



**Commonwealth of Massachusetts
Alcoholic Beverages Control Commission
95 Fourth Street, Suite 3
Chelsea, Massachusetts 02150-2358**

Jean M. Lorizio, Esq.
Chairman

NOTICE OF ACCEPTED OFFER IN COMPROMISE

October 16, 2024

**GALWEGAN INC. D/B/A THE BURREN
247 ELM STREET
SOMERVILLE, MA 02144
LICENSE#: 00010-RS-1130
VIOLATION DATE: 9/21/2023
DECISION: 9/16/2024**

This is to advise you that the Alcoholic Beverages Control Commission has accepted your Offer in Compromise in Lieu of Suspension in the amount of \$ **35, 824.92**.

You are advised that the Notice of Suspension for a period of 10 days is reconsidered and compromised by this fine.

The Notice of license Suspension is rescinded.

ALCOHOLIC BEVERAGES CONTROL COMMISSION

Jean M. Lorizio
Chairman

2023-000251-ad-enf

cc: Local Licensing Board
Frederick G. Mahony, Chief Investigator
Nicole Smith, Investigator
Dennis A. Quilty, Esq.
Ryan Gazda, Esq.
Administration, File



Jean M. Lorizio, Esq.
Chairman

***Commonwealth of Massachusetts
Alcoholic Beverages Control Commission
95 Fourth Street, Suite 3
Chelsea, MA 02150***

**ALCOHOLIC BEVERAGES CONTROL COMMISSION ADVISORY REGARDING
RECENT NEWS ABOUT NON-CONSENSUAL DRUGGING OCCURRING AT BARS,
CLUBS, AND OTHER LICENSED PREMISES**

The ABCC is aware of local, national, and international news reports of an increase in illicit, non-consensual drugging occurring at bars, nightclubs, and other nightlife venues. All § 12 Licensees should alert employees and patrons about the increase in predatory behavior and are advised to be vigilant in monitoring activity within their establishments. Licensees are encouraged to have an active security plan in place, in which all employees are trained.

Licensees are reminded of the following:

- There is a duty to prevent foreseeable harm to patrons and others.
- A Licensee's duty to protect patrons may be triggered when the conduct of another patron puts the Licensee or its employees on notice that harm is imminent.
- A Licensee may discharge its duty to protect patrons by taking steps to prevent the harm, such as calling the police.
- It is the responsibility of each licensee to exercise close supervision of its premises to ensure compliance with the law.
- Licensees are required to cooperate in investigations by police and ABCC Investigators.

As always, all licensees must ensure they comply with the laws of the Commonwealth of Massachusetts, and that sales of alcoholic beverages take place only as authorized by federal, state, and local law.

Questions concerning this Advisory may be directed to Ralph Sacramone, Executive Director of the Massachusetts Alcoholic Beverages Control Commission at (██████████).

(Issued 12/3/2021)

PUBLIC EVENT/SPECIAL ALCOHOL LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: PEL24-000245

File #: 23-000197

Application for: Special Alcohol, Wine and Malt

Organization name: Warehouse Music events

Description: Music event, various bands playing

Date(s): October: 25, 26, 27, 28, 31,
November 1, 2, 5, 7, 8, 9, 13, 14, 15, 16, 18,

Setup starts at (time): 5.00

Cleanup after the event ends at (time): 12.00 pm

Entertainment: Bands playing music

Attendees:

Max attendance at one time: 50

Maximum attendees accommodated: 100

Attendee fees or suggested donations: \$10

Social or cultural benefits:

Music event open to all

Event Contact: Peggy Morrissey

Alcohol service begins at: 7.00 pm

Event name: Music Sessions at Warehouse XI

Location: We are located at the end of a private way on
Sanborn Court

Rain date(s): None

Event starts at (time): 7.00

Event ends at (time): 11.00 pm

Temporary Structures: None

Total people attending: 50

Total Somerville residents attending: 50

What is your budget for this event: \$500

Financial benefits:

Patrons can dine at neighboring restaurants

Event Contact Phone:

Alcohol service ends at: 11.00 pm

Event Information	Yes/No	If yes, Describe
Open to the public?	Yes	Promoter advertising on social media facebook
Food served?	No	
Caterer used?		
Alcohol served?	Yes	Alcohol to be served: Wine and Malt, Indoors Bar will be located in the middle of the room
Grill/open-flame device used?	No	
Streets blocked?	No	
Sidewalks blocked?	No	
Describe any accessibility features available to attendees/participants		Venue is handicapped accessible
Arrangements:		
Police Detail:	No	
Parking (for Attendees)?	No	
Restrooms?	Yes	3 bathrooms Two are handicapped
Liability Insurance?	Yes	\$2 million liability insurance
Will any public parks be used?	No	
Has the event occurred in the last two years?	Yes	Sept 21/29

PUBLIC EVENT/SPECIAL ALCOHOL LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: PEL24-000242

File #: 22-009700

Application for: Special Alcohol, Wine and Malt

Organization name: Forge Baking Company

Description: This is a rehearsal dinner and meet up for a wedding. They will have around 30-40 people. We will supply food and ice cream. They will be purchasing their own alcohol from an approved vendor to serve at the event.

Date(s): November 1st

Setup starts at (time): 5pm

Cleanup after the event ends at (time): 9:30pm

Entertainment: None

Attendees:

Max attendance at one time: 40

Maximum attendees accommodated: 40

Attendee fees or suggested donations: NA

Social or cultural benefits:

This is a private event

Event Contact: Courtney Verhaalen

Alcohol service begins at: 6pm

Event name: Rehearsal Dinner

Location: We are a large cafe space which is being rented for a wedding rehearsal dinner. We have a large open space in the back of our customer area where they will be having small bites and wine.

Rain date(s): None

Event starts at (time): 6pm

Event ends at (time): 9pm

Temporary Structures: None

Total people attending: 40

Total Somerville residents attending: NA

What is your budget for this event: \$3000 for the night

Financial benefits:

This is a private event where they are renting the space from us, and we provide the food.

Event Contact Phone:

Alcohol service ends at: 9pm

Event Information	Yes/No	If yes, Describe
Open to the public?	No	
Food served?	Yes	We will be providing sandwiches, salads, and ice cream
Caterer used?	No	
Alcohol served?	Yes	Alcohol to be served: Wine and Malt, Indoors We have a counter where the alcohol will be kept behind, and someone will hand it out to the attendees.
Grill/open-flame device used?	No	
Streets blocked?	No	
Sidewalks blocked?	No	
Describe any accessibility features available to attendees/participants		None
Arrangements:		
Police Detail:	No	
Parking (for Attendees)?	Yes	We have a parking lot.
Restrooms?	Yes	We have restrooms on site.

Liability Insurance?	No
Will any public parks be used?	No
Has the event occurred in the last two years?	No

Approval Conditions:

PUBLIC EVENT/SPECIAL ALCOHOL LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: PEL24-000237

File #: 24-011026

Application for: Special Alcohol, Malt Only

Organization name: Boston Boulderling Project

Description: An electric community celebration featuring an all-levels rock climbing competition, open finals, music, food, raffles, and community connection. Boulderfest categories offer options for everyone to compete, whether you're a beginner with no comp experience or a seasoned expert. Every participant receives a t-shirt and swag bag as part of your ticket. <https://www.sweatpals.com/boston-boulderfest-2024>

Date(s): Saturday, November 9

Setup starts at (time): 7 am

Cleanup after the event ends at (time): 11 pm

Entertainment: None

Attendees:

Max attendance at one time: 500

Maximum attendees accommodated: 729 is our capacity at one time

Attendee fees or suggested donations: Spectator: BBP members, \$0, non-members \$5; Competitors: Early bird \$40-\$50 depending on category, final price \$50-\$60 depending on category.

Social or cultural benefits:

Somerville residents who are Boulderling Project members may attend for free and non-members for just \$5, which will bring business to neighboring establishments such as Aeronaut. The event will also expose more people to rock climbing, a healthy, community-driven activity that helps people build confidence, strength, and bonds with friends.

Event Contact: Liz Joyce Zabatta

Alcohol service begins at: 4 pm

Event name: Boulderfest

Location: Boston Boulderling Project (formerly Brooklyn Boulders) is a rock climbing gym in Somernova's Union Square complex, located right next to Aeronaut Brewery. The gym offers bouldering, rope, and lead climbing; fitness and yoga programming; and hosts regular community events from film screenings and meetups to vendor markets and workshops. This event, Boulderfest is a climbing competition that will include a few styles of competition that people will register for in advance and the option to come for free to spectate, explore a small vendor village, etc. Anyone who enters our gym, competitor or spectator, is required to sign our waiver.

Rain date(s): N/A the event will run rain or shine

Event starts at (time): 8 am

Event ends at (time): 8 pm

Temporary Structures: 8x8 and 10x10 tents, marketing flags, and banners (inside the gym)

Total people attending: 700

Total Somerville residents attending: 300

What is your budget for this event: \$13,000

Financial benefits:

We are partnering with Aeronaut for alcohol service (inside the gym), in addition to local food vendors such as Carolicious + local artists and vendors who will be tabling.

Event Contact Phone:

Alcohol service ends at: 8 pm

Event Information

Open to the public?

Yes/No

Yes

If yes, Describe

We have announced the competition via our newsletter,

		social media posts, posters in our gym and other local climbing gyms, and paid ads
Food served?	Yes	We plan to have food, with Carolicious and several other vendors joining us. We will be sure they have the proper permits.
Caterer used?	No	
Alcohol served?	Yes	Alcohol to be served: Malt Only, Indoors Aeronaut will set up and manage a station inside the gym to purchase cans.
Grill/open-flame device used?	No	
Streets blocked?	No	
Sidewalks blocked?	No	
Describe any accessibility features available to attendees/participants		Ramp to entrance of gym, all vendor and viewing areas are accessible by the same level.
Arrangements:		
Police Detail:	No	
Parking (for Attendees)?	Yes	Similar to the Summer of Climb event we ran in July, we are partnering with neighboring church St. Anthony's to offer their lot in addition to the BBP-allocated spots at the 30 Dane St. lot.
Restrooms?	Yes	Our gym has restrooms
Liability Insurance?	Yes	Anyone who comes into our gym signs a waiver, and the event will have an additional waiver competitors will sign. I have attached our general liability insurance to this application.
Will any public parks be used?	No	
Has the event occurred in the last two years?	No	

Approval Conditions:

Reviewer: Maureen Lee, ISD Health, Approved with Conditions

1. ISD Health has reviewed the above referenced application and has provided the status of "approved with conditions". A Coordinators Checklist is required before final approval can be provided. If assistance is needed with the Coordinators Checklist, please contact Eric DeJesus at edjesus@somervillema.gov.
2. Please be aware, as the event coordinator, please oversee all food vendors submit completed Temporary Food License applications a minimum of 14 days prior to the event.

PUBLIC EVENT/SPECIAL ALCOHOL LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: PEL24-000232

File #: 15-008961

Application for: Special Alcohol, All Forms

Organization name: St. Anthony Parish

Description: New Year's Eve with the parishioners of the church

Date(s): December 31, 2024

Setup starts at (time): 11am

Cleanup after the event ends at (time): 2am

Entertainment: Music, food, dance...

Attendees:

Max attendance at one time: 350

Maximum attendees accommodated: 350

Attendee fees or suggested donations: N/A

Social or cultural benefits:

N/A

Event Contact: (617) 625-4530 - Rev. Lino Garcia C.S.

Alcohol service begins at: 8pm

Event name: Reveillon 2025

Location: The event will be held in the church's reception hall.

Rain date(s): N/A

Event starts at (time): 8pm

Event ends at (time): 1am

Temporary Structures: N/A

Total people attending: 350

Total Somerville residents attending: N/A

What is your budget for this event: \$1000

Financial benefits:

N/A

Event Contact Phone:

Alcohol service ends at: 12:30am

Event Information	Yes/No	If yes, Describe
Open to the public?	No	
Food served?	Yes	Brazilian food
Caterer used?	No	
Alcohol served?	Yes	Alcohol to be served: All Forms, Indoors Alcohol will be served at the bar
Grill/open-flame device used?	No	
Streets blocked?	No	
Sidewalks blocked?	No	
Describe any accessibility features available to attendees/participants		Accessibility for all attendees
Arrangements:		
Police Detail:	Yes	Police detail will be requested
Parking (for Attendees)?	Yes	Both parking lots at St Anthony Church
Restrooms?	Yes	Hall restrooms
Liability Insurance?	Yes	RCAB Liability Insurance
Will any public parks be used?	No	
Has the event occurred in the last two years?	Yes	REVEILLON 2024 AND BEFORE PANDEMIC

Approval Conditions:

Reviewer: Darrell Richardson, Fire Prevention, Approved with Conditions

1. A Somerville Fire Detail will be required due to the anticipated crowd size.
2. Please submit fire detail request for this event. Request is submitted through Citizenserve under Fire Details.

PUBLIC EVENT/SPECIAL ALCOHOL LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: PEL24-000222

File #: 24-021113

Application for: Special Alcohol, All Forms

Organization name: Nicholas McGriff

Description: We are hosting our family & friends to celebrate our union in Union square!! Wedding ceremony followed by dinner & dancing all at Warehouse XI

Date(s): Saturday, January 18th, 2025

Setup starts at (time): 8am

Cleanup after the event ends at (time): 12am

Entertainment: DJ, photobooth

Attendees:

Max attendance at one time: 120

Maximum attendees accommodated: 120

Attendee fees or suggested donations: None

Social or cultural benefits:

none

Event Contact: Nicholas McGriff

Alcohol service begins at: 5:30pm

Event name: Nicholas & Jenna's Wedding Reception

Location: Wedding venue is Warehouse XI located at 11 Sanborn Ct, Somerville 02143.

Rain date(s): None

Event starts at (time): 5pm

Event ends at (time): 11pm

Temporary Structures: None

Total people attending: 110

Total Somerville residents attending: 10

What is your budget for this event: \$30,000

Financial benefits:

none

Event Contact Phone:

Alcohol service ends at: 10:30pm

Event Information	Yes/No	If yes, Describe
Open to the public?	No	
Food served?	Yes	Passed appetizers for an hour after wedding ceremony, followed by a sit-down dinner & dessert
Caterer used?	Yes	Season to Taste, 1678 Massachusetts Ave, Cambridge 02138
Alcohol served?	Yes	Alcohol to be served: All Forms, Indoors Inside the venue at Warehouse XI
Grill/open-flame device used?	Yes	Flat propane grill will be used outside only
Streets blocked?	No	
Sidewalks blocked?	No	
Describe any accessibility features available to attendees/participants		bathrooms, first floor, ramps
Arrangements:		
Police Detail:	No	
Parking (for Attendees)?	No	
Restrooms?	No	
Liability Insurance?	Yes	Will get one-day event liability insurance through insurance

company to cover any potential injuries, cancellations, etc.

Will any public parks be used? No

Has the event occurred in the last two years? No

Approval Conditions:

Reviewer: Darrell Richardson, Fire Prevention, Approved with Conditions

1. Building's Max Capacity 150. Max people expected at one time 120. Fire Detail required for this event. Submit a fire detail request with billing information to Citizen Serve, and call the scheduling chief 48 hours prior to event to confirm.

LICENSING COMMISSION LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: SFW24-000006

File #: 22-017189

Business Name: House Bear Brewing

Application Type: Special Farmer Winery (agricultural events)

Location: 191 HIGHLAND AVE

APPLICANT

Company Name: House Bear Brewing, LLC

Business Address:

25 Storey Ave, #238,
Newburyport, , MA 01950

Manager of Establishment: Beth Borges

Manager Email: beth@housebearbrewing.com

Manager Phone Number: 781-839-0149

Approval Conditions

BUSINESS INFORMATION

Legal Name of the Proposed Licenseholder (Name of Corporation, LLC, Partnership/LLP, Trust, Sole Proprietor, Other)

House Bear Brewing, LLC

DBA Name

House Bear Brewing

In the last 3 years, have you admitted liability or been found liable under any state or federal law regulating the payment of wages to employees, or the collection of debt from employees?

In the last 5 years, have you been found guilty, liable, or responsible, in any judicial or administrative proceeding, for any violation of the City Wage Theft Ordinance or any State or Federal laws or regulations regulating the payment of wages?
City Wage Theft Ordinance
No

Explain

Manager of your establishment

Beth Borges

Manager email

beth@housebearbrewing.com

Manager phone

781-839-0149

OPERATING INFORMATION

Name of agricultural event (each event must be applied for separately)

Somerville Winter Farmers Market

Location of agricultural event	191 Highland Ave
Date(s) and time(s)	11/2/24-04/5/25 9:30-1:30
What are you selling and/or sampling?	Mead, session mead, cider,
Estimated attendance at any one time	500
Estimated total attendance	2000
Have you ever obtained a Special Farmer Winery License before?	Yes
Describe	SWFM-2014 Newburyport 2015, Wayland 2015 Haverhill, Somerville, Brighton, Belmont, Medford, Attleboro, Waltham, SOWA, Acton, Wakefield, Roslindale - 2018
Have you ever had a Special Farmer Winery License denied, suspended, or revoked?	No
Describe	
Have you ever received a Notice of Violation?	No
Describe	

<i class=icon-check></i> TERMS AND CONDITIONS

ACKNOWLEDGEMENT, RELEASE AND INDEMNIFICATION, AND WAGE THEFT ORDINANCE RECEIPT

By clicking submit below, I certify that I am the Applicant or that I am duly authorized to act as an agent for the Applicant

I certify that all information provided on this application is true and accurate, and I acknowledge that any information found to be false or misleading will result in the forfeiture of this license and may result in a one-year wait before a new application can be submitted, as well as criminal prosecution.

I certify that the Applicant will make no changes to any component of the business plan described in this application without written notification to, and the prior approval of, the City.

I certify that the Applicant will adhere to any and all City ordinances, regulations, and conditions pertaining to this license, and I acknowledge that any violation of City ordinances, regulations, and conditions pertaining to this license could subject the Applicant and anyone operating under this license to arrest, fine, and loss of this license.

I acknowledge that the so-called Wage Theft Ordinance, part of the Municipal Ordinances, has been made available to me as part of this application process. <a href=../Documents/149/WAGE%20THEFT%

I certify that the applicant, to my best knowledge and belief, has filed all State tax returns and paid all State taxes required under law.

I release, discharge and hold harmless, the City of Somerville, a municipal corporation of the Commonwealth of Massachusetts, and its officers, employees, agents and servants from all actions, causes of action, claims, demands, damages, costs, loss of services, expenses and compensation associated with the issuance of this license, and the conduct of anyone operating under this license.

You must read and accept the above stated terms & conditions

Yes

LICENSING COMMISSION LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: SFW24-000005

File #: 24-022714

Business Name: Blisspoint Meadery

Application Type: Special Farmer Winery (agricultural events)

Location: 191 Highland Avenue (The Center for Arts at the Armory)

APPLICANT

Company Name: Blisspoint Meadery

Business Address:

1 Fox Run Rd.

Bedford, MA 01730

Manager of Establishment: Jeff Venuti

Manager Email: jeff@blisspointmeadery.com

Manager Phone Number: 617-466-9658

Approval Conditions

BUSINESS INFORMATION

Legal Name of the Proposed Licenseholder (Name of Corporation, LLC, Partnership/LLP, Trust, Sole Proprietor, Other)

Blisspoint LLC

DBA Name

Blisspoint Meadery

In the last 3 years, have you admitted liability or been found liable under any state or federal law regulating the payment of wages to employees, or the collection of debt from employees?

In the last 5 years, have you been found guilty, liable, or responsible, in any judicial or administrative proceeding, for any violation of the City Wage Theft Ordinance or any State or Federal laws or regulations regulating the payment of wages?
City Wage Theft Ordinance

No

Explain

Manager of your establishment

Jeff Venuti

Manager email

jeff@blisspointmeadery.com

Manager phone

617-466-9658

OPERATING INFORMATION

Name of agricultural event (each event must be applied for separately)

Somerville Winter Farmers Market

Location of agricultural event	191 Highland Avenue (Armory)
Date(s) and time(s)	Saturdays November 2 2024 to April 12 2025 9:30am to 1:30pm
What are you selling and/or sampling?	mead, alcohol made from honey
Estimated attendance at any one time	1000
Estimated total attendance	10000
Have you ever obtained a Special Farmer Winery License before?	Yes
Describe	Somerville Union Square, 2023-2024 Somerville Winter Farmers Market 2023-2024 Somerville Davis Square Farmers Market 2022-2024
Have you ever had a Special Farmer Winery License denied, suspended, or revoked?	No
Describe	
Have you ever received a Notice of Violation?	No
Describe	

<i class=icon-check></i> TERMS AND CONDITIONS

ACKNOWLEDGEMENT, RELEASE AND INDEMNIFICATION, AND WAGE THEFT ORDINANCE RECEIPT

By clicking submit below, I certify that I am the Applicant or that I am duly authorized to act as an agent for the Applicant

I certify that all information provided on this application is true and accurate, and I acknowledge that any information found to be false or misleading will result in the forfeiture of this license and may result in a one-year wait before a new application can be submitted, as well as criminal prosecution.

I certify that the Applicant will make no changes to any component of the business plan described in this application without written notification to, and the prior approval of, the City.

I certify that the Applicant will adhere to any and all City ordinances, regulations, and conditions pertaining to this license, and I acknowledge that any violation of City ordinances, regulations, and conditions pertaining to this license could subject the Applicant and anyone operating under this license to arrest, fine, and loss of this license.

I acknowledge that the so-called Wage Theft Ordinance, part of the Municipal Ordinances, has been made available to me as part of this application process. <a

href=../Documents/149/WAGE%20THEFT%
20ORDINANCE.pdf target=_blank>download ordinance<
/a>

I certify that the applicant, to my best knowledge and belief, has filed all State tax returns and paid all State taxes required under law.

I release, discharge and hold harmless, the City of Somerville, a municipal corporation of the Commonwealth of Massachusetts, and its officers, employees, agents and servants from all actions, causes of action, claims, demands, damages, costs, loss of services, expenses and compensation associated with the issuance of this license, and the conduct of anyone operating under this license.

You must read and accept the above stated terms & conditions

Yes

LICENSING COMMISSION LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: ALM24-000046

File #: 23-025045

Business Name: Crave & Co cafe

Amendment Type: Changing Corporate or DBA Name

Location: 198 Holland Street

APPLICANT

Company Name: Crave & CO INC

Business Address:

198 Holland Street

Somerville, MA 02144

Enter your current business license # AL23-000043

Do you currently serve alcohol? No

ARE YOU CHANGING THE NAME OF YOUR BUSINESS? Yes

Proposed Corporate name Crave & Co inc

Current corporate name Crave & Co inc

Proposed DBA name Basma

Current DBA name Crave & Co Cafe

ARE YOU CHANGING YOUR MANAGER? No

**ARE YOU TRANSFERRING/ISSUING/PLEDGING STOCK,
OR ARE YOU CHANGING DIRECTORS/OFFICERS
/PARTNERS/TRUSTEES?** No

**ARE YOU ALTERING YOUR EXISTING PREMISES OR
OUTDOOR SEATING? SELECT YES TO INLCUDE
OUTDOOR SEATING FOR LICENSE** No

**ARE YOU ADDING, OR ENDING, THE SERVICE OF
CORDIALS AND LIQUEURS?** No

ARE YOU CHANGING YOUR HOURS OF OPERATION? No

ARE YOU CHANGING YOUR ENTERTAINMENT? No

Total Devices indoors 0

Total Devices Outdoors 0.0

Have you ever received a Notice of Violation? No

**almln the last 5 years, have you been found guilty, liable,
or responsible, in any judicial or administrative
proceeding, for any violation of the City Wage Theft
Ordinance or any State or Federal laws or regulations** No

regulating the payment of wages?
City Wage Theft Ordinance

You must read and accept the above stated terms & conditions	Yes
You must read and accept the above stated terms & conditions	Yes

Approved By:
Andrea Torres, Approved

LICENSING COMMISSION LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: ALM24-000035

File #: 17-013272

Business Name: Kajal and Kevin II LLC

Amendment Type: Altering Premises or Outdoor Seating

Location: 14 MCGRATH HWY

APPLICANT

Company Name: Liquor Junction

Business Address:

14 McGrath Hwy

Somerville, ma 02143

Enter your current business license # AL17-000147

Do you currently serve alcohol? Yes

ARE YOU CHANGING THE NAME OF YOUR BUSINESS? No

ARE YOU CHANGING YOUR MANAGER? No

**ARE YOU TRANSFERRING/ISSUING/PLEDGING STOCK,
OR ARE YOU CHANGING DIRECTORS/OFFICERS
/PARTNERS/TRUSTEES?** No

**ARE YOU ALTERING YOUR EXISTING PREMISES OR
OUTDOOR SEATING? SELECT YES TO INLCUDE
OUTDOOR SEATING FOR LICENSE** Yes

Are you changing your indoor premises? Yes

**Do you offer seating for the consumption of food on
premises? (Food includes non-alcoholic beverages)** No

Proposed number of floors on the premises 1

**Proposed name of floor (Basement, balcony, Main, 2nd
floor, etc.)¹** Main

Proposed number of rooms¹ 2

Proposed square footage¹ 11834

**Number of seats (enter 0 if you do not serve food on
premises)¹** 0

Current Number of Floors Indoors 1

Current number of rooms indoors 2

**Current number of seats indoors (enter 0 if you do not
serve food on premises)** 0

Proposed total occupancy indoors 30

Current total occupancy indoors 25

Proposed number of entrances into the indoor premises	1
Current number of entrances into the indoor premises	1
Proposed number of exits from the indoor premises	4
Current number of exits from the indoor premises	3
Are you changing your outdoor premises?	No
Do you operate an inn?	No
Describe your outreach to the Ward Alderman and neighborhood	None
ARE YOU ADDING, OR ENDING, THE SERVICE OF CORDIALS AND LIQUEURS?	No
ARE YOU CHANGING YOUR HOURS OF OPERATION?	No
ARE YOU CHANGING YOUR ENTERTAINMENT?	No
Total Devices indoors	0
Total Devices Outdoors	0.0
Have you ever received a Notice of Violation?	No
almln the last 5 years, have you been found guilty, liable, or responsible, in any judicial or administrative proceeding, for any violation of the City Wage Theft Ordinance or any State or Federal laws or regulations regulating the payment of wages? City Wage Theft Ordinance	No
You must read and accept the above stated terms & conditions	Yes
You must read and accept the above stated terms & conditions	Yes

Approved By:

Albert Bargoot, Approved

Maureen Lee, Approved

Andrea Torres, Approved

Darrell Richardson, Approved with Conditions

Plans for building expansion were uploaded on Aug 26, 2024. Building permit has not been issued yet. Fire Alarm System and Sprinkler system may need to be adjusted for larger area.

Approved per the condition that a Fire Department Final inspection be done after construction to determine if the Fire Alarm System and the Sprinkler System are sufficient cover new area.

LICENSING COMMISSION LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: ALM24-000044

File #: 19-006982

Business Name: RCSH Operations, Inc.

Amendment Type: Pledging Stock or License, Changing Owners, Officers or Directors

Location: 375 REVOLUTION DR

APPLICANT

Company Name: Upton Connell & Devlin, LLP

Business Address:

112 Water Street
Boston, MA 02109

Enter your current business license # AL19-000026

Do you currently serve alcohol? Yes

ARE YOU CHANGING THE NAME OF YOUR BUSINESS? No

ARE YOU CHANGING YOUR MANAGER? No

ARE YOU TRANSFERRING/ISSUING/PLEDGING STOCK, OR ARE YOU CHANGING DIRECTORS/OFFICERS /PARTNERS/TRUSTEES? Yes

Are you transferring/issuing/pledging stock? Yes

Describe the transaction, including the names of all parties Ruth's Hospitality Group, Inc., the Licensee's parent company, and 100% owner, was purchased by Darden Restaurant's Inc., and its subsidiary GMRI, Inc.

Are you changing directors/officers/partners/trustees? Yes

List the current directors/officers/partners/trustees with their titles Ruth's Hospitality Group, Inc (100% shareholder) Cheryl J. Henry - President & Director Arne G. Hack - Treasurer & Director Alice G. Givens - Secretary & Director

List the proposed directors/officers/partners/trustees with their titles Ruth's Hospitality Group, Inc (100% shareholder) Erik M. Jenkins - President & Director Lindsay L. Koren - Treasurer Colleen H. Lyons - Secretary Angela M. Simmons - VP & Director

ARE YOU ALTERING YOUR EXISTING PREMISES OR OUTDOOR SEATING? SELECT YES TO INLCUDE OUTDOOR SEATING FOR LICENSE No

ARE YOU ADDING, OR ENDING, THE SERVICE OF CORDIALS AND LIQUEURS? No

ARE YOU CHANGING YOUR HOURS OF OPERATION? No

ARE YOU CHANGING YOUR ENTERTAINMENT? No

Total Devices indoors 0

Total Devices Outdoors	0.0
Have you ever received a Notice of Violation?	Yes
Describe each incident, and include the date, business name, address, and penalty	8/2019 (not alcohol related) - Four (4) blocked/locked fire exits in violation of M.G.L. ch. 138 s. 64 and Board's rule 1.06 A. Premise operating outdoor patio - not on CV, Entertainment, BFD, ISD permits in violation of M.G.L. ch. 138 s. 64. Failure to post current ISD (11/1/18) in violation of M.G.L. ch. 138 s. 64 and Board's rule 1.028. - all were corrected promptly A two-week liquor license suspension was imposed on Ruth's Chris Steak House located in Bethesda, Maryland by the Montgomery County Board of License Commissioners and occurred from January 22, 2019 to February 4, 2019. The suspension resulted from a failed undercover compliance check on January 4, 2018. Ruth's Chris Steak House takes this matter very seriously and has implemented numerous precautionary measures to ensure such an incident does not occur again.
alIn the last 5 years, have you been found guilty, liable, or responsible, in any judicial or administrative proceeding, for any violation of the City Wage Theft Ordinance or any State or Federal laws or regulations regulating the payment of wages?
City Wage Theft Ordinance	No
You must read and accept the above stated terms & conditions	Yes
You must read and accept the above stated terms & conditions	Yes

Approved By:

Andrea Torres, Approved

Andrea Torres, Approved

LICENSING COMMISSION LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: ME22-000007

File #: 22-023810

Business Name: Core Empowerment LLC

Application Type: Marijuana Retailer

Location: 500 MEDFORD ST

APPLICANT

Company Name: Prince Lobel Tye LLP

Business Address:

One International Place, Suite 3700

Boston, MA 02110

Legal Name of the Proposed Licenseholder (Name of Corporation, LLC, Partnership/LLP, Trust, Sole Proprietor, Other)

Core Empowerment LLC

Federal Tax ID # (EIN) (Do not enter a Social Security #-If no EIN, enter 999999999)

831709012

DBA Name

Seed

Website

seedyourhead.com

Phone

617-905-1123

What days and hours will the applicant serve the public? (Retailer License)

Monday - 10am to 10pm Tuesday - 10am to 10pm
Wednesday - 10am to 10pm Thursday - 10am to 10pm
Friday - 10am to 10pm Saturday - 10am to 10pm Sunday - 10am to 10pm

What is the applicant's Priority Status?

Group A Priority

Is the applicant applying for a Marijuana Microbusiness License?

No

Is the applicant applying for a Marijuana Transporter License?

No

Is the applicant applying for a Marijuana Delivery License Holder License?

No

Does the applicant intend to be open to the public?

Yes

Does the applicant currently possess any type of marijuana license in Somerville?

No

1. Describe how the applicant will help monitor the health impacts of recreational marijuana in their neighborhood and on local youth (max 3000 characters)

Core Empowerment (Core or the Company) is committed to working with the City of Somerville in its efforts to monitor and mitigate the health impacts of recreational marijuana on the City and local youth. Such efforts can be city-wide or neighborhood-focused and include, but are not limited to: - Ensuring that labeling of all marijuana products complies, or exceeds compliance, with state and local requirements; - Providing assistance with and resources for substance abuse

2. Describe how the applicant will prevent and educate youth and families about the dangers of underage exposure to, and the consumption of, recreational marijuana. Describe how the applicant will sustain these efforts over time (max 3000 characters)

3. Describe how the applicant will inform customers about restrictions on public consumption and workplace use, the risks of second-hand smoke, and dangers of operating a motor vehicle while impaired (max 3000 characters)

education and prevention programming; and - Developing and supplying educational materials to customers regarding safe consumption, transportation and storage of marijuana products. See #2 below for further details on consumer education.

Seed takes pride in consumer education and will provide educational materials, pursuant to 935 CMR 500.140(8), to all consumers about the dangers of underage exposure to, and the consumption of marijuana products. In addition to the risks associated with underage use and impaired driving, consumer education will include, but is not limited to: - Information regarding using the smallest amount possible to achieve the desired effect, potency, proper dosage, including the delayed effects of edible marijuana, and various forms and routes of administration; - Information regarding substance abuse signs and symptoms, including tolerance, dependence and withdrawal, and referral information for substance abuse treatment programs; - Information regarding the penalties for possession or distribution of marijuana in violation of Massachusetts law, including a statement that it is illegal to sell marijuana to any other individual; and - Information that will enable consumers to track the strains of marijuana products purchased and their effects. Seed will continuously update its consumer education materials as needed. With regards to preventing underage exposure to marijuana, see Seed's policy related to restricting access to individuals age 21 and over below. The Company shall require that all Marijuana Establishment Agents, Visitors and Consumers of marijuana for adult use (each as defined in 935 CMR 500.002) are 21 years of age or older. The Company will positively identify individuals seeking access to the premises of the Marijuana Establishment, or to whom marijuana or marijuana products are being transported pursuant to 935 CMR 500.105(14) (if applicable) to limit access solely to individuals 21 years of age or older. Pursuant to 935 CMR 500.140, the Company shall immediately inspect an individual's proof of identification and determine that the individual is 21 years of age or older upon entry to the Marijuana Establishment.

In addition to the to the consumer education materials as described above which include information regarding the risks of second-hand smoke, and the dangers of operating a motor vehicle while impaired, Core Empowerment will make customers aware of Seed's Good Neighbor Policy and the Company's request that customers refrain from public consumption, loitering, nuisance behavior. The policy will be available to customers on site at the dispensary and will also be available on the Company's website. See the policy below. Good Neighbor Policy As a customer of Seed and a good neighbor, customers should only open packages and utilize products at home. Opening packages or ingesting marijuana in a public place, including in the areas surrounding the dispensary including sidewalks, streets, or parking lots, or within my vehicle, is illegal. Customers that are found to violate these rules and do not abide by these

4. Describe how the applicant will market its products, including, but not limited to, broadcast, print, and online advertising, direct-response advertising, social media, and signage (max 3000 characters)

community norms will not be permitted to make future purchases at Seed and may be reported to law enforcement. Marijuana products purchased are only intended for use by the purchaser. Diversion of product is illegal and will be reported to law enforcement.

Marketing Message Desired Outcome - Build awareness and promote marijuana's benefits to all constituents through educational and informational channels. - Use all viable media to meet the educational needs of its clients. In addition to publishing its own consumer education brochures for clients outlining state regulations for the use of marijuana, consumption safety guidelines and storage recommendations will be included. These brochures will be available in the reference area of the dispensary education center as well as electronically online via website and mobile applications. - Communicate the value proposition of Seed. Our team works together to ensure that our customers receive the best possible experience, including products and services, resulting in high customer satisfaction. Multi-Channel Approach Core Empowerment will pursue a growth strategy in a way that does not dilute brand image or user's sense of experience. Core will not engage in activities which could: - Tarnish the brand's long-term health - Misrepresent marijuana's appropriate use - Portray using marijuana for individuals under age 21 - Weedmaps and Leafly are cannabis-specific search engines, driven by client reviews. These search engines provide resources for marijuana users, including a database of strains with grow information, flavor profiles, cannabinoid content, medicinal properties, side effects and user reviews. - Seed will establish an online presence through industry-specific localized Search Engine Optimization (SEO) key words. Social Media - Messaging and marketing across various social media outlets will comply with Massachusetts regulations. - Showcase in real time new product arrivals and offerings. - Seed will use social media to facilitate high touch engagement with clients to communicate other related informational items of interest. Internet Seed's website site will: - Describe products, services, and location as well as educational information on marijuana - Enable consultation scheduling and online order requests - Provides information on Massachusetts regulations Retail The following will be made available to customers at the dispensary, through email, texting, and online website. - Website - Easily accessible information on dispensary hours of operations, products and services, how to schedule an appointment, compassionate care program, upcoming events, etc. - Printed Materials - Printed brochures on products, safety, etc. - Educational Videos - Continuously played in the dispensary and available online to further educate on marijuana products, varietal differences, and safety precautions. - Email and Texting - Communicate with customers to announce upcoming events and provide customized information based on the customer's profile. Reminders of safety precautions and proper usage.

5. Describe the sources of the applicants inventory or

In accordance with 935 CMR 500.101(1)(d), Core

manufacturing materials (max 3000 characters)

6. Describe how the applicant will package and label products at the point of sale (max 3000 characters)

7. Describe who the applicant will employ, and the wages and benefits that will be provided (max 3000 characters)

Empowerment will work with licensed and properly registered Marijuana Establishments in the Commonwealth of Massachusetts to obtain marijuana or marijuana products. The Company has operated a dispensary in the Jamaica Plain neighborhood of Boston since March 2021. It has established relationships with a large number of cultivators and intends to make purchases for the Somerville dispensary through these wholesale vendors.

Seed plans to receive products that are securely packaged in compliant packaging from the supplier in accordance with 500.105(6) and labelled with compliant labels in compliance with 55.105(5). The Core Quality Control and Testing Assurance procedures will require product inspection upon delivery and at the time of dispensing to ensure packaging compliance. Additional dispensary labels containing compliant transactional information in bold, legible print that is easy to read will be firmly affixed by the technician to the marijuana product without obscuring the supplier label. The Core Quality Assurance Program is designed to Detect, Identify and Prevent any act or omission relating to the sale of marijuana, including incorrect, misleading or non-compliant packaging or labelling. All of our employees will be trained to investigate, review and act in response to potential errors. Our goal is to reduce errors, not to punish those who make them. Employees will be trained on all aspects of the Quality Assurance Program and will be continually updated on adjustments to this ever-improving process.

Core will continue to embrace the diversity goals of Somerville, Equal Opportunity, Affirmative Action and its own cultural goals. Core is a women and minority-owned business and is led by a team of diverse executives, women, African Americans, Hispanics and individuals over the age of 50. Diversity and inclusiveness begin with the leadership at Core and will be mirrored throughout the organization. Core Diversity Goals and Action Plans Core promotes diversity and assures equal opportunity employment for all persons, regardless of race, color, religion, gender, sexual orientation, age, national origin, citizenship status, or disability. Goal: Implement Recruiting Practices that demonstrate Core is committed to recruiting, retaining and developing the best employees regardless of race, color, religion, sex, age, disability or national origin. Core complies with the Equal Employment Opportunity Act and will adopt policies consistent with the Act that apply to all employment practices including recruitment, hiring, evaluation, promotion, transfer, discipline and termination, as well as forms of employee compensation. Action Plan: - Identify and partner with local organizations that train and help secure employment for persons with disabilities. - Create job descriptions that do not include restrictive and unnecessary minimum requirements that might restrict the ability to employ ethnic minorities, people with disabilities or those with CORI records. - Employ recruiting tools to identify a diverse workforce to include classified advertising in newspapers, job fairs, job listings on the internet; working with local special interest organizations

and chambers of commerce, and listing job openings with local and state agencies. - Use niche publications that reach out to a broad spectrum of cultures to advertise our job opportunities including local non-English publications. - Identify civic groups/community organizations that represent diverse constituencies to promote the message of our employment opportunities. - Recruit in different languages to promote employment opportunities to those persons who speak English as a second language. - Accept other recommended lists of potential employees from diverse groups. Core will give employment priority to Somerville residents and will advertise job openings in the more economically disadvantaged areas of Somerville. Our job advertisements will be published in English, Spanish, Portuguese and Haitian-Creole and we will encourage individuals formerly incarcerated for marijuana offenses to apply. Core commits to employing at least 75 percent of its staff that fall under the following categories: - Somerville residents of African American and Latino decent and who are veterans; - State-approved Economic Empowerment Applicants; and - Individuals formerly incarcerated for a marijuana offense. Core pays employees a minimum of 17 an hour and provides health benefits.

8. Describe how the applicant will use sustainable green practices and renewable energy sources (max 3000 characters)

Core's policies and procedures will include energy efficiency and conservation initiatives in compliance with 935 CMR 500.105(1)(p). Efforts will focus on energy efficient mechanical systems and building materials in the renovation of the space as well as recycling programs such as: - Coordination with suppliers to implement an on-site recycling program where customers can return plastic containers, glass jars, etc. for proper recycling. - Reusable bag program incentivizing customers to reuse exit bags. Core Empowerment is also committed to becoming certified by the Cannabis Control Commission as an Energy and Environmental Leader by: - Meeting or exceeding our energy and environmental impact goals; - Consistently documenting and complying with best management practices for energy use, waste disposal and environmental impact; - Retiring renewable energy credits equal to 100% of our energy usage; and - Requiring our wholesaler(s) to label all products as being produced using 100% renewable energy. (935 CMR 500.040(3)(c)).

a. Celebrating the diversity of our people, cultures, housing and economy (max 3000 characters)

Somerville's most prominent historical figures, cultural gems and commercial destinations are deeply rooted in the City's rich industrial history. The successes of Julian de Cordova, the Brick Bottom Gallery and Assembly Row are modern cultural and economic treasures born in distinct phases of Somerville's booming manufacturing past. The City's physical density and openness to immigrants fed the success of meat-packing, brick and glass-making and automotive assembly. Those characteristics were and are a part of Somerville then and now. That openness to newcomers is a hallmark of a strong civic culture, and could help make cannabis as important to the City's economic and cultural future. These values mirror Core Empowerment's values and are why we

chose Somerville. One of Core's guiding principles is to be local. Our proposed location in Magoun, nestled between Winter Hill and Ball Square, is a thriving commercial district. We plan to join the local merchants' association or help form one. Core would welcome the opportunity to partner with the City of Somerville and other arts institutions for placemaking activities in and around the square. There are additional opportunities to partner with stakeholders like Winter Hill Bank and The Welcome Project on financial literacy or entrepreneurship workshops. We believe that in this emerging market, the only way we can operate responsibly and sustainably is to elevate the talents and skills of the multilingual, multi-racial communities that raised us. From investors, to cultivators, to processors and product specialists, we seek partners who live in and are from the neighborhoods where we operate. We are working with local nonprofits and community stakeholders to sponsor career fairs geared towards those looking for a second chance and people of color. Creating jobs and wealth opportunities for disparately impacted communities, and sharing the history of cannabis culture in our neighborhoods are central to our mission. In addition to Core's commitment to hiring employees who are representative of the local community, we are committed to: - Providing educational seminars focused on Somerville residents, as defined by 935 CMR 500.040 (3)(a). Core plans to work with agencies like Mystic Valley Learning Center to host educational seminars and cannabis career fairs for Somerville residents and public housing tenants, 21 years and older, interested in the cannabis industry; and - Core plans to work with local artists to curate our retail space. This art would celebrate the diversity of Somervilles unique history, residents, and local economy. Like Julian de Cordova, we envision a place where art would continue to educate and excite.(<https://decordova.org/about/history>)

b. Fostering the unique character of our residents, neighborhoods, hills and squares, and the strength of our community spirit as expressed in our history, our cultural and social life, and our deep sense of civic engagement (max 3000 characters)

Core Empowerment will work with the Somerville Arts Council, Magoun merchants and residents to create a signature "Place Making Event" for the area. This event would celebrate this unique neighborhood in Somerville and compliment the City's other place-making events such as Honk (Davis Square) and Fluff Fest (Union Square).

c. Investing in the growth of a resilient economic base that is centered around transit, generates a wide variety of job opportunities, creates an active daytime population, supports independent local businesses, and secures fiscal self-sufficiency (max 3000 characters)

Core Empowerment is built on an equity and empowerment philosophy. We are 89% owned by women, Black and Latino individuals; 74% of our investors are local and 82% of investor dollars are from individuals who are of Black, African American, Hispanic or Latino descent. Core Empowerment will continue this philosophy of creating equity by working with local merchants to establish a Magoun Merchants Association. The goal of this association would be to provide support and assistance when and where needed for new or struggling businesses. In turn, this association would work as a group to advocate for transit and other concerns impacting the neighborhood. This will also provide a place where local employers and residents looking to fill a wide range of jobs can also work together. The ultimate goal is to promote

d. Promoting a dynamic urban streetscape that embraces public transportation, reduces dependence on the automobile, and is accessible, inviting and safe for all pedestrians, bicyclists and transit riders (max 3000 characters)

e. Building a sustainable future through strong environmental leadership, balanced transportation modes, engaging recreational and community spaces, exceptional schools and educational opportunities, improved community health, varied and affordable housing options, and effective stewardship of our natural resources (max 3000 characters)

f. Committing to continued innovation and affirmation of our responsibility to current and future generations in all of our endeavors: business, technology, education, arts and government, including your neighbors (within 300 feet), City youth, and the City as a whole (max 3000 characters)

Has the applicant ever obtained a marijuana-related license in any jurisdiction?

economic self-sufficiency of residents and local businesses in Magoun and around Somerville.

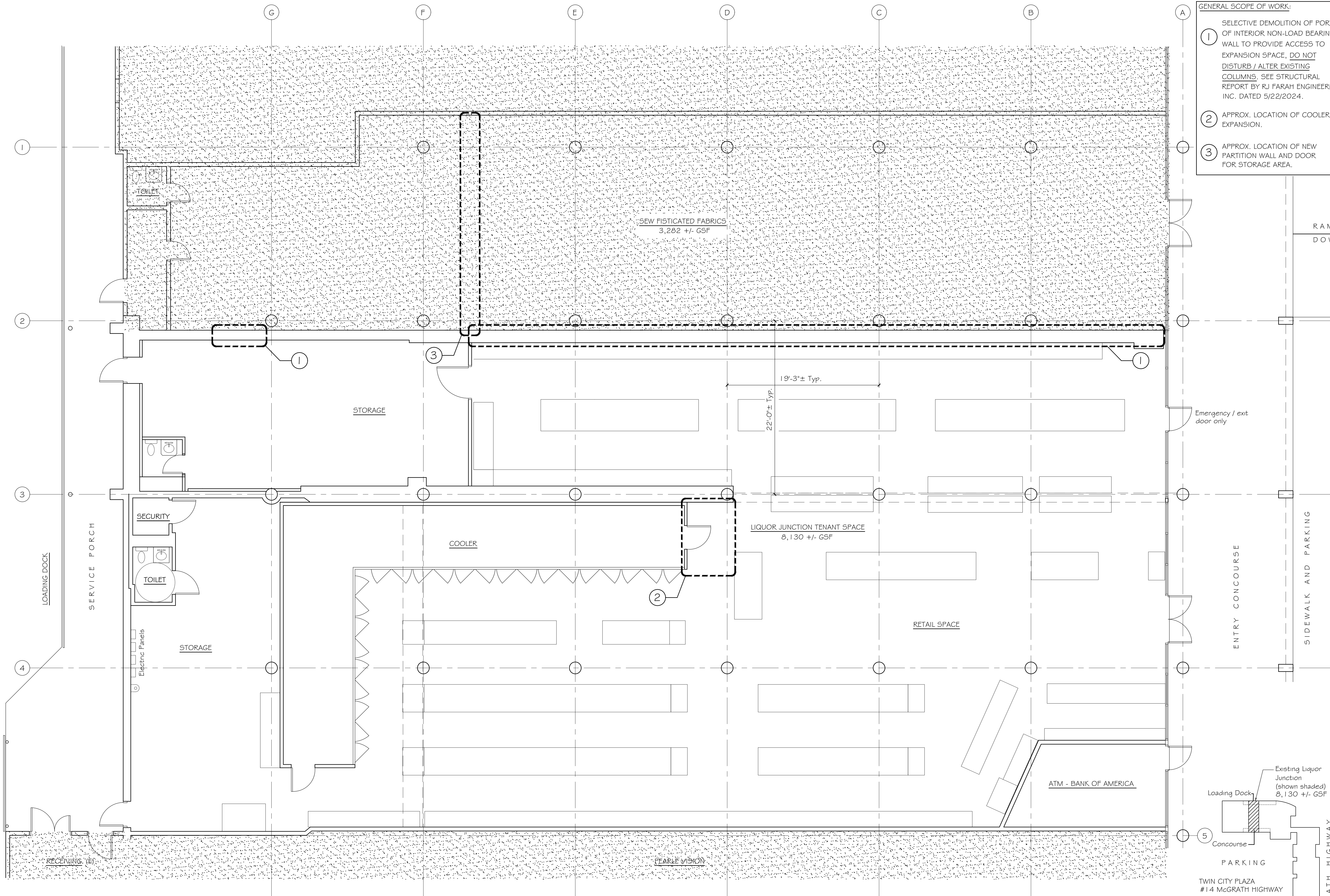
Hiring local is a priority for Core Empowerment because we believe it helps with the traffic and parking concerns of any neighborhood. In order to encourage the use of mass transit by our employees, Core Empowerment will offer transit incentives in the form of subsidized T-Cards or Hubway memberships. The newly installed bike lanes along Broadway will be helpful in encouraging our employees away from private car use. We will also be using a queuing system to reduce lines at the entrance. By forming a Magoun Merchants Association or by simply working with the East Somerville Main Streets, we will make positive contributions to Somerville's transportation goals of reducing pass-through traffic and encouraging the use of mass transit and bikes. In addition, Core Empowerment will implement security principles of Crime Prevention Through Environmental Design (CPTED), Concentric Circles of Protection, and Integrated Design when evaluating opportunities to deter a threat from entering and circulating within the building envelope. CPTED is a concept that utilizes planned passive resources such as architectural barriers, landscaping, and lighting to reduce the necessity of traditional technical and operational security elements to reduce vulnerability to crime. Please refer to the before and after rendering of our proposed location submitted for more detailed information.

Core Empowerment will collaborate with the Somerville Community Corporation to support their efforts to create more affordable housing in Somerville while maintaining and retaining the city's vibrancy and diversity. Given the breadth of SCC's program and the community organizing techniques used to achieve their goals are the qualities that drew us to this partnership. Core Empowerment also plans to support the City of Somerville's SustainaVille program. We are eager to help the City reach its goals of carbon neutrality by 2050, waste reduction, sustainable transportation among others. Our establishment will provide leadership, through example in our own business practices. One example of how we want to promote environmental leadership is in investigating in reusable or compostable packaging.

Core Empowerment's commitment to its empowerment philosophy will result in a significant impact on the City of Somerville and Magoun Square. The Company will place special emphasis on promoting the accommodation of differences through fairness in process and result. Our goal is to disrupt the continuation of the inequitable status quo within this industry that currently disadvantages women and minorities. Specifically, we plan to support organizations such as the Somerville Community Corporation in their efforts to keep Somerville affordable. We are confident that we would add significant value to an already vibrant neighborhood.

Yes

Describe each license obtained and include the year, business name, and location.	Core Empowerment LLC - Marijuana Establishment Retailer, 2021, 401A Centre Street, Boston, MA 02130
Has the applicant ever had any type of license denied, revoked or suspended in any jurisdiction?	No
Has the applicant ever received a Notice of Violation in any jurisdiction?	No
Has the applicant been in compliance for the last 3 years (or since being in business in Massachusetts, whichever is less), and is the applicant currently in compliance, with all laws and regulations of the State of Massachusetts?	Yes
Has the applicant been in compliance for the last 3 years (or since being in business in Somerville, whichever is less), and is the applicant currently in compliance, with all laws and regulations of the City of Somerville?	Yes
In the last 5 years, have you been found guilty, liable, or responsible, in any judicial or administrative proceeding, for any violation of the City Wage Theft Ordinance or any State or Federal laws or regulations regulating the payment of wages? City Wage Theft Ordinance	No



- GENERAL SCOPE OF WORK:
- 1 SELECTIVE DEMOLITION OF PORTION OF INTERIOR NON-LOAD BEARING WALL TO PROVIDE ACCESS TO EXPANSION SPACE, DO NOT DISTURB / ALTER EXISTING COLUMNS. SEE STRUCTURAL REPORT BY RJ FARAH ENGINEERING, INC. DATED 5/22/2024.
 - 2 APPROX. LOCATION OF COOLER EXPANSION.
 - 3 APPROX. LOCATION OF NEW PARTITION WALL AND DOOR FOR STORAGE AREA.



Revisions:				
Proj. No:	2404	Date:	8/27/2024	Scale: as shown

EXISTING FLOOR PLAN

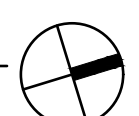
LIQUOR JUNCTION EXPANSION
Twin City Plaza - 14 McGrath Highway
Somerville, MA 02143

EGNATZ ASSOCIATES, INC. Architects
East End Road, Bolton, Massachusetts 01740 (978) 779-5158

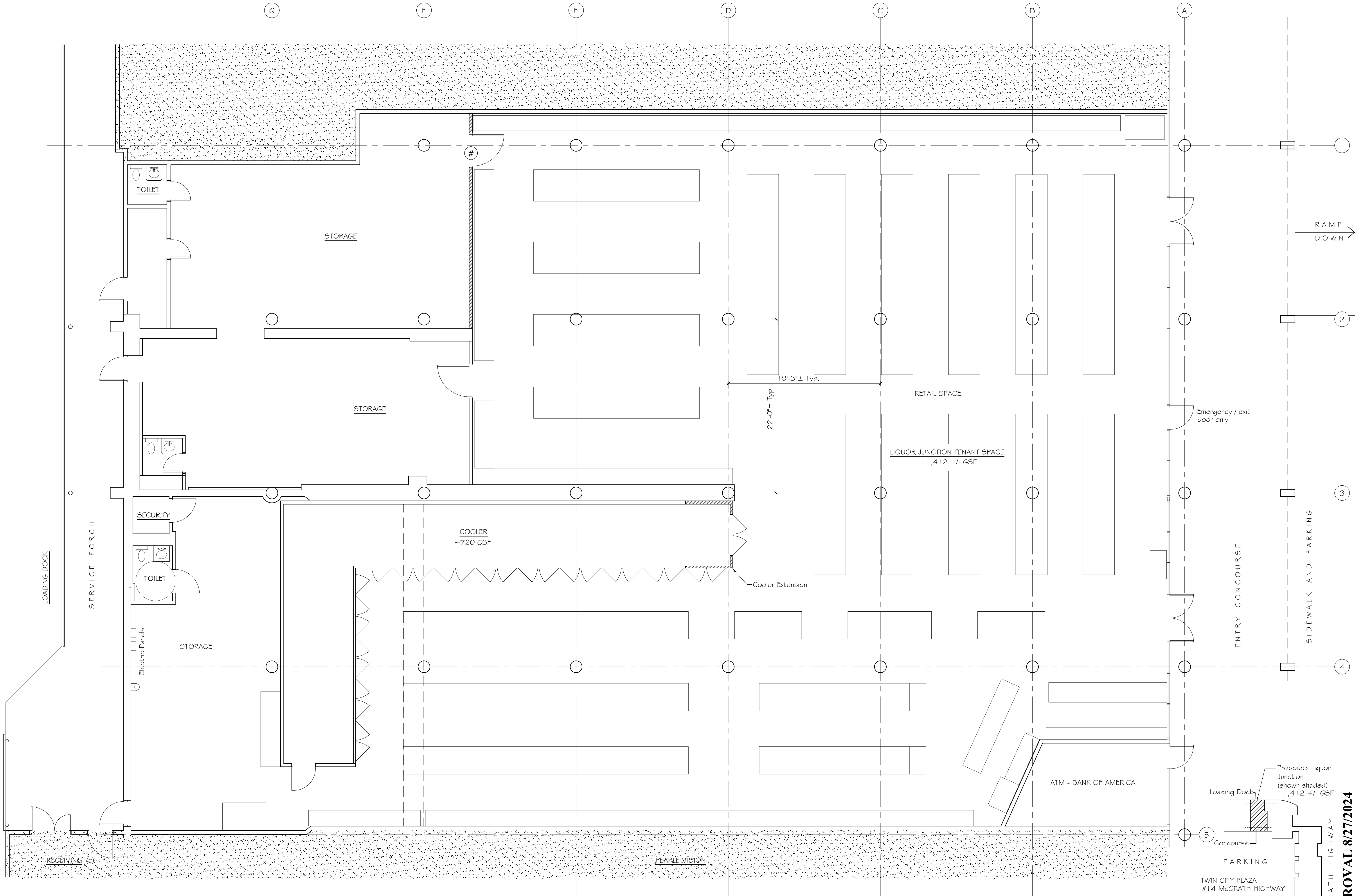
EX1

EXISTING FLOOR PLAN
Scale: 3/16" = 1'-0"

SITE KEY PLAN
NOT TO SCALE

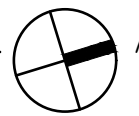


FOR APPROVAL 8/27/2024



PROPOSED EXPANSION FLOOR PLAN
Scale: 3/16" = 1'- 0"

SITE KEY PLAN
NOT TO SCALE



Revisions:		Proj. No:	
		2404	
		Date:	8/27/2024
		Scale:	as shown

PROPOSED EXPANSION
FLOOR PLAN

LIQUOR JUNCTION EXPANSION
Twin City Plaza - 14 McGrath Highway
Somerville, MA 02143

EGNATZ ASSOCIATES, INC. Architects
East End Road, Bolton, Massachusetts 01740 (978) 779-5158

A1

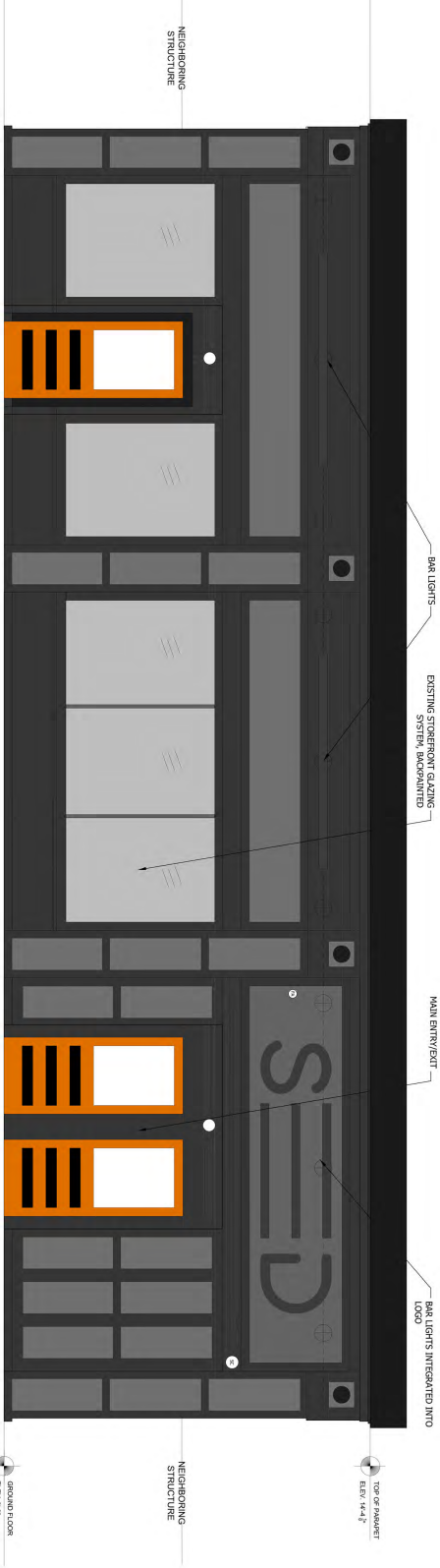
FOR APPROVAL 8/27/2024



1
EXISTING ELEVATION
NTS



2
EXISTING ELEVATION
NTS



3
PROPOSED ELEVATION
NTS

SW CANNAL
SW IRON ORE
SW CITSKAP

SEED RECREATIONAL DISPENSARY

500 MEDFORD STREET SOMERVILLE, MA 02145

EST. 2013
HOUSE
OF
DIETRICH

PIDGEON & CO.

70 MOUNTAIN AVE STE #3
MALDEN, MA 02148
781.399.4888

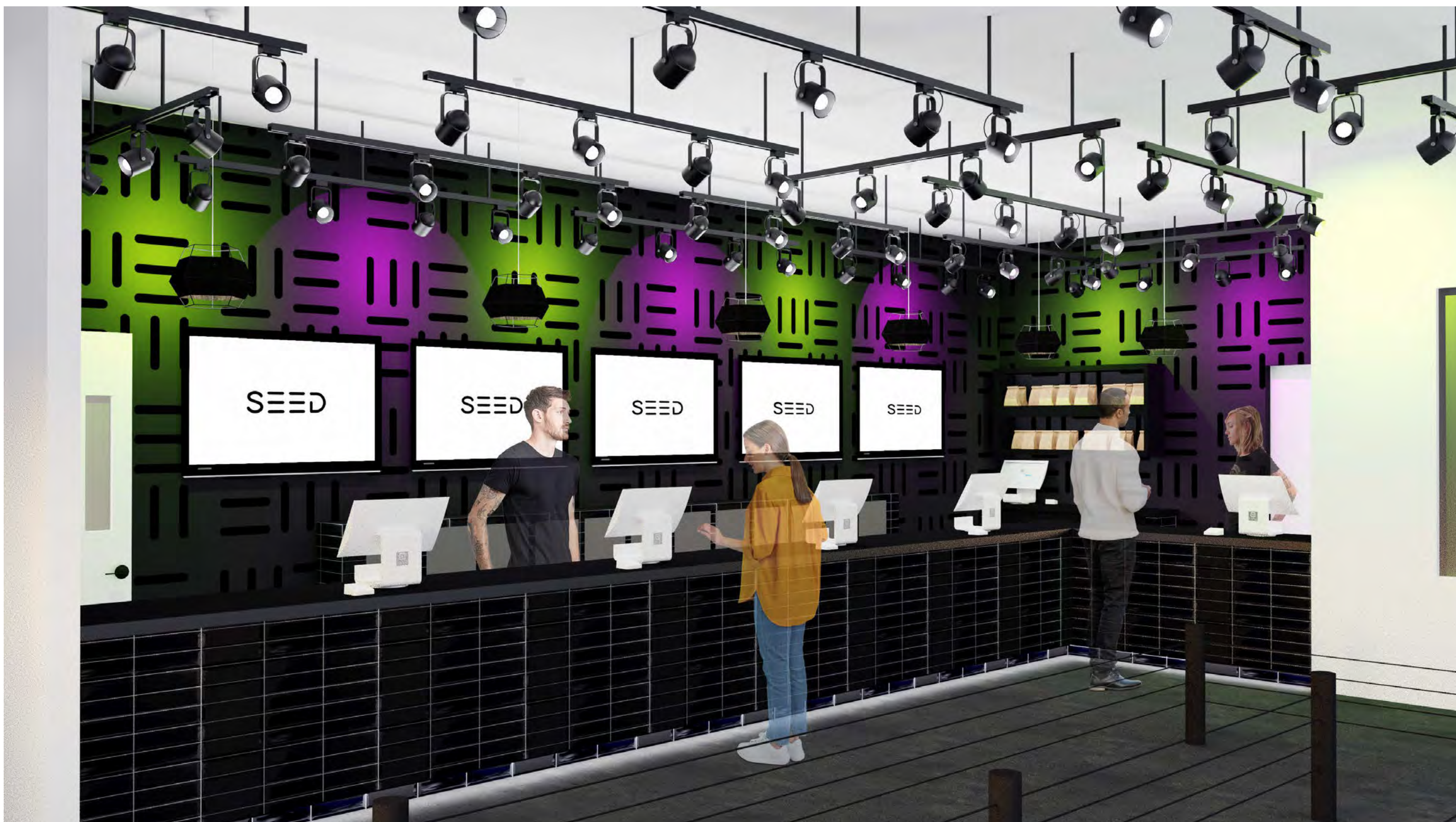
SEED DISPENSARY
500 MEDFORD STREET
SOMERVILLE, MA
PROJECT NO. 22-1078

COVER SHEET

Date: 11.15.22
Drawn By: HD

A0.00

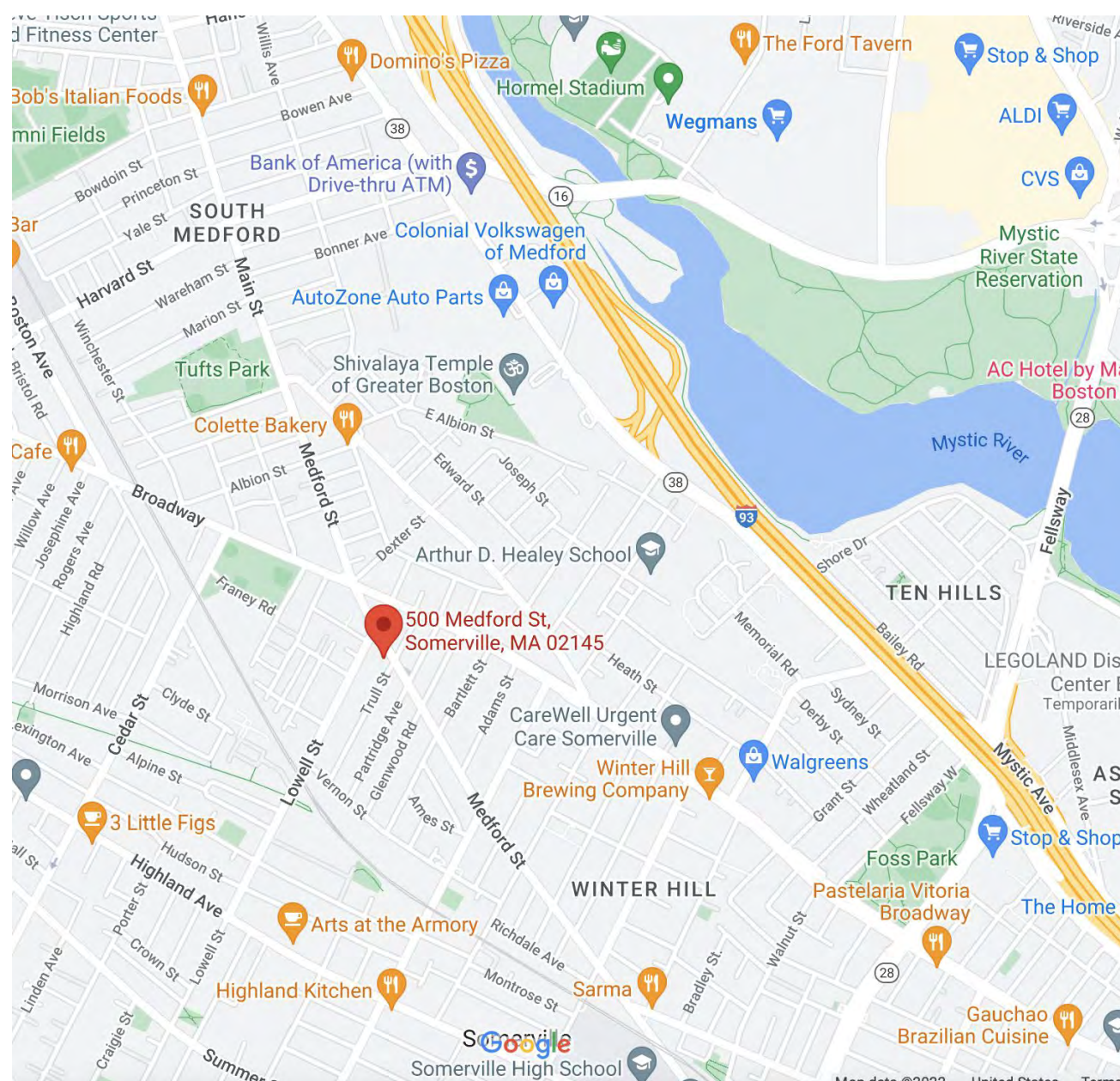
INTERIOR RENDERING:



ABBREVIATIONS

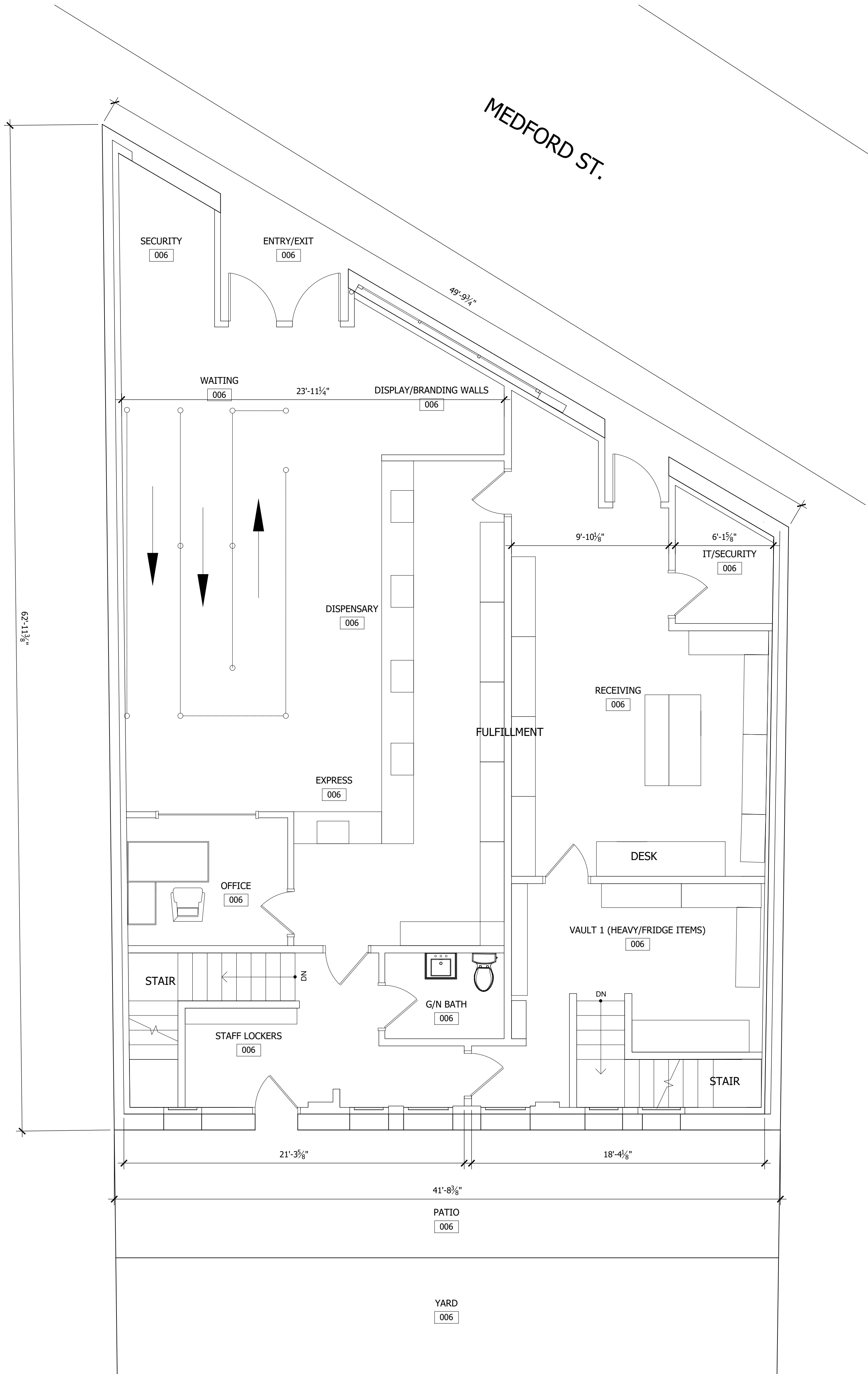
A	A/C	AIR CONDITIONING	H	H	HIGH	R	R or RAD	RADIUS
A/E	A/E	ARCHITECT/ENGINEER	HB	HOSE BIBB		RB	RUBBER BASE	
A/V	A/V	AUDIO VISUAL	HC	HOLLOW CORE		RBR	RUBBER	
ACT	ACT	ACOUSTICAL CEILING TILE	HDW	HARDWARE		RCP	REFLECTED CEILING PLAN	
ADJ	ADJ	ADJACENT	HEX	HEXAGONAL		RECEPT	RECEPTACLE	
AF	AF	ABOVE FINISH FLOOR	HID	HIGH INTENSITY DISCHARGE		RD	ROAD or ROOF DRAIN	
AHU	AHU	AIR HANDLING UNIT	HM	HOLLOW METAL		REBAR	REINFORCING BAR	
ALT	ALT	ALTERNATE(ING)	HORIZ	HORIZONTAL		RECT	RECTANGULAR	
ALUM	ALUM	ALUMINUM	HR	HOUR		REF	REFERENCE	
ANOD	ANOD	ANODIZED	HT	HEIGHT		REINF	REINFORCING / REINFORCEMENT	
APPROX	APPROX	APPROXIMATE	HTG	HEATING		REQ'D	REQUIRED	
ARCH	ARCH	ARCHITECT	HTR	HEATER		RET	RETURN	
AUTO	AUTO	AUTOMATIC	HVAC	HEATING VENTILATION & AIR COND.		REV	REVISE / REVISION	
AVG	AVG	AVERAGE	HW	HOT WATER		RH	RIGHT HAND	
			HWY	HIGHWAY		RHR	RIGHT HAND REVERSE	
						RM	ROOM	
B	BETW	BETWEEN				RO	ROUGH OPENING	
BEV	BEV	BEVELED				ROW	RIGHT OF WAY	
BIT	BIT	BITUMINOUS	I	IN	INCHES	RPM	REVOLUTIONS PER MINUTE	
BLDG	BLDG	BUILDING	INCL	INCAND	INCANDESCENT	RB	RUBBER BASE	
BLKG	BLKG	BLOCKING	INFO	INFO	INFORMATION	RSF	RENTABLE SQUARE FEET	
BTM	BTM	BOTTOM	INSUL	INSUL	INSULATION	RT	RUBBER TILE	
BSMT	BSMT	BASEMENT	INT	INT	INTERIOR	RTU	ROOF TOP UNIT	
BTU	BTU	BRITISH THERMAL UNIT	INV	INV	INVERT	RWC	RAINWATER CONDUCTOR	
BUR	BUR	BUILT UP ROOFING						
			J	JAN CLOS	JANITOR'S CLOSET	S		
C	CTR	CENTER	JB	JUNCTION BOX		SB	STONE BASE	
CER	CER	CERAMIC	JST	JOIST		SAN	SANITARY	
CF	CF	CUBIC FEET	JT	JOINT		SC	SOLID CORE	
CI	CI	CONTROL JOINT				SCHED	SCHEDULE	
CL	CL	CENTERLINE	K			SCHEM	SCHEMATIC	
CLG	CLG	CEILING	KD	KNOCK DOWN		SE	SOUTHEAST	
CLR	CLR	CLEAR	KIT	KITCHEN		SECT	SECTION	
CMU	CMU	CONCRETE MASONRY UNIT				SF	SQUARE FOOTAGE	
COL	COL	COLUMN				SHWR	SHOWER	
CONC	CONC	CONCRETE	L			SIM	SIMILAR	
CONSTR	CONSTR	CONSTRUCTION	L	LOW		SPEC	SPECIFICATION (S)	
CONT	CONT	CONTINUOUS	LAM	LAMINATE(D)		SPKR	SPEAKER	
CONTR	CONTR	CONTRACTOR	LAV	LAVATORY		SQ	SQUARE	
CORR	CORR	CORRIDOR	LF	LINEAR FEET		SQ FT	SQUARE FOOT	
CPT	CPT	CARPET	LH	LEFT HAND		SSTL	STAINLESS STEEL	
CT	CT	CERAMIC TILE	LHR	LEFT HAND REVERSE		ST	STREET	
CU FT	CU FT	CUBIC FEET	LL	LIVE LOAD		STD	STANDARD	
			LONG	LONGITUDINAL		STL	STEEL	
			LVL	LEVEL		STOR	STORAGE	
D						STRUCT	STRUCTURE / STRUCTURAL	
D	DBL	DEPTH				SUSP	SUSPENDED	
DBL	DBL	DOUBLE	M					
DEG	DEG	DEGREES	M HAL	METAL HALIDE		SYMB	SYMBOL	
DEMO	DEMO	DEMOLITION / DEMOLISH	MAINT	MAINTENANCE		SYS	SYSTEM	
DEPT	DEPT	DEPARTMENT	MAS	MASONRY				
DTL	DTL	DETAIL	MATL	MATERIAL		T		
DF	DF	DRINKING FOUNTAIN	MAX	MAXIMUM		T	TREAD (S) or TILE	
DH	DH	DOUBLE HUNG	MECH	MECHANICAL		T & B	TOP & BOTTOM	
DIAG	DIAG	DIAGONAL	MED	MEDIUM		T & G	TONGUE & GROOVE	
DIAM	DIAM	DIAMETER	MEZZ	MEZZANINE		THRES	THRESHOLD	
DISP	DISP	DISPENSER	MFR	MANUFACTURER		T'STAT	THERMOSTAT	
DN	DN	DOWN	MIN	MINIMUM		TB	TILE BASE	
DR	DR	DOOR	MISC	MISCELLANEOUS		TBD	TO BE DETERMINED	
DS	DS	DOWN SPOUT	MO	MASONRY OPENING		TEL	TELEPHONE	
DWG	DWG	DRAWING	MTG	MOUNTING		TEMP	TEMPORARY or TEMPERATURE	
			MTL	METAL		TERR	TERRAZZO	
						THK	THICK	
E			N			THRU	THROUGH	
EA	EA	EACH	N/A	NOT APPLICABLE / NOT AVAILABLE		TOC	TOP OF CONC. / CURB	
EF	EF	EXHAUST FAN	NE	NORTHEAST		TOS	TOP OF STEEL	
EJ	EJ	EXPANSION JOINT	NEC	NATIONAL ELECTRIC CODE		TOW	TOP OF WALL	
ELEC	ELEC	ELECTRIC(CAL)	NEG	NEGATIVE		T.O.	TOP OF	
ELEV	ELEV	ELEVATION or ELEVATOR	NOT IN CONTRACT			TRANSF	TRANSFORMER	
ENCL	ENCL	ENCLOSURE	NO	NUMBER		TYP	TYPICAL	
ENTR	ENTR	ENTRANCE	NOM	NOMINAL				
EQ	EQ	EQUAL	NRC	NOISE REDUCTION COEFFICIENT		U		
EQUIP	EQUIP	EQUIPMENT	NTS	NOT TO SCALE		UC	UNDERCUT	
EW	EW	EACH WAY				UL	UNDERWRITER'S LABORATORY	
EXH	EXH	EXHAUST	O			UNEXCAV	UNEXCAVATED	
EXG	EXG	EXISTING	OC	ON CENTER		UNO	UNLESS NOTED OTHERWISE	
EXP	EXP	EXPANSION	OCC	OCCUPANCY / OCCUPIED		UNON	UNLESS OTHERWISE NOTED	
EXT	EXT	EXTERNAL or EXTERIOR	OFF	OFFICE		UPS	UNINTERRUPTABLE POWER SUPPLY	
			OP	OVERHEAD		UR	URINAL	
			OPP	OPPOSITE		USF	USABLE SQUARE FOOTAGE	
			OZ	OUNCE(S)		UTIL	UTILITY	
FC	FC	FOOT CANDLES				V		
FCD	FCD	FLOOR CLEAN OUT				V	VOLT / VENT	
FD	FD	FLOOR DRAIN				VAP RET	VAPOR RETARDER	
FDN	FDN	FOUNDATION	P	POUND		VAR	VARIABLE	
FE	FE	FIRE EXTINGUISHER	%	PERCENT		VB	VINYL BASE	
FEC	FEC	FIRE EXTINGUISHER CABINET	PART	PARTIAL		VCT	VINYL COMPOSITION TILE	
FIN	FIN	FINISH	PART BD	PARTICLE BOARD		VENT	VENTILATION	
FF	FF	FINISH FLOOR	PTN	PARTITION		VERT	VERTICAL	
FHC	FHC	FIRE HOSE CABINET	PASS	PASSAGE		VEST	VESTIBULE	
FIG	FIG	FIGURE	PC	PRECAST		VIF	VERIFY IN FIELD	
FIN	FIN	FINISH	PER	PERFORATED		VOL	VOLUME	
FIXT	FIXT	FIXTURE	PERP	PERPENDICULAR		VTR	VENT THRU ROOF	
FLEX	FLEX	FLEXIBLE	PL	PLATE or PROPERTY LINE		VWC	VINYL WALL COVERING	
FLR	FLR	FLOOR	PLAM	PLASTIC LAMINATE				
FNDN	FNDN	FOUNDATION	PLAS	PLASTIC		W		
FOM	FOM	FACE OF MASONRY	PLYWD	PLYWOOD		W/	WITH	
FOS	FOS	FACE OF STUD	POS	POSITIVE		W/O	WITHOUT	
FP	FP	FIRE PROTECTION	PR	PAIR		WB	WOOD BASE	
FT	FT	FEET or FOOT	PROJ	PROJECT or PROJECTED		WC	WATER CLOSET (TOILET)	
FTG	FTG	FOOTING	PROP	PROPERTY or PROPOSAL		WD	WOOD	
FR	FR	FIRE RETARDANT	PSF	POUNDS PER SQUARE FOOT		WH	WATER HEATER	
FRTWD	FRTWD	FIRE RETARDANT TREATED WOOD	PSE	POUNDS PER SQUARE INCH		WP	WORKING POINT	
FURR	FURR	FURRING	PT	PAINT		WPT	WATERPROOF	
FWC	FWC	FABRIC WALLCOVERING	PTD	PAINTED		WT	WEIGHT	
						WWF	WELDED WIRE FABRIC	
						WF	WIDE FLANGE	
G			Q			Y		
GALV	GALV	GALVANIZED	QT	QUARRY TILE		YD	YARD or YARD DRAIN	
GC	GC	GENERAL CONTRACTOR	QTY	QUANTITY				
GEN	GEN	GENERAL or GENERATOR						
GFI	GFI	GROUND FAULT INTERRUPTER						
GL	GL	GLASS or GLAZING						
GRD	GRD	GROUND						
GWB	GWB	GYPSPUM WALL BOARD						
GYP	GYP	GYPSPUM						

PROJECT LOCATION:



DRAFTING SYMBOLS LEGEND:

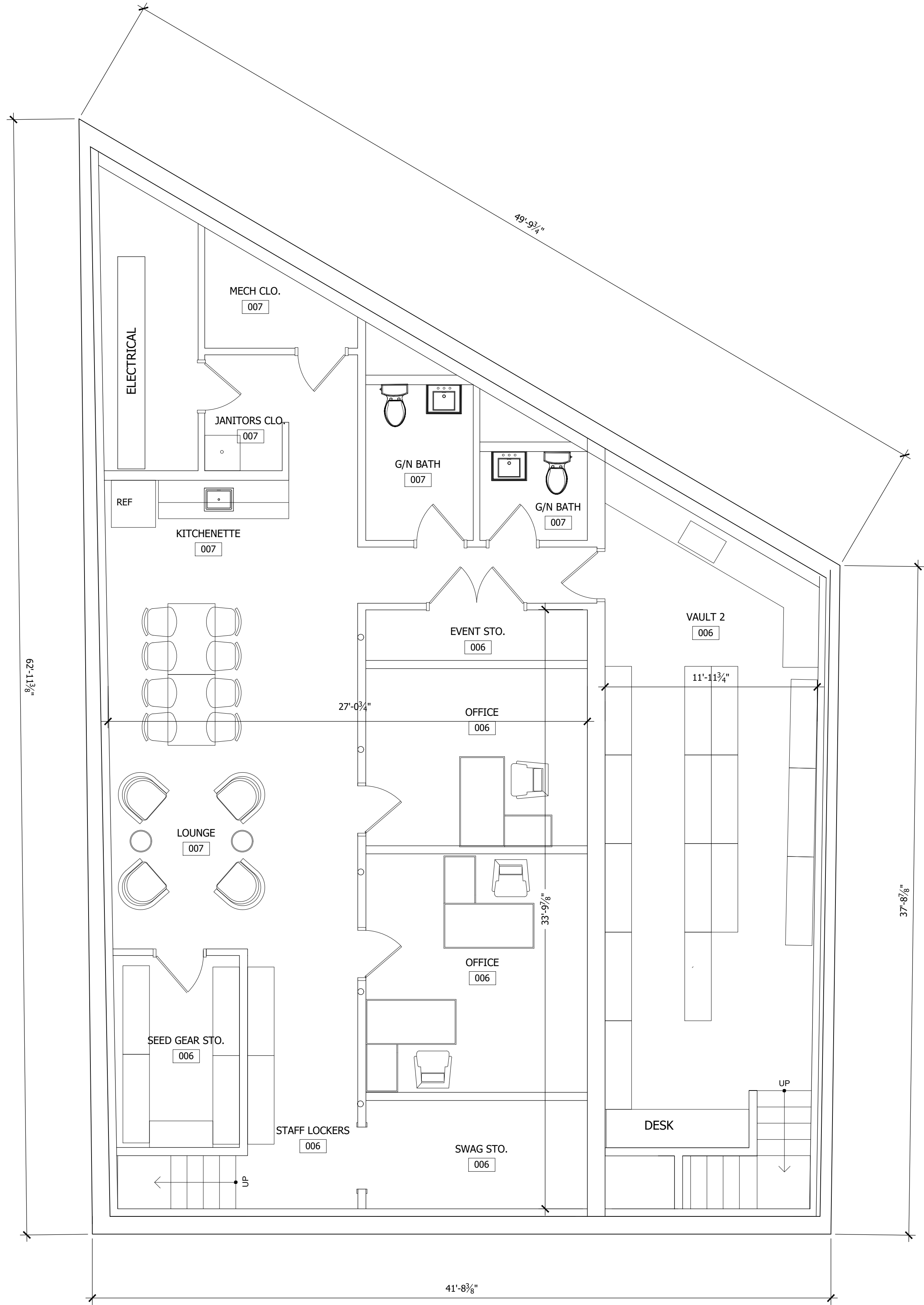
101	DOOR TAG	SPOT ELEVATION
1	WALL TAG	WINDOW TAG
1	EQUIPMENT TAG	ROOM TAG
SHEET	ELEVATION SYMBOL	DETAIL SYMBOL
2	COLUMN GRID AND BUBBLE	
1	VIEW SCALE	DRAWING TITLE



1

FIRST FLOOR PLAN

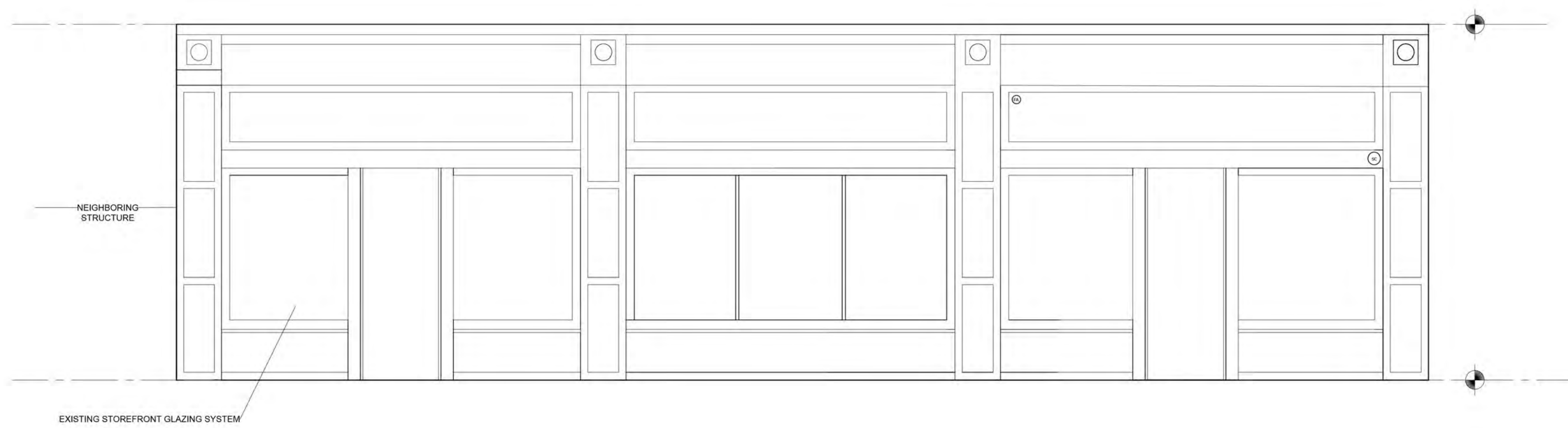
1/4"=1'-0"



2

BASEMENT FLOOR PLAN

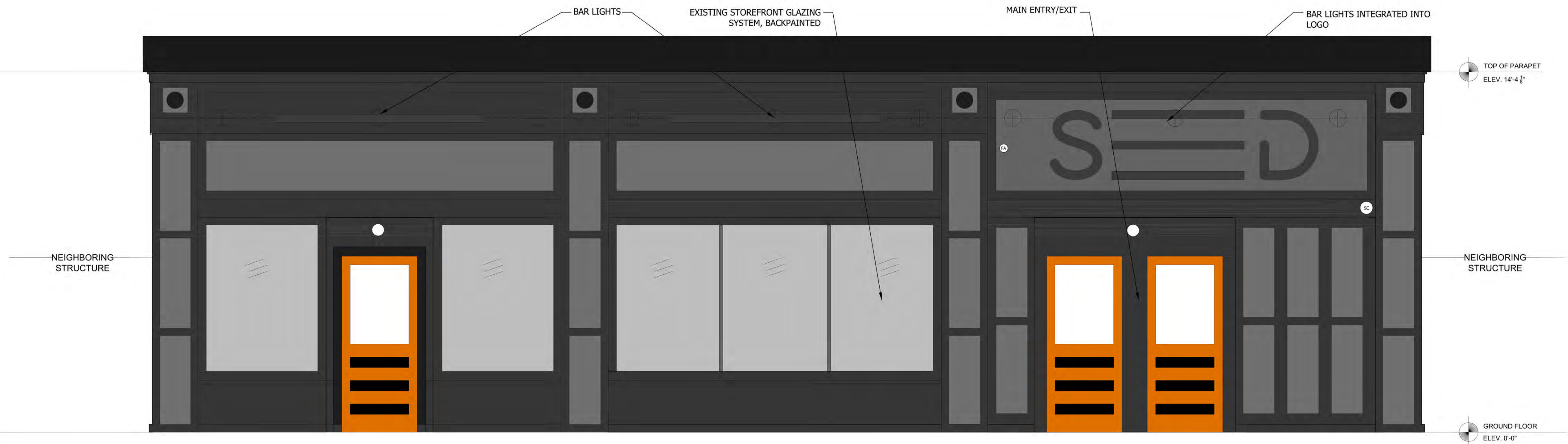
1/4"=1'-0"



1 EXISTING ELEVATION
NTS



2 EXISTING ELEVATION
NTS



3 PROPOSED ELEVATION
NTS

- SW CARNIVAL
- SW IRON ORE
- SW CITYSCAPE

79 MOUNTAIN AVENUE #3
MALDEN, MA 02148
781-399-4888

[illegible][illegible]

GENERAL		PRICE	CONF.
A0.00	COVER SHEET	X	
CONSTRUCTION DOCUMENTATION			
A0.01	LIFE SAFETY PLAN & CODE REVIEW	X	
A0.02	SCHEDULES, PARTITION & DOOR TYPES	X	
D1.01	DEMOLITION PLAN	X	
A1.01	CONSTRUCTION PLAN	X	
A2.01	REFLECTED CEILING DEMO PLAN, REFLECTED CEILING PLAN	X	
A3.01	INTERIOR ELEVATIONS	X	
A3.02	INTERIOR ELEVATIONS	X	
A3.03	EXTERIOR ELEVATIONS	X	
A6.01	DETAILS	X	
A8.01	FINISH PLAN		

OWNER:
CORE EMPOWERMENT LLC
401A CENTRE STREET
JAMAICA PLAIN, MA 02130
CONTACT: APRIL ARRASTE

DESIGN BUILDER:
HOUSE OF DIETRICH
PIDGEON & COMPANY
79 MOUNTAIN AVE SUITE 300
MALDEN, MA 02148
CONTACT: MOLLY PIDGEON

The map displays a section of Somerville, Massachusetts, centered around the address 500 Medford St, Somerville, MA 02145, which is highlighted with a red pin. The map shows a network of streets including Broadway, Medford St, and various local roads like Bowler Ave, Harvard St, and Highland Ave. Key landmarks and businesses are marked with icons and labels, such as the Bank of America, Colonial Volkswagen of Medford, AutoZone Auto Parts, Shivalaya Temple of Greater Boston, Arthur D. Healey School, CareWell Urgent Care, Winter Hill Brewing Company, Walgreens, and several restaurants like 3 Little Figs, Arts at the Army, Highland Kitchen, and Colette Bakery. The Mystic River is visible on the right side of the map, flowing through the area. The map also shows the locations of several parks, including Tuts Park and Mystic River State Reservation. The map is sourced from Google Maps, as indicated by the Google logo and copyright information at the bottom.

	DOOR TAG		SPOT ELEVATION
	WALL TAG		WINDOW TAG
	EQUIPMENT TAG		ROOM TAG
	ELEVATION SYMBOL		DETAIL SYMBOL
	EXISTING CEILING MOUNT EXIT SIGN ARROWS INDICATE DIRECTION		EXISTING SMOKE DETECTOR
	EXISTING WALL MOUNT EXIT SIGN		EXIT ACCESS DISTANCE
	COLUMN GRID AND BUBBLE		VIEW SCALE
	DRAWING TITLE		

A					
A/C	AIR CONDITIONING	H	HIGH	R	RADIUS
A/E	ARCHITECT/ENGINEER	HB	HOSE BIBB	R or RAD	RUBBER BASE
A/V	AUDIO VISUAL	HC	HOLLOW CORE	RBR	RUBBER
ACT	ACUSTICAL CEILING TILE	HDW	HARDWARE	RCP	REFLECTED CEILING PLAN
ADJ	ADJACENT	HEX	HEXAGONAL	RECP	RECEPT
AFF	ABOVE FINISH FLOOR	HID	HIGH INTENSITY DISCHARGE	RD	ROAD or ROOF DRAIN
AHU	AIR HANDLING UNIT	HM	HOLLOW METAL	REBAR	REINFORCING BAR
ALT	ALTERNATE(ING)	HORIZ	HORIZONTAL	RECT	RECTANGULAR
ALUM	ALUMINUM	HR	HOUR	REF	REFERENCE
ANOD	ANODIZED	HT	HEIGHT	REINF	REINFORCING / REINFORCEMENT
APPROX	APPROXIMATE	HTG	HEATING	REQ'D	REQUIRED
ARCH	ARCHITECT	HTR	HEATER	RET	RETURN
AUTO	AUTOMATIC	HVAC	HEATING VENTILATION & AIR COND.	REV	REVISE / REVISION
AVG	AVERAGE	HW	HOT WATER	RH	RIGHT HAND
		HWY	HIGHWAY	RHR	RIGHT HAND REVERSE
				RM	ROOM
B				RO	ROUGH OPENING
BETW	BETWEEN	I	INCHES	ROW	RIGHT OF WAY
BEV	BEVELED	IN	INCHES	RPM	REVOLUTIONS PER MINUTE
BIT	BITUMINOUS	INCL	INCANDESCENT	RB	RUBBER BASE
BLDG	BUILDING	INCL	INCLUDE(ING) / INCLUSIVE	RSE	RENTAL SQUARE FEET
BLKG	BLOCKING	INFO	INFORMATION	RT	RUBBER TILE
BTM	BOTTOM	INSUL	INSULATION	RTU	ROOF TOP UNIT
BSMT	BASEMENT	INT	INTERIOR	RWC	RAINWATER CONDUCTOR
BTU	BRITISH THERMAL UNIT	INVT	INVERT		
BUR	BUILT UP ROOFING				
		J	JANITOR'S CLOSET	S	
C		JAN CLOS	JUNCTION BOX	SB	STONE BASE
CTR	CENTER	JB	JOIST	SAN	SANITARY
CER	CERAMIC	JST	JOINT	SC	SOLID CORE
CF	CUBIC FEET	JT	JOINT	SCHD	SCHEDULE
CJ	CONTROL JOINT			SCHEM	SCHEMATIC
CL	CENTERLINE	K	KNOCK DOWN	SE	SOUTHEAST
CLG	CEILING	KD	KITCHEN	SECT	SECTION
CLR	CLEAR	KIT		SF	SQUARE FOOTAGE
CMU	CONCRETE MASONRY UNIT			SHWR	SHOWER
COL	COLUMN	L	LOW	SIM	SIMILAR
CONC	CONCRETE	LAM	LAMINATE(D)	SPEC	SPECIFICATION (S)
CONSTR	CONSTRUCTION	LAV	LAVATORY	SPKR	SPEAKER
CONT	CONTINUOUS	LF	LINEAR FEET	SQ	SQUARE
CONTR	CONTRACTOR	LH	LEFT HAND	SQ FT	SQUARE FOOT
CORR	CORRIDOR	LHR	LEFT HAND REVERSE	SSTL	STAINLESS STEEL
CPT	CARPET	LL	LIVE LOAD	ST	STANDARD
CT	CERAMIC TILE	LL	LONG	STL	STEEL
CJ FT	CUBIC FEET	LVL	LEVEL	STOR	STORAGE
				STRUCT	STRUCTURE / STRUCTURAL
D				SUSP	SUSPENDED
D	DEPTH	M	METAL HALIDE	SYMB	SYMBOL
DBL	DOUBLE	M HAL	MAINTENANCE	SYS	SYSTEM
DEG	DEGREES	MAINT	MASONRY		
DEMO	DEMOLITION / DEMOLISH	MAS	MATERIAL		
DEPT	DEPARTMENT	MAX	MAXIMUM	T	
DTL	DETAIL	MECH	MEDIUM		
DF	DRINKING FOUNTAIN	MEZ	MEZZANINE	T	TREAD (S) or TILE
DH	DOUBLE HUNG	MIN	MINIMUM	T & B	TOP & BOTTOM
DIAG	DIAGONAL	MISC	MISCELLANEOUS	T & G	TONGUE & GROOVE
DIAM	DIAMETER	MO	MASONRY OPENING	THRES	THRESHOLD
DISP	DISPENSER	MTG	MOUNTING	TSTAT	THERMOSTAT
DR	DOWN	MTO	METAL	TB	TILE BASE
DR	DOOR	MS	MASONRY	TBD	TO BE DETERMINED
DS	DOWN SPOUT	NEG	NEGATIVE	TEL	TELEPHONE
DWG	DRAWING	N	NOT APPLICABLE / NOT AVAILABLE	TEMP	TEMPORARY or TEMPERATURE
		N/A	NOT APPLICABLE / NOT AVAILABLE	TERR	TERRAZZO
E		N	NOT APPLICABLE / NOT AVAILABLE	THK	THICK
EA	EACH	NE	NORTHCAST	THRU	THROUGH
EF	EXHAUST FAN	NEG	NEGATIVE	TOC	TOP OF CONC. / CURB
EJ	EXPANSION JOINT	NEG	NEGATIVE	TOS	TOP OF STEEL
ELEC	ELECTRICAL	NIC	NOT IN CONTRACT	TOW	TOP OF WALL
ELEV	ELEVATION or ELEVATOR	NO	NUMBER </tr		

GENERAL		PRICE	CONF.
A0.00	COVER SHEET	X	
CONSTRUCTION DOCUMENTATION			
A0.01	LIFE SAFETY PLAN & CODE REVIEW	X	
A0.02	SCHEDULES, PARTITION & DOOR TYPES	X	
D1.01	DEMOLITION PLAN	X	
A1.01	CONSTRUCTION PLAN	X	
A2.01	REFLECTED CEILING DEMO PLAN, REFLECTED CEILING PLAN	X	
A3.01	INTERIOR ELEVATIONS	X	
A3.02	INTERIOR ELEVATIONS	X	
A3.03	EXTERIOR ELEVATIONS	X	
A6.01	DETAILS	X	
A8.01	FINISH PLAN		

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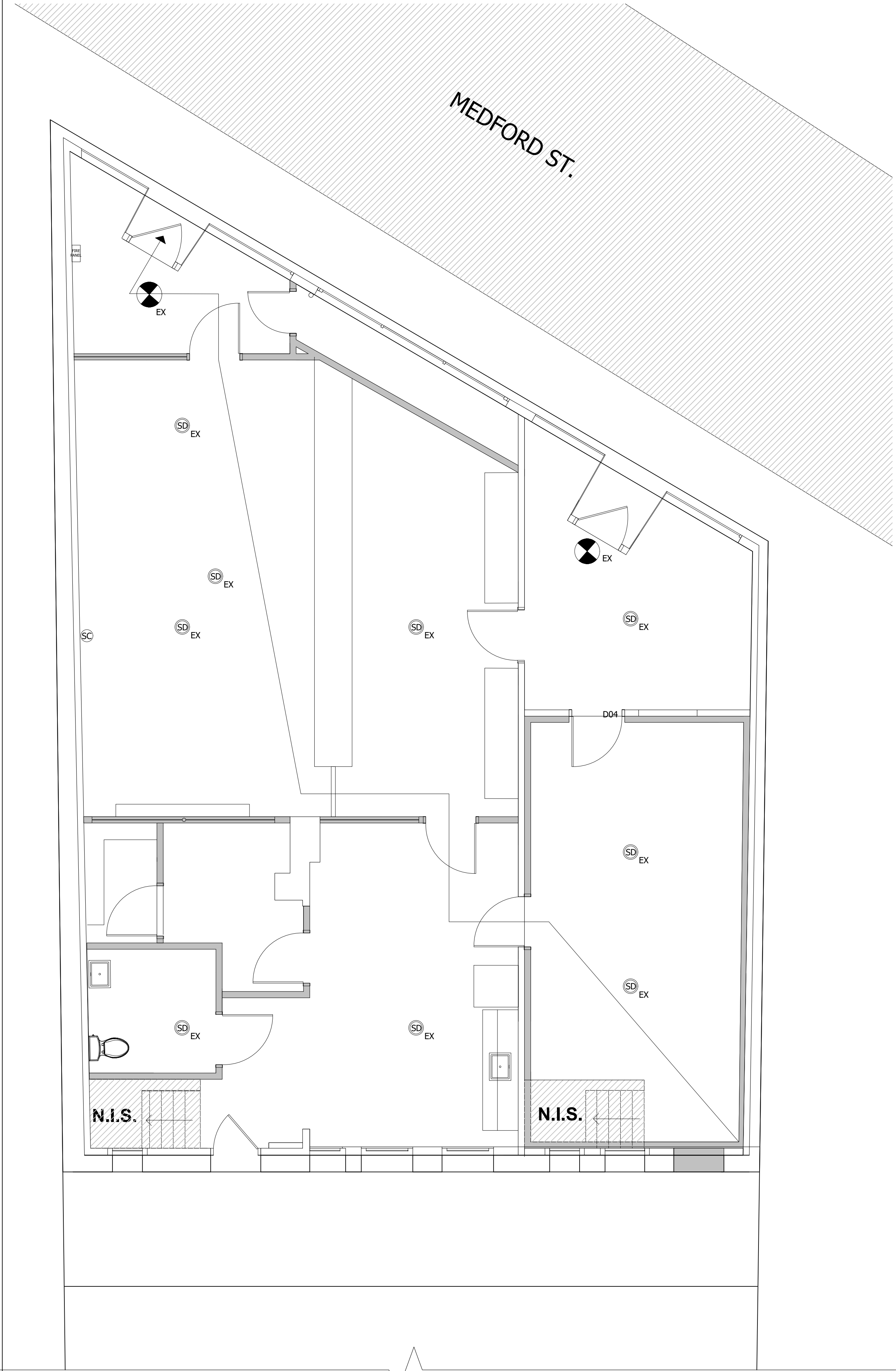
ARCHITECT:
DILULLO ASSOCIATES
16 CRYSTAL STREET
MELROSE, MA
CONTACT: DAN DILULLO

PERMIT SET
SEED DISPENSARY
500 MEDFORD STREET
SOMERVILLE, MA
PROJECT NO. 22-1078

COVER SHEET

Date: 07.07.23
 Drawn By: RK

A0.00



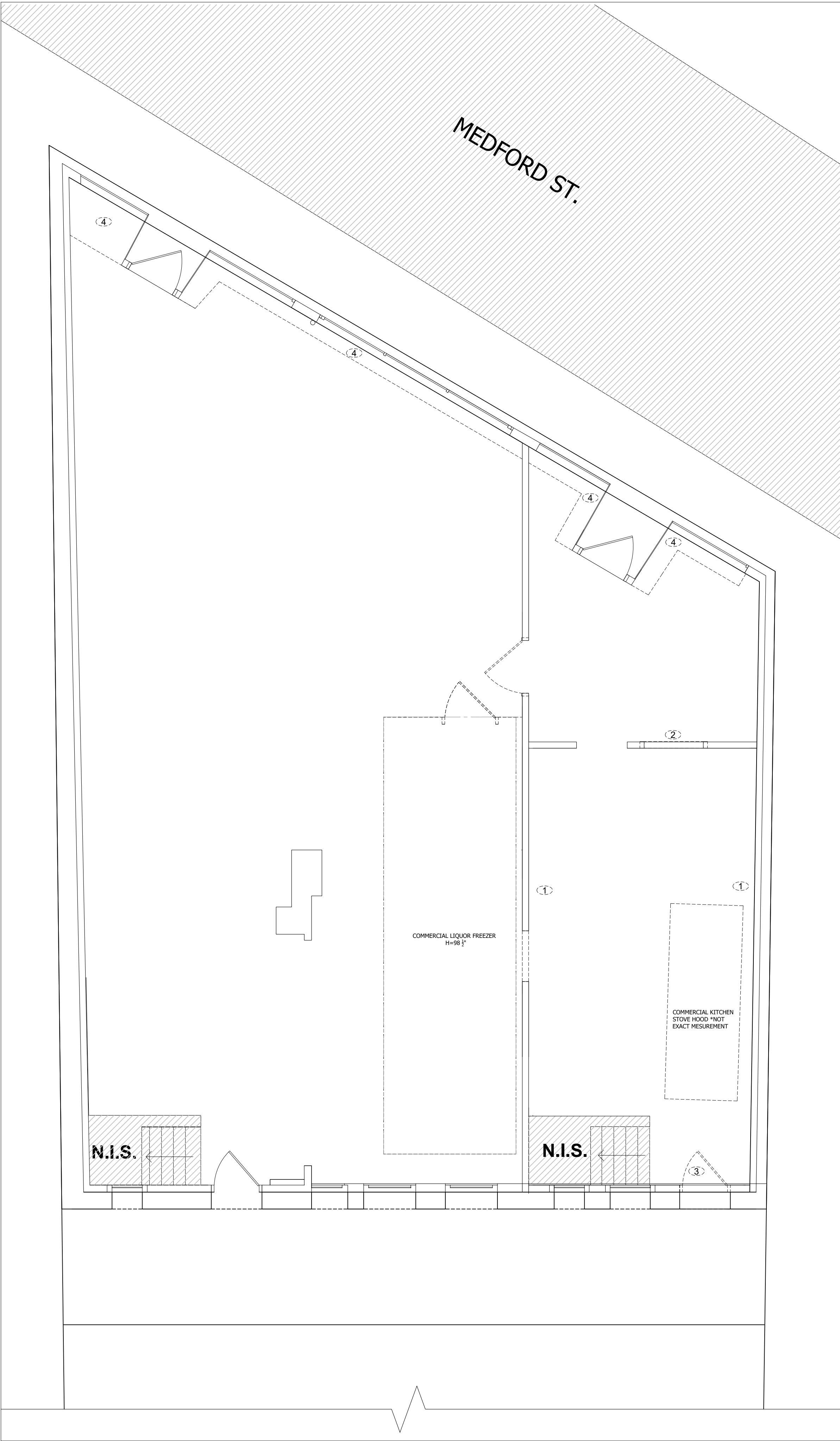
1

GROUND FLOOR LIFE SAFETY PLAN

1/4"=1'-0"

CODE SUMMARY - INTERIOR PROJECT

CODE SUMMARY - INTERIOR PROJECT														
		PROJECT: CORE EMPOWERMENT SEED DISPENSARY 500 MEDFORD STREET SOMERVILLE, MA	APPLICABLE CODES: 780 CMR: MASSACHUSETTS BUILDING CODE (9TH EDITION) (2015 INTERNATIONAL BUILDING CODE AND 2015 INTERNATIONAL EXISTING BUILDING CODE, AMENDED) 527 CMR: MASSACHUSETTS COMPREHENSIVE FIRE SAFETY CODE (2015 NFPA-1, AMENDED) 521 CMR: MASSACHUSETTS ARCHITECTURAL ACCESS BOARD REGULATIONS (2006) ADA: AMERICANS WITH DISABILITIES ACT (ADAAG 2010)	CH. 11 ACCESSIBILITY	THIS BUILDING HAS BEEN DESIGNED TO BE ACCESSIBLE IN ACCORDANCE WITH 521 CMR.									
					CH. 12 INTERIOR ENVIRONMENT	1208.2 ALLOWABLE CEILING HEIGHTS	DESIGN CEILING HEIGHT **("'-0" PERMITTED IN EXIST. BUILDING. PER IBC 801.3 EXCEPTION 4)						REQUIRED 7'-6" MINIMUM**	PROVIDED 10'-3"
CH. 3 USE GROUP CLASSIFICATION		USE GROUP: MERCANTILE GROUP M	NON-SEPERATED USE GROUPS. ENTIRE BUILDING RATED FOR LOWEST HAZARD.	248 CMR 10.10 MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES FOR MA PROJECT										
				FLOOR	OCCUPANT LOAD	CLASSIFICATION	WATER CLOSETS		MALE URINALS	LAVATORIES		DRINKING FOUNTAIN	OTHER	
							FEMALE	MALE		FEMALE	MALE			
CH. 5 GENERAL BUILDING HEIGHTS & AREAS		TOTAL AREA OF BUILDING: 1,974 SF	BUILDING HEIGHT: +/- 14'-4" TO ROOF	NUMBER OF FLOORS: ABOVE GRADE: 01 BELOW GRADE: 01	1	32	MERCHANTILE - GROUP M	1 PER 20	1 PER 33%	1 PER 40	1 PER 1,000	1 SERVICE SINK		
							REQUIRED	1	0	1	0	1 SERVICE SINK		
							PROVIDED	1	0	1	0	1 SERVICE SINK		
CH. 6 TYPES OF CONSTRUCTION		CONSTRUCTION CLASSIFICATION:	TYPE: 2(EXISTING, NON-COMBUSTIBLE)											
		SPRINKLER SYSTEM:	YES ____ NO <u>X</u> ____											
		FIRE ALARM SYSTEM:	YES <u>X</u> ____ NO ____											
CH. 10 MEANS OF EGRESS		1004.1 DESIGN OCCUPANT LOAD	FLOOR TENANT: "W" WAREHOUSE (500 SF/PERSON)	9000 GSF 2180 GSF (4 OCCUPANTS)										
			"H-5" FABRICATION & MANUFACTURING AREAS (200 SF/PERSON)	6170 GSF (30 OCCUPANTS)										
			TOTAL ALLOWABLE OCCUPANCY:	65 TOTAL OCCUPANTS										
			ACTUAL OCCUPANCY:	32 TOTAL OCCUPANTS										
			1005.3 REQUIRED EGRESS CAPACITY BASED ON OCCUPANCY LOAD:											
	FLOOR	EXIT CAPACITY FACTOR (INCHES/PERSON)	OCCUPANCY LOAD (PERSONS)	TOTAL EXIT CAPACITY (PERSONS)										
		0.3 (STAIR)*** 0.2 (DOOR)***	32 OCCUPANTS	3 SINGLE-LEAF DOOR INTO EGRESS CORRIDOR 36" DOOR/0.2 =										
	1			TOTAL = 15										



1 GROUND FLOOR DEMOLITION PLAN
1/4"=1'-0"

GENERAL DEMOLITION NOTES

1. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS INCLUDING TEMPORARY SHORING AND BRACING.
2. EXISTING SURFACES, FINISHES, EQUIPMENT, WALLS, DOORS AND OTHER FEATURES TO REMAIN SHALL BE FULLY PROTECTED DURING DEMOLITION AND DAMAGE THAT OCCURS TO THESE ITEMS SHALL BE REPAIRED.
3. COORDINATE SHUT DOWN OF ANY BUILDING SYSTEMS WITH PROPERTY MANAGER AND TENANT PRIOR TO IMPLEMENTATION.
4. FIRE ALERT SYSTEM TO REMAIN ACTIVE THROUGHOUT DEMOLITION. PROTECT EXISTING FIRE ALARM EQUIPMENT, EMERGENCY LIGHTING, AND EXIT SIGNS TO BE RETAINED OR REUSED. BAG SMOKE DETECTORS, IN CONSTRUCTION AREAS. PROTECT THE SYSTEM TO PREVENT DAMAGE CAUSED BY DEMOLITION.
5. COORDINATE DEMOLITION WITH NEW WORK. CONTRACTOR TO REVIEW CONSTRUCTION PLAN, RCP AND OTHER PLANS AS REQUIRED.
6. MAINTAIN SECURITY OF SPACES IN SCOPE DURING DEMOLITION AND CONSTRUCTION OPERATIONS.
7. MAINTAIN THE AREA OF CONSTRUCTION IN A CLEAN AND ORDERLY CONDITION WITH DAILY REMOVAL OF DEBRIS. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON SITE. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF REMOVALS.
8. THE SUB CONTRACTORS SHALL DO ALL CUTTING, PATCHING AND REPAIRING REQUIRED TO PERFORM THE WORK INDICATED ON THE DRAWINGS. ALL CUTTING AND REMOVALS SHALL BE DONE NEATLY.
9. ITEMS TO BE REMOVED AND SCHEDULED FOR REINSTALLATION SHALL BE PROTECTED, CLEAN, AND FREE OF DEFECTS. PRIOR TO REMOVAL, ANY EXISTING DAMAGE SHALL BE DOCUMENTED. IF ADDITIONAL DAMAGE OCCURS PRIOR TO REUSE, REPAIRS SHALL BE AT NO COST TO THE TENANT/OWNER.
10. REMOVE EXISTING ADHESIVE RESIDUE FROM PARTITIONS SCHEDULED TO BE PAINTED.

DEMOLITION LEGEND

	NOT IN SCOPE
	PARTITION TO REMAIN
	EXISTING DOOR TO REMAIN
	EXISTING PARTITION, CASEWORK, FIXTURES TO BE REMOVED
	EXISTING DOOR TO BE REMOVED
	ACT AND GRID TO BE REMOVED

DEMOLITION KEYNOTES

- ① REMOVE EXISTING METAL WALL PANELING
- ② DEMO EXISTING WINDOW OPENING TRIM & PREP FOR DRYWALL INFILL
- ③ DEMO EXISTING DOOR & PREP FOR EXTERIOR WALL INFILL
- ④ DEMO EXISTING DISPLAY BENCH & PREP FOR DISPLAY WINDOW CONSTRUCTION, PATCHING & REPAIRS AS REQUIRED

HOUSE
DIETRICH

EST. 2013

PIDGEON & CO.

79 MOUNTAIN AVE STE #3
MALDEN, MA 02148
781.399.4888

PERMIT SET
SEED DISPENSARY

500 MEDFORD STREET
SOMERVILLE, MA

PROJECT NO. 22-1078

GROUND FLOOR
DEMOLITION PLAN

Date: 07.07.23
Drawn By: RK

D1.01

FINISH SCHEDULE									
TAG	MATERIAL	MANUFACTURER	PATTERN/SERIES	COLOR	FINISH	SIZE	GROUT	LOCATION	NOTES
LAM-1	LAMINATE	WILSONART	HP LAMINATE	LUNA NIGHT 1854K-35	35 MIRAGE	N/A	N/A	KITCHENETTE COUNTERTOP, RETAIL COUNTERTOP	
LAM-2	LAMINATE	WILSONART	STANDARD LAMINATE	FROSTY WHITE 1573-60	MATTE	N/A	N/A	KICTHENETTE CABINETRY	SEE CABINET STYLE FOR HARDWARE SPEC.
LAM-3	LAMINATE	WILSONART	STANDARD LAMINATE	BLACK 1595-60	MATTE	N/A	N/A	RETAIL COUNTER CABINETRY, FULFILLMENT WALL MW	SEE CABINET STYLE FOR HARDWARE SPEC.
LVT-1	LUXURY VINYL TILE	IVY HILL TILE	DURREN	GRAFITO CONCRETE	N/A	18" X 36"	N/A	G/N BATHROOM, SEE DRAWINGS	ALT. #04 PROVIDE LVT THROUGHOUT GROUND FLOOR
PT-1	PAINT	BM	N/A	2014-10 FESTIVE ORANGE	SEMI-GLOSS	N/A	N/A	FILM ON ENTRY/EXIT DOORS: D01, D03	ALT. #02 NEW DOORS TO BE PT'D PT-1
PT-2	PAINT	BM	N/A	2064-70 BILLOWY DOWN	EGGSHELL	N/A	N/A	CEILINGS & WALLS, SEE DRAWINGS	
PT-3	PAINT	BM	N/A	PM-9 (HC-190) BLACK	SATIN	N/A	N/A	DETAILS, METAL FINISH, STAIR PARTS, DOOR TRIM, WINDOW TRIM, SEE DRAWINGS	
PT-4	PAINT	BM	N/A	2126-20 RACCOON FUR	SATIN	N/A	N/A	DISPENSARY WALLS, SOUTH WALL @ KITCHENETTE, EXTERIOR PAINT	ALT. #01 PAINT ACT IN DISPENSARY
PT-5	PAINT	BM	N/A	PM-1 (OC-152) SUPER WHITE	EGGSHELL	N/A	N/A	WALLS & CEILINGS, SEE DRAWINGS	
PT-6	PAINT	BM	N/A	AF-530 LUCERNE	EGGSHELL	N/A	N/A	WALLS & CEILINGS, SEE DRAWINGS	
T-1	TILE	BEDROSIA NS TILE & STONE	CLARA WALL TILE	NOIR	MATTE	2-3/4" X 11" X 3/8"	TBD	RETAIL COUNTER, SEE DRAWINGS	
T-2	TILE (EXISTING)	TBD	TBD	BLACK	TBD	11-3/4" X 11-3/4"	TBD	SEE DRAWINGS	EXISTING TILE

DOOR SCHEDULE									
TYPE	DOOR #	HEIGHT	WIDTH	TYPE COMMENTS	ROOM(S)	PAINT	HARDWARE	NOTES	
A	D01, D03	7'-0"	3'-0"	WD, EXISTING TO REMAIN	ENTRY/EXIT	BM 2014-10 FESTIVE ORANGE OR EQUAL FILM TO BE APPLIED WITH APPROPRIATE BRANDING	N/A EXISTING TO REMAIN, KEY LOCK SET/CLOSER	EXISTING TO RECEIVE BRANDING FILM, SEE ALT. #02 NEW DOOR	
B	D02, D04, D05, D06, D07, D08, D09,D12	7'-0"	3'-0"	METAL, TO BE PT'D	DISPENSARY, RECEIVING, IT, OFFICE, VAULT,KITCHENETTE, G/N BATH	TO MATCH WALL COLOR U.N.O., AS NOTED IN ELEVATIONS, ALL TRIM TO BE PT'D PT-3	MATTE BLACK HARDWARE, KEYCARD ACCESS, PASSAGE LOCK SET, PRIVACY LOCK SET		
C	D10	7'-0"	2'-8"	WD, EXISTING TO REMAIN	BACK EXIT	PT-3 HC-190 BLACK	EXISTING TO REMAIN, KEY LOCK SET	EXISTING TO BE PT'D	
D	D11	7'-0"	2'-6"	STANDARD INTERIOR WD DOOR	DISPLAY WINDOW	TO MATCH WALL COLOR U.N.O., AS NOTED IN ELEVATIONS, ALL TRIM TO BE PT'D PT-3	MATTE BLACK HARDWARE, KEY LOCK SET		

PLUMBING/EQUIPMENT SCHEDULE									
LOCATION	TYPE	NAME	MAN-ID	SIZE	QTY	MANUFACTURER	COLOR/FINISH	SUPPLIED BY	NOTES
DISPENSARY	MINI REFRIGERATOR	KOOLMORE 24 IN. W 4.6 CU FT. COMMERCIAL GLASS DOOR COUNTER HEIGHT BACK BAR COOLER REFRIGERATOR	CT24-1S-BK	24" X 21" X 36"	2	KOOLMORE	BLACK	GC	
KITCHENETTE	SINK	KOHLER KENNON 25" UNDERSMOUNT SINGLE BASIN QUARTZ COMPOSITE KITCHEN SINK WITH BASIN RACK	K-28003-1-C M1	25" X 25" X 10.64"	1	KHOLER	MATTE BLACK	GC	
	FAUCET	KRAUS OLETT0 1.75 GPM SINGLE HOLE PULL DOWN KITCHEN FAUCET	KPF-2620MB	15.75"	1	KRAUS	MATTE BLACK	GC	
	REFRIGERATOR	FRIGIDAIRE 30" 18.3 CU. FT. TOP MOUNT REFRIGERATOR	FFTR1835VB	30" X 31" X 65.88"	1	FRIGIDAIRE	BLACK	GC	
BATHROOM	SINK	RECTANGUALR WHITE CERAMIC WALL MOUNTED/DROP IN SINK	CERASTYLE 037100-U	23.6" X 19"	1	NAMEEK'S	WHITE	GC	
	TOILET	KHOLER ADAIR 1.28 GPF ONE-PIECE ELONGATED COMFORT HEIGHT TOILET	K-3946-0	28.56" X 16.31" X 28.44"	1	KHOLER	WHITE	GC	
	HAND DRYER	TBD	TBD	TBD	TBD	TBD	TBD	GC	

LIGHTING SCHEDULE									
TAG	LOCATION	TYPE	NAME	SIZE	QTY	MANUFACTURER	COLOR / FINISH	SUPPLIED BY	NOTES
L-1	VARIOUS, SEE DRAWINGS	TRACK	TBD	6'-7 1/2"	7	TBD	BLACK / MULTI	GC	TIE INTO CONTROLL AUDIO/VISUAL SYSTEM PANEL, SPEC PROVIDED BY RITTEN HOUSE ELECTRIC
L-2	ENTRY, DISPLAY WINDOW	TRACK	TBD	3'	1	TBD	BLACK/MULTI	GC	TIE INTO CONTROLL AUDIO/VISUAL SYSTEM PANEL, SPEC PROVIDED BY RITTEN HOUSE ELECTRIC
L-3	VARIOUS, SEE DRAWINGS	LINEAR PENDANT	LED DIRECT/INDIRECT SUSPENDED LINEAR FIXTURE, 60 WATT, 120-277V, CCT SELECTABLE	4'	8	WARELIGHT	BLACK	GC	9' 4" TO BOTTOM OF SUSPENDED FIXTURE
L-4	G/N BATHROOM	LINEAR WALL SCONCE	VEGA LED WALL	24"	2	KUZCO LIGHTING	BLACK	GC	REFER TO ELEVATION FOR MOUTNING HEIGHT
L-5	G/N BATHROOM	SURFACE MOUNT	HEXOL LED FLUSHMOUNT	16" X 14"	1	MATTEO LIGHTING	BLACK	GC	

DOOR TYPES

TYPE A
EXISTING TO REMAIN
3'-0" DOOR
FULL GLASS LITE
LOCK SET AS NOTED BELOW
CLOSER AS NOTED BELOW
HARDWARE - MATTE BLACK
SEE PLAN FOR HAND
FILM TO BE APPLIED AS SCH'D

TYPE A LOCATIONS:
D01 - KEY LOCK SET/CLOSER
D03 - KEY LOCK SET/ CLOSER

TYPE B
3'-0" DOOR
FLUSH PROFILE
METAL INTERIOR, TO RECEIVE PT
HM FRAME PT-3
LOCK SET AS NOTED BELOW
HARDWARE TO BE MATTE BLACK
SEE PLAN FOR HAND

TYPE B LOCATIONS:
D02 - KEYCARD ACCESS LOCK SET
D04 - KEYCARD ACCESS LOCK SET
D05 - PASSAGE LOCK SET
D06 - KEYCARD ACCESS LOCK SET
D07 - KEYCARD ACCESS LOCK SET
D08 - KEYCARD ACCESS LOCK SET
D09 - PRIVACY LOCK SET
D12 - KEYCARD ACCESS LOCK SET

TYPE C
EXISTING TO REMAIN
2'-8" DOOR
PARTIAL GLASS LITE
PAINT GRADE WOOD PT-3
HMKD FRAME PT-3
LOCK SET AS NOTED BELOW
HARDWARE TO BE MATTE BLACK
SEE PLAN FOR HAND

TYPE A LOCATIONS:
D10 - KEY LOCK SET

TYPE D
2'-6" DOOR
FLUSH PROFILE
PAINT GRADE WOOD
HMKD FRAME PT-3
LOCK SET AS NOTED BELOW
HARDWARE TO BE MATTE BLACK
SEE PLAN FOR HAND

TYPE C LOCATION:
D11 - KEY LOCK SET

CABINET STYLES

CABINET STYLE:
SLAB, FULL OVERLAY
LAM-2

HARDWARE:
LOCATION: KITCHENETTE
RICHELIEU
CONTEMPORARY EXPRESSION III
ARMADALE HANDLE
MATTE BLACK
6 3/8"

CABINET STYLE:
SLAB, FULL OVERLAY
LAM-3 OR SIMILAR

HARDWARE:
LOCATION: FULFILLMENT WALL
RICHELIEU
CONTEMPORARY EXPRESSION III
ARMADALE HANDLE
CHROME
6 3/8"

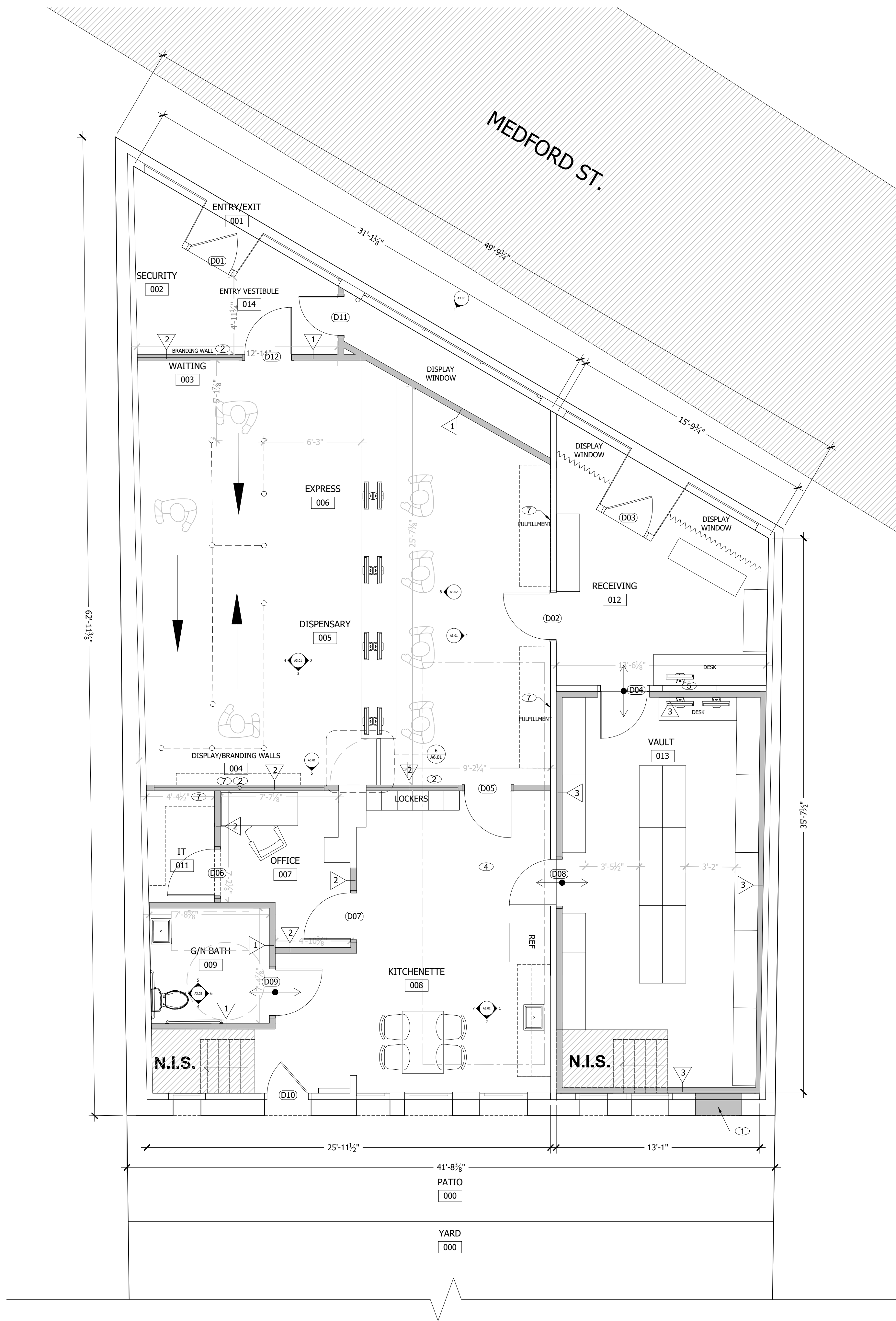
PARTITION TYPES

1 FULL HEIGHT PARTITION
3-5/8" MTL STUD
1 LAYER 5/8" GWB BOTH SIDES TO DECK, LEVEL 4 FINISH

2 FULL HEIGHT PARTITION
3-5/8" MTL STUD
1 LAYER 5/8" GWB BOTH SIDES, LEVEL 4 FINISH
3'-0" CHAIN LINK FENCE, 2-1/2" DIA. INTERMEDIATE POSTS, 2" MESH GALVANIZED CHAIN LINK

SEE A6.01 DETAILS 4 & 5

3 FULL HEIGHT SECURITY PARTITION
SPEC. TBD



GROUND FLOOR CONSTRUCTION PLAN

1/4"=1'-0"

GENERAL POWER NOTES

1. OUTLETS TO BE MOUNTED AT 18" AFF, U.O.N. ALL EXISTING OUTLETS AND TEL/DATA CONNECTIONS ON EXISTING WALLS TO REMAIN.
2. SWITCHES TO BE LOCATED 42" AFF, U.O.N. SEE ELECTRICAL PLANS FOR SWITCH LOCATION.
3. ELECTRICAL DEVICE RECEPTACLES AND FACE PLATES TO BE WHITE.
4. ELECTRICAL DEVICES SHOWN FOR LOCATION ONLY.
5. CENTER OUTLETS ON WALL SIDE TO SIDE, U.O.N.
6. WHERE DEVICES ARE MOUNTED IN SAME VICINITY ON OPPOSITE SIDES OF A PARTITION, STAGGER MOUNTING LOCATIONS SO THEY DO NOT SHARE THE SAME STUD CAVITY.
7. MULTIPLE SWITCH OR OUTLET DEVICES IN ONE LOCATION SHALL BE INSTALLED IN A COMMON MULTI-GANG BOX WITH A COMMON FACEPLATE WHERE POSSIBLE. MOUNT MULTIPLE CONTROLS AS CLOSE TOGETHER AS POSSIBLE AND IN-LINE WITH EACH OTHER.
8. OUTLETS TO BE LOCATED AS INDICATED ON PLANS AND ACCORDING TO CODE.
9. UPDATE LABELS AT ELECTRICAL PANELS.

POWER LEGEND

- | | |
|--|------------------------------|
| | NOT IN SCOPE |
| | DUPLEX OUTLET |
| | QUADRAPLEX OUTLET |
| | COMMUNICATION |
| | FURNITURE POWER WHIP |
| | FURNITURE COMMUNICATION WHIP |

POWER KEYNOTES

1. COORDINATE LOCATIONS OF NEW POWER/DATA CONNECTIONS FOR SERVERS WITH OWNER.
2. COORDINATE EXACT LOCATION AND CONNECTION OF FURNITURE WHIP INFEEDS WITH FURNITURE VENDOR.

GENERAL CONSTRUCTION NOTES

1. ALL DIMENSIONS SHOWN ARE CLEAR DIMENSIONS FROM FINISHED FACE TO FINISHED FACE UNLESS NOTED OTHERWISE. NOTIFY PIDGEON AND CO WITHIN 24 HOURS OF ANY DISCOVERY OF VARIANCE OF MORE THAN 1" FROM THE DIMENSIONS SHOWN ON THE CONSTRUCTION PLAN. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS GOVERN.
2. DIMENSIONS NOTED "CLEAR," "CLR," OR "HOLD" MUST BE ACCURATELY MAINTAINED AND SHALL NOT VARY MORE THAN +/- 1/8" WITHOUT WRITTEN INSTRUCTION FROM ARCHITECT.
3. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE AND IN PROPER ALIGNMENT.
4. ALL EXISTING AND NEW FLOOR SLAB PENETRATIONS FOR PIPING SHALL BE FULLY PACKED AND SEALED IN ACCORDANCE WITH THE APPLICABLE BUILDING AND FIRE CODES.
5. "ALIGN" MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE.
6. ALL MILLWORK TO BE FASTENED TO THE PARTITION OR FLOOR. PROVIDE CONCEALED BLOCKING FOR ALL MILLWORK NOT SUPPORTED BY SLABS OR TO BE MOUNTED ABOVE 4'-0" HT. ALL CONCEALED LUMBER AND BLOCKING TO BE FIRE TREATED.
7. EXISTING HARDWARE TO REMAIN TO BE CLEANED AND REPAIRED AS REQUIRED.
8. WORK SHALL BE MANAGED TO ENSURE SAFETY AND PROVIDE FOR EGRESS PATHS FOR ALL OCCUPANTS IN THE BUILDING DURING CONSTRUCTION.
9. SEAL ALL PENETRATIONS THROUGH ANY SURFACE, NEW OR EXISTING.
10. BRACE NEW PARTITIONS TO STRUCTURE AS REQUIRED.
11. PATCH/REPAIR EXISTING PARTITIONS WHERE ITEMS AND DEVICES HAVE BEEN REMOVED.
12. REPAIR DAMAGE TO ANY EXISTING FINISHES THAT OCCURS DURING CONSTRUCTION.

CONSTRUCTION LEGEND

- | | |
|--|-------------------------|
| | NOT IN SCOPE |
| | PARTITION TO REMAIN |
| | EXISTING DOOR TO REMAIN |
| | NEW PARTITION |
| | NEW DOOR |

CONSTRUCTION KEYNOTES

1. INFILL EXISTING DOOR LOCATION TO MATCH EXTERIOR WALL
2. PROVIDE & INSTALL 3' CHAIN LINK FENCING FROM TOP OF NEW WALLS TO BRIDGE GAP TO CEILING
3. REPLACE EXISTING CEILING TILES THROUGHOUT
4. MAINTAIN EXISTING FLOORS THROUGHOUT, INFILL NOTED AREAS TO MATCH EXISTING T-2
5. INFILL WALL OPENING TO MATCH EXISTING WALL TYPE
6. APPLY FILM TO EXTERIOR FACING WINDOWS AS INDICATED, SEE A8.01 FINISH PLAN
7. PROVIDE BLOCKING IF REQ'D. FOR MONITOR & SHELF MOUNTING

ALTERNATES

- | | |
|----------|---|
| ALT. #02 | PROVIDE NEW DOOR @ ENTRY/EXIT LOCATIONS: D01, D03 |
| ALT. #03 | PROVIDE LED STRIP LIGHTING @ TOEKICK UNDER RETAIL COUNTER |
| ALT. #04 | PROVIDE LVT-1 FLOORING THROUGHOUT GROUND FLOOR |
| ALT. #05 | ELIMINATE DISPLAY WINDOWS @ RECIEVING & APPLY BLACK OUT FILM TO GLAZING |
| ALT. #06 | PROVIDE PARTITION TYPE 1 DISPLAY WINDOW @ RECIEVING |

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PADGEON & CO.

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781.399.4888

PERMIT SET
SEED DISPENSARY

500 MEDFORD STREET
SOMERVILLE, MA

PROJECT NO. 22-1078

GROUND FLOOR
CONSTRUCTION
PLAN

Date: 07.07.23
Drawn By: RK

A1.01

GENERAL DEMO RCP NOTES

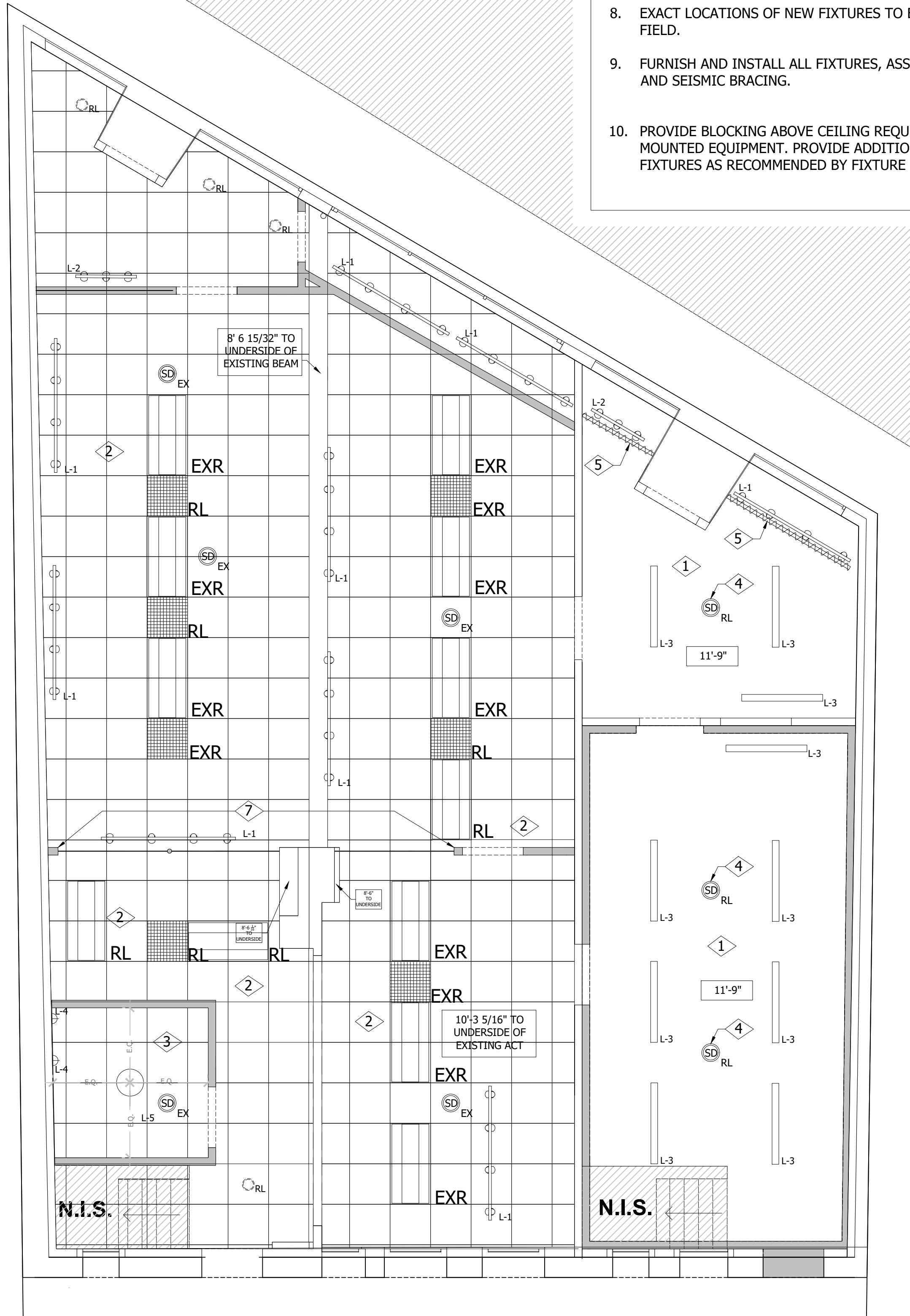
1. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS INCLUDING TEMPORARY SHORING AND BRACING.
2. EXISTING SURFACES, FINISHES, EQUIPMENT, LIGHTING AND OTHER FEATURES TO REMAIN SHALL BE FULLY PROTECTED DURING DEMOLITION AND DAMAGE THAT OCCURS TO THESE ITEMS SHALL BE REPAIRED.
3. COORDINATE SHUT DOWN OF ANY BUILDING SYSTEMS WITH PROPERTY MANAGER AND TENANT PRIOR TO IMPLEMENTATION.
4. COORDINATE DEMOLITION WITH NEW WORK. REVIEW CONSTRUCTION PLAN, RCP AND OTHER PLANS AS REQUIRED.
5. MAINTAIN SECURITY OF SPACES IN SCOPE DURING DEMOLITION AND CONSTRUCTION OPERATIONS.
6. MAINTAIN THE AREA OF CONSTRUCTION IN A CLEAN AND ORDERLY CONDITION WITH DAILY REMOVAL OF DEBRIS. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON SITE. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF REMOVALS.
7. THE SUB-CONTRACTORS SHALL DO ALL CUTTING, PATCHING AND REPAIRING REQUIRED TO PERFORM THE WORK INDICATED ON THE DRAWINGS. ALL CUTTING AND REMOVALS SHALL BE DONE NEATLY.
8. ITEMS TO BE REMOVED AND SCHEDULED FOR REINSTALLATION SHALL BE PROTECTED, CLEAN, AND FREE OF DEFECTS. PRIOR TO REMOVAL, ANY EXISTING DAMAGE SHALL BE DOCUMENTED. IF ADDITIONAL DAMAGE OCCURS PRIOR TO REUSE, REPAIRS SHALL BE AT NO COST TO THE TENANT/OWNER.



1 GROUND FLOOR DEMOLITION REFLECTED CEILING PLAN
1/4"=1'-0"

GENERAL CEILING NOTES

1. THE REFLECTED CEILING PLAN INDICATES THE LOCATION OF CEILING HEIGHTS, LIGHT FIXTURES, AND ASSOCIATED ITEMS. SWITCHES TO BE REPLACED IN SAME LOCATION AS APPLICABLE. NEW ITEM LOCATIONS TO BE COORDINATED IN FIELD.
2. ALL HARD CEILINGS TO BE PAINTED U.O.N.
3. VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL MEP/FP AND STRUCTURAL ELEMENTS. COORDINATE THE WORK OF ALL TRADES NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED.
4. ALL FIXTURES AND DEVICES TO BE UNDERWRITERS LABORATORIES INC. (UL) LABELED.
5. EXISTING CEILINGS TO REMAIN , U.O.N.
6. PROVIDE RELOCATED AND/OR NEW EMERGENCY LIGHTING AS REQUIRED BY CODE.
7. REWIRE LIGHTING FIXTURES PER NEW LAYOUT.
8. EXACT LOCATIONS OF NEW FIXTURES TO BE COORDINATED IN FIELD.
9. FURNISH AND INSTALL ALL FIXTURES, ASSOCIATED TRIM, LAMPS, AND SEISMIC BRACING.
10. PROVIDE BLOCKING ABOVE CEILING REQUIRED FOR ALL CEILING MOUNTED EQUIPMENT. PROVIDE ADDITIONAL SUPPORT FOR LIGHT FIXTURES AS RECOMMENDED BY FIXTURE MANUFACTURER.



2 GROUND FLOOR REFLECTED CEILING PLAN
1/4"=1'-0"

RCP DEMOLITION LEGEND

- NOT IN SCOPE
- ACT AND GRID TO BE REMOVED
- ACT AND GRID TO REMAIN

CEILING LEGEND

- NOT IN SCOPE
- CEILING HEIGHT
- ACT AND GRID
- RECESSED LED LIGHT FIXTURE
- PENDANT LED LIGHT FIXTURE
- SMOKE DETECTOR
- LINEAR LED LIGHT FIXTURE
- LINEAR LED TRACK LIGHT FIXTURE
- LINEAR CEILING MOUNTED CURTAIN TRACK
- DECORATIVE CEILING FIXTURE
- DEMO & SALVAGE FOR REUSE
- RELOCATE EXISTING FIXTURE
- EXISTING FIXTURE TO REMAIN

DEMOLITION RCP KEYNOTES

- 1 PATCH ALL WALLS, EXISTING WALLS/SOFFITS, & CEILING AS REQUIRED BY DEMO

RCP KEYNOTES

- 1 HARD CEILING, SPEC TBD
- 2 PROVIDE & INSTALL 50% MIN. NEW ACT & GRID THROUGHOUT TO ACCOMMODATE NEW WORK (SPEC. TBD)
- 3 PROVIDE & INSTALL NEW ACT & GRID IN G/N BATH (SPEC. TBD)
- 4 RELOCATE EXISTING SMOKE DETECTORS IN SAME/CLOSE TO LOCATION ON NEW CEILING
- 5 PROVIDE & INSTALL CEILING CURTAIN TRACK & CURTAINS; CURTAIN ROD CONNECTION 94004 HAND DRAW CEILING MOUNT SET, BLACK, SWIVEL SLIDE WITH ATTACHED HOOK, 48" & 84" TRACKS, CURTAIN ROD CONNECTION BLACKOUT GROMMET PANEL, BLACK, BLACK GROMMETS, 82" & 100" FLAT WIDTH PANELS
- 6 TRACK & DECORATIVE LIGHTING TO BE ON A CONTROL SWITCH / PANEL, TRACKS TO BE MOUNTED ~30" FROM WALLS FOR DISPLAY, MOUNTING LOCATIONS TO BE COORDINATED W/ VENDOR
- 7 SECURE FENCING FROM TOP OF PARTITION TO TOP OF DECK & HORIZONTALLY TO EITHER WALL OR FENCE POST

ALTERNATES

- ALT. #01 PAINT ALL EXISTING & NEW ACT IN DISPENSARY PT-4 2126-20 RACCOON FUR
- ALT. #07 PROVIDE & INSTALL NEW ACT & GRID (SPEC. TBD) IN RECIEVING TO MATCH CEILING HEIGHT @ EXISTING ACT & GRID IN DISPENSARY

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PERMIT SET
SEED DISPENSARY

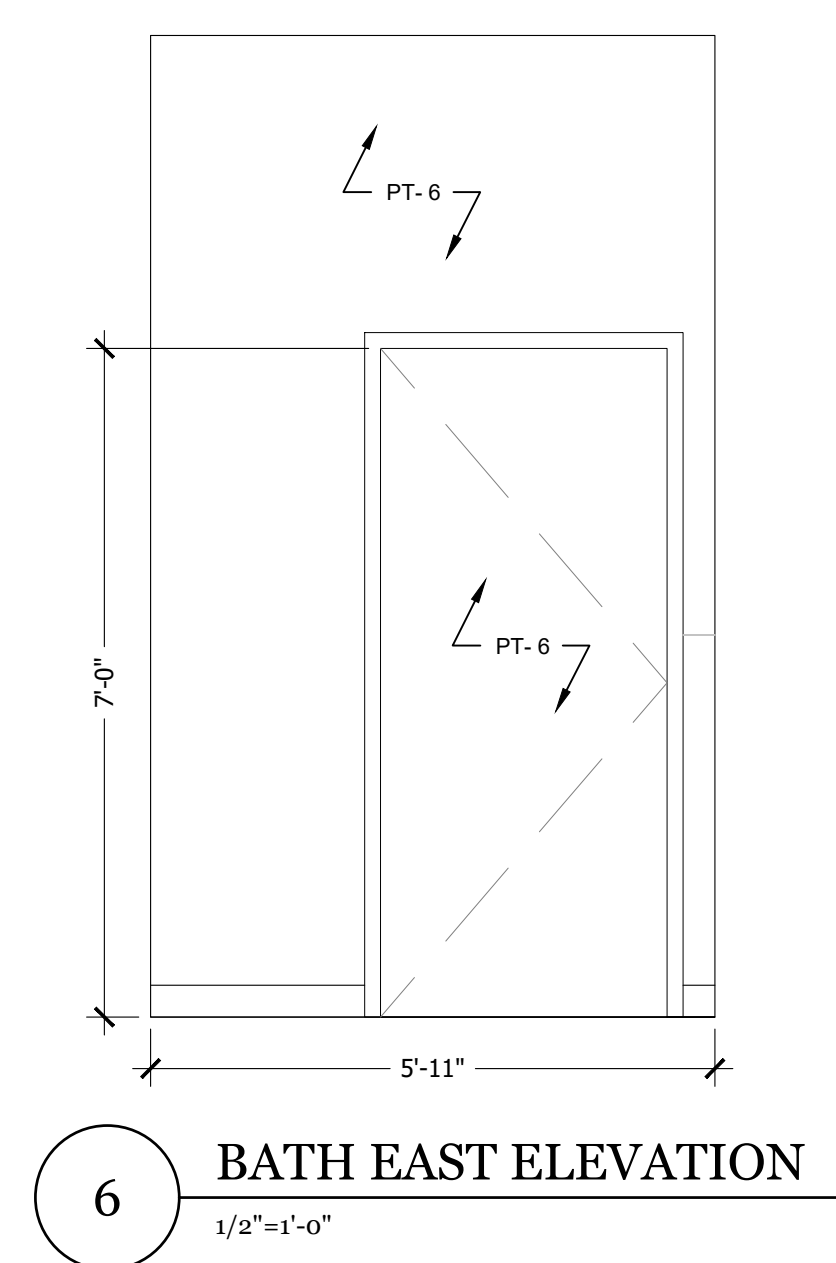
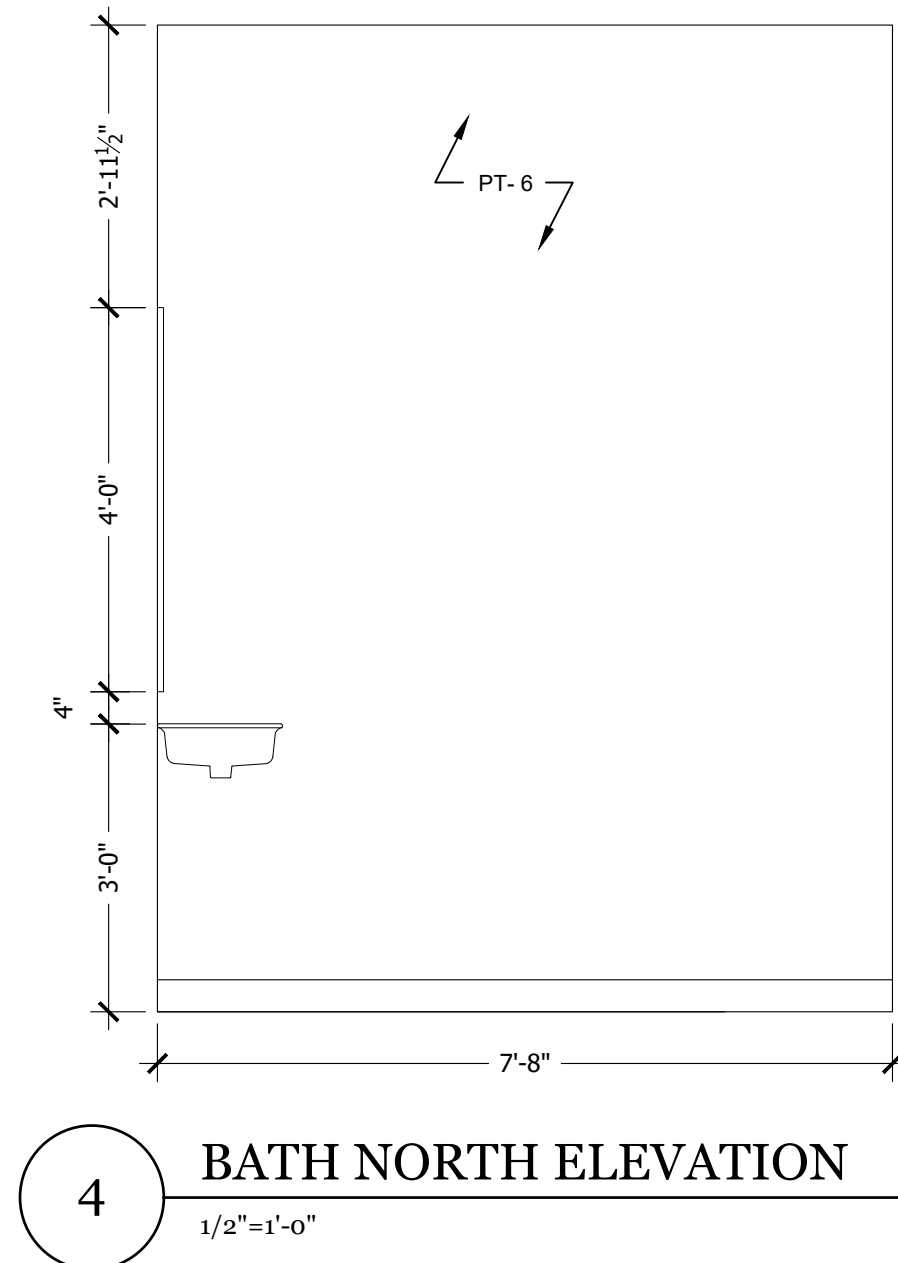
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SOMERVILLE, MA

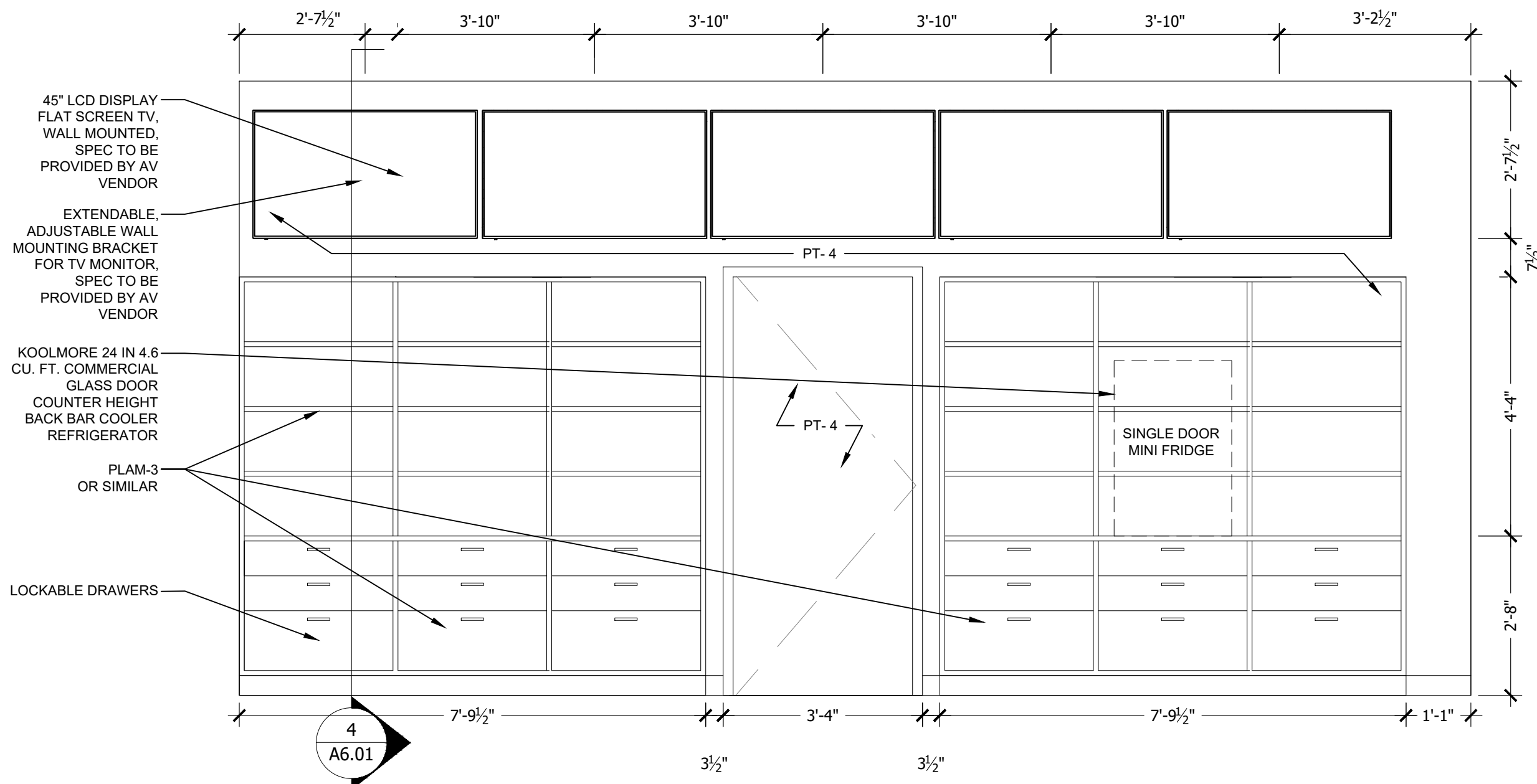
PROJECT NO. 22-1078

GROUND FLOOR
DEMO RCP &
CONSTRUCT. RCP

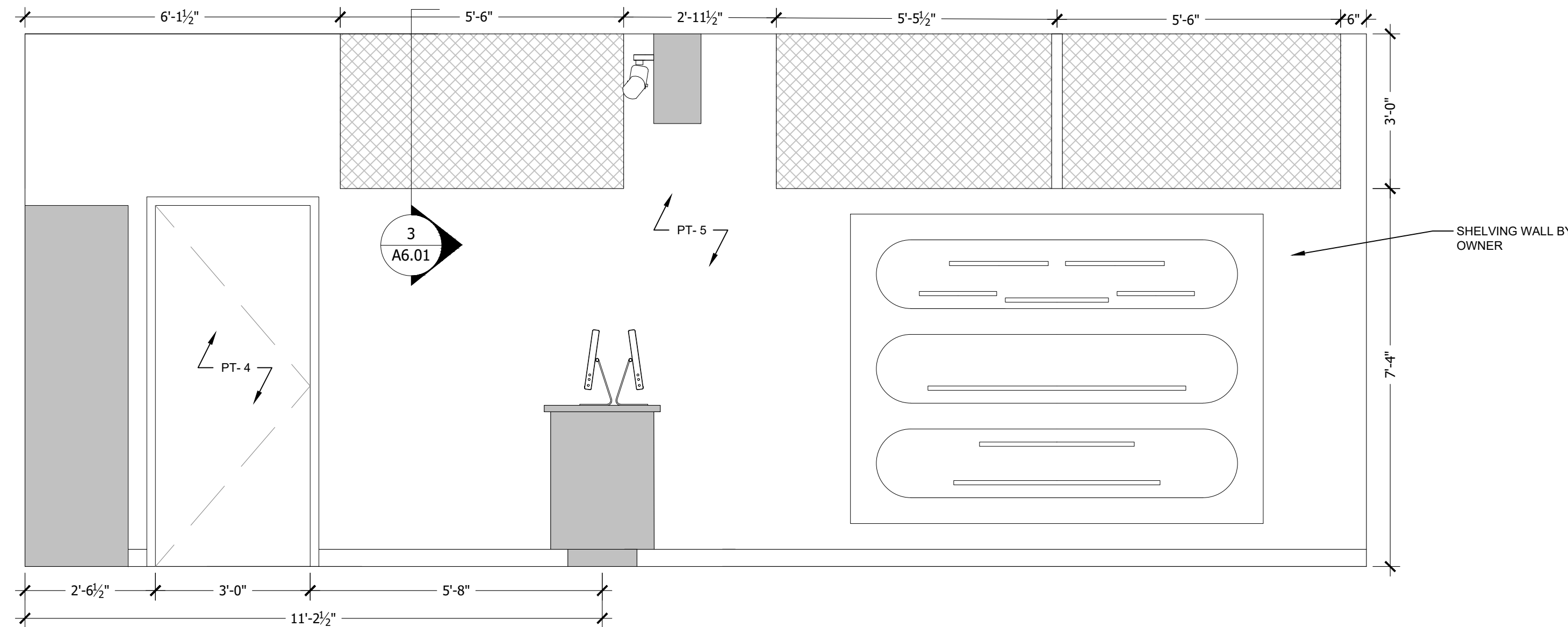
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Drawn By: RK

A2.01

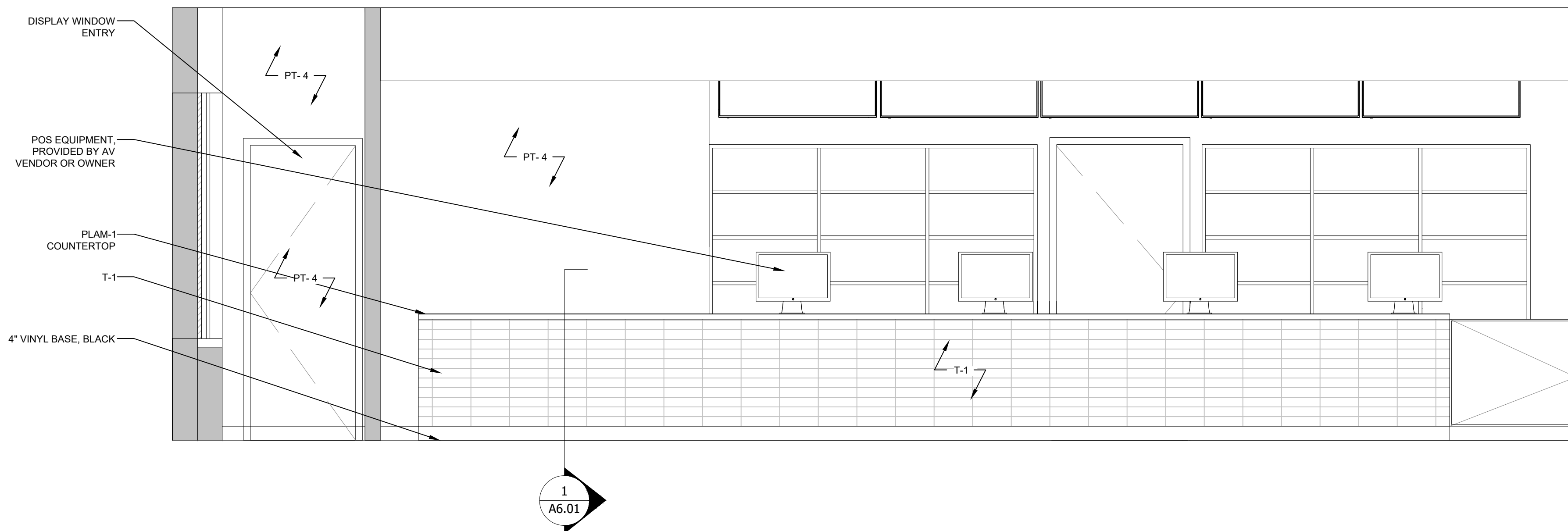




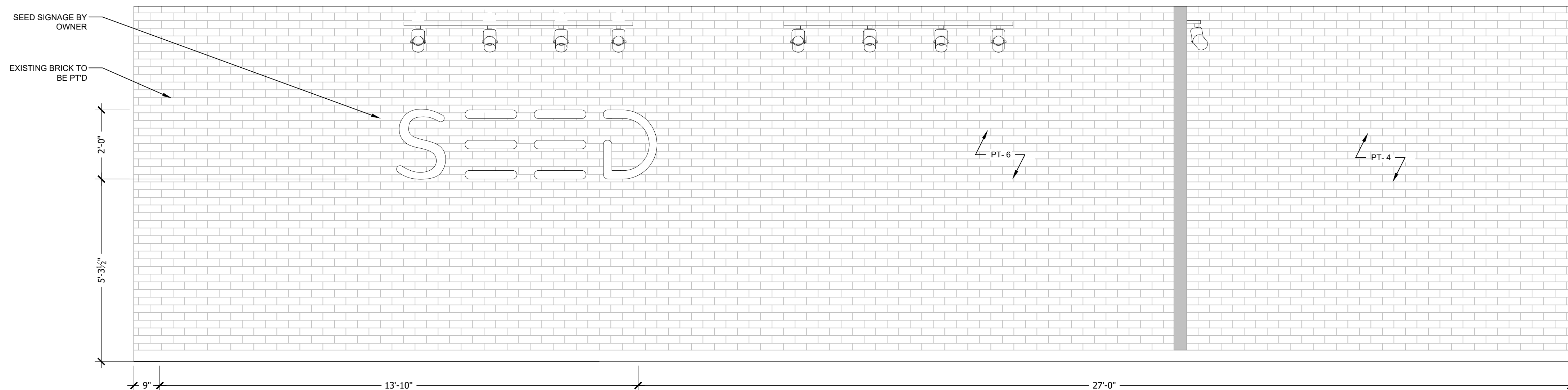
1 FULFILLMENT WALL ELEVATION
1/2"=1'-0"



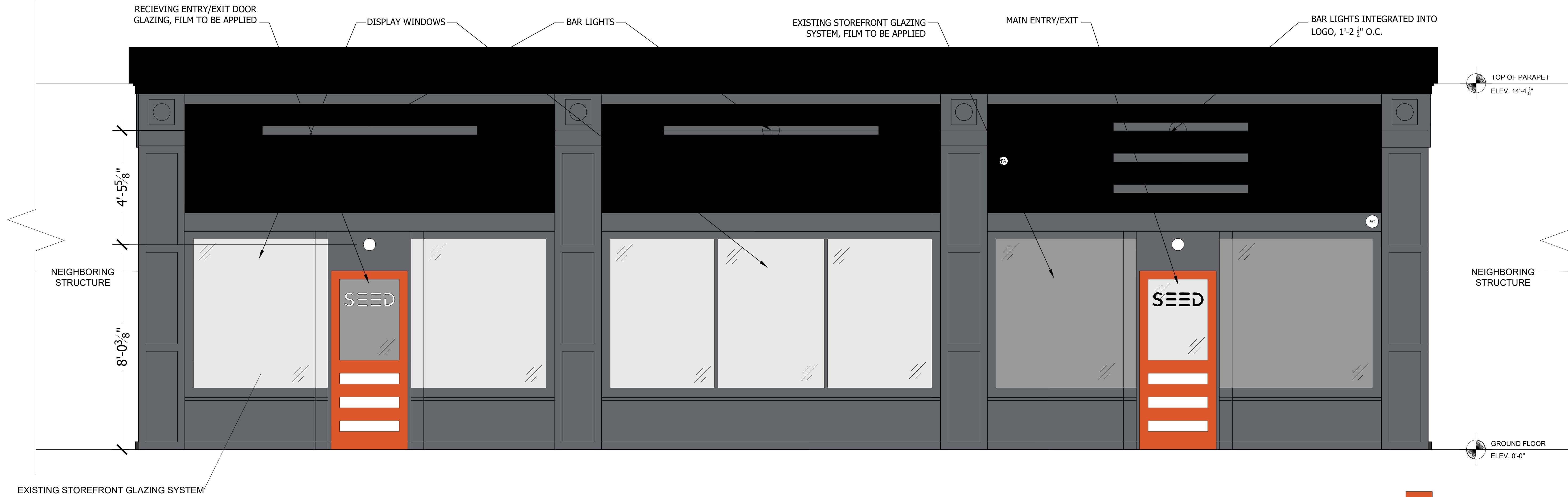
2 BRANDING WALL SECTIONAL ELEVATION
1/2"=1'-0"



3 RETAIL COUNTER EAST SECTIONAL ELEVATION
1/2"=1'-0"



4 DISPENSARY WEST WALL ELEVATION
1/2"=1'-0"



- BM FESTIVE ORANGE
- BM PM-9 BLACK
- BM RACCOON FUR
- BM AF-530 LUCERNE
- BM 2064-70 BILLOWY DOWN
- BM SUPER WHITE

1 EXTERIOR SOUTH ELEVATION
1/2"=1'-0"

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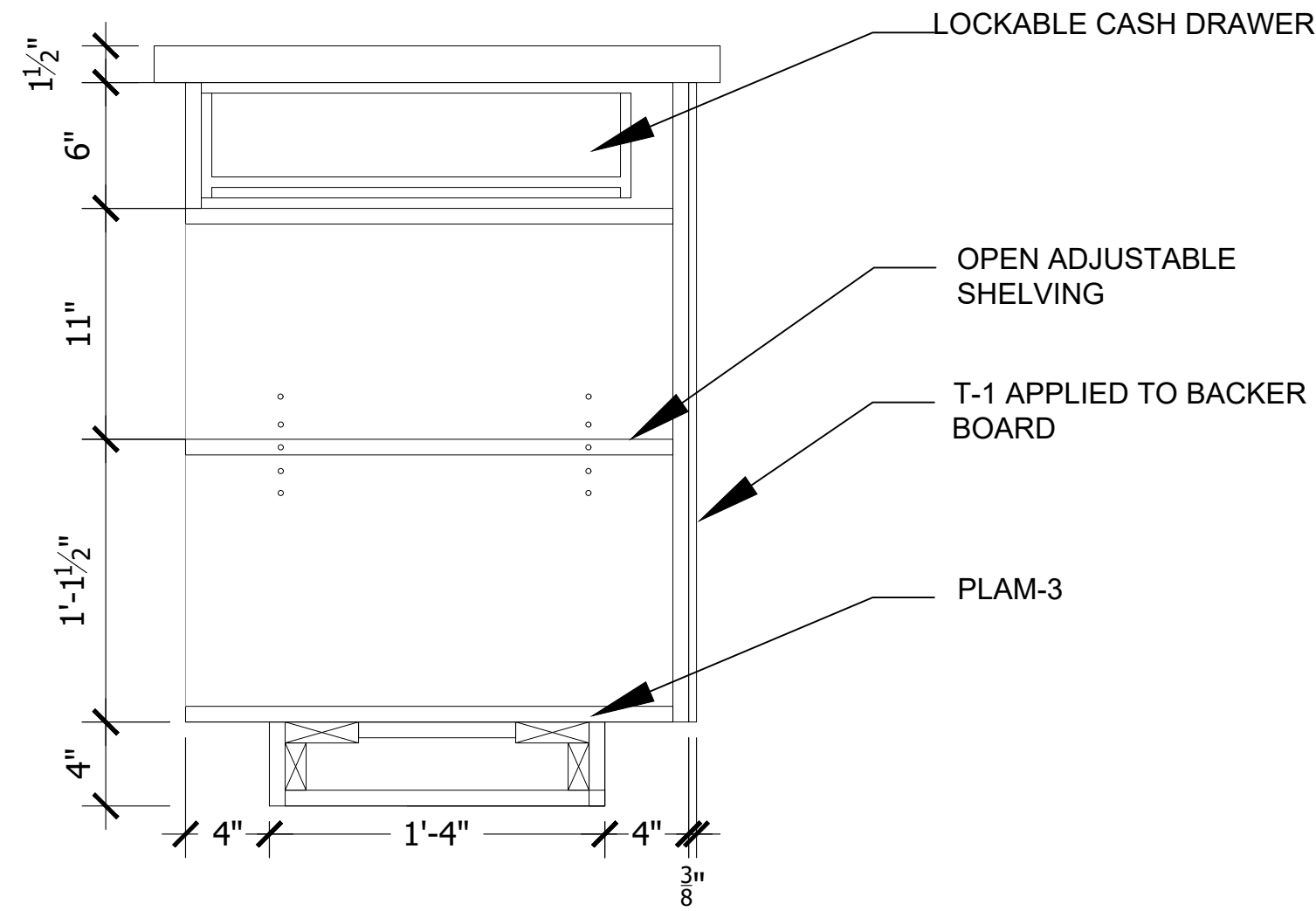
SEED DISPENSARY

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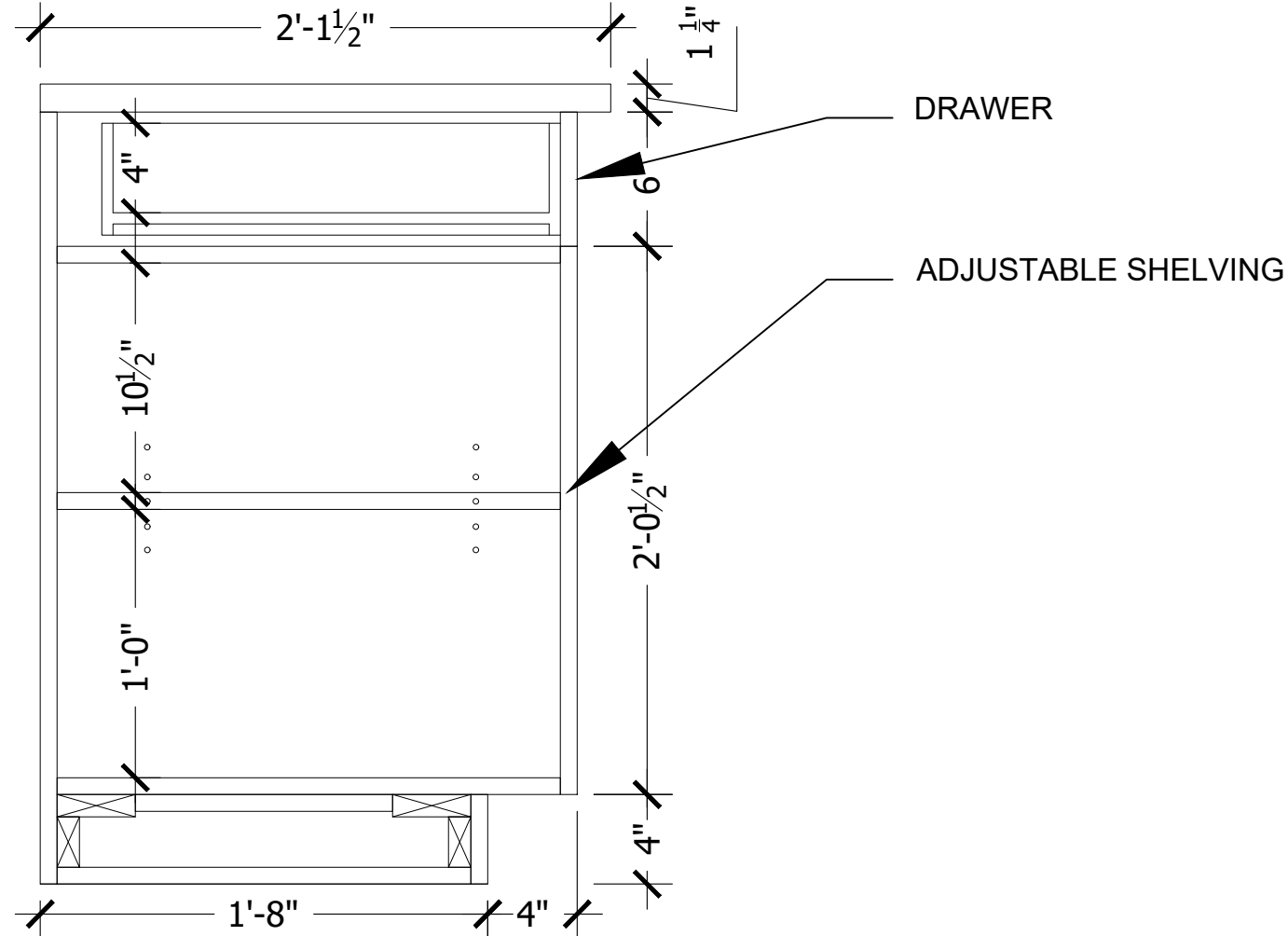
ELEVATIONS:
EXTERIOR

Date: 07.07.23
Drawn By: RK

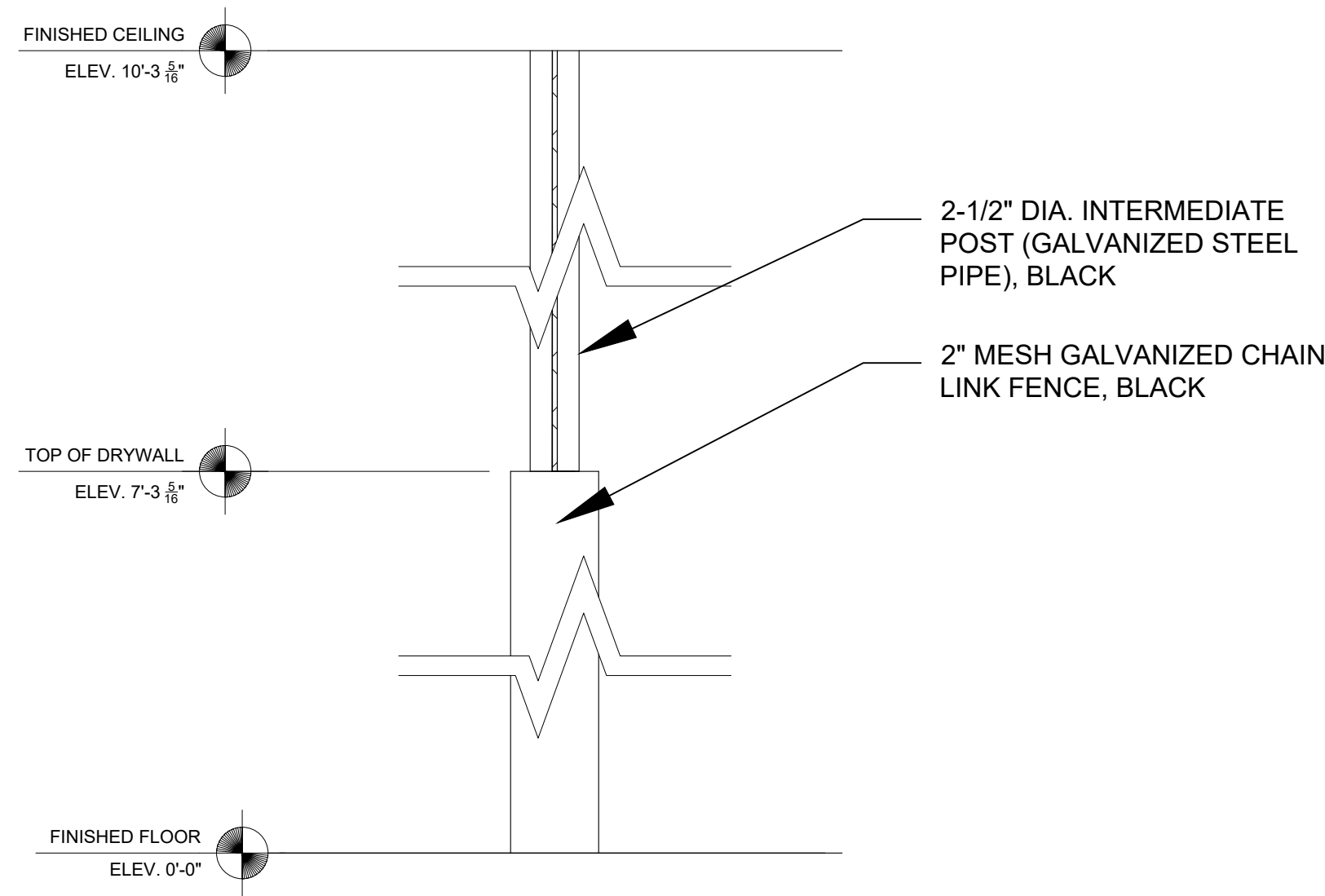
A3.03



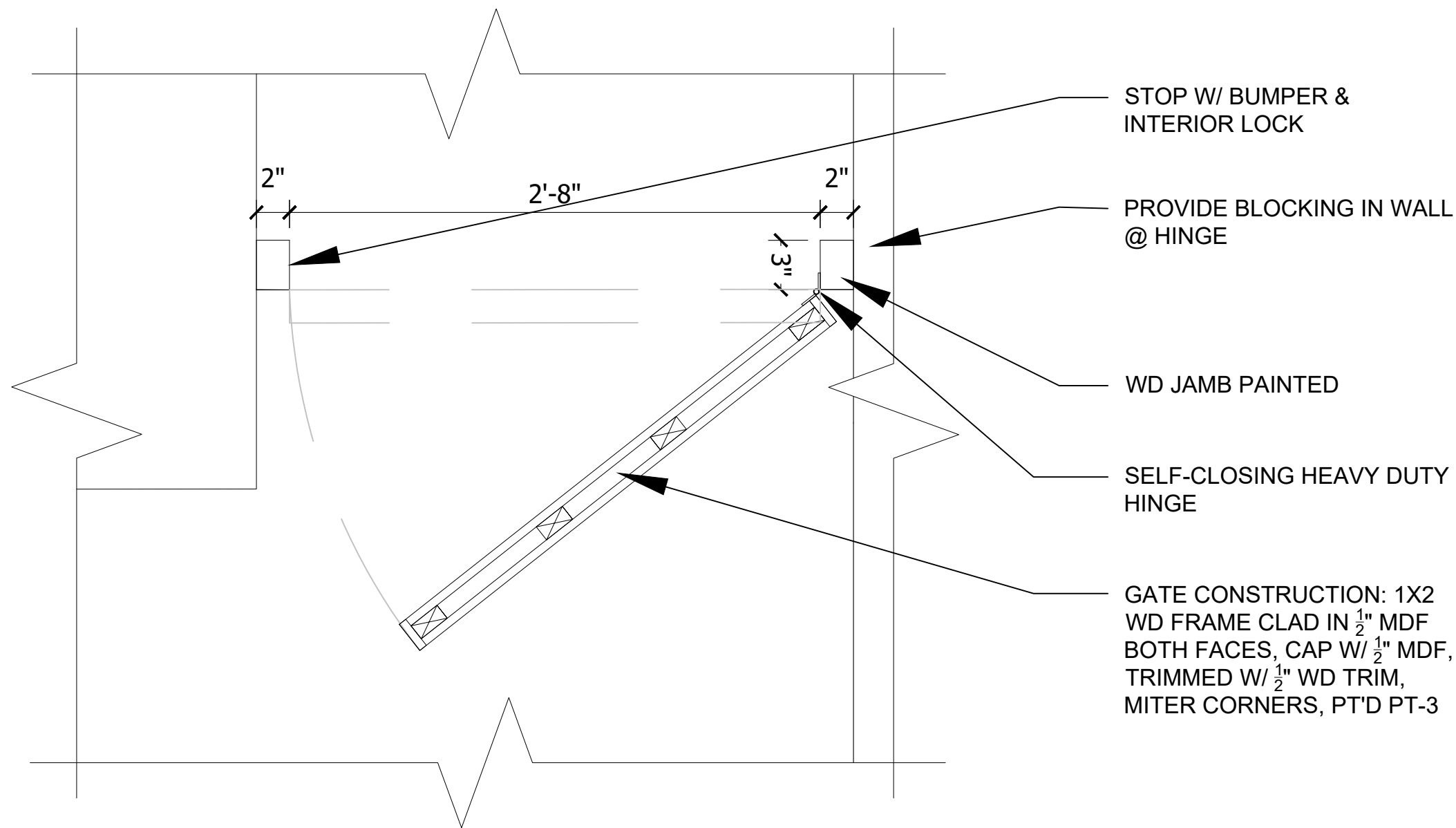
1 RETAIL COUNTER SECTION DETAIL
1-1/2"=1'-0"



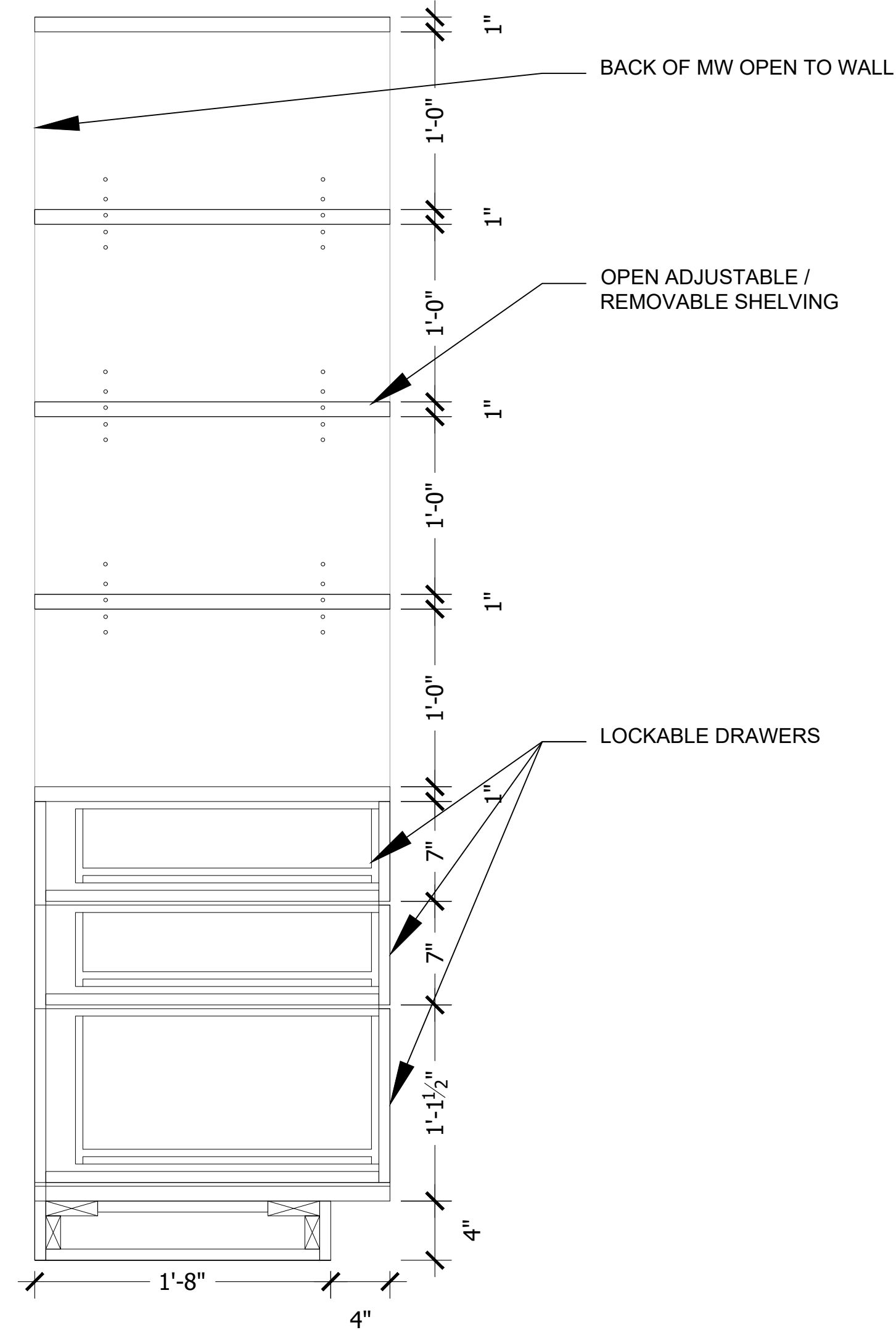
2 KITCHENETTE CABINETRY SECTION DETAIL
1-1/2"=1'-0"



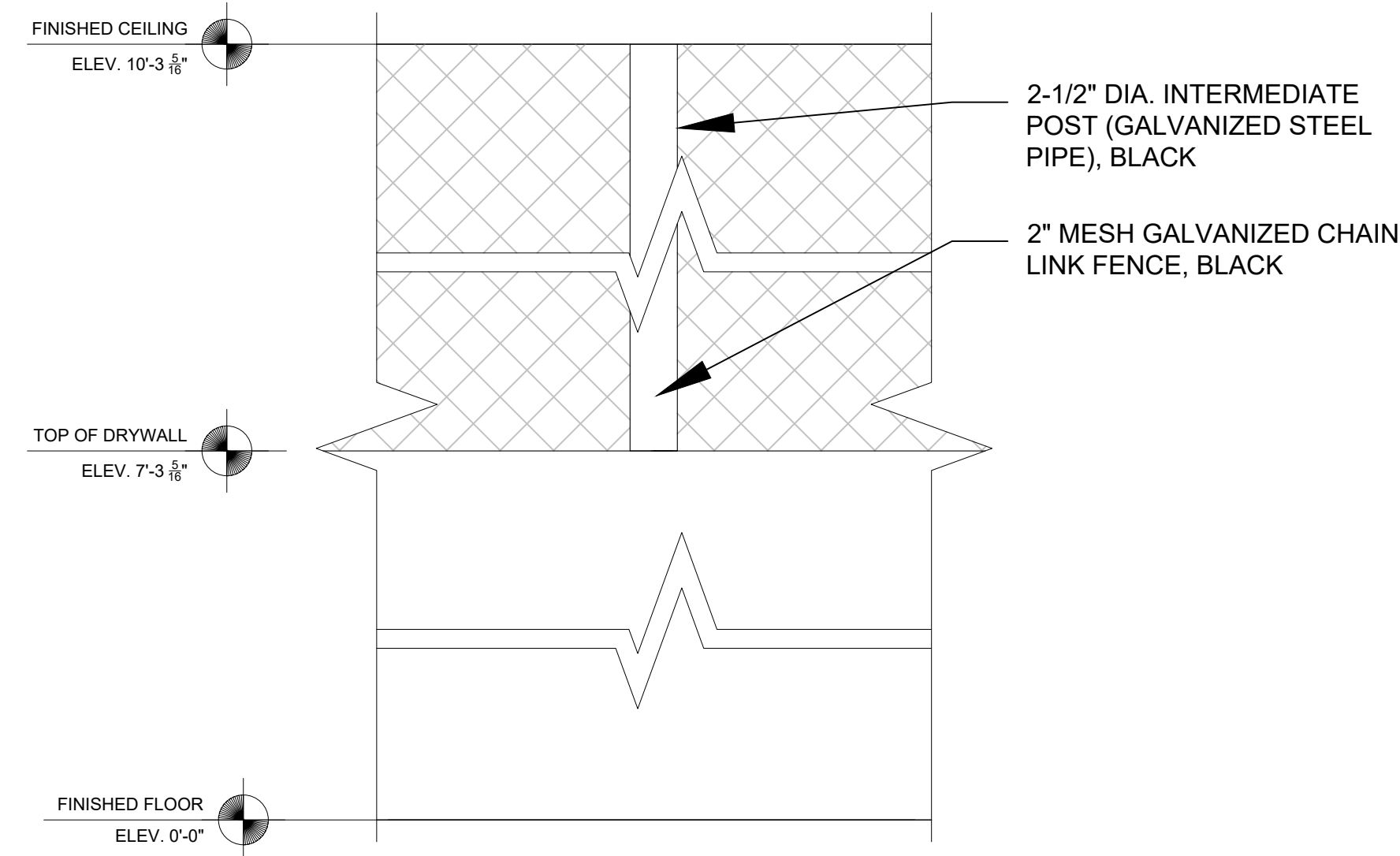
4 CHAIN LINK TO WALL CONNECTION EAST/WEST DETAIL
1-1/2"=1'-0"



6 GATE @ RETAIL COUNTER PLAN DETAIL
1-1/2"=1'-0"

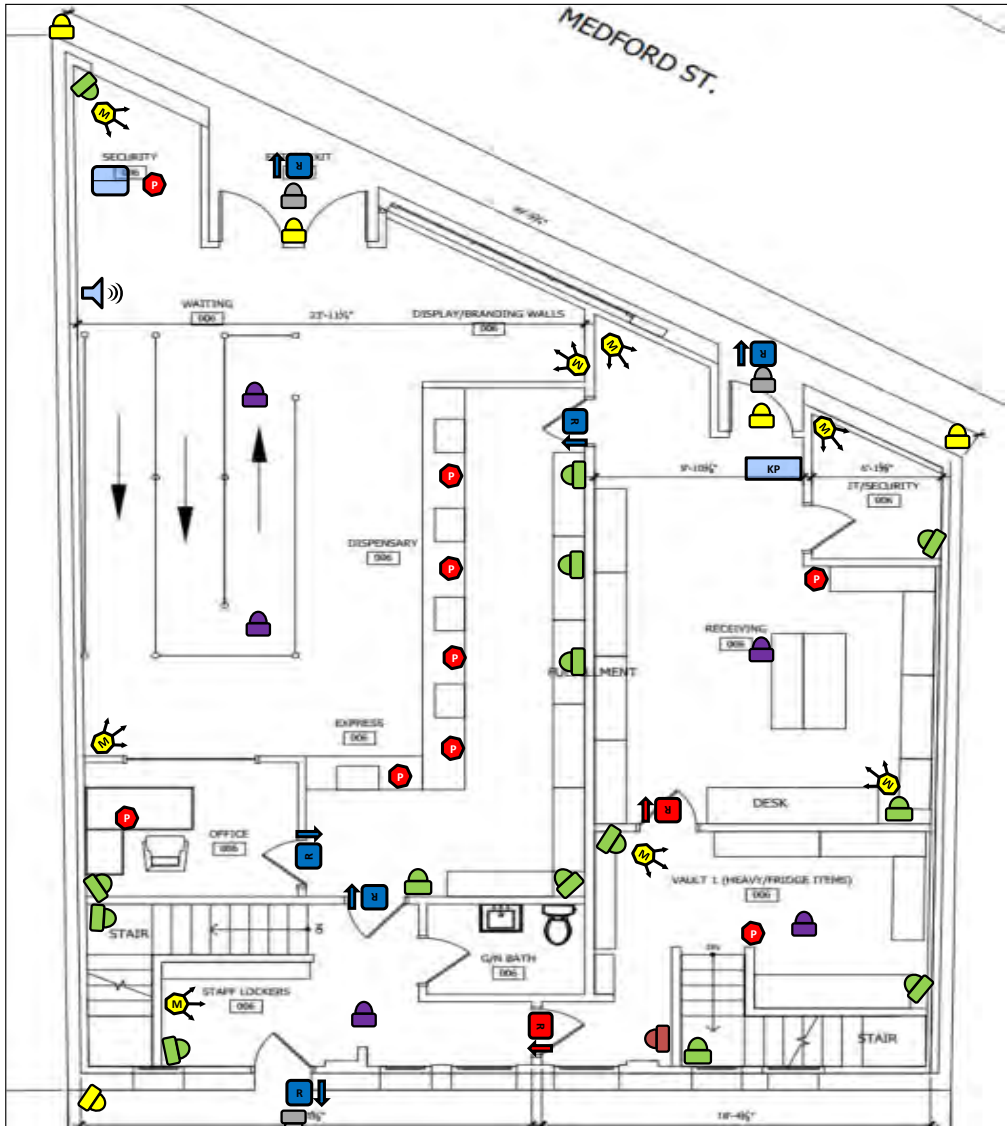


3 FULFILLMENT WALL SECTION DETAIL
1-1/2"=1'-0"



5 CHAIN LINK TO WALL CONNECTION NORTH/SOUTH DETAIL
1-1/2"=1'-0"

Scope of Work

Legend			Estimate #	Account	Address	Completed By		
Symbol	Description	# Devices						
Intrusion Alarm								
	Intrusion Alarm Control Panel							
	Intrusion Alarm Keypad							
	Cellular Backup							
	Door Contact							
	Overhead Door Contact							
	Panic Button							
	Motion Detector (Wide Angle)							
	Heat Detector (Ceiling Mount)							
	Glassbreak Detector							
	Low Temp Sensor							
	Photo-Electric Beam Receiver							
	Waterflow							
	Siren							
Access Control								
	Access Control Reader							
	Access Control Reader							
	Access Control Keypad							
	Access Control Keypad							
	Access Control Panel							
	Locking Hardware Power Supply							
Video Surveillance								
	Dome Camera							
	Camera and Housing							
	Approximate Field of View							
	Network Switch							
	Camera Power Supply							
	Digital Video Recorder							
	Network Video Recorder							
	Network Attached Storage							
	Monitor							
			Fisheye	Indoor Dome	Dual Lens	Card Reader	Intercom Master/Monitor and rocker switch	Intrusion Siren
			Video Intercom	Outdoor Dome	Keypad Reader	Panic Button	Motion Detector	Intrusion Siren



Somerville Licensing Commission

Request for Approval of an Adult-Use Marijuana Retail Establishment License

Core Empowerment, LLC d/b/a Seed, 500 Medford St

Tuesday, October 22, 2024

About Core Empowerment, LLC

- Women Owned Business Enterprise (WBE)
- 100% women led management team
- 89% owned by women and people of color
- 74% of investors are local to Boston and Metro area
- 82% of investor dollars are from individuals who are of Black, African American, Hispanic or Latino descent
- Investors collectively spent over 10 years incarcerated by the war on drugs
- Strong cannabis industry experience including Boston dispensary in Jamaica Plain—unique concept that co-locates a Social Justice Cannabis Museum
- Group A Priority Applicant

Executive Team

- April Arrasate – Chief Executive Officer
- Kristen Picard – Chief Operating Officer
- Sarah Le Branche – Chief Financial Officer
- Lijuan Toma – Director of Operations/Licensing

Timeline

- 2019 Prospective location in Winter Hill/Community Outreach
- 11/27/2021 Entered into HCA with Somerville
- 2022 New location identified at 500 Medford St
- 11/21/2023 Entered into HCA with Somerville for new location
- 3/18/2024 Neighborhood Meeting held with Councilor Sait
- 4/10/2024 Virtual Community Outreach Meeting
- 7/15/2024 In-person Community Outreach Meeting
- 8/1/2024 Planning Board Hearing (Board voted to approve 4-0)
- 8/19/2024 Special Permit decision issued
- 10/22/2024 Licensing Commission Hearing (today)

500 Medford Street, Magoun Square

← 500 Medford St



500 Medford St

Somerville, Massachusetts

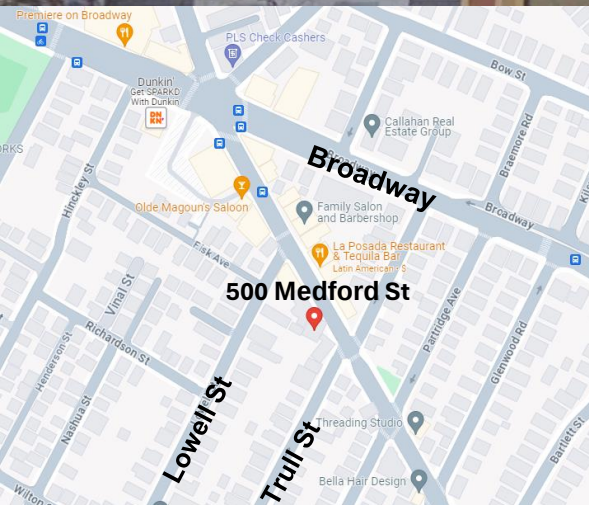
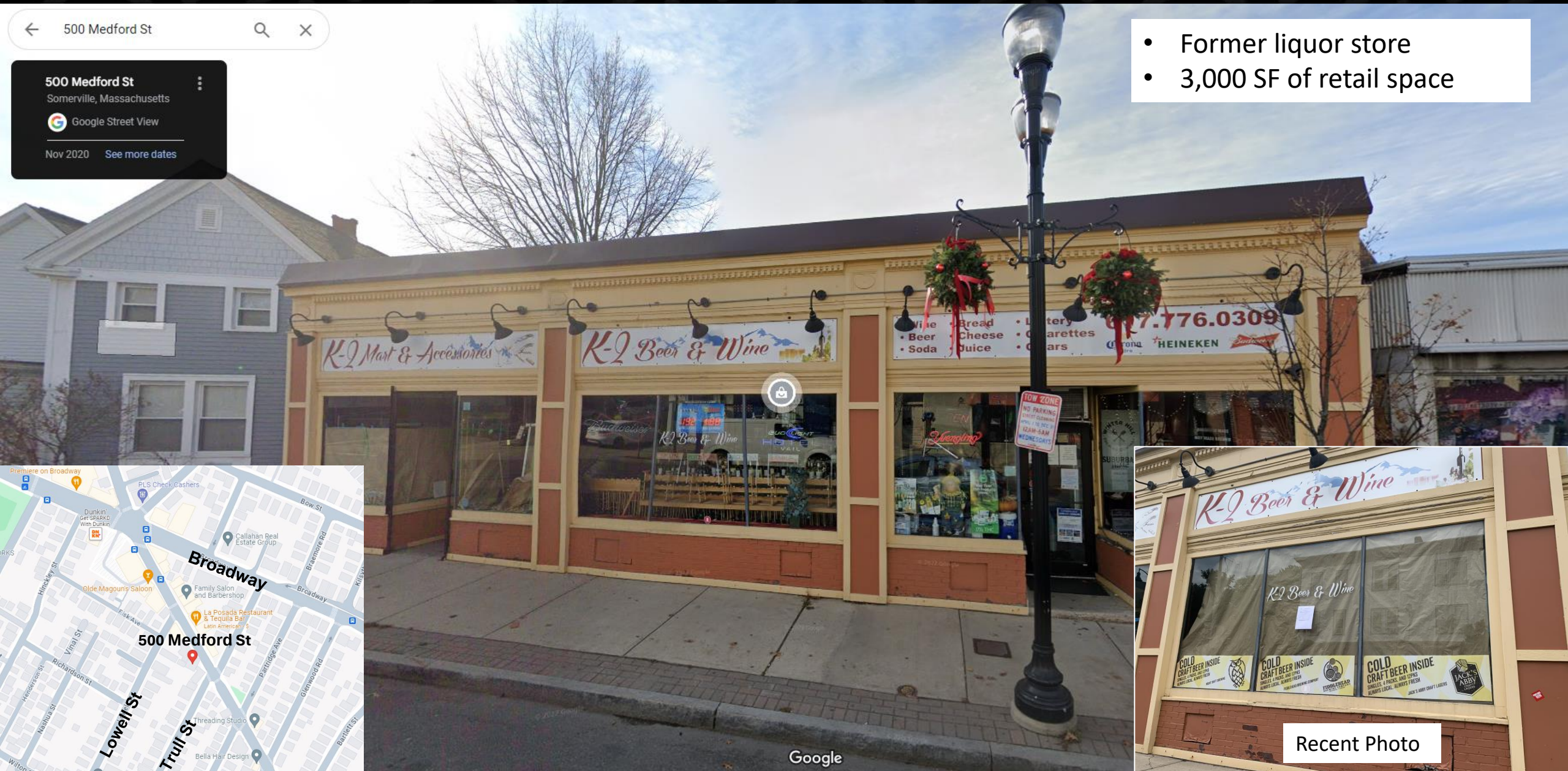


Google Street View

Nov 2020

[See more dates](#)

- Former liquor store
- 3,000 SF of retail space



Recent Photo

Google

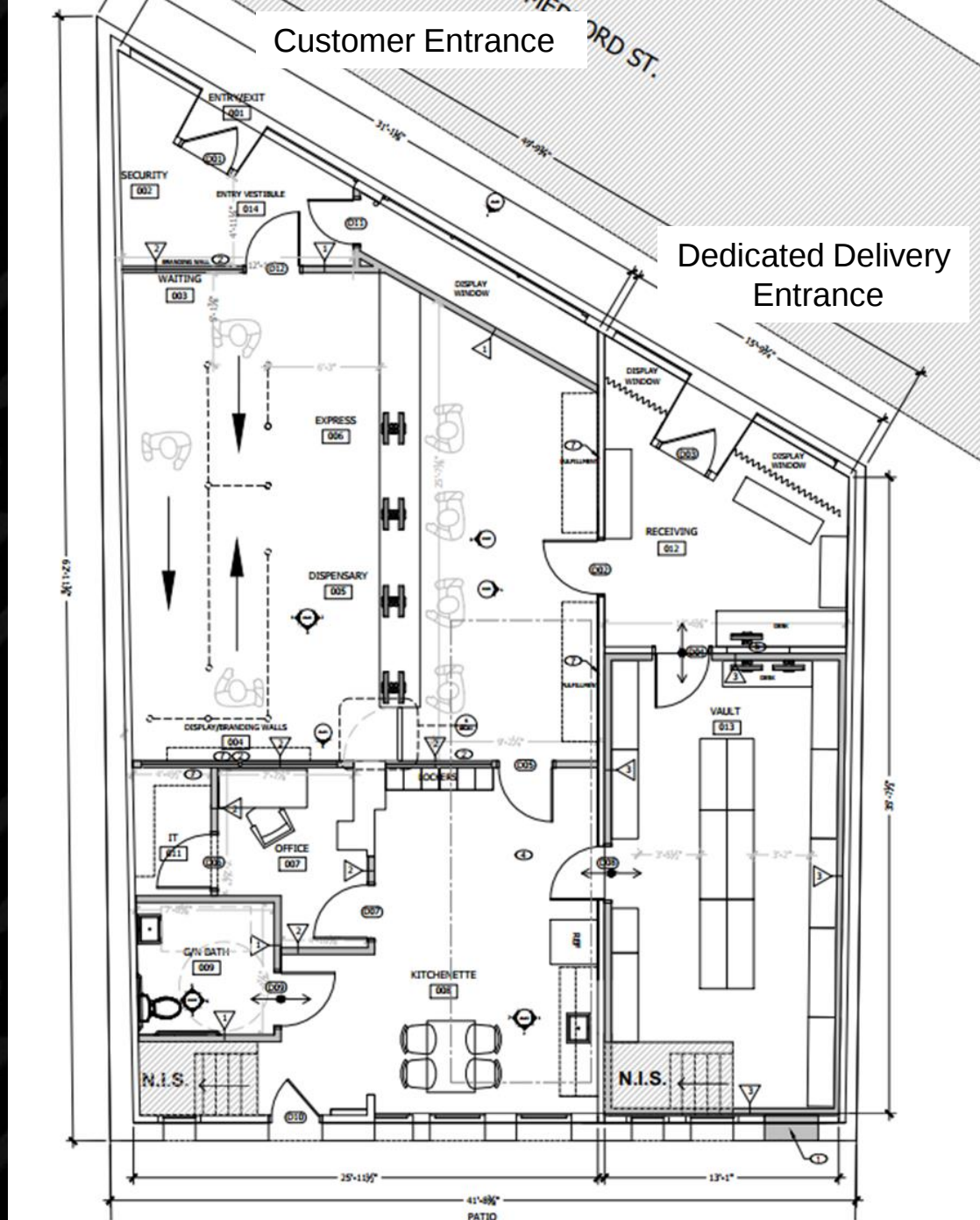
Floor Plan

Security at Entrance

Retail Area

- Customer visits by appointment-only
- 4-6 POS systems
- Ability to queue 10 people inside, including 2 wheelchairs
- 6-8 employees per shift
- Mon-Sun: 10AM-10PM

Employee Area



Secured Vault

Proposed Entrance/Façade

- Storefront shall be compliant with both CCC regulations and SZO requirements regarding the **location, visibility, and design** of the principal entrance. Condition from Special Permit Decision:

Public Realm & Zoning Compliance

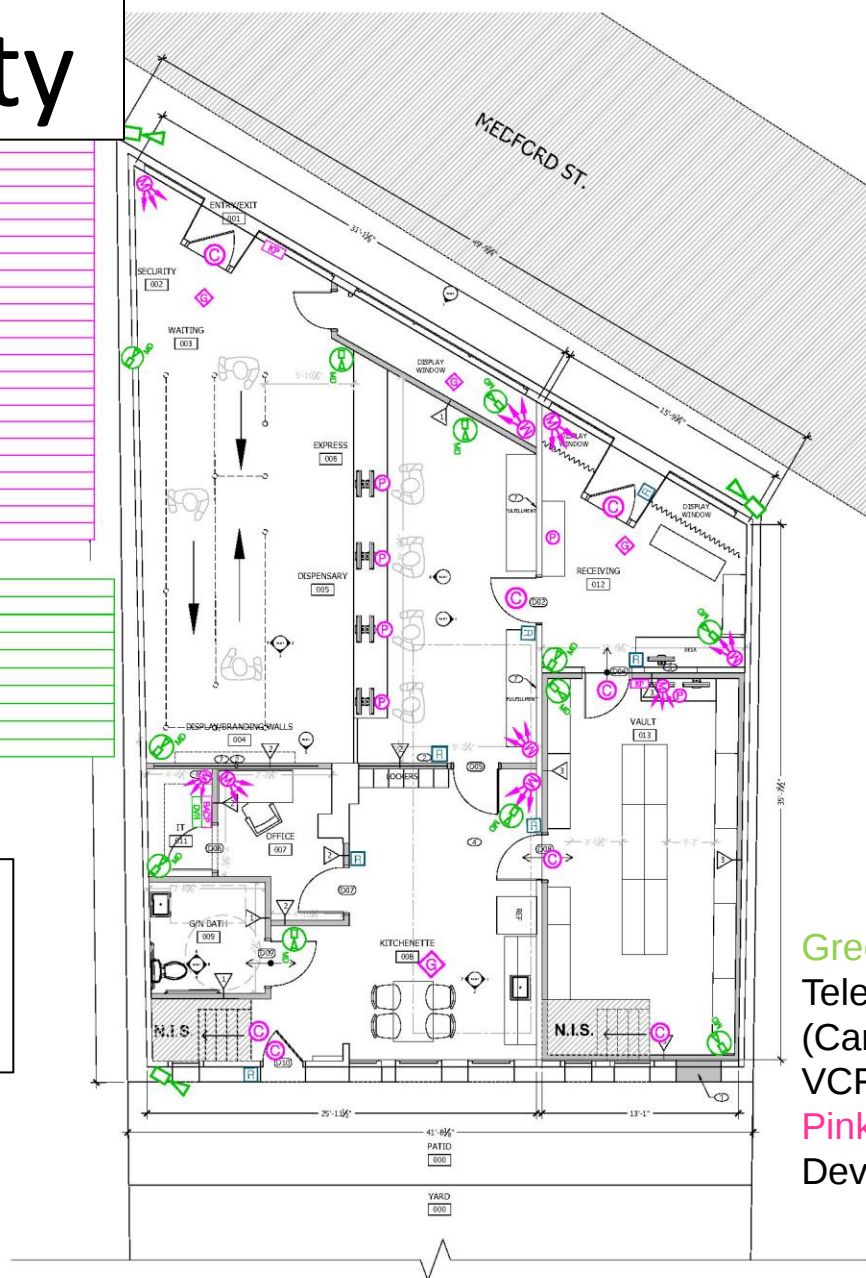
- The storefront windows on either side of the principal entrance into the lobby must be transparent to allow a view into the lobby.
- The storefront shall be activated through art or educational displays as voluntarily agreed to by the Applicant.



SEED Jamaica Plain entrance

 Access Control Reader

1 GROUND FLOOR CONSTRUCTION PLAN
1/4"=1'-0"



1. OUTLETS TO BE MOUNTED AT 18" AFF, U.O.N ALL EXISTING OUTLETS AND TEL/DATA CONNECTIONS ON EXISTING WALLS TO REMAIN.
2. SWITCHES TO BE LOCATED 42" AFF, U.O.N. SEE ELECTRICAL PLANS FOR SWITCH LOCATION.
3. ELECTRICAL DEVICE RECEPTACLES AND FACE PLATES TO BE WHITE.
4. ELECTRICAL DEVICES SHOWN FOR LOCATION ONLY.
5. CENTER OUTLETS ON WALL SIDE TO SIDE, U.O.N.
6. WHERE DEVICES ARE MOUNTED IN SAME VICINITY ON OPPOSITE SIDES OF A PARTITION, STAGGER MOUNTING LOCATIONS SO THEY DO NOT SHARE THE SAME STUD CAVITY.
7. MULTIPLE SWITCH OR OUTLET DEVICES IN ONE LOCATION SHALL BE INSTALLED IN A COMMON MULTI-GANG BOX WITH A COMMON FACEPLATE WHERE POSSIBLE. MOUNT MULTIPLE CONTROLS AS CLOSE TOGETHER AS POSSIBLE AND IN-LINE WITH EACH OTHER.
8. OUTLETS TO BE LOCATED AS INDICATED ON PLANS AND ACCORDING TO CODE.
9. UPDATE LABELS AT ELECTRICAL PANELS.

	NOT IN SCOPE
	DUPLEX OUTLET
	QUADRIPLEX OUTLET
	COMMUNICATION
	FURNITURE POWER WHIP
	FURNITURE COMMUNICATION WHIP

- ① COORDINATE LOCATIONS OF NEW POWER/DATA CONNECTIONS FOR SERVERS WITH OWNER.
- ② COORDINATE EXACT LOCATION AND CONNECTION OF FURNITURE WHIP INFEEDS WITH FURNITURE VENDOR.

1. ALL DIMENSIONS SHOWN ARE CLEAR DIMENSIONS FROM FINISHED FACE TO FINISHED FACE UNLESS NOTED OTHERWISE. NOTIFY PIDGEON AND CO WITHIN 24 HOURS OF ANY DISCOVERY OF VARIANCE OF MORE THAN 1" FROM THE DIMENSIONS SHOWN ON THE CONSTRUCTION PLAN.
DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS GOVERN.
2. DIMENSIONS NOTED "CLEAR," "CLR," OR "HOLD" MUST BE ACCURATELY MAINTAINED AND SHALL NOT VARY MORE THAN +/- 1/8" WITHOUT WRITTEN INSTRUCTION FROM ARCHITECT.
3. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE AND IN PROPER ALIGNMENT.
4. ALL EXISTING AND NEW FLOOR SLAB PENETRATIONS FOR PIPING SHALL BE FULLY PACKED AND SEALED IN ACCORDANCE WITH THE APPLICABLE BUILDING AND FIRE CODES.
5. "ALIGN" MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE.
6. ALL MILLWORK TO BE FASTENED TO THE PARTITION OR FLOOR. PROVIDE CONCEALED BLOCKING FOR ALL MILLWORK NOT SUPPORTED BY SLABS OR TO BE MOUNTED ABOVE 4'-0" HT. ALL CONCEALED LUMBER AND BLOCKING TO BE FIRE TREATED.
7. EXISTING HARDWARE TO REMAIN TO BE CLEANED AND REPAIRED AS REQUIRED.
8. WORK SHALL BE MANAGED TO ENSURE SAFETY AND PROVIDE FOR EGRESS PATHS FOR ALL OCCUPANTS IN THE BUILDING DURING CONSTRUCTION.
9. SEAL ALL PENETRATIONS THROUGH ANY SURFACE, NEW OR EXISTING.
10. BRACE NEW PARTITIONS TO STRUCTURE AS REQUIRED.
11. PATCH/REPAIR EXISTING PARTITIONS WHERE ITEMS AND DEVICES HAVE BEEN REMOVED.
12. REPAIR DAMAGE TO ANY EXISTING FINISHES THAT OCCURS DURING CONSTRUCTION.

	NOT IN SCOPE
	PARTITION TO REMAIN
	EXISTING DOOR TO REMAIN
	NEW PARTITION
	NEW DOOR

- ① INFILL EXISTING DOOR LOCATION TO MATCH EXTERIOR WALL
- ② PROVIDE & INSTALL 3" CHAIN LINK FENCING FROM TOP OF NEW WALLS TO BRIDGE GAP TO CEILING
- ③ REPLACE EXISTING CEILING TILES THROUGHOUT
- ④ MAINTAIN EXISTING FLOORS THROUGHOUT, INFILL NOTED AREAS TO MATCH EXISTING T-2
- ⑤ INFILL WALL OPENING TO MATCH EXISTING WALL TYPE
- ⑥ APPLY FILM TO EXTERIOR FACING WINDOWS AS INDICATED
- ⑦ PROVIDE BLOCKING IF REQ'D. FOR MONITOR & SHELF MOUNTING

ALT. #02	PROVIDE NEW DOOR @ ENTRY/EXIT LOCATIONS: D01, D03
ALT. #03	PROVIDE LED STRIP LIGHTING @ TOEKICK UNDER RETAIL COUNTER
ALT. #04	PROVIDE LVT-1 FLOORING THROUGHOUT GROUND FLOOR
ALT. #05	ELIMINATE DISPLAY WINDOWS @ RECEIVING & APPLY BLACK OUT FILM TO GLAZING
ALT. #07	PROVIDE PARTITION TYPE 1 DISPLAY WINDOW @ RECEIVING

Compliance with SomerVision 2040

Commercial Development, Business, & Arts

- Support small business
 - Seed was deliberately funded and formed as the company is eighty-nine (89) percent owned by woman and people of color, the majority of its investors are local to the greater Boston area, eighty-two (82) percent of its investor dollars come from individuals who are of Black, African America, Hispanic, or Latino descent, and, collectively, investors spent over ten (10) years incarcerated by the War on Drugs.
- Add jobs
 - Expecting to hire 15-25 employees
 - Prioritize hiring Somerville residents of Black, African American, or Latino descent, or who are veterans, or both, individuals formally incarcerated for marijuana offenses
- Support local artists



Positive Community Impact

- Education: 100 hours of educational seminars per year targeted to Somerville residents
- Mentorship: Opportunities for Somerville residents 21 and over who are interested in careers the cannabis industry
- Hiring: Expecting to hire 15-25 employees
 - Prioritize hiring Somerville residents of Black, African American, or Latino descent, or who are veterans, or both, individuals formally incarcerated for marijuana offenses
 - Jobs posted in Local, Diverse, local publications and media: Times, Reporter Patch, News Weekly, Neighborhood News
 - Posts in various languages: English, Spanish, Portuguese and Creole
 - Job fairs to recruit local and disproportionately impacted individuals – successful strategy in Jamaica Plain
- Diverse vendors (minority- and women-owned companies)
 - General Contractor - Pidgeon & Co. is local and woman owned
- Comprehensive community benefit plan includes:
 - Work in tandem with local nonprofits like Mystic Activity Center, Peabody House, Teen Empowerment, Somerville Cares About Prevention (SCAP), Cambridge Health Alliance
 - Support local arts initiatives, artists and programs

Outreach Timeline

3/6/2019	Attended the Somerville meeting sponsored by City Councilmen Ben Ewen-Campen (Ward 3) and JT Scott (Ward 2) – First meeting we attended.	10/14/2019	Met with Ward 4 CC Jesse Clingan, State Representative Christine Barber, School Committee Andre Green and several residents from Mystic regarding traffic concerns in Winter Hill
3/14/2019	Attended City meeting regarding the Somerville Affordable Housing Trust Fund	10/24/2019	Attended Mayor Curatone's ResiStat meeting in Winter Hill regarding the new rapid bus lanes
4/2/2019	Met with Somerville resident, local activist, and union organizer, Rand Wilson	11/3/2019	Met with Stephen Aman, President of Mystic Tenants Association and Mystic residents to introduce ourselves
4/2/2019	Met with Somerville resident, local activist, and union organizer, Harris Gruman	11/18/2019	Attended Somerville Licensing Hearing regarding Cannabis Licenses
4/3/2019	Met with Francile Dillion, owner of Pikliz and the other business owners	12/17/2019	Attended the community meeting hosted by the City's Economic Development team and Ward 4 City Councilor Jesse Clingan to discuss the vacant site of the former Star Market on Broadway.
4/3/2019	Reached out to the Peabody House. Met with the former ED Selvin Chambers.	2/24/2020	Reached out to the Winter Hill NA, Ian Adelman to introduce ourselves
4/19/2019	Met with owner and tenants of 316 Broadway (Social Club)	3/6/2020	Worked with Ian to schedule a presentation to the Winter Hill NA for April 2020
4/26/2019	Met with owners of Winter Hill Brewery to introduce ourselves	4/2020	Somerville shuts down due to COVID-19 responses
5/2/2019	Met with Winter Hill business owners to introduce ourselves	...	
6/19/2019	Attended community meeting to discuss the vacant site of the former Star Market on Broadway	2022	New location identified at 500 Medford Street
7/3/2019	Attended the Fluff Fest (Union Square)	11/21/2023	Entered into HCA with Somerville
9/7/2019	Attended the Evolution of Hip Hop	3/18/2024	Neighborhood Meeting held with Councilor Sait
9/23/2019	Met with Stephen Aman, President of Mystic Tenants Association, Mila, the Walking Project WP, Florence "Fluffy" Bergman, Mystic Learning Center, to introduce ourselves to the local non-profits.	4/10/2024	Virtual Community Outreach Meeting
9/25/2019	Met with the Owner of 350 Broadway, Pankas Ghai	7/15/2024	In-person Community Outreach Meeting
10/3/2019	Met with Winter Hill business owners regarding parking and traffic in the area	8/1/2024	Planning Board Hearing
10/8/2019	Met with local activists at the Dark Horse Tavern regarding parking and traffic in the area	10/22/2024	Licensing Commission Hearing

Thank you.

LICENSING COMMISSION LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: AL24-000024

File #: 24-019500

Business Name: Golden Sun Enterprise INC DBA Sora Japan

Application Type: Common Victualer (without alcohol)

Location: 509 BROADWAY

APPLICANT

Company Name: Golden Sun Enterprise INC DBA Sora Japan

Business Address:

509 Broadway
Somerville, MA 02145

Business Ownership Type

Corporation

Legal Name of the Proposed Licenseholder (Name of Corporation, LLC, Partnership/LLP, Trust, Sole Proprietor, Other)

Golden Sun Enterprise INC

Name

He Wang

Name

Wei Jiang

Name

Shengxu Zhen

DBA Name

Sora Japan

In the last 5 years, have you been found guilty, liable, or responsible, in any judicial or administrative proceeding, for any violation of the City Wage Theft Ordinance or any State or Federal laws or regulations regulating the payment of wages?

No

Manager of your establishment

He Wang

Will you offer seating for the consumption of food on premises? (Food includes non-alcoholic beverages)

Yes

Number of floors on the premises

1

Name of floor (Basement, balcony, Main, 2nd floor, etc.)¹

Main floor

Number of rooms¹

1

Square footage¹

1100

Number of seats (enter 0 if you are not serving food on premises)¹

12

Square footage²

0

Number of entrances into the indoor premises

1

Number of exits from the indoor premises

2

Will you offer seating outdoors in season?

No

Number of rooms indoors	1
Total square footage indoors	1100
Total seating capacity indoors	12
Total square footage outdoors	0
Total seating capacity outdoors	0
Total seating capacity	12
Are you an Educational Institution?	No
Are you a Farmer Pourer?	No
Are you a Package Store?	No
Are you a Private Club?	No
Are you a Restaurant/Common Victualer?	Yes
Are you an Inn?	No
Days and hours of operation to serve food indoors	Sun- M 11:00am - 11:00 pm
Will you offer Entertainment indoors(recorded music, tvs, performers, djs, dancing, etc.)?	No
Total Devices indoors	0
Will you offer Entertainment outdoors(recorded music, tvs, performers, djs, dancing, etc.)?	No
Describe any other businesses serving alcohol on the premises	No
Have you obtained an alcohol license before?	No
Have you ever had a license denied, revoked, or suspended?	No
Have you ever received a Notice of Violation?	No
Describe your outreach to the Ward of Alderman and the neighborhood	N/A
You must read and accept the above stated terms & conditions	Yes

ADJ	ADJUSTABLE
AL	ALUMINUM
APPROX	APPROXIMATE
BD	BOARD
BLDG	BUILDING
BO	BOTTOM OF
CG	CORNER GUARD
CL	CENTERLINE
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DWG(S)	DRAWINGS
EA	EACH
EL	ELEVATION
ELEC	ELECTRICAL
EMER	EMERGENCY
EQ	EQUAL
EQPM	EQUIPMENT
EXT	EXTERIOR
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISH FLOOR
FL	FLOOR
FRPR	FIREPROOF
FT	FOOT OR FEET
FURR	FURRING
GA	GAUGE
GALV	GALVANIZED
GND	GROUND
GWB	GYPSUM WALL BOARD
HDWD	HARDWOOD
HDWE	HARDWARE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HVAC	HEATING, VENT, A/C
ID	INSIDE DIMENSION
INSUL	INSULATION
INT	INTERIOR
LAB	LABORATORY
LAM	LAMINATE
LAV	LAVATORY
LH	LEFT HAND
LKR	LOCKER
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MTD	MOUNTED
MTL	METAL
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OH	OPPOSITE HAND
OPNG	OPENING
OPP	OPPOSITE
OVHD	OVERHEAD
P.LAM	PLASTIC LAMINATE
PLYWD	PLYWOOD
POL	POLISHED
PR	PAIR
PT	PRESSURE TREATED
PTD	PAINTED
RAD	RADIUS
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REF	REFERENCE
REINF	REINFORCED
REQ'D	REQUIRED
RESIL	RESILIENT
REV	REVISION
RH	RIGHT HAND
RM	ROOM
RO	ROUGH OPENING
SCHED	SCHEDULE
SD	SMOKE DETECTOR
SIM	SIMILAR
SPEC	SPECIFICATION
SQ FT	SQUARE FEET
SS	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
SUSP	SUSPENDED
SYS	SYSTEM
T	TREAD
TEL	TELEPHONE
TO	TOP OF
TV	TELEVISION
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
W/	WITH
W/O	WITHOUT
WB	WOOD BASE
WC	WATER CLOSET
WD	WOOD
X-REF	CROSS REFERENCE

499-509 BROADWAY - RENOVATION

- PERMIT SET (10/27/2023)

PROJECT DESCRIPTION:

THE NATURE OF THIS PROJECT IS TO RESTORE/RENOVATION TWO EXISTING SPACES (503 AND 509 BROADWAY) DUE TO FIRE DAMAGE. THE SCOPE OF WORK INCLUDES BUT NOT LIMITED TO REPAIR AND REPLACEMENT OF DAMAGE BUILDING ELEMENTS SUCH AS WALLS AND FLOORS, INSTALL OR UPGRADE NEW SPRINKLER AND FIRE ALARM SYSTEM, PROVIDE NECESSARY FIRE SEPARATION BETWEEN TENANT SPACES AND RESTORE UNIT 509 TO A CHINESE TAKE-OUT RESTAURANT.

CLIENT:

NAME: YI WANG & MING WANG
TEL: 617-480-6580
EMAIL: STEPHANIEWANG1832@GMAIL.COM

ARCHITECT:

CLDA ARCHITECTS, LLC
EMAIL: SLIANG@CL-DA.COM
TEL: 857-707-2612
ADDRESS: 10 BRYANT ROAD
LEXINGTON, MA 02420

DRAWING LIST

A-01	COVER
A-02	OVERALL GROUND FLOOR PLAN
A-03	OVERALL BASEMENT PLAN
A-04	UNIT 509 PLANS

CODE SUMMARY:

APPLICABLE CODES

BUILDING CODE: 780 CMR – MASSACHUSETTS STATE BUILDING CODE 9TH EDITION (IBC 2015 AMENDMENT)
MASSACHUSETTS EXISTING BUILDING CODE (MEBC) (IEBC 2015 AMENDMENT)
FIRE CODE: 527 CMR – MASSACHUSETTS COMPREHENSIVE FIRE SAFETY CODE
PLUMBING CODE: 248 CMR 10.00 – UNIFORM STATE PLUMBING CODE
ELECTRICAL CODE: 527 CMR 12.00 – MASSACHUSETTS ELECTRICAL CODE
OTHERS: VARIOUS NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES AND STANDARDS:
NFPA 1, NFPA-72 AND NFPA-13

TENANT SPACE SUMMARY:

	USE GROUP	AREA	PROPOSED OCCUPANT LOAD
UNIT 409:	NOT IN SCOPE	N/A	N/A
UNIT 503:	VACANT/BY TENANT	2,048 SF	BY TENANT
UNIT 509:	BUSINESS	943 SF	30 PEOPLE (MAX.)

**UNIT 503 IS VACANT. ACTUAL LAYOUT AND OCCUPANCY WILL BE DETERMINED BY FUTURE TENANT AND TENANT ARCHITECTS.*

CONSTRUCTION TYPE:

TYPE 3B (ONE-STORY, SPRINKLERED BUILDING)

FIRE RESISTANCE RATING OF STRUCTURAL LEMENTS

EXTERIOR WALLS	2 HOUR
FIRE ENCLOSURE OF EXITS	0 HOUR
INTERIOR LOAD BEARING WALL & COLUMNS	0 HOUR
ROOF CONSTRUCTION	0 HOUR
FLOOR CONSTRUCTION	0 HOUR
SEPARATION OF USE	2 HOUR (A/B)

GENERAL NOTES:

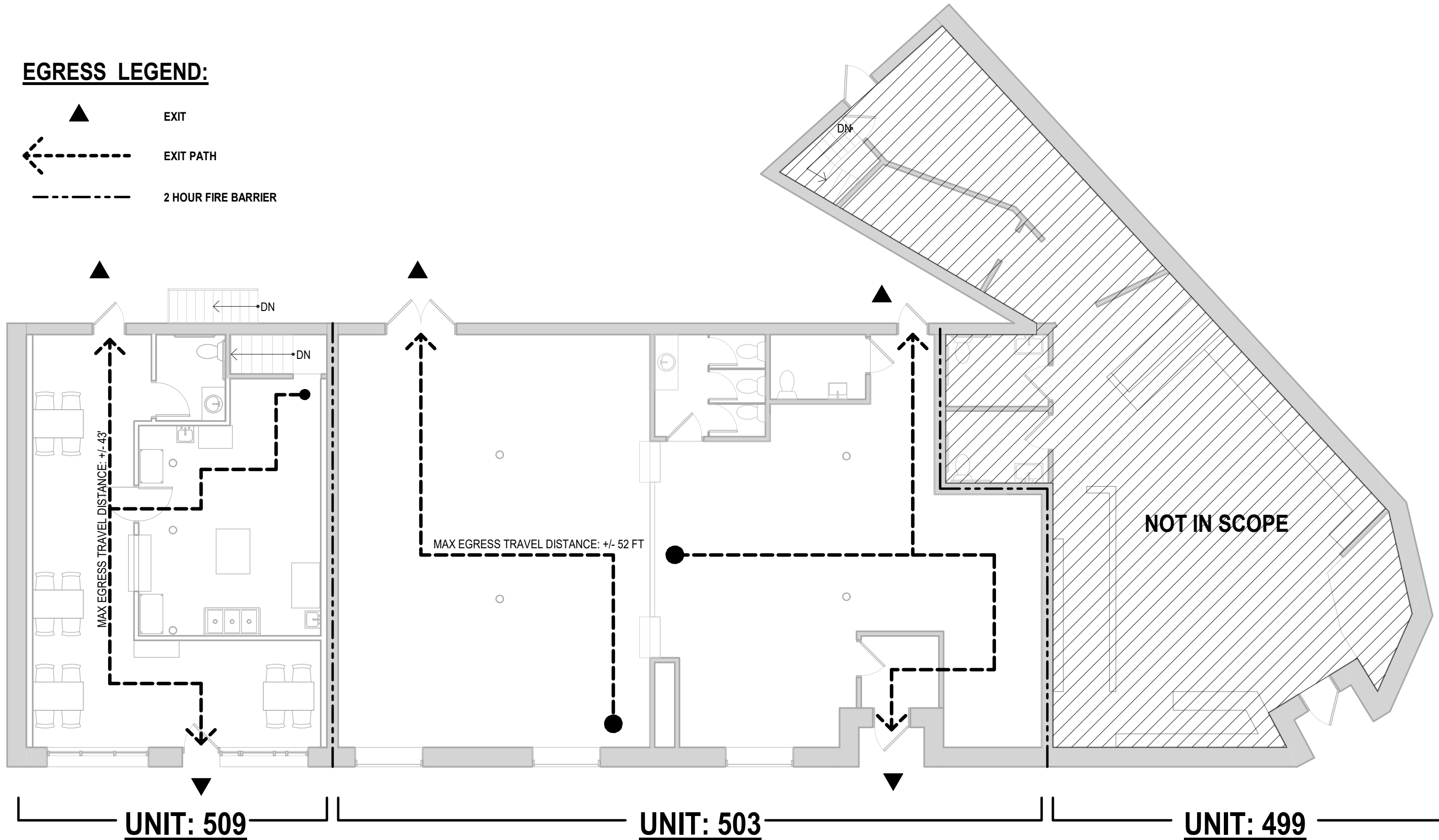
1. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS.
2. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS THAT MAY APPLY TO THE CONSTRUCTION OF THE PROJECT.
3. ALL WORK OF THIS PROJECT SHALL COMPLY WITH ACCEPTED BUILDING PRACTICE AND ALL CODES HAVING JURISDICTION OVER THIS PROJECT.
4. THE CONTRACTOR SHALL LEAVE THE PROJECT SITE AND ALL SHROUDING AREAS IN FINAL, CLEAR CONDITION INCLUDING THE REMOVAL OF ALL DEBRIS RESULTING FROM CONSTRUCTION.
5. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND VERIFY THAT ALL CUTTING AND PATCHING REQUIRED FOR THE INSTALLATION OF ALL MATERIALS BY ALL TRADES IS PROPERLY EXECUTED.
6. ALL WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER ALL OTHERS. DO NOT SCALE DRAWINGS. IF THERE IS A QUESTION OR CONFLICT IN DIMENSIONS, NOTIFY THE ARCHITECT FOR CLARIFICATION.
7. VERIFY FILED CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. THE DRAWINGS ARE COMPLIMENTARY AND WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK.
8. ALL GYPSUM WALLBOARD CONSTRUCTION SHALL CONFORM TO RECOMMENDATIONS, PRACTICE, STANDARDS, AND INSTRUCTIONS PUBLISHED BY US GYPSUM COMPANY IN THE GYPSUM CONSTRUCTION HANDBOOK.
9. ALL FINISHED WORK SHALL BE FREE OF DEFECTS. THE OWNER RESERVES THE RIGHT TO REJECT ANY MATERIALS AND WORKMANSHIP, WHICH ARE NOT CONSIDERED TO BE AT THE HIGHEST STANDARDS OF THE VARIOUS TRADES INVOLVED.
10. NO CHANGES OR SUBSTITUTIONS ARE ALLOWED UNLESS APPROVED BY THE ARCHITECT. ANY MODIFICATION OF THESE DRAWINGS MUST BE APPROVED BY THE ARCHITECT IN WRITING.
11. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, SAMPLES AND SUBMITTALS FOR ALL ITEMS OF THE WORK FOR APPROVAL PRIOR TO THEIR INCLUSION IN THE PROJECT.
12. THESE DRAWINGS SCHEMATICALLY INDICATE NEW CONSTRUCTION AND CANNOT FULLY CAPTURE ALL EXISTING CONDITION. THE CONTRACTOR SHALL ANTICIPATE BASED ON EXPERIENCE A REASONABLE NUMBER OF ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AND SHOULD CONSIDER SUCH ADJUSTMENT AS INCLUDED IN THE SCOPE OF WORK.
13. THE ARCHITECT WILL NOT HAVE CONTROL OVER OR CHARGE OF AND WILL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR OR THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING THE WORK.
14. IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW NOR INDICATE ANY OR ALL FASTENING OR FRAMING TECHNIQUES /DEVICES, NOR BE ABLE TO SHOW ALL CONDITIONS PRESENT. DETAILS SHOWN ARE FOR GENERAL CONDITIONS ONLY.
15. PROTECT ALL EXISTING FLOORS, WALLS, PARTITIONS, AND CEILINGS TO REMAIN. PATCH ALL FINISHES TO MATCH EXISTING.

LOCUS MAP:



EGRESS LEGEND:

- ▲ EXIT
- EXIT PATH
- 2 HOUR FIRE BARRIER



E1 EGRESS PLAN
1/8" = 1'-0"

499-509 BROADWAY - RENOVATION

499-509 BROADWAY
SOMERVILLE, MA

ARCHITECT

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REGISTRATION



ISSUED FOR

BUILDING PERMIT APPLICATION

ISSUE LOG

NO.	DATE	DESCRIPTION

10/27/2023 PERMIT SET
NO. DATE DESCRIPTION
△ = CLOUDED CHANGE

KEY PLAN



PROJECT NO.

2303

DATE

10/27/2023

DRAWN BY

SL

CHECK BY

SL

SCALE

As indicated

DRAWING TITLE

COVER

DRAWING NO.

A-01



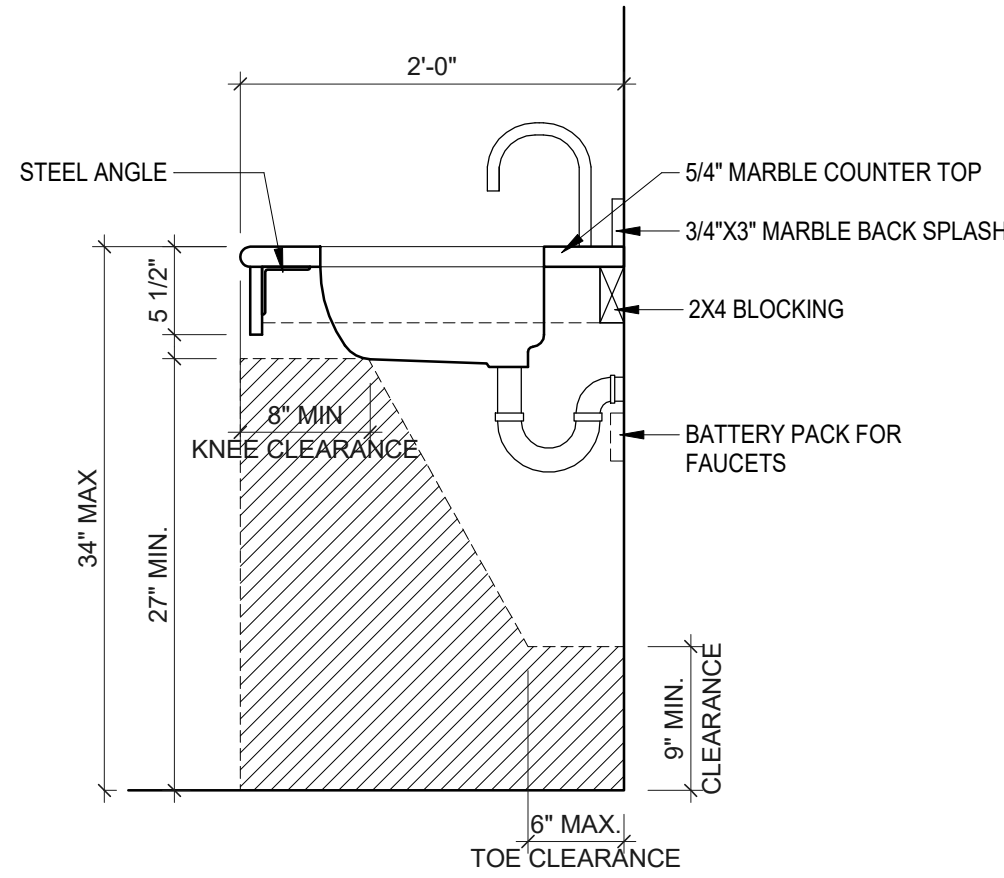
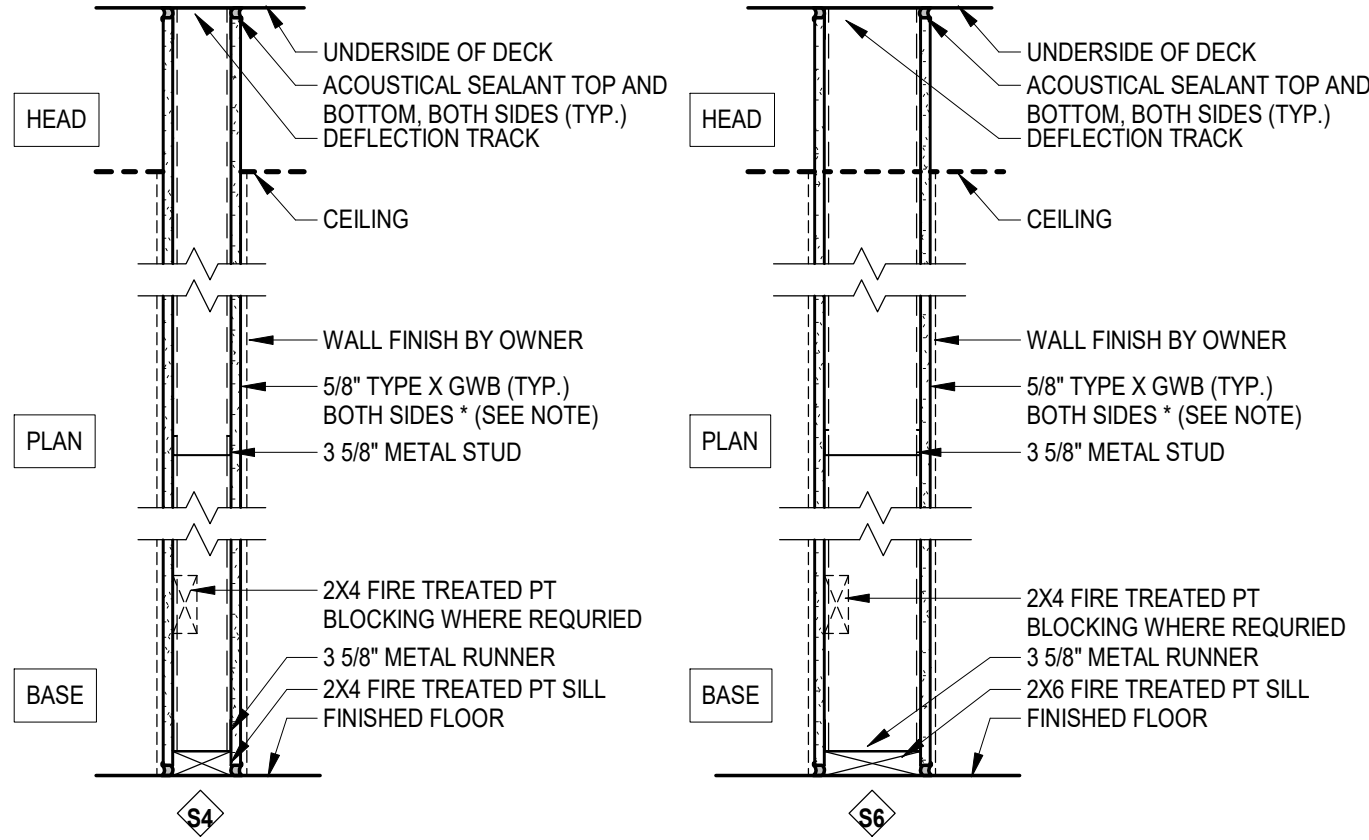
NO.	DATE	PERMIT SET	DESCRIPTION

△ = CLOUDED CHANGE

PROJECT NO.	2303
DATE	10/27/2023
DRAWN BY	SL
CHECK BY	SL
SCALE	As indicated

PARTITION TYPES

- NON FIRE RATING PARTITION
- GC TO PROVIDE BLOCKING FOR RESTROOM AND KITCHEN EQUIPMENT WHERE REQUIRED.
 - GC TO BRACE WALL AS REQUIRED.
 - THROUGH-PENETRATION FIRESTOPS PER UL DESIGN RECOMMENDATIONS
 - REPLACE OUTERMOST GWB LAYER WITH MOISTURE AND MOLD RESISTANT BOARD ON KITCHEN OR BATHROOM SIDE



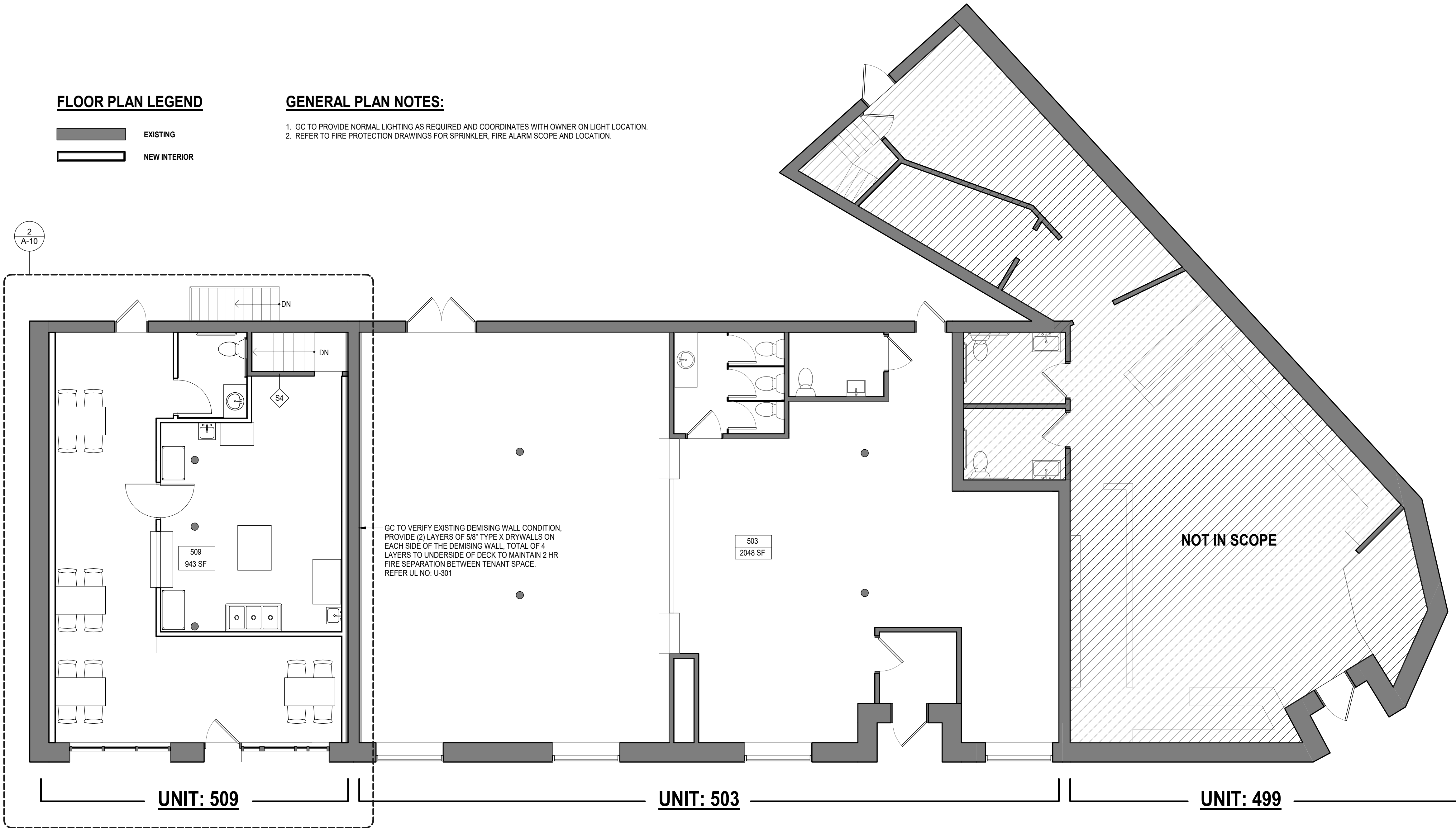
2 VANITY SINK SECTION
1" = 1'-0"

FLOOR PLAN LEGEND

- EXISTING
NEW INTERIOR

GENERAL PLAN NOTES:

- GC TO PROVIDE NORMAL LIGHTING AS REQUIRED AND COORDINATES WITH OWNER ON LIGHT LOCATION.
- REFER TO FIRE PROTECTION DRAWINGS FOR SPRINKLER, FIRE ALARM SCOPE AND LOCATION.



1 FIRST FLOOR PLAN
3/16" = 1'-0"

ARCHITECT

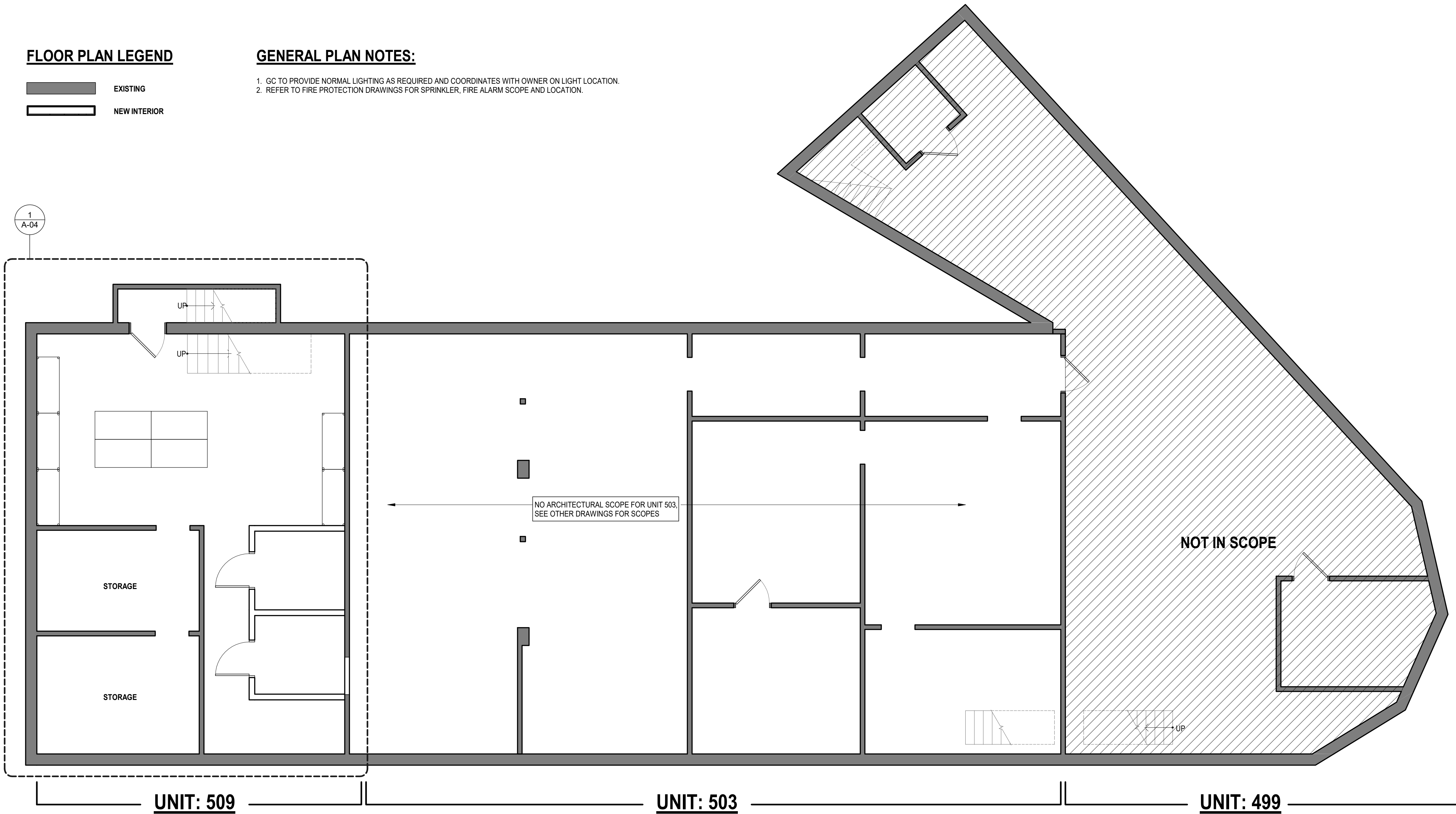
CLDA ARCHITECTS, LLC
10 BRYANT ROAD
LEXINGTON, MA 02420
EMAIL: SLIANG@CL-DA.COM
TEL: 857-707-2612

FLOOR PLAN LEGEND



GENERAL PLAN NOTES:

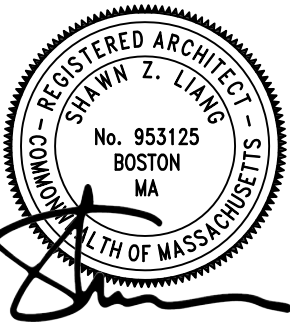
1. GC TO PROVIDE NORMAL LIGHTING AS REQUIRED AND COORDINATES WITH OWNER ON LIGHT LOCATION.
2. REFER TO FIRE PROTECTION DRAWINGS FOR SPRINKLER, FIRE ALARM SCOPE AND LOCATION.



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REGISTRATION



ISSUED FOR

BUILDING PERMIT APPLICATION

ISSUE LOG

NO.	DATE	DESCRIPTION

NO. DATE DESCRIPTION
△ = CLOUDED CHANGE

KEY PLAN



PROJECT NO.	2303
DATE	10/27/2023
DRAWN BY	Author
CHECK BY	Checker
SCALE	As indicated

DRAWING TITLE

OVERALL
BASEMENT PLAN

DRAWING NO.

A-03

ARCHITECT

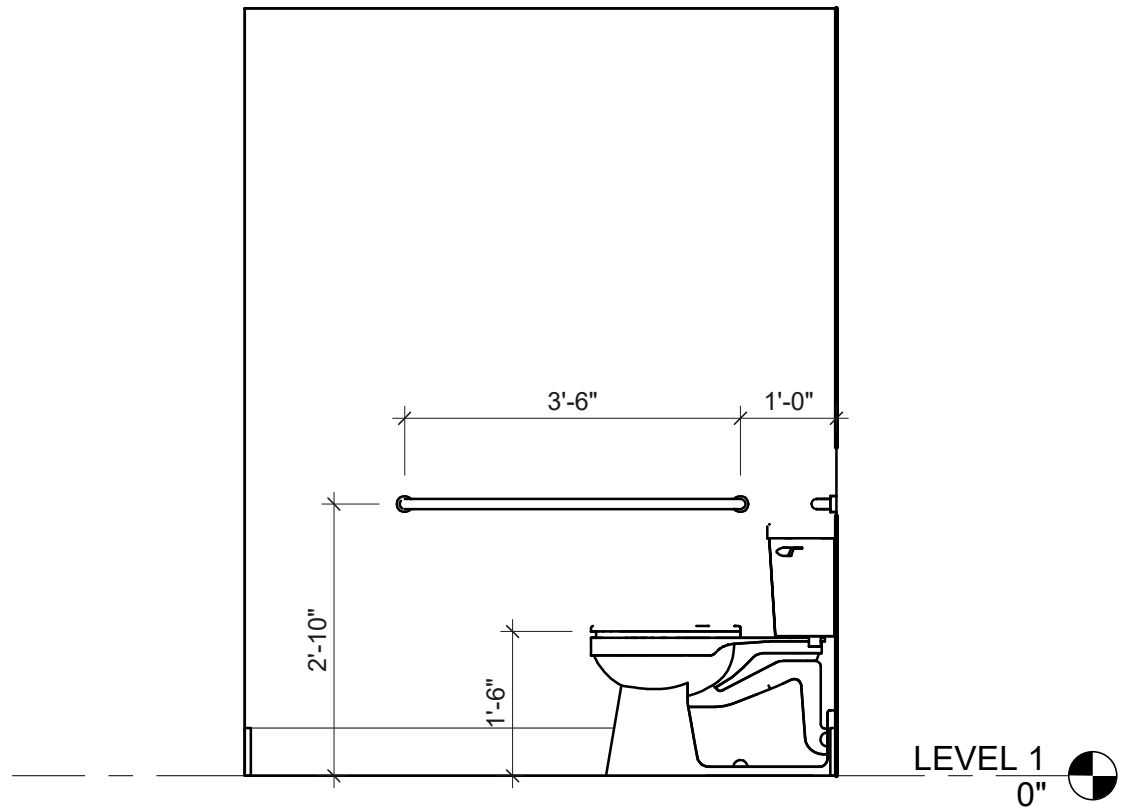
CLDA ARCHITECTS, LLC
10 BRYANT ROAD
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EMAIL: SLIANG@CL-DA.COM
TEL: 857-707-2612

EQUIPMENT SCHEDULE (NEW)		
ITEM	DESCRIPTION	REMARKS
KITCHEN		
G1	PASTA/NOODLE COOKER	
G2	1 BURNER STOCK POT RANGE	
G3	1-BURNER CHINESE WOK	
G4	PASTA/NOODLE COOKER	
G5	HOTPLATE	
G6	RICE COOKER	
G7	WATER HEATER	
C1	REFRIGERATED PREP TABLE	
C2	REFRIGERATOR	
C3	SODA REFRIGERATOR	
X	GREASE TRAP	FLOOR MOUNTED, VARIES SIZE
K1	ADJUSTABLE SS VENTED SHELVING	VARIED SIZES
K2	WALL MOUNTED SS SLOTTED SHELVING	CLEAN POT AND PAN STORAGE ABOVE SINK
T1	SS WORK BENCH	VARIED SIZES
T2	TRASH CAN	
H1	HANDSINK W/ SPLASH GUARD	
H2	3-COMPARTMENT SINK	
H3	MOP BUCKET	

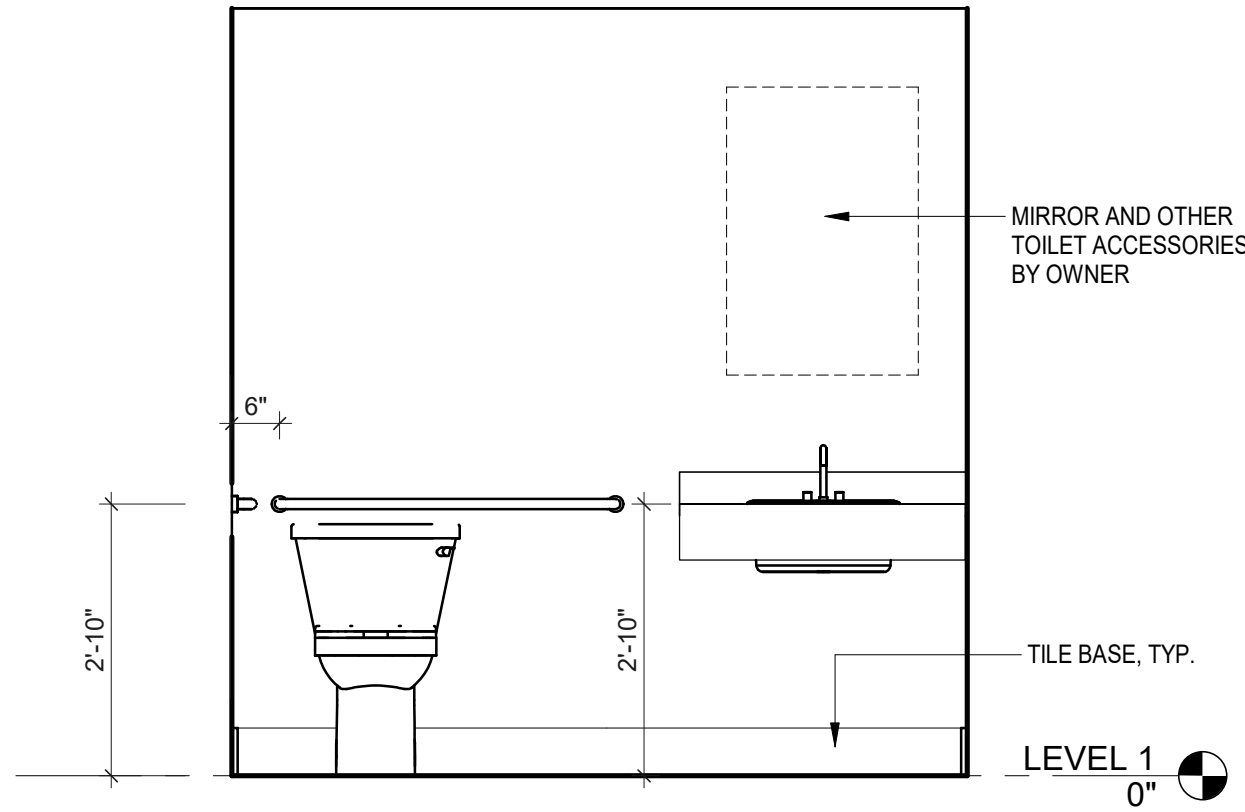
ROOM FINISH SCHEDULE						
NO.	NAME	FLOOR	BASE	WALL	CEILING	COMMENTS
509-1	WAITING ROOM	TILE	VINYL	PTD	ACT	
509-2	KITCHEN	TILE	VINYL	FRP/SS	ACT	
509-3	BATHROOM	TILE	VINYL	PTD	ACT	
509-4	BASEMENT	TILE	VINYL	N/A	N/A	
509-5	STORAGE	EXISTING	N/A	PTD	N/A	
509-6	STORAGE	EXISTING	N/A	PTD	N/A	

PTD: PAINTED; FRP: FIBERGLASS REINFORCE PLASTIC PANEL; SS: STAINLESS STEEL

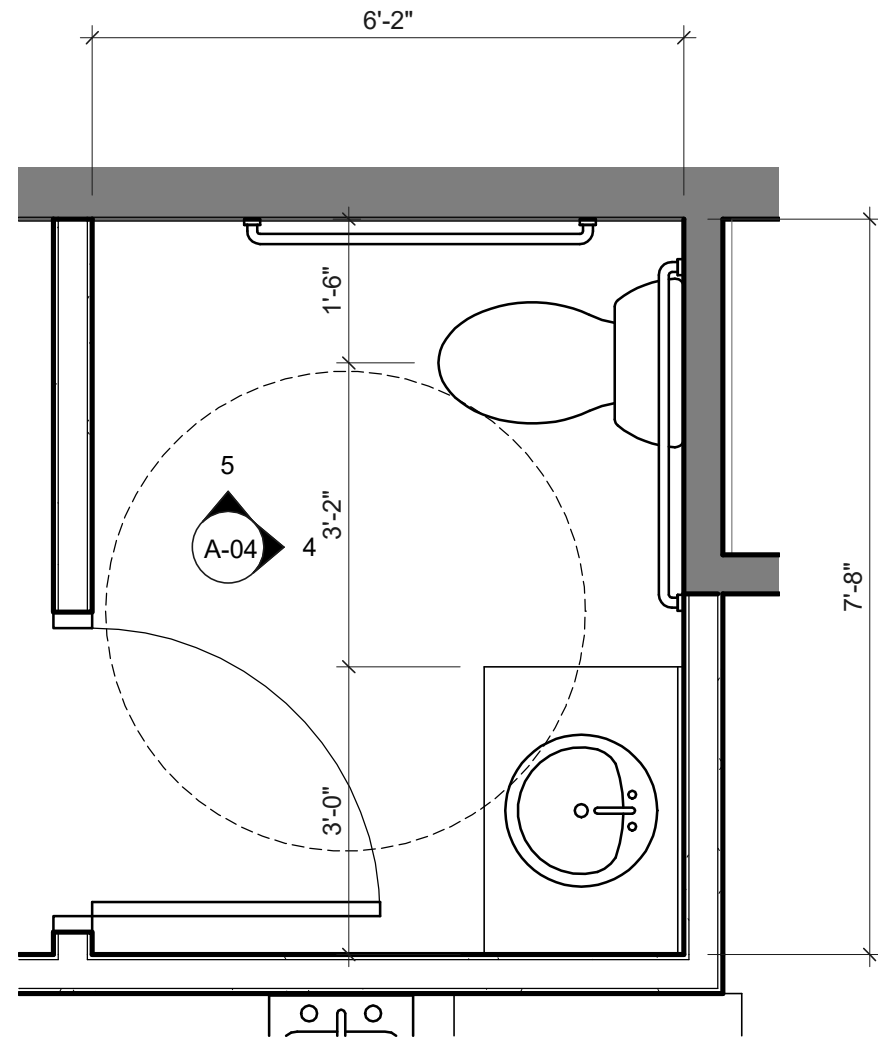
***ALL CEILING TILES IN THE FOOD PREPARATION AREA MUST BE SMOOTH AND IMPERVIOUS, AND OTHERWISE COMPLIANT WITH THE REQUIREMENTS OF THE FEDERAL FOOD CODE.**



5 BATHROOM ELEVATION - 3
1/2" = 1'-0"



4 BATHROOM ELEVATION - 1
1/2" = 1'-0"



3 ENLARGED PLAN - BATHROOM
1/2" = 1'-0"

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REGISTRATION



ISSUED FOR

BUILDING PERMIT APPLICATION

ISSUE LOG

NO.	DATE	DESCRIPTION

10/27/2023 PERMIT SET
NO. DATE DESCRIPTION
△ = CLOUDED CHANGE

KEY PLAN



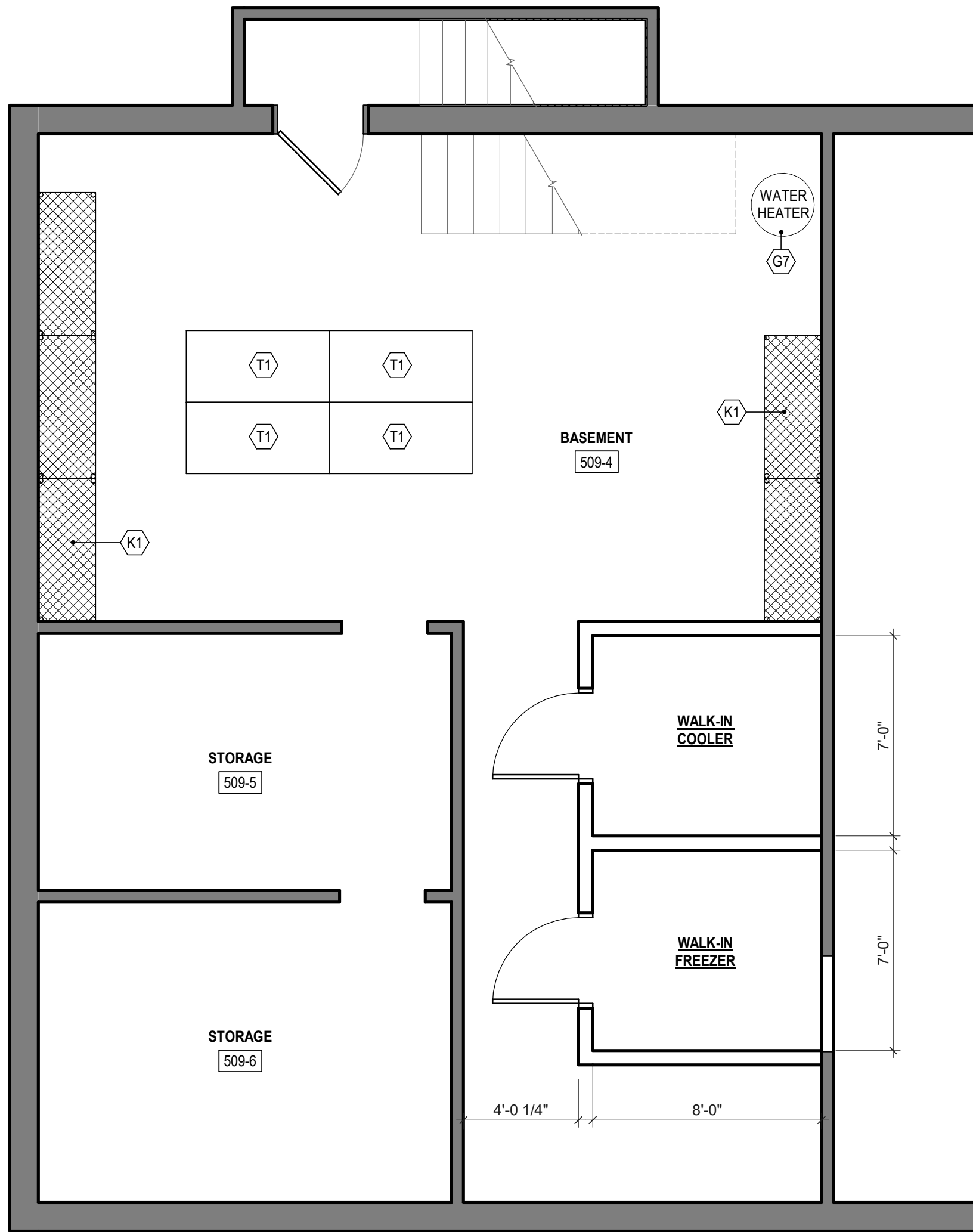
PROJECT NO.	2303
DATE	10/27/2023
DRAWN BY	Author
CHECK BY	Checker
SCALE	As indicated

DRAWING TITLE

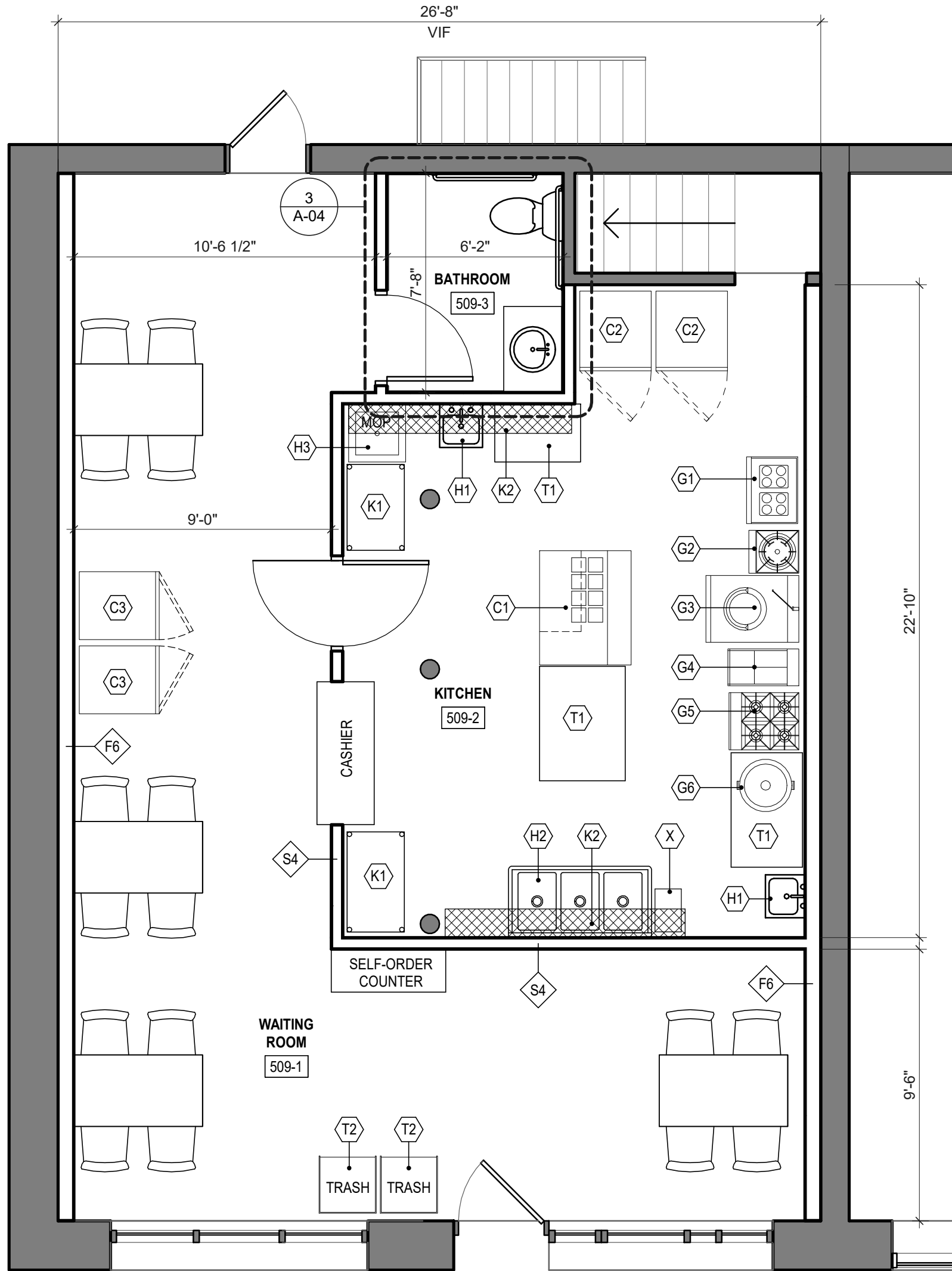
UNIT 509 PLANS

DRAWING NO.

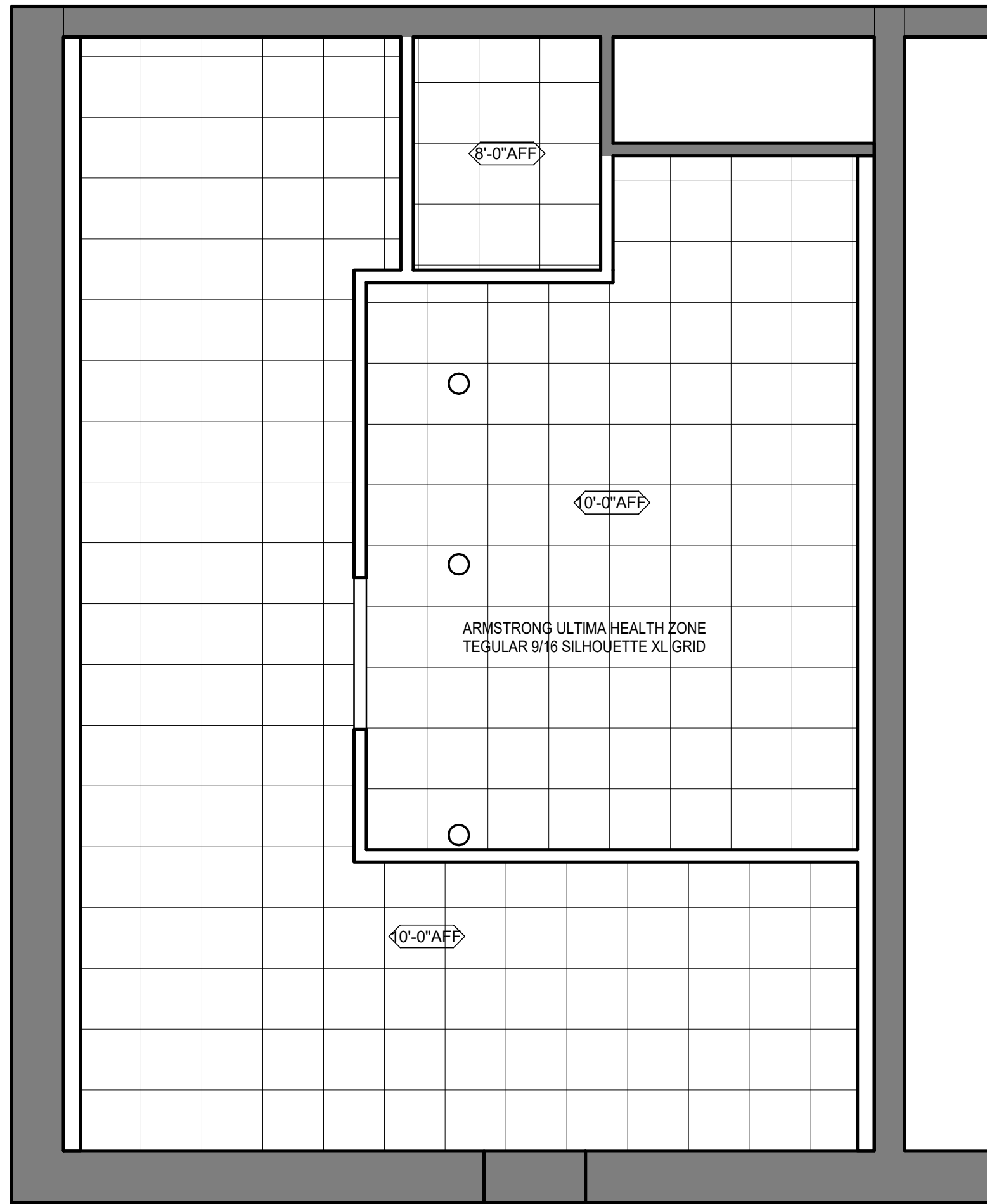
A-04



1 UNIT 509 BASEMENT PLAN
1/4" = 1'-0"



2 UNIT 509 NEW PLAN
1/4" = 1'-0"



R1 UNIT 509 RCP
1/4" = 1'-0"

SUSHI COMBO

SERVED WITH

- 4pcs Nigiri
- 8pcs Roll

*SALMON COMBO	13.99
*TUNA COMBO	13.99
SHRIMP COMBO	13.99
EEL COMBO	13.99
VEGETARIAN COMBO	13.99
*SUSHI& SASHIMI COMBO	19.99

6 nigiri & 6 sashimi



NIGIRI & SASHIMI

(3PCS 6.99)



*SALMON



*TUNA



*TILAPIA



*EEL



*SHRIMP



*TOFU SKIN

Food allergy notice - Before placing your order, please inform your server if a person in your party has a food allergy.

SUSHI ROLLS

CALIFORNIA ROLL	5.99
CHICKEN TERIYAKI ROLL	5.99
AVOCADO CUCUMBER ROLL	5.99
*SALMON AVOCADO ROLL	6.99
*TUNA AVOCADO ROLL	6.99
*SPICY SALMON ROLL	6.99
*SPICY TUNA ROLL	6.99
EEL AVOCADO ROLL	6.99
BOSTON ROLL	6.99
SHRIMP TEMPURA ROLL	6.99

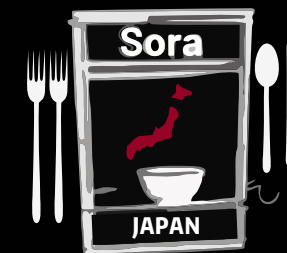


Denotes food items recooked to order or are served raw.
Consuming raw or undercooked animal products may increase your risk of foodborne illness.

SPECIAL ROLLS

SORI JAPAN ROLL	12.99
Inside: Shrimp Tempura, Cucumber	
Outside: Eel, Avocado, Sesame & Eel sauce	
GREEN DRAGON ROLL	12.99
Inside: Eel & Cucumber	
Outside: Avocado, Masago & Eel sauce	
*VOLCANO ROLL	12.99
Inside: Shrimp Tempura & Cucumber	
Outside: Spicy Tuna, Crunchy, Spicy mayo & Eel sauce	
*RAINBOW ROLL	12.99
Inside: Crab meat & Avocado	
Outside: Salmon, Tuna, Tilapia & Shrimp	
*ROCK & ROLL	12.99
Inside: Spicy Tuna & Crunchy	
Outside: Avocado, Masago, Spicy mayo & Eel sauce	
*RED BULL ROLL	12.99
Inside: Tuna & Avocado	
Outside: Salmon, Masago, Spicy mayo & Eel sauce	

2000,calories a day is used for general nutrition advice,
but calorie needs vary.Additional nutritional information
available upon request.



Sora

JAPAN

TERIYAKI & SUSHI EXPRESS



 (617)764-2586

 509 Broadway
Somerville,MA 02145

 Mon-Thur : 11:00AM-10:00 PM

Fri: 11:00AM-10:00 PM

Sat: 11:00AM-10:00 PM

Sun: 11:00AM-10:00 PM

Teriyaki & Sushi Express

TERIYAKI

SERVED WITH

• Steam Rice • Vegetable



CHICKEN 8.99



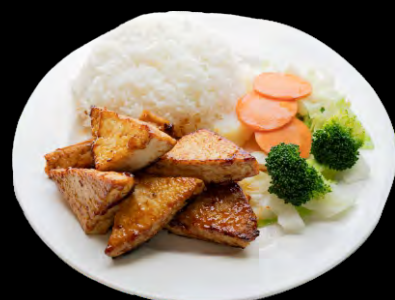
BEEF 9.99



SHRIMP 9.99



SALMON 9.99



TOFU 8.59



CHICKEN SHRIMP 10.99



BEEF SHRIMP 10.99

BENTO

SERVED WITH

• Steam Rice • Vegetable • 4pcs California • 3pcs Dumpling

CHICKEN BENTO 11.99

BEEF BENTO 12.99

SHRIMP BENTO 12.99

SALMON BENTO 13.59

TOFU BENTO 11.59

CHICKEN SHRIMP BENTO 13.99

BEEF SHRIMP BENTO 13.99

EXTRA BEEF +2.79

EXTRA CHICKEN +1.99

EXTRA SHRIMP +2.79

SUB FRIED RICE +0.59

SUB NOODLE +0.99



APPETIZER

SPRING ROLL (2) 2.49

MISO SOUP 2.99

SEAWEED SALAD 3.49

EDAMAME 3.49

CHICKEN DUMPLING (6) 5.99

SHRIMP TEMPURA (3) 5.99

MOCHI ICE CREAM (2) 5.99

VEGETABLE STEAM RICE 5.09

VEGETABLE NOODLE 5.99



BEVERAGE

CAN SODA 1.49

BOTTLED WATER 1.49

BOTTLED DRINK 2.79



LICENSING COMMISSION LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: AL24-000023

File #: 24-015927

Business Name: AYT Foods LLC

Application Type: Common Victualer (without alcohol)

Location: 719 Broadway

APPLICANT

Company Name: AYT Foods LLC

Business Address:

52 Packards Ln

Quincy, MA 02169

Business Ownership Type

LLC

Legal Name of the Proposed Licenseholder (Name of Corporation, LLC, Partnership/LLP, Trust, Sole Proprietor, Other)

AYT Foods LLC

Name

Alvin Pratama

Name

n/a

Name

n/a

Name

n/a

DBA Name

The Blue Elephant

In the last 5 years, have you been found guilty, liable, or responsible, in any judicial or administrative proceeding, for any violation of the City Wage Theft Ordinance or any State or Federal laws or regulations regulating the payment of wages?

No

Manager of your establishment

Alvin Pratama

Will you offer seating for the consumption of food on premises? (Food includes non-alcoholic beverages)

Yes

Number of floors on the premises

1

Name of floor (Basement, balcony, Main, 2nd floor, etc.)¹

Main

Number of rooms¹

4

Square footage¹

1392

Number of seats (enter 0 if you are not serving food on premises)¹

44

Square footage²

0

Number of entrances into the indoor premises

1

Number of exits from the indoor premises

3

Will you offer seating outdoors in season?	No
Number of rooms indoors	4
Total square footage indoors	1392
Total seating capacity indoors	44
Total square footage outdoors	0
Total seating capacity outdoors	0
Total seating capacity	44
Are you an Educational Institution?	No
Are you a Farmer Pourer?	No
Are you a Package Store?	No
Are you a Private Club?	No
Are you a Restaurant/Common Victualer?	Yes
Are you an Inn?	No
Days and hours of operation to serve food indoors	Monday - Friday: 11am - 3pm and 4:30pm - 9:30pm Saturday - Sunday: 11:30am - 9:30pm
Will you offer Entertainment indoors(recorded music, tvs, performers, djs, dancing, etc.)?	Yes
Describe the types of entertainment you will offer indoors	Recorded music playing through speakers
Will the entertainment indoors be accessible to all ages and all classes of the public?	Yes
Will you have entertainment devices indoors? (Stereos, TVs, movie screens, video games, etc.)	Yes
Describe the devices	Stereo speakers
# of Movie Theater Screens indoors new	0
# of Televisions indoors new	0
# of Audio Systems indoors new	1
# of Other Devices indoors new	0
Total Devices indoors	1
Will you have live performers indoors? (Musicians, comedians, actors, athletes, contests, DJs, etc.)	No
Will the patrons perform indoors? (dancing, darts, karaoke, etc.)	No
Will you offer Entertainment outdoors(recorded music, tvs, performers, djs, dancing, etc.)?	No
Describe any other businesses serving alcohol on the premises	None
Have you obtained an alcohol license before?	No
Have you ever had a license denied, revoked, or	No

suspended?

Have you ever received a Notice of Violation?

No

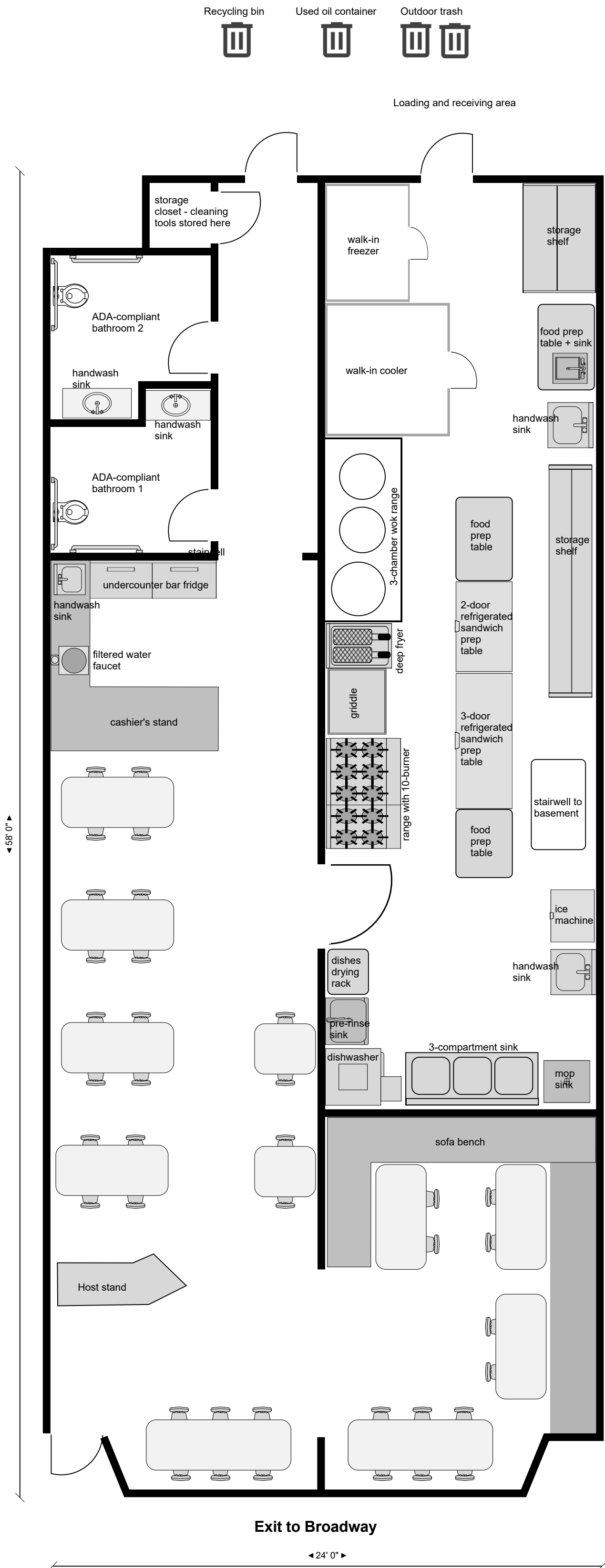
Describe your outreach to the Ward of Alderman and the neighborhood

We are a new Thai restaurant serving a wide selection of Thai and other Asian-inspired foods and beverages. Come and visit us to experience the Thai local delicacies. In addition to the popular Thai dishes (such as pad thai, curries, and fried rice), you can also find delicious menu items that are not commonly found in Thai restaurants in the Greater Boston area but are local favorites in Thailand. We cater to residents and college students in the Somerville, Cambridge, and Boston areas, and these are reflected in our affordable menu selections.

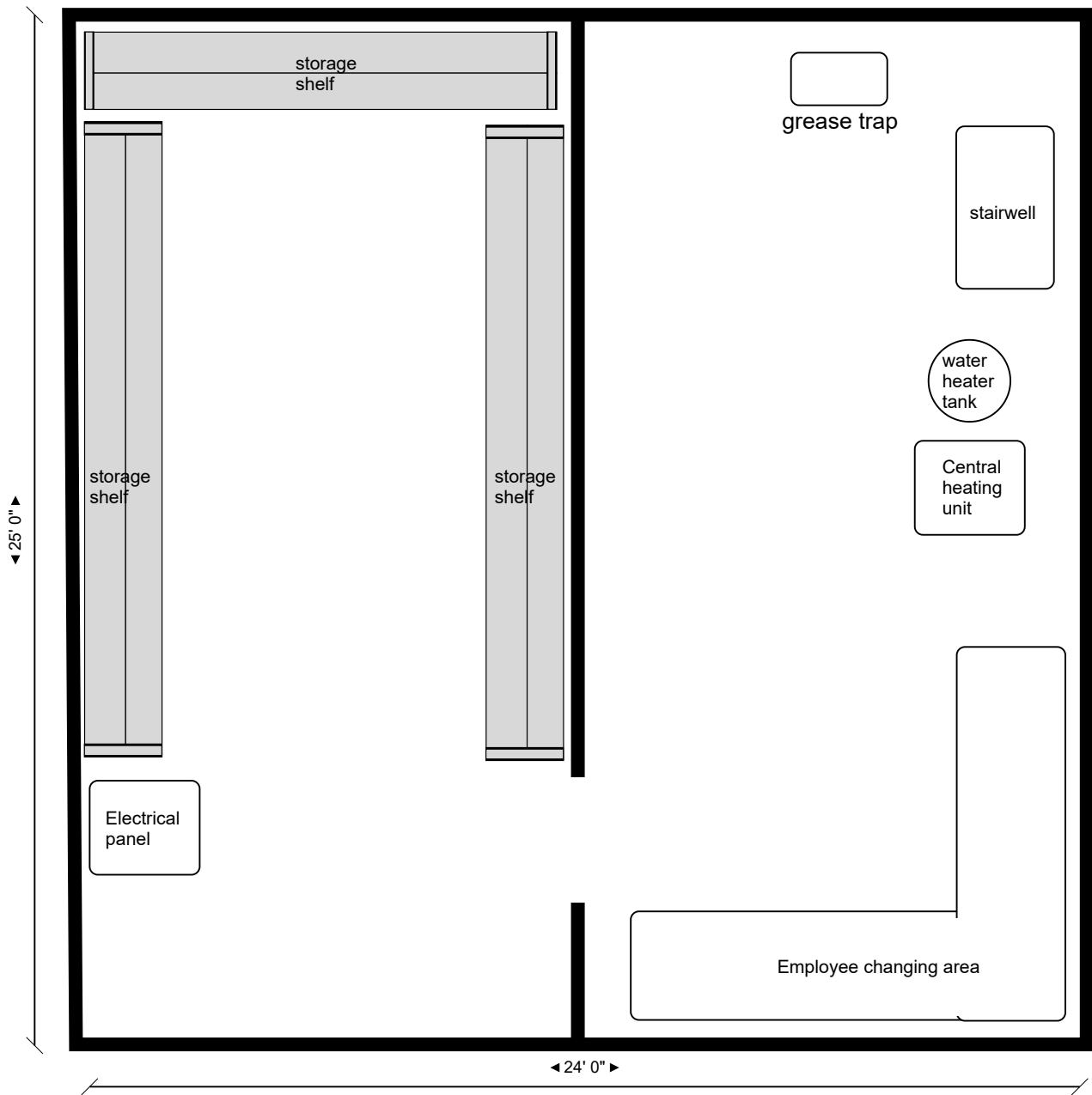
You must read and accept the above stated terms & conditions

Yes

Restaurant floor plan for 719 Broadway, Somerville, MA 02144



Basement floor plan



The Blue Elephant
719 Broadway, Somerville MA, 02144



Contact us for Takeout, Delivery, or Catering!

Phone: 617-717-8418

Order online at www.thaiblueelephant.com

Mon-Fri : 11:00am - 3:00pm // 4:30pm - 9:30pm

Sat-Sun : 11:00am - 9:30pm

Lunch Specials (served weekdays 11:00am - 3:00pm).

Make it a Lunch Combo! Add \$6 for a choice of Veggie Spring Roll, Crab Rangoon, Fried Tofu, Siu Mai, or Side Salad AND a can of Soda

\$10 minimum for credit card and electronic payments. No personal checks please.

\$25 minimum for Delivery order. A 15% delivery fee will be added

All prices are subject to 7% meal tax

Please inform your server of any food allergies before placing your order

Appetizers

Name	Key Ingredients	Price (\$)
Veggie Spring Rolls (with Sweet and Sour Sauce)	cabbage carrot scallion mushroom garlic	7
Pork Gyoza (with Soy Ginger Sauce)	pork cabbage garlic	7
Veggie Gyoza (with Soy Ginger Sauce)	cabbage peas carrot edamame garlic	7
Fried Tofu (with Sweet and Sour Sauce)		7
Edamame		6
Crab Rangoon (with Sweet and Sour Sauce)	crab crabstick cream cheese onion scallion	9
Har Kau (with Soy Ginger Sauce)	shrimp water chestnut garlic	7
Siu Mai (with Soy Ginger Sauce)	pork shrimp water chestnut garlic	7
Thai Samosa (with Sweet and Sour Sauce)	potato curry powder onion short crust	8
Fried Roti (with House Special Sauce)	flour curry paste coconut milk	7
Scallion Pancake (with Soy Ginger Sauce)	scallion flour	7
Chicken Satay (with Peanut Sauce)	chicken prik pao peanut sweet soy sauce	9
Moo Ping (Grilled Pork Skewers)	pork cilantro garlic pepper fish sauce	9
Blue Elephant Magic Sticks (with Sweet and Sour Sauce)	chicken glass noodle cabbage carrot	9
Hoi Jor (Fried Crab Rolls served with Sweet and Sour Sauce)	crab shrimp water chestnut garlic tofu skin	10
Pandan Chicken	chicken pepper cilantro garlic pandan leaf	9
Sai Oua (Northern Thai Sausage)	pork curry paste lime leaf cilantro	9

Soups

A choice of chicken, tofu, or veggie. Add shrimp \$2

Name	Key Ingredients	Price (\$)
Tom Yum	prik pao coconut milk cilantro galangal lemongrass lime leaf mushroom	6
Tom Kha	coconut milk galangal lemongrass lime leaf mushroom	6
Wonton Soup	pork wonton chicken broth bok choy	6
Gaeng Jued (Thai Veggie Soup)	chicken broth tofu scallion cilantro garlic carrot onion	6

Salads

Name	Key Ingredients	Price (\$)		
Blue Elephant Salad (with Sesame Soy Ginger Dressing)	spring mix cherry tomato carrot edamame avocado egg	10	Add Chicken	12
Gado Gado Salad (with Peanut Sauce)	spring mix potato green beans sprouts corn tofu egg	10	Add Chicken	12
Som Tum Corn Salad	corn cherry tomato carrot long bean	10	Add Shrimp	13
Thai Mint Salad (Ground Chicken / Pork)	mint lime shallots cilantro scallion fish sauce toasted rice	13		
Crying Tiger Salad (Grilled Chicken / Beef)	cilantro mint lime shallots scallion fish sauce toasted rice	14		

Stir-Fried Noodles

A choice of chicken, tofu, or veggie. Substitute beef or shrimp +\$3

Name	Key Ingredients	Price (\$)	Lunch Specials
Pad Thai	rice noodle chive bean sprouts peanut egg	14	12
Pad See Ew	wide rice noodle soy sauce egg gai lan carrot	14	12
Drunken Noodles *	wide rice noodle capsicum chili carrot bamboo broccoli thai basil	14	12
Crispy Rad Na	crispy noodle tao jiew gai lan tapioca starch garlic	15	12
Kua Gai	wide rice noodle egg tang chai lettuce scallion	14	12
Lo Mein Thai Basil (with Ground Chicken / Beef)	egg noodle thai basil capsicum onion	14	12

Lo Mein Garlic (with Ground Chicken / Beef)	egg noodle scallion onion carrot cabbage	14	12
Yakisoba	yellow noodle cabbage onion carrot scallion tonkatsu sauce	14	12

Soup Noodles

A choice of chicken, tofu, or veggie. Substitute beef or shrimp +\$3

Name	Key Ingredients	Price (\$)	Lunch Specials
Kway Teow Tom Yum	egg noodle prik pao cilantro galangal lemongrass lime leaf mushroom	14	12
Pho	rice noodle beef broth bean sprouts cilantro	14	12
Ramen	ramen noodle pork broth bok choy corn seaweed egg	14	12

Fried Rice

Name	Key Ingredients	Price (\$)
Crab Fried Rice	crab onion carrot peas scallion	20

A choice of chicken, tofu, or veggie. Substitute beef or shrimp +\$3

Name	Key Ingredients	Price (\$)	Lunch Specials
Street Fried Rice	egg carrot peas onion tomato	13	12
Pineapple Fried Rice	pineapple curry powder carrot peas onion scallion	14	12
Mango Fried Rice	mango carrot peas onion scallion	14	12
Basil Fried Rice *	thai basil capsicum onion	14	12
Tom Yum Fried Rice *	thai basil tomato mushroom capsicum lemongrass lime leaf	15	13
Green Curry Fried Rice *	thai basil capsicum bamboo eggplant peas	15	13

Stir-Fried Entrees

A choice of chicken, tofu, or veggie. Substitute beef or shrimp +\$3. Served with jasmine rice

Name	Key Ingredients	Price (\$)	Lunch Specials
Broccoli Lover	broccoli carrot mushroom	14	13
Ginger Sauce	ginger onion scallion capsicum mushroom carrot	15	13
Prik Khing *	prik pao long bean capsicum lime leaf	15	13
Cashew Nut	cashew onion capsicum carrot pineapple	15	13
Veggie Delight	broccoli cauliflower peas carrot capsicum	14	13
Pepper Garlic	garlic capsicum broccoli cauliflower carrot long bean mushroom p	15	13
Sweet and Sour	pineapple capsicum onion carrot tomato mushroom peas	15	13
Orange Sauce	orange garlic broccoli carrot	15	13
Thai Basil (with Ground Chicken / Pork) *	thai basil chili shallot capsicum	15	13
Spicy Basil *	onion basil capsicum mushroom	15	13

Curries

A choice of chicken, tofu, or veggie. Substitute beef or shrimp +\$3. Served with jasmine rice

Name	Key Ingredients	Price (\$)	Lunch Specials
Red Curry *	red chili capsicum carrot basil long bean thai eggplant bamboo	15	13
Green Curry *	green chili capsicum basil thai eggplant bamboo peas	15	13
Pineapple Curry *	pineapple red chili tamarind capsicum	15	13
Mango Curry *	mango red chili capsicum onion carrot peas	15	13
Massaman Curry *	potato onion carrot peanut	15	13
Avocado Curry *	avocado onion potato capsicum	16	14
Panang Curry *	red chili capsicum long bean lime leaf	16	14

Side Dishes

Name	Price (\$)
Jasmine Rice	3
Sticky Rice	3
Rice Noodle	4
Steamed Veggie	5
Side Salad	5
Fried Egg	2
Crispy Chicken	5
Extra Chicken / Tofu / Veggie	3
Extra Beef / Shrimp	5
Peanut Sauce	2
Sweet Chili Sauce	1

Desserts

Name	Price (\$)
Mango Sticky Rice	9
Fried Banana	7
Fried Ice Cream	7

Drinks

Name	Price (\$)
Thai Iced Tea / Coffee	5
Iced Butterfly Pea Flower Tea	6
Iced Crysanthemum Tea	5
Coconut Juice	6
Mango Juice	5
Lychee Juice	5
Hot Tea / Coffee	3
Sodas (Coke, Diet Coke, Sprite, Ginger Ale)	3
Bottled Water	2
Sparkling Water	4

Gluten-free options available for certain menu items. Please check with your server

Please inform your server of any food allergies before placing your order

*** Spiciness level can be adjusted upon request. * mild | ** medium | *** spicy | **** hot | ***** very hot**

LICENSING COMMISSION LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: AL24-000025

File #: 24-021349

Business Name: Gauchao Brazilian Cuisine

Application Type: Restaurant (with alcohol)

Location: 102 BROADWAY

APPLICANT

Company Name: Gauchao

Business Address:

102 Broadway

Somerville, MA 02145

Legal Name of the Proposed Licenseholder (Name of Corporation, LLC, Partnership/LLP, Trust, Sole Proprietor, Other)

H and P Restaurant Group LLC

DBA Name

Gauchao Brazilian Cuisine

In the last 5 years, have you been found guilty, liable, or responsible, in any judicial or administrative proceeding, for any violation of the City Wage Theft Ordinance or any State or Federal laws or regulations regulating the payment of wages?

No

Manager of your establishment

Rony Figueroa

Will you offer seating for the consumption of food on premises? (Food includes non-alcoholic beverages)

Yes

Number of floors on the premises

1

Name of floor (Basement, balcony, Main, 2nd floor, etc.)¹

Main

Number of rooms¹

1

Square footage¹

4144

Number of seats (enter 0 if you are not serving food on premises)¹

152

Square footage²

0

Use of Public Space Square Footage 150sqft or less

150

Use of Public Space Square Footage over 150sqft

437

Number of entrances into the indoor premises

2

Number of exits from the indoor premises

2

Will you offer seating outdoors in season?

On public property

Square footage outdoors on public property

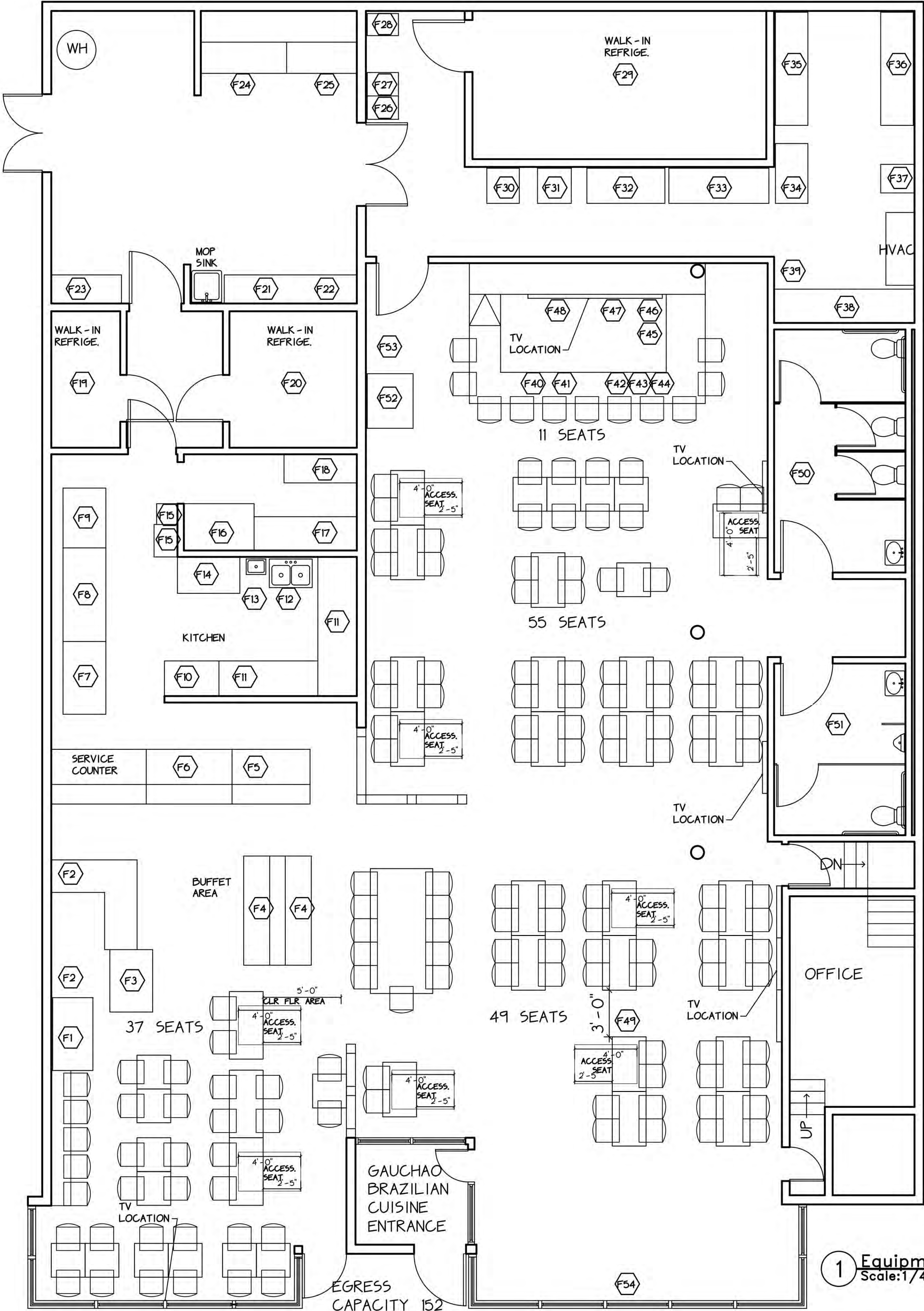
58

Are you installing any large tents (larger than 10' X 12')

No

Are you installing any domes or dome-like structures	No
Are you installing any barriers or perimeters around the outdoor seating	On public property
Number of seating areas bounded by barriers or perimeters on public property	48
Are you installing any heating elements	No
Number of rooms indoors	1
Total square footage indoors	4144
Total seating capacity indoors	152
Total square footage outdoors	58
Total seating capacity outdoors	0
Total seating capacity	152
Are you an Educational Institution?	No
Are you a Farmer Purer?	No
Are you a Package Store?	No
Are you a Private Club?	No
Are you a Restaurant/Common Victualer?	Yes
Are you an Inn?	No
Days and hours of operation to serve, sell or distribute alcohol indoors	Sun-Thurs: 10am-1am Fri-Sat: 10am-2am
Days and hours of operation to serve food indoors	Sun-Thurs: 10am-1am Fri-Sat: 10am-2am
Days and hours of operation to serve food outdoors on public property	Sun-Sat: 10am-10pm
Days and hours of operation to serve alcohol outdoors on public property	Sun-Sat: 10am-10pm
Will you offer Entertainment indoors(recorded music, tvs, performers, djs, dancing, etc.)?	Yes
Describe the types of entertainment you will offer indoors	Live music, 5 tv, audio system, screen projector
Will the entertainment indoors be accessible to all ages and all classes of the public?	Yes
Will you have entertainment devices indoors? (Stereos, TVs, movie screens, video games, etc.)	Yes
Describe the devices	5 tv, screen projector, audio system
# of Movie Theater Screens indoors new	0
# of Televisions indoors new	5
# of Audio Systems indoors new	1
# of Other Devices indoors new	1
Describe the other indoor devices	audio system

Total Devices indoors	7
Will you have live performers indoors? (Musicians, comedians, actors, athletes, contests, DJs, etc.)	Yes
Describe the entertainment by performers indoors	Live musician
# of stages or separate areas of entertainment indoors	1
Will the patrons perform indoors? (dancing, darts, karaoke, etc.)	No
Will you offer Entertainment outdoors(recorded music, tvs, performers, djs, dancing, etc.)?	On public property
Will the entertainment outdoors be accessible to all ages and all classes of the public?	Yes
Describe the types of entertainment you will offer outdoors on public property	recorded music
Will you have entertainment devices outdoors on public property? (Stereos, TVs, movie screens, video games, etc.)	Yes
# of Audio Systems outdoors on public property	1
Total Devices outdoors on public property	1.0
Will you have live performers outdoors on public property? (Musicians, comedians, actors, athletes, contests, DJs, etc.)	Yes
Describe the entertainment by performers outdoors on public property	Live musician
# of stages or separate areas of entertainment outdoors on public property	1
Describe any other businesses serving alcohol on the premises	none
Have you obtained an alcohol license before?	No
Have you ever had a license denied, revoked, or suspended?	No
Have you ever received a Notice of Violation?	No
Describe your outreach to the Ward of Alderman and the neighborhood	n/a
You must read and accept the above stated terms & conditions	Yes



Item No.	Equipment
F1	Two door display ref.
F2	Employee common area (coffee station/juice dispenser)
F3	Two door display ref. case
F4	Two cold buffet counters (5 sections each)
F5	Hot buffet counter (5 sections)
F6	Hot buffet counter (3 sections)
F7	Rotisserie
F8	Two six burner stoves
F9	Two fryolators
F10	Work-top refrigerator w/drawers
F11	Two prep tables
F12	Vegetable prep sink
F13	Hand sink
F14	Food warmer
F15	Rolling carts
F16	Two door up freezer
F17	Storage shelf
F18	Storage shelf
F19	Walk-in refrigerator
F20	Walk-in refrigerator
F21	Utility sink, chemicals storage shelf
F22	Freezer
F23	Dry storage shelf
F24	Dry storage shelf
F25	Freezer
F26	Mixer
F27	Employee locker area
F28	Ice Machine
F29	Large walk-in refrigerator

Item No.	Equipment
F30	Hand sink
F31	Prep sink
F32	Prep table
F33	Meat cutter
F34	Clean dish shelf
F35	Three-bay sink
F36	Automatic dishwasher
F37	Hand sink
F38	Clean dish shelf
F39	Shelf
F40	Hand sink
F41	Two ice bin w/soda gun
F42	Dump sink and blandar station
F43	Drainboard
F44	Dishwasher
F45	Beer tap
F46	Two door glass under counter refrigerator
F47	Two door glass under counter refrigerator
F48	Two door under counter freezer
F49	Seating area
F50	Women's restroom
F51	Men's restroom
F52	One door up freezer
F53	Shelf
F54	1 LED display screen module

ARCHITECT:

CENTREPOINT
ARCHITECTS

561 Windsor Street A404
Somerville, ma 02143 t:617.718.9707

DocuSigned by:



FE43A8AA8F814DE...

Cindy Larson MA Arch. Lic. 9899

Gauchao Brazilian
Cuisine

102 Broadway
Somerville, MA 02145

Seating/Equipment Plan

No.	ISSUE	DATE
01	Construction	09.03.2024

PROJECT #: 23121

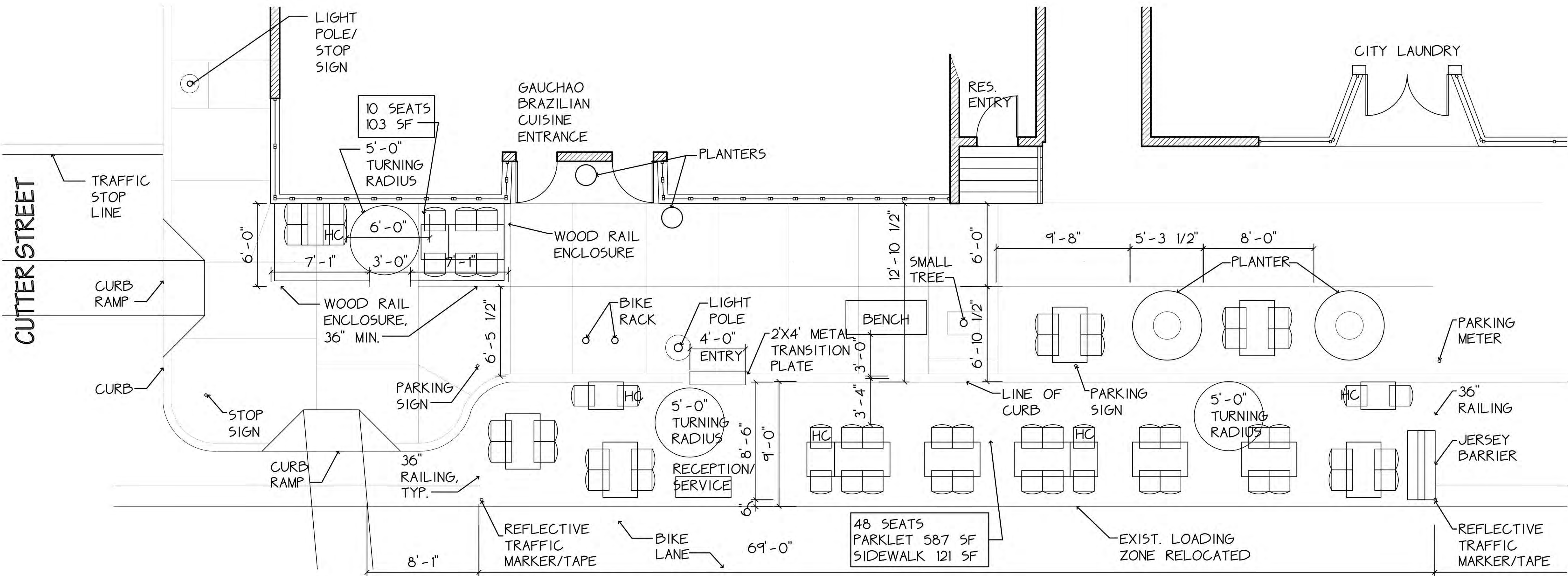
DRAWING TITLE:
Equipment/Seating Plan

A1

1 Equipment/Seating Plan
Scale: 1/4"=1'-0"

Engineering Approval
with Conditions

Niki Green
09/26/2024



PROPOSED OUTDOOR SEATING PLAN
152 INDOOR SEATS
58 PROPOSED OUTDOOR SEATS
10 SIDEWALK SEATS
BY BUILDING, 103 SF
8 SIDEWALK SEATS
NEXT TO PARKLET, 121 SF
(18 SIDEWALK SEATS, 224 SF TTL.)
40 PARKLET SEATS, 587 SF

NOTE: 2'X4' COVER PLATE OVER
EXISTING CURB FROM NEW
PLATFORM TO EXISTING
SIDEWALK. TRANSITION TO BE
1/4\"

1 Outdoor Seating Plan
Scale: 1/4" = 1'-0"

ARCHITECT:

CENTREPOINT
ARCHITECTS

561 Windsor Street A404
Somerville, ma 02143 t:617.718.9707

DocuSigned by:

FE43A8AA8F814DE...
cindy Larson MA Arch. Lic. 9899

Gauchao Brazilian
Cuisine

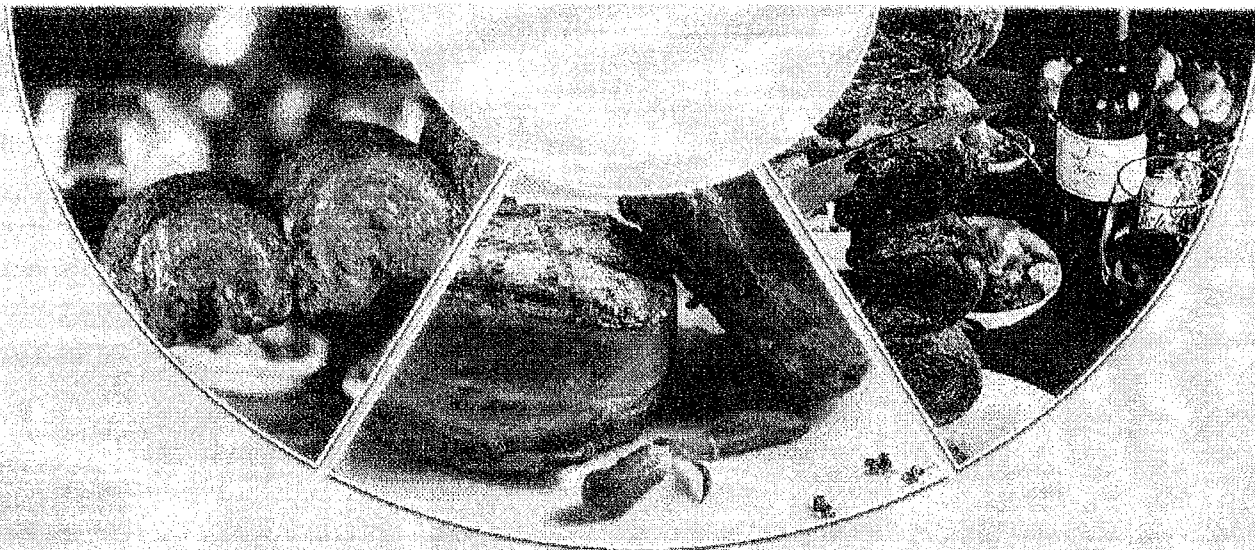
102 Broadway
Somerville, MA 02145

Seating/Equipment Plan		
No.	ISSUE	DATE
01	Construction	09.03.2024

PROJECT #: 23121

DRAWING TITLE:
Outdoor Seating Plan

A2



GAUCHÃO

BRAZILIAN CUISINE

MENU

Good Food, Good Taste, Good Mood.

OPEN HOURS

Sunday to Thursday 10:00 AM - 11:00 PM
Friday and Saturday 10:00 AM - 01:00 AM

DELIVER OR RESERVATION

617-625-6100

VISIT US

102 Broadway - Somerville,
MA 02145



@gauchaobrazilian

www.gauchaobrazilian.com



@GAUCHAOBOSTON

O MELHOR CHURASCO GAUCHO

TOP SIRLOIN COULOTTE *

Picanha

CHICKEN THIGH

Coxa de Frango

CHICKEN THIGH WITH BACON *

Coxa de Frango com Bacon

PORK SAUSAGE *

Linguiça de Porco

CHICKEN WINGS

Asa de Frango

BEEF RIBS *

Costela de Boi

LEG OF LAMB *

Carneiro

CHICKEN SAUSAGE

Linguiça de Frango

TOP SIRLOIN CAP *

Alcatra

LAMB CHOPS *

Costela de Carneiro

RIBEYE *

Contra Filé

FLAT MEAT *

Fraldinha

CHICKEN HEART

Coração do Frango

BRISKET *

Maça de Peito

PORK BUTT *

Pernil de Porco

GARLIC BEEF *

File ao Alho



BBQ COOKED WITH CHARCOAL

Reminder: Consuming raw or undercooked meat, poultry, seafood, shellfish or eggs may increase risk of food borne illness. Before placing your order please inform your server if a person in your party has a food allergy.

ALL YOU CAN EAT RODIZIO

SEGUNDA A
SEXTA
MONDAY-FRIDAY

SALAD BAR..... \$24.99

ALMOÇO..... \$39.99
lunch

JANTAR..... \$44.99
Dinner

KIDS FROM 5 YEARS
OLD TO 12 YEARS.
\$19.00

SATURDAY & SUNDAY

SABADO & DOMINGO

PRICE VALID FOR DINNER, WEEKENDS
AND HOLIDAYS

\$44.99

SELF SERVICE

MEAT ONLY

\$18.99

PER POUND POR LIBRA

\$12.99

PER POUND POR LIBRA

+TAX

BEVERAGES

-bebidas-

SODA (Coca-Cola, Sprite, Fanta, Ginger Ale)	\$1.99
GATORADE	\$3.99
RED BULL	\$3.99
MONSTER	\$3.99
AGUA POLAND SPRING Poland Spring Water	\$1.99
AGUA FIJI Fiji Water	\$3.99
AGUA DE COCO Coconut Water	\$1.99
GUARANA ANTARTICA	\$1.99
AGUA SPARKLING Sprakling Water	\$2.49

JUICES

-sucos-

CASWEW Cajii	\$3.99
PASSION FRUIT Maracujá	\$3.99
NATURAL ORANGE Laranja Natural	\$6.50
Warning: This product has not been pasteurized and, therefore, may contain harmful bacteria that can cause serious illness in children the elderly, and persons with weakened immune systems.	
VIRGIN PIÑA COLADA Piña colada Virgen	\$8.00
WATERMELON FRESCA Melancia	\$6.50
LEMONADE Limonada	\$6.50
STAWBERRY LEMONADE Limonada de Morango	\$7.50
PINEAPPLE Abacaxi	\$6.50
PINEAPPLE WITH MINT Abacaxi Hortela	\$6.50
ACAI Abacaxi Hortela	\$6.50

HOT COFFEE

AMERICANO SMALL	\$3.00
AMERICANO LARGE	\$4.50
LATTE	\$4.00
CAPPUCCINO	\$4.00
ESPRESSO	\$3.50
HOT CHOCOLATE	\$3.50

SHAKES

BANANA	\$8.99
STRAWBERRY	\$8.99
ACAI	\$8.99
MANGO	\$8.99
VAINILLA	\$8.99

BAR APPETIZERS

porcoes

LAMB CHOPS..... \$ 29.99
Costela de Carneiro

CHICKEN WINGS..... \$ 12.99 \$ 15.99
(7 pieces) (10 pieces)

BUFFALO WINGS..... \$ 12.99
(7 pieces)

CHICKEN FINGERS..... \$ 12.99
(5 pieces)

TOP SIRLOIN CAP..... \$ 13.99 \$ 17.99
With fries or Cassava (8 oz) (12 oz)

CASSAVA..... \$ 15.99
With Bacon & Sausage

FILET MIGNON..... \$ 24.99 \$ 29.99
With Fries or Cassava (8 oz) (12 oz)

X-SALAD BURGER..... \$ 12.99
Cheese, Lettuce, Tomato and Mayonnaise with Fries

X- GAUCHAO BURGER..... \$ 14.99
Top Sirloin, Cheese, Lettuce, Tomato and Mayonnaise with Fries

X-EGG BURGER..... \$ 12.99
Cheese, Lettuce Mayonnaise and Egg with fries.

BRAZILIAN CHICKEN CROQUETTES (coxinha)..... \$ 14.99
(10 pieces)

CHEESE BREAD (Pão de queijo)..... \$ 14.99
(10 pieces)

O MELHOR CHURASCO GAUCHO

TOP SIRLOIN COULOTTE *
Picanha

CHICKEN THIGH
Coto de Frango

CHICKEN THIGH WITH BACON *
Coto de Frango com Bacon

PORK SAUSAGE *
Linguiça de Porco

CHICKEN WINGS
Asa de Frango

BEEF RIBS *
Costela de Boi

LEG OF LAMB *
Cordeiro

CHICKEN SAUSAGE
Linguiça de Frango

TOP SIRLOIN CAP *
Alcatra

LAMB CHOPS *
Costela de Carneiro

RIBEYE *
Costa Frita

FLAT MEAT *
Fraldinha

CHICKEN HEART
Coração de Frango

BREKET *
Maco de Peito

PORK BUTT *
Pernil de Porco

GARLIC BEEF *
File de Alho

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(lunch)

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\$ 19.00

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SUNDAY**

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MEAT ONLY

\$18.99

PER POUND PER LIBRA

\$12.99

PER POUND PER LIBRA

+TAX

BRAZILIAN CODFISH BALLS..... \$ 12.99
Bolinho de Bacalhau (8 Pieces)

FRIED CALAMARI..... \$ 12.99
(10 Pieces)

FRIED SHRIMP..... \$ 12.99
(7 Pieces)

TILAPIA FILET..... \$ 14.99

SHRIMP WITH GARLIC AND OIL..... \$ 16.99
Camarão Alho e Óleo

BOTTLE BEERS

CORONA	\$ 5.99
CORONITA	\$ 5.99
BUDWEISER	\$ 5.99
BUD LIGHT	\$ 5.99
STELLA ARTOIS	\$ 5.99
ITAIPAVA	\$ 5.99
MODELO ESPECIAL	\$ 5.99
ASMTL LIGHT	\$ 5.99
HEINEKEN	\$ 5.99
SAM ADAMS	\$ 5.99
PERONI	\$ 5.99
GAUCHAO'S BUCKET	\$ 28.00
BRAHMA	\$ 5.99

RED WHINES

	GLASS	BOTTLE
CABERNET SAUVIGNON <i>Trantera 2014</i>	\$ 10	\$ 35
MALBEC, ARGENTINA <i>Trivento 2018</i>	\$ 12	\$ 40
MERLOT, CALIFORNIA <i>Woodbridge 2018</i>	\$ 10	\$ 35
RIO GRANDE (SWEET) <i>(Brazilian Wine)</i>	\$ 8	\$ 30
TOSCANA ROSSO	\$ 10	\$ 35
PINOT NOIR	\$ 10	\$ 35
CHIANTI	\$ 10	\$ 35

WHITE WINES

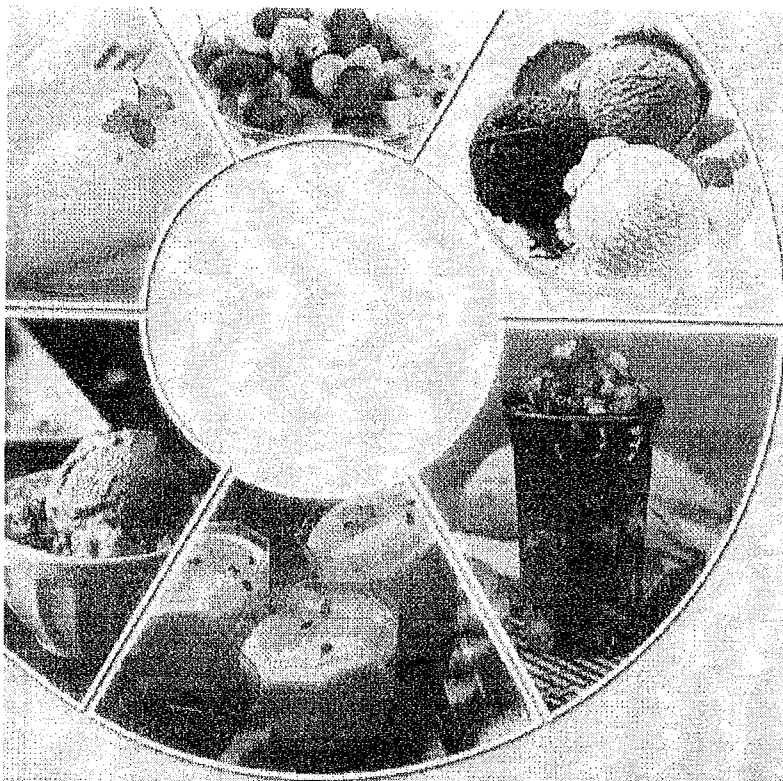
	GLASS	BOTTLE
ROSE	\$ 8	\$ 30
TOSCANA BIANCA	\$ 8	\$ 30
CHARDONNAY <i>Kim Crawford 2016</i>	\$ 13	\$ 48
MOSCATO, ARGENTINA <i>Trapiche 2018</i>	\$ 9	\$ 35
SAUVIGNON, BLANC, CHILE <i>Mondavi 2018</i>	\$ 10	\$ 40
PINOT GRIGIO, CALIFORNIA <i>Casillero del Diablo 2018</i>	\$ 12	\$ 43
PROSECCO, RUFFINO	\$ 12	\$ 43

DRAUGHT BEERS

MODELO	\$ 4.99
BUDLIGHT	\$ 4.99
BLUE MOON	\$ 4.99
STELLA ARTOIS	\$ 4.99
SAM ADAMS SEASONAL	\$ 4.99
HEINEKEN	\$ 4.99

COCKTAILS

TEQUILA SUNRISE <i>Orange, Juice, Cherry, Slice orange, Grenadine</i>	\$ 14
CAIPIRINHA <i>Brazil's national cocktail (Cachaça) Original</i>	\$ 10
CAIPIROSKA <i>Vodka, Original Passion Fruit or Strawberry</i>	\$ 12
BLUE LONG ISLAND <i>Blue curacao, Gin, Vodka, Sweet, Lemon</i>	\$ 14
CAIPIVINHO <i>Sweet Wine Caipirinha</i>	\$ 12
MAI TAI <i>Captain Morgan and Bacardi, Pineapple Juice, Orange Juice and Grenadine</i>	\$ 14
MOJITO RUM <i>Mint, Lime Juice and Soda Water and Simple Syrup</i>	\$ 12
RASPBERRY LEMON DROP MARTINI WITH CHAMBORD <i>Vodka, Chambord, lemon juice</i>	\$ 14
PIÑA COLADA <i>Rum and house made Colada</i>	\$ 12
HOUSE CORONITA <i>Frozen Margarita with Corona</i>	\$ 14
LONG ISLAND ICED TEA <i>House Vodka, Tequila, Gin, Whisky</i>	\$ 12
BLUE BULLDOG MARGARITA <i>Tequila, Blue, Lime juice, Coronita</i>	\$ 16
MIMOSA <i>Ruffino Prosecco and Orange Juice</i>	\$ 14
MARGARITA TEQUILA <i>Lime Juice, House Tequila</i>	\$ 12
NEGRONI <i>Gin, sweet vermouth, Campari</i>	\$ 14
MANGO STRAWBERRY	\$ 14
GIN TROPICAL <i>Tanqueray London Dry Gin, Tropical Red Bull and Star Anise</i>	\$ 14
BLUE HAWAIIAN RUN <i>Blue Curacao, Pineapple Juice and Cream of Coconut</i>	\$ 12
PEANUT BUTTER CINNAMON TOAST CRUNCH	\$ 16
OLD FASHIONED <i>With Screwball</i>	\$ 12
SEX ON THE BEACH <i>Vodka, Peach, Orange and Cranberry Juice</i>	\$ 12
COCONUT MARGARITA <i>1800 Tequila & Coconut Cream</i>	\$ 12



DESSERTS SOBREMESAS

-postres-

FLAN
Pudin

CORN GRUEL
Mingau de Milho

PASSION FRUIT MOUSSE
Mousse de Maracujá

SWEET RICE
Arroz Doce

PINEAPPLE CREAM
Creme de Abacaxi

CHEESECAKE
Tarta de Queso

THREE MILK CAKE
Bolo Tres Leites

\$ 6.00

ICE CREAM

-helado-

VANILLA

STRAWBERRY

CHOCOLATE

\$ 3.00

ACAI CUP

20 oz. \$ 16

24 oz. \$ 18

32 oz. \$ 21

BOWL

24 oz. \$ 18

32 oz. \$ 21

48 oz. \$ 29

FRUITS

STRAWBERRY

BANANA

GRAPE

KIWI

OPTIONS

KIT KAT

PAGODA

CONDENSED MILK

POWERED MILK

HONEY

OREO

NUTELLA

GRANULATED

M & M

PUBLIC EVENT/SPECIAL ALCOHOL LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: PEL24-000246

File #: 22-000078

Application for: Special Alcohol, Wine Only

Organization name: Somerville Historical Society dba
Somerville Museum

Description: Opening reception for exhibit

Date(s): January 16th, 2025 from 6PM - 8PM

Setup starts at (time): 4pm

Cleanup after the event ends at (time): 8:30pm

Entertainment: Opening ceremony performed by Buddhist
Priest, Samanta Bajracharya.

Attendees:

Max attendance at one time: 40

Maximum attendees accommodated: 100

Attendee fees or suggested donations: \$8; free to
museum members

Social or cultural benefits:

The Art of the Festival features photographs, cultural
artifacts, and works of fine art and popular culture that tell
the story of the largest festival of the Kathmandu Valley.
The exhibit is a collaborative creation and includes stories
of people in the Somerville area who share their memories
and objects that hold special meaning in connection with
Nepalese festivities.

Event Contact: Laidy Saenz

Alcohol service begins at: 6PM

Event name: Art of the Festival opening reception

Location: Opening reception for the Art of the Festival
exhibit to be held at the Somerville Museum

Rain date(s): not applicable

Event starts at (time): 6pm

Event ends at (time): 8pm

Temporary Structures: none

Total people attending: 100

Total Somerville residents attending: 80

What is your budget for this event: 300

Financial benefits:

Attendees contribute to the Museum's operating expenses
via \$8 entrance fee

Event Contact Phone:

Alcohol service ends at: 8PM

Event Information	Yes/No	If yes, Describe
Open to the public?	Yes	
Food served?	Yes	packaged baked goods
Caterer used?	No	
Alcohol served?	Yes	Alcohol to be served: Wine Only, Indoors At the Museum galleries
Grill/open-flame device used?	No	
Streets blocked?	No	
Sidewalks blocked?	No	
Describe any accessibility features available to attendees/participants		Elevator access to gallery spaces

Arrangements:

Police Detail:	No	
Parking (for Attendees)?	No	
Restrooms?	No	
Liability Insurance?	Yes	The Museum holds liability insurance
Will any public parks be used?	No	
Has the event occurred in the last two years?	Yes	It has taken place for other museum exhibit opening receptions

Approval Conditions:

PUBLIC EVENT/SPECIAL ALCOHOL LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: PEL24-000248

File #: 23-020485

Application for: Special Alcohol, Wine and Malt

Organization name: Downeast Cider

Description: 10 foot converted shipping container opens up to Club VOLO (formerly known as 'The Park') as well as The Lawn at Assembly Row. Serving Downeast products and one draft beer. Hours match VOLO league times. Earliest open time is 12pm and latest we will be open is 11pm with a 10:30pm last call.

Date(s): 10/30 - 11/27

Setup starts at (time): 11:00 AM (earliest)

Cleanup after the event ends at (time): 11:30 PM (latest)

Entertainment: VOLO league games + VOLO pick-up games, performances + music on The Lawn and within Club VOLO.

Attendees:

Max attendance at one time: 175

Maximum attendees accommodated: 250

Attendee fees or suggested donations: N/A

Social or cultural benefits:

Creating an outdoor cider garden/seating area for people to gather as friends or community to further enjoy The Lawn + the outdoors where there was otherwise just a couple Adirondack chairs

Event Contact: Roisin Gilligan

Alcohol service begins at: 12:00 PM (earliest)

Event name: Downeast @ Assembly Row by Club VOLO

Location: 10 foot converted shipping container opens up to Club VOLO (formerly known as 'The Park') as well as The Lawn at Assembly Row. Hours match VOLO league times. Earliest open time is 12pm and latest we will be open is 11pm with a 10:30pm last call.

Rain date(s): N/A

Event starts at (time): 12:00 PM (earliest)

Event ends at (time): 11:00 PM (latest)

Temporary Structures: (2) 10 foot converted shipping containers (one to serve from and one for storage).

Total people attending: 2-3k (total over month)

Total Somerville residents attending: 50+ daily

What is your budget for this event: \$50k

Financial benefits:

Driving foot traffic to Assembly Row retail + restaurants

Event Contact Phone:

Alcohol service ends at: 11pm (latest)

Event Information	Yes/No	If yes, Describe
Open to the public?	Yes	Email newsletter (15k subscribers), social media following 65k+
Food served?	No	
Caterer used?		
Alcohol served?	Yes	Alcohol to be served: Wine and Malt, Outdoors 10 foot converted shipping container opens up to Club VOLO (formerly known as 'The Park') as well as The Lawn at Assembly Row. Serving Downeast products and one draft beer. Hours match VOLO league times. Earliest open time is 12pm and latest we will be open is 11pm with a 10:30pm last call.

Grill/open-flame device used?	No	
Streets blocked?	No	
Sidewalks blocked?	No	
Describe any accessibility features available to attendees/participants		ADA Compliant seating/ "bar top," + handicap accessible porta-potty
Arrangements:		
Police Detail:	No	
Parking (for Attendees)?	No	
Restrooms?	Yes	Porto Potties provided by VOLO
Liability Insurance?	Yes	Commercial general liability + Liquor Liability provided + paid for by Downeast
Will any public parks be used?	No	
Has the event occurred in the last two years?	Yes	July - November of 2023 + April 2024 - Present (so far)

Approval Conditions: