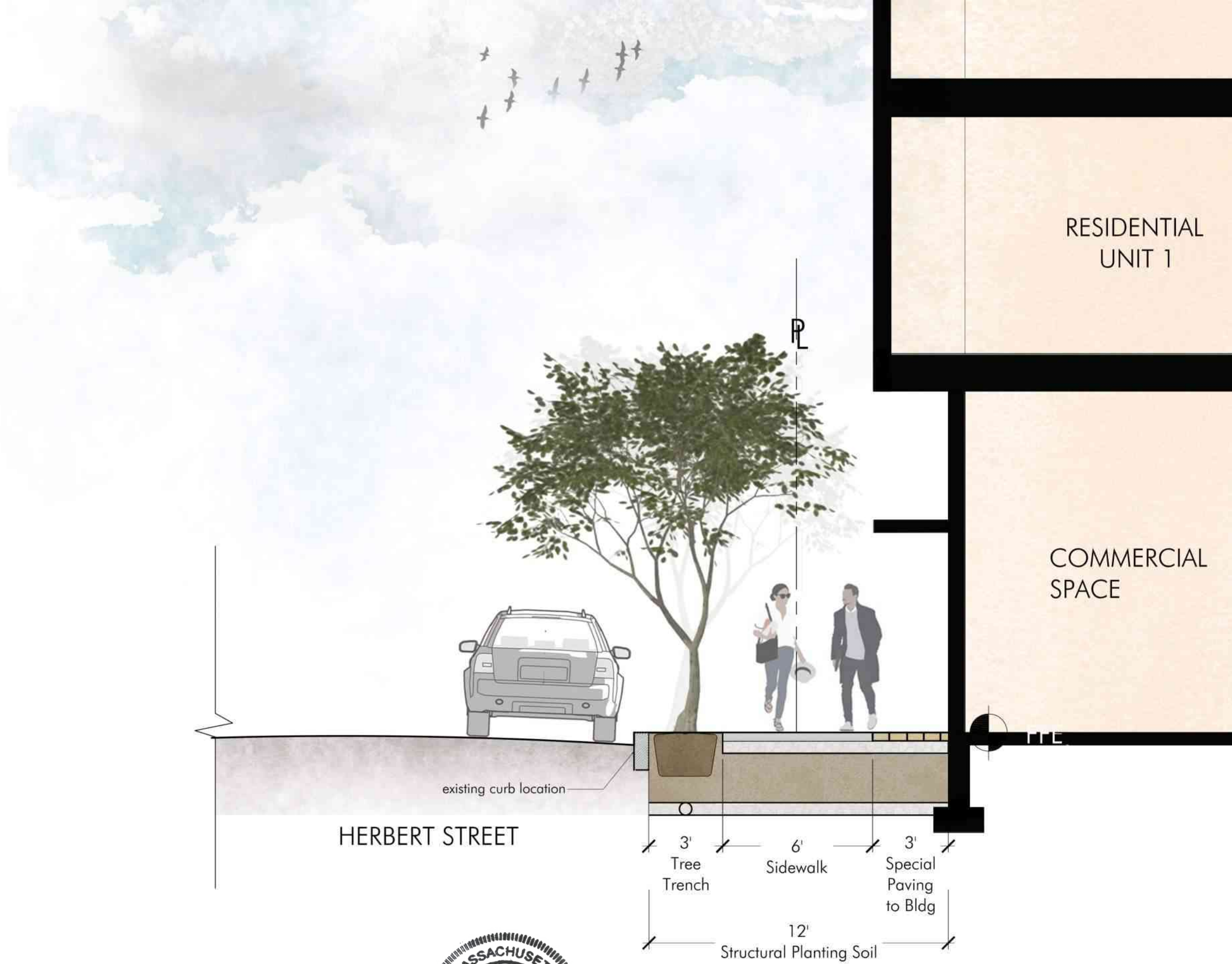
**VERDANT**  
LANDSCAPE ARCHITECTURE



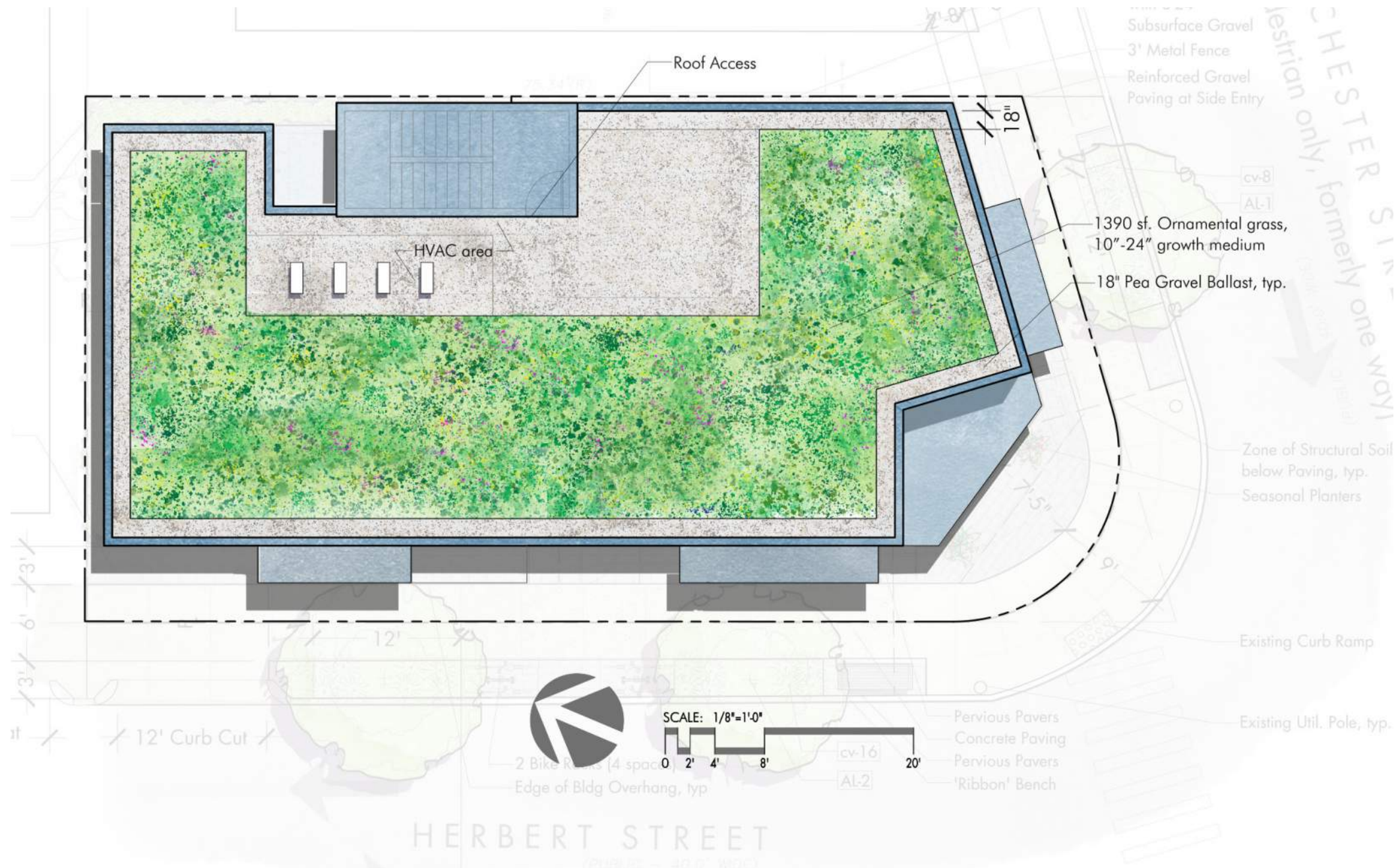
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Revised: NOVEMBER 08, 2024









Purple Love Grass



Prairie Dropseed



Little Bluestem



Bottlebrush Grass

PROPOSED PLANT LIST: ROOFDECK

SYMB	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
ORNAMENTAL GRASS					
es	275	Eragrostis spectabilis	Purple Love Grass	1 qt.	15" o.c.
sh	100	Sporobolus heterolepis	Prairie Dropseed	1 qt.	18" o.c.
ss	115	Schizachyrium scoparium	Little Bluestem	1 qt.	24" o.c.
eh	120	Elymus hystrix	Bottlebrush Grass	1 qt.	20" o.c.



Vegetated Roofdeck, 10"-24" Growth Medium



Pea Gravel Ballast



TREES TO BE REMOVED		
SPECIES	DBH (in)	COMMENTS
Japanese Yew	21 (multiple trunks cumulative sum)	Good Condition, Within proposed construction site

PROPOSED PLANT LIST: Chester 53

SYMB	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
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TREES

AL	3	Amelanchier laevis	Allegheny Serviceberry	2.5-3" cal.	B+B single stem
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PERENNIALS

cv	24	Carex vulpinoidea	Fox Sedge	1 gal.	Pot
cp	34	Carex pensylvanica	Pennsylvania sedge	1 gal.	Pot

PROPOSED PLANT LIST: ROOFDECK

SYMB	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
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ORNAMENTAL GRASS

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ss	115	Schizachyrium scoparium	Little Bluestem	1 qt.	24" o.c.
eh	120	Elymus hystrix	Bottlebrush Grass	1 qt.	20" o.c.

Somerville Green Score: 53 Chester Revised 8/27/24

Area or Number		Sq Ft Credit	Multiplier	Weighted Area	Score Value	% of Score
3,375						
Soils						
Landscaped area with a soil depth less than 24 inches	0	actual sq ft	0.3	0	0.000	0%
Landscaped area with a soil depth equal to or greater than 24 inches	97	actual sq ft	0.6	58.2	0.017	6%
Pervious Paving with 6 to 24 inches of subsurface soil or gravel	25	actual sq ft	0.2	5	0.001	1%
Pervious Paving with more than 24 inches of subsurface soil or gravel	151	actual sq ft	0.5	75.5	0.022	8%
Groundcovers						
Turf grass, mulch, and inorganic surfacing materials	0	actual sq ft	0.1	0	0.000	0%
Plants						
Vegetation less than two (2) feet tall at maturity	97	actual sq ft	0.2	19.4	0.006	2%
Vegetation at least two (2) feet tall at maturity	0	12	0.3	0	0.000	0%
Trees						
Small Tree	0	50	0.6	0	0.000	0%
Large Tree	0	450	0.6	0	0.000	0%
Preserved Tree	0	65	0.8	0	0.000	0%
Engineered Landscape						
Vegetated Wall	0	actual sq ft	0.1	0	0.000	0%
Rain gardens, bioswales, and stormwater planters	0	actual sq ft	1.0	0	0.000	0%
Green Roof with up to 6" of growth medium	0	actual sq ft	0.1	0	0.000	0%
Green Roof with 6"-10" of growth medium	0	actual sq ft	0.4	0	0.000	0%
Green Roof of 10"-24" growth medium	1390	actual sq ft	0.6	834	0.247	84%
Green Roof of over 24" growth medium	0	Calculate as if soils, groundcovers, plants, and trees				N/A

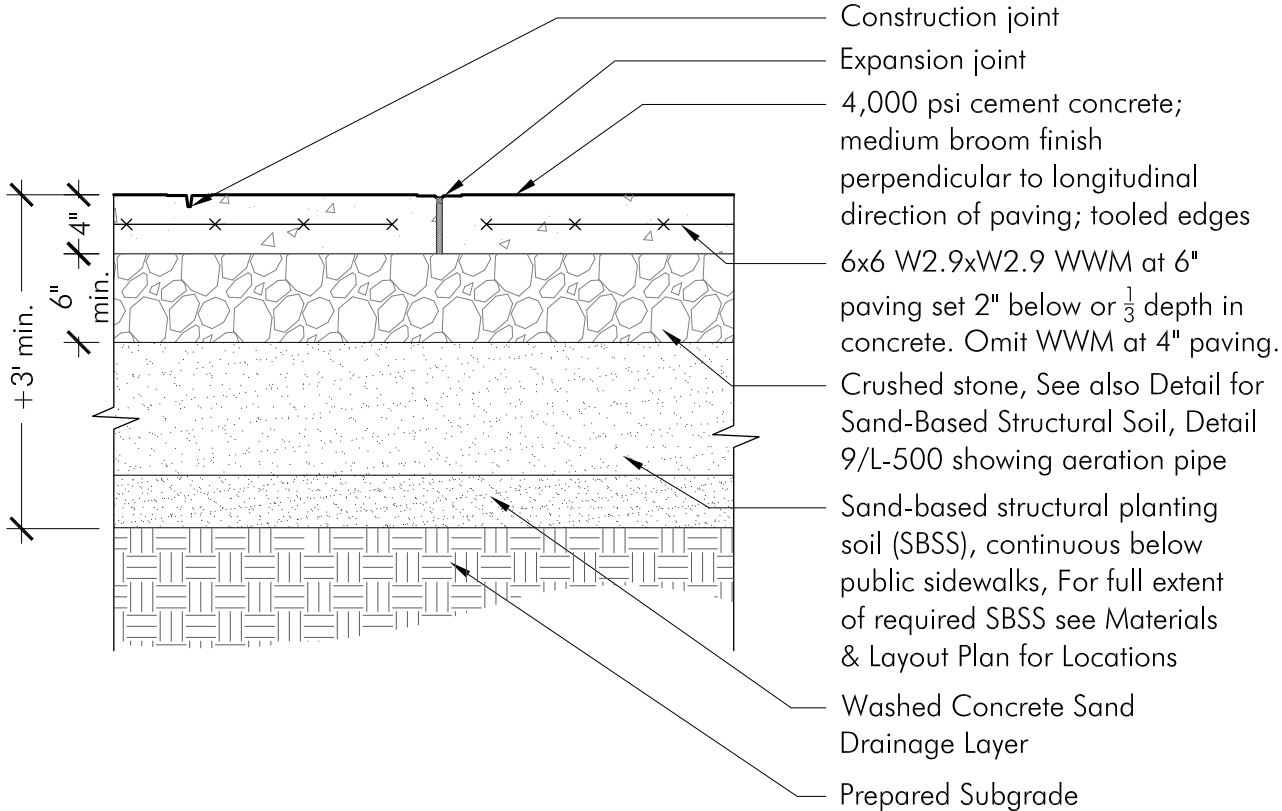
Green Score = 0.294

Required Score:  
Target Score:  
Actual Green Score:

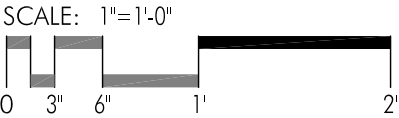
Green Score District Requirements			
NR & UR	MR3 & MR4	MR5, MR6, & HR	FAB, CC, CB, CI
0.35	0.25	0.20	0.20
0.40	0.3	0.25	-
0.294	0.294	0.294	0.294



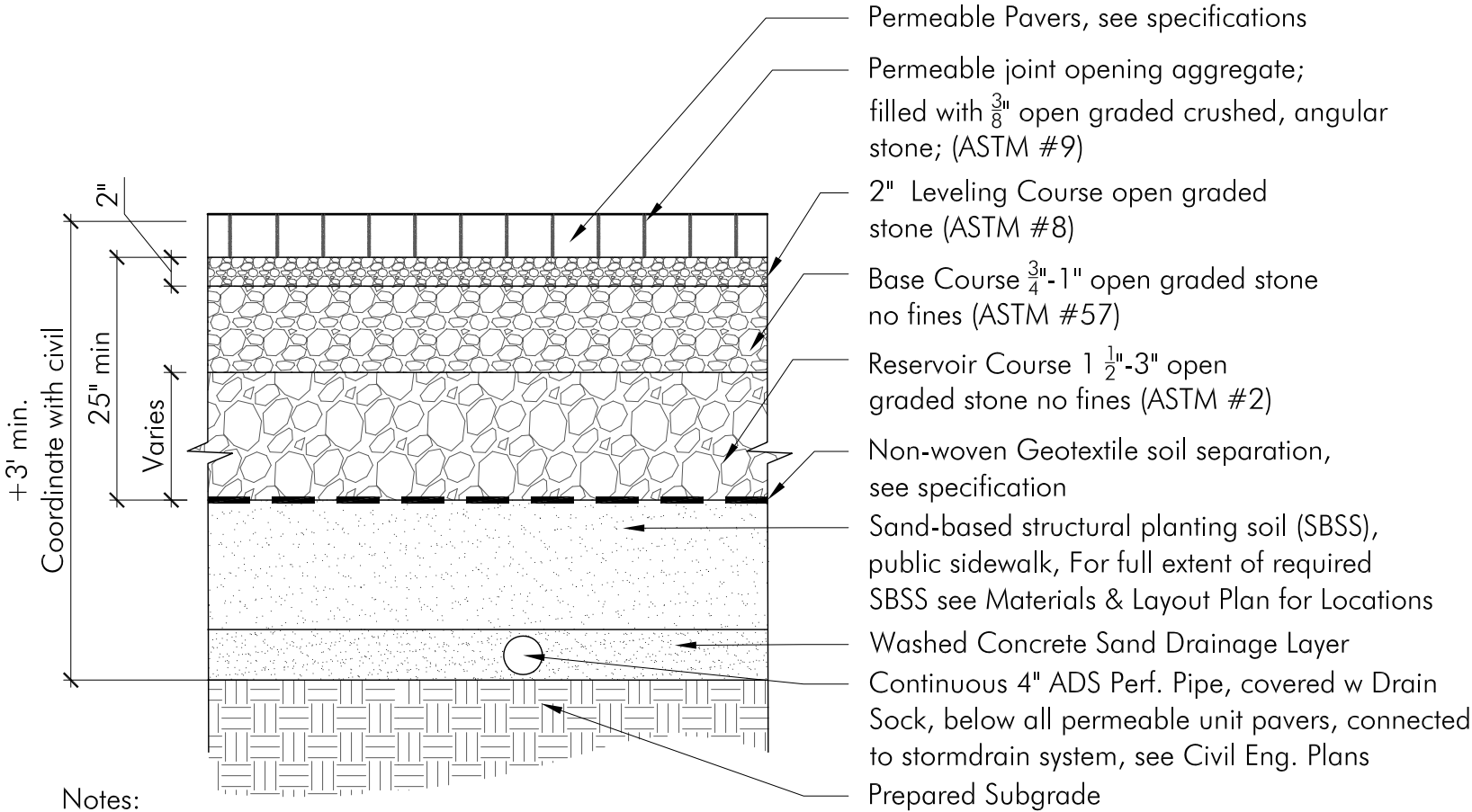
CONCRETE PAVING (PEDESTRIAN)



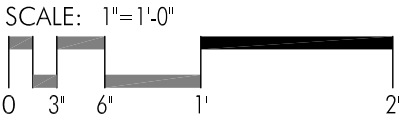
- Notes:
1. See Civil Engineer Plans + Details for additional information. Provide expansion joint between concrete paving & all structures unless specifically directed by owner or Landscape Architect.
  2. Provide 6" depth concrete at bike racks, benches and other site furnishings as noted on details.
  3. All construction joints shall be 5' o.c. typical unless otherwise noted.
  4. Expansion joints every 30' o.c. both ways and as noted.



PERMEABLE UNIT PAVERS

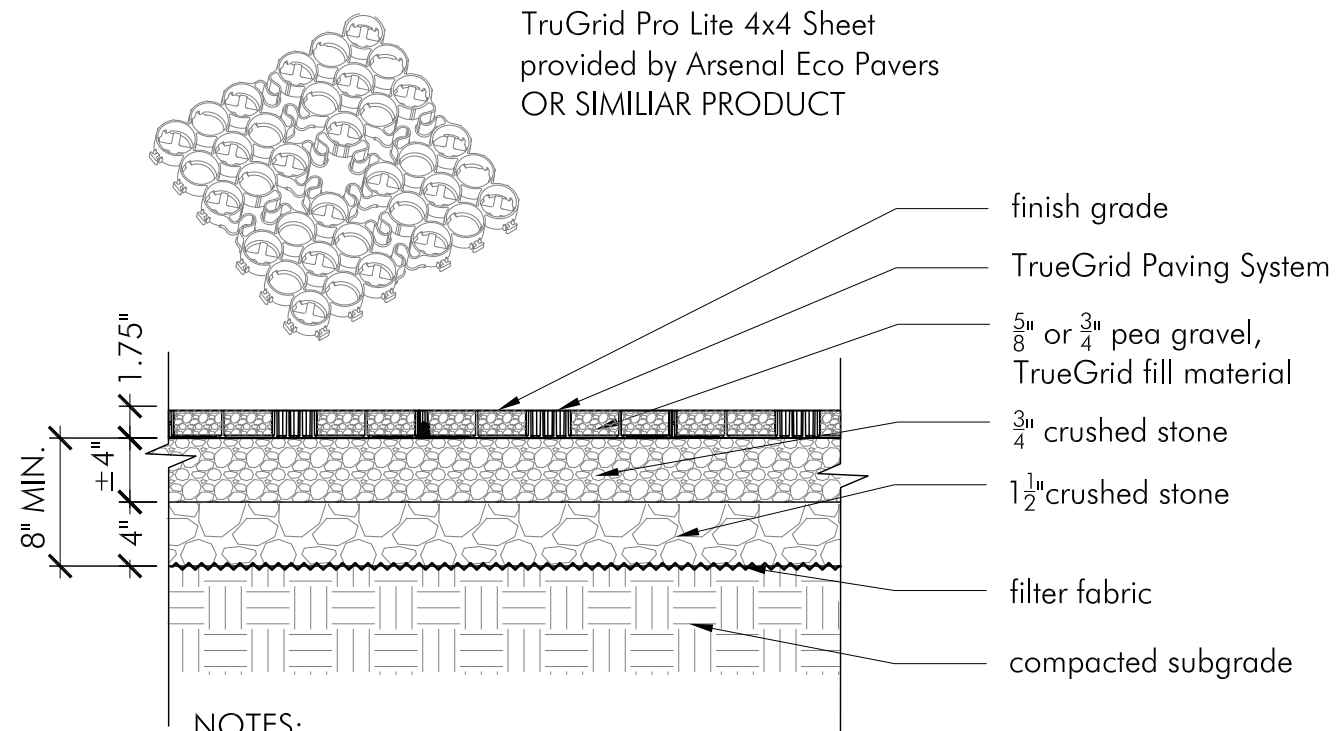


- Notes:
1. Edge restraints may vary.
  2. All aggregate material shall be crushed, angular stone and free of fines.
  3. Compact subsoil with a California bearing ratio (cbr) of less than 5% as directed by a professional engineer.
  4. Surface slope shall be a minimum of 1% and a maximum of 5%.
  5. Install pvc underdrain pipe where infiltration rate of subsoil is less than 0.5 in./hr. size as directed by a professional engineer.
  6. Never build permeable pavements on organic clay soils of high plasticity and/or peat, mulch, soils with high organic content.
  7. Maintain a minimum distance of 2' between bottom of permeable base and water table.
  8. The minimum aggregate thicknesses are after compaction.



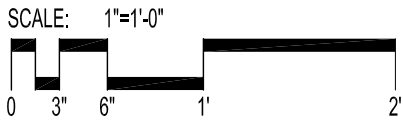


REINFORCED GRAVEL PAVING

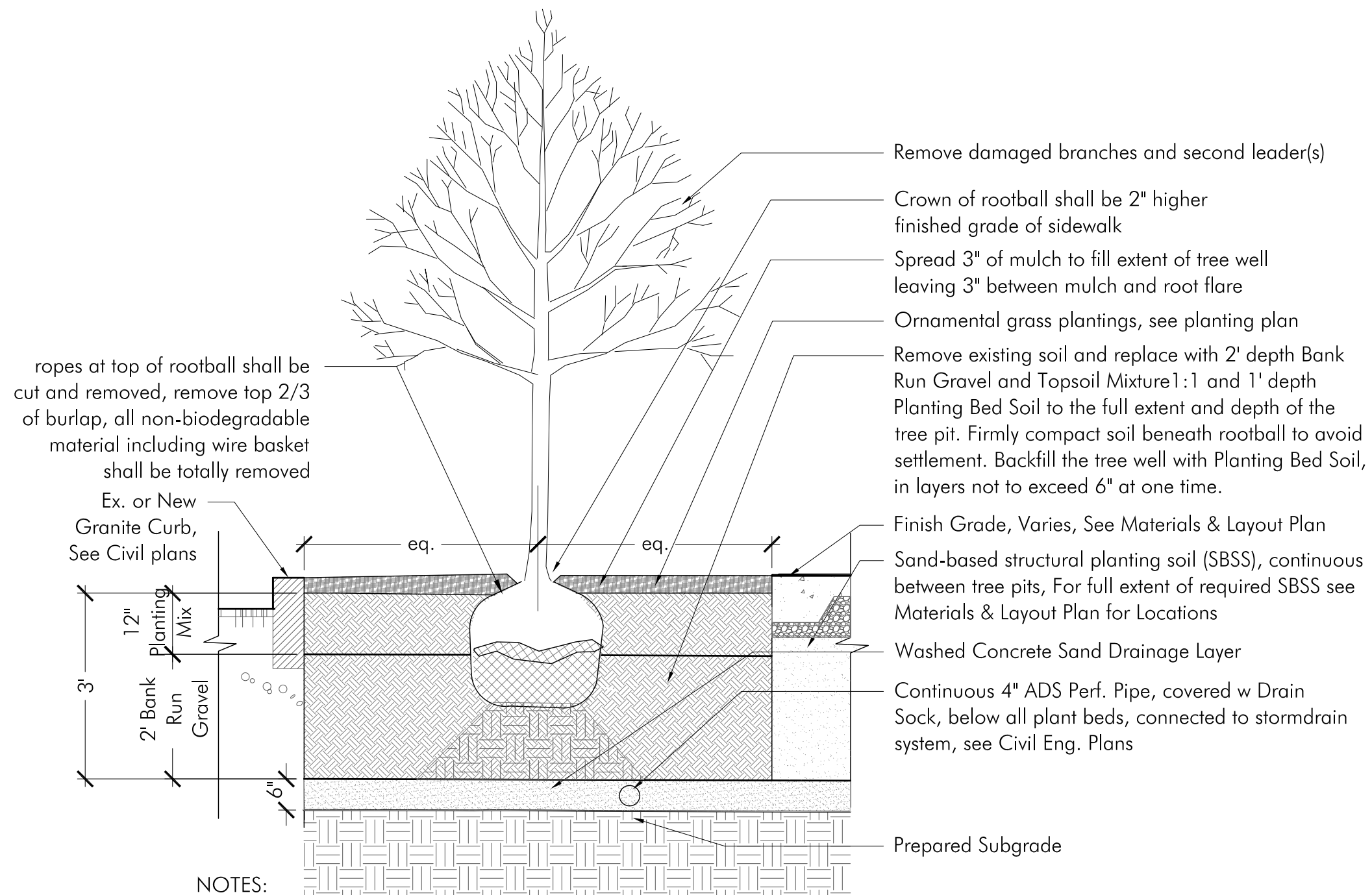


NOTES:

1. TruGrid Pro Plus by TrueGrid Paver provided by Arsenal Eco Pavers OR SIMILAR PRODUCT
  - 1.1. [arsenalecopavers.com](http://arsenalecopavers.com)
  - 1.2. See manufacturer's specifications
  - 1.3. Preassembled & delivered in 4'x4' sheet. Reconfigured as needed. No extra tooling or accessories required.
2. Geogrid mesh or geofabric may be required between subgrade and subbase for certain soils and site specific requirements.
3. No staking necessary when slope is  $<10^\circ$ .
4. Final engineered cross section aggregates and depth should allow for expected infiltration rates, storage capacities, outlet flow rates, and other site specific conditions and load requirements.



# STREET TREE PLANTING



## NOTES:

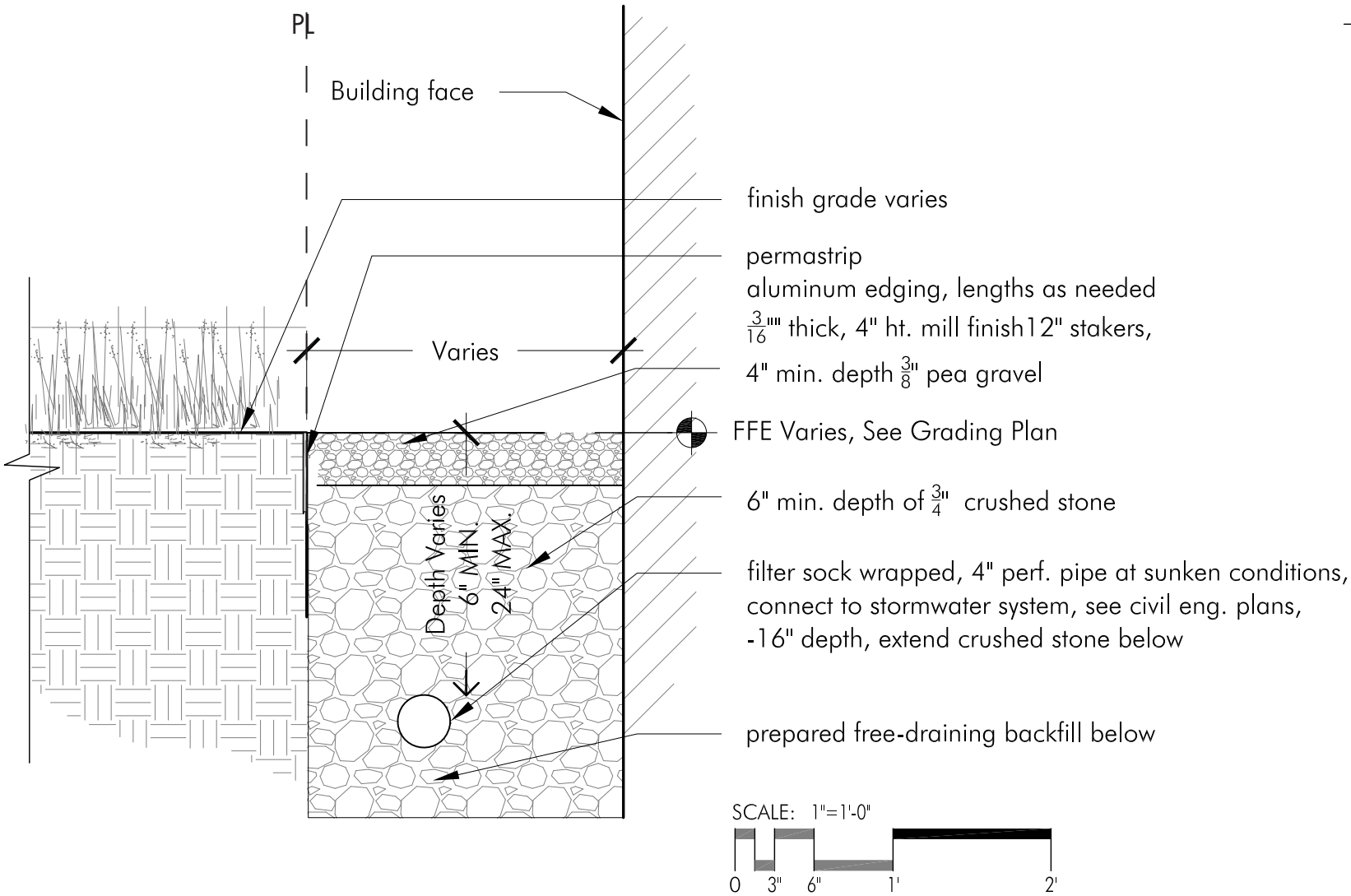
1. Gently remove excess soil around root flare which may have collected during tree spading/B+B operations.
2. Provide wooden stakes (2 per tree) and guy wire (rubber hose cover at trunk) in windy locations and as site conditions require, as directed by Landscape Architect.
3. See Soil Specifications for Planting Mix, Bank Run Gravel, Concrete Sand, and Sand-Based Structural Soil.

SCALE: 1/2"=1'-0"

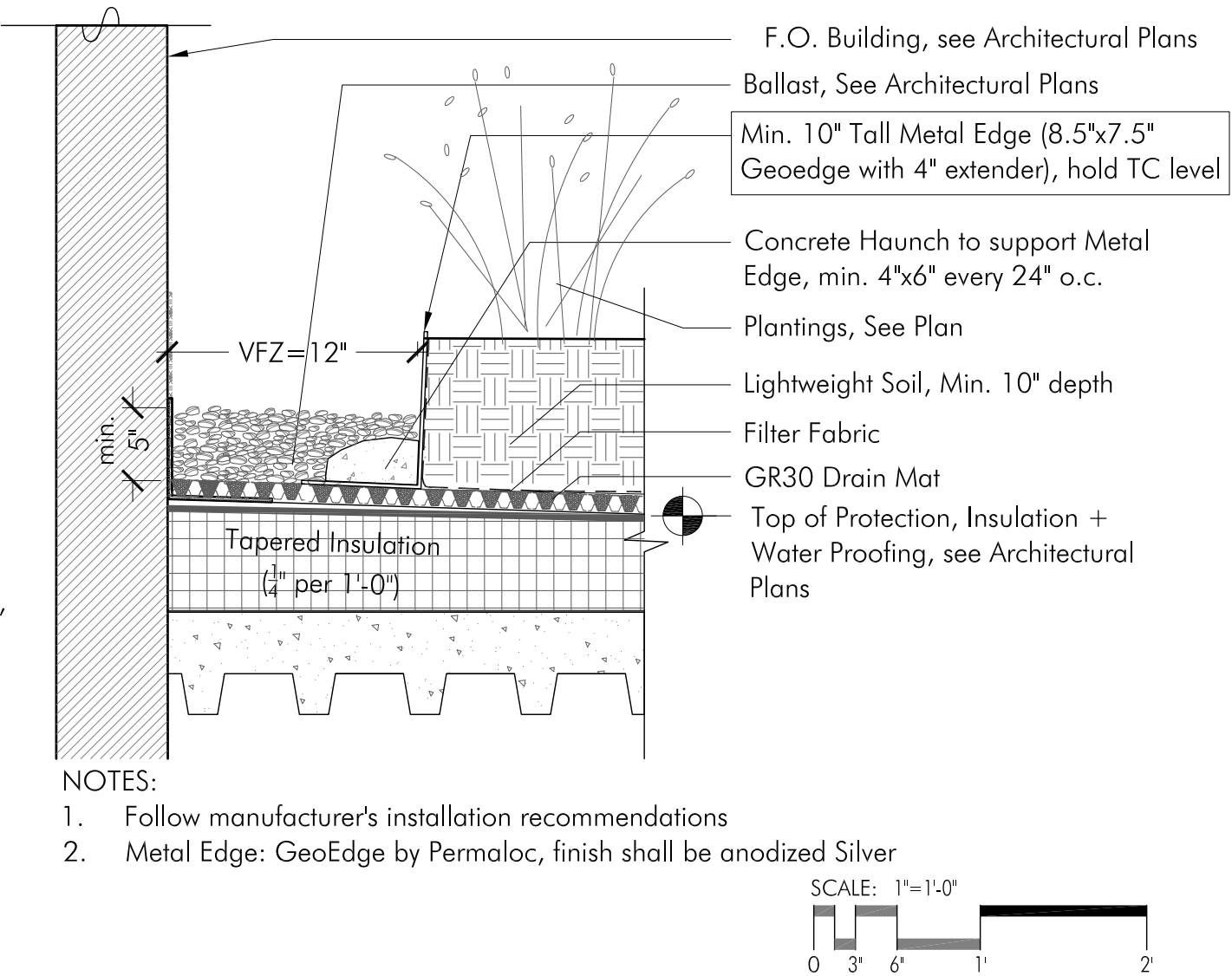




PEA GRAVEL PAVING



10" Min. DEPTH INTENSIVE GREENROOF + BALLAST EDGE



NOTES

1. Green roof modules are to be delivered in good condition. Green roof modules are to be handled carefully to prevent damage to the plants. Modules shall have plastic unwrapped (if shipped on pallets) the same day as delivery to avoid plant damage caused by overheating.

2. Conduct roof top staging of green roof system components after verifying roof loads and acceptable staging areas. Stage green roof modules over plywood panels or protective sheeting.

3. Green roof modules are to be conveyed to the roof surface with equipment that is designed and certified to hoist the associated weights safely and in accordance with equipment capacity, and local codes and regulations.

4. Protect the roof deck and waterproofing membranes using appropriate materials such as plywood sheeting. Avoid using sharp tools and keep the roof surfaces clean and free of soil, grit, or debris.

5. The vegetated green roof system Installer shall maintain the modules for at least 30 days following installation.

6. Maintenance during the initial 30-days shall follow industry accepted horticultural practices. Watering: two watering events per week to sufficiently saturate the growing medium. Provide spot weeding (by hand), as needed, to maintain plant health and prevent weed to flower and set seed, and to prevent woody plants to establish. Do not use any pesticides which include herbicides. Repair, rework and replant, if necessary, areas where wash out caused erosion, and replace dead plants.

7. Maintenance protocols: Provide the GreenGrid® maintenance guide and protocols to the Owner for extended maintenance of the green roof system. Provide a report(s) to the Owner outlining post-installation green roof conditions and observations about plant care and the initial maintenance period.

8. Irrigation: Irrigation lines to be inserted through an integrated irrigation channel in the module during installation. Water shall be delivered directly and evenly to plants for uniform plant growth. Pop-up sprinklers and spray systems are commercially available. Consult a qualified irrigation specialist to determine appropriate design, system details and configuration, materials and maintenance requirements.
9. Edge Treatment: Provide decorative edge treatment from Permaloc, or equivalent suppliers, in multiple sizes, and color for use as landscape edging around the perimeter of the vegetated green roof system in all depths.

10. Stone Ballast: Clean stone or ‘river rock’, nominal 1-1/2” diameter minimum (#4) rounded stone can be used to infill around roof drains or along irregular-shaped areas.

11. Drain Covers: Stainless steel drain enclosure and cover to enclose roof drains. Provide standard 24-inch by 24-inch or custom sizes as necessary to fit roof drains and fit within modular green roof system. Drain covers shall have L-shaped tabs at the bottom edges to anchor beneath the modules.

12. Qualified Installers including General Contractors, Roofing Contractors and Landscape Contractors can install the GreenGrid® system by following the Installation Guide. A pre-installation conference call/meeting may be appropriate for new Installers. Install the vegetated green roof system according to specifications, applicable codes and regulations.

13. Safety: Installers are solely responsible to comply with all applicable safety and fall protection codes, laws and regulations as required by federal, state and local codes and regulations.

14. When plants are properly adapted and acclimated to the local weather conditions. In northern climates and unless otherwise permitted, modules shall be installed between April 15th and October 1st, except when temperatures are below 35° F. In more southern climates, the installation season will depend on seasonal weather conditions.

15. Handle the modules with care. Do not drop, kick or

point-load the modules during installation. Place modules above the slip sheet or protective layer in accordance with the landscape design or layout Drawing. Modules shall be placed in straight rows, positioned tight beside each module and in proper orientation according to the landscape design.

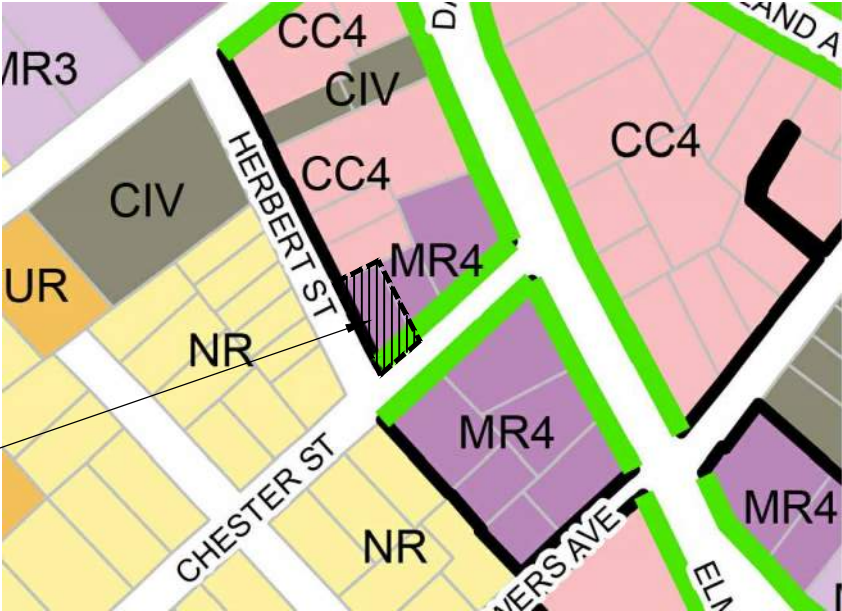
16. After installation, modules shall be immediately watered so as to thoroughly moisten growing media throughout. Water shall be free of substances harmful to plant growth.
17. Do not install modules directly in low sections of roof where water ponds or where modules will block flow of drainage, or on saturated roof surface or during freezing weather conditions.
18. If required, install an irrigation system according to the manufacturer specifications and instructions. If an irrigation system is not required, provide hoses/sprayers for temporary irrigation, as needed, to conduct initial watering for plant maintenance.
19. Cut modules, only if necessary, to offset structures or roof edges, or around obstructions. Install partial or cut planter modules with the cut edge facing another module or edging.

IRRIGATION NOTES

1. The Contractor shall provide a complete irrigation plan as described in the specifications.
2. The Contractor shall provide water supply through a second meter for the rooftop Greenroof within the Sprinkler room or mechanical room. A backflow preventer and hose-bib (or faucet) shall be provided to drain out the water supply line to the roof.
3. At the rooftop, the Contractor shall provide winterization/blowout configuration, including any additional back flow valve as may be required by code. Beyond the winterization appurtenances, the Contractor shall provide a valvebox for the irrigation spray zones as may be needed depending on the water pressure at the roof.



DIMENSIONAL TABLE FOR  
53 CHESTER ST  
- MR4 ZONING DISTRICT  
- QUARTER MILE STATION AREA WALKSHED  
- ON A PEDESTRIAN STREET  
- GENERAL BUILDING BUILDING TYPE



ZONING DISTRICT - MR4



WALKSHED - QUARTER MILE

53 Chester Street	ZONING ITEM MR4 Zone <i>General Building In 1/4 Mile Walkshed On a Pedestrian Street</i>	ALLOWED/ REQ.	PROPOSED MAXIMUM SCHEMATIC DESIGN	COMMENTS
Lot	Building Type	Per Sec. 4.2.6.b	General Building	Complies
	Lot Area	N/A	3,378-SF	Complies
	Min. Lot Width (min)	30'	41.30'	Complies
	Max. Lot Coverage (max)	90%	88.80%	Complies
	Green Score	0.25 / 0.3 Ideal	See Landscape Drwgs	Complies
	Open Space (min)	15%	16%	Complies
Setbacks	Primary Front Setback	2' min. 15' max. 12' Sidewalk min.	5.4' 12.1' Sidewalk	Complies Complies
	Secondary Front	2' min. 15' max. 12' Sidewalk min.	6.1' 12.1' Sidewalk	Complies Complies
	Side Setback	0'	1'-6" and 6"	Complies
	Rear Setback	N/A	N/A	N/A
Parking Setbacks	Primary Front Setback	30' Surface Pkg 30' Structured Pkg	N/A	N/A
	Secondary Front Setback	10' Surface Pkg 2' Structured Pkg	6'-9" Structured Pkg	Complies
Building	Building Width (max)	200'	73.8'	Complies
	Buildout: Primary Front (min)	80%	86.2%	Complies
	Secondary Front (min)	65%	91.6%	Complies
	Max. Floor Plate (max)	15,000-SF	2,456-SF	Complies
	Ground Story Height (min)	14'	15'-2"	Complies
	Upper Story Height (min)	10'	11' and 12'	Complies
	Number of Stories	3 min, 4 max	4 Stories	Complies
Facade	Building Height (max)	52'	49.4'	Complies
	Roof Type	Flat	Flat	Complies
	Ground Story Fenestration Primary Face	70% min	70%	Complies
	Secondary Face	15% min, 70% max	40%	Complies
Use/ Occup.	Upper Story Fenestration	15% min, 50% max	28%	Complies
	Blank Wall (max)	20'	9.5'	Complies
	Density Factor	1,500-SF / DU	9,110 GSF / 1,500 = 6.1 3 DUs shown	Complies
Parking/ Bikes	Inclusionary Ratio	20%	N/A	N/A
	Outdoor Amenity	1/DU	1/DU Provided	Complies
	Parking	1/DU max.	3 Provided for 3 DUs in 1/4 mile transit zone	Complies (Retail < 5,000 SF Section: 4.2.15.a.ii.a)
Parking/ Bikes	Bikes	0.1/DU Short Term 1.0/DU Long Term	4 4	Complies Complies
	LEED Standards 25,000 - 50,000 GSF 50,000 and up GSF	Certifiable Gold Platinum	N/A	N/A

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SOMERVILLE, MA 02144  
PH 617-354-3989



CONSULTANT

PROJECT  
53 CHESTER ST  
53 CHESTER STREET  
SOMERVILLE, MA 02144

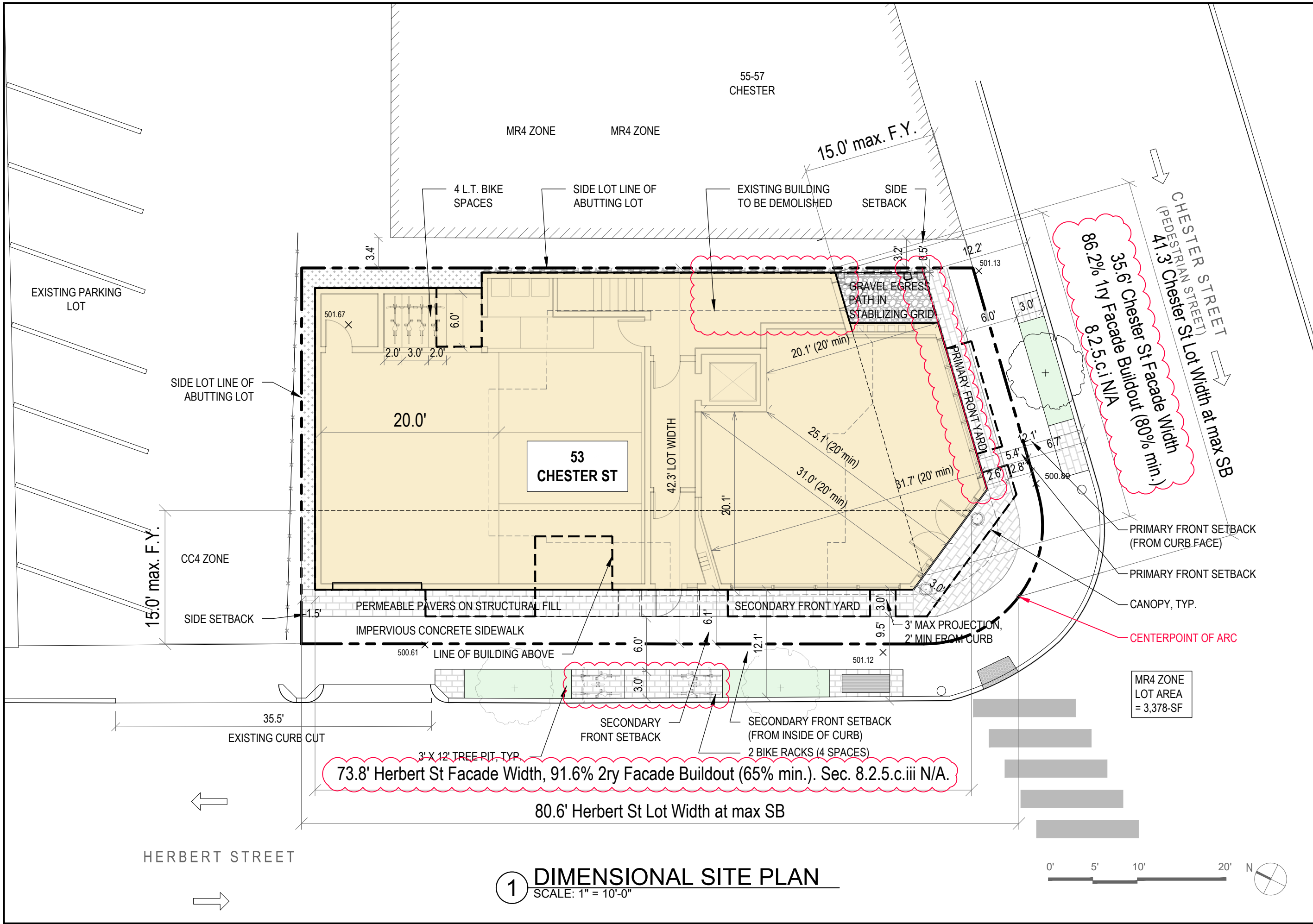
PREPARED FOR  
G2 PAR  
SOMERVILLE LLC  
62 BLACK ROCK RD.  
COHASSET, MA 02025

DRAWING TITLE  
DIMENSIONAL  
TABLE

SCALE AS NOTED	
REVISION DATE	
PB SP/SPR REV-4	6 NOV 2024
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PB SP/SPR	18 JAN 2024
DRAWN BY MN / YC	REVIEWED BY PQ

SHEET  
Z-1

Z:\DCADDWG\GS\Chester-53\02 Schematic Design\Chester 53\_Zoning.dwg, 07-Nov-24 1:48:20 PM, DWG To PDF.pc3



**PETER QUINN ARCHITECTS**

ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

PETER QUINN ARCHITECTS LLC  
259 ELM STREET, SUITE 301  
SOMERVILLE, MA 02144  
PH 617-354-3989

SEAL

REGISTERED ARCHITECT  
PETER SAMUEL QUINN  
No. 7510  
CAMBRIDGE  
MA  
COMMONWEALTH OF MASSACHUSETTS

CONSULTANT

PROJECT

53 CHESTER ST

53 CHESTER STREET  
SOMERVILLE, MA 02144

PREPARED FOR

G2 PAR  
SOMERVILLE LLC

62 BLACK ROCK RD.  
COHASSET, MA 02025

DRAWING TITLE

DIMENSIONAL  
TABLE

SCALE AS NOTED

REVISION	DATE
PB SP/SPR REV-4	6 NOV 2024
PB SP/SPR REV-3	8 OCT 2024
PB SP/SPR REV-2	5 SEP 2024
PB SP/SPR REV-1	26 AUG 2024
PB SP/SPR	18 JAN 2024

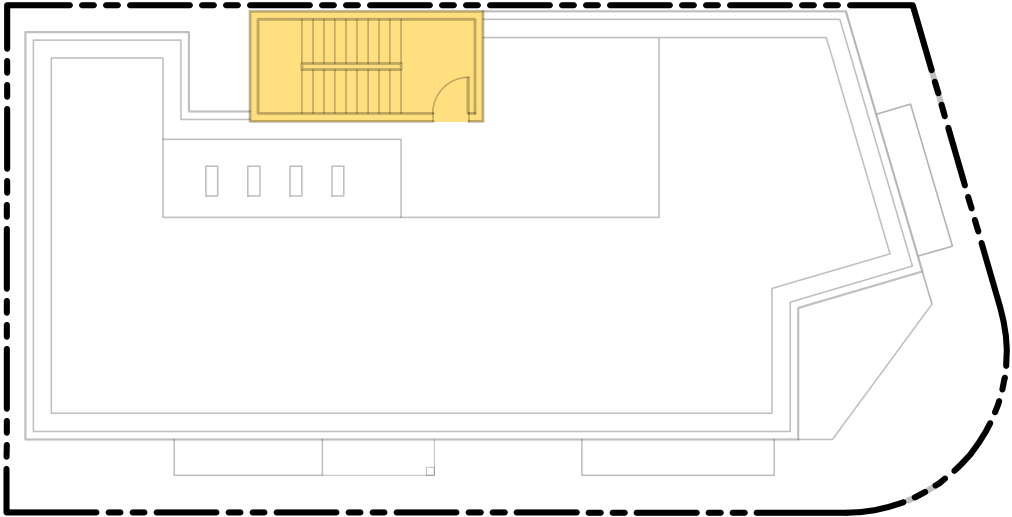
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MN / YC	PQ

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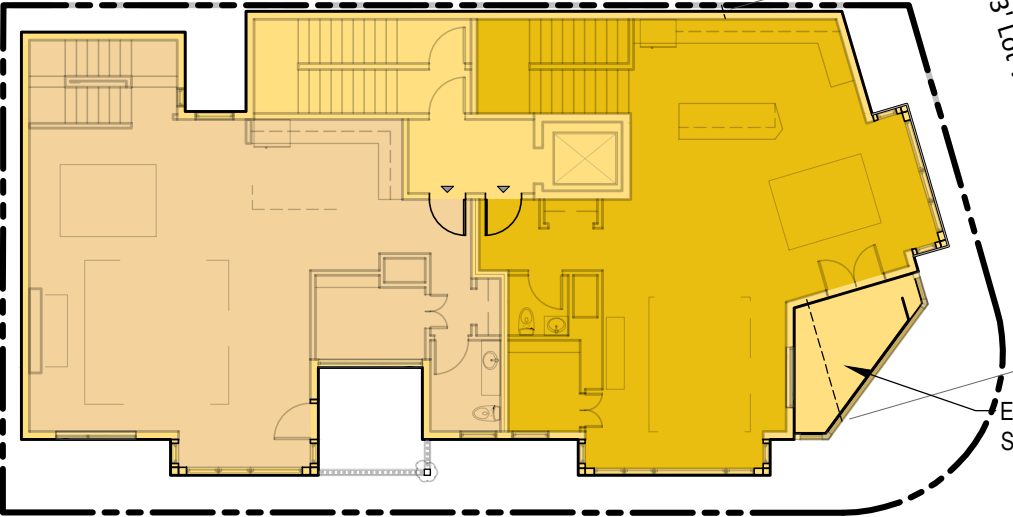
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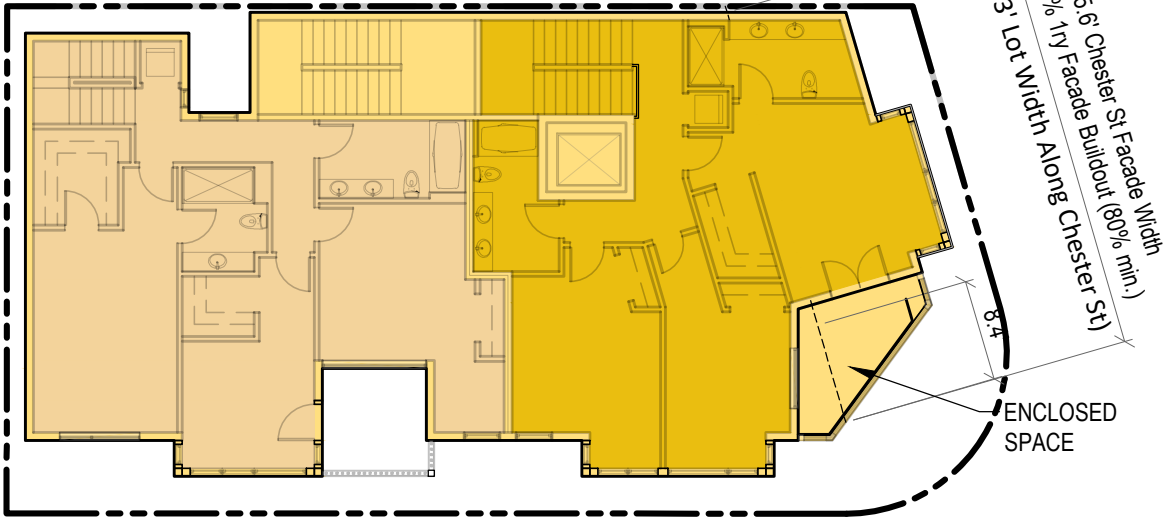
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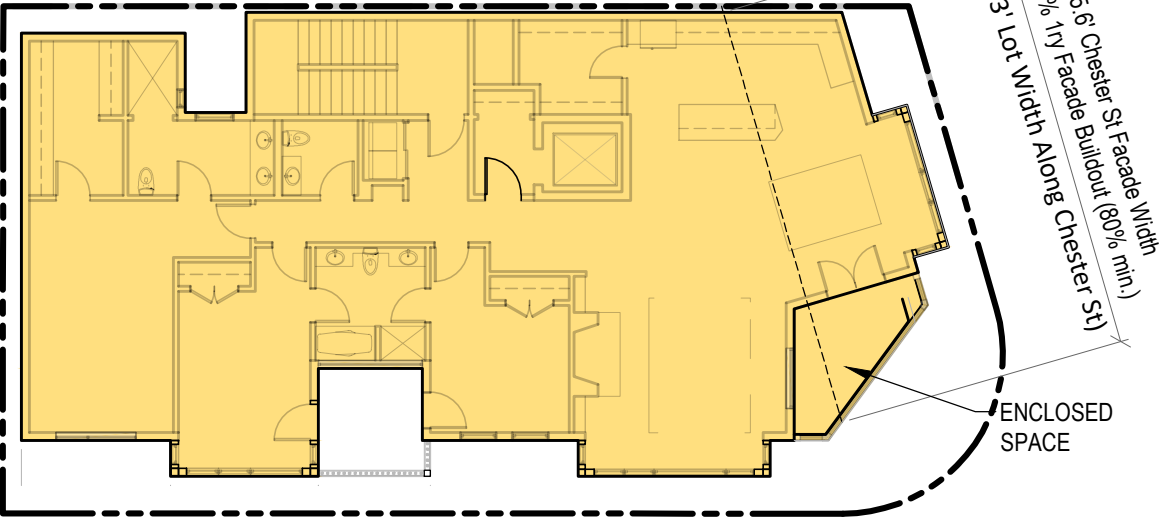
ROOF: 178-GSF (RESIDENTIAL)



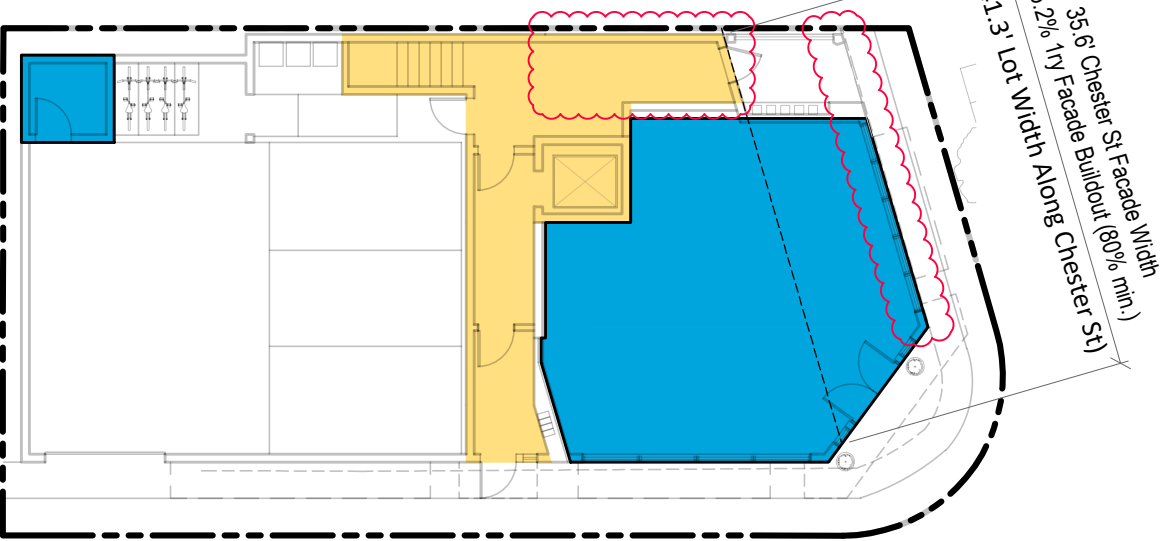
THIRD FLOOR: 2,564-GSF (RESIDENTIAL)



FOURTH FLOOR: 2,564-GSF (RESIDENTIAL)



SECOND FLOOR: 2,564-GSF (RESIDENTIAL)



FIRST FLOOR = 1,240-GSF  
RESIDENTIAL = 431-GSF  
COMMERCIAL = 809-GSF



FLOOR	PROPOSED GSF		TOTAL
	RESIDENTIAL	COMMERCIAL &/OR UTILITY	
1ST FL	431	809	1,240
2ND FL	2,564	0	2,564
3RD FL	2,564	0	2,564
4TH FL	2,564	0	2,564
ROOF	178	0	178
SUB TOTAL	8,301	809	9,110-GSF

1 PROPOSED GROSS SQ FOOTAGE  
SCALE: 1/16" = 1'-0"

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GROSS  
SQUARE FEET

SCALE AS NOTED

REVISION DATE

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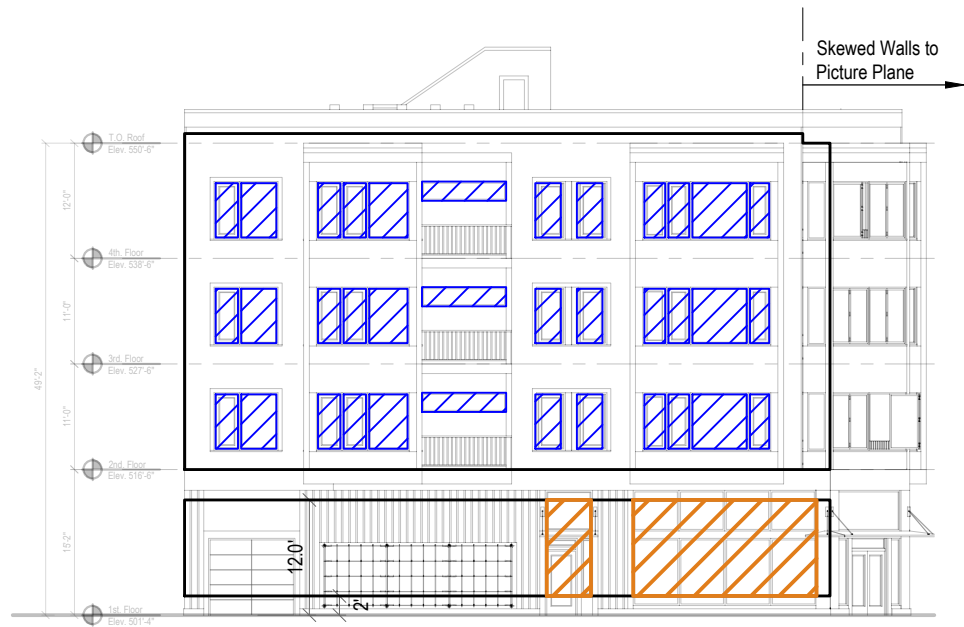
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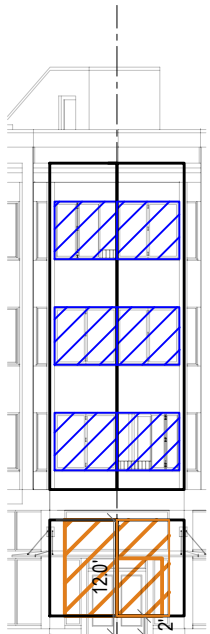
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Z-3





HERBERT STREET ELEVATION





CORNER





14.4-SF NEEDED. 246.4-SF MIN

CHESTER STREET ELEVATION

SECONDARY FACADE FENESTRATION

	Ground Floor:	291 / 734	= ± 40 %	(15% min, 70% max)
	Upper Floors:	713 / 2,589	= ± 28 %	(15% min, 70% max)

PRIMARY FACADE FENESTRATION

	Ground Floor:	247 / 352	= ± 70 %	(70% min)
	Upper Floors:	310 / 1,125	= ± 28 %	(15% min, 70% max)

1 FENESTRATION CALCULATION  
SCALE: 1" = 20'-0"

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FACADE  
FENESTRATION

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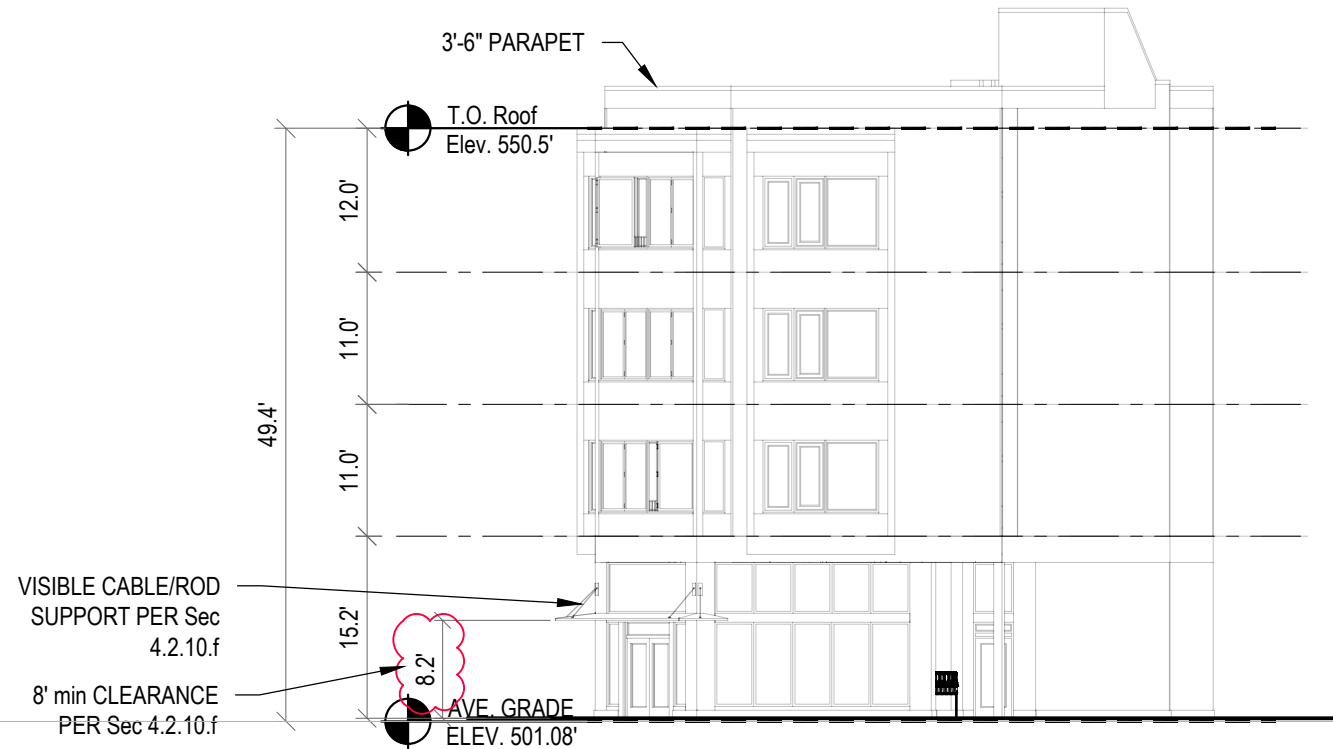
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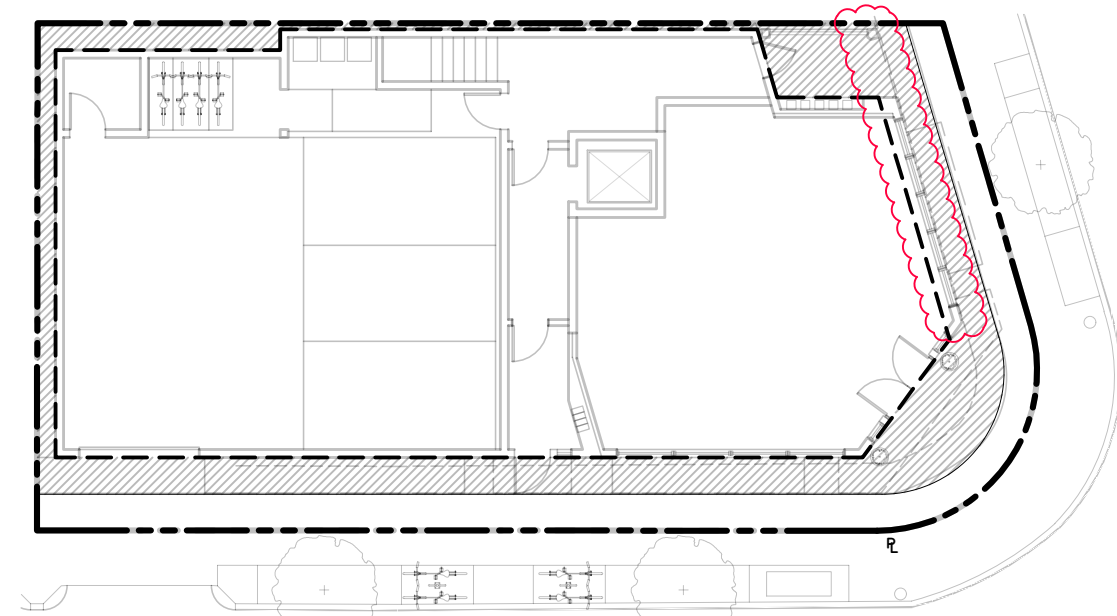
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Z-4

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3 BUILDING HEIGHT  
SCALE: 1/16" = 1'-0"



2 OPEN SPACE  
SCALE: 1/16" = 1'-0"

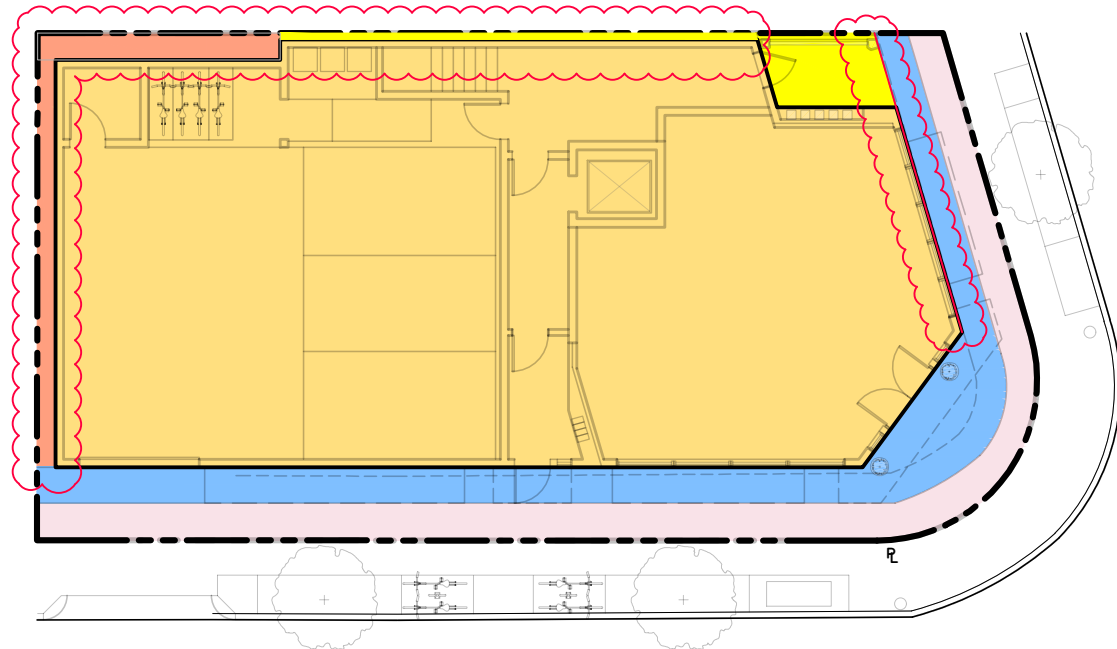
$$\frac{\text{OPEN SPACE}}{\text{LOT AREA}} = \frac{555\text{-SF}}{3,378\text{-SF}} = 16\%$$

ITEM	Actual SF x Coeficient = Contributing SF		
1. GROUND STORY TO OUTSIDE OF EXTERIOR WALLS WITH GROUND STORY BUILDING COMPONENTS	2,472-SF	1.0	2,472-SF
2. PERMEABLE PAVERS BY UNILOCK OR EQUAL (ECOLOC-PERMEABILITY LISTED AT APPROX. 50%)	375-SF	0.5	188-SF
3. IMPERVIOUS MATERIAL	352-SF	1.0	352-SF
4. LANDSCAPED AREA ON FULLY DRAINABLE PLANTING BEDS	0-SF	N/A	0-SF
5. NATIVE SEDGE PLANTING	97-SF	N/A	0-SF
6. GRAVEL PAVE	82-SF	N/A	0-SF
Total			3,012-SF
Lot Area			3,378-SF
Lot Coverage (90% max.)			89.15%

2 LOT COVERAGE  
SCALE: 1/16" = 1'-0"

1 10.3.5.a.i.g COMPLIANCE  
SCALE: 1/16" = 1'-0"

$$\frac{\text{LOT COVERAGE TYP. 6}}{\text{LOT COVERAGE TYPE 2+3+5+6}} = \frac{82\text{-SF}}{906\text{-SF}} = 9\%$$



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LOT COVERAGE  
OPEN SPACE,  
BLDG HT

SCALE AS NOTED

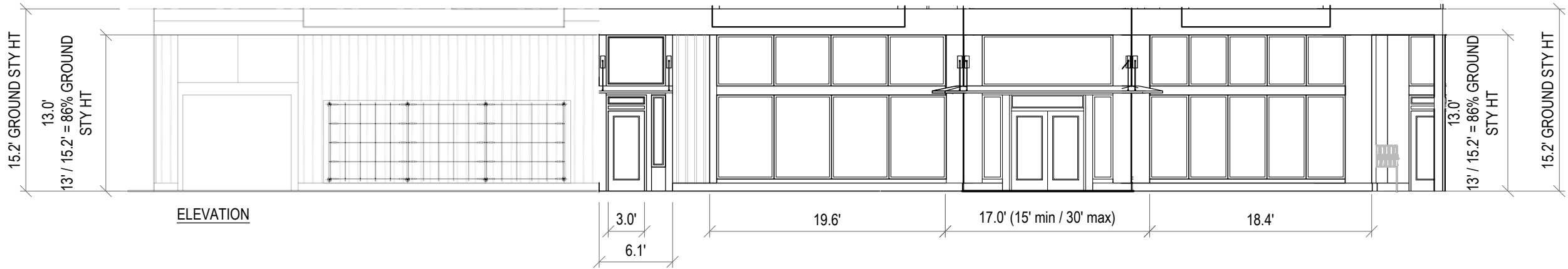
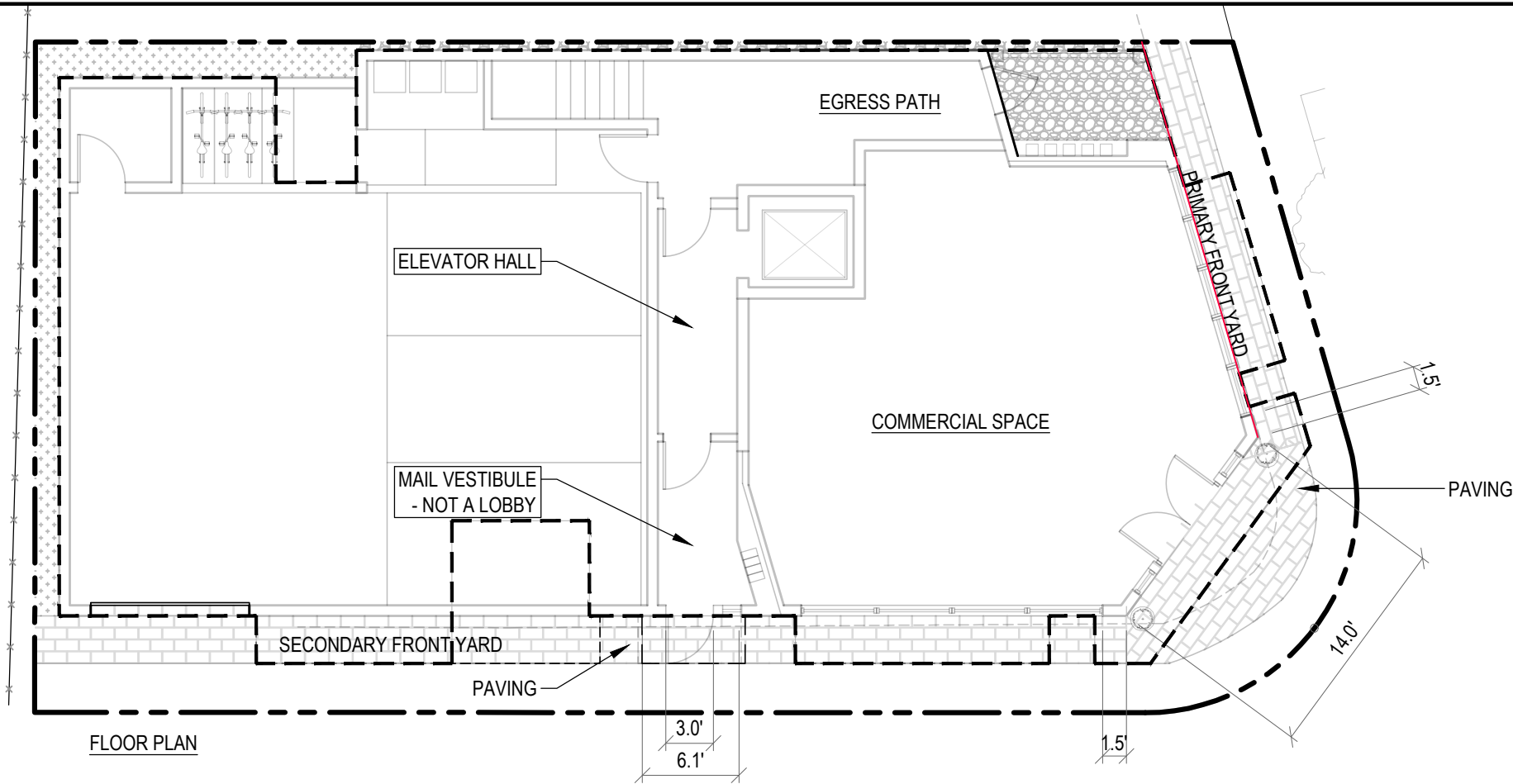
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**1 LOBBY ENTRANCE N/A**  
SCALE: 1" = 10'-0" Sec. 4.2.10.g



**1 STOREFRONT**  
SCALE: 1" = 10'-0" Sec. 4.2.10.h



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LOBBY  
ENTRANCE,  
STOREFRONT

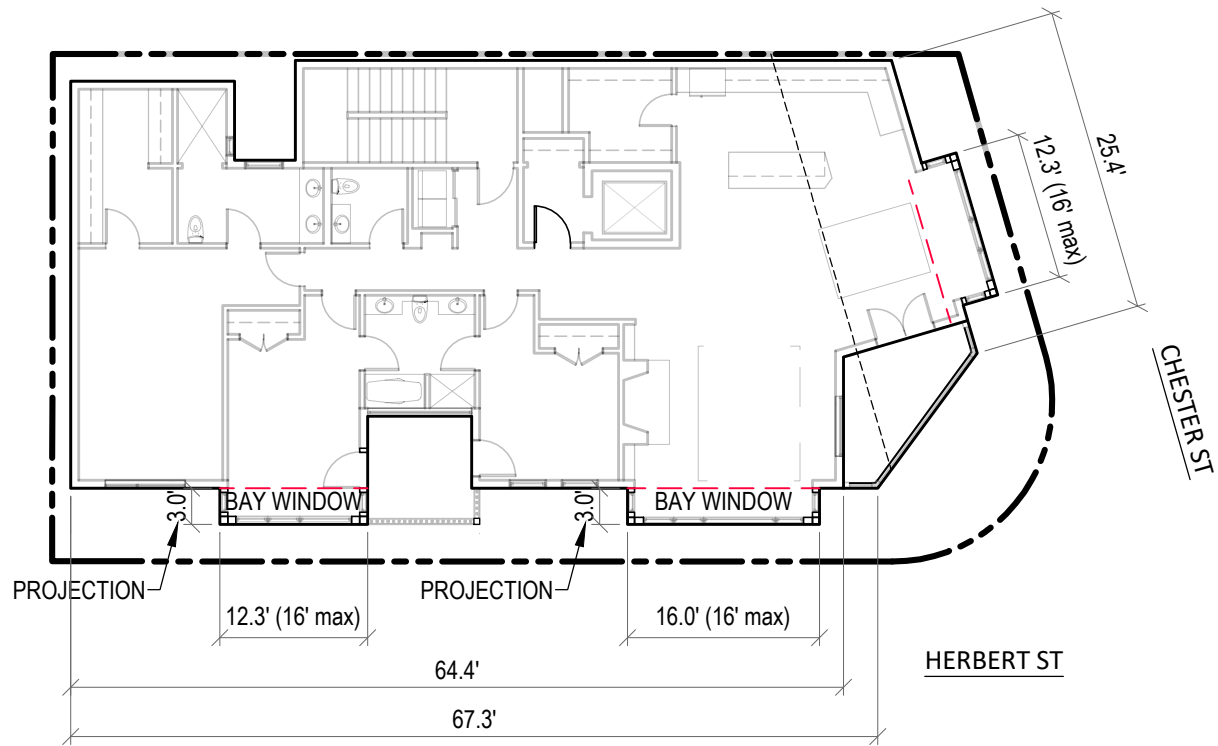
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Z-6



BAY WIDTH PERCENTAGE ALONG HERBERT STREET

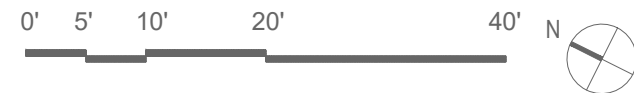
CUMULATIVE BAY WIDTH	28.3-ft	=	42.1%
WIDTH OF WALL BEHIND	67.3-ft		

**1 BAY WINDOWS**  
SCALE: 1/16" = 1'-0"



BAY WIDTH PERCENTAGE ALONG CHESTER STREET

CUMULATIVE BAY WIDTH	12.3-ft	=	48.4%
WIDTH OF WALL BEHIND	25.4-ft		



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BAY  
WINDOWS

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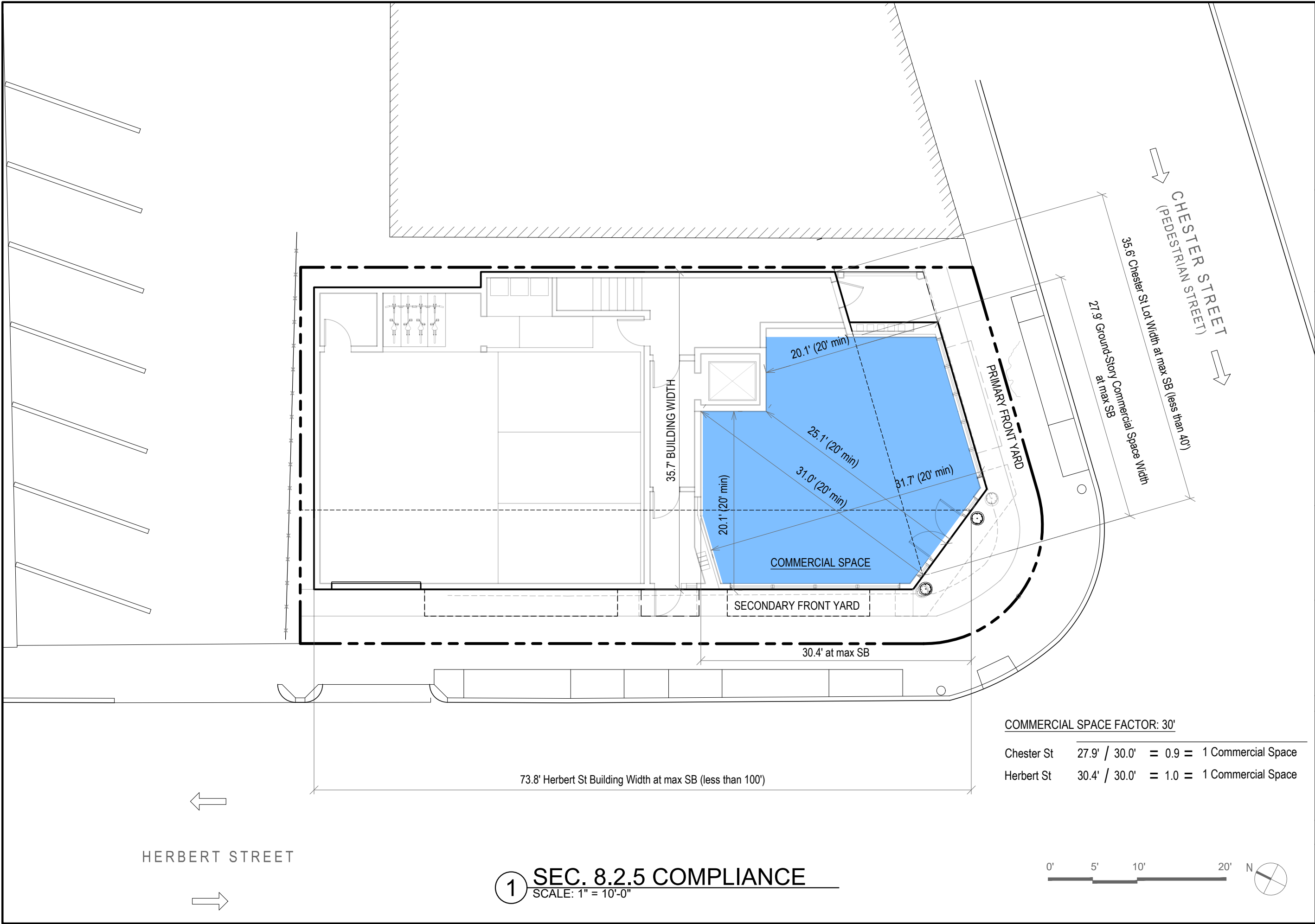
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Z-7



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COMMERCIAL SPACE FACTOR: 30'

Chester St	$27.9' / 30.0' = 0.9 = 1$	Commercial Space
Herbert St	$30.4' / 30.0' = 1.0 = 1$	Commercial Space

1 SEC. 8.2.5 COMPLIANCE  
SCALE: 1" = 10'-0"



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SEC. 8.2.5  
COMPLIANCE

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Z-8



1 3D VIEW FROM CORNER  
SCALE: N/A

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3D VIEW

SCALE AS NOTED

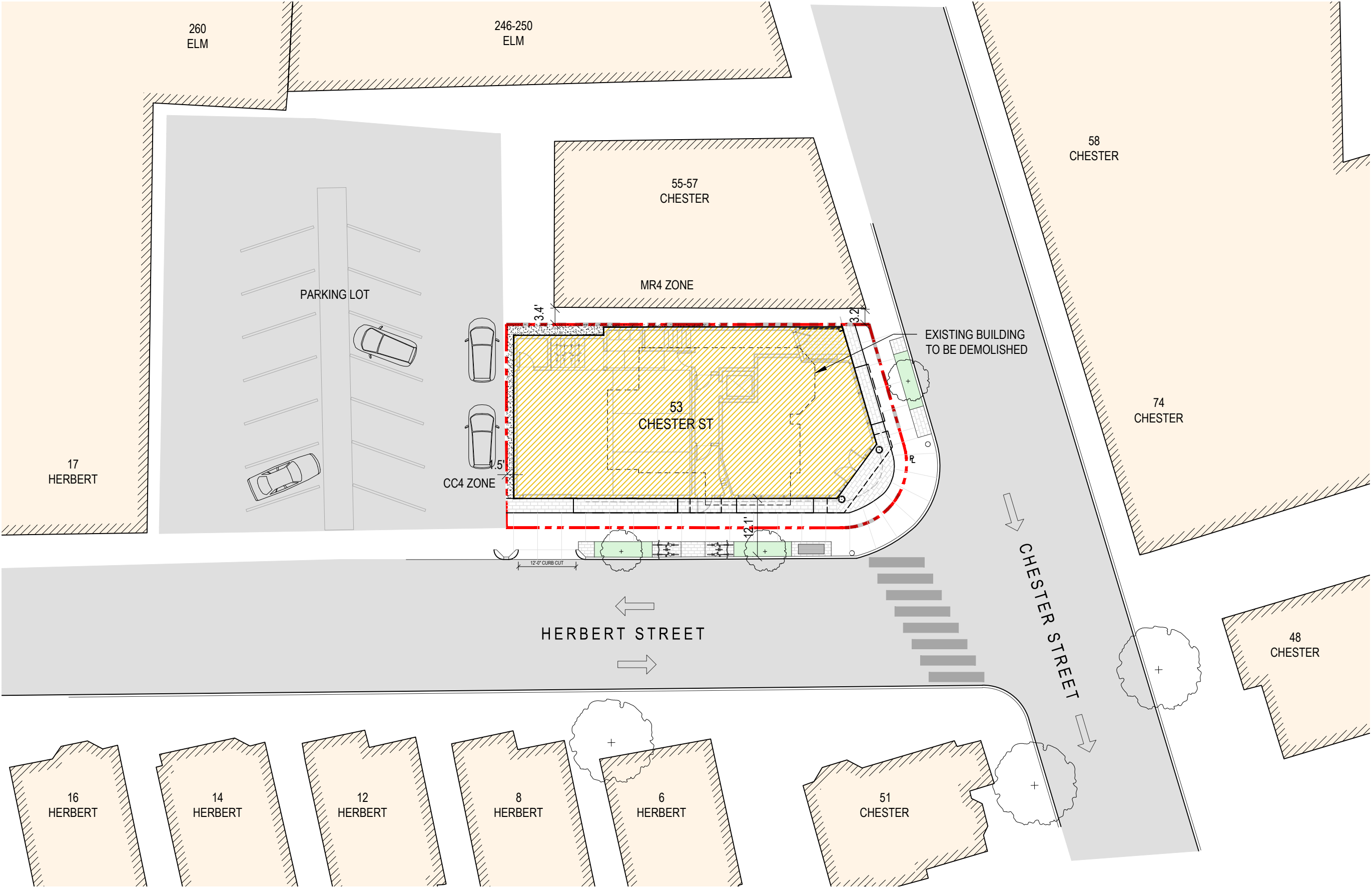
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A0.1





1 **CONTEXT SITE PLAN**  
SCALE: 1" = 20'-0"



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CONTEXT SITE  
PLAN

SCALE AS NOTED

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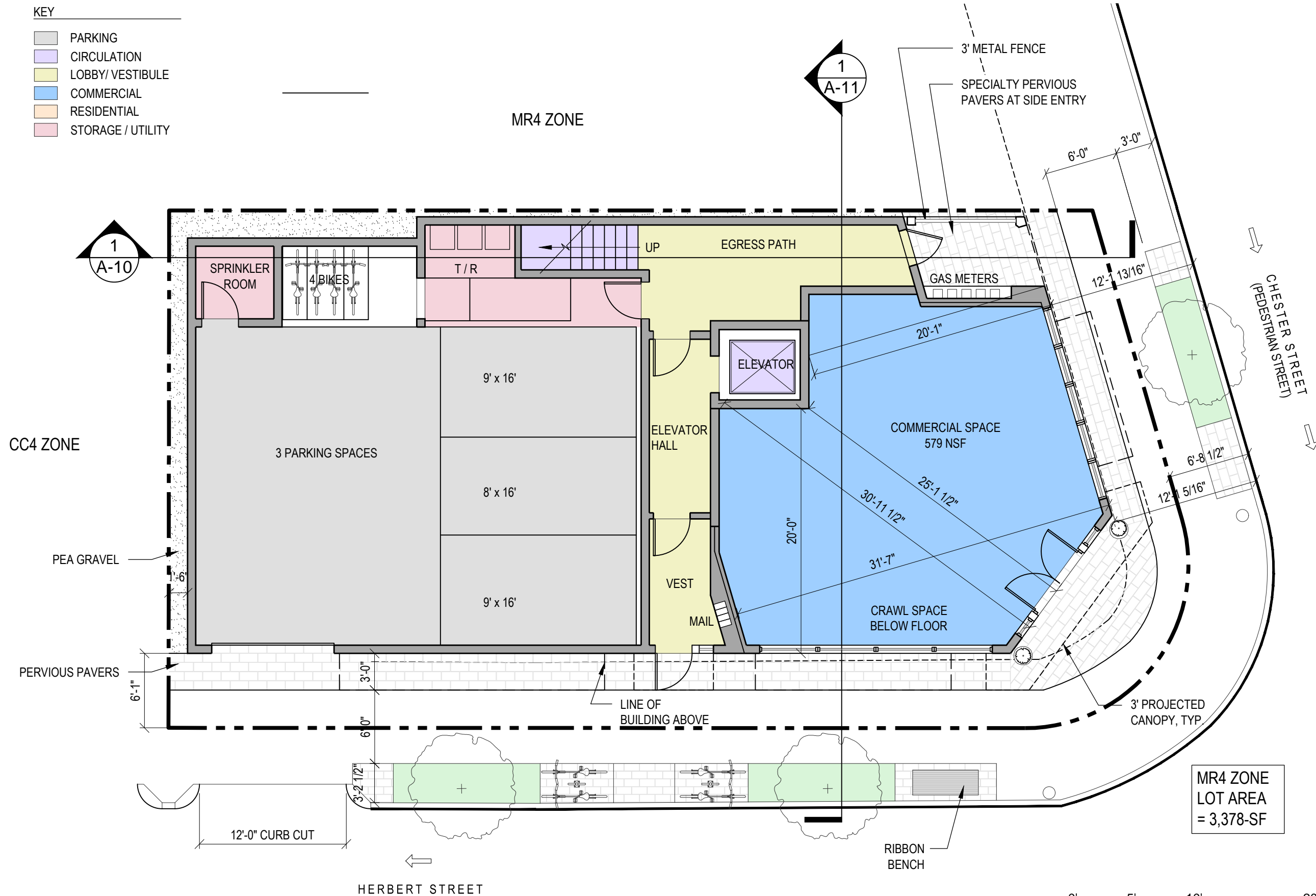
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AS-1

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- KEY
- PARKING
  - CIRCULATION
  - LOBBY/ VESTIBULE
  - COMMERCIAL
  - RESIDENTIAL
  - STORAGE / UTILITY



1 GROUND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

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GROUND  
FLOOR PLAN

SCALE AS NOTED

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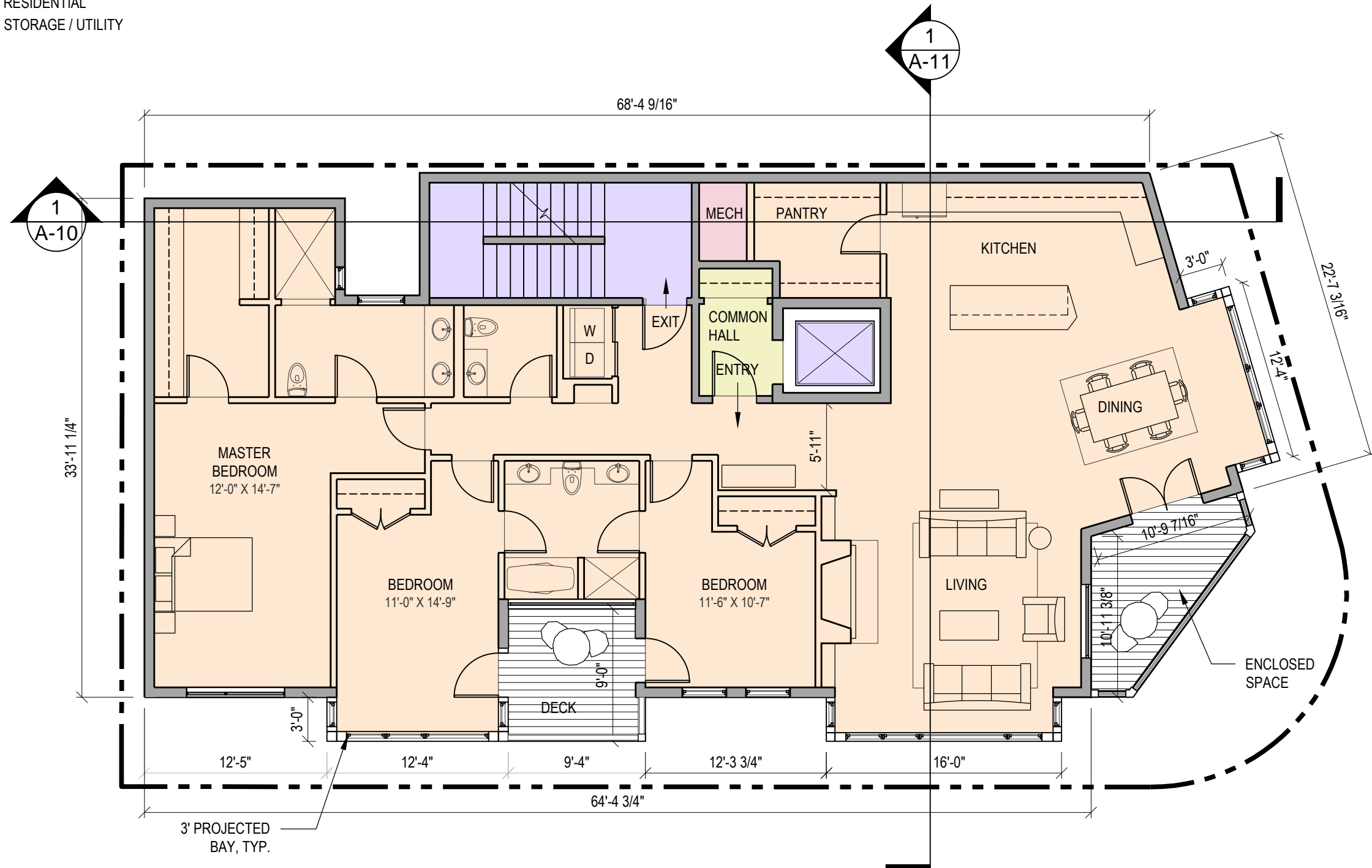
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- KEY
- CIRCULATION
  - COMMON HALL
  - RESIDENTIAL
  - STORAGE / UTILITY

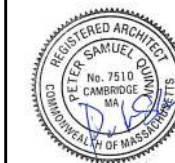


1 SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

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SECOND  
FLOOR PLAN

SCALE AS NOTED

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A-2

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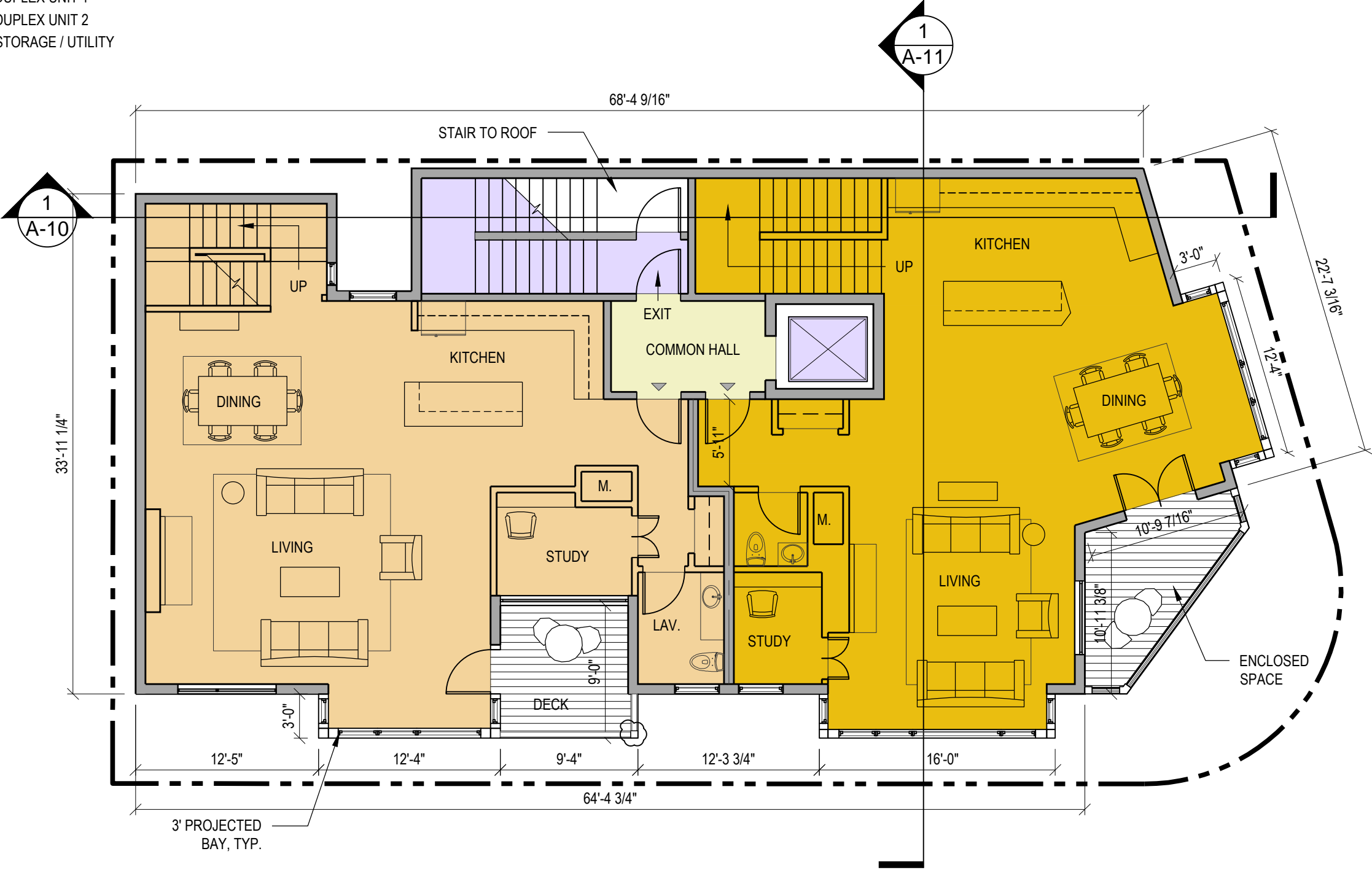
CIRCULATION

COMMON HALL

DUPLEX UNIT 1

DUPLEX UNIT 2

STORAGE / UTILITY



1 THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"

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THIRD FLOOR  
PLAN

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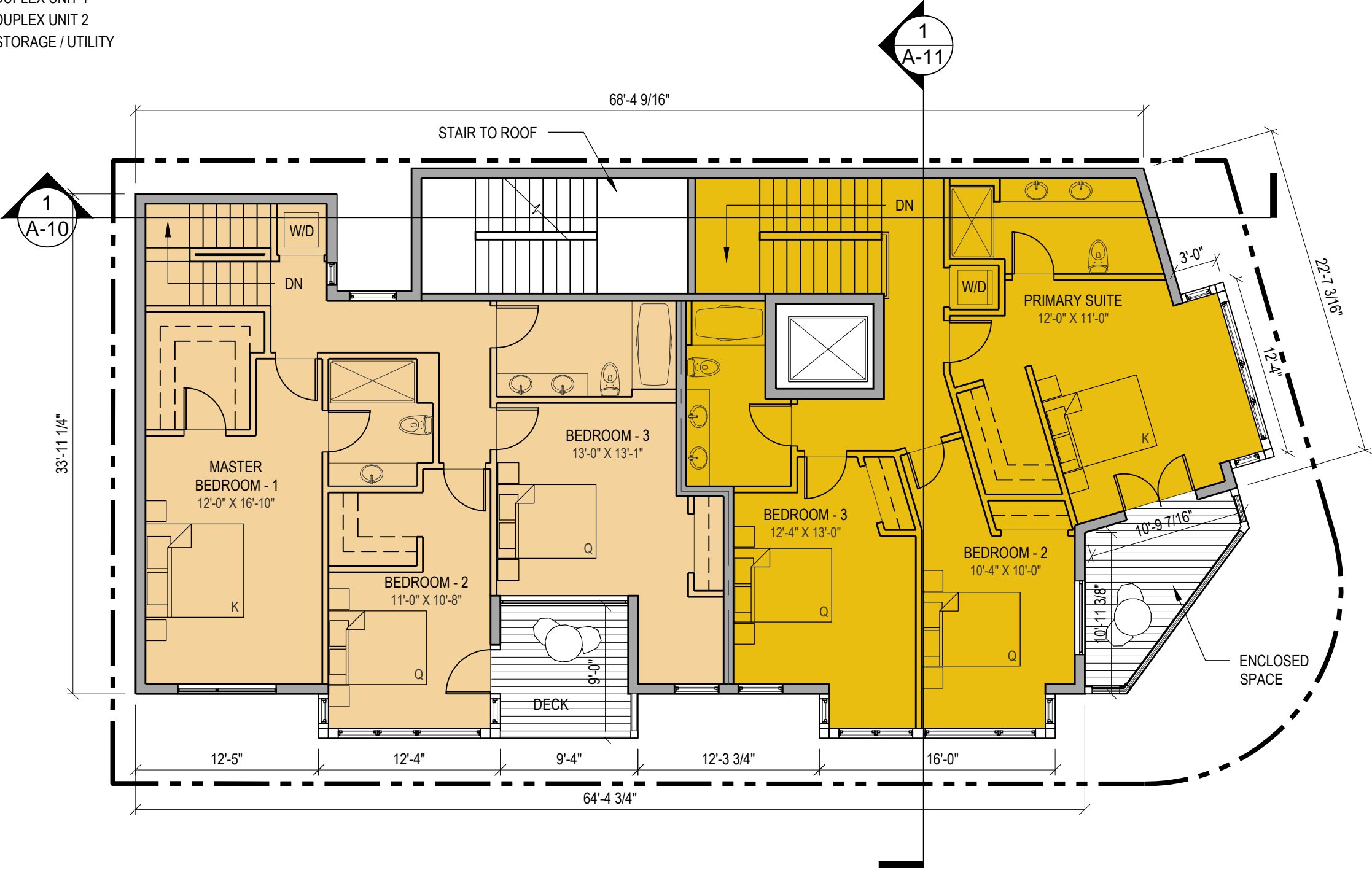
CIRCULATION

COMMON HALL

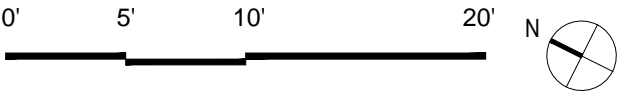
DUPLEX UNIT 1

DUPLEX UNIT 2

STORAGE / UTILITY



1 FOURTH FLOOR PLAN  
SCALE: 1/8" = 1'-0"



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FOURTH  
FLOOR PLAN

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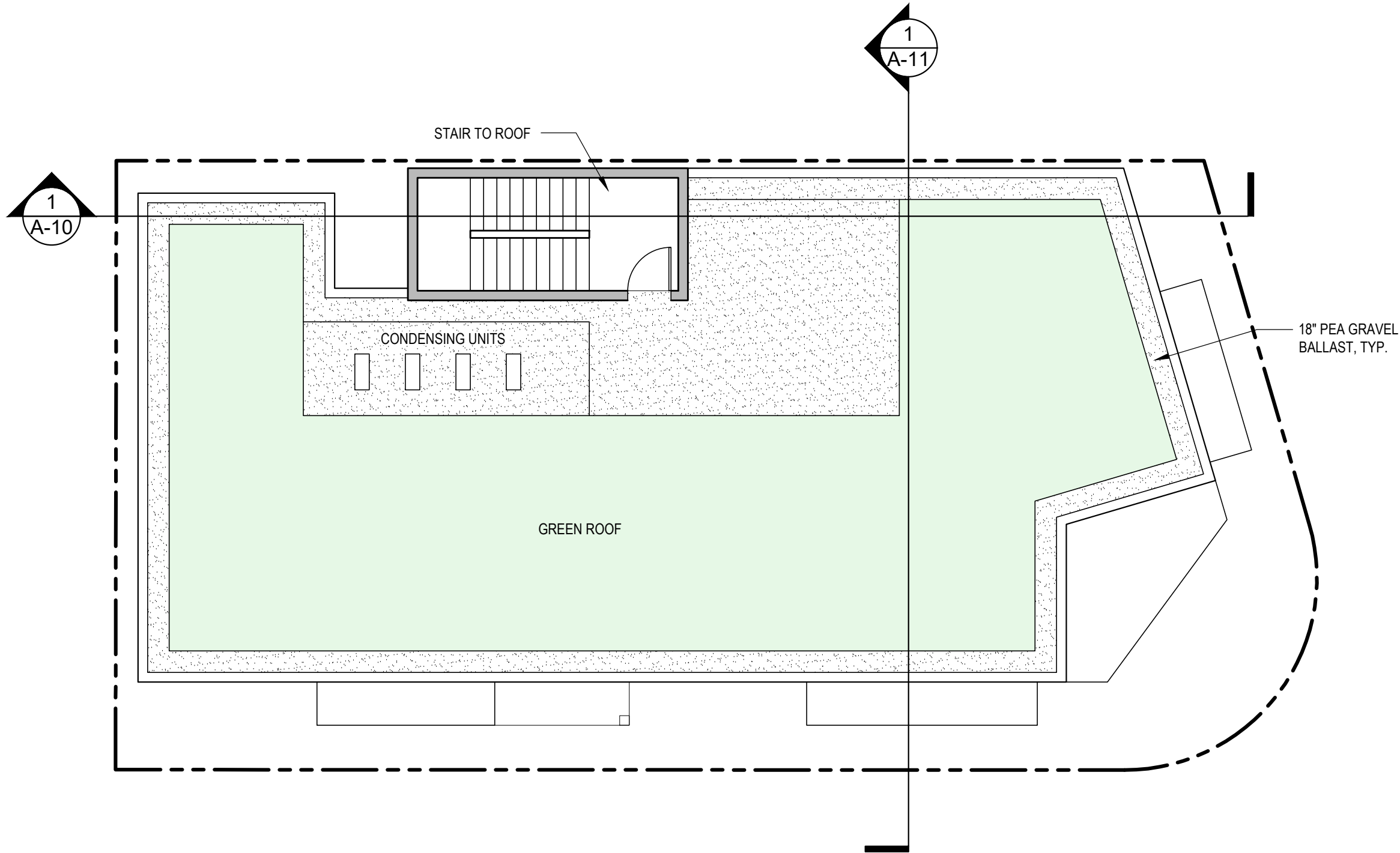
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A-4



KEY

LANDSCAPE

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ROOF PLAN

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1 ROOF PLAN  
SCALE: 1/8" = 1'-0"

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INTERIOR DESIGN

PETER QUINN ARCHITECTS LLC  
259 ELM STREET, SUITE 301  
SOMERVILLE, MA 02144  
PH 617-354-3989

SEAL

CONSULTANT

PROJECT

**53 CHESTER ST**

53 CHESTER STREET  
SOMERVILLE, MA 02144

PREPARED FOR

**G2 PAR  
SOMERVILLE LLC**

62 BLACK ROCK RD.  
COHASSET, MA 02025

DRAWING TITLE

**HERBERT  
STREET  
ELEVATION**

REVISION	DATE
PB SP/SPR REV-4	6 NOV 2024
PB SP/SPR REV-3	8 OCT 2024
PB SP/SPR REV-2	5 SEP 2024
PB SP/SPR REV-1	26 AUG 2024
PB SP/SPR	18 JAN 2024

DRAWN BY MN / YC	REVIEWED BY PQ
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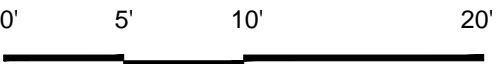
SHEET

**A-6**

El.: PQA-1-Chester-5302 Schematic Design\Chester 53 Elevations.dwg, A7 Chester, 11/7/2024 3:24:27 PM



1 CHESTER STREET ELEVATION  
SCALE: 1/8" = 1'-0"



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259 ELM STREET, SUITE 301  
SOMERVILLE, MA 02144  
PH 617-354-3989



CONSULTANT

PROJECT  
53 CHESTER ST  
53 CHESTER STREET  
SOMERVILLE, MA 02144

PREPARED FOR  
G2 PAR  
SOMERVILLE LLC  
62 BLACK ROCK RD.  
COHASSET, MA 02025

DRAWING TITLE  
CHESTER  
STREET  
ELEVATION

SCALE AS NOTED  
REVISION DATE

PB SP/SPR REV-4	6 NOV 2024
PB SP/SPR REV-3	8 OCT 2024
PB SP/SPR REV-2	5 SEP 2024
PB SP/SPR REV-1	26 AUG 2024
PB SP/SPR	18 JAN 2024
DRAWN BY MN / YC	REVIEWED BY PQ

SHEET  
A-7



E:\\_POA - Chester\5102 Schematic Design\Chester 53 Elevations.dwg, A8 Right, 1/14/2024 2:15:57 PM

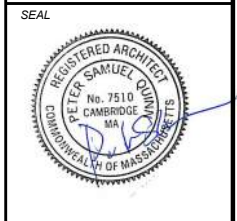


1 RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"

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PROJECT

53 CHESTER ST

53 CHESTER STREET  
SOMERVILLE, MA 02144

PREPARED FOR

G2 PAR  
SOMERVILLE LLC

62 BLACK ROCK RD.  
COHASSET, MA 02025

DRAWING TITLE

RIGHT  
ELEVATION

REVISION DATE	
PB SP/SPR REV-4	6 NOV 2024
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PB SP/SPR REV-2	5 SEP 2024
PB SP/SPR REV-1	26 AUG 2024
PB SP/SPR	18 JAN 2024
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A-8



1 REAR ELEVATION  
SCALE: 1/8" = 1'-0"

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53 CHESTER ST

53 CHESTER STREET  
SOMERVILLE, MA 02144

PREPARED FOR

G2 PAR  
SOMERVILLE LLC

62 BLACK ROCK RD.  
COHASSET, MA 02025

DRAWING TITLE

REAR  
ELEVATION

REVISION DATE

REVISION	DATE
PB SP/SPR REV-4	6 NOV 2024
PB SP/SPR REV-3	8 OCT 2024
PB SP/SPR REV-2	5 SEP 2024
PB SP/SPR REV-1	26 AUG 2024
PB SP/SPR	18 JAN 2024
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SHEET

A-9

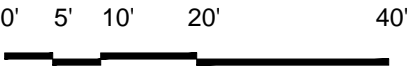




2 **STREETSCAPE ELEVATION - HERBERT ST**  
SCALE: 1" = 20'-0"



1 **STREETSCAPE ELEVATION - CHESTER ST**  
SCALE: 1" = 20'-0"



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53 CHESTER ST

53 CHESTER STREET  
SOMERVILLE, MA 02144

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SOMERVILLE LLC

62 BLACK ROCK RD.  
COHASSET, MA 02025

DRAWING TITLE

STREETSCAPE  
ELEVATION

SCALE AS NOTED

REVISION DATE

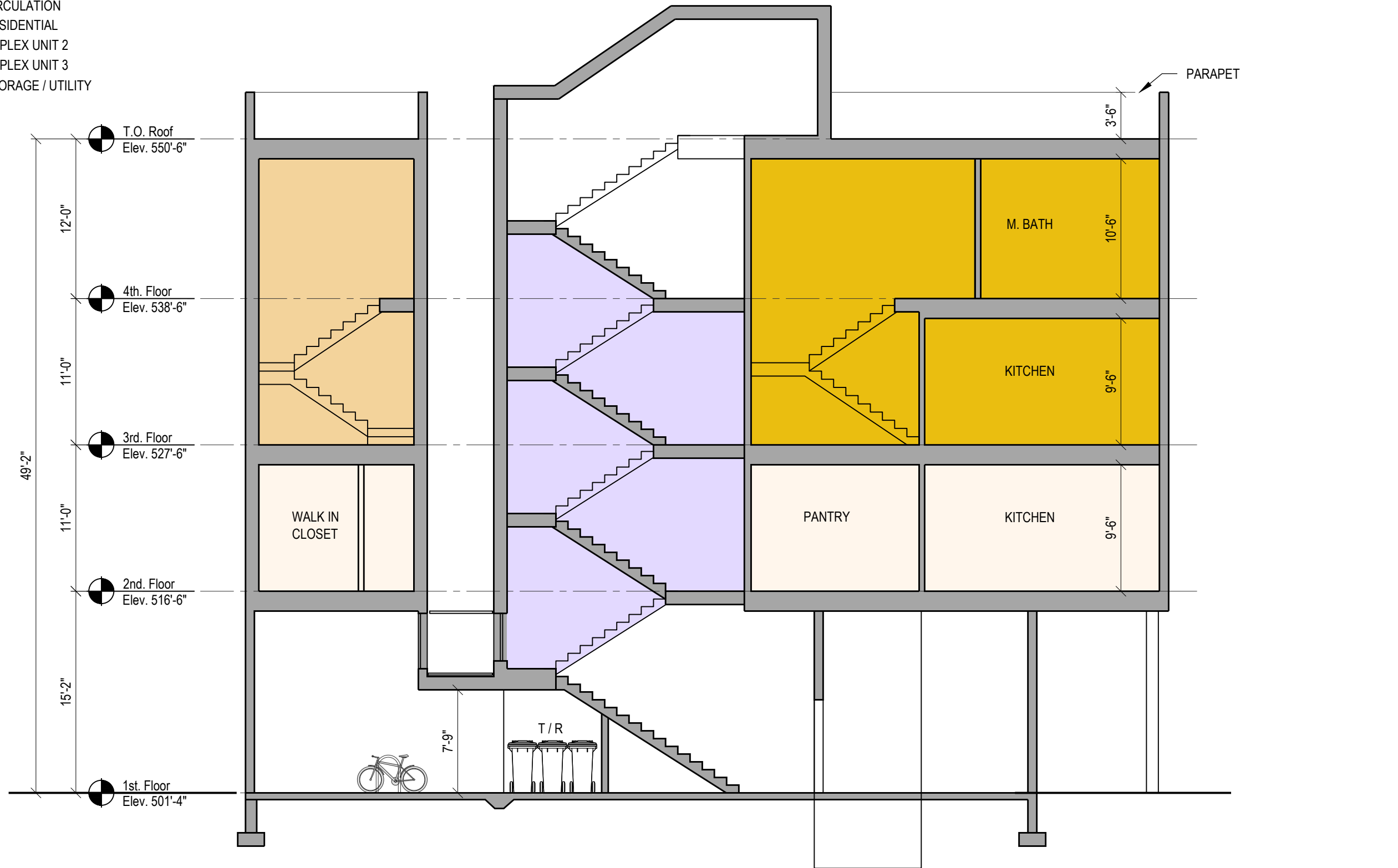
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PB SP/SPR REV-1	26 AUG 2024
PB SP/SPR	18 JAN 2024
DRAWN BY MN / YC	REVIEWED BY PQ

SHEET

A-10

El: POA - Chester-5302 Schematic Design\Chester 53\_Sections.dwg, A11, 11/6/2024, 2:02:38 PM

- KEY
- CIRCULATION
  - RESIDENTIAL
  - DUPLEX UNIT 2
  - DUPLEX UNIT 3
  - STORAGE / UTILITY

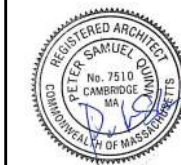


1 TRANSVERSE SECTION  
SCALE: 1/8" = 1'-0"

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PROJECT

53 CHESTER ST

53 CHESTER STREET  
SOMERVILLE, MA 02144

PREPARED FOR

G2 PAR  
SOMERVILLE LLC

62 BLACK ROCK RD.  
COHASSET, MA 02025

DRAWING TITLE

BUILDING  
SECTION

SCALE AS NOTED

REVISION DATE

PB SP/SPR REV-4	6 NOV 2024
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PB SP/SPR REV-2	5 SEP 2024
PB SP/SPR REV-1	26 AUG 2024
PB SP/SPR	18 JAN 2024
DRAWN BY YC	REVIEWED BY PQ

SHEET

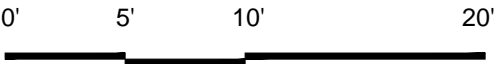
A-11

KEY

- CIRCULATION
- RESIDENTIAL
- DUPLEX UNIT 2
- DUPLEX UNIT 3
- STORAGE / UTILITY



1 CROSS SECTION  
SCALE: 1/8" = 1'-0"



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53 CHESTER ST

53 CHESTER STREET  
SOMERVILLE, MA 02144

PREPARED FOR

G2 PAR  
SOMERVILLE LLC

62 BLACK ROCK RD.  
COHASSET, MA 02025

DRAWING TITLE

BUILDING  
SECTION

SCALE AS NOTED

REVISION DATE

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PB SP/SPR	18 JAN 2024
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SHEET

A-12



FIBER CEMENT LAP SIDING OR EQUAL

TEXTURE: SMOOTH



MAIN SIDING OF THE BUILDING

STUDY # 1 -  
COLOR: AGREEABLE GRAY



STUDY # 2 -  
COLOR: NIEBLA AZUL



STUDY # 3 -  
COLOR: MORRIS ROOM GRAY



FCB BOARD & BATTEN

SIZE: SINGLE 8"  
TEXTURE: SMOOTH



COLOR: PEWTER TANKARD



COLOR: URBANE BRONZE



T & G CEDAR SIDING

DIRECTION: VERTICAL  
COLOR: WESTEN RED, CLEAR FINISH



MAIN MATERIAL FOR BAYS

METAL BALUSTRADE

VERTICAL BALUSTERS



FCB TRIM BOARDS

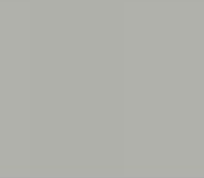
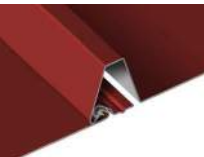
BORAL TRUEX EXTERIOR TRIM  
COLOR: PAINTED



CORNERS, WINDOWS & DOORS TRIM

METAL SIDING OR EQUAL

ATAS INTERNATIONAL METAL SIDING  
MULTI-PURPOSE - MPW INTERLOCK PANELS  
COLOR: DOVE GREY



Dove Grey (13)

REAR AND SIDE FACADES FACING ABUTTERS

WINDOW

ANDERSON CASEMENT AND FIXED 400 SERIES  
OR EQUAL  
DOUBLE PANE GLAZING



VINE TRELLIS

CABLE TRELLIS



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COHASSET, MA 02025

DRAWING TITLE

MATERIALS  
BOARD

SCALE AS NOTED

REVISION DATE

PB SP/SPR REV-4	6 NOV 2024
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PB SP/SPR REV-2	5 SEP 2024
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PB SP/SPR	18 JAN 2024
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SHEET

A-13



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PROJECT  
53 CHESTER ST  
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SOMERVILLE, MA 02144

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G2 PAR  
SOMERVILLE LLC  
62 BLACK ROCK RD.  
COHASSET, MA 02025

DRAWING TITLE  
SHADOW  
STUDY  
- SPRING/ FALL  
EQUINOX

SCALE AS NOTED

REVISION DATE

PB SP/SPR REV-4	6 NOV 2024
PB SP/SPR REV-3	8 OCT 2024
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PB SP/SPR REV-1	26 AUG 2024
PB SP/SPR	18 JAN 2024
DRAWN BY YC	REVIEWED BY PQ

SHEET

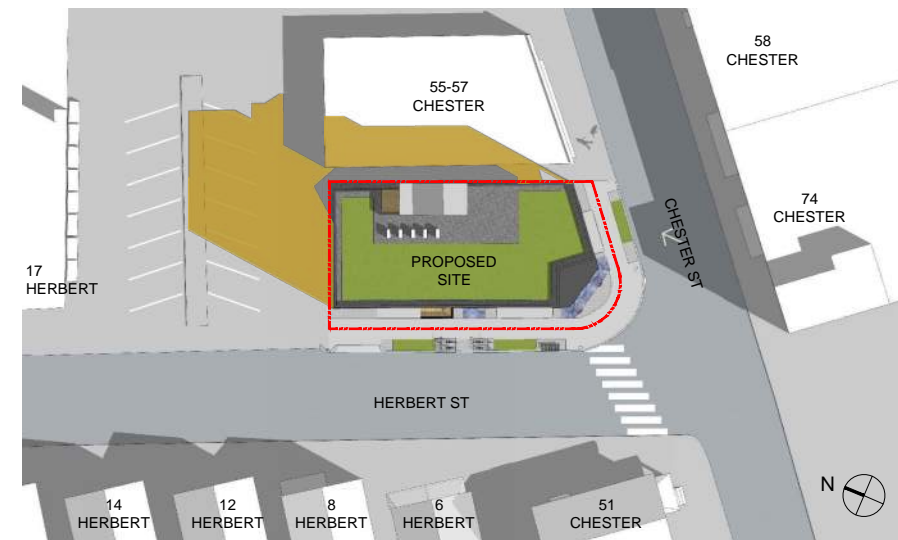
SH-1

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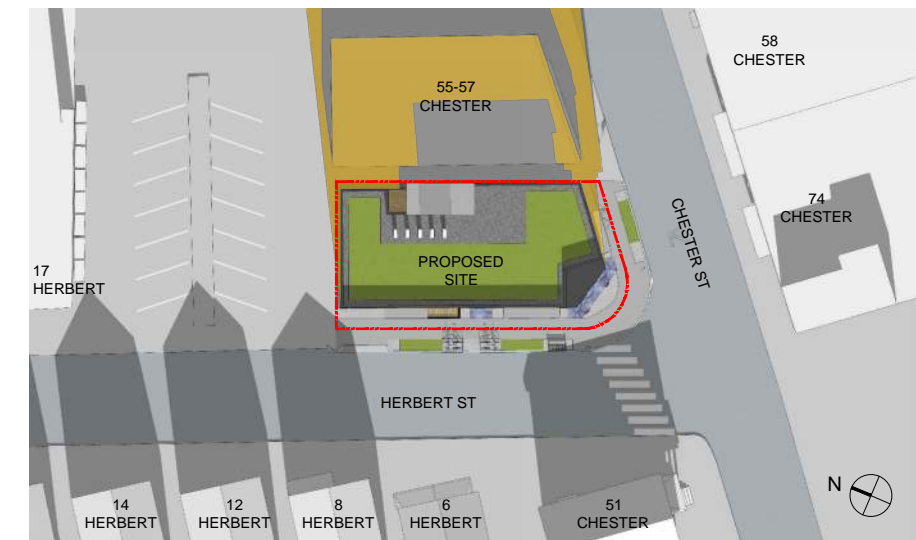


PROPOSED

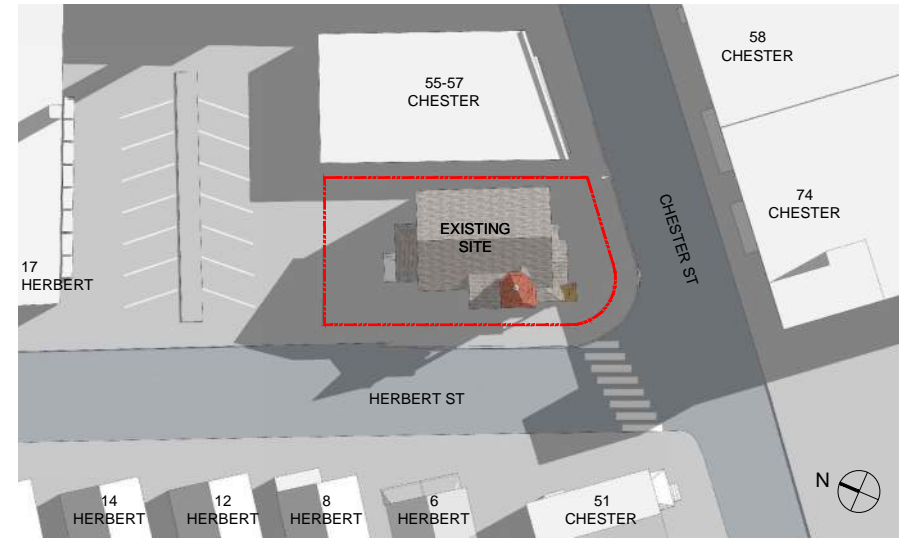
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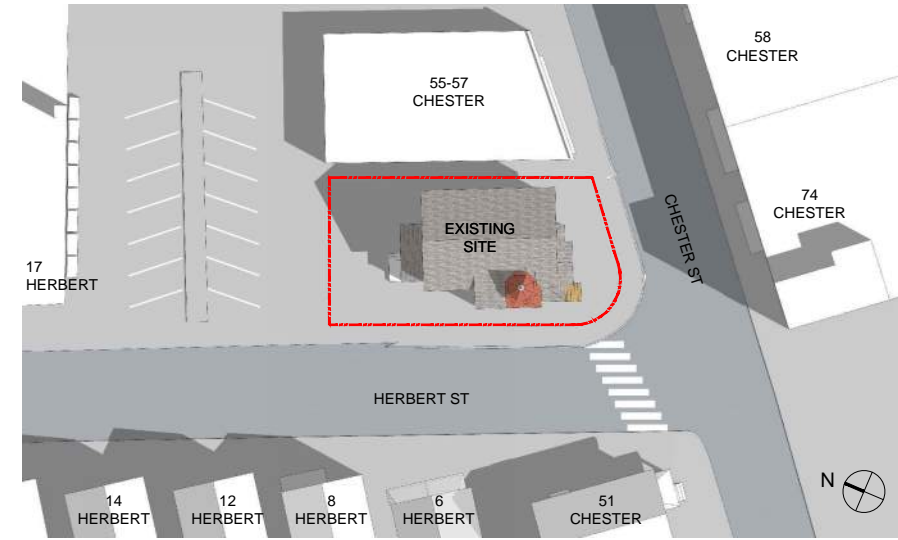


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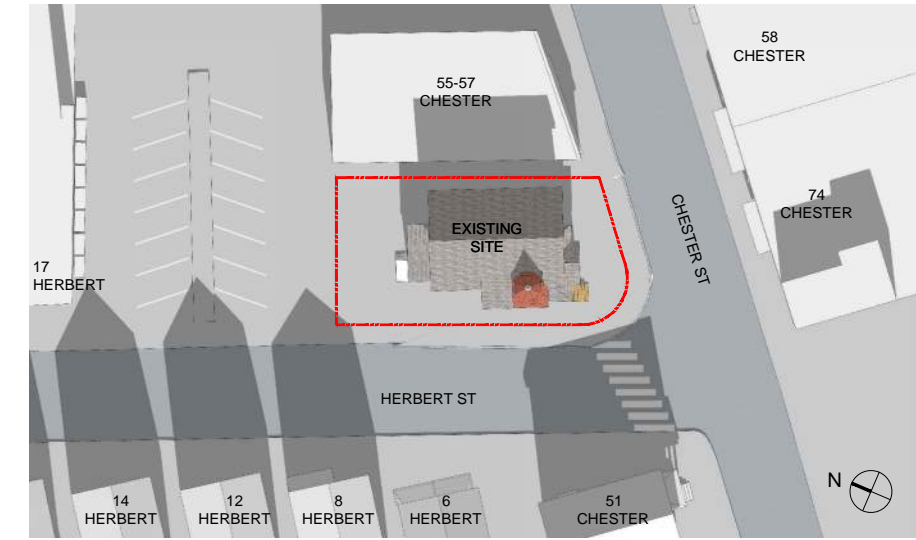
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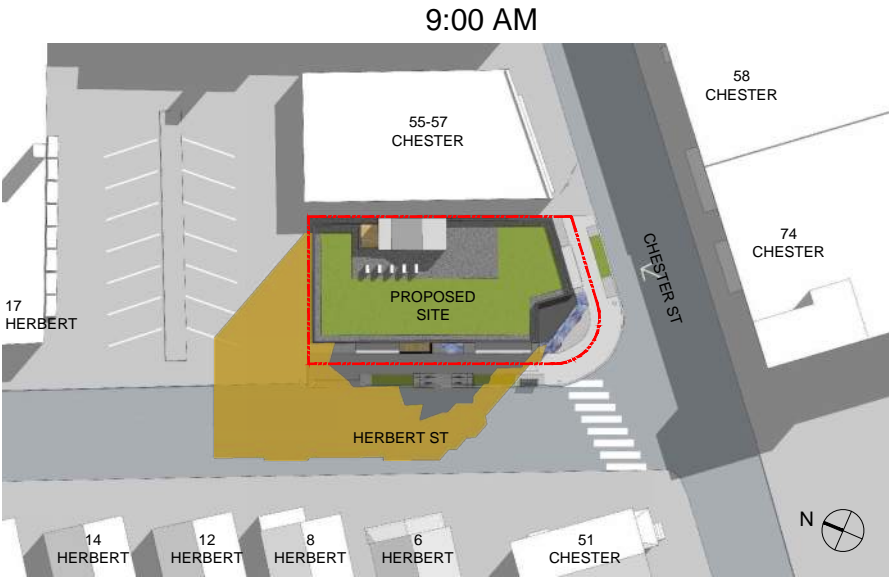
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ADDITIONAL SHADOW

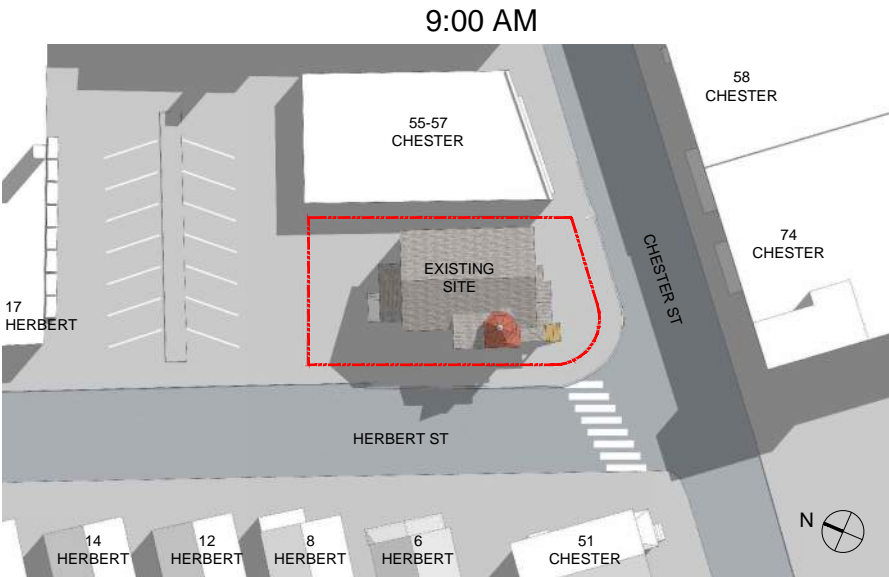
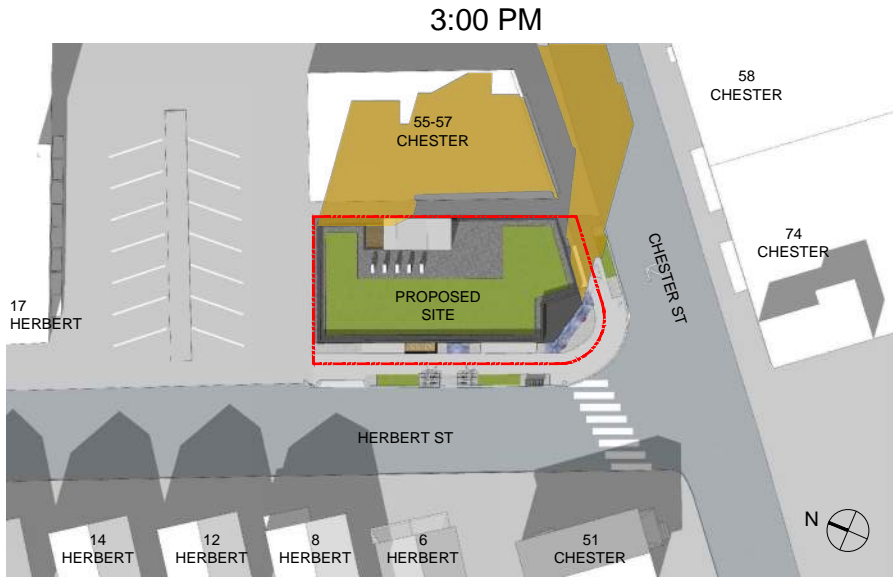
SPRING / FALL EQUINOX  
MARCH 21 SEPTEMBER 21



E:\\_POA - Chester-53\Rendering\Shadow Study\Chester 53 - Shadow Study.dwg, SH2, 11/6/2024, 2:28:00 PM



PROPOSED



EXISTING



EXISTING



EXISTING

ADDITIONAL SHADOW

SUMMER  
JUNE 21

PETER  
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PETER QUINN ARCHITECTS LLC  
259 ELM STREET, SUITE 301  
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SEAL



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PROJECT

53 CHESTER ST

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SOMERVILLE, MA 02144

PREPARED FOR

G2 PAR  
SOMERVILLE LLC

62 BLACK ROCK RD.  
COHASSET, MA 02025

DRAWING TITLE

SHADOW  
STUDY  
- SUMMER

SCALE AS NOTED

REVISION DATE

PB SP/SPR REV-4	6 NOV 2024
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SHEET

SH-2



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INTERIOR DESIGN

PETER QUINN ARCHITECTS LLC  
259 ELM STREET, SUITE 301  
SOMERVILLE, MA 02144  
PH 617-354-3989

SEAL

REGISTERED ARCHITECT

PETER SAMUEL QUINN

No. 7510

CAMBRIDGE

MA

COMMONWEALTH OF MASSACHUSETTS

CONSULTANT

PROJECT

53 CHESTER ST

53 CHESTER STREET  
SOMERVILLE, MA 02144

PREPARED FOR

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62 BLACK ROCK RD.  
COHASSET, MA 02025

DRAWING TITLE

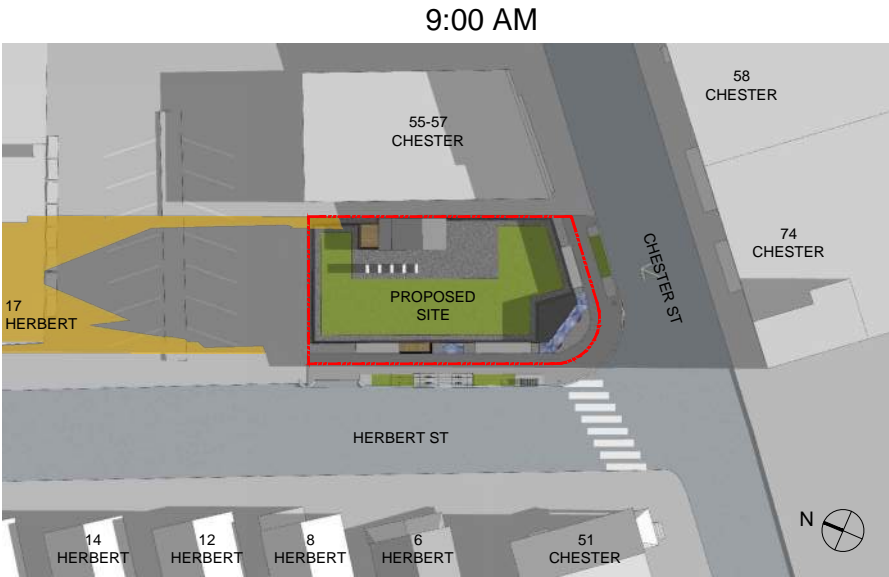
SHADOW  
STUDY  
- WINTER

SCALE AS NOTED

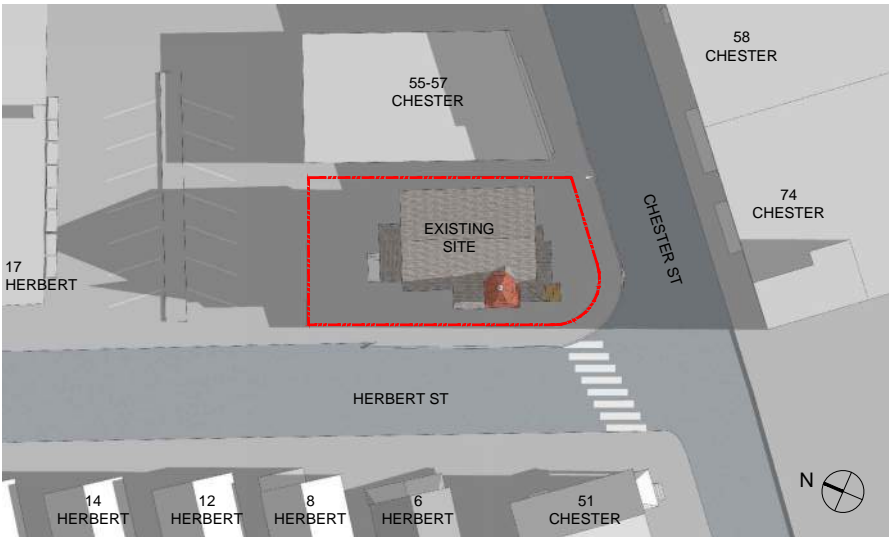
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PB SP/SPR REV-4	6 NOV 2024
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PB SP/SPR	18 JAN 2024
DRAWN BY YC	REVIEWED BY PQ

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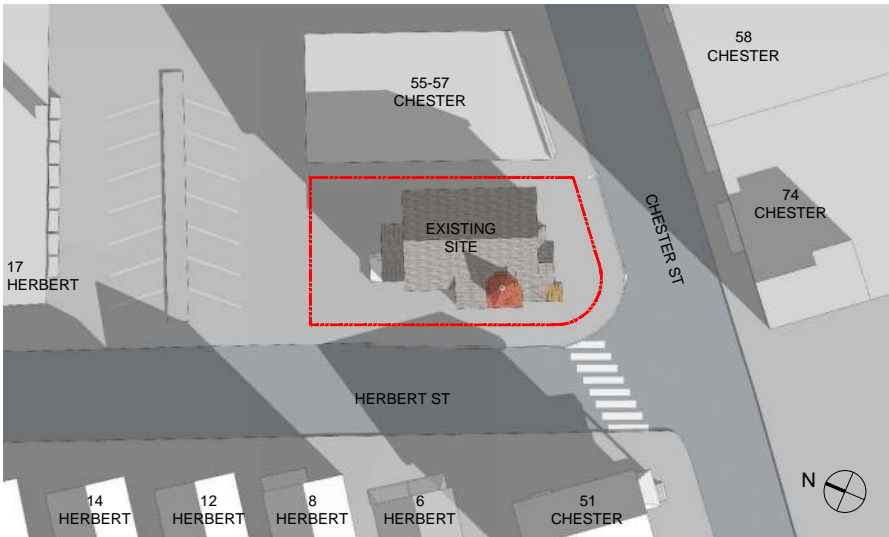
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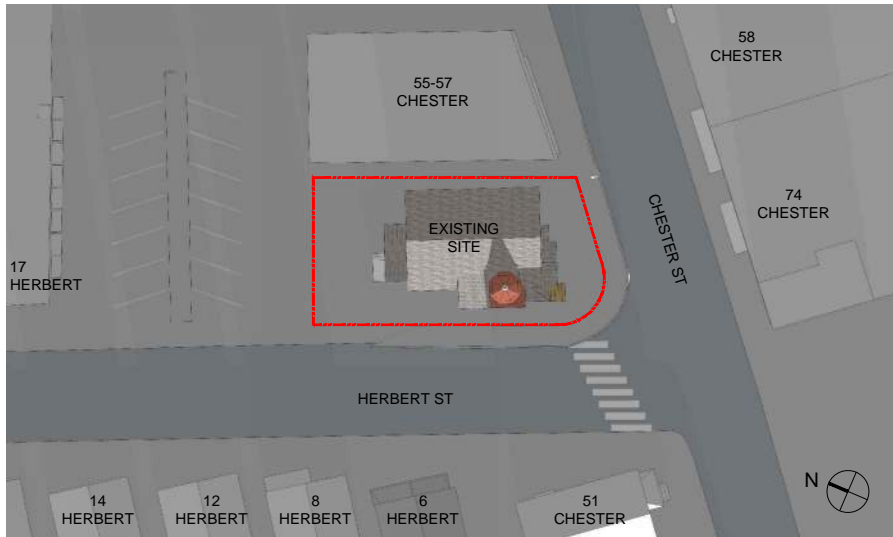
PROPOSED



EXISTING



EXISTING



EXISTING

ADDITIONAL SHADOW

WINTER  
DECEMBER 21