



CITY OF SOMERVILLE, MASSACHUSETTS
MAYOR'S OFFICE OF STRATEGIC PLANNING & COMMUNITY DEVELOPMENT
KATJANA BALLANTYNE
MAYOR

THOMAS F GALLIGANI
EXECUTIVE DIRECTOR

PLANNING DIVISION
HISTORIC PRESERVATION

ALTERATION OF A LOCAL HISTORIC DISTRICT (LHD) PROPERTY
STAFF REPORT

Site: 57 Columbus Avenue

Case: HP23-000051

Applicant: David Bell & Monique Cole

Owner: Same as Applicant

Legal Ad: *The Applicant seeks a Certificate of Appropriateness to alter the exterior of an LHD property through the removal of existing exterior features and the installation of new exterior features*

HPC Meeting Date: Feb 20, 2024



The purpose of a staff report is to provide the Historic Preservation Commission (HPC) with a professional assessment of alteration proposals made for Local Historic District (LHD) properties. These assessments are based on the Historic District Ordinance (HDO) in compliance with M.G.L. Chapter 40C, and the associated Design Guidelines. A Staff Report is not a determination/decision and does not represent findings. A staff report does not constitute authorization in any form.

I. PROJECT DESCRIPTION

Subject Property: The locus is the c.1877 Italianate structure known as the William High/William Canavan House. This property is located within the Prospect Hill neighborhood. A full description of the property is provided in the attached Form B survey held by the Massachusetts Historical Commission (MHC).

Proposal: The Applicant proposes the following:

- a. Mudroom addition on the right elevation
- b. Windows and doors
 - a. Replace existing windows
 - b. Replace historic windows
 - c. Install new window openings
- c. Replace existing siding
- d. Alter portico on front façade
- e. Replace existing gutters and downspouts
- f. Remove rear chimney
- g. Install dormer on right elevation

II. Analysis

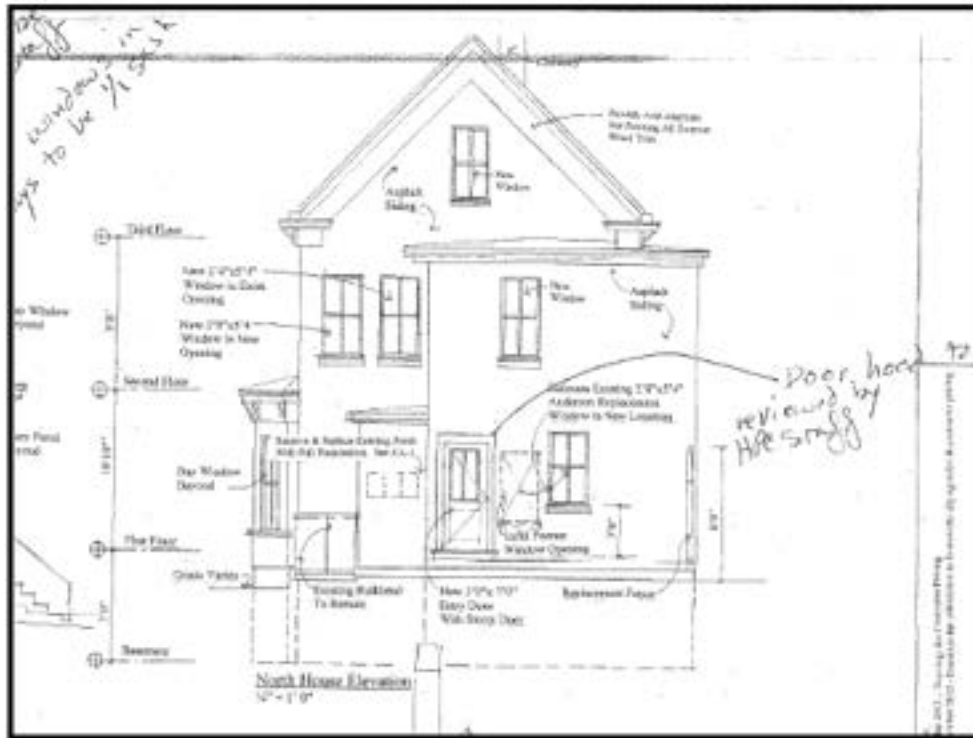
The HPC must make findings based on the Historic District Ordinance (HDO) in compliance with M.G.L. Chapter 40C, and associated Design Guidelines. Applicable regulations are discussed below.

A. Mudroom addition on the right elevation

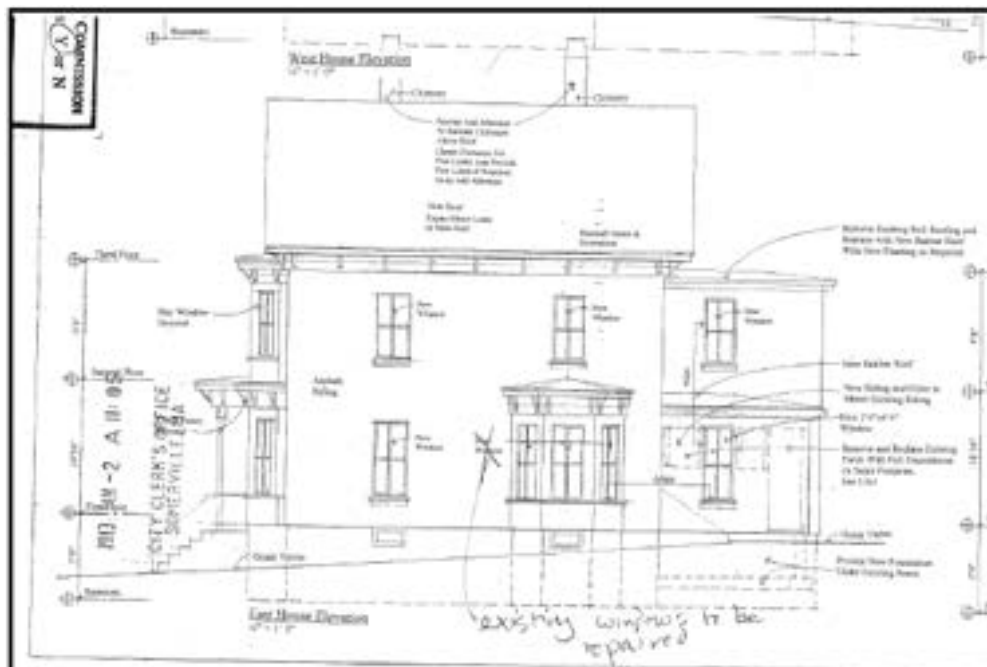
Due to the change of exterior features the HPC has purview over this work.

Applicant Proposal

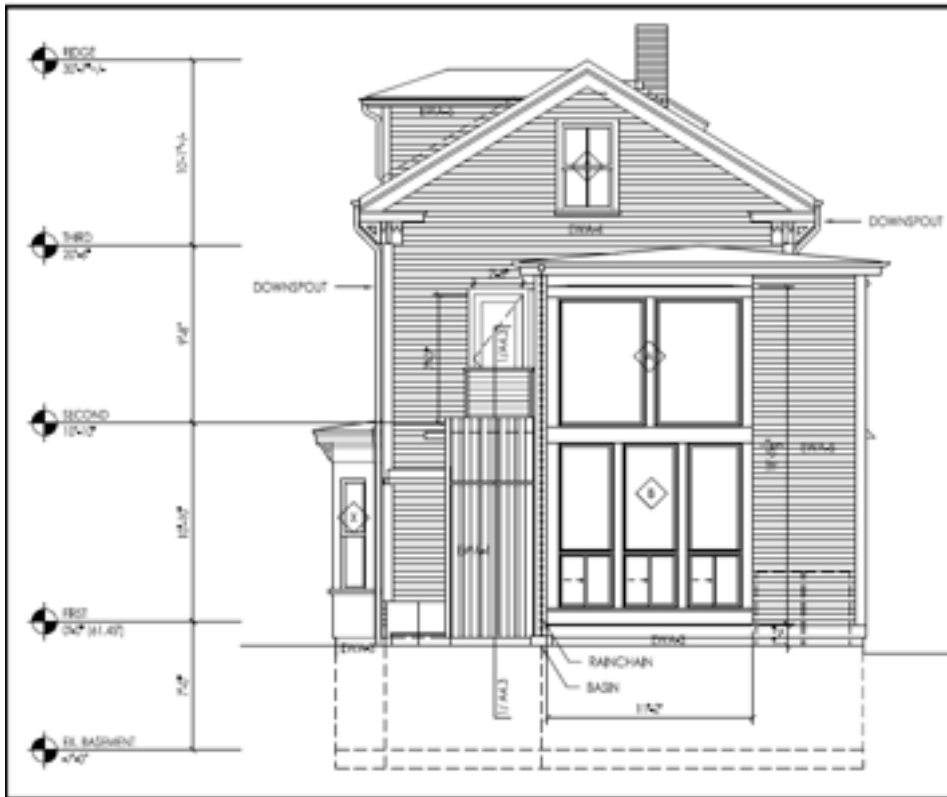
The Applicant proposes to alter a design for an addition on the right elevation. In 2012 the HPC approved the removal of an enclosed porch and its replacement with a permanent addition which will be the mudroom. The Applicant is currently in construction for this addition with the framing and foundation in place. The Applicant proposes to alter the original approval, using Nickel Gap Shiplap Western Red Cedar 2" wide vertical battens along the façade of this addition. Furthermore, atop this addition will be a deck accessed through a new door on the second floor with a cable railing around the deck. A large picture window will overlook the deck. The original approval from the HPC in 2012 did not include the deck or large picture window.



Above: HPC approved plans in 2012, rear elevation



Above: HPC approved plans in 2012, right elevation



Above: Proposed rear elevation



Above: Proposed right elevation

Preservation Planning Assessment:

The applicable Somerville LHD Design Guidelines is **E. “New additions”**

“New additions should not disrupt the essential form and integrity of the property and should be compatible in size, scale, material and character of the property and its environment. Where possible, new additions should be confined to the rear of the house.”

- and -

“It is not the intent of [the] guidelines to limit new additions to faithful copies of earlier building. New designs may also evoke, without copying the architecture of the property to which they are being added, though careful attentions to height, bulk, materials, window size, and type and location, and detail.”

It is important to note that all portions of the structure are visible from a right-of-way given that Prospect Park is located behind the property. Parks are considered a public right-of-way. While the Applicant made an effort not to copy the historic structure exactly by using the vertical clapboards and square windows, these will distract from the historic building by drawing passerby’s eye to the addition. The siding should use wood horizontal clapboard that has the same reveal as the rest of the structure. The picture window overlooking the railing should be one or two double hung sash windows with a 2/2 design. The railing should utilize wood in a turned wood style. The addition will be differentiated from the rest of the structure through the lack of detailing below the eave line. Preservation Staff has included conditions in Section IV ‘Recommended Conditions’ below regarding the use of wood clapboard.

HPC Determination:

- The HPC must determine if, based on a review of the documentation presented, the proposed project complies with the Design Guidelines
- The HPC must structure their motion to include their own specific findings on the proposed project.

B. Windows and doors

Due to the change of exterior features the HPC has purview over this work.

Applicant Proposal

The Applicant is proposing to replace existing windows throughout the structure. Only four of the original double-hung windows remain. Three of these original windows occur at the first-floor bay window on the east elevation (driveway side). The side windows (18" wide) are 1/1 and the center window is 2/2. Here the sash are in relatively good condition and the windows could be restored with better stops, ropes, etc. and could function if provided with better storm windows. The rest of the windows in the building are vinyl. The proposed replacement windows are 2/2 Marvin Ultimate aluminum clad wood sash windows.



Above: Existing bay windows



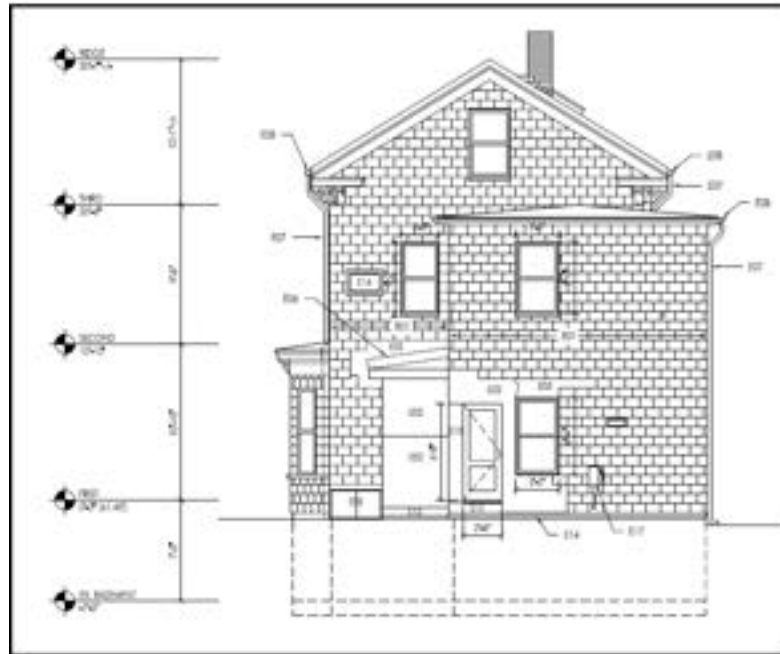
Above: Site plan depicting historic bay windows

The Applicant also requests to replace the wood front door with a replication that would meet the new energy code. The door was originally approved in 2012 by the HPC but the door was never installed.

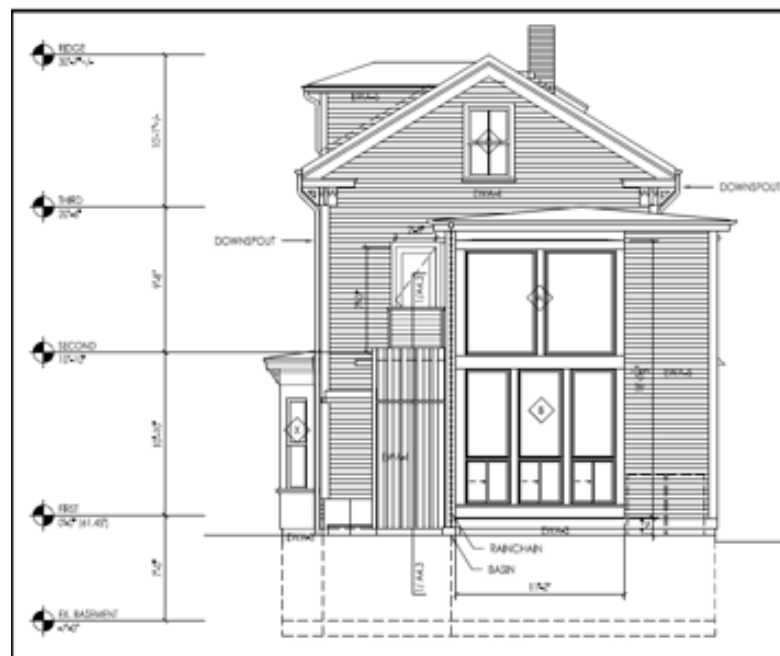


Above: Existing front door

On the rear, the Applicant proposes to replace existing windows and doors of the two-story portion of the building facing onto Prospect Park. The Applicant proposes installing two large symmetrical fixed windows on the second floor with three fixed windows below and three smaller horizontal sliding windows beneath.



Above: Existing rear elevation



Above: Proposed rear elevation

The Applicant also proposes a French glass door leading onto the proposed deck above the mudroom addition and another such door leading from the mudroom on the first floor to the side yard.

Finally, the Applicant proposes to install a new window on the West elevation. The Applicant states that on the West elevation outside of where the main staircase is located are the remaining framing for a window. They would like to re-open the wall in this location and install a salvaged stained glass window.

Preservation Planning Assessment:

The applicable Somerville LHD Design Guidelines is **C. “Windows & Doors”**

“Retain original and later important door and window openings where they exist.”

- and -

“Whenever possible, repair and retain original or later important window elements such as sash, lintels, sill, architraves, glass, shutters, and other decorative elements and hardware.”

The Applicant’s proposal to replace modern vinyl windows with aluminum clad wood windows is within keeping of the Design Guidelines by removing anachronistic windows with more historically accurate windows.

The original wood bay windows were applied to be replaced in 2012 but due to the condition and nature of these windows the HPC denied the request and instead conditioned the repair of these windows. Per the Design Guidelines historic windows should be retained and repaired. Preservation Staff has included conditions in Section IV ‘Recommended Conditions’ below regarding the preservation and restoration of these windows.

The Applicant is proposing to replace the wood front door with a replicated door ensuring the door will match the style and appearance of the building. This proposal was also approved in 2012 by the HPC.

The proposed window installation on the rear of the property does not comply with the Historic Design Guidelines. It is important to note that all portions of the structure are visible from a right-of-way given that Prospect Park is located behind the property. Parks are considered a public right-of-way. The design is not consistent with the architecture and date of construction for 57 Columbus. Preservation Staff recommends that the HPC continue this portion of the application to the second HPC meeting in March to allow Staff time to work with the Applicant on an alternative design.

The proposed French glass door leading to the roof deck atop the mudroom and the door leading outside from the mudroom are not consistent with the style of the structure. Should the Commission approve the installation of these doors they should have an applied muntin grid to them with final design approved by Preservation Staff. Preservation Staff has included conditions in Section IV ‘Recommended Conditions’ below regarding these doors.

Finally, the proposed new stained-glass window to be installed on the left elevation ,second floor is in keeping with the Design Guidelines on retaining original window shapes and would restore a window that was enclosed.

HPC Determination:

- The HPC must determine if, based on a review of the documentation presented, the proposed project complies with the Design Guidelines
- The HPC must structure their motion to include their own specific findings on the proposed project

C. Replace existing siding

Due to the change of exterior features the HPC has purview over this work.

Applicant Proposal

The Applicant is proposing to replace existing asbestos clapboard with fiber cement clapboard. The Applicant submitted images of wood clapboards beneath the current asbestos siding which does look to be deteriorated though the full damage is not clear. The Applicant proposes removing this wood clapboard as well.



Above: Detail of exposed wood clapboard below asbestos clapboard

Preservation Planning Assessment:

The applicable Somerville LHD Design Guidelines is A. “*Exterior Walls*”

Retain and repair, when necessary, replace deteriorated materials which matches as closely as possible.”

-and –

“Synthetic siding (aluminum, vinyl, artificial stone or brick is prohibited because it severely compromises the appearance and integrity of old buildings.

The proposed work does not comply with the above referenced section of the Design Guidelines as it will not only utilize cement fiber clapboard but will also remove wood clapboard and replace it with synthetic siding.

Ideally, the Applicant would assess the quality of the wood siding that is below the asbestos clapboard and repair the existing wood siding where possible, and repair, in-kind, those sections that cannot be repaired. However, should the Commission find the clapboard too deteriorated to repair and replace Preservation Staff recommends that the Applicant replace the extant clapboard with wood clapboard that matches the material, dimensions, and details of the current wood clapboard.

Should the HPC vote in favor of replacing the wood clapboard, Preservation Staff has included conditions in Section IV ‘Recommended Conditions’ below.

HPC Determination:

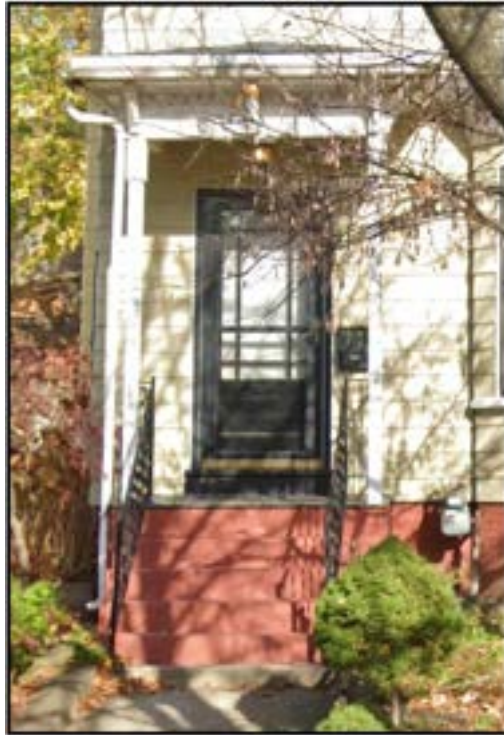
- The HPC must determine if, based on a review of the documentation presented, the proposed project complies with the Design Guidelines
- The HPC must structure their motion to include their own specific findings on the proposed project.

D. Alter portico on front façade

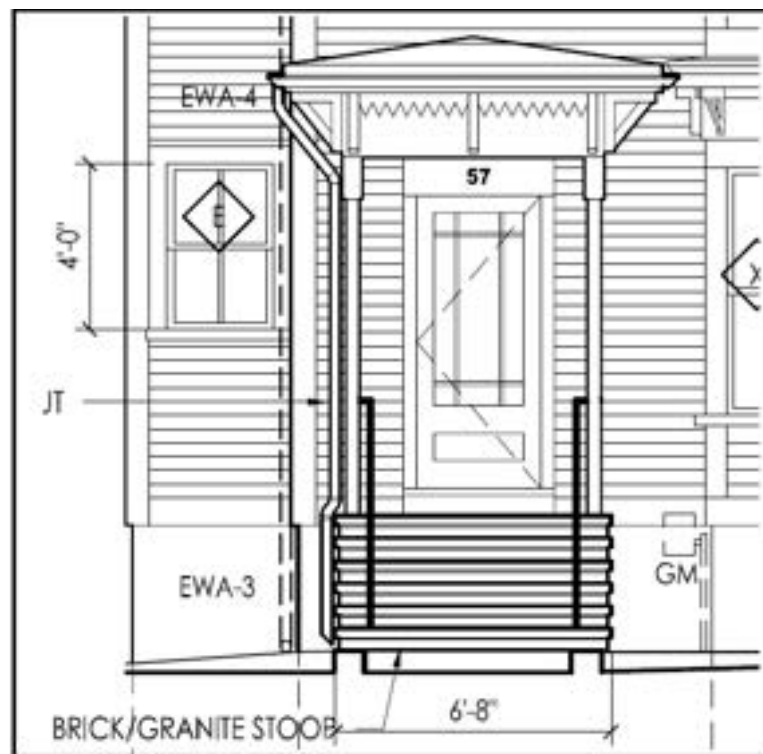
Due to the change of exterior features the HPC has purview over this work.

Applicant Proposal

The existing portico on the front facade has concrete masonry steps leading to a timber frame landing. The Applicant proposes to rebuild the base of the portico with brick as the Applicant states they found the remains of brick foundation below. The Applicant proposes granite for the stair treads.



Above: Photo of existing portico



Above: Rendering of proposed portico

Preservation Planning Assessment:

The applicable Somerville LHD Design Guidelines is **D. “Porches, steps, trim and other architectural elements”**

“Retain and repair porches and steps that are original or later important features, including such items as railings. Balusters, columns, posts, brackets, roofs, ornamental ironwork, and other important decorative items. If new pieces are needed, they should match as closely as possible the style, shape, scale, and materials of the old.”

The proposed plan to rebuild the front portico with brick and granite does not comply with the above cited guideline. Given the time of construction and style, the portico would have been constructed from wood with a brick foundation. The Applicant should rebuild the portico utilizing wood. Preservation Staff has included conditions in Section IV ‘Recommended Conditions’ below regarding the portico.

HPC Determination:

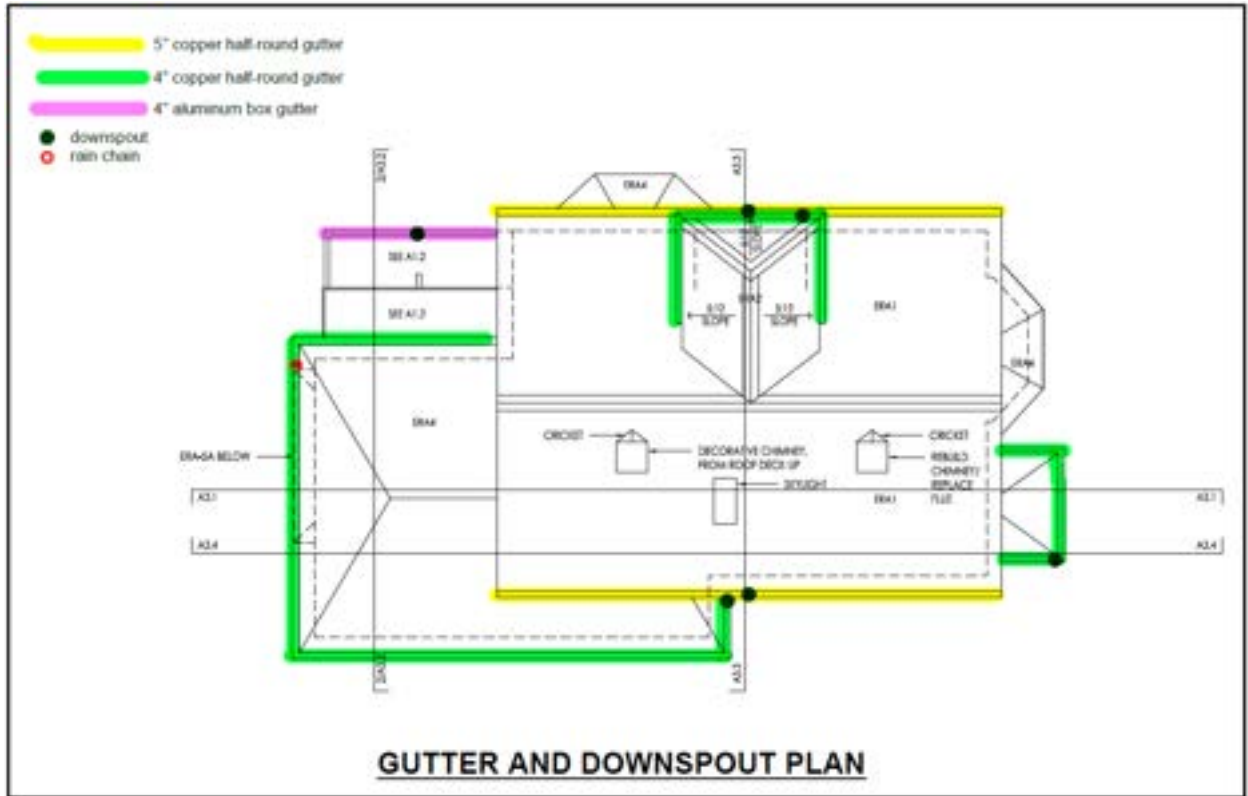
- The HPC must determine if, based on a review of the documentation presented, the proposed project complies with the Design Guidelines
- The HPC must structure their motion to include their own specific findings on the proposed project.

E. Replace existing gutters and downspouts

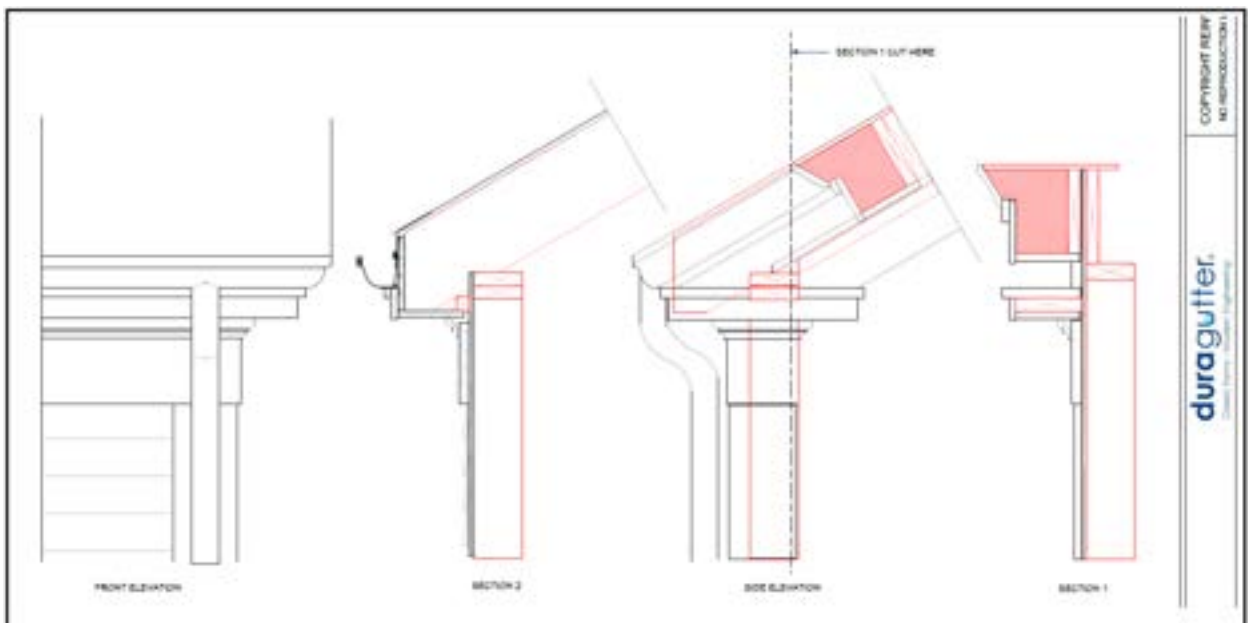
Due to the change of exterior features the HPC has purview over this work.

Applicant Proposal

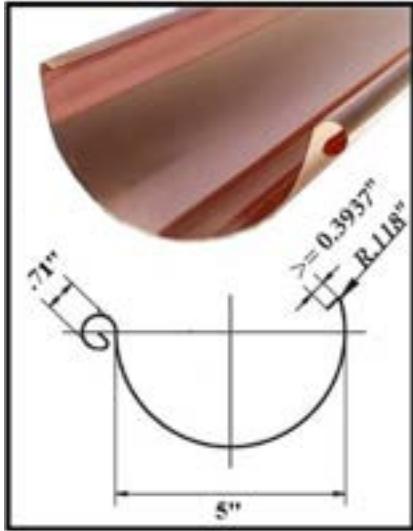
The Applicant proposes to replace existing metal K style gutters with 5” copper half round gutters. The existing rectangular downspouts will be replaced with 4” round downspouts. The dormer and front portico will have the same style but 1” smaller. The mudroom is proposed to have a 4” coated aluminum box gutter and 3” square downspout.



Above: Gutter and downspout plan



Above: Gutter sectional



Above: Copper half round gutter



Above: Copper round downspout

Preservation Planning Assessment:

The applicable Somerville LHD Design Guidelines is **B. “Roofs”**

Preserve the architectural features that give the roof its distinctive character, such as cornices, gutters, iron filigree, cupolas, dormers, and brackets. Downspouts should be inconspicuously located and should be painted to match the color of the siding.

Due to the date of construction and style of architecture a wood gutter would be more historically accurate than a copper gutter and downspout. The current gutters and downspouts are replacements, but a half round gutter is not consistent with the style and architecture of the structure. The Applicant should use a K style gutter on the historic portion of the structure to better match the style of the building.

Additionally, the change in style and size for the mudroom will be a subtle way to differentiate the addition from the rest of the historic structure.

Should the Commission approve this request, Staff recommends that the new gutters and downspouts be wrapped in such a way that they match the portion of the building against which they rest. Preservation Staff has included conditions in Section IV ‘Recommended Conditions’ below regarding the above noted concern regarding gutters.

HPC Determination:

- The HPC must determine if, based on a review of the documentation presented, the proposed project complies with the Design Guidelines
- The HPC must structure their motion to include their own specific findings on the proposed project.

F. Remove rear chimney

Due to the change of exterior features the HPC has purview over this work.

Applicant Proposal

There are currently two brick chimneys at 57 Columbus. One chimney is located to the front of the structure, and one is located towards the rear of the structure. The Applicant proposes removing the chimney towards the rear.



Above: Photo of 57 Columbus depicting existing brick chimneys

Preservation Planning Assessment:

The applicable Somerville LHD Design Guidelines is **B. “Roofs”**

Preserve the architectural features that give the roof its distinctive character, such as cornices, gutters, iron filigree, cupolas, dormers and brackets. Downspouts should be inconspicuously located and should be painted to match the color of the siding.

Both chimneys were likely installed at the same time the original portions of the structure were constructed. The HPC conditioned a Certificate of Non-Applicability in 2012 that both chimneys be repointed and restored. Additionally, the Design Guidelines state that the architectural features that give the roof its distinctive character should be preserved, as such both chimneys should be retained. Preservation Staff has included a condition in Section IV ‘Recommended Conditions’ below regarding the retention of both chimneys.

HPC Determination:

- The HPC must determine if, based on a review of the documentation presented, the proposed project complies with the Design Guidelines
- The HPC must structure their motion to include their own specific findings on the proposed project.

G. Install dormer on right elevation

Due to the change of exterior features the HPC has purview over this work.

Applicant Proposal

The Applicant proposes to install a new hip dormer on the left elevation with a width of 7'3". The dormer would have two small horizontal pivot windows. The existing slate tiles located where the dormer will be installed will be removed and re-used on the new dormer. The siding for the dormer is proposed to use cement fiber clapboard matching the proposed siding for the rest of the structure.



Above: Proposed right elevation showing proposed new dormer

Preservation Planning Assessment:

The applicable Somerville LHD Design Guidelines is **B. "Roofs."**

New dormers will be permitted if they are related to the forms, proportions, size, and arrangement of existing windows, and constructed in matching materials and colors. If possible, new dormers should be confined to the rear of the house.

The proposed style of the dormer windows does not match the style of architecture for the structure. Staff has some concerns regarding the design of the dormer and recommends that the Commission continue this portion of the request to the second meeting in March 2024. This time

would allow the Applicant to work with Staff on a design that better complies with the Historic Design Guidelines and meets any concerns regarding Zoning compliance.

HPC Determination:

- The HPC must determine if, based on a review of the documentation presented, the proposed project complies with the Design Guidelines
- The HPC must structure their motion to include their own specific findings on the proposed project.

III. VOTE

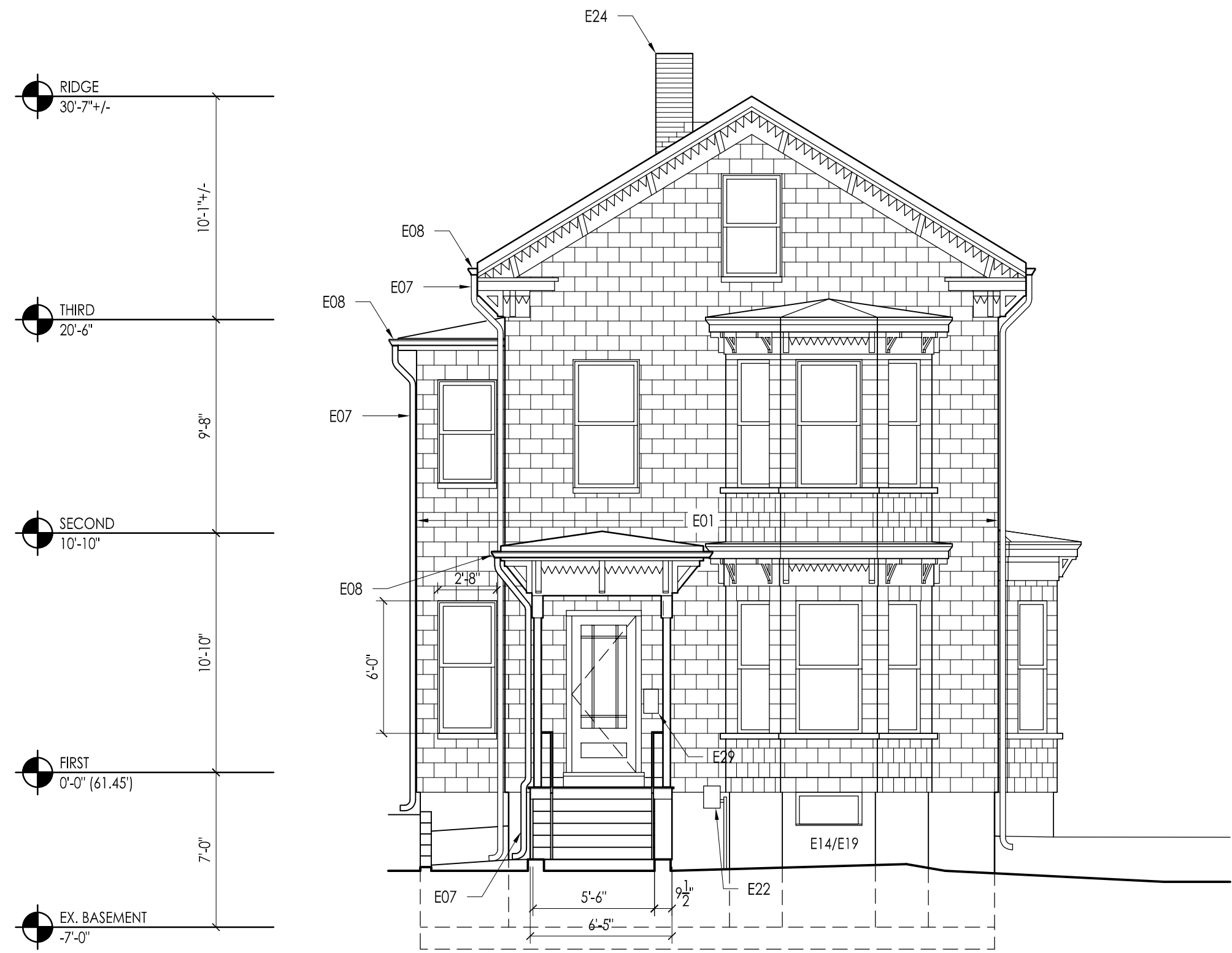
When bringing the matter to a vote the HPC must state their findings and reasons why they take their position.

IV. RECOMMENDED CONDITIONS

Preservation Planning recommends the following conditions be attached to any Certificate of Appropriateness that the HPC might grant for this project:

1. The Applicant/Owner shall file the Certificate with the Inspectional Services Department (ISD) by uploading it to the CitizenServe permitting portal with their application for zoning compliance/building permit.
2. This Certificate is valid for one year. If work has not commenced within one year of the HPC's date of determination, this Certificate shall expire, and the Applicant shall re-apply for re-issuance of this Certificate. Provided that no changes have been made to the proposal, this shall be a Staff-level re-issuance of the Certificate.
3. The front façade portico shall utilize wood steps, railings, landings, steps, and columns.
4. The door leading onto the rooftop deck shall utilize, raised profile muntins with final design to be approved by Preservation Staff.
5. The door leading from the mudroom addition to the side yard shall utilize, raised profile muntins with final design to be approved by Preservation Staff.
6. Siding for the mudroom addition shall be horizontal wood clapboard to match the rest of the building's facades.
7. Replacement gutters shall be wrapped to match the portion of the building against which they rest.
8. Gutters on historic portion of structure shall be a K-style gutter.
9. The replacement clapboard shall be made of wood.
10. Replacement siding shall reproduce the dimensions of the original clapboard, including its relationship to corner boards, window trim and other architectural details, all of which must be retained. The reveal must also be the same as that of the existing wood clapboarding.
11. Bay windows on the right elevation shall be restored.
12. Both brick chimneys shall be retained.

13. Any changes to this proposal made prior to the commencement of work or in-the-field changes shall be submitted to Preservation Planning for their review to determine if the changes come under the purview of the HPC.
14. A written narrative or descriptive checklist identifying the completion or compliance with permit conditions must be submitted to the Inspectional Services Department with a copy to preservation Planning at least fifteen (15) business days in advance of a request for a final inspection.
15. The Applicant shall contact Preservation Planning at historic@somervillema.gov a minimum of fifteen (15) business days prior to final ISD walk-through so that Preservation Planning or their designee can confirm if the project was completed according to HPC approvals.



- KEYNOTES
- E01 ASBESTOS SHINGLE SIDING
 - E02 EXPOSED BUILDING WRAP
 - E03 EXPOSED ORIGINAL SIDING
 - E04 VENT CAP
 - E05 BULKHEAD
 - E06 MODIFIED BITUMEN ROOFING
 - E07 ALUMINUM DOWNSPOUT
 - E08 ALUMINUM K STYLE GUTTER
 - E09 ORIGINAL WINDOWS (EXISTING REPLACEMENT WINDOWS ARE NOT NOTED)
 - E10 UNFINISHED MDO BOARD
 - E11 EXPOSED STRUCTURAL TIMBER SILL
 - E12 PIPE
 - E13 EXPOSED FRAMING
 - E14 BRICK FOUNDATION
 - E15 EXPOSED SHEATHING
 - E16 WOOD ENCLOSURE FOR THROUGH-WALL AIR CONDITIONER
 - E17 ELECTRICAL DEVICE
 - E18 TELEPHONE DEVICE
 - E19 PARGING
 - E20 SLATE ROOFING
 - E21 UNFINISHED PLYWOOD
 - E22 GAS METER
 - E23 SKYLIGHT
 - E24 BRICK CHIMNEY
 - E25 CONCRETE BLOCK STEPS
 - E26 WOOD PORCH
 - E27 WROUGHT IRON RAILS
 - E28 RUBBER ROOF
 - E29 MAILBOX

Big Bend Studio Architects, LLC
156 Mount Auburn St., Cambridge, MA 02138
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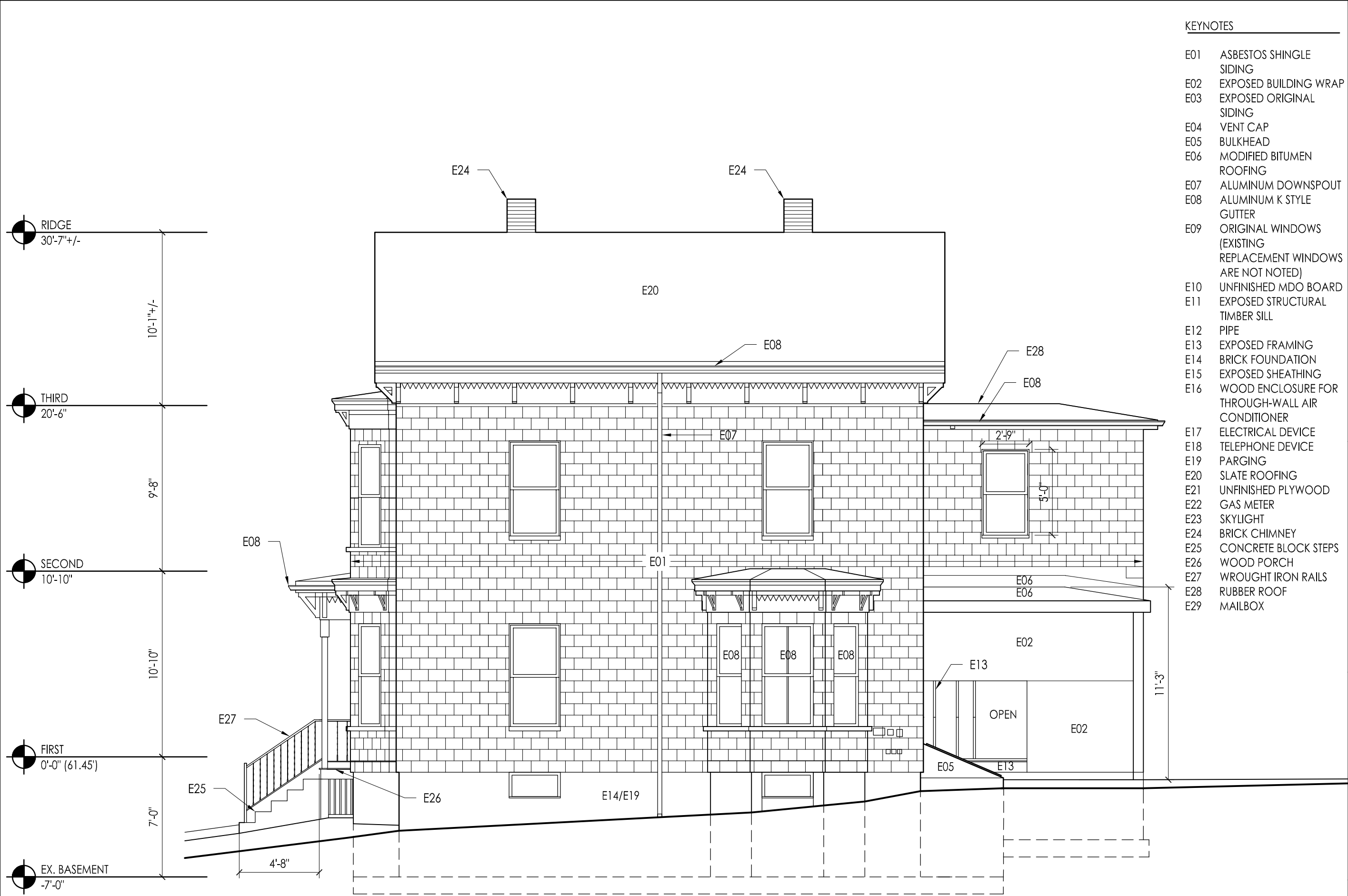
Owner
Monique Cole and David Bell
57 Columbus Ave, Somerville, MA

Project
Cole/Bell Residence

Drawing Title: EXISTING ELEVATIONS 1
Scale: 3/16" = 1'-0"
Date Issued: 15 DEC 2023 - FOR HPC SUBMISSION

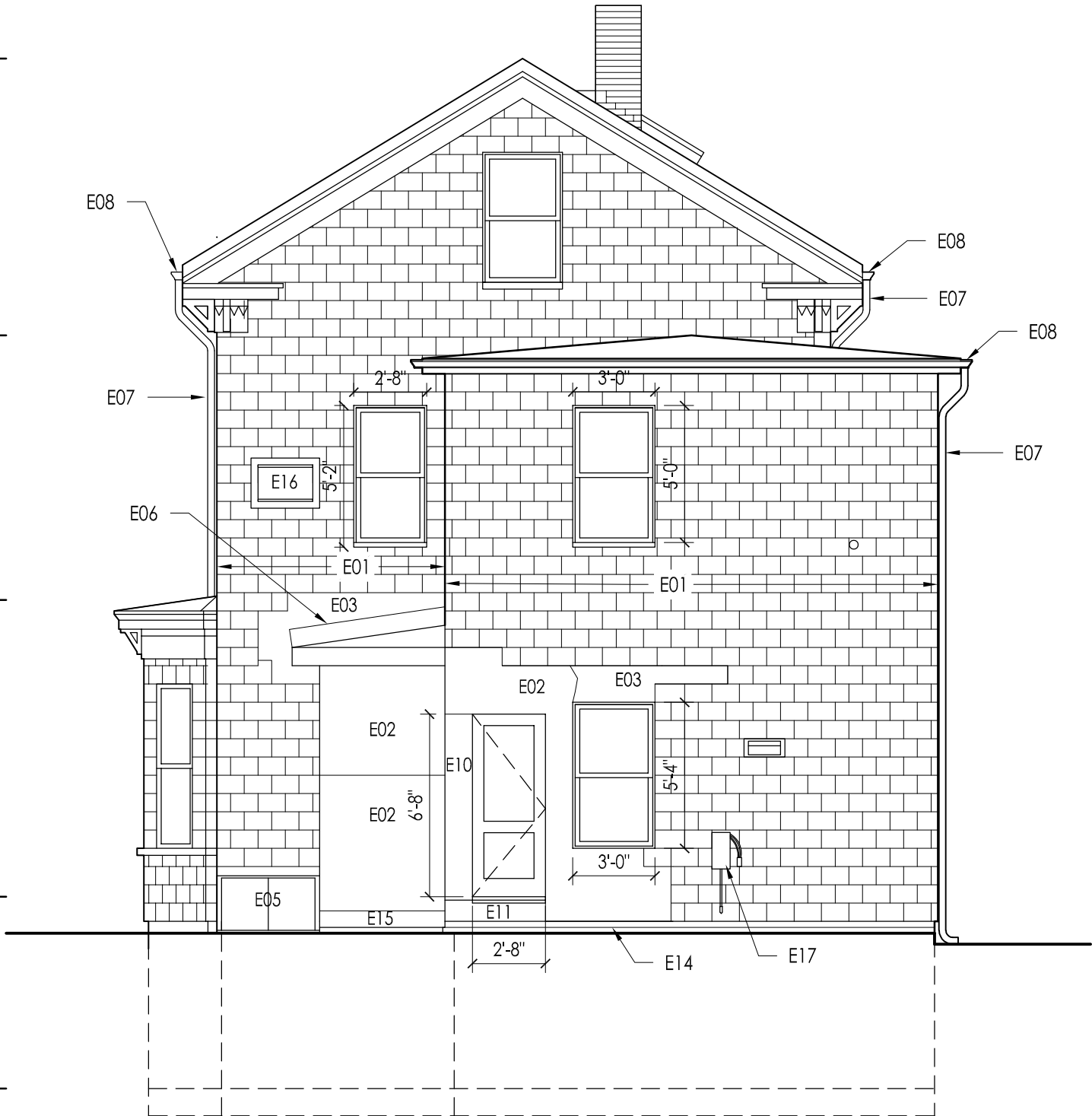
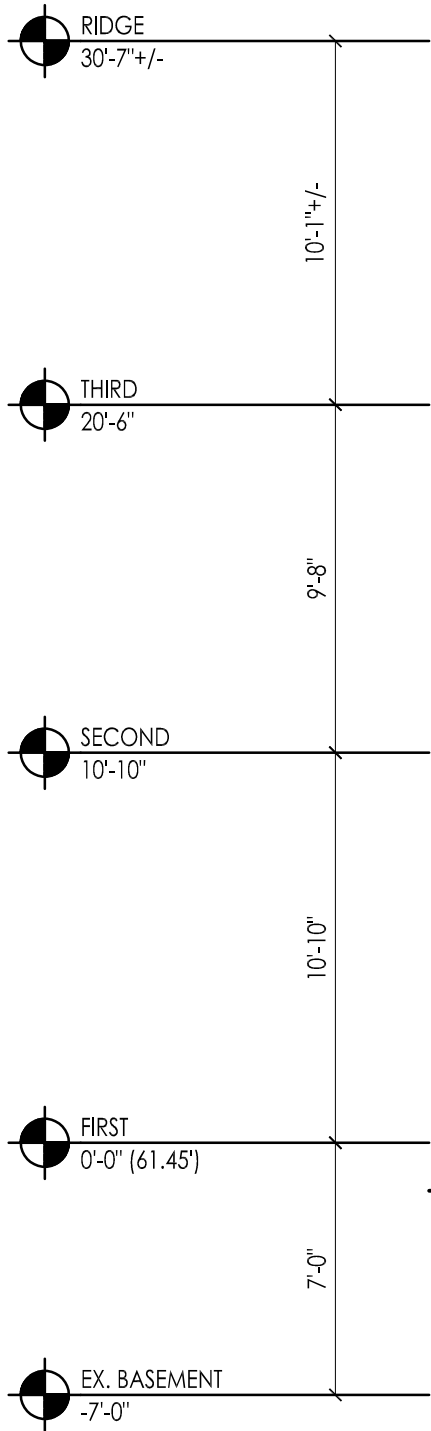
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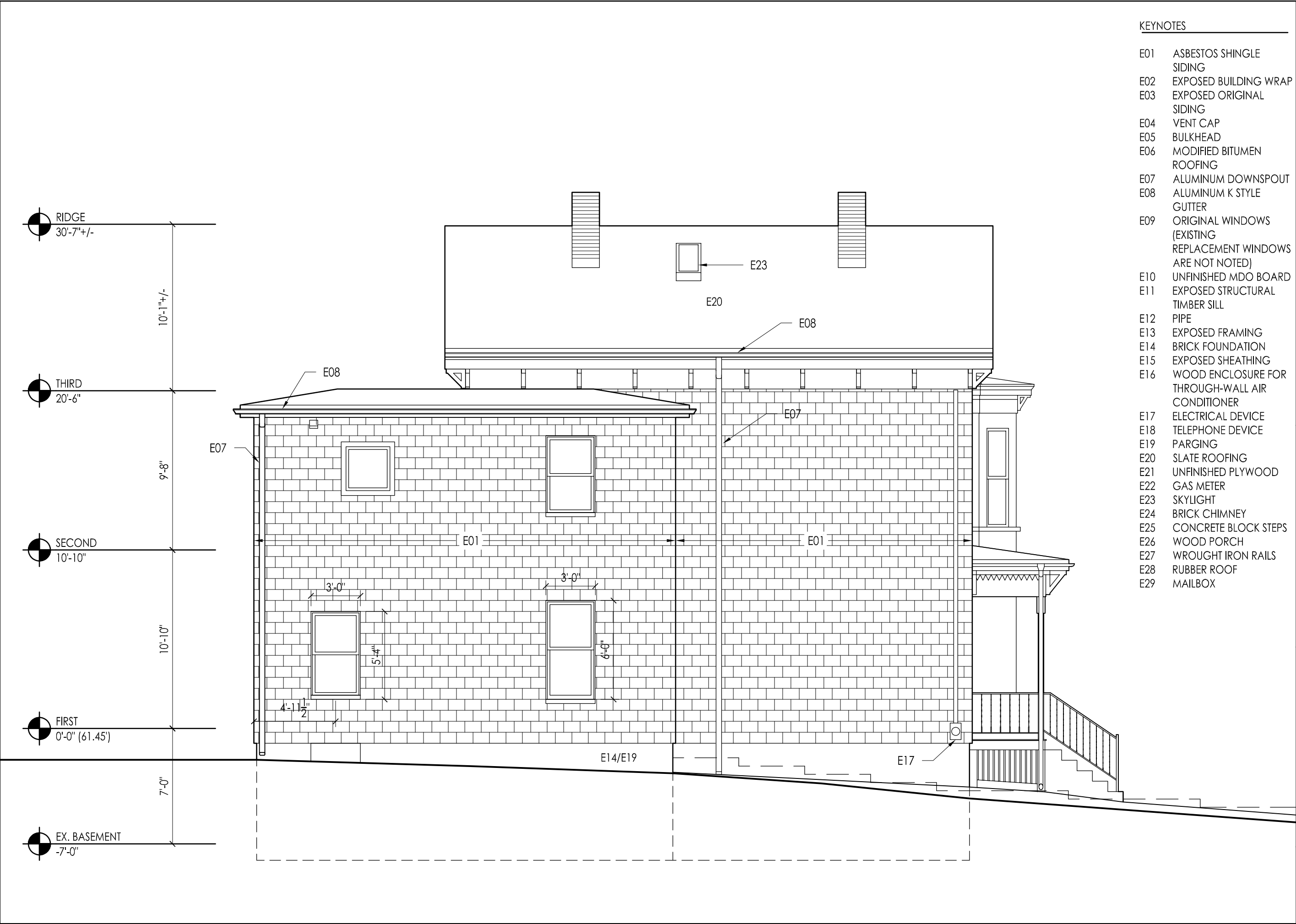
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Drawing Title: EXISTING ELEVATIONS 2 Scale: 3/16" = 1'-0" Date Issued: 15 DEC 2023 - FOR HPC SUBMISSION		Project Cole/Bell Residence
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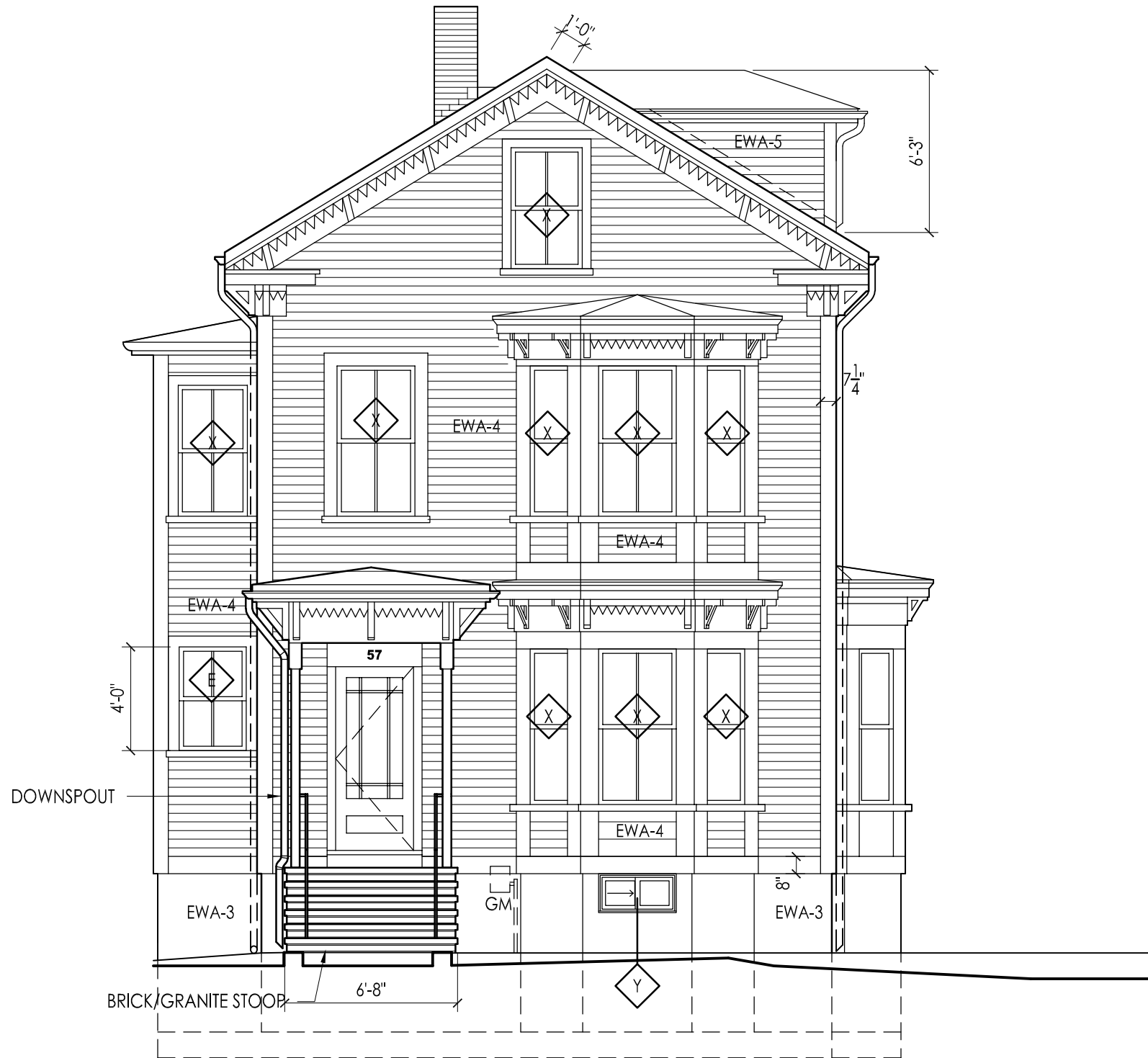
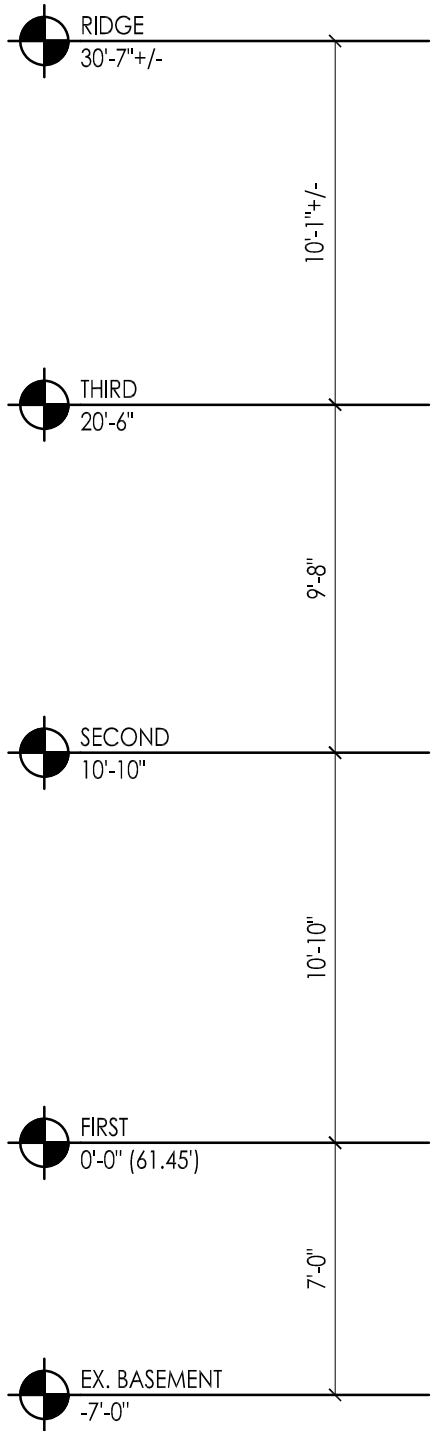
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Drawing Title: EXISTING ELEVATIONS 3 Scale: 3/16" = 1'-0" Date Issued: 15 DEC 2023 - FOR HPC SUBMISSION		Project Cole/Bell Residence
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SIDING NOTES	
EWA-1	CEDAR BOARD AND BATTEN
EWA-2	FIBER CEMENT CLAPBOARD
EWA-3	PARGING ON BRICK
EWA-4	FIBER CEMENT CLAPBOARD
EWA-5	FIBER CEMENT CLAPBOARD

Big Bend Studio Architects, LLC 156 Mount Auburn St., Cambridge, MA 02138 617.520.4512		Owner Monique Cole and David Bell 57 Columbus Ave, Somerville, MA
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Drawn by: JBM Approved by: JBM		
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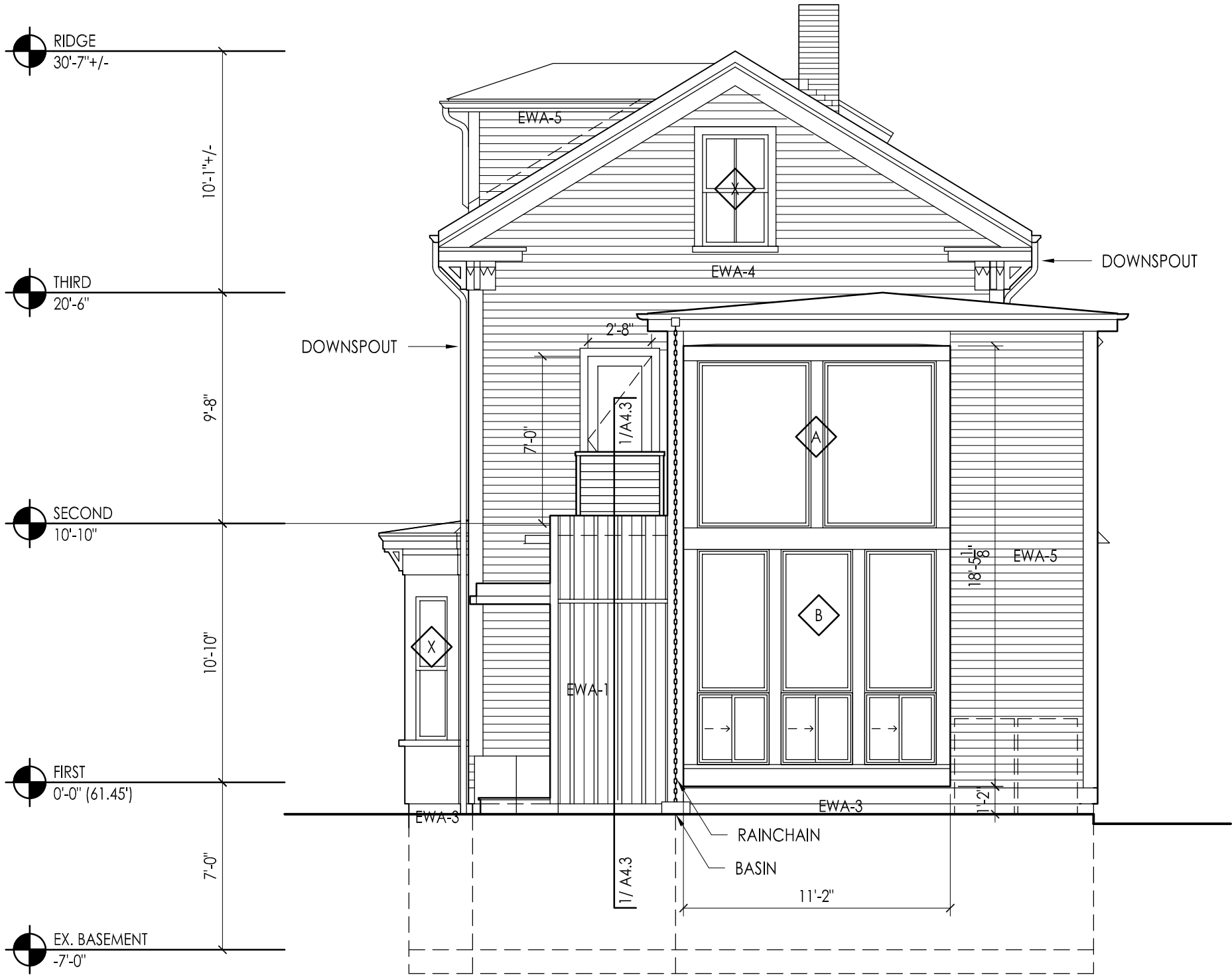


SIDING NOTES	
EWA-1	CEDAR BOARD AND BATTEN
EWA-2	FIBER CEMENT CLAPBOARD
EWA-3	PARGING ON BRICK
EWA-4	FIBER CEMENT CLAPBOARD
EWA-5	FIBER CEMENT CLAPBOARD

Big Bend Studio Architects, LLC 156 Mount Auburn St., Cambridge, MA 02138 617.520.4512		Owner Monique Cole and David Bell 57 Columbus Ave, Somerville, MA
Drawing Title: ELEVATIONS 2 Scale: 3/16" = 1'-0" Date Issued: 15 DEC 2022 - FOR HPC SUBMISSION		Project Cole/Bell Residence
A2.2		Drawn by: JBM Approved by: JBM

SIDING NOTES

- EWA-1CEDAR BOARD AND BATTEN
- EWA-2FIBER CEMENT CLAPBOARD
- EWA-3PARGING ON BRICK
- EWA-4FIBER CEMENT CLAPBOARD
- EWA-5FIBER CEMENT CLAPBOARD



Big Bend Studio Architects, LLC
156 Mount Auburn St., Cambridge, MA 02138
617.520.4512

Owner

Monique Cole and David Bell
57 Columbus Ave, Somerville, MA

Project

Cole/Bell Residence

Drawing Title: ELEVATIONS 3

Scale: 3/16" = 1'-0"

Date Issued: 15 DEC 2023 - FOR HPC SUBMISSION

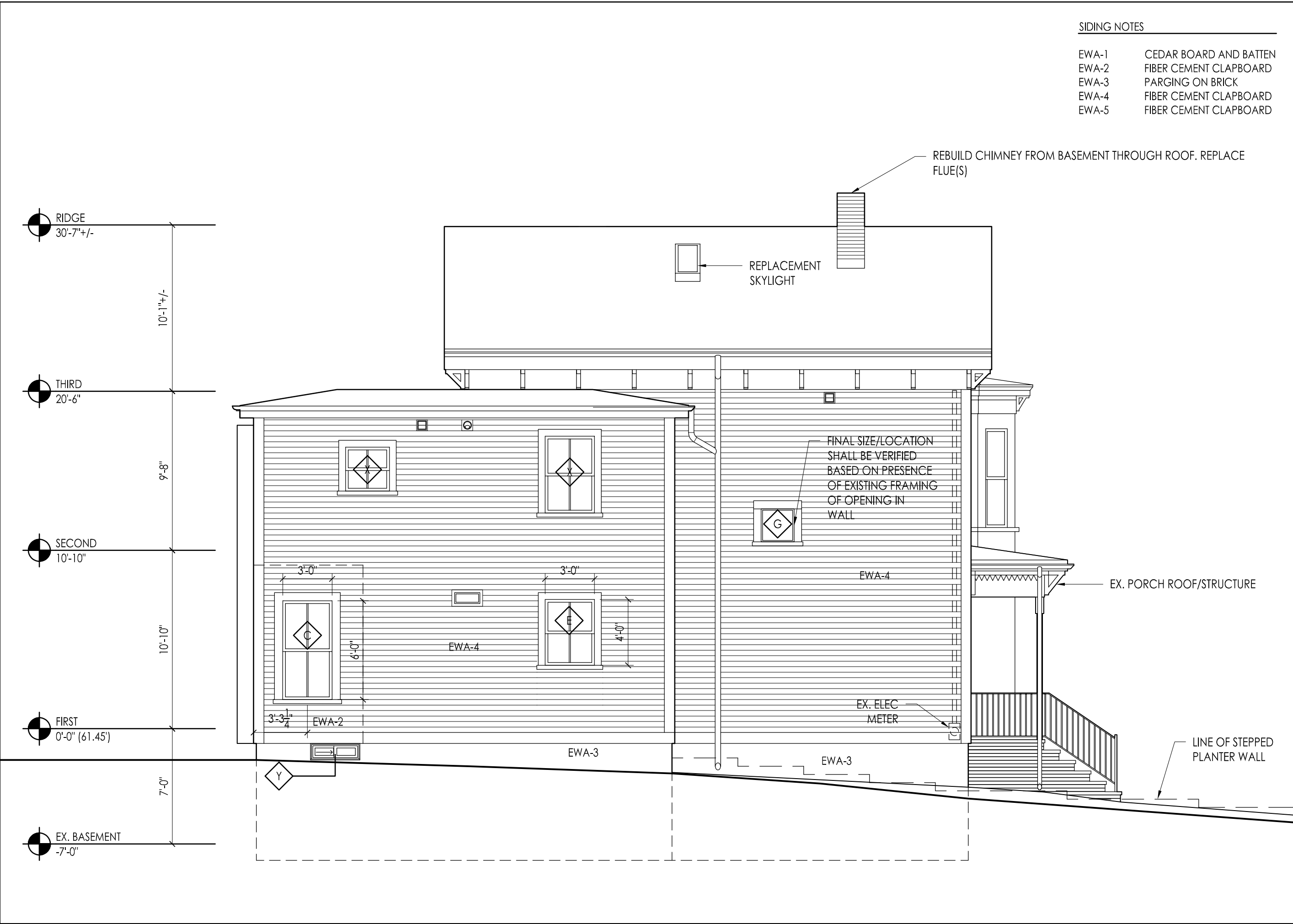
Drawn by: JBM

Approved by: JBM

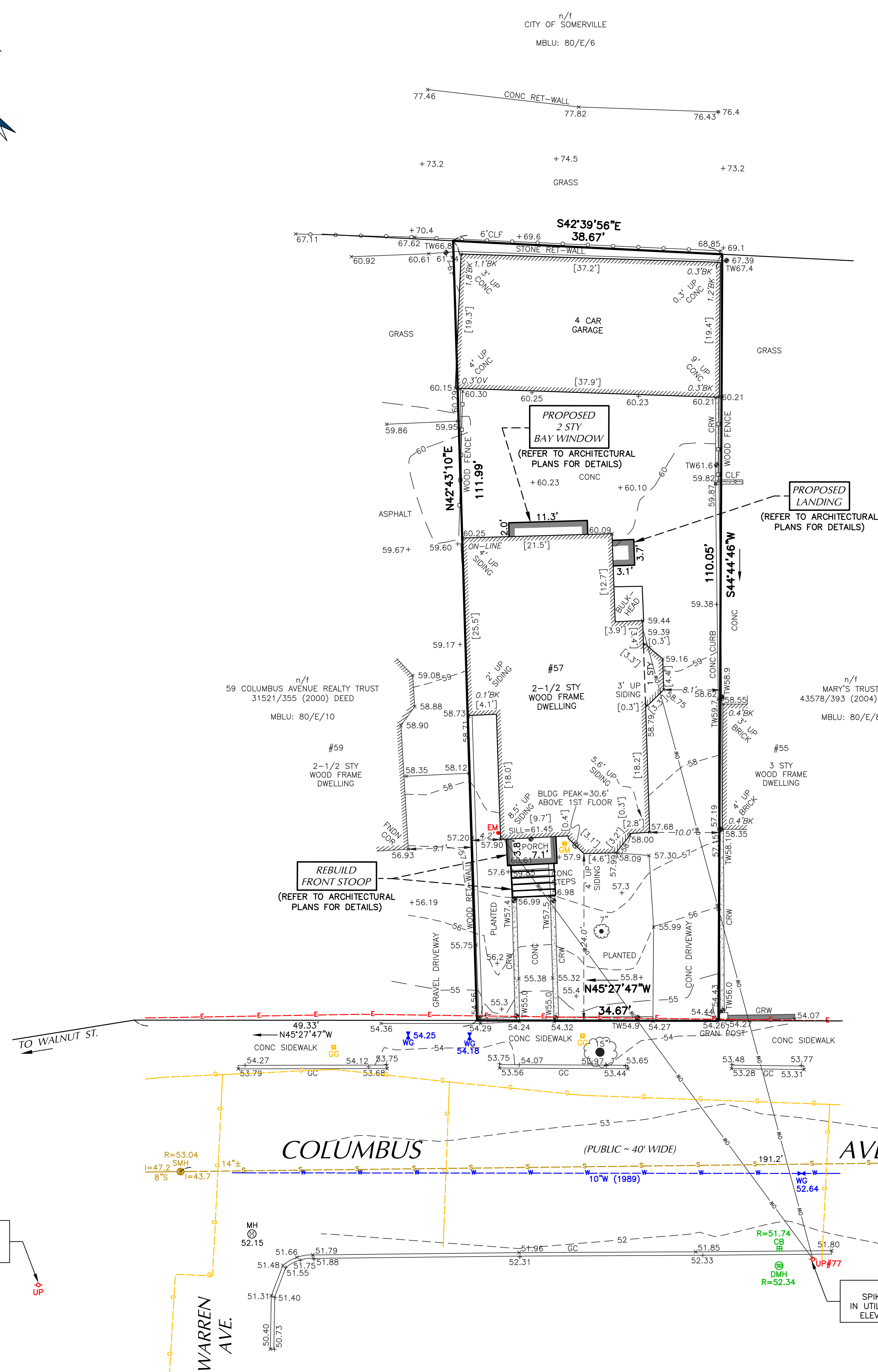
A2.3

SIDING NOTES

- EWA-1 CEDAR BOARD AND BATTEN
- EWA-2 FIBER CEMENT CLAPBOARD
- EWA-3 PARGING ON BRICK
- EWA-4 FIBER CEMENT CLAPBOARD
- EWA-5 FIBER CEMENT CLAPBOARD



Big Bend Studio Architects, LLC 156 Mount Auburn St., Cambridge, MA 02138 617.520.4512		Owner Monique Cole and David Bell 57 Columbus Ave, Somerville, MA
Drawing Title: ELEVATIONS 4 Scale: 3/16" = 1'-0" Date Issued: 15 DEC 2023 - FOR HPC SUBMISSION		Project Cole/Bell Residence
Drawn by: JBM Approved by: JBM		
A2.4		



ALL UNDERGROUND UTILITIES SHOWN ARE QUALITY LEVEL "D" PER ASCE STANDARD 38-02 DESIGNATION. UNLESS NOTED, THEY ARE APPROXIMATE ONLY AND WERE COMPILED ACCORDING TO AVAILABLE RECORDS FROM THE VARIOUS COMPANIES AND PUBLIC AGENCIES. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE ANY CONSTRUCTION. ANY CHANGES TO THE UTILITIES SHOWN MUST BE MADE PRIOR TO RESTORATION, REPAIRING OR OTHER CONSTRUCTION. ALL UTILITY COMPANIES MUST BE NOTIFIED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 370, ACTS OF 1963, MASSACHUSETTS. CALL "DIG SAFE" AT 1-888-344-7233 OR DIAL 811. THE DGT ASSOCIATES, INC., ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INADEQUATELY SHOWN. BEFORE ANY CONNECTIONS, THE APPROPRIATE UTILITY ENGINEERING DEPARTMENTS MUST BE CONSULTED.

QUALITY LEVEL D: "QL D UTILITY INFORMATION PLOTTED ON THE DRAWINGS BASED SOLELY ON RECORD INFORMATION, INDIVIDUAL RECOLLECTIONS OR THE EXISTENCE OF UTILITY SERVICE. IT SHALL BE NOTED THAT ALL INFORMATION SHOWN (OTHER THAN AT TEST HOLE LOCATIONS, SEE QL A BELOW), INCLUDE BUT NOT TO UTILITIES SIZE, CAPACITY, MATERIAL COMPOSITION, CONDITION OR SERVICE STATUS SHALL BE CONSIDERED QL D EVEN THOUGH THE UTILITY MAY BE PLOTTED AND LABELED AS QL C OR QL B.

QUALITY LEVEL C: "QL C". UTILITY INFORMATION OBTAINED AS ABOVE FOR QUALITY LEVEL D, PLOTTED TO CORRELATE WITH SURFACE UTILITY FEATURES WHICH HAVE BEEN FIELD VERIFIED, SURVEY LOCATED AND ACCURATELY REDUCED ONTO THE DESIGN/CONSTRUCTION DOCUMENTS. INCLUDED IN THIS CATEGORY ARE UTILITY DEPICTIONS, WHICH IN THE PROFESSIONAL OPINION OF THE SUBSURFACE UTILITY ENGINEER REPRESENT THE MOST PROBABLE APPROXIMATE HORIZONTAL LOCATION, TYPE AND/OR EXISTENCE OF A UTILITY.

QUALITY LEVEL B: "QL B". UTILITY INFORMATION DERIVED BY ESTABLISHING THE SURFACE HORIZONTAL LOCATION OF A UTILITY USING ELECTRONIC METHODS. SAID INFORMATION IS SUBSEQUENTLY FIELD SURVEY LOCATED AND ACCURATELY REDUCED ONTO THE DESIGN/CONSTRUCTION DOCUMENTS.

QUALITY LEVEL A: "QL A". UTILITY INFORMATION WHICH HAS BEEN VISUALLY VERIFIED, SURVEY LOCATED (BOTH HORIZONTALLY AND VERTICALLY) AND ACCURATELY REDUCED ONTO THE DESIGN/CONSTRUCTION DOCUMENTS. THIS IS TYPICALLY SHOWN AS TEST HOLE OR OTHER DIMENSIONED INFORMATION.

CITY OF SOMERVILLE ENGINEERING DEPARTMENT
WATER PLAN.

EVERSOURCE
ELECTRIC AND GAS.

---E---E---E EVERSOURCE: ELECTRIC
 ---G---G---G EVERSOURCE: GAS
 ---S---S---S SEWER
 ---W---W---W WATER

LOCUS MAP N.T.S.

BK	BACK	HYD	HYDRANT
BLDG	BUILDING	MH	MANHOLE
CB	CATCH BASIN	OV	OVER
CLF	CHAIN LINK FENCE	R=	RM ELEVATION
CONC	CONCRETE	RET	RETAINING
COR	CORNER	STY	STORY
CRW	CONCRETE RETAINING WALL	TW	TOP OF WALL
DH#	DRAIN MANHOLE	UT	UTILITY POLE
EM	ELECTRIC MANHOLE	WG	WATER GATE
GC	GRANITE CURB		
GS	GAS GATE	[x.x"]	BUILDING DIMENSION AT GROUND LEVEL
GM	GAS METER	OM	
GRW	GRANITE RETAINING WALL	O	TREE

OWNER OF RECORD:
n/f DAVID C. BELL AND MONIQUE LOUISE COLE
40966/598 (2003) DEED
PLAN BOOK 17-B, PLAN 90 (1870)
AREA = 4,066 SQ. FT.
MBLU: 80/E/9

CITY OF SOMERVILLE ENGINEERING RECORDS
9 COLUMBUS AVE. EXTENSION

PLAN	1121	OF	2001
"	126	OF	2001
"	828	OF	1982
"	771	OF	1959

1) FIELD SURVEY PERFORMED: AUGUST 29 AND SEPTEMBER 9, 2022

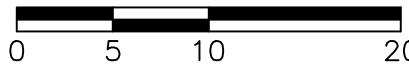
2) ELEVATIONS SHOWN REFER TO CITY OF SOMERVILLE DATUM AS CONVERTED FROM THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AS ESTABLISHED BY GPS OBSERVATIONS.

I HEREBY CERTIFY THAT:

THIS PLAN IS BASED ON AN ON-THE-GROUND SURVEY AND PRESENTS THE FACTS AS FOUND AT THE TIME OF THE SURVEY.

PROFESSIONAL LAND SURVEYOR

SCALE: 1" = 10'



PREPARED FOR:

DAVID BELL AND MONIQUE COLE

PREPARED BY:



Framingham • **Boston** • Worcester

803 SUMMER STREET 1ST FLOOR BOSTON MA 02127

617.275.0541 www.DGTassociates.com

RESEARCH:

D. CLIFFORD

K.G./A.A.R.

D.I.

DRAFTING:

CHECK:

STAPLES, P

ROJ. MANAG
B. TALEB

D. TALLB

9-SEP-2022

JOB NO. _____

ADD FILE

CRD FILE
-1718-ALL C

SHEET NO. 127

1 OF 1

BY:	DESCRIPTION:	DATE:	REV: 0
PLAN NO.:		S-1718 01PL	

ULTIMATE

MARVIN SIGNATURE® COLLECTION



THE MARVIN PORTFOLIO

The Marvin portfolio consists of five product lines organized into three distinct collections defined by the degree of design detail and customization opportunities.

Marvin windows and doors offer exceptional performance, energy efficiency, low maintenance, and quality you can see, feel, and touch to help bring your vision to life.



ULTIMATE

Most extensive selection of features, options, and product types



MODERN

Design flexibility in a purely modern aesthetic available exclusively at Marvin Modern dealers



COASTLINE

Custom windows and doors for high velocity hurricane zones in the coastal Southeast



ELEVATE

Wide range of options and product types



ESSENTIAL

Curated options and product types

MARVIN SIGNATURE® COLLECTION				MARVIN ELEVATE® COLLECTION	MARVIN ESSENTIAL™ COLLECTION
INTERIORS	WOOD 6 species options + custom 2 painted or primed options 6 stains + clear coat	EXTRUDED ALUMINUM 5 color options	EXTRUDED ALUMINUM 6 solid colors, 4 woodgrain finishes	WOOD Bare pine, painted Designer Black, painted White, or clear coat	FIBERGLASS 3 color options
EXTERIORS	EXTRUDED ALUMINUM 19 colors + custom OR WOOD 3 species + custom	FIBERGLASS 5 color options	EXTRUDED ALUMINUM 6 solid colors, 4 woodgrain finishes	FIBERGLASS 5 color options	FIBERGLASS 5 color options
SIZING	Standard + custom sizing for replacement, remodeling, or new construction	Custom sizing for remodeling or new construction	Custom sizing for replacement, remodeling, or new construction	Standard + custom sizing for replacement, remodeling, or new construction	Standard + custom sizing for replacement, remodeling, or new construction
HARDWARE	Extensive selection including Marvin Gallery Hardware	Minimalist hardware for modern design aesthetic	Available in multiple styles, sizes, and finishes to complement the window + door aesthetics	Available in 6 finish options with 2 door handle styles	Available in 6 finish options with 1 door handle style
COASTAL + WATERFRONT	Hurricane Impact Zones 3 and 4, + PG 50 Products		All products rated for High Velocity Hurricane Zone (IZ4)	Hurricane Impact Zone 3, + PG 50 Products	

Marvin Signature® collection

REDEFINING THE STANDARD

The Ultimate product line, part of the Marvin Signature collection, unites beautiful design with exceptional craftsmanship. Add character to almost any space with our most extensive selection of shapes, styles, sizes, and options—including wood interiors protected by tough wood or aluminum exteriors. With nearly limitless opportunities for customization, Ultimate can match your vision—and give it room to grow.



Casement windows in Bronze with Oil Rubbed Bronze hardware

About Us

At Marvin, we're driven to imagine and create better ways of living, helping people feel happier and healthier inside their homes. We believe that our work isn't just about designing better windows and doors—it's about opening new possibilities for the people who use them.



Direct Glaze Narrow Frame Corner window in Ebony

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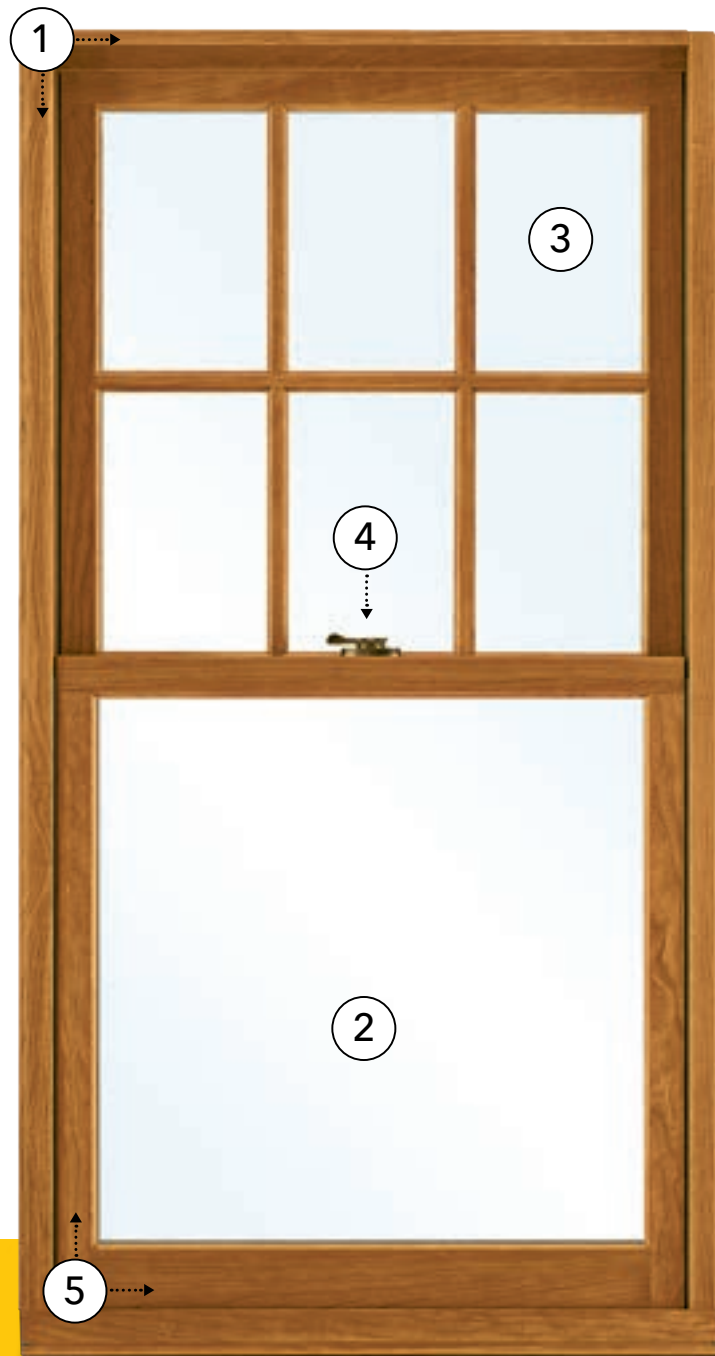
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WINDOWS



Awning and Picture windows in Ebony

WINDOW TERMS + DEFINITIONS



1. FRAME

There are three components to the frame: the header across the top, the jambs down each side, and the sill across the bottom. Marvin frames are built strong with a variety of high-quality wood species.

2. GLAZING

The glass in a window is called glazing. Marvin's broad range of glazing options can meet both high-performance and refined aesthetic requirements.

3. LITE

Each area of glass is called a lite. Marvin offers divided lite patterns for whatever look you wish to create.

4. HARDWARE

Marvin uses only the highest quality locks, handles, lifts, pulls, and hinges in a wide variety of durable finishes.

5. SASH

The sash—operating or stationary—is comprised of horizontal rails, vertical stiles, and glazing. Marvin's large solid sash offer precise fit and ease of operation.

WINDOW OPERATING STYLES



DOUBLE HUNG

Double hung windows have two movable sashes which operate vertically.



CASEMENT

A window that is hinged to its frame at the side and opens like a door.



GLIDER

A window with a sash that slides horizontally to open and close.



AWNING

An awning is hinged to the frame at the top and opens outward. If hinged on the bottom, it's called a hopper.



FIXED OR PICTURE

An inoperable window with direct glaze or in-sash configurations. Available in a wide range of polygon and radius shapes.

MORE FLEXIBILITY TO MEET ANY
DESIGN CHALLENGE.

Marvin has an extensive selection of styles, sizes, shapes, and options.

DOUBLE HUNG WINDOWS

Ultimate Double Hung windows combine state-of-the-art design with classic style. Advanced engineering and high-quality construction make our double hung windows incredibly durable, versatile, and easy to use.



Double Hung G2 windows and Sliding French door in Bronze

Photo: Laurey Glenn

ULTIMATE DOUBLE HUNG G2



Double Hung G2 window in White with Oil Rubbed Bronze hardware



Photo: Laurey W. Glenn

Double Hung G2 windows in White with Oil Rubbed Bronze hardware

ULTIMATE DOUBLE HUNG G2

The Ultimate Double Hung G2 window is an embodiment of our dedication to the craft of creating windows and doors. Influenced by the rich, historical significance of this window style and inspired by innovative design, each feature is thoughtfully added and every detail is carefully considered. This is all in service of shaping a window that deserves to be in the unique homes our customers desire.



INTERIOR



EXTERIOR



UNIQUE WASH MODE ALLOWS CLEANING OF BOTH SIDES OF GLASS FROM INDOORS

ULTIMATE DOUBLE HUNG G2


Engineered for performance and designed to inspire, each aspect of the Ultimate Double Hung G2 window was made with purpose. Our engineers consider every detail from the most innovative features to the most minute subtleties, all because the windows in your home help illuminate the most important parts of your life.

INTERIOR FEATURES AND PERFORMANCE

RICH WOOD INTERIOR
Offers beauty and warmth with six wood species and ten interior finish options.

NARROW CHECKRAIL
Provides a sleek aesthetic at 1 15⁄16 inches to maximize daylight opening while maintaining historical accuracy.

TILT WASH MODE
Allows easy access to exterior glass for cleaning and maintenance.



EXCLUSIVE AUTOLOCK
Activates when the sashes are closed, locking the window.

FIRST-RATE ENERGY EFFICIENCY
Meets ENERGY STAR® standards in energy efficiency with multiple glass options for various regions, climates, and weather needs.


SASH BALANCE SYSTEMS
Enables smooth operation at the largest sizes.

EXTERIOR FEATURES AND PERFORMANCE

DURABLE CLADDING
Extruded aluminum exterior cladding with an AAMA verified 2605 finish and backed by a 20-year warranty against chalking and fading.

EXPANSIVE SIZES
Larger than 5 feet wide by 10 feet high.

TRADITIONAL SILL BEVEL
The 14-degree bevel provides optimal water management while maintaining a classic look.



SUPERIOR WEATHER PERFORMANCE
LC-PG50 on most sizes. Optional commercial (CW) performance and IZ3 certified coastal performance on most sizes.

DESIGN VERSATILITY
An array of simulated divided lite patterns, interior and exterior color options, ten hardware finishes, and archtop models.

ALUMINUM INTER-LOCK
Eliminates drafts and improves the window's overall structural integrity.

ULTIMATE DOUBLE HUNG ROUND TOP G2



Double Hung Round Top G2 windows in White with Satin Nickel hardware



EYEBROW
RADIUS

HALF CIRCLE
TRANSM

EYEBROW
TRANSM

HALF CIRCLE
RADIUS

HALF
EYEBROW

ULTIMATE DOUBLE HUNG ROUND TOP G2

The Ultimate Double Hung Round Top G2 window will add traditional arching and elegant lines to your home or historic preservation project. With the same features and grace of the Ultimate Double Hung G2 window, this window offers design flexibility with numerous variations of radius shapes. Choose from multiple divided lite patterns to further enhance the arch of the window. These versatile windows—available in a wide range of sizes—can provide a subtle accent or a dramatic focal point to enhance your home design.

ROUND TOP VARIATIONS

EYEBROW AND HALF EYEBROW RADIUS OPERATING DOUBLE HUNG

A classic look with a gentle eyebrow radius. Beautiful as a stand alone window or as part of an assembly.

HALF CIRCLE TRANSM

This simulated half circle transom window can be sized to stand alone or easily fit above a double hung window.

EYEBROW TRANSM AND PICTURE

This stationary window is available as a transom or picture window. These windows are designed to complement the Ultimate Double Hung G2 window with correlating sizes and matching springline.

HALF CIRCLE RADIUS OPERATING DOUBLE HUNG

A dramatic window with a true half circle arch. The look gives a beautifully smooth transition from jamb to header. Both sashes are operable.

ASYMMETRIC CURVE OPERATING SINGLE HUNG

This striking window style adds elegant curve to a two-wide window assembly (not shown).

ULTIMATE DOUBLE HUNG INSERT G2



Double Hung Insert G2 windows in White with Satin Nickel hardware



Double Hung Insert G2 windows with Matte Black hardware

ULTIMATE DOUBLE HUNG INSERT G2

The Ultimate Double Hung Insert G2 window adds quality craftsmanship, beauty, and energy efficiency to your home without compromising architectural integrity. Its frame-in-frame design is built precisely to seamlessly fit into your unique window opening, so there's no need to remove the existing frame or disturb the exterior or interior trim of your house.



INTERIOR



EXTERIOR



SASH LOCK IN SATIN NICKEL

ULTIMATE SINGLE HUNG G2



Single Hung G2 window with Traditional Lift Lock in Satin Chrome



Single Hung G2 windows with Contemporary Lift Lock in Brass

ULTIMATE SINGLE HUNG G2

A contemporary classic, the Ultimate Single Hung G2 window blends traditional beauty and state-of-the-art performance. With the top sash stationary and the bottom sash operable, a single hung style is often preferred in a cottage-style window with a small top sash that doesn't need to open. Reliable and energy efficient, the Ultimate Single Hung G2 window offers an auto-lock feature for convenient security, durable hardware for smooth operation, and Marvin's unique Wash Mode for easy cleaning. Customize your design with round top styles or optional Lift Lock, Marvin's exclusive bottom rail locking mechanism for easier operation in hard-to-reach areas.



INTERIOR WITH
CONTEMPORARY
LIFT LOCK



INTERIOR WITH
TRADITIONAL
LIFT LOCK



CONTEMPORARY LIFT LOCK OPERATION SHOWN IN SATIN NICKEL

WOOD EXTERIOR DOUBLE HUNG WINDOWS



Wood Exterior Double Hung windows with White hardware



Wood Exterior Double Hung windows with custom stain

WOOD EXTERIOR DOUBLE HUNG WINDOWS

The Ultimate Wood Double/Single Hung, Ultimate Wood Double Hung Magnum, and Ultimate Wood Double Hung Insert are quintessentially American windows designed to fit seamlessly into the historic fabric of your home, neighborhood, or community. With residential and commercial applications, these windows are perfect for any historic building.



WOOD DOUBLE/SINGLE HUNG EXTERIOR



WOOD DOUBLE HUNG MAGNUM INTERIOR



DOUBLE HUNG INSERT EXTERIOR

CASEMENT + AWNING WINDOWS

Ultimate Casements and Awnings are innovative, high-performing windows. Delivering exceptional versatility and clean profiles, these state-of-the-art windows are designed to suit virtually any application.



Casement and Awning windows with Satin Nickel hardware

ULTIMATE CASEMENT STYLES



Casement and Picture windows with Satin Nickel hardware

FULL FRAME OR NARROW FRAME

The Ultimate Casement and Ultimate Casement Narrow Frame windows are the most versatile and innovative casement windows ever produced. Ultimate Casement styles feature concealed multi-point locks, a patented Wash Mode, and durable hardware that operates smoothly even at the largest sizes.



ULTIMATE CASEMENT
A recessed sash for a traditional look, plus a full jamb, offers design flexibility for new construction or full frame replacement.



ULTIMATE CASEMENT NARROW FRAME
A flush sash to the exterior and narrow jamb depth make this window an easy choice for frame-in-frame replacement or more contemporary new construction applications.



ULTIMATE CASEMENT EXTERIOR WITH 4 1/4" FULL JAMB



ULTIMATE CASEMENT NARROW FRAME EXTERIOR WITH 2 1/4" NARROW JAMB

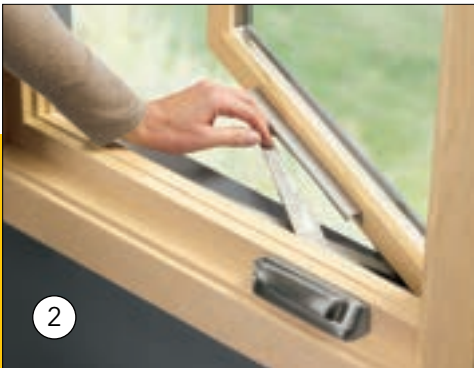
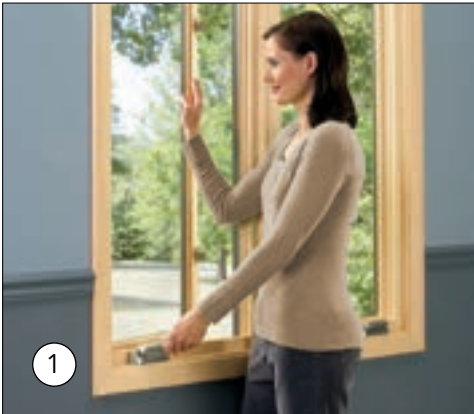
JAMBS + PROFILES
The Ultimate Casement has a recessed sash for a traditional or historic look. The Ultimate Casement Narrow Frame has a flush-to-frame sash for a contemporary look.

ULTIMATE CASEMENT EASY WASH MODE

Ultimate Casement operates in a way so revolutionary that we've patented it, making Marvin the only place you'll find it. The hardware allows access to both sides of the glass from the inside of your home, making window washing stress- and ladder-free.

REVOLUTIONARY WASH MODE

- 1. Crank the handle twice.
- 2. Push down on the hardware arm, and push the window away. Then crank the arm back.
- 3. Swing the window all the way open, pulling it across toward the lock for accessibility to exterior glass.



Marvin exclusive Wash Mode not available on Ultimate Casement windows in sizes less than 20 inches wide or Ultimate French Casement, Ultimate Awning, or Round Top windows.

ULTIMATE CASEMENT FEATURES + OPTIONS



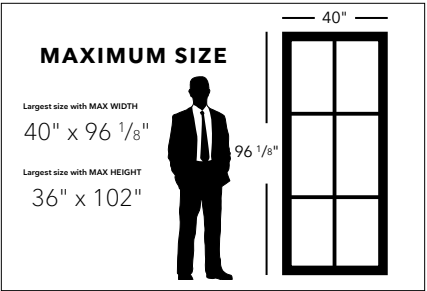
MULTI-POINT LOCKING SYSTEM
Multi-point locking mechanisms enhance performance and make large casements easy to operate.



ENDLESS DESIGN OPTIONS
A variety of divided lite patterns, including a double hung look make energy-efficient casements the perfect replacement window in older homes.



LOCK STATUS SENSOR
Hidden Lock Status Sensor option connects with your smart home to indicate when windows are closed and locked.



LARGE SIZES OPEN WITH EASE
We have developed the most durable hardware in the industry, which provides easy opening and smooth operation on even the largest casements.



WINDOW OPENING CONTROL DEVICE
Limits the casement sash opening to less than 4 inches when engaged. The release mechanism allows for operation beyond 4 inches. This option meets the ASTM F2090-21 standard.



FRICTION LIMITER
Flip a lever to lock the sash securely in place at multiple set angles, allowing you to open your window on windy days. Available for push out only.

ULTIMATE CASEMENT



Casement window in Designer Black painted interior finish with Matte Black hardware



Photographer: Sara Tramp

Casement windows with Matte Black hardware

ULTIMATE CASEMENT

The Ultimate Casement window is offered in some of the largest sizes in the industry, with a secure multi-point lock, durable hardware that ensures smooth operation, and Marvin’s exclusive Wash Mode for easy cleaning—even on upper floors. With many design options, including round top shapes, the Ultimate Casement window flexes to fit your vision and can be sized to complement the most expansive views.



CASEMENT INTERIOR WITH FOLDING HANDLE



CASEMENT EXTERIOR WITH FOLDING HANDLE



CASEMENT INTERIOR WITH HANDLE IN MATTE BLACK



ULTIMATE CASEMENT NARROW FRAME



Casement Narrow Frame window with White hardware

Photographer: Reed Brown



Casement Narrow Frame windows in Ebony

ULTIMATE CASEMENT NARROW FRAME

The Ultimate Casement Narrow Frame window is a contemporary option with a flush exterior and narrow jamb, ideal for frame-in-frame replacement and allowing quick and easy installation without disturbing the existing frame or interior wall. With its sleek design and square profiles, this window is a great fit for new construction or remodeling projects that call for slim lines and maximum views.



CASEMENT NARROW FRAME
INTERIOR WITH FOLDING
HANDLE



CASEMENT NARROW FRAME
EXTERIOR WITH FOLDING
HANDLE



CASEMENT PUSH OUT NARROW FRAME INTERIOR
WITH HANDLE IN OIL RUBBED BRONZE



ULTIMATE FRENCH CASEMENT



French Casement Push Out windows in Pine



French Casement window with Oil Rubbed Bronze folding hardware

ULTIMATE FRENCH CASEMENT

The Ultimate French Casement window pairs expert engineering with thoughtful design to offer a beautiful architectural window that won't compromise on performance or energy efficiency. The Ultimate French Casement has no center vertical post and opens like a French door. Simply crank open each independent sash or push out each sash and enjoy an unobstructed view.



FRENCH CASEMENT INTERIOR WITH FOLDING HANDLES



FRENCH CASEMENT PUSH OUT INTERIOR



FRENCH CASEMENT PUSH OUT EXTERIOR

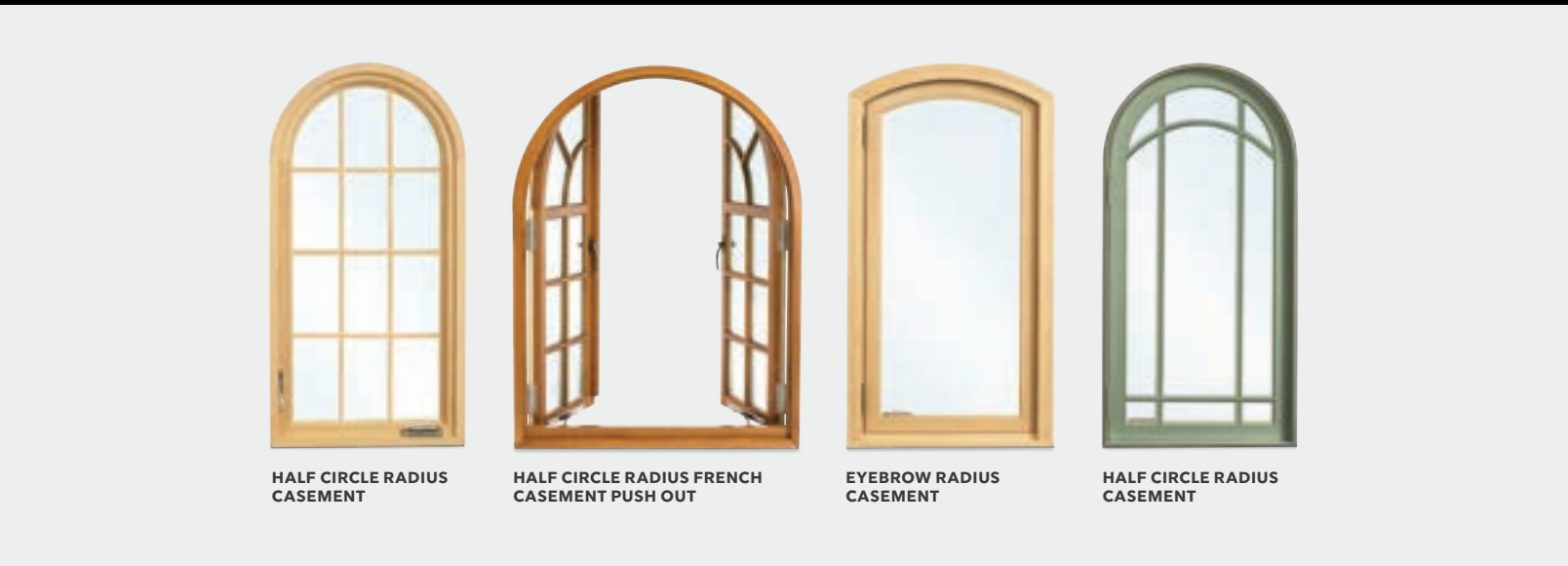
ULTIMATE CASEMENT INSWING



ULTIMATE CASEMENT INSWING

The Ultimate Casement Inswing window complements classic architectural styles. Inswing casements are particularly desirable where an outswing window would interfere with a patio, deck, or outdoor walkway. The Ultimate Casement Inswing can open from 90 to 180-degrees, so it is completely out of the way when open. Also available in a French Casement Inswing for a wide view with no center post to spoil the scenery.

ULTIMATE CASEMENT ROUND TOP



ULTIMATE CASEMENT ROUND TOP

The Ultimate Casement Round Top window is a great choice for designs that require large unobstructed views and the elegance of an arched shape. You can select from numerous round top shapes for design flexibility. The window can be used alone as a focal point or in combination with other windows.



INTERIOR CLOSED INTERIOR OPEN EXTERIOR INSWING HARDWARE IN OIL RUBBED BRONZE

ROUND TOP VARIATIONS

HALF CIRCLE RADIUS OPERATING CASEMENT
A dramatic window with a true half circle arch. The look gives a beautifully smooth transition from jamb to header.

HALF CIRCLE RADIUS OPERATING FRENCH CASEMENT
This striking window style adds an elegant curve to a double sash window with no center post for a wide-open view.

EYEBROW RADIUS OPERATING CASEMENT
A classic look with a gentle eyebrow radius. Beautiful as a stand alone window or as part of an assembly.

TRANSOM
Stationary windows with either eyebrow or half circle arches can be sized to stand alone or easily fit above a casement.

ULTIMATE AWNING



Awning window in stained Multi-Grain Douglas Fir with Matte Black hardware



Awning and Picture windows with Matte Black hardware and Designer Black sash/White frame

ULTIMATE AWNING

A top-hinged alternative or complement to a casement window, the Ultimate Awning window is designed for performance and quality. With industry-leading sizes, the Ultimate Awning can be used on its own as a convenient option for hard to reach areas like over a sink or counter, or as a complement to adjacent windows, allowing fresh air access.



AWNING WITH FOLDING HANDLE IN SATIN NICKEL

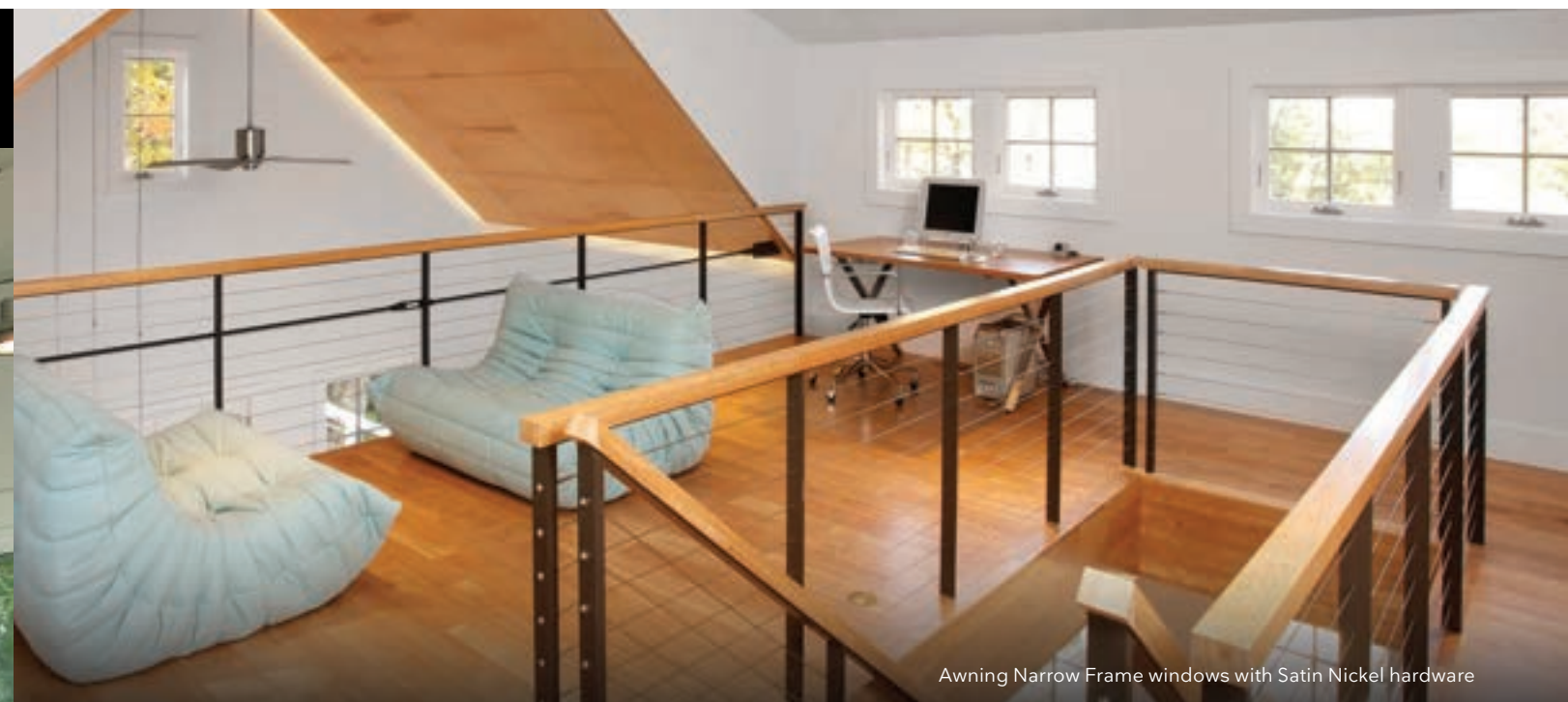


AWNING PUSH OUT WITH PUSH OUT HANDLE IN OIL RUBBED BRONZE

ULTIMATE AWNING NARROW FRAME



Awning Narrow Frame windows with White hardware



Awning Narrow Frame windows with Satin Nickel hardware

ULTIMATE AWNING NARROW FRAME

The Ultimate Awning Narrow Frame window is a sleek and versatile top-hinged window with a flush exterior profile and narrow frame—meaning it can be installed in replacement projects without removing the existing window frame or disrupting interior or exterior trim. The Ultimate Awning Narrow Frame window's contemporary aesthetic looks beautiful on its own or as a complement to narrow frame casement or picture windows. Hardware located at the bottom of the window means easy operation—even in hard to reach areas like over a kitchen sink.



AWNING NARROW FRAME
WITH FOLDING HANDLE
IN SATIN NICKEL



AWNING PUSH OUT NARROW FRAME
WITH PUSH OUT HANDLE
IN SATIN NICKEL

A rustic cabin interior featuring a large stone fireplace with a fire burning inside. The walls are made of dark, weathered wood, and the ceiling has exposed wooden beams. Large windows with wooden frames offer a view of a snowy forest. A dark sofa with patterned cushions is on the left, and a wooden coffee table is in the center. A flat-screen TV is mounted on the right wall.

MORE WINDOW STYLES

Distinctive spaces demand distinctive windows. Ultimate offers a wide variety of shapes, sizes, and operating styles to exactly match the design requirements of any building project.

Picture and Specialty Shape windows in Douglas Fir

ULTIMATE GLIDER



Glider window in Ebony

ULTIMATE GLIDER

The clean look and contemporary styling of Ultimate Glider windows is complemented by innovative performance features and beautiful design options. Comfortable ergonomics make the windows effortless to operate with an easy, one-handed locking system. Choose from one or two operating sash on dual sash configurations.



INTERIOR



EXTERIOR

ULTIMATE GLIDER BI-PARTING



Glider Bi-parting window in White Oak finish

ULTIMATE GLIDER BI-PARTING

The Ultimate Glider Bi-parting is a stunning variation on the clean, contemporary look of a glider window. Two center panels slide to each side of the window, providing an unobstructed opening. Perfect for the indoor/outdoor lifestyle, the Ultimate Glider Bi-parting window makes a large and easy pass-through from kitchen to outdoor dining or living space.



INTERIOR



EXTERIOR

ULTIMATE VENTING PICTURE



Venting Picture windows in White painted interior finish



Venting Picture windows in Stone White

ULTIMATE VENTING PICTURE

The Ultimate Venting Picture window-exclusive to Marvin-is a beautiful way to bring natural light and fresh air into a room. Designed with a patented hidden screen system, it opens evenly on all sides for passive air exchange, adding comfort and air flow to your home.



INTERIOR



EXTERIOR



VENTILATION SCREEN

ULTIMATE PICTURE



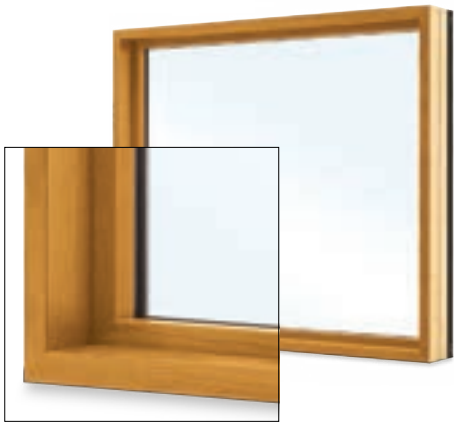
Picture and Awning windows in White painted interior finish



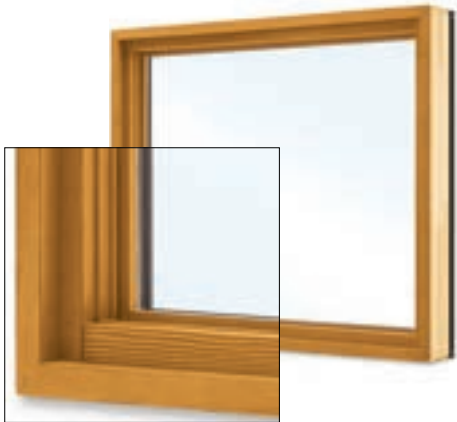
Casement and Direct Glaze Picture windows

ULTIMATE PICTURE

The Ultimate Picture window offers a classic style in a non-operable window, bringing natural light into a room or highlighting an unobstructed outdoor view. Durable and energy efficient, it can be sized to match accompanying double hung, single hung, or casement windows.



DIRECT GLAZE PICTURE WINDOW
INTERIOR VIEW



IN-SASH PICTURE WINDOW
INTERIOR VIEW

DIRECT GLAZE
Direct glaze refers to a window with no sash. The glass is glazed directly into the frame and is stationary.

IN-SASH
In-sash Picture windows are non-operable, and they can match the profiles of windows with operable sash.

ULTIMATE PICTURE NARROW FRAME



Picture Narrow Frame windows in Designer Black painted interior finish



Casement Narrow Frame and Picture Narrow Frame window in Ebony

ULTIMATE PICTURE NARROW FRAME

Homes designed to express a unique vision need windows to match. The contemporary look of the Ultimate Picture Narrow Frame window blurs the line between inside and outside with clean lines, narrow frames, and an almost unlimited selection of shapes and sizes. Ideal for transforming multiple units into stunning window wall configurations, the Ultimate Picture Narrow Frame window is available in sizes up to 86 inches wide and 146 inches high.



DIRECT GLAZE PICTURE NARROW FRAME



IN-SASH PICTURE NARROW FRAME

DIRECT GLAZE
Direct glaze refers to a window with no sash. The glass is glazed directly into the frame and is stationary.

IN-SASH
In-sash Picture windows are non-operable, and they can match the profiles of windows with operable sash.

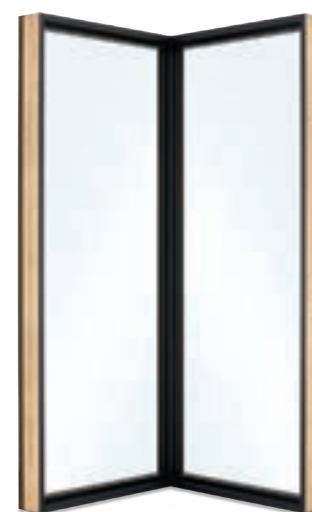
ULTIMATE CORNER



Direct Glaze narrow Frame Corner and Picture windows in White

ULTIMATE CORNER

Make the most of your panoramic views by incorporating corner windows as a design focal point. Corner windows flood a room with natural light, and a stacked assembly can be a bold architectural statement for both the interior and exterior. Clear sightlines from multiple angles enhance the breathtaking view.



INTERIOR WITH DESIGNER BLACK
PAINTED INTERIOR FINISH*



EXTERIOR IN LIBERTY BRONZE*

CORNER DETAILS

The clad cap on the exterior and wood cap on the interior create a clean aesthetic and minimal visual disruption.



INTERIOR CLOSE UP
SHOWN IN DESIGNER BLACK



EXTERIOR CLOSE UP
SHOWN IN LIBERTY BRONZE

Direct Glaze Narrow Frame Corner and Picture windows in Ebony

* Pictured above: Direct Glaze Corner Window
In-Sash Corner Windows also available

ULTIMATE CORNER NARROW FRAME



ULTIMATE CORNER NARROW FRAME

The Ultimate Corner Narrow Frame window makes a strong architectural statement in expansive sizes, combining narrow profiles and clean lines with industry-leading performance. Pair this corner window with other Marvin narrow frame windows for consistent sightlines that maximize glass and views.



CORNER DETAILS

The clad cap sits flush on the exterior, creating a clean-lined contemporary aesthetic. On the interior, the corner cap is stepped with a square profile.



ULTIMATE SPECIALTY SHAPES



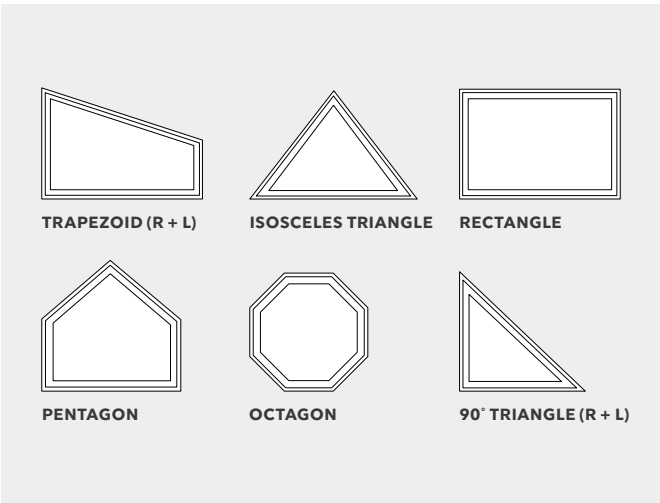
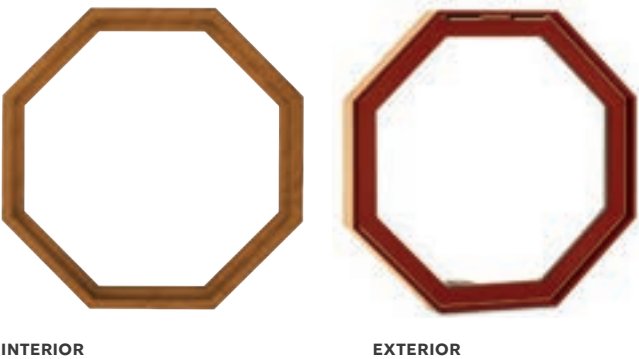
Specialty Shape Direct Glaze windows with White painted interior finish



Skycove, Direct Glaze Specialty Shapes windows, and Sliding French Door in Ebony

ULTIMATE SPECIALTY SHAPES

The Ultimate Specialty Shape windows are available in hundreds of geometric shapes customized to add special flair to a window design. Many are available as operating windows, providing access to fresh air in addition to unique aesthetics.



ULTIMATE BAY + BOW



Picture Bow window

ULTIMATE BAY

Ultimate Bay windows are a group of connected windows extending outward from a room at desired angles—allowing light and views from multiple directions. Some feature a larger operating or stationary window flanked by smaller windows. Ultimate Bay windows can create space indoors for a cozy nook or window seat or maximize a scenic view to serve as a room’s focal point. They can be created with combinations of 3 to 6 casement or double hung windows (fixed or operating).



BAY INTERIOR WITH CASEMENT AND PICTURE WINDOWS

ULTIMATE BOW

Ultimate Bow windows are a series of windows connected to form a gentle outward curve. Typically made up of four or more windows, Ultimate Bow windows can create a small nook, open up a view, bring in more light, and boost visual appeal from inside and out. Bow windows are available with casement, double hung, or picture windows. They can be created with combinations of 3 to 6 casement or double hung windows (fixed or operating).



BOW INTERIOR WITH CASEMENT AND PICTURE WINDOWS

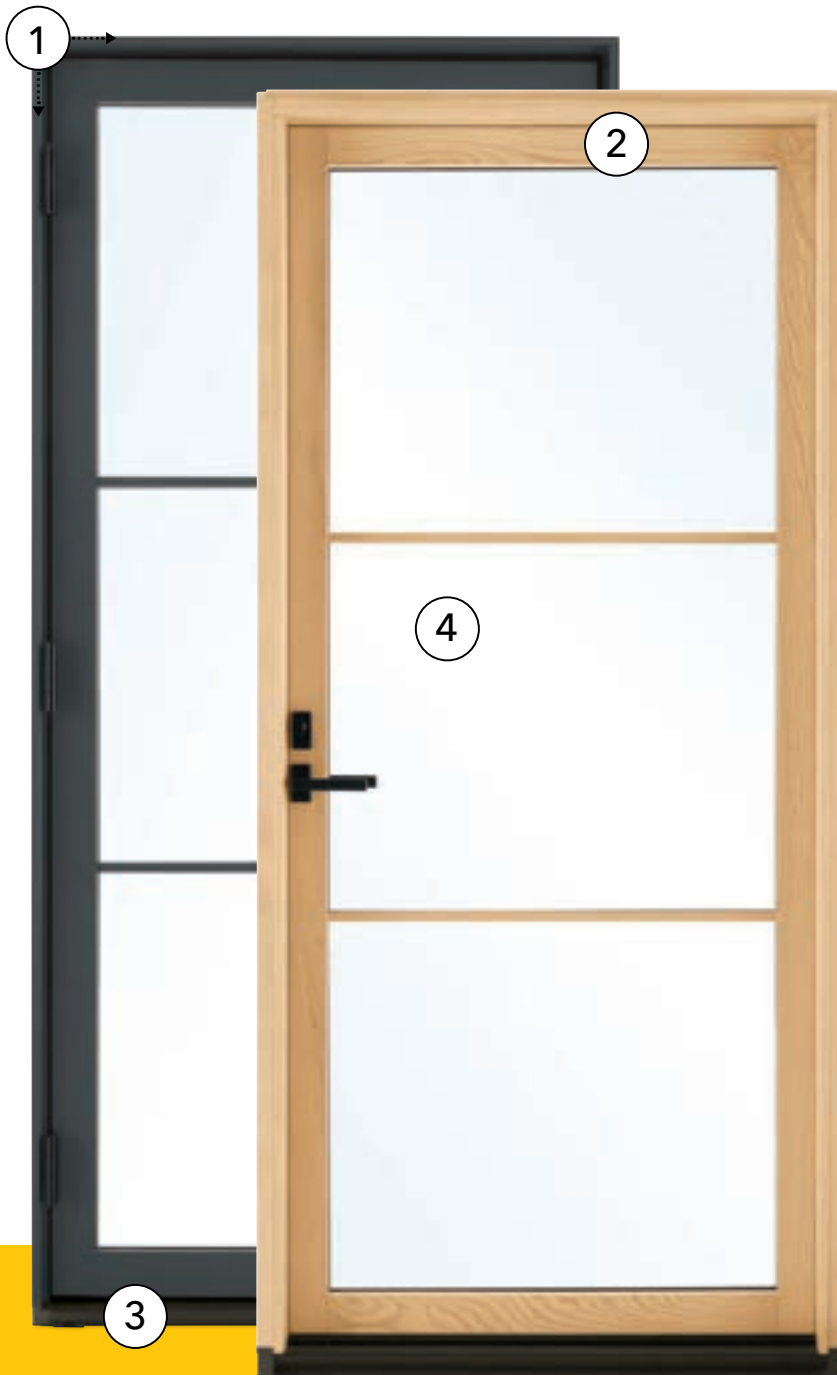
Double Hung G2 Bay

DOORS



Multi-Slide doors in Bronze

DOOR TERMS + DEFINITIONS



1. FRAME

The door frame includes the head jamb across the top, side jambs, and the sill at the bottom. Marvin frames are built strong to stand up to heavy door usage year after year.

2. STILES + RAILS

The horizontal wood members of a door are called rails; the vertical components are called stiles. With a traditional French door design, the bottom rail is about 8 inches high, with 4 ¾ inch stiles and top rail. Doors with a more contemporary style often feature more glass, with stiles and rails as sleek as 3 inches.

3. SILL

Our door sills are made of Ultrex®, our proprietary pultruded fiberglass that is exceptionally strong and virtually impervious to time, weather, and pressure. Ultrex door sills provide excellent performance in hot or cold climates, plus durability over the long haul by being resistant to warping, denting, and fading.

4. PANELS

In a door, the panel is the main section, operating or stationary, that is installed into the frame. Marvin doors come in many sizes, some of the industry's largest, and all share the tight tolerances for fit and quality finishes.

DOOR OPERATING STYLES



OUTSWING DOOR

Single or double swinging doors open to the exterior.



INSWING DOOR

Single or double swinging doors open to the interior.



SLIDING DOOR

Save space with a door panel that operates by sliding along a track.



BI-FOLD DOOR

This door folds open and closed like an accordion and can include up to 16 panels.



LIFT AND SLIDE DOOR

For openings as large as 48 feet wide and 12 feet high, substantial door panels fully open into pocket or stacked configurations.



MULTI-SLIDE DOOR

Another option to blend interior and outdoor living with a modular frame system.

MAKE EVERY ENTRANCE GRAND

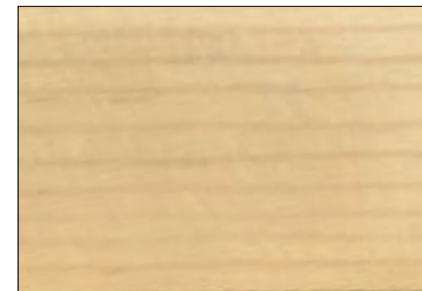
Marvin doors are designed to maximize the potential of any opening, view, and living space.

DOOR FEATURES + OPTIONS



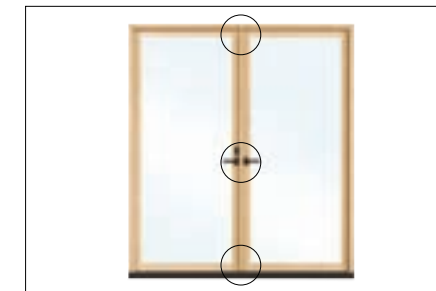
BEAUTY WITH PERFORMANCE

Designed for durability and to minimize air and water infiltration. Many of our door products are certified to a light commercial rating of PG40.



SOLID WOOD PANELS + FRAMES

The sound of a Marvin door closing is a quiet statement of quality. Wood in the panels and frames make for an elegant, crafted look and feel, and provide a weather-tight closure for outstanding energy efficiency.*



MULTI-POINT LOCKING SYSTEM

Concealed stainless steel head and foot bolts within the door secure it solidly at three points. Choose either a keyed or non-keyed lever handle. Multi-point lock comes standard.



ADJUSTABLE HINGE

Standard on swinging doors, an adjustable hinge makes it easy to fine-tune the fit of a swinging door over the door's lifetime. Available in a variety of finishes, plus coastal options.



LOW PROFILE SILL

This innovative sill option on select door types provides for a smooth transition between exterior and interior living spaces.



RAISED AND FLAT PANELS

Raised and flat panels add depth and style to sliding and swinging French doors, including arch top swinging doors. This option changes the overall aesthetic of your door when less than a full lite of glass is desired.

Sliding French Door in Ebony

ULTIMATE SWINGING NARROW PROFILE DOOR



Inswing door in Hazelnut with unequal panel widths and Matte Black hardware



Inswing Door in Pine with Matte Black hardware

ULTIMATE SWINGING NARROW PROFILE DOOR

The Ultimate Swinging Narrow Profile Door, available in both Inswing and Outswing, is expertly crafted to provide industry-leading performance with narrow sightlines and robust 2 ¼ inch standard panel thickness. Featuring contemporary 3 inch stiles and rails along with square interior and exterior profiles. Choose from one or two operating panels in configurations up to 4 panels. Sizes up to 10 feet high and 14 feet wide.



INSWING
INTERIOR



INSWING
EXTERIOR



SWINGING DOOR HANDLES IN MATTE BLACK
EXTERIOR

ULTIMATE SWINGING FRENCH DOOR G2



Inswing French door G2 with Oil Rubbed Bronze hardware

MARVIN SIGNATURE® COLLECTION



Inswing French door G2 and Elevate Direct Glaze window in White with Simulated Divided Lites

ULTIMATE SWINGING FRENCH DOOR G2

The Ultimate Swinging French door G2, available in both Inswing and Outswing, delivers a traditional aesthetic with 4 ¾ inch top rail and 8 ⅛ inch bottom rail. Select sizes up to 10 feet high and 14 feet wide to maximize views and access to the outdoors. Choose up to 4 panels with an Ogee interior profile.



INSWING
INTERIOR



INSWING
EXTERIOR



Available with IZ3

ULTIMATE SLIDING FRENCH DOOR



Sliding French door in Bronze



Sliding French door in Stained Multi-Grain Douglas Fir with Matte Black hardware

ULTIMATE SLIDING FRENCH DOOR

For the classic elegance of the French door with smooth, space-saving operation, our Ultimate Sliding French door is built to your specifications. With a rich, luxurious fit, feel, and finish, available in configurations up to 16 feet wide and standard heights up to 9 feet, this door offers a view with a grand entrance while conserving space for traffic flow or furniture layout. Available transom and stationary panels further enhance the view, flooding the room with daylight.



INTERIOR



EXTERIOR



INTERIOR LOCKED AND UNLOCKED CONTEMPORARY SLIDING HANDLE IN MATTE BLACK

ULTIMATE SLIDING PATIO DOOR



Sliding Patio door in Designer Black painted interior finish with Matte Black hardware



Sliding Patio door in Vertical Grain Douglas Fir with Matte Black hardware

ULTIMATE SLIDING PATIO DOOR

Dependable Ultimate Sliding Patio doors are created for smooth operation, performance, and amazing durability. Our tough Ultrex® fiberglass sill withstands traffic and seasonal changes, contributing to both the door’s energy efficiency and incredibly smooth operation. The contemporary 3 inch stiles and rails maximize your view, while the two-point lock system enhances performance.



INTERIOR



EXTERIOR



INTERIOR LOCKED AND UNLOCKED CONTEMPORARY SLIDING HANDLE IN SATIN NICKEL

ULTIMATE MULTI-SLIDE DOOR



Multi-Slide door with Matte Black hardware



Multi-Slide door with Satin Nickel hardware

ULTIMATE MULTI-SLIDE DOOR

The Ultimate Multi-Slide door is an ideal option to blend indoor and outdoor living, and the performance ratings of these doors match the exceptional views they frame. They're available in styles up to 6 panels uni-directional or 10 panels bi-parting. Both pocket and stacked designs are available with an optional scenic door Ultimate Sliding Screen.



EXTERIOR



HARDWARE AND SILL FEATURES

Pull and latch hardware provides easy operation and squared-off corners for a clean, contemporary look.



DESIGN FLEXIBILITY

Available in pocket or stacked configurations for openings up to 56 feet wide and 12 feet high. Pocketing configuration shown above.



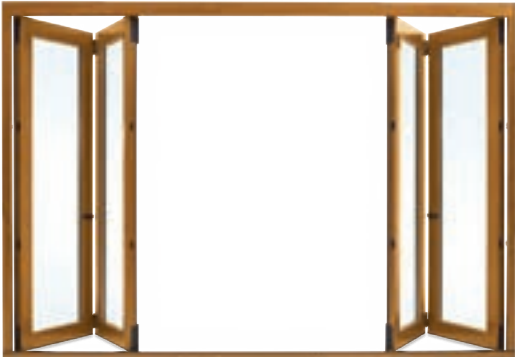
ULTIMATE BI-FOLD DOOR



Elevate Double Hung and Picture windows with Bi-Fold and Inswing French Doors

ULTIMATE BI-FOLD DOOR

The Ultimate Bi-Fold door provides big glass and clean design aesthetics to give homeowners more flexibility and a deep indoor-outdoor connection. Spanning 55 feet in width, the Ultimate Bi-Fold door is one of the widest panel doors in the industry. Without question, the Bi-Fold door is a simple, elegant solution for adjoining interior spaces or connecting to the outdoors. Available with a wood or clad exterior.



EXTERIOR



INTERIOR PANEL HANDLE

The interior panel handle features a minimalist design that smoothly operates folding panels with a 90-degree twist and latches at the head and sill.

Bi-Fold door

ULTIMATE LIFT AND SLIDE DOOR



Lift and Slide door in Honduran Mahogany with Satin Nickel hardware

Photo Courtesy of Dwell, Turkel Design, and 22 Waves Creative



Lift and Slide door in Honduran Mahogany

ULTIMATE LIFT AND SLIDE DOOR

With openings up to 48 feet wide and 12 feet high, now you can add acres to your floor plan. Available with pocketing panels that slide into the wall, completely disappearing from view, or stacked panels that slide and stack perfectly within the door frame for a seamless transition from inside to out. Both are available with exclusive flush-mount handles and exterior finger pulls that virtually disappear when not in use.



INTERIOR



HARDWARE OPTIONS

Available with exclusive flush-mount hardware, interior finger pull, and optional exterior finger pull.



POCKET AND STACKED CONFIGURATION

When open, panels either slide into the wall cavity or stack neatly into the wall cavity. They glide on the inconspicuous 3/16 inch high exposed track.

ULTIMATE COMMERCIAL DOOR



Commercial door



Commercial door

ULTIMATE COMMERCIAL DOOR

The Ultimate Commercial door combines sophisticated design with the rugged durability to stand up to years of commercial use. Available in a wide variety of design and customization options, they're manufactured with different construction and assembly processes from our residential doors.



INTERIOR



EXTERIOR



PANIC RIM, CLOSER, REMOVABLE MULLION, AND SILL OPTIONS

OPTIONS



Casement windows and Sliding Patio doors in Ebony with Simulated Divided Lites

INTERIOR FINISH OPTIONS

PINE

VERTICAL GRAIN
DOUGLAS FIR

MIXED GRAIN
DOUGLAS FIR

CHERRY

WHITE OAK

HONDURAN MAHOGANY

MAPLE
Custom option

BLACK WALNUT
Custom option

WOOD SPECIES

Offering a rich, warm look, many custom options, and design versatility, wood is a premium choice. Wood can be used on both the interior and exterior of our Ultimate windows and doors. As a lower maintenance option, wood can also be used on only the interior with an extruded aluminum cladding exterior. Marvin offers both options, leading the industry in sourcing, processing, and utilizing high-quality wood.



STAIN + PAINT

When compared to painting or staining on the job site, factory-stained finishes offer consistent quality and performance resulting from our expertise with wood as a material and years of perfecting our finishing processes. Painting on the job site or scheduling off-site finishing is an extra step that takes time and coordination. Choose our painted interior finish option on any Marvin windows and doors with a wood or clad exterior for a factory-painted option that arrives ready to install.

CLEAR

WHEAT

HONEY

HAZELNUT

LEATHER

CABERNET

ESPRESSO

Stain colors shown on Pine. To see more about finishes visit [Marvin.com](https://www.marvin.com).

DESIGNER BLACK

WHITE

PRIMED WHITE

EXTERIOR FINISH OPTIONS

STONE WHITE
COCONUT CREAM
SIERRA WHITE
CASHMERE
PEBBLE GRAY
HAMPTON SAGE
CADET GRAY
CLAY
CASCADE BLUE
SUEDE
GUNMETAL
WINEBERRY
BRONZE
BAHAMA BROWN
EVERGREEN
EBONY
BRIGHT SILVER (PEARLESCENT)
COPPER (PEARLESCENT)
LIBERTY BRONZE (PEARLESCENT)

CUSTOM COLOR: ANY COLOR YOU WANT

EXTRUDED ALUMINUM

Extruded aluminum is an extremely tough cladding that protects wood windows, mimics the profiles of wood, and provides superior durability. It is the most commonly ordered exterior material for our Ultimate products.

Select a color from our palette of 19 durable extruded aluminum colors, including a spectrum of rich hues and three pearlescent finishes. If you have more specialized needs, we can also work with you to create a custom color.

WOOD

Wood is a premium material for windows and doors, offering classic aesthetic appeal, many options for customization, and design versatility.

We treat exposed millwork with a water repellent wood preservative to help it last longer. Choose from one of the four options below. Each is ready to be finished to match your project's exacting requirements.

PINE
VERTICAL GRAIN DOUGLAS FIR
MAHOGANY
WESTERN RED CEDAR Exterior trim package only



Double Hung G2 window in Ebony



Double Hung G2 window in Suede

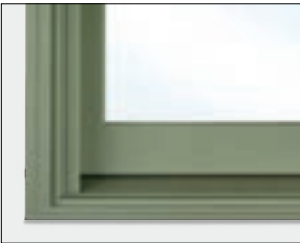
EXTERIOR CASINGS + SUBSILLS



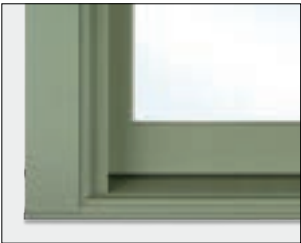
Brick Mould Casing and special subsill with custom mull cover in Hampton Sage

EXTERIOR CASINGS + SUBSILLS

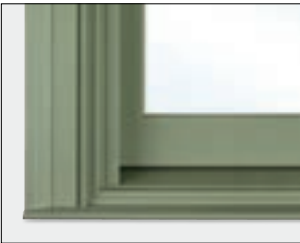
Adding Marvin extruded aluminum or wood casings and subsills to your windows and doors provides great architectural detail to any home. Ultra-durable extruded aluminum casings feature a beautiful factory-applied finish that resists chalking, fading, pitting, corrosion, and marring. Casing profiles are consistent around the sides and top of a window or door, except for the Potter casing profile, which has a taller head. Custom casings and subsills are also available.



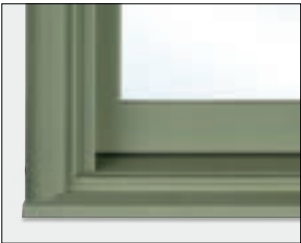
BRICK MOULD CASING
WITH A246 SUBSILL



FLAT CASING
WITH A246 SUBSILL



COLUMBUS CASING
WITH A1450 SUBSILL



RIDGELAND CASING
WITH A1453 SUBSILL



GRAYSON CASING
WITH A1451 SUBSILL



THORTON CASING
WITH A1450 SUBSILL



STRATTON CASING
WITH A1453 SUBSILL



POTTER CASING
WITH A217 SUBSILL



Grayson Casing in Bronze



Potter Casing with A1451 Subsill in Cascade Blue

DIVIDED LITES



Inswing French Door G2 and Round Top window with custom Simulated Divided Lites



MARVIN SIGNATURE® COLLECTION

DIVIDED LITES

Simulated divided lites, available in a number of different styles, mimic the look of individual panes of glass with the energy efficiency of dual pane insulated glass.

Our custom capabilities allow us to create almost any divided lite pattern to match your design style.



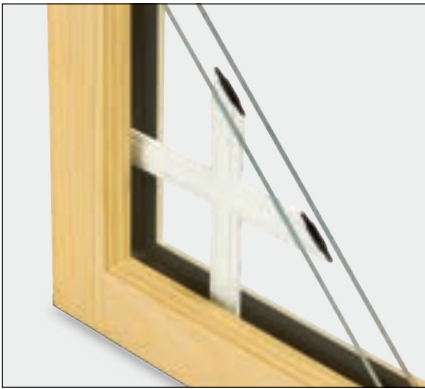
SIMULATED DIVIDED LITE (SDL)

SDL bars are permanently adhered to both sides of the glass. Simulated Divided Lites with Spacer Bars (SDLs) are an energy-efficient way to create the look of authentic divided lites.



AUTHENTIC DIVIDED LITE (ADL)

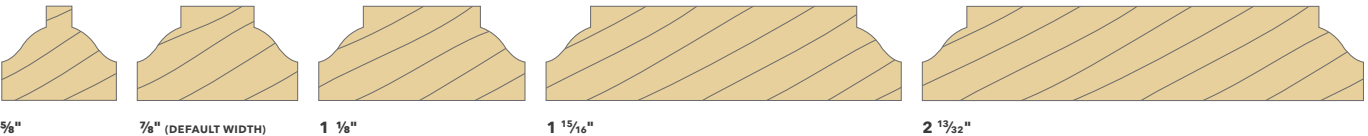
Separate panes of glass are glazed between muntin bars for historical accuracy. Available exclusively with wood exterior units.



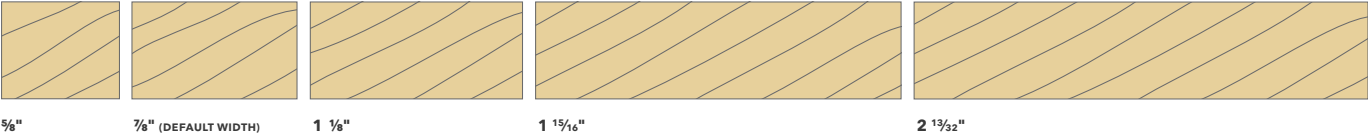
GRILLES-BETWEEN-THE-GLASS (GBG)

Grilles are permanently installed between the glass panes. This low-maintenance grille offers the look of a divided lite pattern with the ease of cleaning just one pane of glass. Available with different interior and exterior colors.

FIVE STANDARD BAR WIDTHS



SQUARE STICKING



STICKING AND PROFILES

Sticking refers to the interior profiles of your wood window. Choose from the standard Ogee profile (used on traditional projects) or the optional clean, contemporary Square sticking.



OGEE



SQUARE



SQUARE STICKING

GLASS + GLAZING



Awning and Picture windows and Inswing French door in Pebble Gray



DUAL PANE GLAZING
Our standard glazing is dual pane: two panes of glass with Low E coatings and insulated with argon gas. Compared to a single glass pane, dual pane glass cuts energy costs significantly because of low emissivity coating and the gas-filled insulating space between the glass layers.



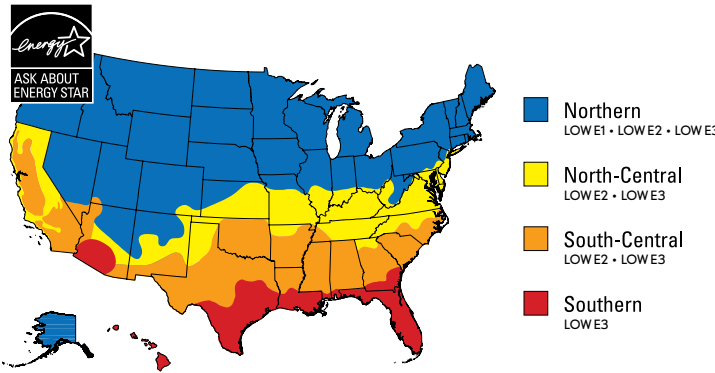
TRIPLE PANE GLAZING
Triple pane glazing consists of three panes of glass with Low E coatings applied to the surface. Two glass spaces are insulated with argon gas between the panes. Available in products where glazing thickness can be greater than ¾ inch.

GLASS + GLAZING

The thermal and structural properties of wood combined with the right glazing make Marvin wood and extruded aluminum clad products an optimal choice for energy efficiency. We offer thousands of window and door options with two or three panes of glass and a range of glazing options to meet the performance challenges of any climate.

GLASS COATINGS

Low E coatings are microscopically thin, essentially invisible coatings on the glass surface that help manage the amount of light and heat conducted through a window pane or reflected away from it, reducing a home's dependence on heat and air conditioning. The national ENERGY STAR® program recognizes products that meet strict energy-efficiency guidelines to suit climates in different areas of the country, and Marvin offers products to meet climate and code requirements in every region.



LOW E1
Low E1 coating is a good choice when you want maximum solar heat gain and radiant heating properties. This type of coating is generally used in Northern climates where heating is prioritized over cooling. You'll reap maximum benefits when windows with this type of coating are positioned to receive direct sun exposure.

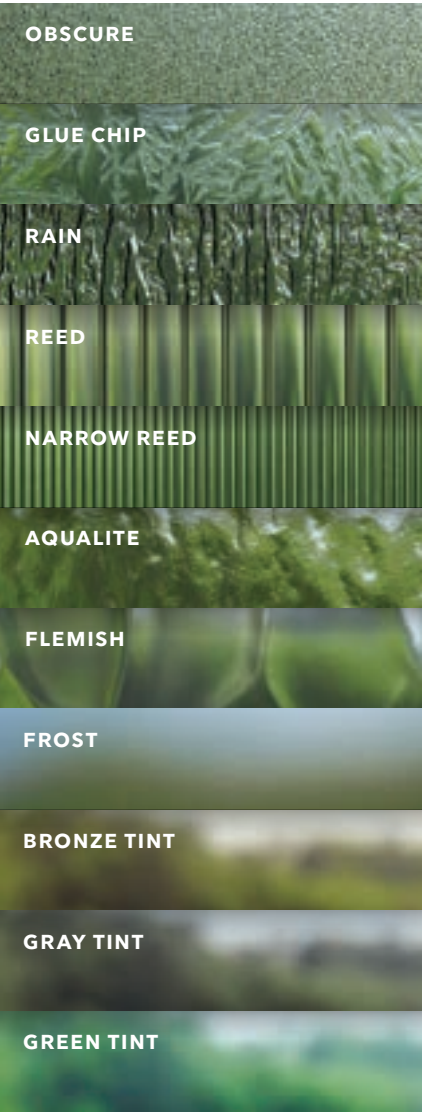
LOW E2
The most common Low E coating since it works well across most geographic regions and climates. Low E2 with two metallic coatings balances less solar heat gain and improved radiant heating properties.

LOW E3
Used in applications where solar heat gain may be a concern, low E3 coating uses multiple metallic layers for radiant properties similar to Low E2. This type of coating is most commonly used in Southern, sunny climates where cooling is prioritized over heating.

SPECIALTY GLASS

Our specialty options include glass for unique project needs like sound abatement (STC/OITC), high altitudes, Sea Turtle Conservation Codes, and California fire zones. We also offer laminated glass on certain products that are designed specifically for hurricane zones.

A variety of decorative glass options, including those shown below and others, are available to meet the unique needs of each project. Laminated glass is also available in clear, bronze, gray, or green with tinted interlayers.



HOME AUTOMATION



Casement windows and Sliding French door with concealed Lock Status Sensors

SLIDING DOOR AUTOMATIC CONTROL

Even though a large Ultimate Multi-Slide door slides open or closed with surprising ease, Marvin offers an option for automated operation. The quiet, motorized system works with touchpad controls and can easily be adapted to interface with home automation systems and smart phone technologies.



LOCK STATUS SENSOR

Our Lock Status Sensor brings smart home capabilities to Marvin windows and doors. This affordable solution is installed in the factory and fully concealed—meaning no unsightly sensors attached on the exterior or interior and no additional modification of your product once installed. The sensor can be wired or wirelessly connected, working in tandem with your smart home security system to indicate if windows and doors are closed and locked and providing peace of mind when security is a concern.



SCREENS



Double Hung Insert G2 windows in Stone White with Full Screens

SCREENS

Choose from an aluminum surround in three finishes or a wood interior surround that complements warm wood interiors. Marvin screens now come standard with Marvin Bright View™ – a fiberglass screen mesh that provides improved airflow and more natural light while keeping insects out. Bright View repels water and resists dirt and grime for a sharp, vivid view.

CASEMENT SCREEN OPTIONS



WOOD SCREEN SURROUND
The patented wood screen surround with wood interior and aluminum exterior features Marvin Bright View™ screen mesh. Aluminum screen mesh options also available.

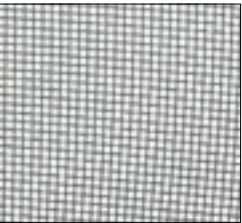


INSWING CASEMENT SCREEN
The beautifully crafted inswing screen adds a classic touch and allows access to operate push-out casement and awning windows.

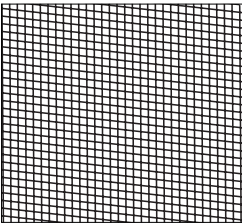
SCREEN MESH OPTIONS



MARVIN
BRIGHT VIEW™



CHARCOAL
ALUMINUM WIRE



BLACK
ALUMINUM WIRE



BRIGHT
ALUMINUM WIRE



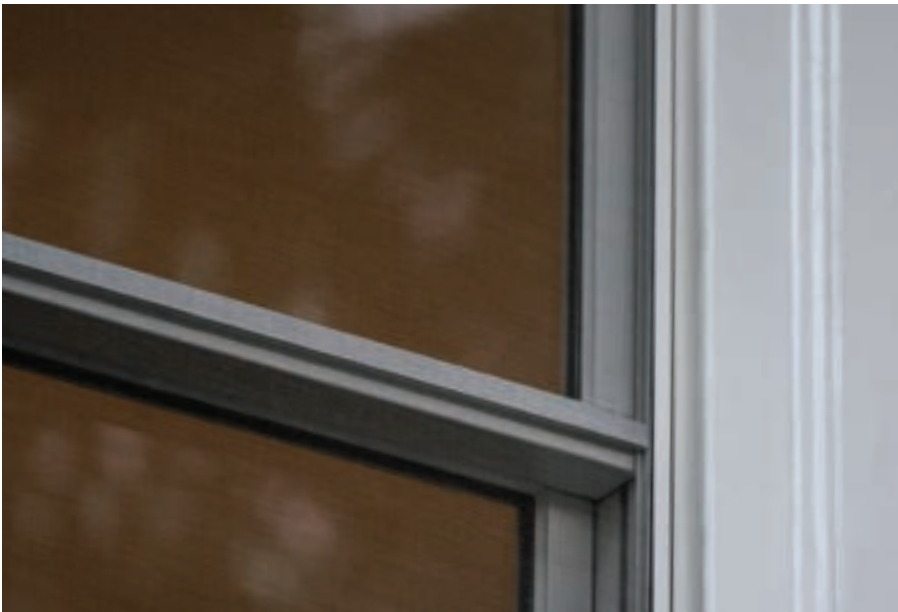
BRIGHT
BRONZE WIRE

DOUBLE HUNG SCREEN OPTIONS



FULL OR HALF SCREEN

Exterior aluminum screen with an aluminum surround. The full screen covers both the top and bottom sash. The half screen only covers the bottom sash.



DOUBLE HUNG STORM OPTIONS



TWO-LITE WOOD STORM SASH OR SCREEN

A wood frame containing non-removable glass. The storm sash can be removed during the summer and replaced with a wood-framed screen. Available only for wood windows.



STORM AND SCREEN COMBINATIONS

A combination unit is composed of two glass panels and one screen panel that can be easily removed from the interior for cleaning. Available with a wood (bare or primed) or aluminum surround, panels can be configured multiple ways, glass above screen, screen above glass, or glass above glass.



ENERGY PANEL

Often confused with storm windows, an energy panel is technically a glazing option. It is a removable, exterior glass panel finished on the edges by a surround. Energy panels cover the exposed glass surface of each sash and offer added energy efficiency for wood windows with single glazing.

DOOR SCREEN OPTIONS



ULTIMATE SWINGING SCREEN DOOR

With profiles that complement the aesthetics of the door, swinging door screens feature robust, durable extruded aluminum surrounds and concealed hinges.



ULTIMATE SLIDING SCREEN DOOR

Aluminum top hung sliding screen with roller bar, adjustable rollers and unmatched sliding operation.



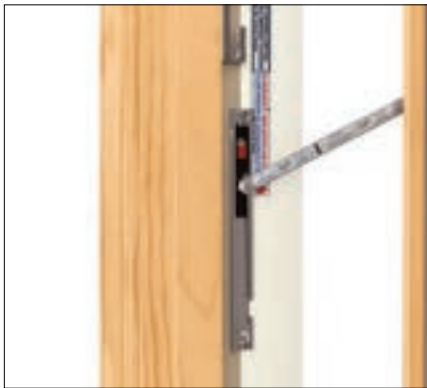
SCENIC DOOR SLIDING SCREEN

The Marvin Ultimate Sliding Screen operates with ease and conceals when not in use. The screen is unobtrusive even in large sizes measuring up to 15 feet wide and up to 10 feet high uni-directional or up to 29.5 feet wide bi-parting.

Marvin window and door screens come standard with Marvin Bright View™ – a fiberglass screen mesh that provides improved airflow and more natural light while keeping insects out. Bright View repels water and resists dirt and grime for a sharp, vivid view.

WINDOW OPENING CONTROL DEVICES

Marvin Window Opening Control Devices (WOCD) meet the ASTM F2090-21 standard, created to assist in the prevention of window falls. To meet the standard, our devices limit the window's net clear opening to less than 4 inches (when the sash is open) and have a release function allowing the window to open completely. In order to meet the safety standard, WOCD disengagement takes two independent actions, which helps prevent accidental release. Devices will then automatically reengage once the window is closed and again limit the window opening to less than 4 inches upon re-opening.



ULTIMATE CASEMENT



ULTIMATE DOUBLE HUNG G2



ULTIMATE GLIDER

WINDOW HARDWARE



Double Hung G2 with Auto-locking Sash Lock in Satin Nickel

WINDOW HARDWARE

Ultimate’s durable and elegant hardware is engineered for reliability and to harmonize with any décor. Choose a finish to complement your architectural style. Durable painted finishes in Matte Black, Satin Taupe, Bronze, and White mimic the look of metal. Satin Nickel, Brass, Antique Brass, Polished Chrome, Oil Rubbed Bronze, and Satin Chrome offer the rich appearance and durability of authentic metal finishes.



AUTO-LOCKING HARDWARE SYSTEM

PRODUCTS:
Ultimate Double Hung G2
Ultimate Single Hung G2

AVAILABLE FINISHES:
Matte Black • Brass • Satin Taupe
Satin Nickel • Bronze • White
Antique Brass • Oil Rubbed Bronze
Polished Chrome • Satin Chrome



TRADITIONAL LIFT LOCK

PRODUCTS:
Ultimate Single Hung G2

AVAILABLE FINISHES:
Matte Black • Brass • Satin Taupe
Satin Nickel • Bronze • White
Antique Brass • Oil Rubbed Bronze
Polished Chrome • Satin Chrome



CONTEMPORARY LIFT LOCK

PRODUCTS:
Ultimate Single Hung G2

AVAILABLE FINISHES:
Matte Black • Satin Taupe • White
Satin Nickel • Brass • Satin Chrome



FOLDING HANDLE

PRODUCTS:
Ultimate Casement • Ultimate Awning
Ultimate Casement Narrow Frame
Ultimate Awning Narrow Frame

AVAILABLE FINISHES:
Matte Black • Brass • Satin Taupe
Satin Nickel • Bronze • White
Antique Brass • Oil Rubbed Bronze
Polished Chrome • Satin Chrome



PUSH OUT HANDLE*

PRODUCTS:
Ultimate Casement • Ultimate Awning
Ultimate Casement Narrow Frame
Ultimate Awning Narrow Frame

AVAILABLE FINISHES:
Matte Black • Brass • White
Antique Brass • Oil Rubbed Bronze
Satin Nickel



FOLDING HANDLE

PRODUCTS:
Ultimate Glider

AVAILABLE FINISHES:
Matte Black • Brass • Satin Chrome
Satin Nickel • Bronze • White • Satin Taupe
Antique Brass • Oil Rubbed Bronze

FINISHES

MATTE BLACK
BRONZE
OIL RUBBED BRONZE
ANTIQUE BRASS
SATIN TAUPE
SATIN NICKEL
BRASS
POLISHED CHROME
SATIN CHROME
WHITE

* Satin Taupe not available, Oil Rubbed Bronze is standard.


DOOR HARDWARE




Outswing Narrow Profile door with Minimalist handle in Matte Black

DOOR HARDWARE


Ultimate door hardware is engineered for durability, ergonomics, and to be a beautiful complement to your Marvin door. Satin Nickel, Brass, and Oil Rubbed Bronze finishes are available with a PVD finish. The Physical Vapor Deposition (PVD) process adds a layer of toughness to hardware exposed to environmental factors like direct sun and humidity. PVD finishes resist fading and discoloration, even in coastal areas.




TRADITIONAL SWINGING FRENCH
AVAILABLE FINISHES:
Matte Black • Satin Taupe
Dark Bronze • White
Antique Brass • Satin Chrome
Oil Rubbed Bronze
Polished Chrome
PVD FINISHES:
Satin Nickel • Brass
Oil Rubbed Bronze




TRADITIONAL SLIDING FRENCH
AVAILABLE FINISHES:
Matte Black • Satin Taupe
Dark Bronze • White
Antique Brass • Satin Chrome
Oil Rubbed Bronze
Polished Chrome
PVD FINISHES:
Satin Nickel • Brass
Oil Rubbed Bronze




TRADITIONAL SLIDING PATIO
AVAILABLE FINISHES:
Matte Black • Satin Taupe
Dark Bronze • White
Antique Brass • Satin Chrome
Oil Rubbed Bronze
Polished Chrome
PVD FINISHES:
Satin Nickel • Brass
Oil Rubbed Bronze




ADJUSTABLE HINGE
AVAILABLE FINISHES:
Matte Black • Satin Taupe
Dark Bronze • White
Antique Brass • Satin Chrome
Polished Chrome
Oil Rubbed Bronze
Goldtone • Silver Frost
PVD FINISHES:
Satin Nickel • Brass
Oil Rubbed Bronze



CONTEMPORARY SLIDING
AVAILABLE FINISHES:
Matte Black • Dark Bronze
PVD FINISHES:
Satin Nickel • Brass
Oil Rubbed Bronze



CONTEMPORARY SWINGING
AVAILABLE FINISHES:
Matte Black • Dark Bronze
PVD FINISHES:
Satin Nickel
Oil Rubbed Bronze



MINIMALIST SWINGING
AVAILABLE FINISHES:
Matte Black • Dark Bronze
PVD FINISHES:
Satin Nickel
Oil Rubbed Bronze

FINISHES

MATTE BLACK

BRONZE

OIL RUBBED BRONZE

ANTIQUE BRASS

SATIN TAUPE

SATIN NICKEL

BRASS

POLISHED CHROME

SATIN CHROME

WHITE

GALLERY HARDWARE



Rocky Mountain Hardware with Edge Escutcheon, Shift Lever, and Wire Texture in Silicon Bronze Medium

GALLERY HARDWARE

Marvin Gallery Hardware is a curation of door hardware from three renowned manufacturers. Each set chosen meets Marvin’s high standards for aesthetics, quality, and craftsmanship.

This hardware collection makes it easy for you to find the hardware choice that perfectly reflects your unique design sensibilities, vision, and personality. From contemporary to traditional, each beautiful piece heightens the aesthetics of any Marvin door.



ASHLEY NORTON

Established in 1987, Ashley Norton is one of the leading designers of fine architectural hardware. With a broad range of designs to suit any architectural style and an abundance of finish options, Ashley Norton solid brass and bronze hardware is built by the most talented craftsman for the most discerning customers.



BOUVET

Founded in 1884 in France by famed ironworker Gustave Bouvet. Metal Style Bouvet combines traditional French ironwork craftsmanship and materials with modern technology to create distinctive hardware for equally distinctive doors. Metal Style Bouvet represents the finest of decorative French-inspired hardware.



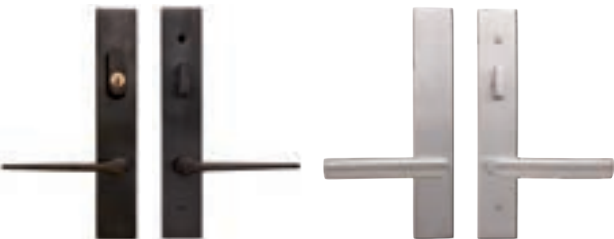
ROCKY MOUNTAIN HARDWARE

Rocky Mountain Hardware is expertly crafted in America using only the finest art-grade bronze and precision mechanisms. With over three decades of experience, Rocky Mountain Hardware continues to set itself apart with inimitable style, boundless capabilities, and exceptional quality guaranteed to stand the test of time.



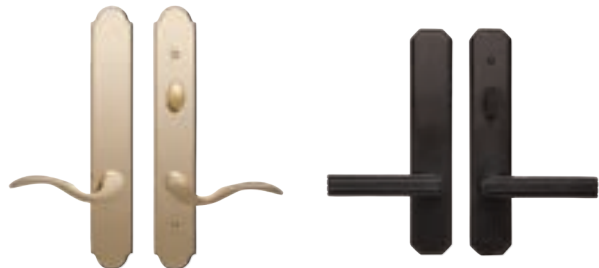
GALLERY HARDWARE

ASHLEY NORTON



URBAN ESCUTCHEON
CLAROS LEVER
DARK BRONZE FINISH

URBAN ESCUTCHEON
ATLAS LEVER
SATIN CHROME FINISH



ARCH ESCUTCHEON
CHESTER LEVER
POLISHED BRASS FINISH

ANGULAR ESCUTCHEON
ADONIS LEVER
DARK BONZE FINISH



DUNN PULL
DARK BRONZE FINISH

BOUVET



RECTANGULAR
ESCUTCHEON
BIRDCAGE 1054 LEVER
BLACK FINISH

RECTANGULAR
ESCUTCHEON
TWISTED 1055 LEVER
PEWTER FINISH



ARCH ESCUTCHEON
CLASSIC 1052 LEVER
PEWTER FINISH

RECTANGULAR
ESCUTCHEON
SQUARE 1051 LEVER
BLACK FINISH



ARCH ESCUTCHEON
ARRONDIE LEVER
BLACK FINISH



ARCH ESCUTCHEON
BIRDCAGE LEVER
PEWTER FINISH

ROCKY MOUNTAIN HARDWARE



CURVED E539 ESCUTCHEON
HOOK L104 LEVER
WHITE BRONZE
MEDIUM FINISH

STEPPED ESCUTCHEON
LEGACY L109 LEVER
SILICON BRONZE
DARK FINISH



STEPPED ESCUTCHEON
SQUIRREL TAIL L102 LEVER
SILICON BRONZE FINISH

MACK ESCUTCHEON
EMILE L21005 LEVER
WHITE BRONZE
BRUSHED FINISH



TROUSDALE ESCUTCHEON
OFFSET TROUSDALE
GRIP G30300
SILICON BRONZE DARK
LUSTRE FINISH



EDGE ESCUTCHEON
OFFSET D GRIP SDP6
SILICON BRONZE
LIGHT FINISH
BASIC TEXTURE



COASTAL








Double Hung G2 and Round Top windows and Outswing French door in Stone White

COASTAL PRODUCTS







COASTAL PRODUCTS

Coastal living is beautiful and serene until the storms hit. When you live by the water, you need to know that your windows and doors will stand up to the challenge of coastal conditions. We offer windows and doors specifically designed for the extreme conditions and construction requirements of coastal zones.

	<p>ULTIMATE CASEMENT AND ULTIMATE AWNING</p> <p>Our innovative, high-performing casement window offers a variety of customization, expert craftsmanship and superior value. Also available in a round top style. IZ3 and IZ4 certified.</p>
	<p>ULTIMATE DOUBLE HUNG G2 (EXTRUDED ALUMINUM CLAD ONLY)</p> <p>The Ultimate Double Hung G2 window is a contemporary classic. The exclusive innovative locking system means the window locks automatically when closed. Also available in an operating round top style with clad exterior. IZ3 certified.</p>
	<p>ULTIMATE WOOD DOUBLE HUNG</p> <p>Advanced engineering and the high-quality construction of our Ultimate Wood Double Hung window make it incredibly durable, versatile, and easy to use. An all wood exterior and interior bring beautiful and classic style to your project. Also available in a round top style. IZ3 certified.</p>
	<p>ULTIMATE WOOD DOUBLE HUNG MAGNUM</p> <p>Designed for large residential openings, commercial applications, and historic renovations, the Ultimate Wood Double Hung Magnum window is available in sizes as large as 5 feet wide and 10 feet high. IZ3 certified.</p>
	<p>ULTIMATE DIRECT GLAZE PICTURE WINDOW</p> <p>Unique geometric shapes and beautifully arched round tops, Direct Glaze Picture windows add dimension and drama to your project. Choose from numerous shapes and curves to create your ideal window. Certified for IZ3 or IZ4 depending on the window specifications.</p>



Casement and Awning windows in Stone White with IZ3 certification

	<p>ULTIMATE SWINGING NARROW PROFILE DOOR</p> <p>The Ultimate Swinging Narrow Profile Door features narrow sightlines, 3 inch stiles and rails, and contemporary square interior and exterior profiles. Select IZ3 certified sizes and configurations, along with accompanying transoms and sidelites, are available.</p>
	<p>ULTIMATE SWINGING FRENCH DOOR</p> <p>The Ultimate Swinging French door is a modern classic. Superior in fit and finish, these doors combine traditional design and expert craftsmanship in a variety of design combinations that complement any space. Certified for IZ3 or IZ4 depending on the specifications of your door.</p>
	<p>ULTIMATE SLIDING FRENCH G2 DOOR</p> <p>The elegant look of a traditional French G2 door with a space-saving sliding design. You can feel the superior quality in the substantial wood and nearly effortless operation of this door. IZ3 certified.</p>
	<p>ULTIMATE BI-FOLD DOOR</p> <p>The Ultimate Bi-Fold door is a simple, elegant solution for indoor/outdoor living. Bigger sizes with more glass and a clean design aesthetic combine to give homeowners more flexibility. Spanning 55 feet in width, the Ultimate Bi-Fold door is one of the widest panel doors in the industry. IZ3 certified.</p>
	<p>ULTIMATE MULTI-SLIDE DOOR</p> <p>The Ultimate Multi-Slide door is more than just a panoramic door. It's an entirely new lifestyle. Smoothly slide it open and invite into your home expansive views, fresh air, and an abundance of warm, natural light. IZ3 Certified.</p>
	<p>MULL OPTIONS</p> <p>Dramatic ocean views are often created by grouping IZ3 windows in an assembly, sometimes joining them both horizontally and vertically. The space between the windows where they are joined together is called a mull. Mulling options for Marvin IZ3 Ultimate Casement windows and Ultimate Double Hung windows with frame-to-frame mulling configurations are WDMA certified in most sizes.</p>



Since we opened as a family-owned and -operated lumber and cedar company in 1912, Marvin has designed products to help people live better. We remain committed to bringing beauty and simplicity into people's lives with windows and doors that stand the test of time.

MARVIN.COM

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ENERGY STAR® and the ENERGY STAR certification mark are
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Part #19980958. October 2022. [REG]

Colors shown in printed materials are simulations and may not
precisely duplicate product or finish colors. Contact your local
Marvin dealer to view actual product and finish color samples.



Fig. 1 - Front of house from southwest



Fig. 2 - Front of house from southeast



Fig. 3 - West side from southwest



Fig. 4 - East side from southeast



Fig. 5 - Back of house from northeast



Fig. 6 - Three of the original windows



Fig. 7 - Detail of siding below asbestos



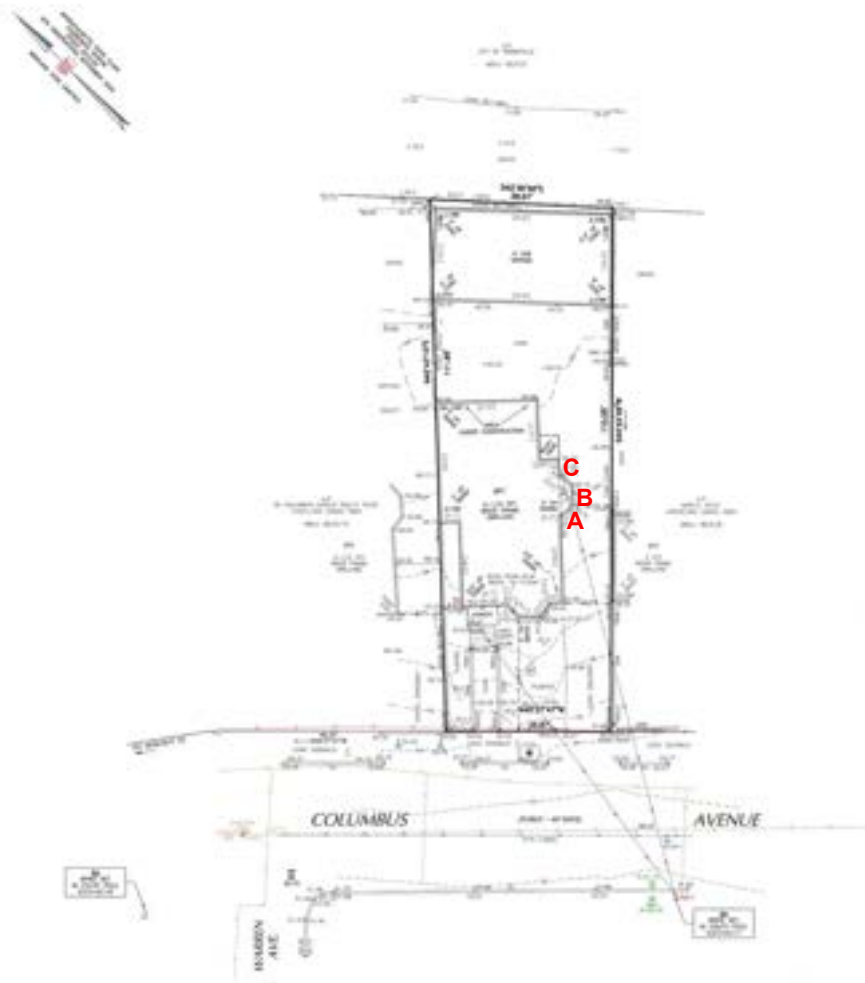
Fig. 8 - Detail of siding below asbestos



Fig. 9 - Detail of foundation parging



Fig. 10 - Detail of foundation parging



Original window key plan



Original window A



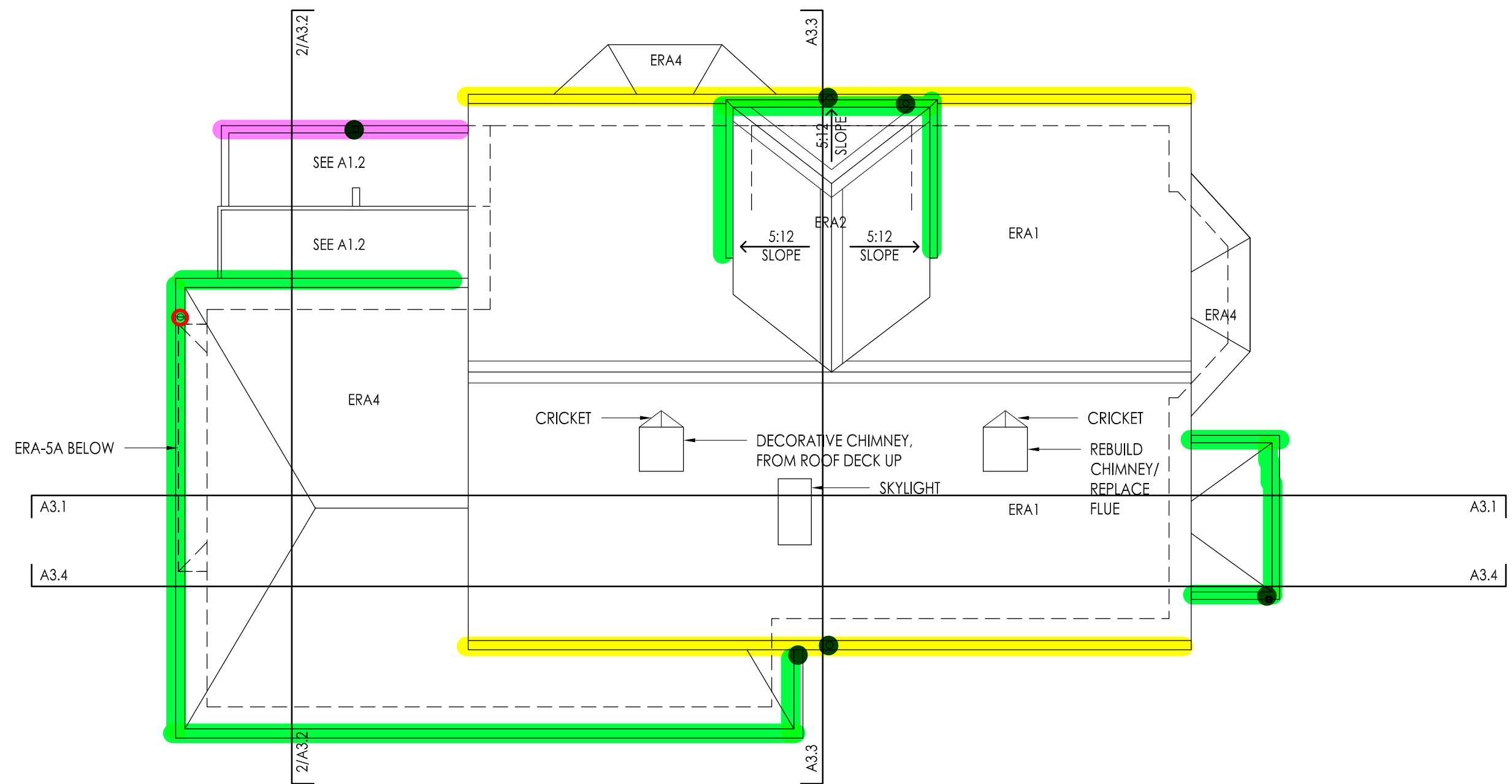
Original window B



Original window C



- 5" copper half-round gutter
- 4" copper half-round gutter
- 4" aluminum box gutter
- downspout
- rain chain



GUTTER AND DOWNSPOUT PLAN

Big Bend Studio Architects, LLC
156 Mount Auburn St., Cambridge, MA 02138
617.520.4512

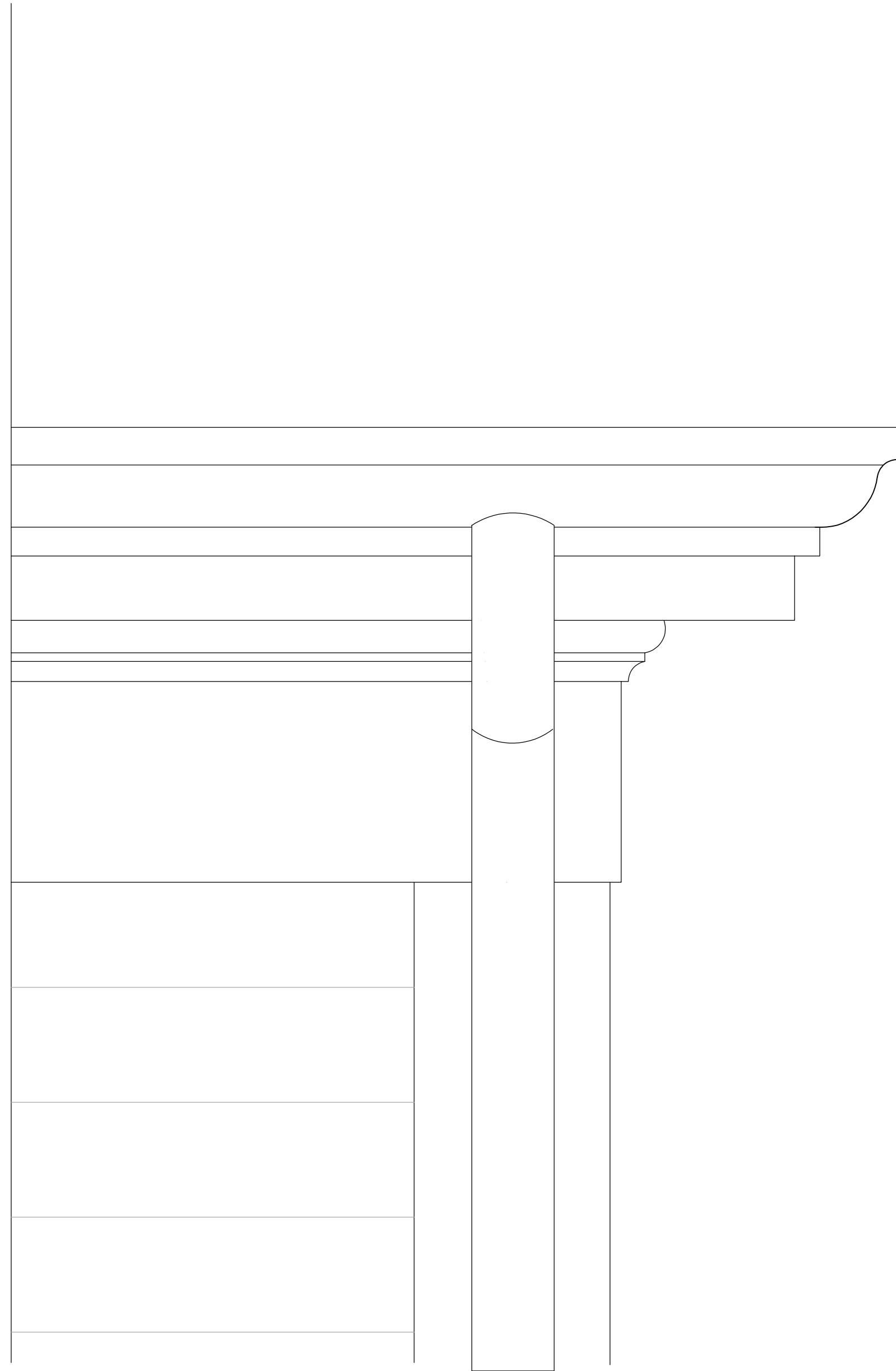
Owner
Monique Cole and David Bell
57 Columbus Ave, Somerville, MA

Project
Cole/Bell Residence

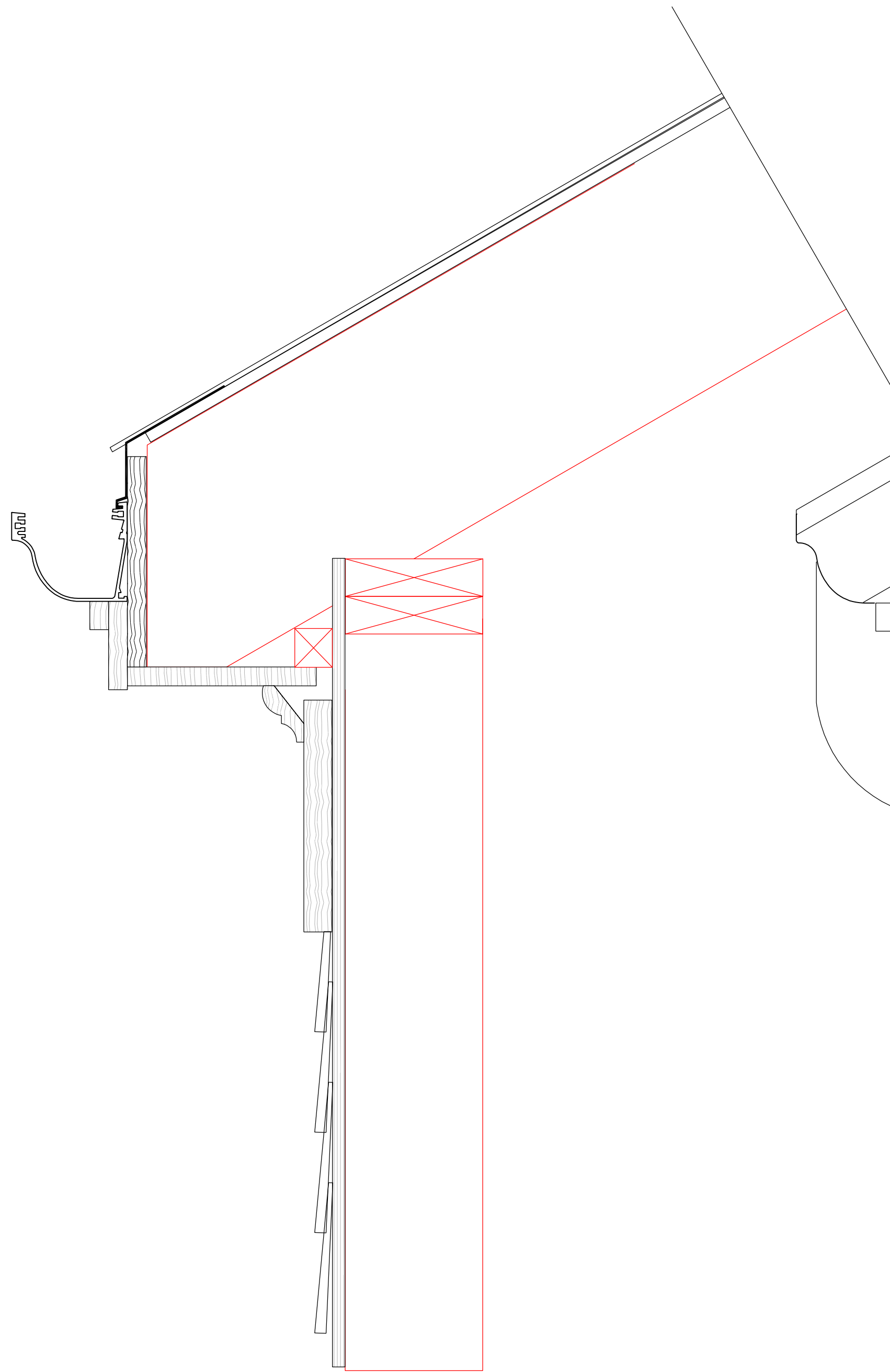
Drawing Title: ROOF PLAN
Scale: 3/16" = 1'-0"
Date Issued: 1 JUN 2023 - FOR PERMIT

Drawn by: JBM
Approved by: JBM

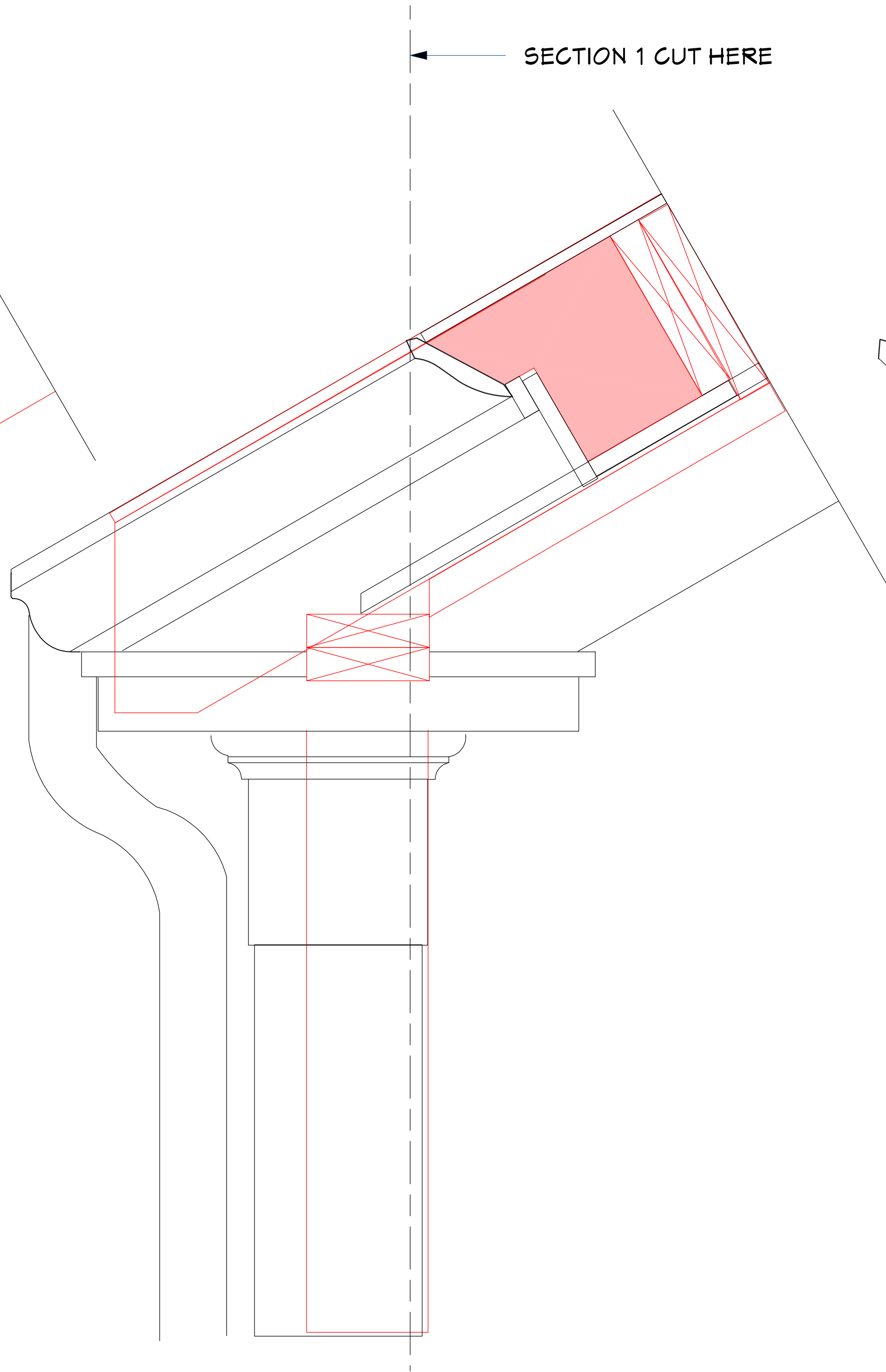
A1.4



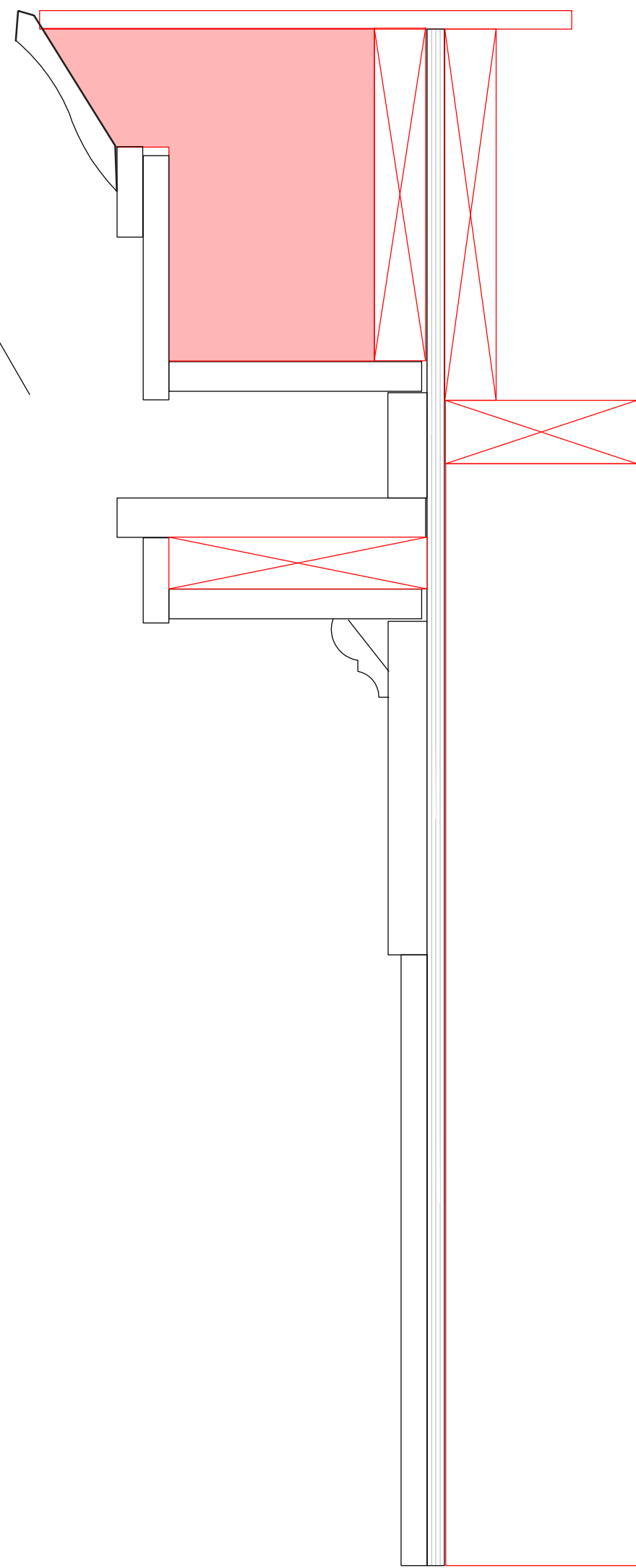
FRONT ELEVATION



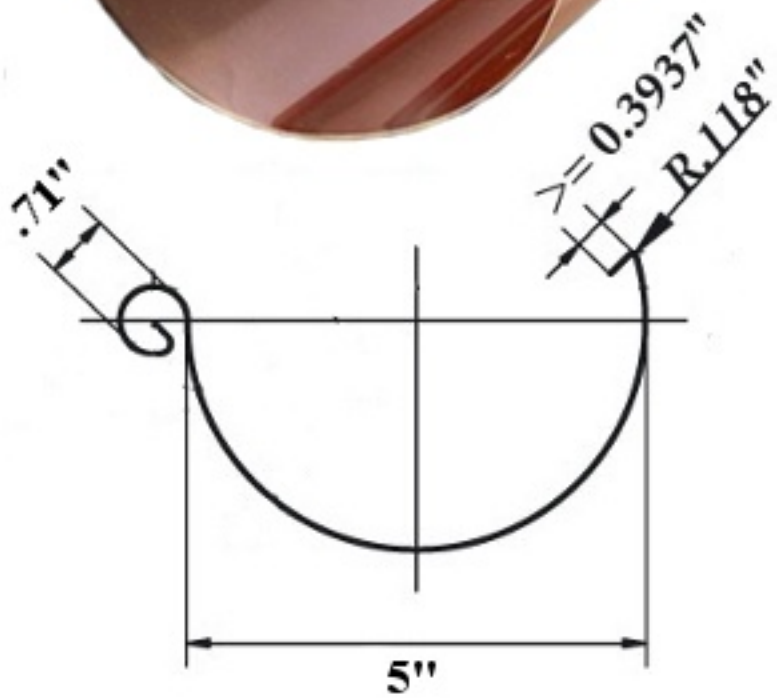
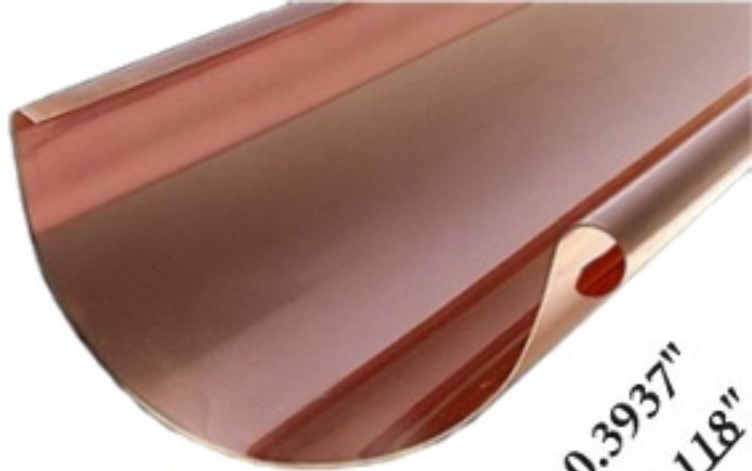
SECTION 2



SIDE ELEVATION



SECTION 1





Massachusetts Cultural Resource Information System

Scanned Record Cover Page

Inventory No:	SMV.246
Historic Name:	Canavan, William - High, William C. House
Common Name:	
Address:	57 Columbus Ave
City/Town:	Somerville
Village/Neighborhood:	Prospect Hill;
Local No:	
Year Constructed:	1877
Architectural Style(s):	Italianate;
Use(s):	Single Family Dwelling House;
Significance:	Architecture;
Area(s):	SMV.AW
Designation(s):	Local Historic District (10/31/1989);
Building Materials:	Wall: Asbestos Shingle; Wood; Foundation: Brick;
Demolished	No



The Massachusetts Historical Commission (MHC) has converted this paper record to digital format as part of ongoing projects to scan records of the Inventory of Historic Assets of the Commonwealth and National Register of Historic Places nominations for Massachusetts. Efforts are ongoing and not all inventory or National Register records related to this resource may be available in digital format at this time.

The MACRIS database and scanned files are highly dynamic; new information is added daily and both database records and related scanned files may be updated as new information is incorporated into MHC files. Users should note that there may be a considerable lag time between the receipt of new or updated records by MHC and the appearance of related information in MACRIS. Users should also note that not all source materials for the MACRIS database are made available as scanned images. Users may consult the records, files and maps available in MHC's public research area at its offices at the State Archives Building, 220 Morrissey Boulevard, Boston, open M-F, 9-5.

Users of this digital material acknowledge that they have read and understood the MACRIS Information and Disclaimer (<http://mhc-macris.net/macrisdisclaimer.htm>)

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Commonwealth of Massachusetts
Massachusetts Historical Commission
220 Morrissey Boulevard, Boston, Massachusetts 02125
www.sec.state.ma.us/mhc

This file was accessed on: Friday, February 16, 2024 at 11:12 AM

FORM B - BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
80 BOYLSTON STREET
BOSTON, MA 02116

LHD 10/31/89 (10)

P. Prospect
us. 62- Boston
50243

AREA

FORM NO.

Prospect
Hill

246

AW

Town SOMERVILLEAddress 57 Columbus AvenueHistoric Name William Canavan (develoWilliam C. High (owner)Use: Present residentialOriginal residential

DESCRIPTION

Date 1877Source deeds / directoriesStyle Italianate

Architect _____

Exterior Wall Fabric asbestos shinglesOutbuildings one-car garage

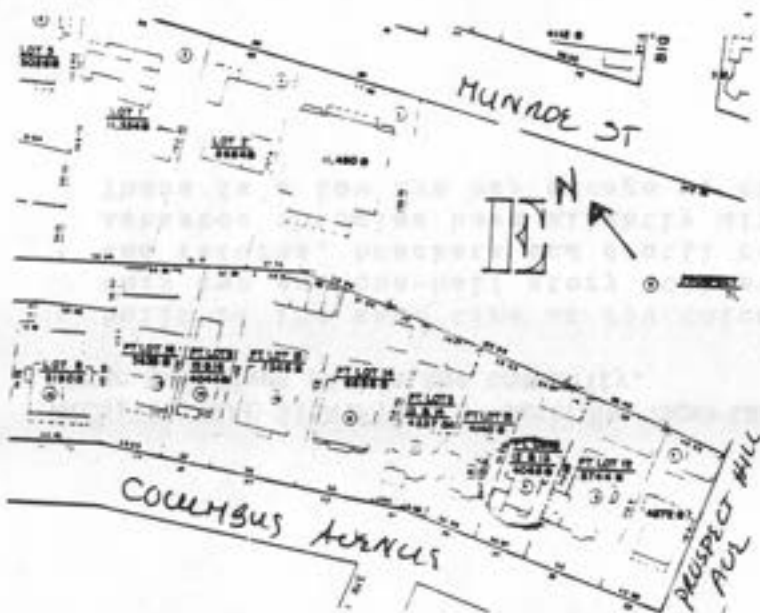
Major Alterations (with dates) _____

Condition fair-good

Moved _____ Date _____

Acreage 4065 sq. ft.Setting North side of Columbus whereWarren meets Columbus, late 19th cresidential neighborhood ofgable-end and mansard dwellings.Recorded by Gretchen SchulerOrganization Somerville Historic
Preservation CommissionDate April, 1988

Sketch Map: Draw map showing property's location
in relation to nearest cross streets and/or
geographical features. Indicate all buildings
between inventoried property and nearest
intersection(s).
Indicate north



UTM REFERENCE _____

USGS QUADRANGLE _____

SCALE _____

NATIONAL REGISTER CRITERIA STATEMENT (if applicable)**ARCHITECTURAL SIGNIFICANCE** Describe important architectural features and evaluate in terms of other buildings within the community.

Built at the same time as #59 Columbus by the same real estate investor, this two and one-half story Italianate house retains its wide eave overhang and returns, brackets and dentil cornice, and the two and one-story bays. Asbestos shingles have slightly altered the visual impact of this property. There is a low two bay garage at the rear of the property.

HISTORICAL SIGNIFICANCE Explain the role owners played in local or state history and how the building relates to the development of the community.

Prospect Hill, one of the most substantial residential neighborhoods of Somerville, evolved throughout the late 19th century. Prior to that it was an agricultural community of farms. Columbus Avenue, once known as Warren Avenue, ran from Walnut to Bonner Street until the 1870s when it was continued through Bonner property to Washington Street. Its proximity to Union Square, a center for commercial and transportation activity made it a desirable place to live. Columbus Avenue was and is half way to the top of Prospect Hill and only a few blocks from Highland Avenue where the civic center of Somerville was by the mid to late 1800s.

This property was part of a larger parcel of over 12,000square feet, part of Lot 12 and Lot #13 of Ira Hill's 1870 Plan (Plan Book 17, Plan 90). In 1877 the land parcel passed from J. Q. Twombly to William Canavan, who built two houses, #57 and #59 Columbus Avenue. They were built on speculation and sold within the year. This property sold to another investor Mary E. Hawkins and in 1879 William C. High purchased this property also. He had bought #59 Columbus directly from Canavan in 1877. Late 19th century resident Belvin Williston was a draughtsman and designer.

BIBLIOGRAPHY and/or REFERENCES

1. Atlas of Middlesex County, Somerville: 1874 ("J.Q. Twombly", land only), 1884 ("Wm. C. High"), 1895 ("Belvin Williston").
2. City Directories, 1870s-1890s.
3. Registry of Deeds, Middlesex County: Book 1440 Page 100; Book 1456, Page 167; Book 1522, Page 75.