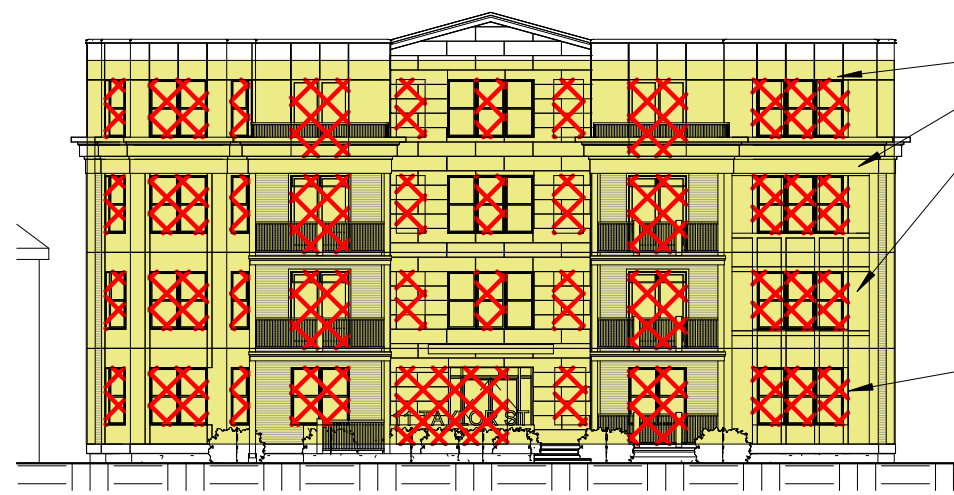


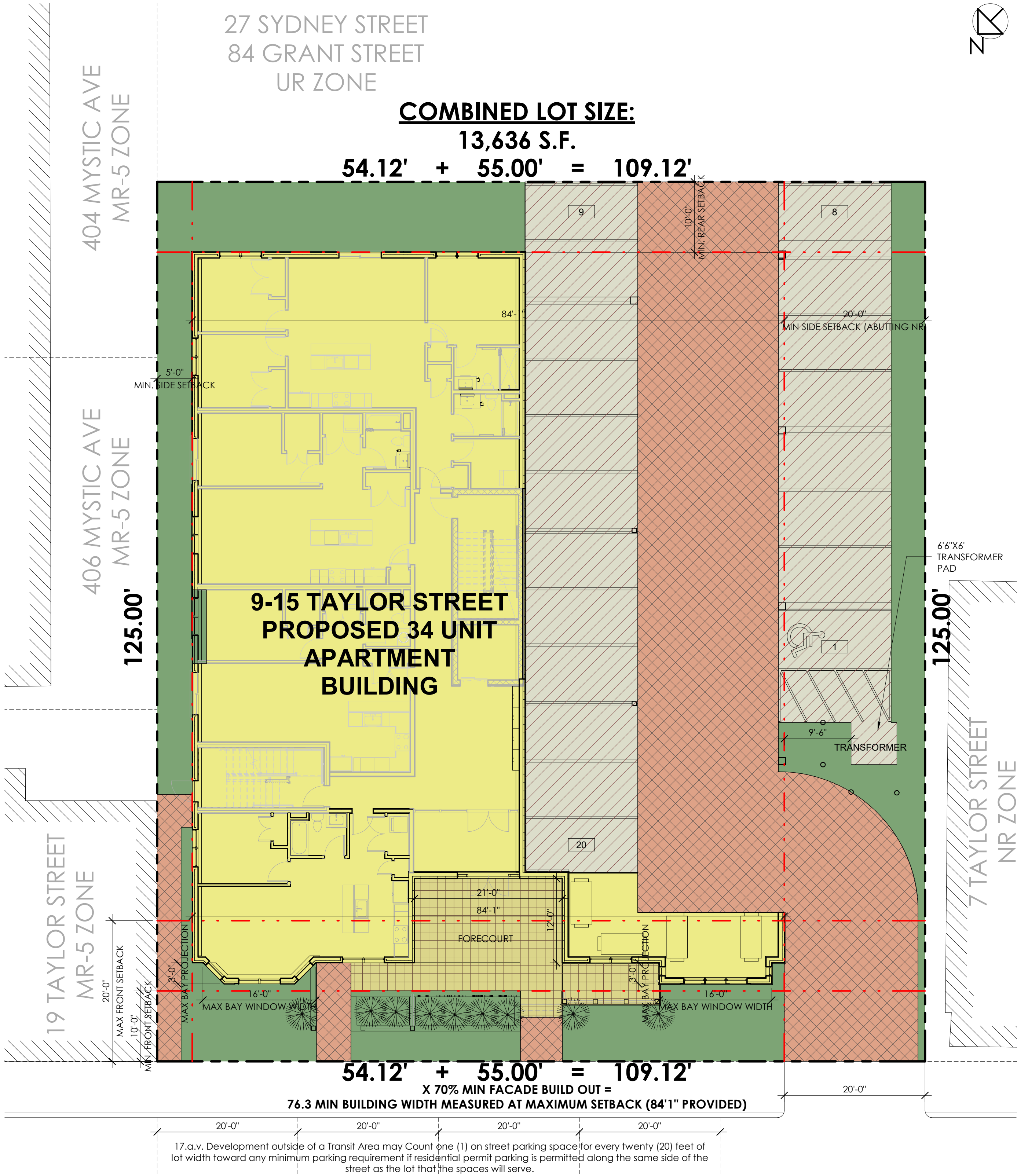
ZONING DIMENSIONAL TABLE			
13,636 S.F. LOT	ALLOWED / REQUIRED	PROPOSED	COMPLIANCE
ZONE	UR ZONE		
BUILDING TYPE		APARTMENT BUILDING	COMPLIES
LOT DIMENSIONS			
LOT SIZE	N/A	PROPOSED: ±13,636 SF	N/A
LOT WIDTH (MIN.)	58 FT W/ FRONT DRIVEWAY	±109.12	COMPLIES
LOT DEPTH (MIN.)	90 FT	±125'-0"	COMPLIES
LOT DEVELOPMENT			
LOT COVERAGE (MAX.)	65% / 8,863 SF	60.5% (8,257 SF)	COMPLIES
GREEN SCORE			RE: LANDSCAPE PLANS
MINIMUM	0.35		
IDEAL	0.40		
BUILDING SETBACKS			
FRONT (MIN. / MAX.)	10 FT / 20 FT	±10 FT	COMPLIES
SIDE SETBACK: LEFT (ABUTTING MR5)	5 FT	5 FT	COMPLIES
SIDE SETBACK: RIGHT (ABUTTING NR)	20 FT	20 FT	
REAR SETBACK (MIN.)	10 FT	10 FT	COMPLIES
BUILDING SEPERATION (MIN.)	N/A	N/A	N/A
PARKING SETBACKS			
PRIMARY FRONT SETBACK (MIN.)	20 FT	±20 FT	COMPLIES
SECONDARY FRONT SETBACK (MIN.)	N/A	N/A	N/A
MAIN MASSING			
FACADE BUILD OUT (MIN.)	70% (76.3 FT)	77% (84.16'/109.12')	COMPLIES
FLOOR PLATE (MAX) W/ FORECOURT	16,000	±8,291	COMPLIES
FLOOR PLATE (MAX) W/OUT FORECOURT	7,000	N/A	N/A
GROUND STORY ELEVATION (MIN.)	2 FT	2'	COMPLIES
STORY HEIGHT (MIN. / MAX.)	10 FT / 12 FT	11'	COMPLIES
NUMBER OF STORIES (MAX.)	2 MIN / 4 MAX	4	COMPLIES
ROOF TYPE	FLAT, MANSARD	FLAT	COMPLIES
FACADE COMPOSITION			
GROUND STORY FENESTRATION (MIN. / MAX.)	15% / 50%	32.5% (SEE DIAGRAM BELOW)	COMPLIES
UPPER STORY FENESTRATION (MIN. / MAX.)	15% / 50%	26.4% (SEE DIAGRAM BELOW)	COMPLIES
USE & OCCUPANCY			
DENSITY			
BASE	1,125 S.F. PER DU	26 ALLOWED	N/A
NET ZERO READY	875 S.F. PER DU	34 ALLOWED	34 UNITS SHOWN
OUTDOOR AMENITY SPACE (MIN.)	1 / DU	COMMON ROOF DECK	COMPLIES
REQUIRED ADU'S	20%	20%	COMPLIES
PARKING REQUIREMENTS (OUTSIDE OF A WALKSHED)			
BICYCLE			
SHORT-TERM	NO MIN.	NONE	COMPLIES
LONG -TERM	NO MIN.	NONE	COMPLIES
MOTOR VEHICLE	1 SPACE PER DU (MIN)	24 SPACES SHOWN 4 STREET 20 SURFACE	SPECIAL PERMIT REQUIRED



3 Taylor Street Fenestration
1" = 20'-0"

2ND-4TH FLOORS:
FACADE: 925 S.F.
FENESTRATION: 245 S.F.
26.4%

1ST FLOOR:
FACADE: 925 S.F.
FENESTRATION: 301 S.F.
32.5%



TAYLOR STREET

LEGEND		GROUND COVERAGE
	PERVIOUS PAVERS	0 S.F. (3,033 s.f. @ 0% RC)
	GROUND COVERAGE: BUILDING	4,942 S.F.
	GROUND COVERAGE: FORECOURT, PORCH & RAMP	477 S.F.
	GROUND COVERAGE: IMPERVIOUS SURFACE	2,838 S.F.
		8,257 GROUND COVERAGE / 13,636 S.F. LOT = (60.5%)
	GREEN SPACE	
	PROPERTY LINE	
	SETBACK LINE	

PROJECT NAME

9-15 Taylor

PROJECT ADDRESS

9 & 15 Taylor Street
Somerville, MA

CLIENT

Garrett Construction

ARCHITECT



KHALSA

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX:
617-591-2086

CONSULTANTS:

COPYRIGHT KDI © 2023
THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN INC. USE OF THESE PLANS OR ANY
FORM OF REPRODUCTION OF THIS DESIGN
IN WHOLE OR IN PART WITHOUT EXPRESS
WRITTEN CONSENT IS PROHIBITED AND
SHALL RESULT IN THE FULLEST EXTENT
OF PROSECUTION UNDER LAW

REGISTRATION

NOT FOR CONSTRUCTION

Project number	21030
Date	11/16/2023
Drawn by	ERS
Checked by	ES
Scale	As indicated

REVISIONS

No.	Description	Date

Architectural Site
Plan

A-020

9-15 Taylor

GROSS FLOOR AREA



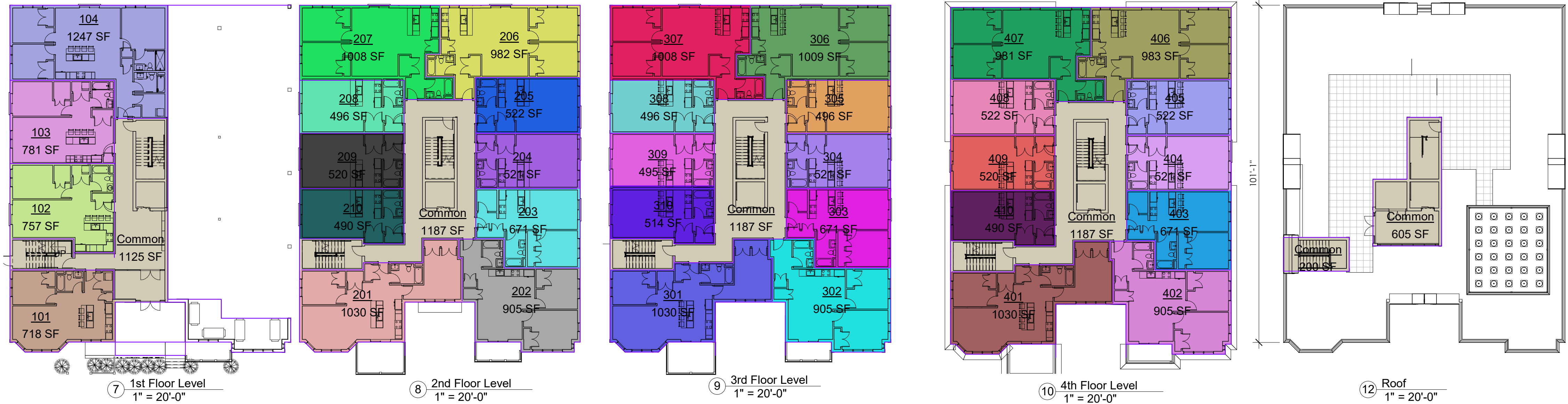
Gross Floor Area		
Area	Level	Name

GFA - RESIDENTIAL		
4623 SF	1st Floor Level	GFA - RESIDENTIAL
8331 SF	2nd Floor Level	GFA - RESIDENTIAL
8331 SF	3rd Floor Level	GFA - RESIDENTIAL
8331 SF	4th Floor Level	GFA - RESIDENTIAL
804 SF	Roof	GFA - RESIDENTIAL
30420 SF		
30420 SF		

/ 1125 S.F. PER DU (BASE DENSITY) = 24 UNITS
/ 875 S.F. PER DU (NET ZERO READY DENSITY) = 34 UNITS

10.11.1.A: NEW CONSTRUCTION OR MODIFICATION OF ANY PRINCIPAL BUILDING TYPE GREATER THAN TWENTY FIVE THOUSAND (25,000) SQUARE FEET IN GROSS FLOOR AREA MUST BE LEED GOLD CERTIFIABLE

UNIT & COMMON AREAS



Area Schedule (Leasable)		
Name	Level	Area
101	1st Floor Level	718 SF
102	1st Floor Level	757 SF
103	1st Floor Level	781 SF
104	1st Floor Level	1247 SF
		3503 SF

Area Schedule (Leasable)		
Name	Level	Area
201	2nd Floor Level	1030 SF
202	2nd Floor Level	905 SF
203	2nd Floor Level	671 SF
204	2nd Floor Level	521 SF
205	2nd Floor Level	522 SF
206	2nd Floor Level	982 SF
207	2nd Floor Level	1008 SF
208	2nd Floor Level	496 SF
209	2nd Floor Level	520 SF
210	2nd Floor Level	490 SF
		7144 SF

Area Schedule (Leasable)		
Name	Level	Area
301	3rd Floor Level	1030 SF
302	3rd Floor Level	905 SF
303	3rd Floor Level	671 SF
304	3rd Floor Level	521 SF
305	3rd Floor Level	496 SF
306	3rd Floor Level	1009 SF
307	3rd Floor Level	1008 SF
308	3rd Floor Level	496 SF
309	3rd Floor Level	495 SF
310	3rd Floor Level	514 SF
		7144 SF

Area Schedule (Leasable)		
Name	Level	Area
401	4th Floor Level	1030 SF
402	4th Floor Level	905 SF
403	4th Floor Level	671 SF
404	4th Floor Level	521 SF
405	4th Floor Level	522 SF
406	4th Floor Level	983 SF
407	4th Floor Level	981 SF
408	4th Floor Level	522 SF
409	4th Floor Level	520 SF
410	4th Floor Level	490 SF
		7144 SF
		24935 SF

Area Schedule (Non-leasable)		
Name	Level	Area
Common	1st Floor Level	1125 SF
		1125 SF

Area Schedule (Non-leasable)		
Name	Level	Area
Common	2nd Floor Level	1187 SF
		1187 SF

Area Schedule (Non-leasable)		
Name	Level	Area
Common	3rd Floor Level	1187 SF
		1187 SF

Area Schedule (Non-leasable)		
Name	Level	Area
Common	4th Floor Level	1187 SF
		1187 SF

Area Schedule (Non-leasable)		
Name	Level	Area
Common	Roof	605 SF
Common	Roof	200 SF
		805 SF
		5491 SF

PROJECT NAME

9-15 Taylor

PROJECT ADDRESS

9 & 15 Taylor Street
Somerville, MA

CLIENT

Garrett Construction

ARCHITECT



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX:
617-591-2086

CONSULTANTS:

COPYRIGHT KDI © 2023
THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN INC. USE OF THESE PLANS OR ANY
FORM OF REPRODUCTION OF THIS DESIGN
IN WHOLE OR IN PART WITHOUT EXPRESS
WRITTEN CONSENT IS PROHIBITED AND
SHALL RESULT IN THE FULLEST EXTENT
OF PROSECUTION UNDER LAW

REGISTRATION

NOT FOR CONSTRUCTION

Project number	21030
Date	11/16/2023
Drawn by	ES
Checked by	ES
Scale	1" = 20'-0"







REVISIONS

No.	Description	Date



Area Plans

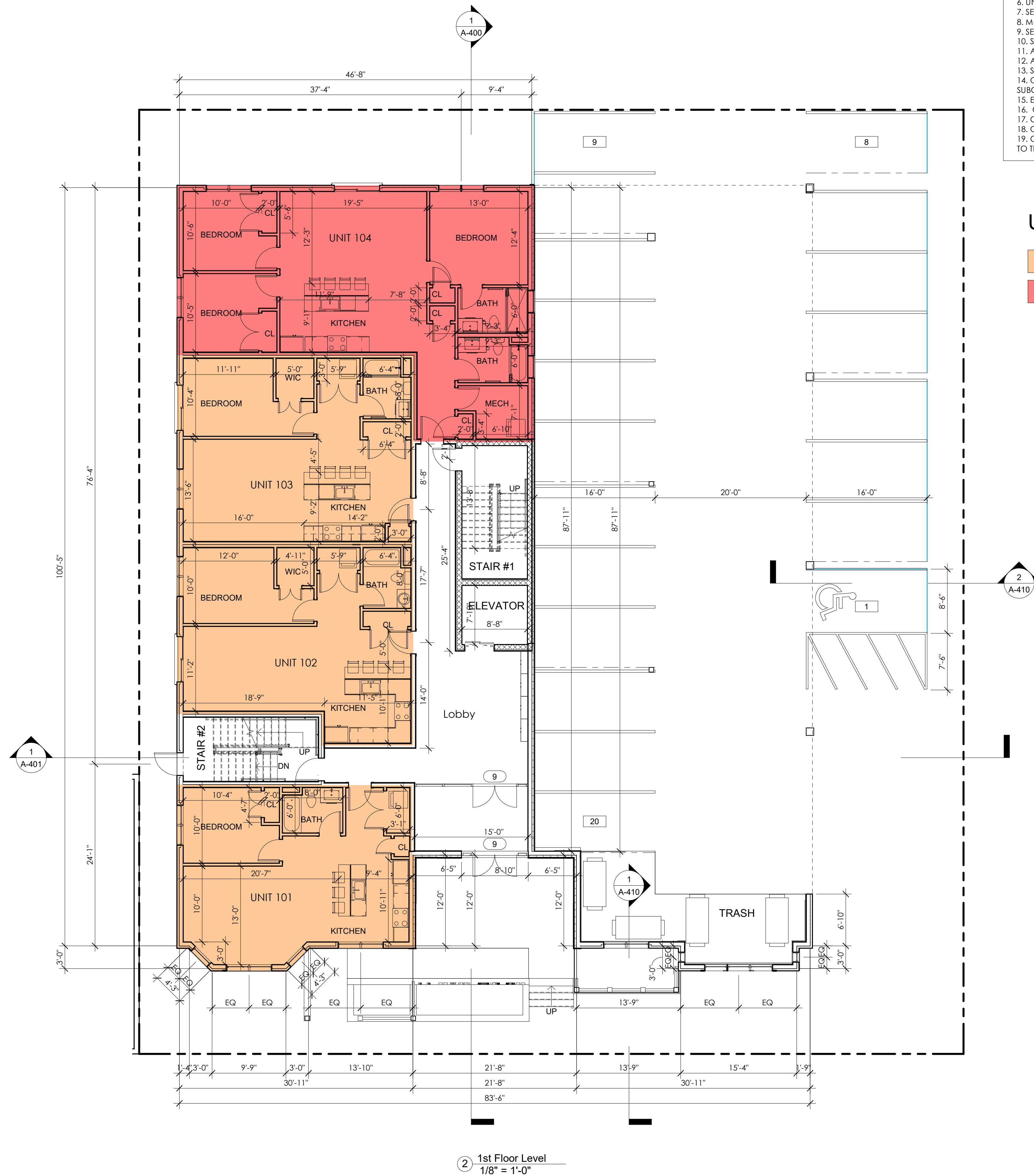
A-021

9-15 Taylor

LEGEND	
	NEW WALL
	EXISTING WALL
	WALL TYPE
	SMOKE/CO ALARM
	SMOKE ALARM
	EXHAUST VENT

Unit Legend

	1 Bedroom
	3 Bedroom



PROJECT NAME

9-15 Taylor

PROJECT ADDRESS

9 & 15 Taylor Street
Somerville, MA

CLIENT

Garrett Construction

ARCHITECT



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX:
617-591-2086

CONSULTANTS:

COPYRIGHT KDI © 2023
THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN INC. USE OF THESE PLANS OR ANY
FORM OF REPRODUCTION OF THIS DESIGN
IN WHOLE OR IN PART WITHOUT EXPRESS
WRITTEN CONSENT IS PROHIBITED AND
SHALL RESULT IN THE FULLEST EXTENT
OF PROSECUTION UNDER LAW

REGISTRATION

NOT FOR CONSTRUCTION

Project number	21030
Date	11/16/2023
Drawn by	VS
Checked by	ES
Scale	As indicated

REVISIONS

[illegible]

1st Floor Plan

A-100

9-15 Taylor

LEGEND

NEW WALL

EXISTING WALL

WALL TYPE

SMOKE/CO ALARM

SMOKE ALARM

EXHAUST VENT

GENERAL FLOOR PLAN NOTES

1. ALL SMOKE ALARMS TO BE INTERCONNECTED AND HARD WIRED. SEE FLOOR PLANS FOR LOCATIONS.

2. FINAL KITCHEN LAYOUT TO BE DETERMINED BY OWNER.

3. UNLESS OTHERWISE NOTED ALL NEW EXTERIOR WALLS ARE TYPE "WT3". COORDINATE W/ ELEVATIONS FOR EXTERIOR FINISH TYPE.

4. NOT USED

5. ALL INTERIOR FINISHES TO BE DETERMINED BY OWNER.

6. UNLESS OTHERWISE NOTED ALL INTERIOR WALL SHALL BE TYPE "P5"

7. SEE A-900 FOR PARTITION TYPES.

8. MOISTURE RESISTANT GWB. BOARD TO BE USED IN ALL BATHROOMS AND KITCHENS

9. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES & CLADDING MATERIALS

10. SEE A-700 & A-710 FOR DOOR & WINDOW DETAILS

11. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE GWB

12. ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF EXTERIOR WALL FINISH, TYP., U.N.O.

13. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES

14. CONTRACTOR TO COORDINATE DESIGN-BUILD DRAWINGS FOR MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION WITH SUBCONTRACTORS PRIOR TO CONSTRUCTION.

15. ELECTRICAL OUTLETS ON OPPOSITE SIDE OF WALL SHOULD BE INSTALLED AT LEAST 2'-0" FROM EACH OTHER.

16. CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS IN THE FIELD PRIOR TO DEMOLITION & CONSTRUCTION.

17. CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED FOR CABINETS & FOR FUTURE INSTALLATION OF GRAB BARS.

18. CONTRACTOR TO COORDINATE ALL INTERIOR ACCESSORIES WITH OWNER AND TO SUPPLY ADEQUATE BLOCKING.

19. CONTRACTOR TO REVIEW STRUCTURAL DRAWINGS WITH ARCHITECTURAL PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REPORT ERRORS TO THE ARCHITECT IMMEDIATELY PRIOR TO COMMENCING WORK.

2nd Floor Level
1/8" = 1'-0"

3rd Floor Level
1/8" = 1'-0"

Unit Legend

1 Bedroom

2 Bedroom

Studio

PROJECT NAME

9-15 Taylor

PROJECT ADDRESS

9 & 15 Taylor Street
Somerville, MA

CLIENT

Garrett Construction

ARCHITECT

DESIGN

KHALSA

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX:
617-591-2086

CONSULTANTS:

COPYRIGHT KDI © 2023
THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN INC. USE OF THESE PLANS OR ANY
FORM OF REPRODUCTION OF THIS DESIGN
IN WHOLE OR IN PART WITHOUT EXPRESS
WRITTEN CONSENT IS PROHIBITED AND
SHALL RESULT IN THE FULLEST EXTENT
OF PROSECUTION UNDER LAW

REGISTRATION

NOT FOR CONSTRUCTION

Project number	21030
Date	11/16/2023
Drawn by	VS
Checked by	ES
Scale	As indicated

REVISIONS

No.	Description	Date

2nd & 3rd Floor
Plans

A-101
9-15 Taylor

I:\TKG-SERVER\Draws\21030_Garrett Const_9 Taylor_S103 Drawings\01_ARCH_CD\21030_9-15 Taylor Street_CD-11.rvt 11/16/2023 9:48:48 AM

PROJECT NAME

9-15 Taylor

PROJECT ADDRESS

9 & 15 Taylor Street
Somerville, MA

CLIENT

Garrett Construction

ARCHITECT



KHALSA

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX:
617-591-2086

CONSULTANTS:

COPYRIGHT KDI © 2023
THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN INC. USE OF THESE PLANS OR ANY
FORM OF REPRODUCTION OF THIS DESIGN
IN WHOLE OR IN PART WITHOUT EXPRESS
WRITTEN CONSENT IS PROHIBITED AND
SHALL RESULT IN THE FULLEST EXTENT
OF PROSECUTION UNDER LAW

REGISTRATION

NOT FOR CONSTRUCTION

Project number	21030
Date	11/16/2023
Drawn by	VS
Checked by	ES
Scale	As indicated

REVISIONS

No.	Description	Date

4th Floor & Roof
Plan

A-102

9-15 Taylor

LEGEND

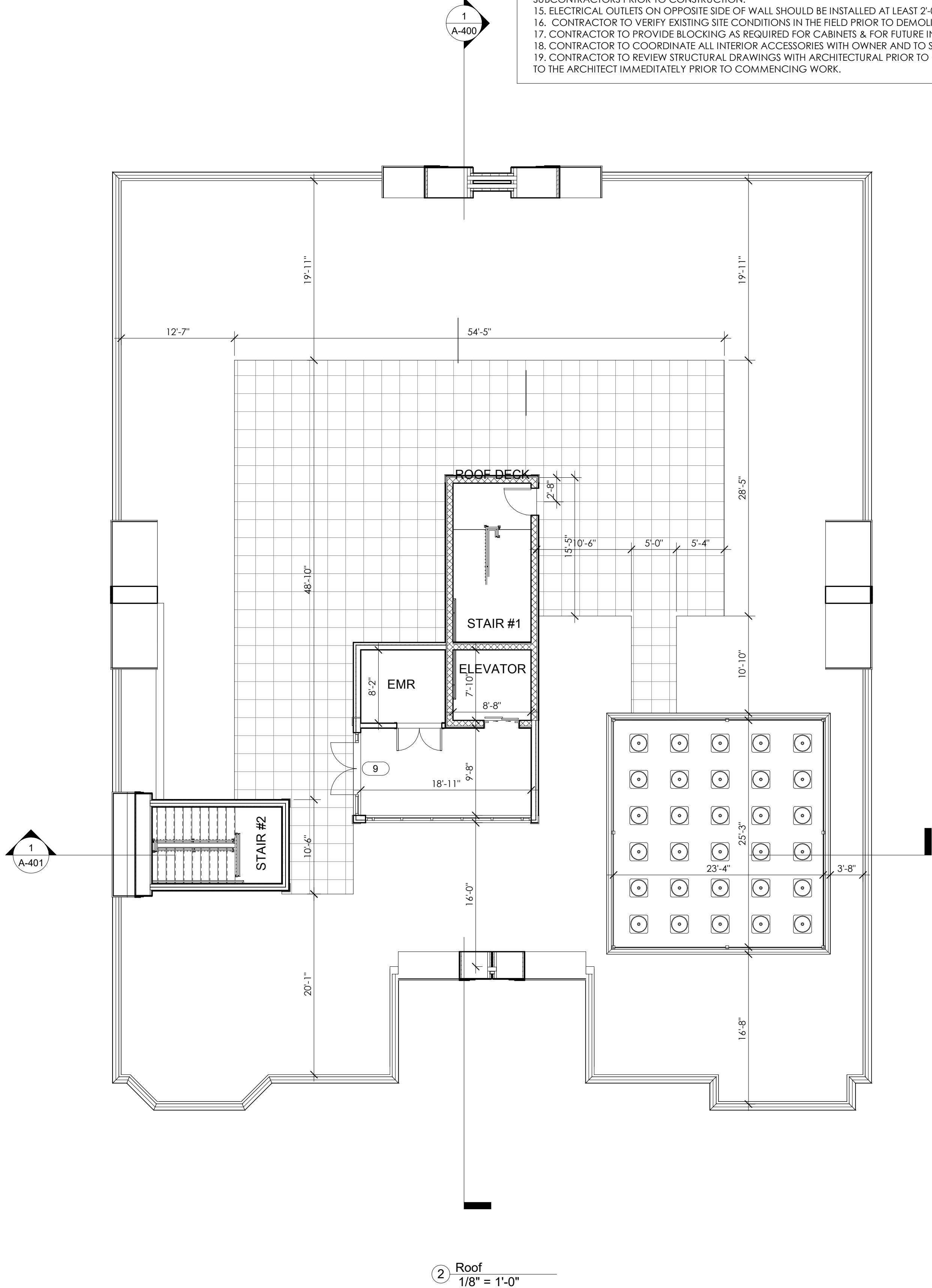
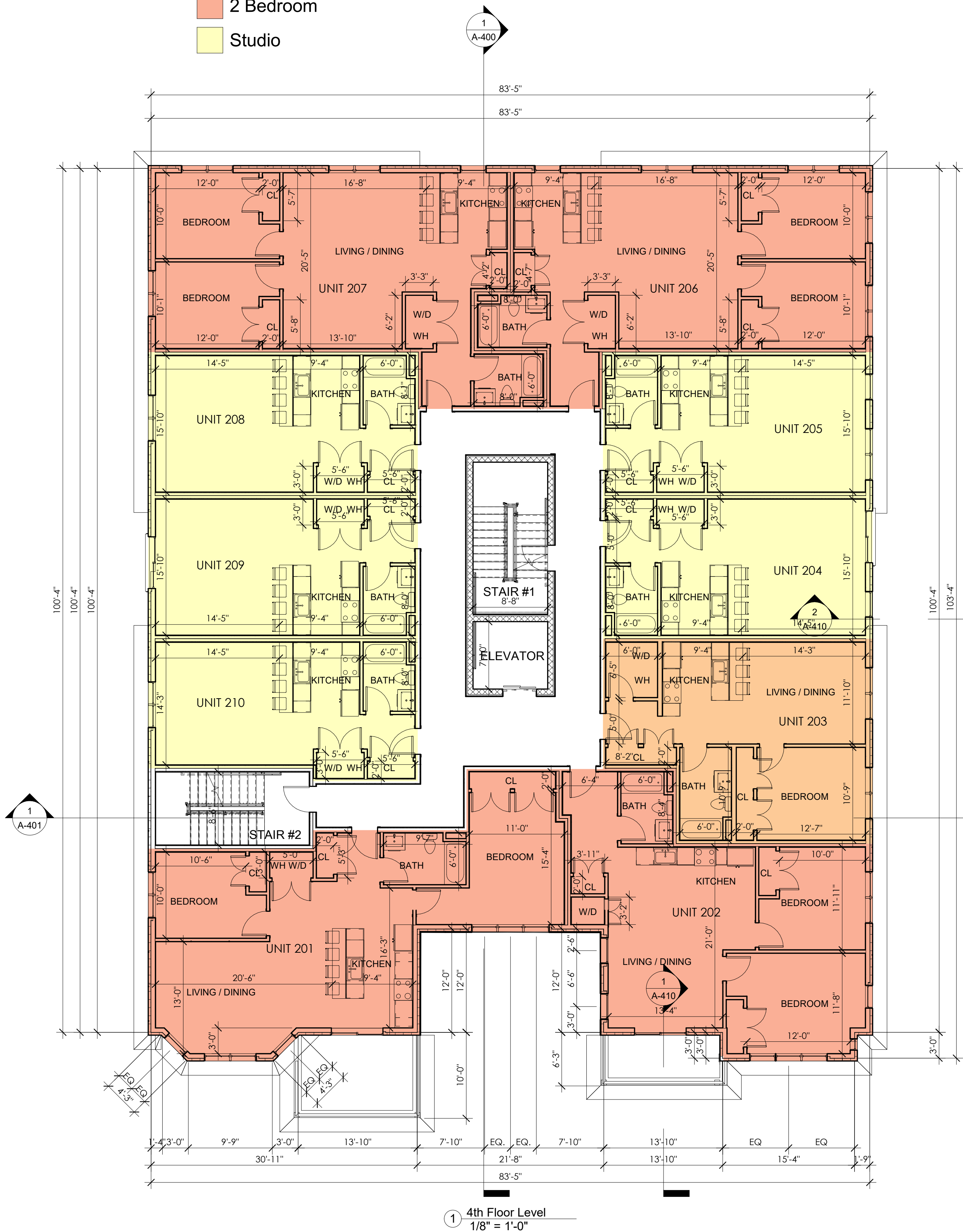
	NEW WALL		SMOKE/CO ALARM
	EXISTING WALL		SMOKE ALARM
	WALL TYPE		EXHAUST VENT

GENERAL FLOOR PLAN NOTES

1. ALL SMOKE ALARMS TO BE INTERCONNECTED AND HARD WIRED. SEE FLOOR PLANS FOR LOCATIONS.
2. FINAL KITCHEN LAYOUT TO BE DETERMINED BY OWNER.
3. UNLESS OTHERWISE NOTED ALL NEW EXTERIOR WALLS ARE TYPE "WT3". COORDINATE W/ ELEVATIONS FOR EXTERIOR FINISH TYPE.
4. NOT USED.
5. ALL INTERIOR FINISHES TO BE DETERMINED BY OWNER.
6. UNLESS OTHERWISE NOTED ALL INTERIOR WALL SHALL BE TYPE "P5"
7. SEE A-900 FOR PARTITION TYPES.
8. MOISTURE RESISTANT GWB. BOARD TO BE USED IN ALL BATHROOMS AND KITCHENS
9. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES & CLADDING MATERIALS
10. SEE A-700 & A-710 FOR DOOR & WINDOW DETAILS
11. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE GWB
12. ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF EXTERIOR WALL FINISH, TYP., U.N.O.
13. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES
14. CONTRACTOR TO COORDINATE DESIGN-BUILD DRAWINGS FOR MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION WITH SUBCONTRACTORS PRIOR TO CONSTRUCTION.
15. ELECTRICAL OUTLETS ON OPPOSITE SIDE OF WALL SHOULD BE INSTALLED AT LEAST 2'-0" FROM EACH OTHER.
16. CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS IN THE FIELD PRIOR TO DEMOLITION & CONSTRUCTION.
17. CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED FOR CABINETS & FOR FUTURE INSTALLATION OF GRAB BARS.
18. CONTRACTOR TO COORDINATE ALL INTERIOR ACCESSORIES WITH OWNER AND TO SUPPLY ADEQUATE BLOCKING.
19. CONTRACTOR TO REVIEW STRUCTURAL DRAWINGS WITH ARCHITECTURAL PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REPORT ERROS TO THE ARCHITECT IMMEDIATELY PRIOR TO COMMENCING WORK.

Unit Legend

- 1 Bedroom
- 2 Bedroom
- Studio





PROJECT NAME
9-15 Taylor

PROJECT ADDRESS
9 & 15 Taylor Street
Somerville, MA

CLIENT
Garrett Construction

ARCHITECT
DESIGN
KHALSA

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX:
617-591-2086

CONSULTANTS:

COPYRIGHT KDI © 2023
THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN INC. USE OF THESE PLANS OR ANY
FORM OF REPRODUCTION OF THIS DESIGN
IN WHOLE OR IN PART WITHOUT EXPRESS
WRITTEN CONSENT IS PROHIBITED AND
SHALL RESULT IN THE FULLEST EXTENT
OF PROSECUTION UNDER LAW

REGISTRATION

NOT FOR CONSTRUCTION

Project number	21030
Date	11/16/2023
Drawn by	VS
Checked by	ES
Scale	3/16" = 1'-0"

REVISIONS		
No.	Description	Date

Front & Right Side
Elevations

A-300

9-15 Taylor



② Rear Elevation
3/16" = 1'-0"



① Left Side Elevation
3/16" = 1'-0"

PROJECT NAME

9-15 Taylor

PROJECT ADDRESS
9 & 15 Taylor Street
Somerville, MA

CLIENT

Garrett Construction

ARCHITECT



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX:
617-591-2086

CONSULTANTS:

COPYRIGHT KDI © 2023
THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN INC. USE OF THESE PLANS OR ANY
FORM OF REPRODUCTION OF THIS DESIGN
IN WHOLE OR IN PART WITHOUT EXPRESS
WRITTEN CONSENT IS PROHIBITED AND
SHALL RESULT IN THE FULLEST EXTENT
OF PROSECUTION UNDER LAW

REGISTRATION

NOT FOR CONSTRUCTION

Project number	21030
Date	11/16/2023
Drawn by	VS
Checked by	ES
Scale	3/16" = 1'-0"

REVISIONS

No.	Description	Date

Rear & Left Side
Elevations

A-301

9-15 Taylor



PROJECT NAME

9-15 Taylor

PROJECT ADDRESS

9 & 15 Taylor Street
Somerville, MA

CLIENT

Garrett Construction

ARCHITECT



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX:
617-591-2086

CONSULTANTS:

COPYRIGHT KDI © 2023
THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN INC. USE OF THESE PLANS OR ANY
FORM OF REPRODUCTION OF THIS DESIGN
IN WHOLE OR IN PART WITHOUT EXPRESS
WRITTEN CONSENT IS PROHIBITED AND
SHALL RESULT IN THE FULLEST EXTENT
OF PROSECUTION UNDER LAW

REGISTRATION

NOT FOR CONSTRUCTION

Project number 21030
Date 11/16/2023
Drawn by AB/MJ
Checked by JSK
Scale

REVISIONS

No.	Description	Date

3d Views

AV-1

9-15 Taylor