



City of Somerville

PLANNING, PRESERVATION, & ZONING

City Hall 3rd Floor, 93 Highland Avenue, Somerville MA 02143

June 27, 2022

Leggat McCall Properties
c/o Matt Snell, Nutter
10 Post Office Square,
Boston, MA 02109

Dear Matt,

Your application for a Plan Revision to your approved plans at 15 McGrath Highway (P&Z21-062), case number P&Z22-079, has been deemed *de minimis* and accepted. Please see notes below and attached exhibits.

- Minor shifts in the location and design of doors on the left side of the south/front facade, as building design has advanced.
- Material colors changes and there are some additional details improving the upper story fenestration.
- Additional windows have been added to the ground story of the east/right side elevation.
- Art and additional detailing added to the north/rear side elevation as directed by the Planning Board.
- Expansion to the 7th floor terrace.
- An additional third level of mechanicals (level 1.5) within the existing envelope of the mechanical structure - there is no change to the exterior or height.
- Changes to the layout of parking spaces with a reduction in overall parking count, and an increase in EV/EV ready spaces.

As required by SZO §15.2.4, I find that the proposed changes;

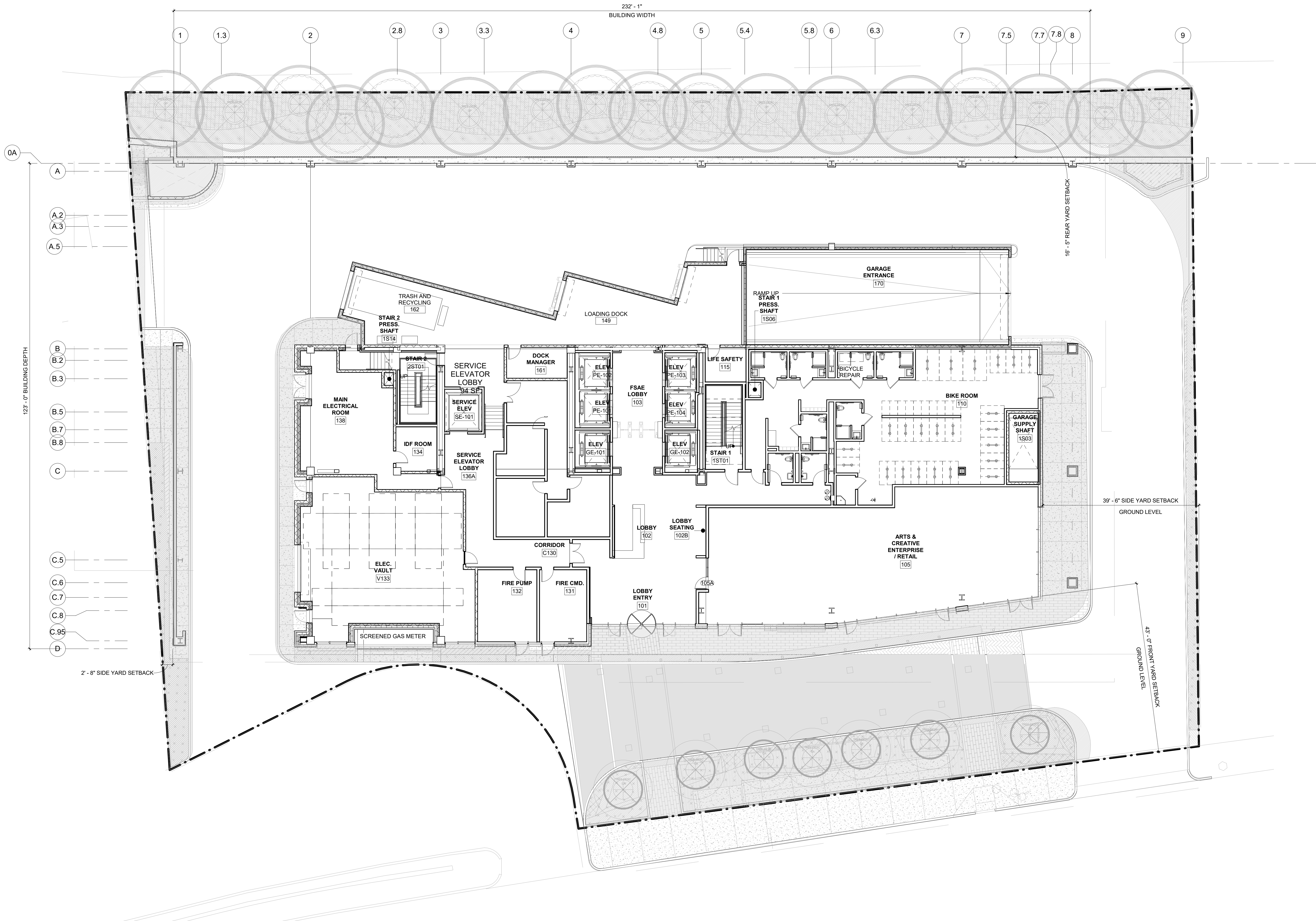
- a). Does not contravene the previously published public notice, any finding, or attached condition made by the review board for the original development review application;
- b). Does not detrimentally impact matters of substance identified in the meeting minutes of the original public meetings or public hearings;
- c). Features changes that are insignificant to the degree that persons familiar with the original application would not notice a substantial change in operational or built outcome.

Please check additional outstanding conditions of the approval and bring the stamped plans to the Inspectional Services so that they may proceed with your project. If you have not done so already, contact Planning Staff at least five working days in advance of a request for a final inspection by Inspectional Services to ensure the proposal was constructed in accordance with the revised plans and the conditions attached to the approval.

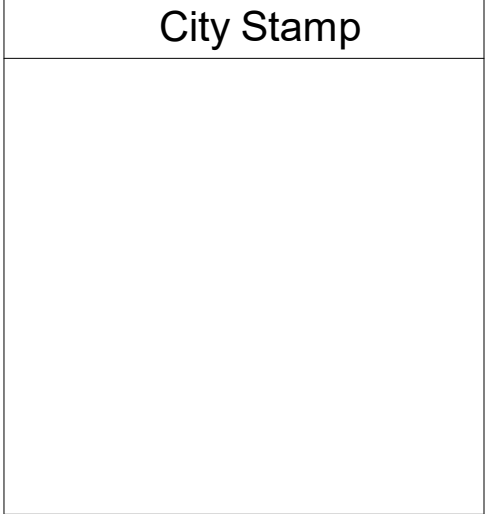
Sincerely,

Sarah Lewis, RA, LEED-AP, CNU-A
Director of Planning, Preservation, & Zoning

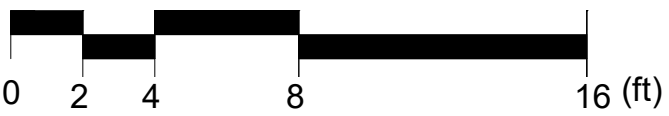
Cc: file
ISD
Mike Gerhardt - Leggat McCall
Samhita Saquib - VHB



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96-E-1, 96-E-5, 96-E-4,
96-E-3, 96-F-2



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212.254.4500

CODE CONSULTANT
CODE RED CONSULTANTS, LLC

Southborough, MA 01772
154 Turnpike Avenue Suite 200
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PROJECT:

15 McGrath Highway

15 McGrath Highway
Somerville, MA 02143

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REVISIONS:

No.	Date	Description

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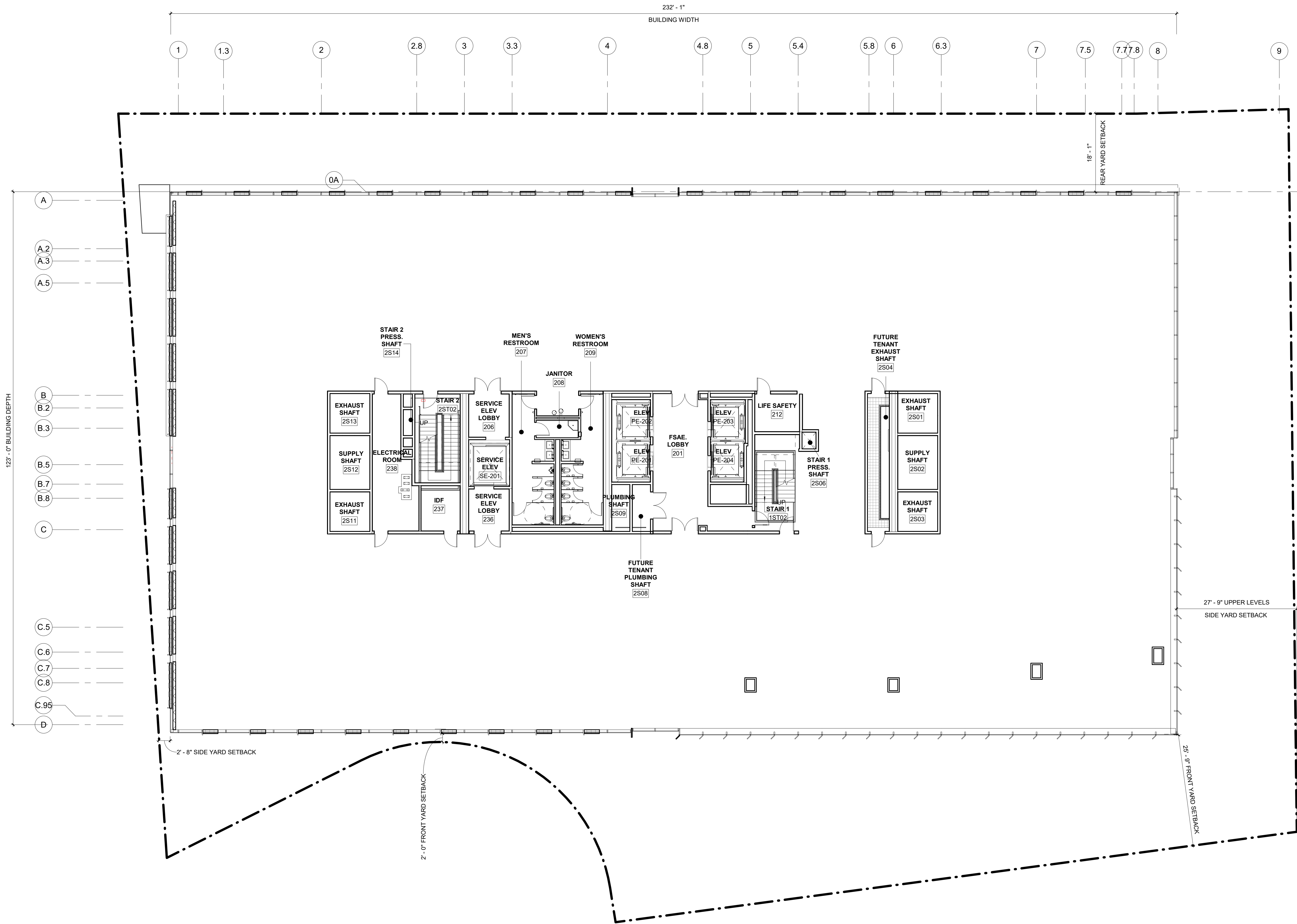
Date	Issued For:
07/28/2021	Design Review Application
04/28/2022	DRA Minor Amendments

SCALE 3/32" = 1'-0"
DATE ISSUED 05/04/2022
PROJECT NO 4810.00
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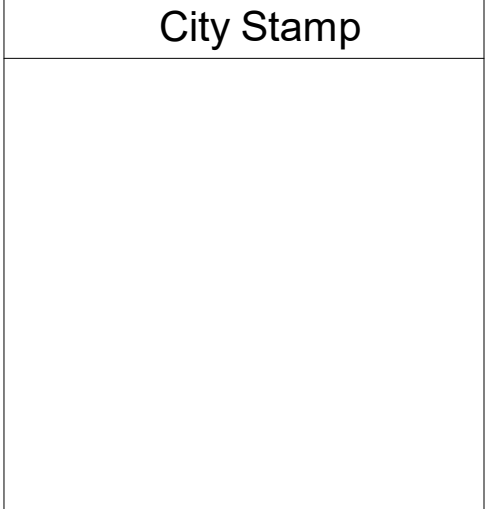
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Level 1 Floor Plan

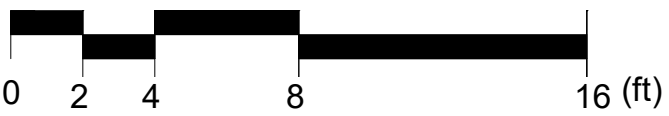
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96-E-1, 96-E-5, 96-E-4,
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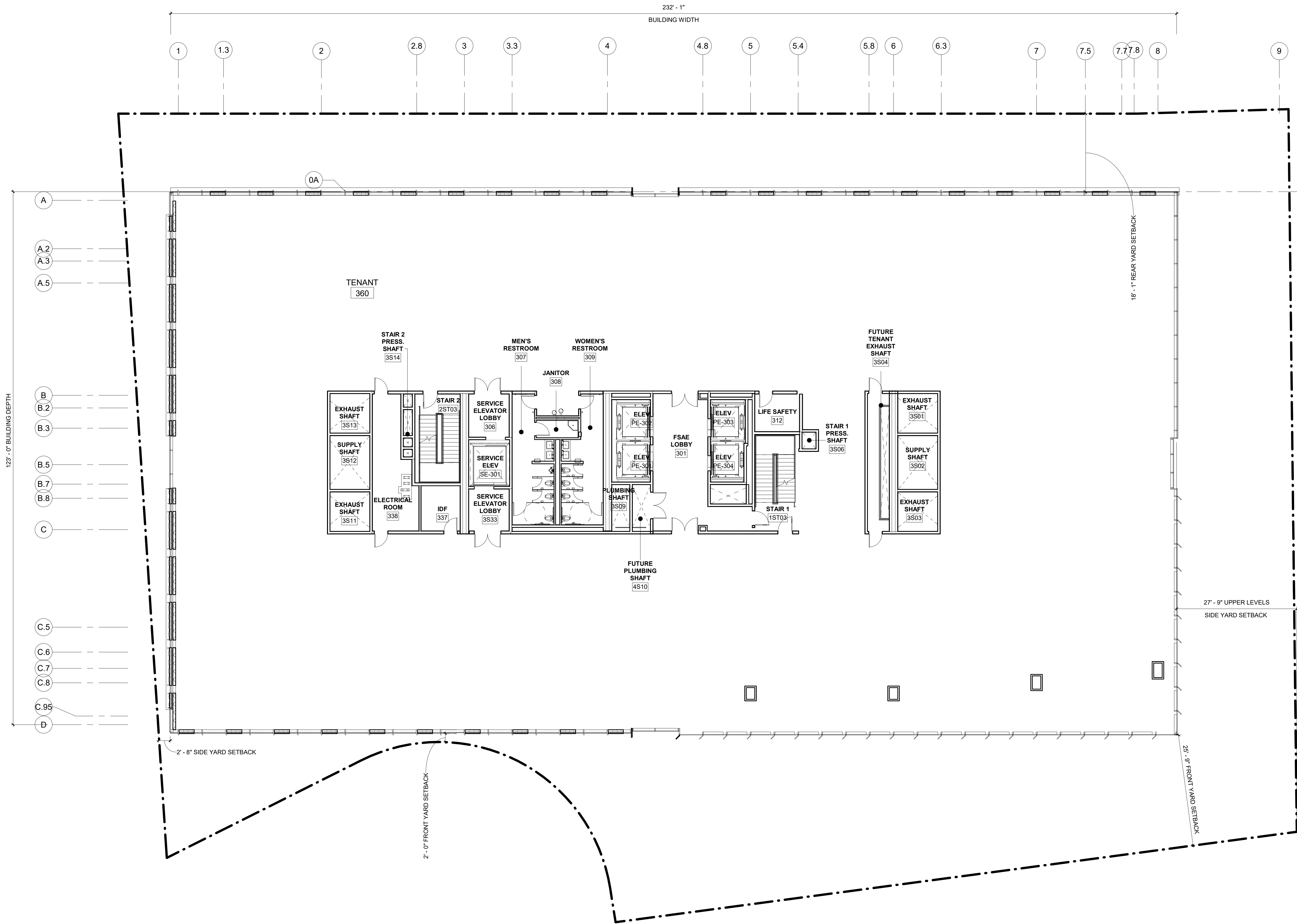
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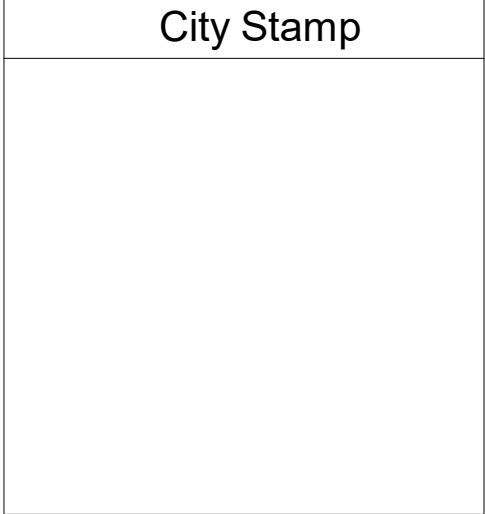
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Level 2 Floor
Plan

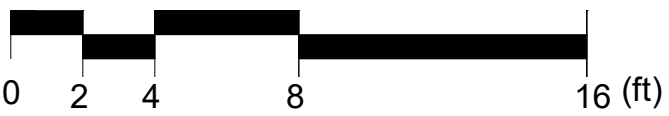
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96-E-1, 96-E-5, 96-E-4, 96-E-3, 96-F-2



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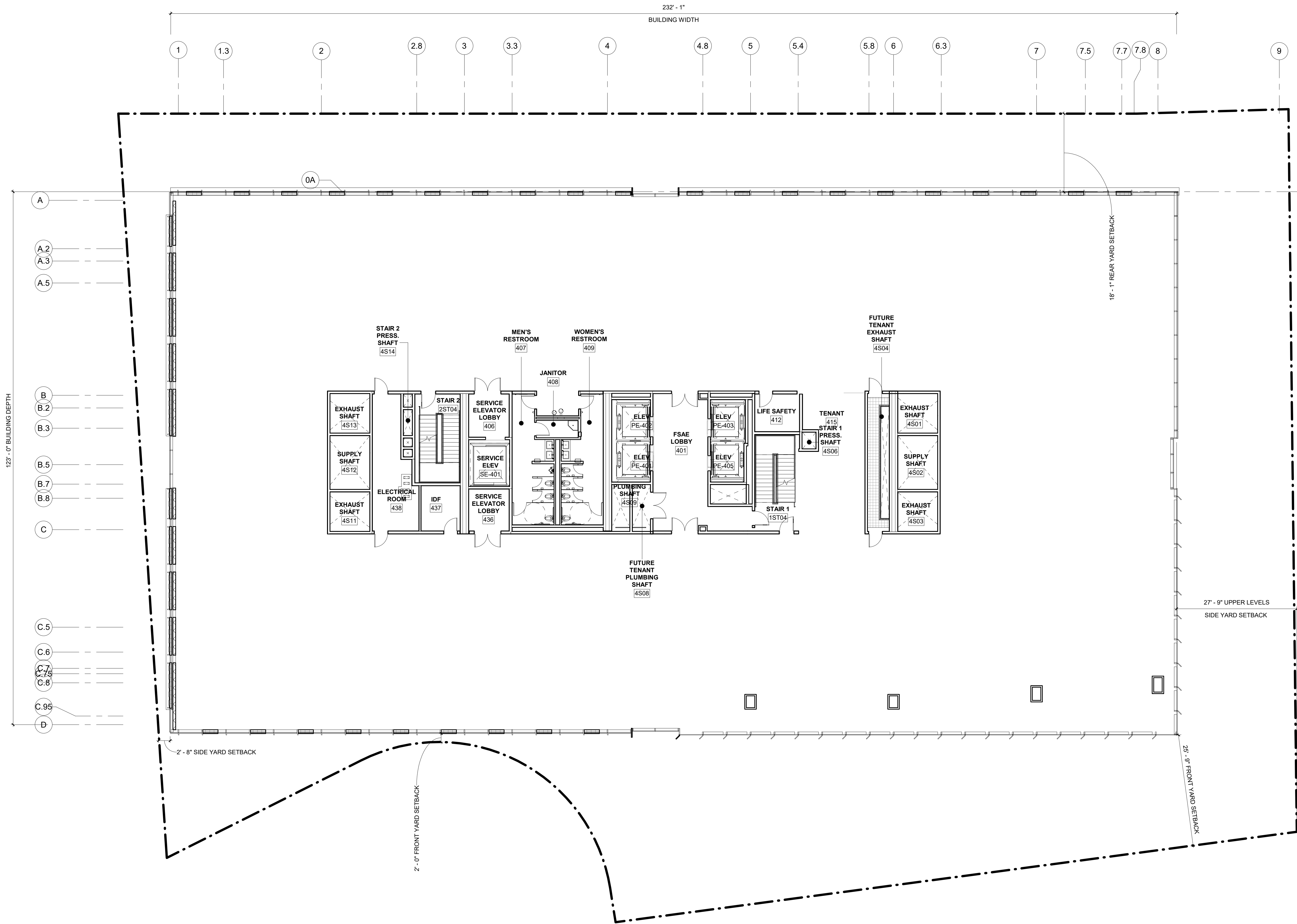
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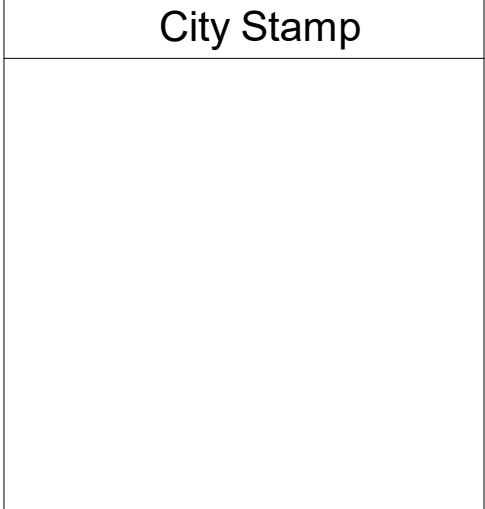
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Level 3 Floor Plan

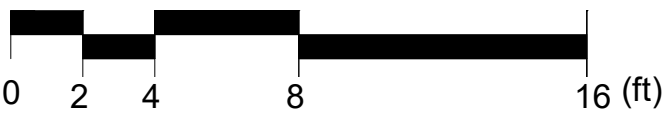
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96-E-1, 96-E-5, 96-E-4,
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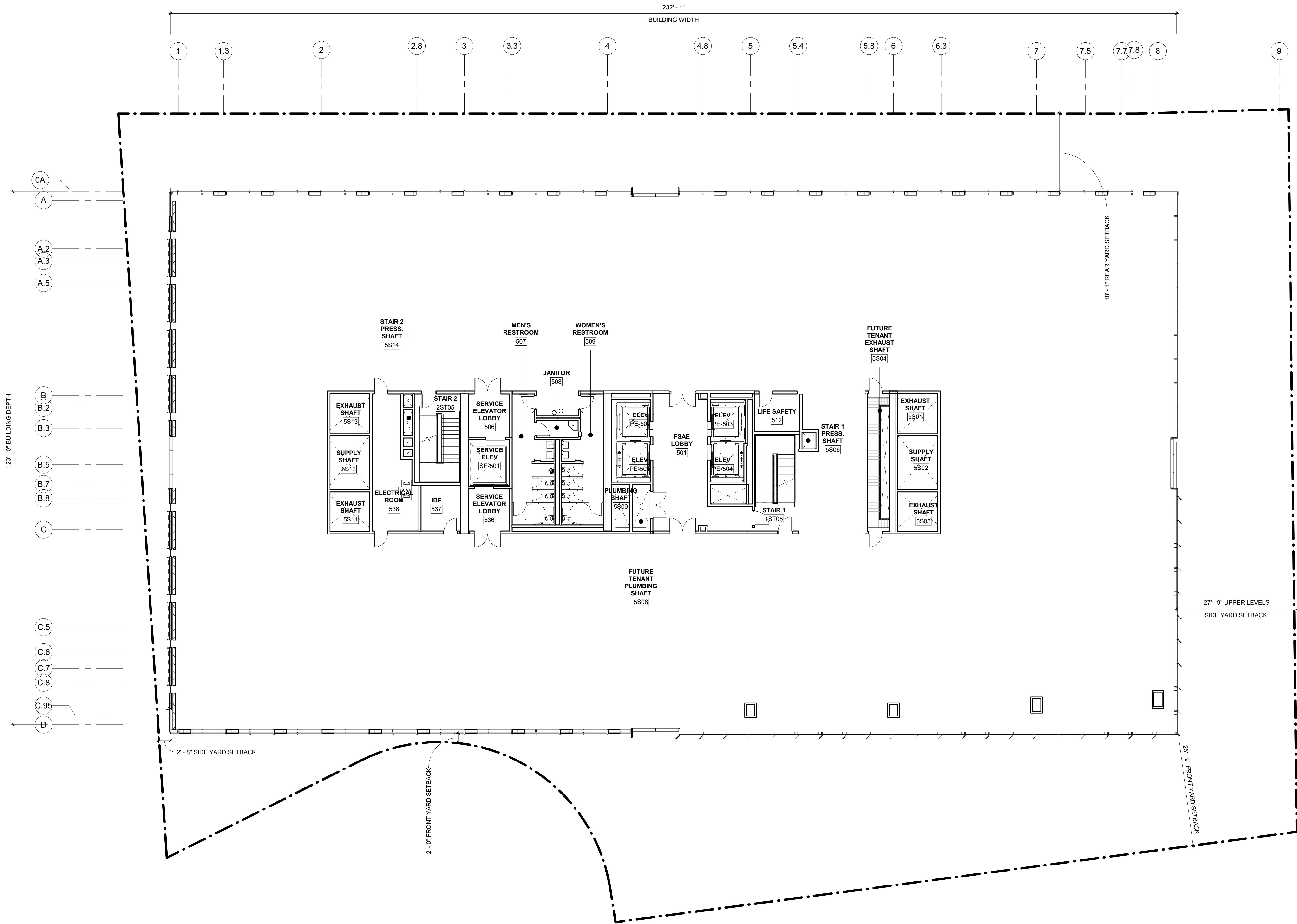
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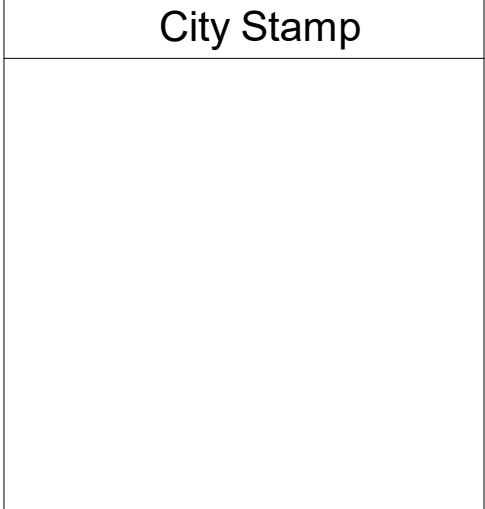
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SHEET TITLE:
Level 4 Floor Plan

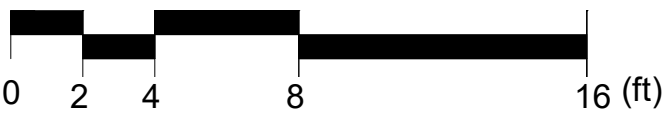
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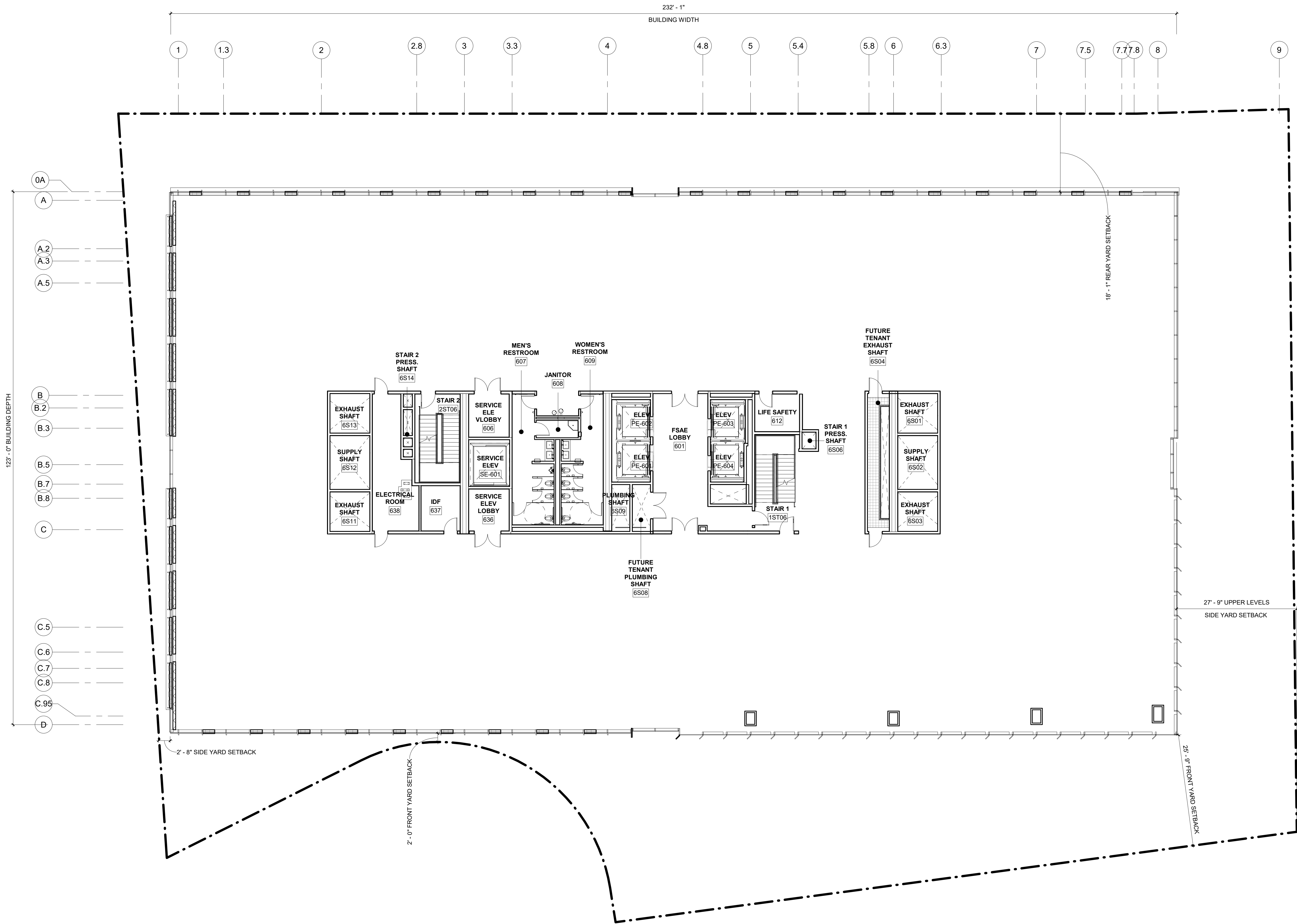
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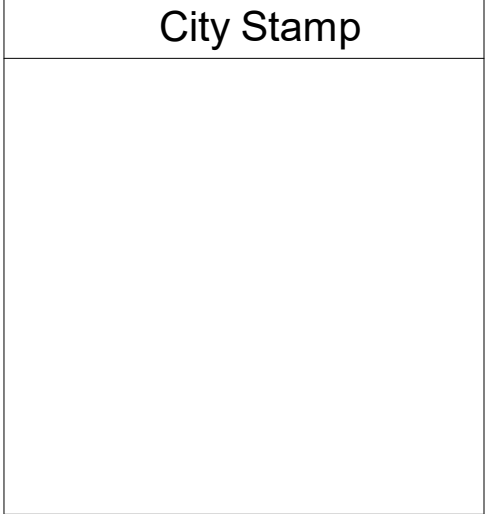
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SHEET TITLE:
Level 5 Floor Plan

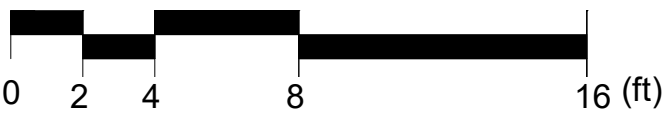
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96-E-1, 96-E-5, 96-E-4,
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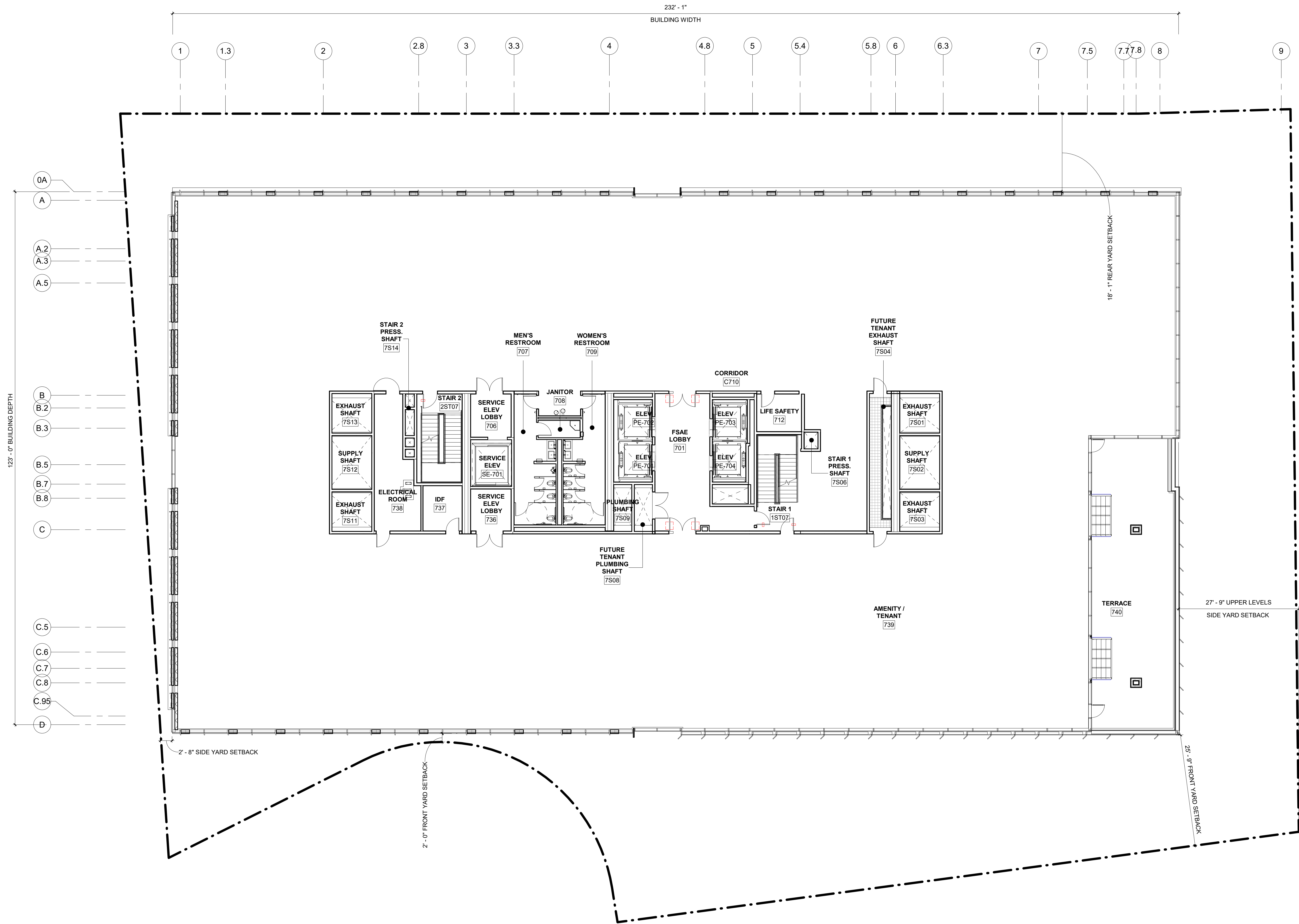
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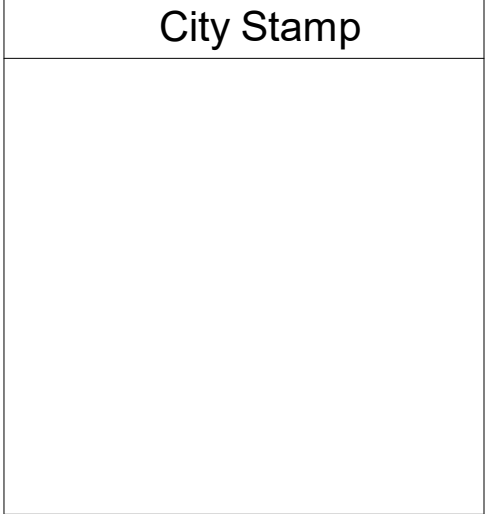
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PROJECT NO	4810.00
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SHEET TITLE:
Level 6 Floor Plan

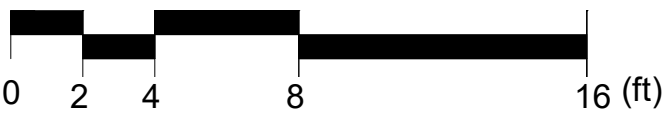
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96-E-1, 96-E-5, 96-E-4,
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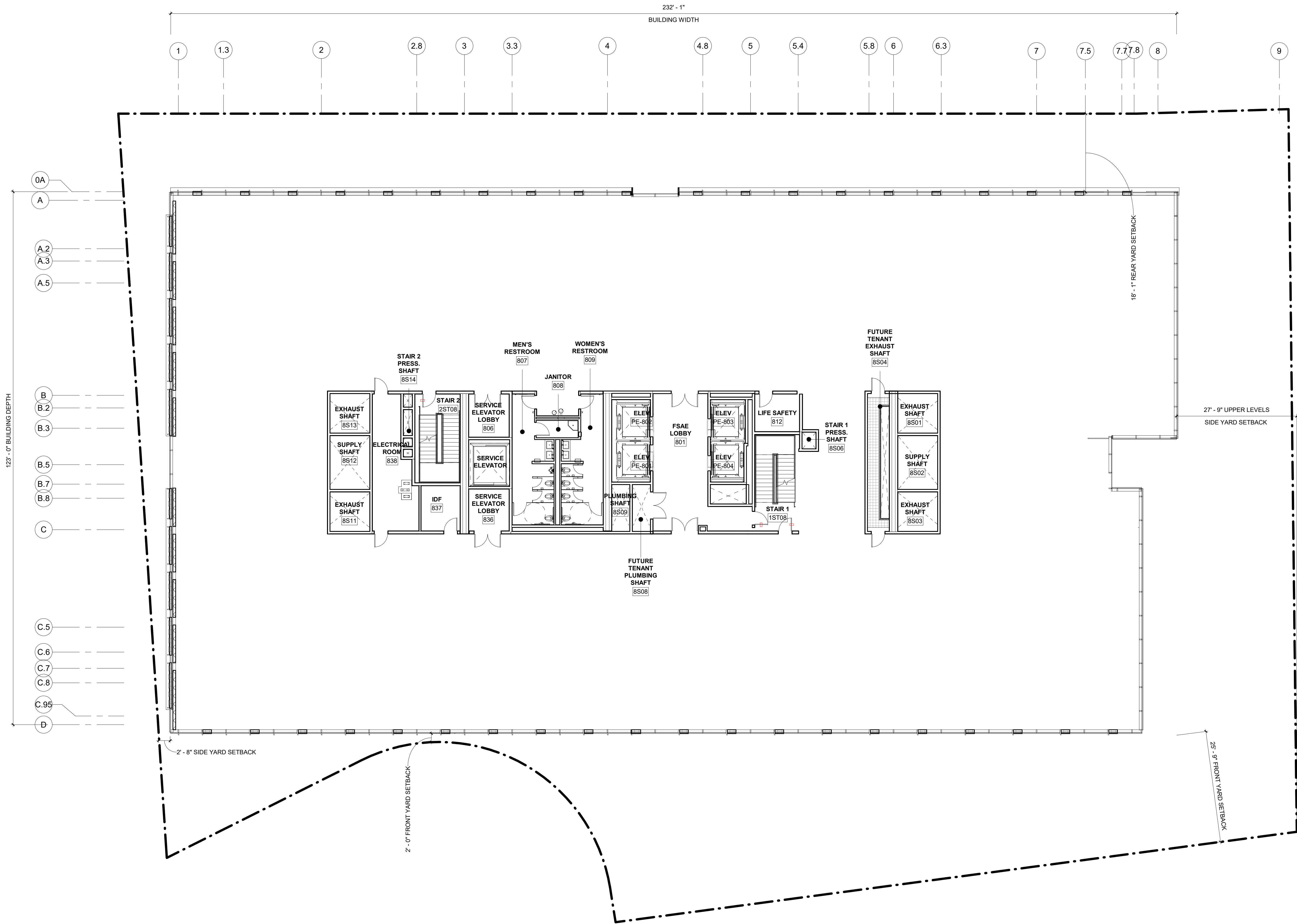
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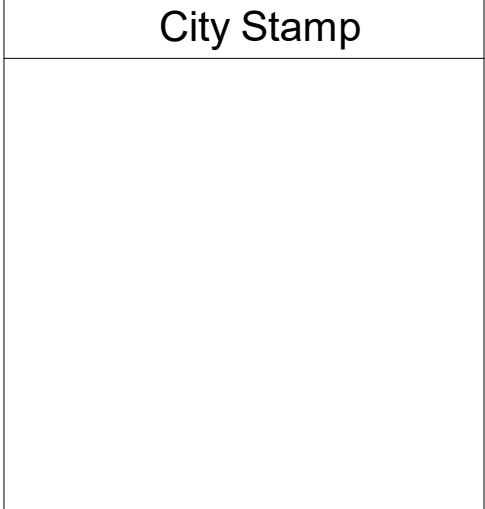
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Level 7 Floor Plan

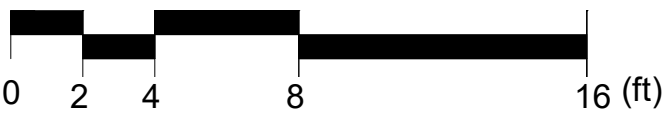
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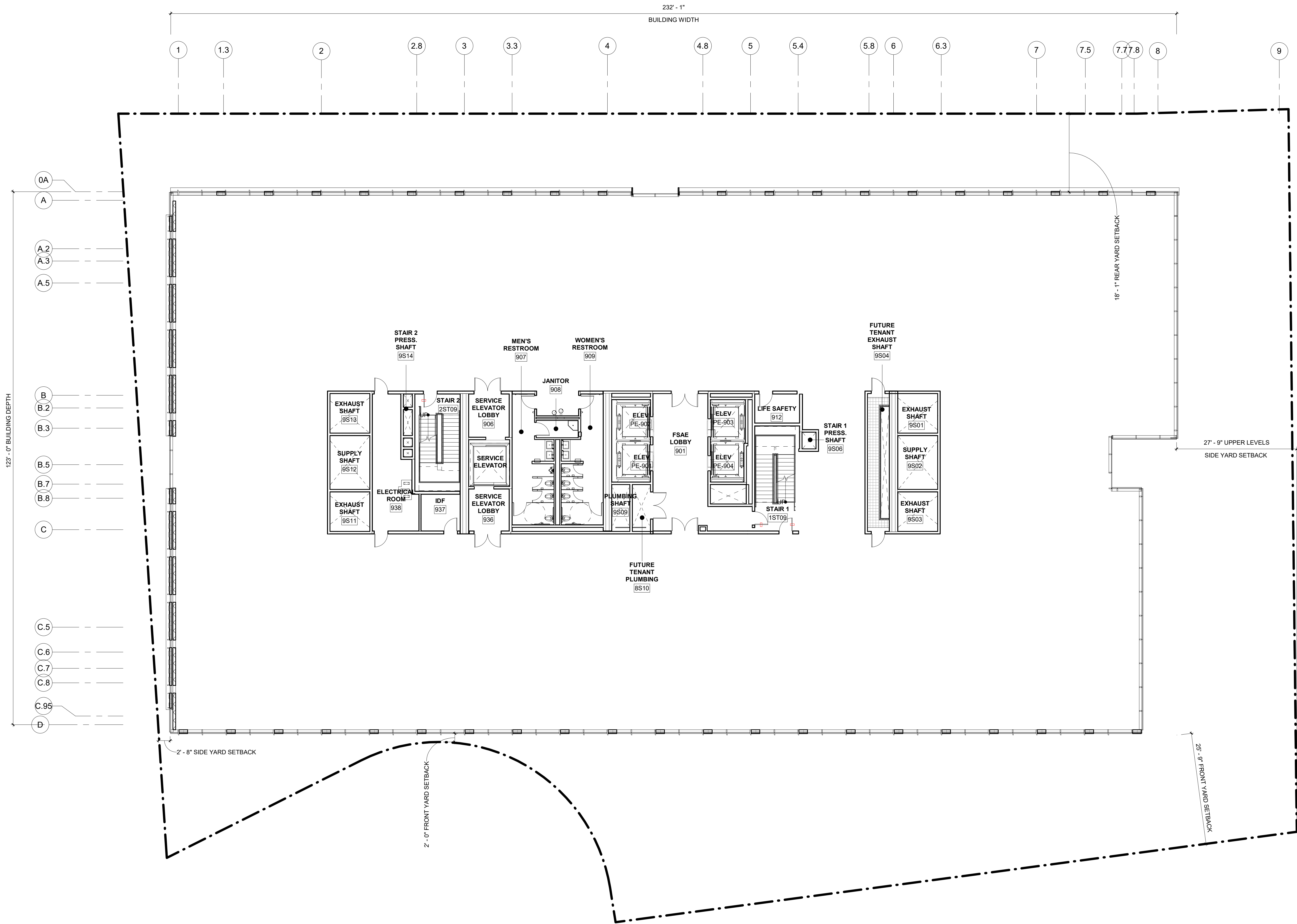
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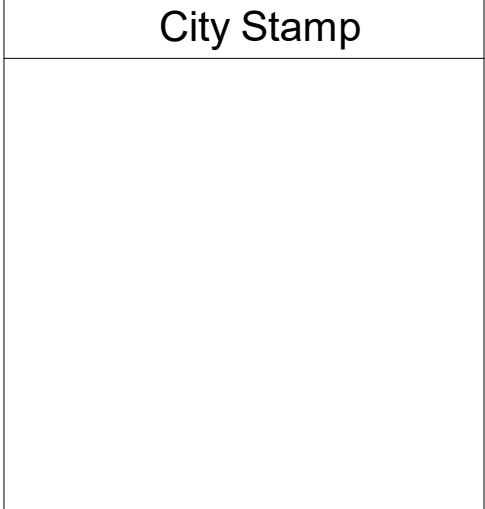
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Level 8 Floor Plan

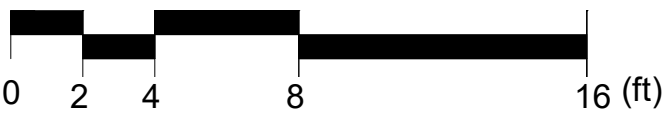
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96-E-1, 96-E-5, 96-E-4,
96-E-3, 96-F-2



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PROJECT:
15 McGrath Highway

15 McGrath Highway
Somerville, MA 02143

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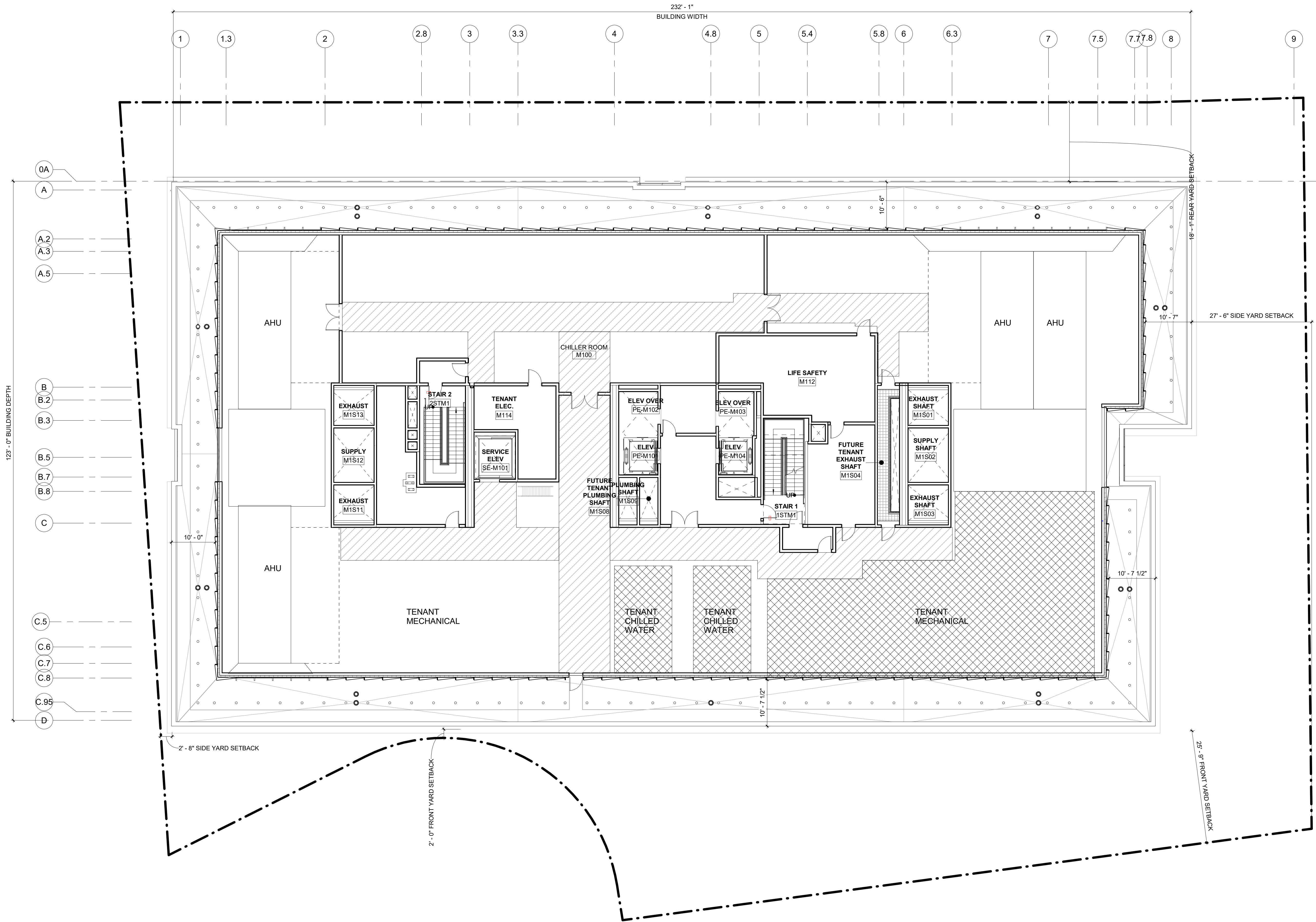
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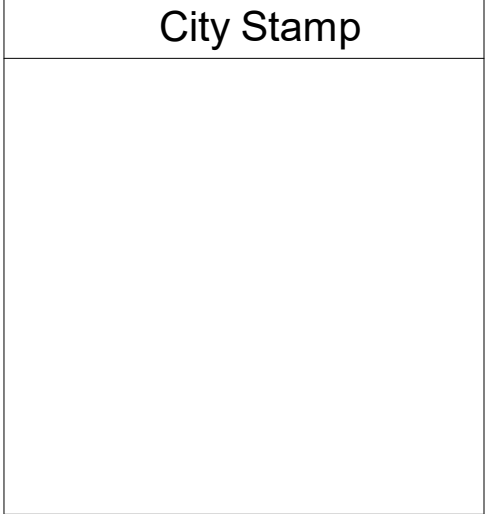
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SHEET TITLE:
Level 9 Floor Plan

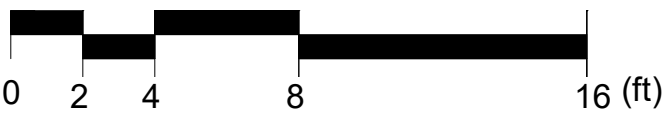
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96-E-1, 96-E-5, 96-E-4,
96-E-3, 96-F-2



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PROJECT:
15 McGrath Highway

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Somerville, MA 02143

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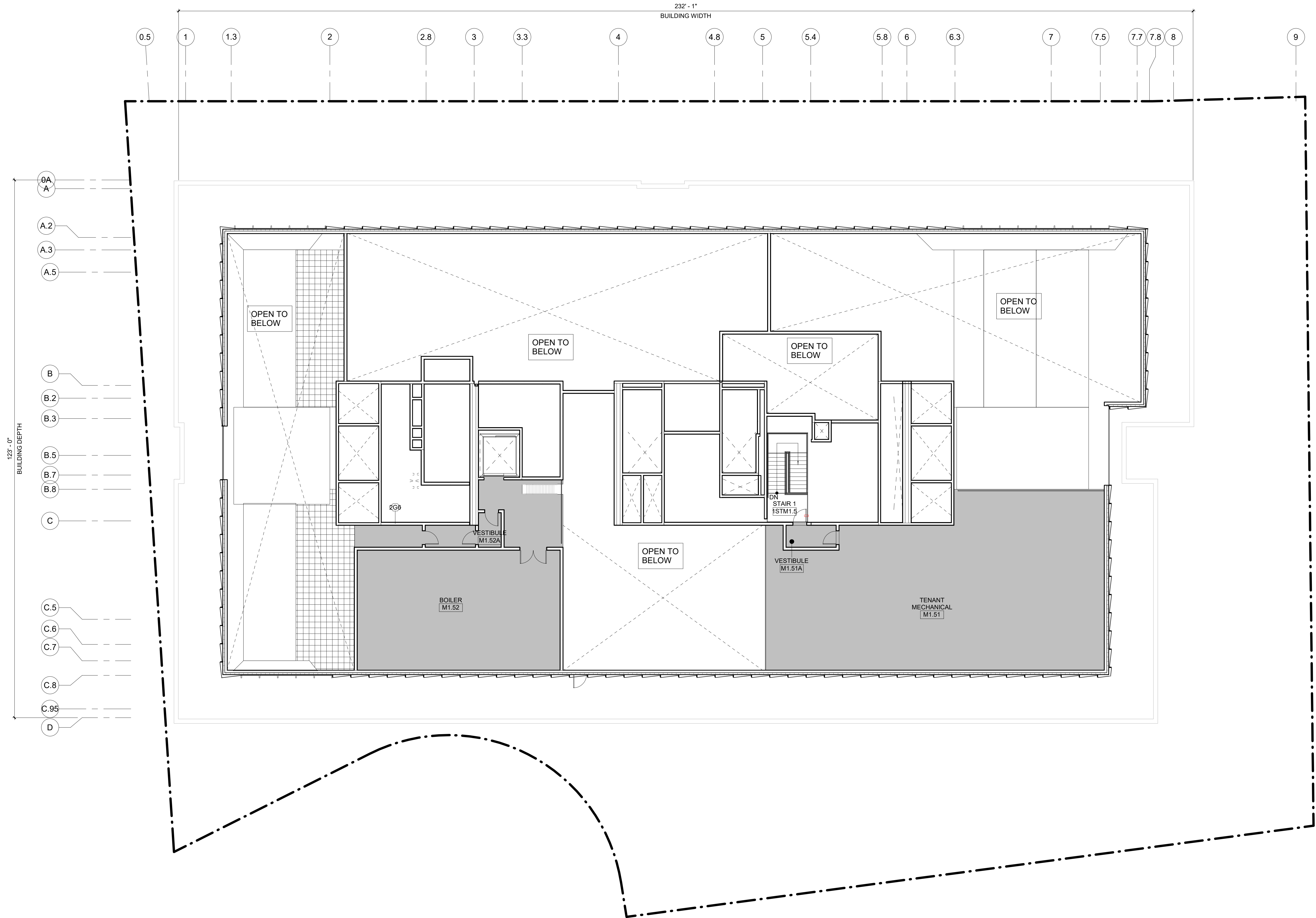
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SHEET TITLE:

Level M1 Floor Plan

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PROJECT:

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15 McGrath Highway
Somerville, MA 02143

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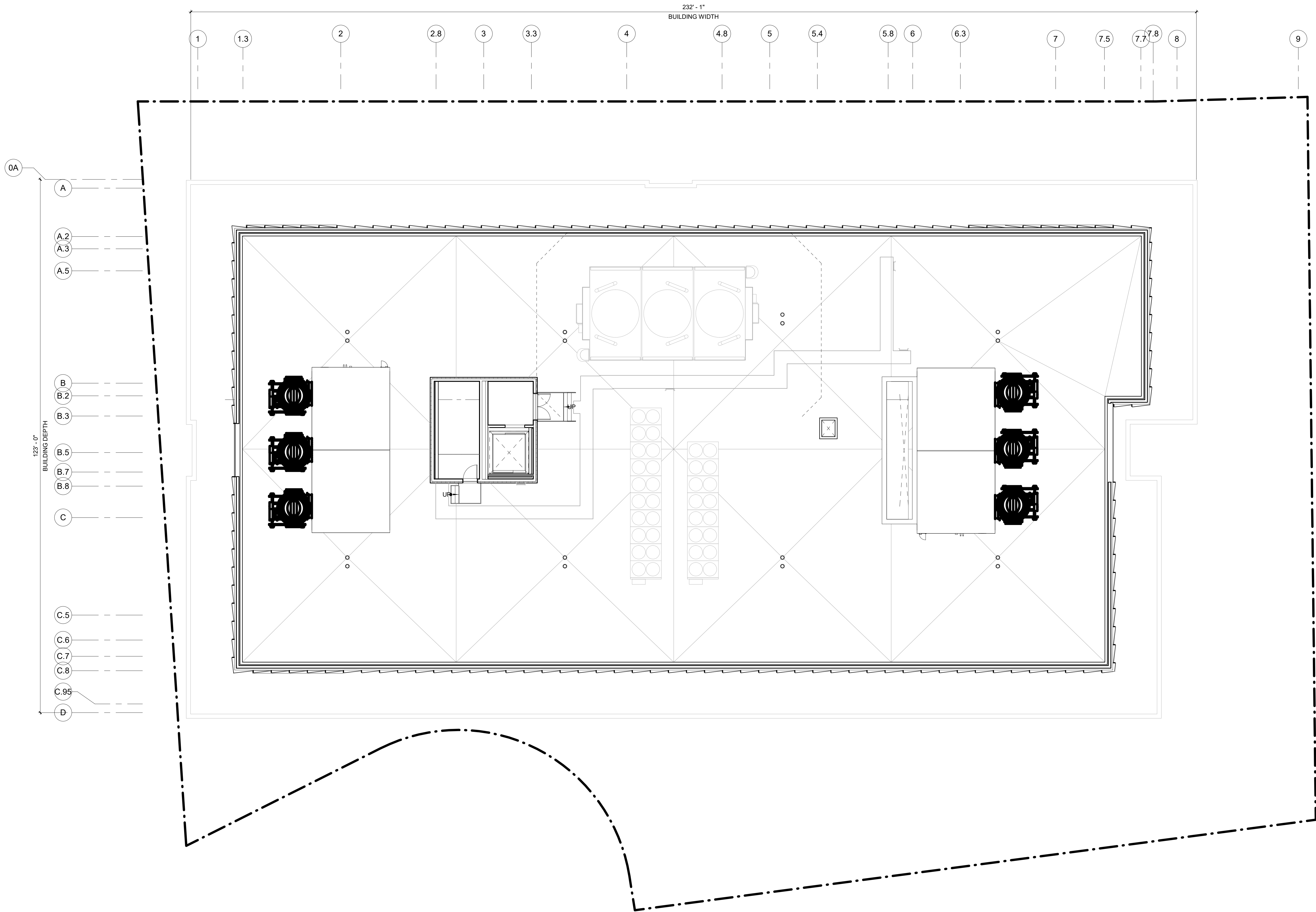
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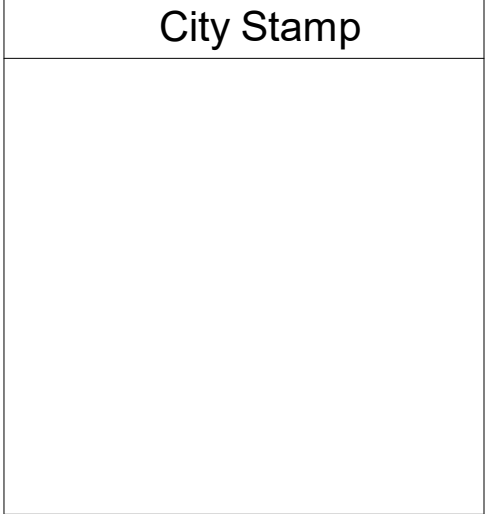
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Level M1.5 Floor Plan

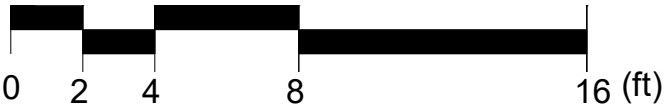
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96-E-3, 96-F-2



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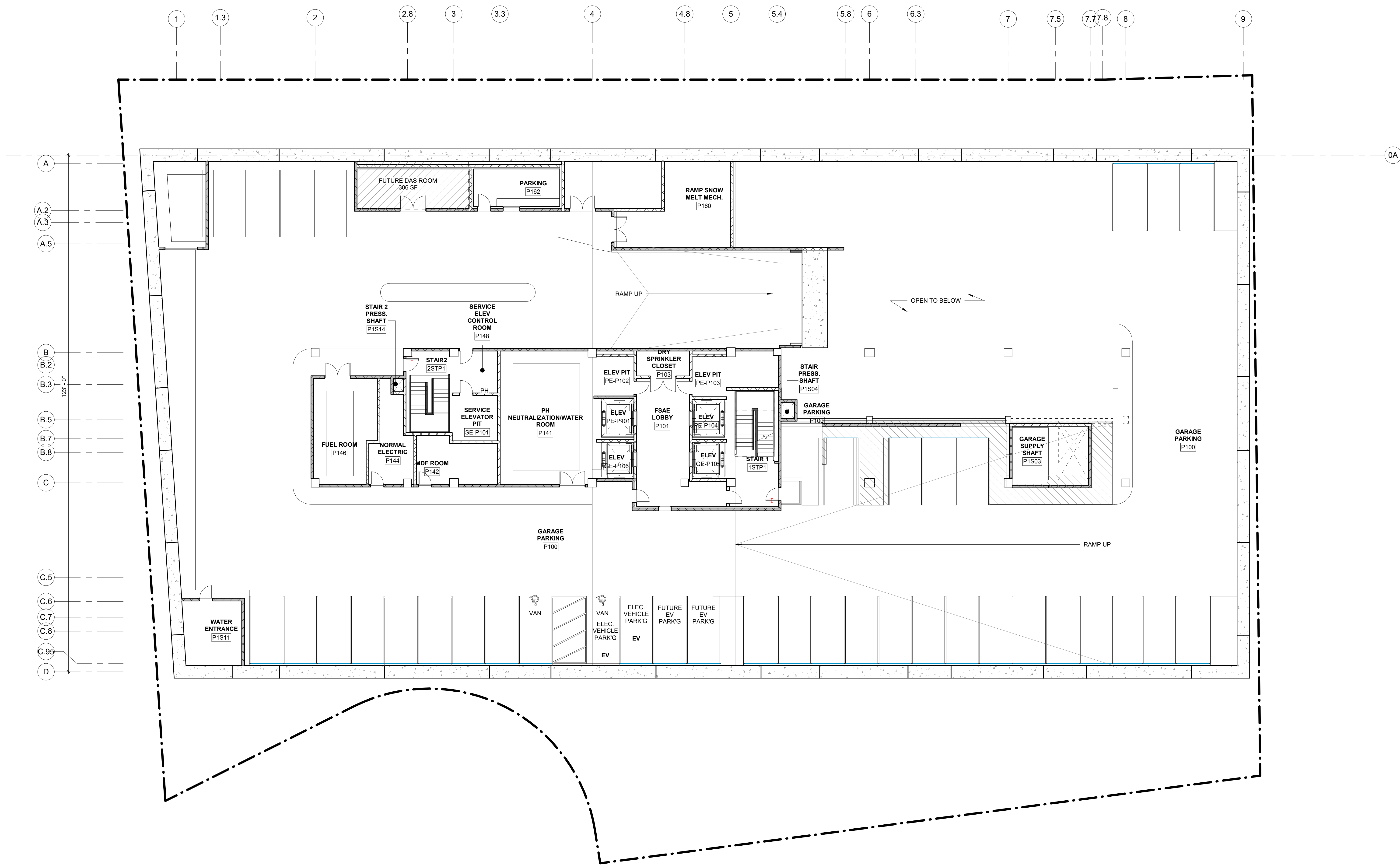
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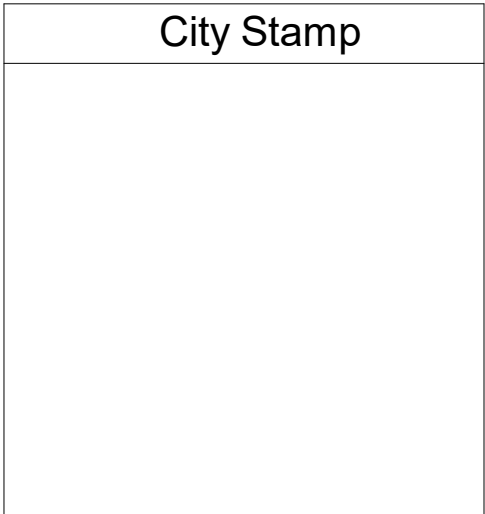
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SHEET TITLE:
Level M2 Floor Plan

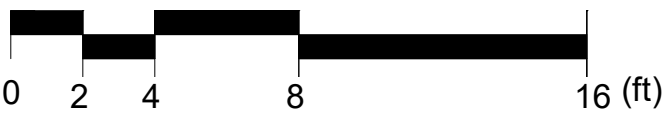
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96-E-3, 96-F-2



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15 McGrath Highway

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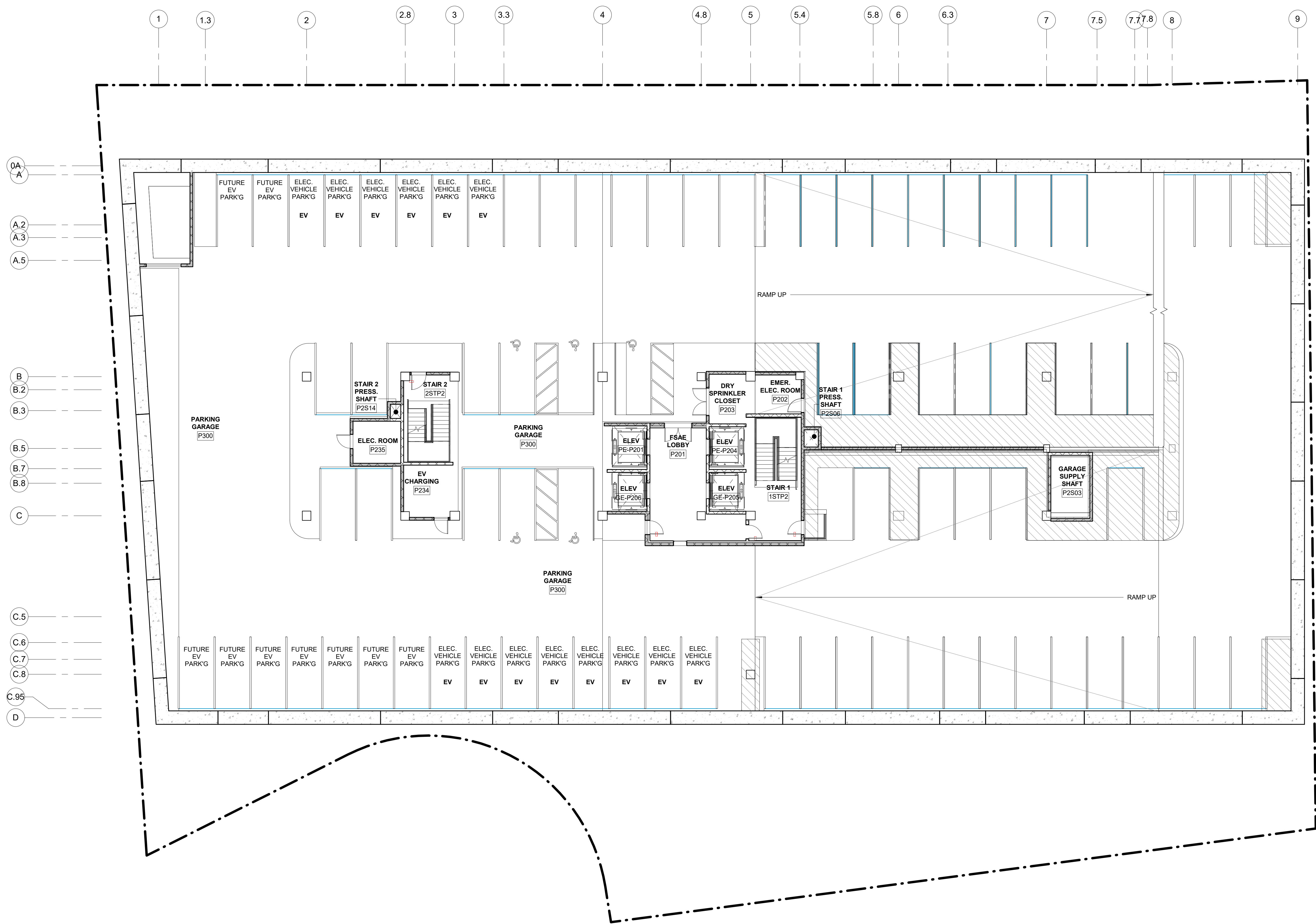
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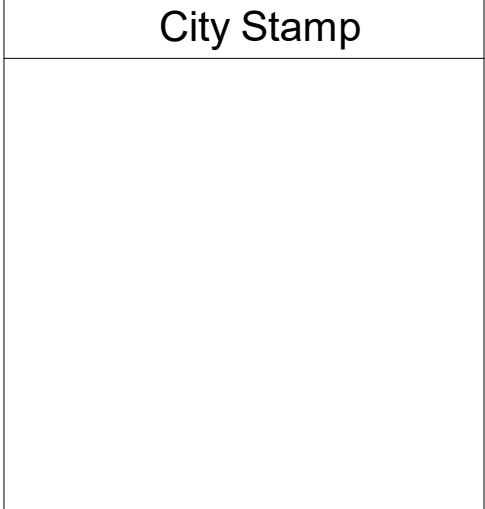
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Level P1 Floor Plan

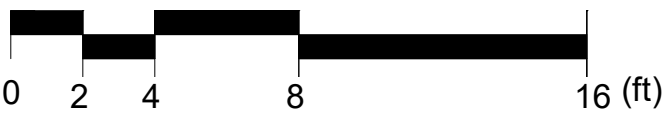
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96-E-1, 96-E-5, 96-E-4,
96-E-3, 96-F-2



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PROJECT:
15 McGrath Highway

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Somerville, MA 02143

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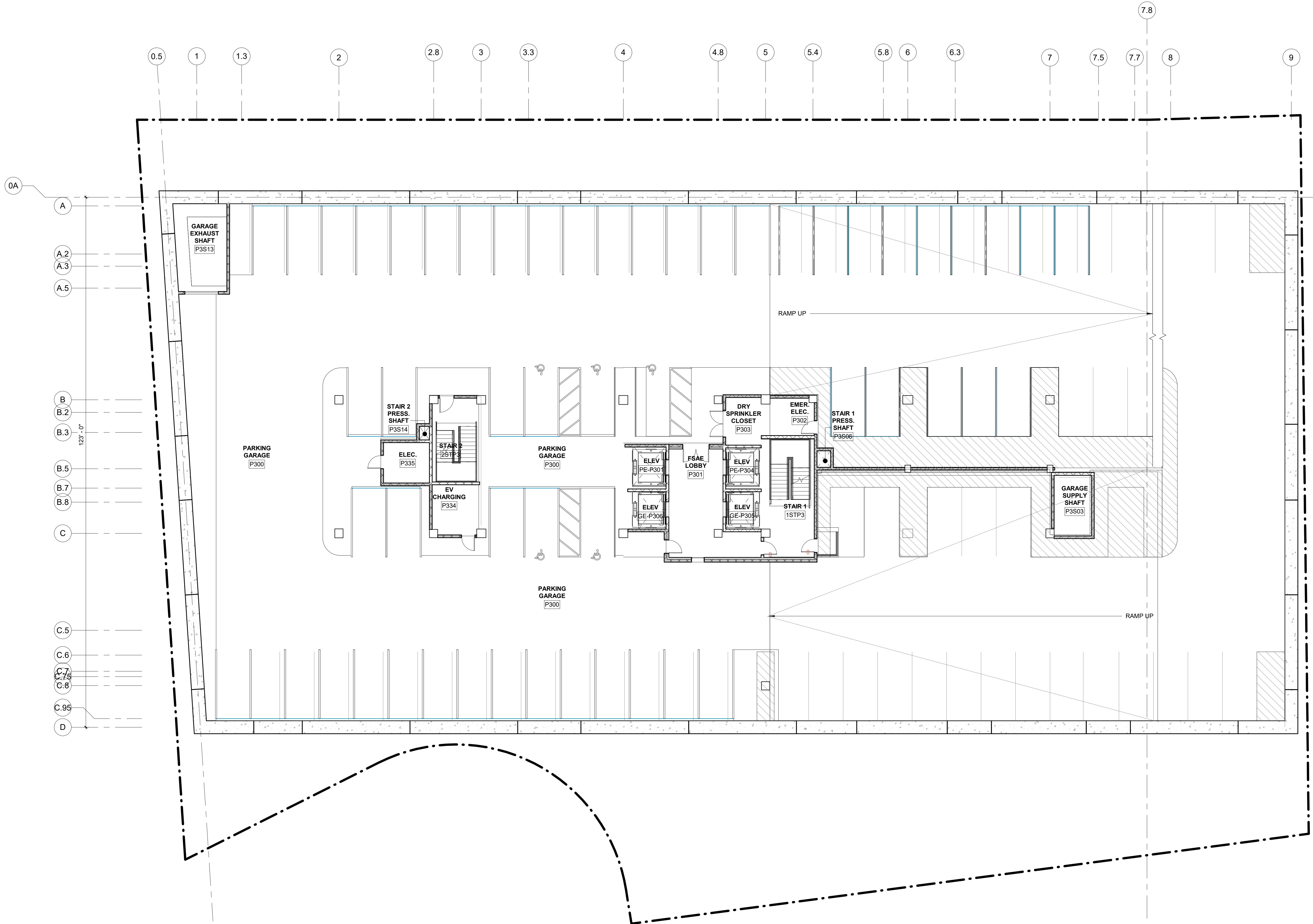
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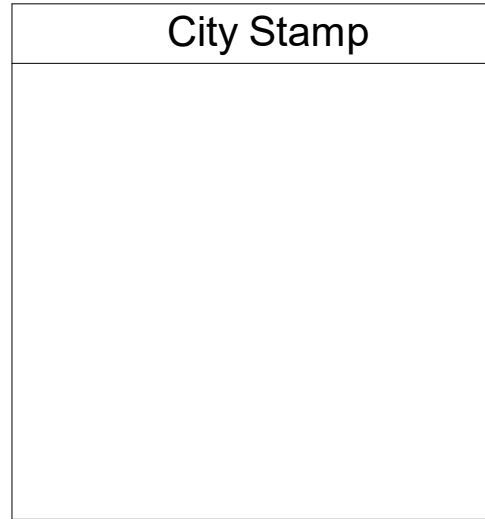
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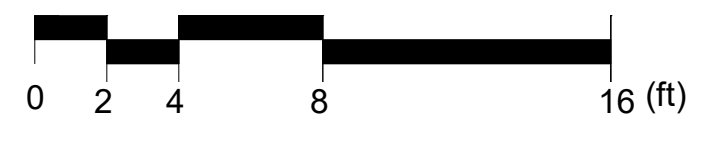
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96-E-3, 96-F-2



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PROJECT:

15 McGrath Highway

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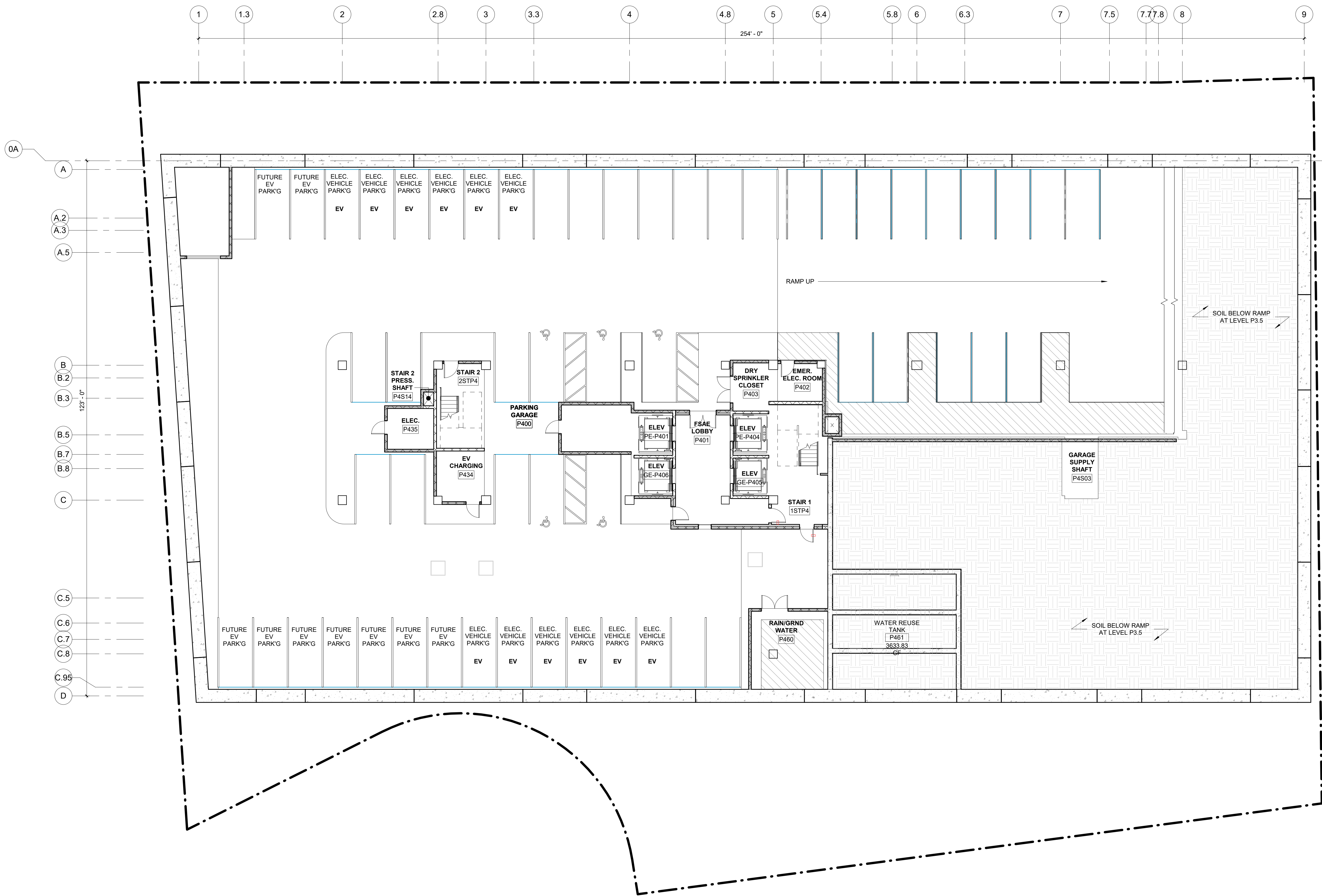
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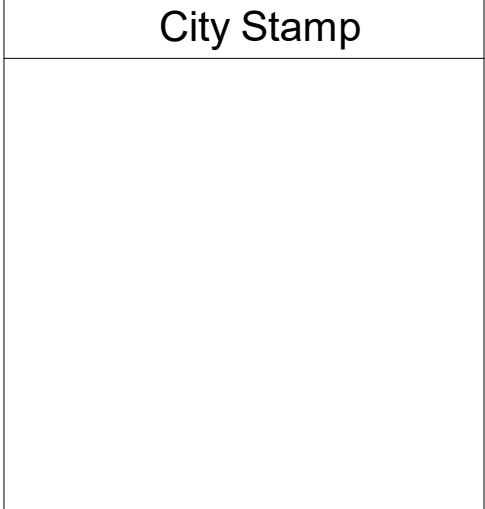
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Level P3 Floor Plan

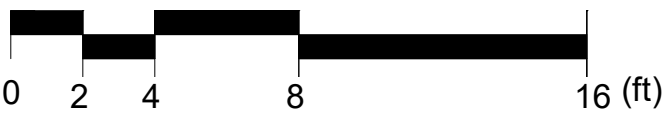
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PROJECT:

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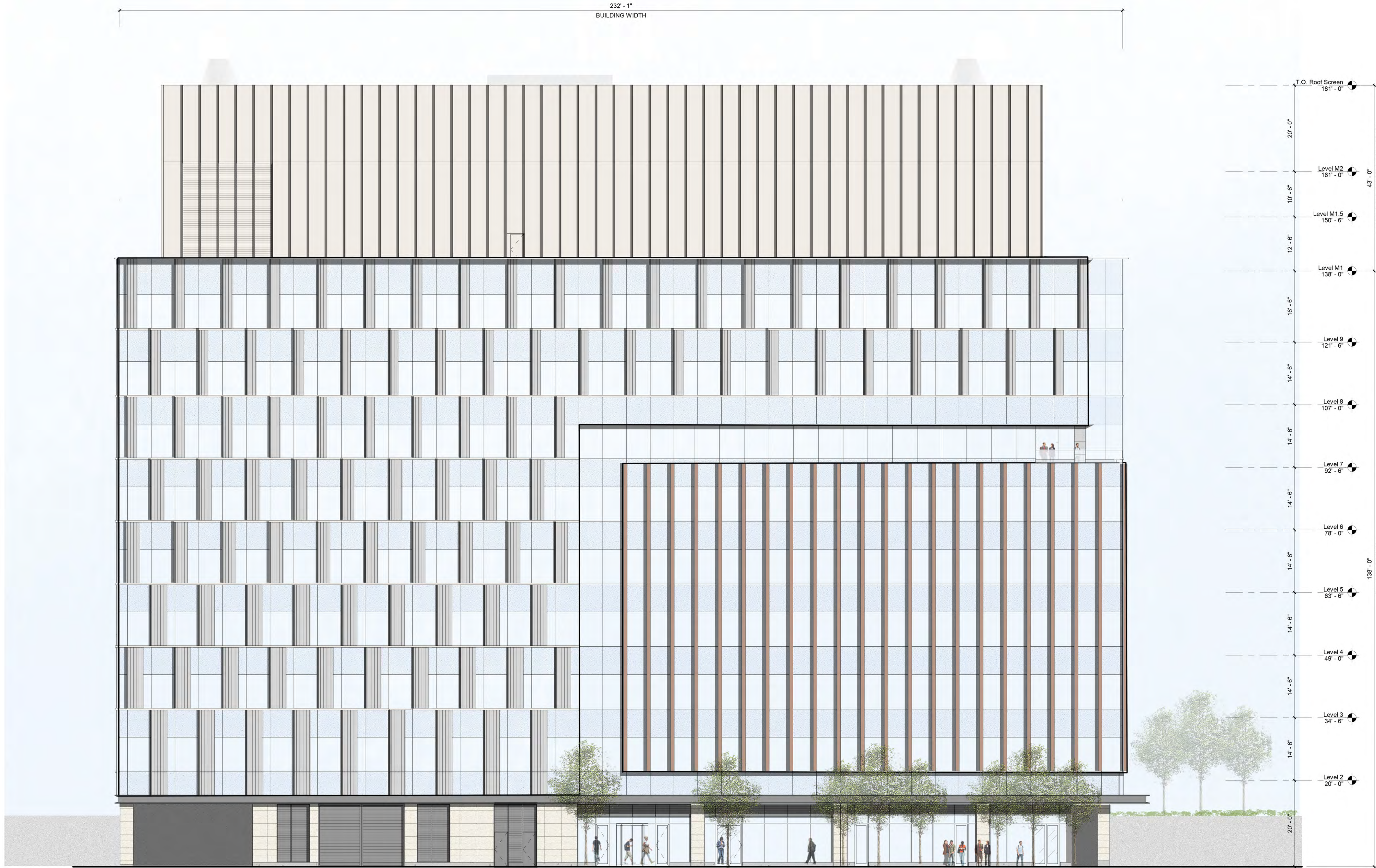
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Level P4 Floor
Plan

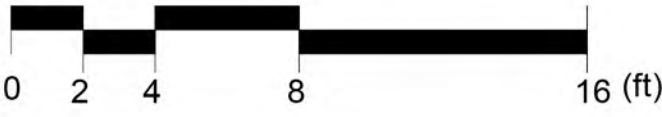
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212.254.4500

CODE CONSULTANT
CODE RED CONSULTANTS, LLC
Southborough, MA 01772
154 Turnpike Avenue Suite 200
617.500.7633

SEAL / SIGNATURE



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PROJECT:

15 McGrath Highway

15 McGrath Highway
Somerville, MA 02143

DLJ & Leggat McCall

REVISIONS:

No.	Date	Description

SUBMISSIONS:

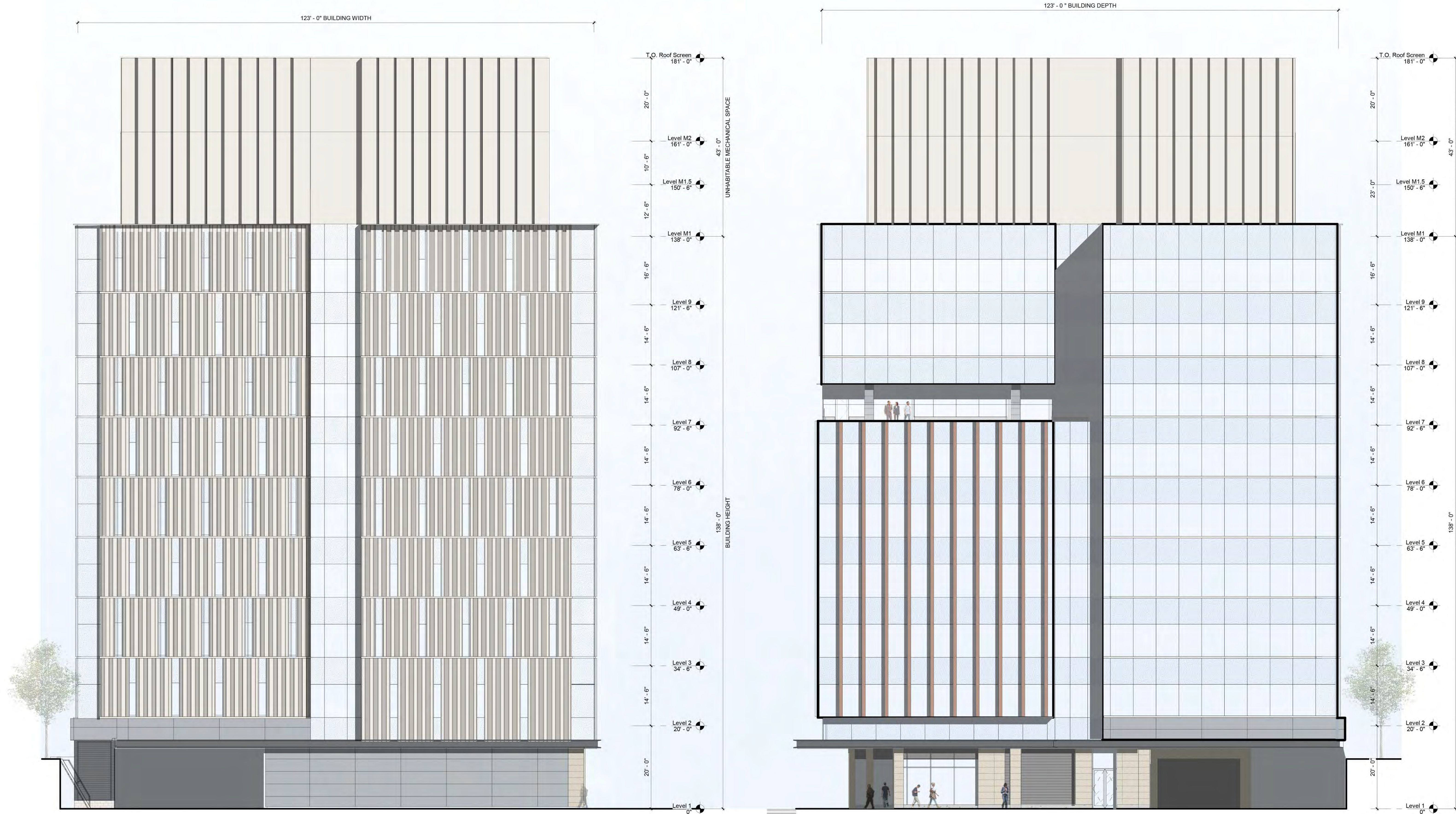
Date	Issued For:
07/28/2021	Design Review Application
04/28/2022	DRA Minor Amendments

SCALE 3/32" = 1'-0"
DATE ISSUED 04/28/2022
PROJECT NO 4810.00
DRAWN BY Author
CHECKED BY Checker

SHEET TITLE:

West & East Elevation

1.9b



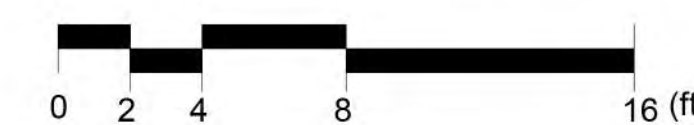
1 Northwest Elevation
3/32" = 1'-0"

2 Southeast Elevation
3/32" = 1'-0"

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CONSTRUCTION

City Stamp

96-E-1, 96-E-5, 96-E-4,
96-E-3, 96-F-2





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857.300.2610 | SGA-ARCH.COM

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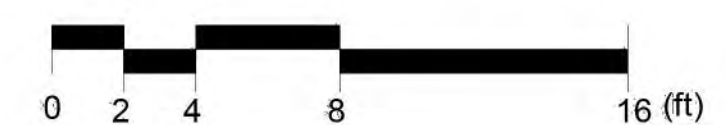
SCALE 3/32" = 1'-0"
DATE ISSUED 04/28/2022
PROJECT NO 4810.00
DRAWN BY Author
CHECKED BY Checker

SHEET TITLE:
North Elevation

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96-E-1, 96-E-5, 96-E-4,
96-E-3, 96-F-2



1.9c



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No. Date Description

SUBMISSIONS:

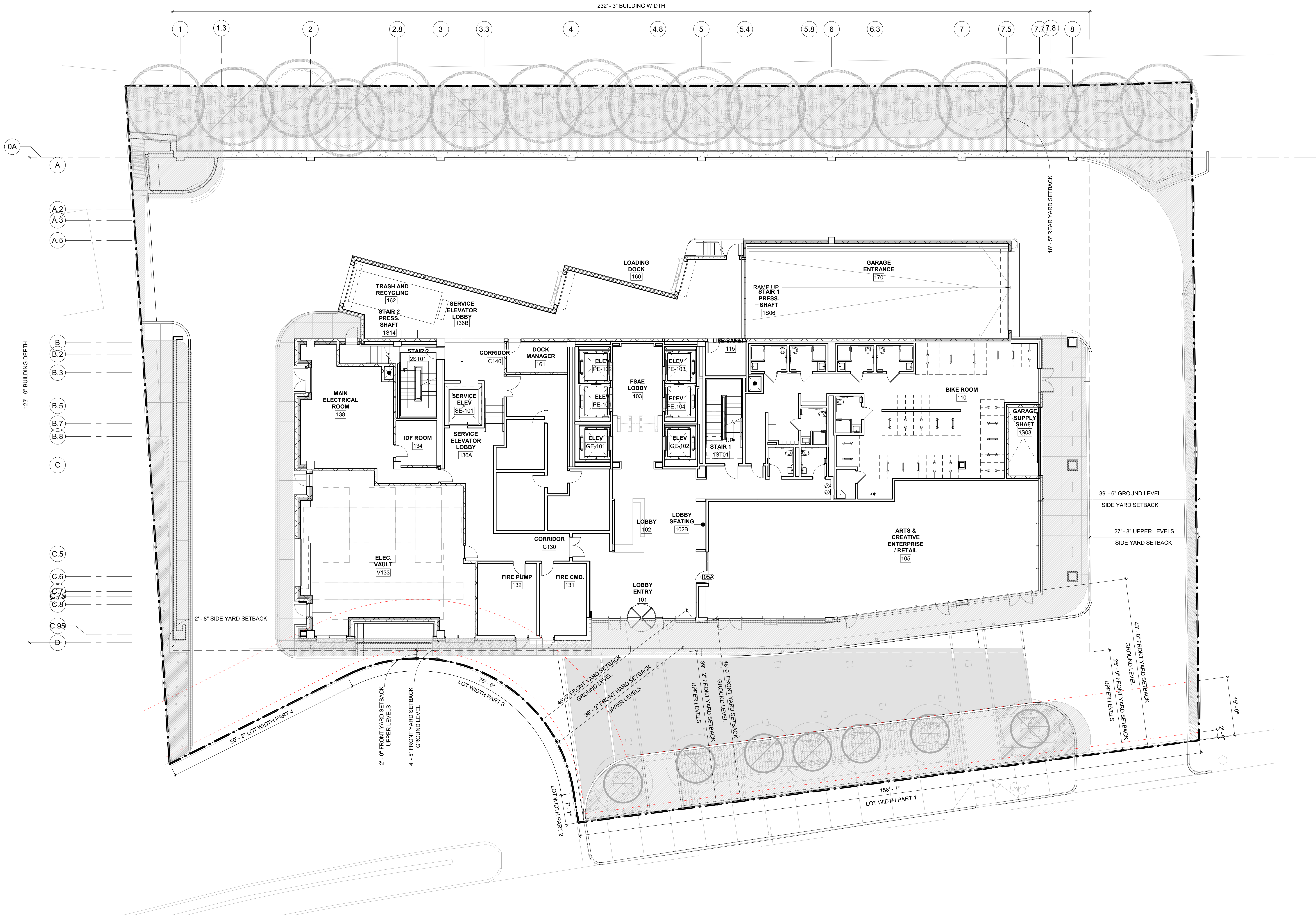
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SCALE 3/32" = 1'-0"
DATE ISSUED 05/04/2022
PROJECT NO 4810.00
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SHEET TITLE:

Scaled Layout Plan

2.2



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96-E-1, 96-E-5, 96-E-4,
96-E-3, 96-F-2

0 2 4 8 16 (ft)



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REVISIONS:

No. Date Description

SUBMISSIONS:

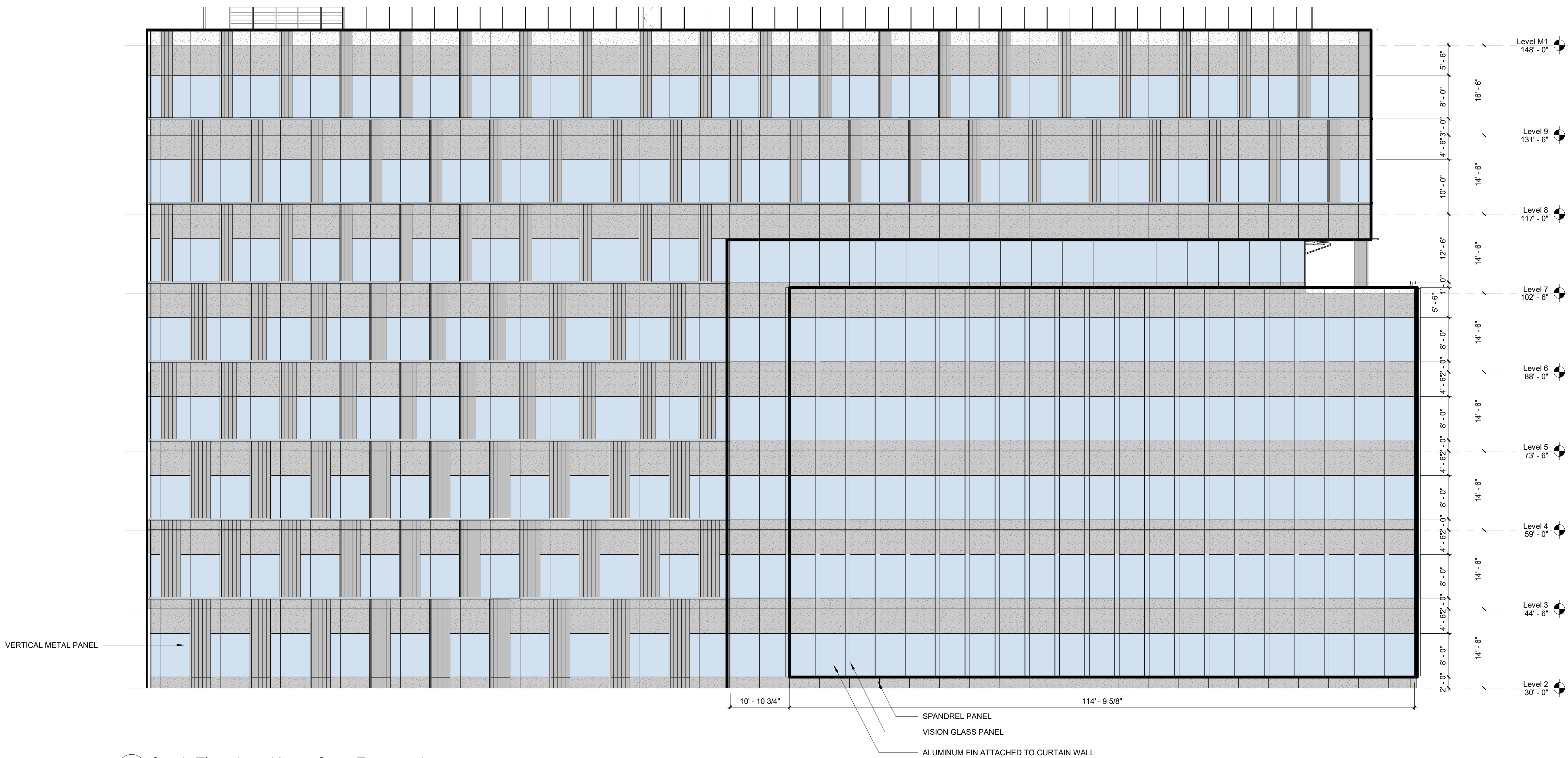
Date Issued For:
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04/28/2022 DRA Minor Amendments

SCALE As indicated
DATE ISSUED 04/28/2022
PROJECT NO 4810.00
DRAWN BY TS
CHECKED BY JS

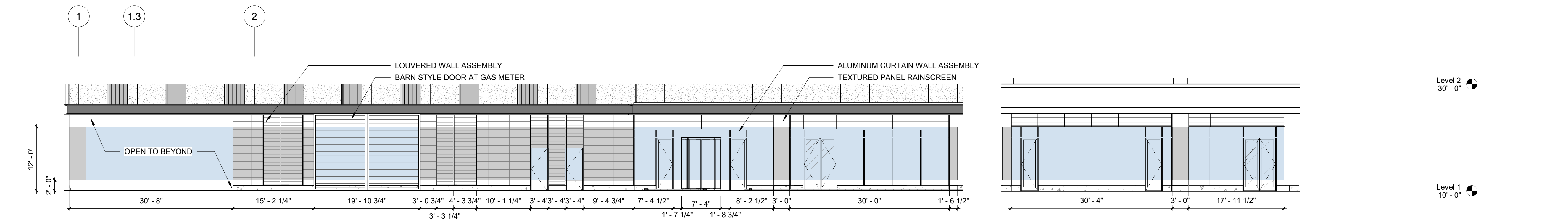
SHEET TITLE:

Facade Fenestration

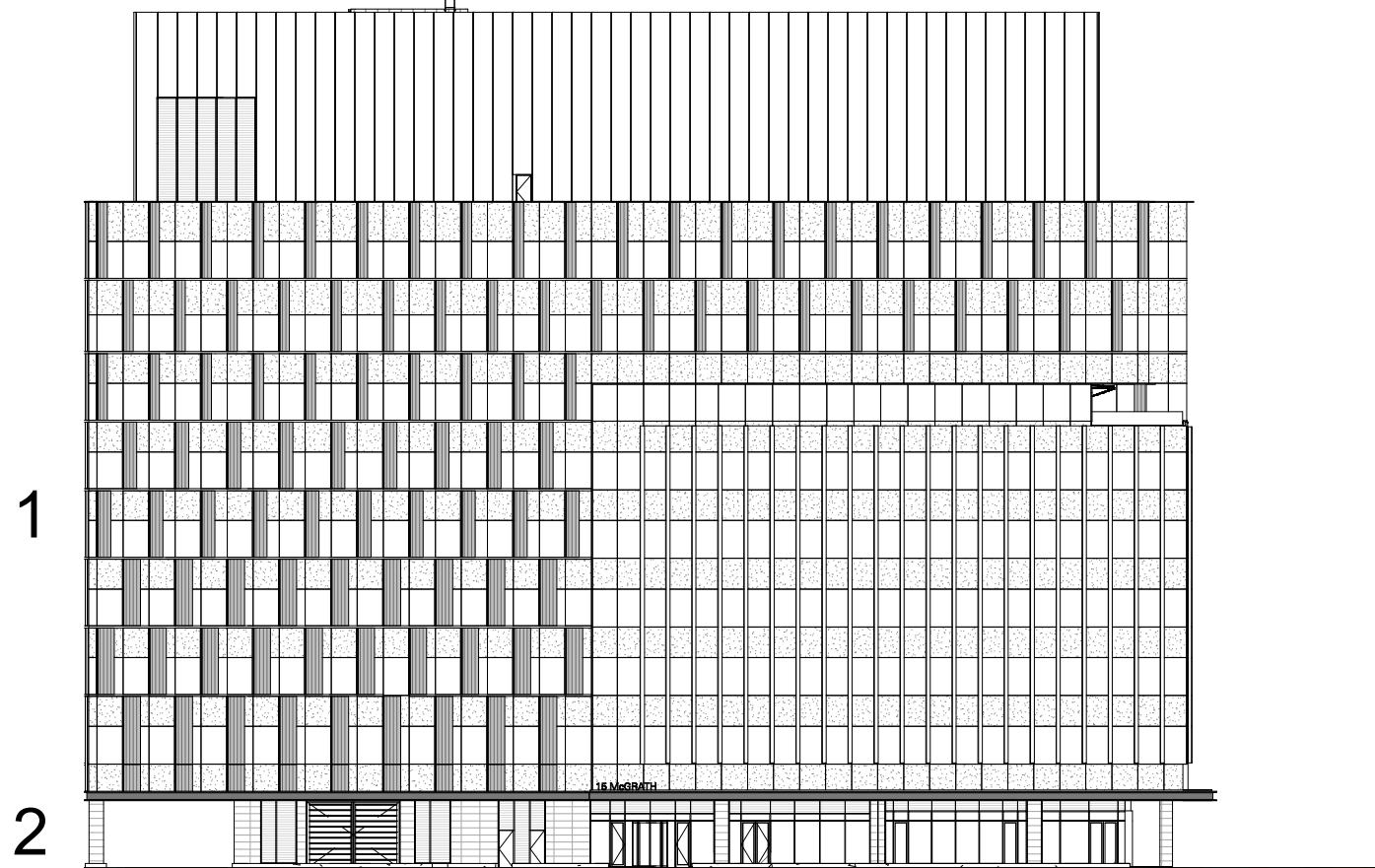
2.3



1 South Elevation - Upper Story Fenestration
3/32" = 1'-0"



2 South Elevation - Ground Story Fenestration
3/32" = 1'-0"



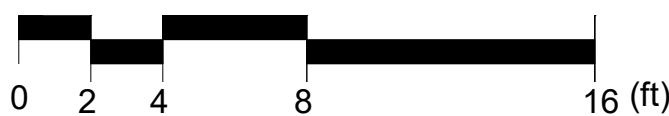
FACADE FENESTRATION CALCULATION

	SOLID	OPENING	TOTAL	% OPEN
GROUND LEVEL	633 SF	1559 SF	2192 SF	71%
LEVELS 2 - 6	1793 SF	1588 SF	3381 SF	47%
LEVEL 7	1626 SF	1513 SF	3139 SF	48%
LEVEL 8-9	1822 SF	1428 SF	3250 SF	44%

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REVISIONS:

No. Date Description

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Date Issued For:
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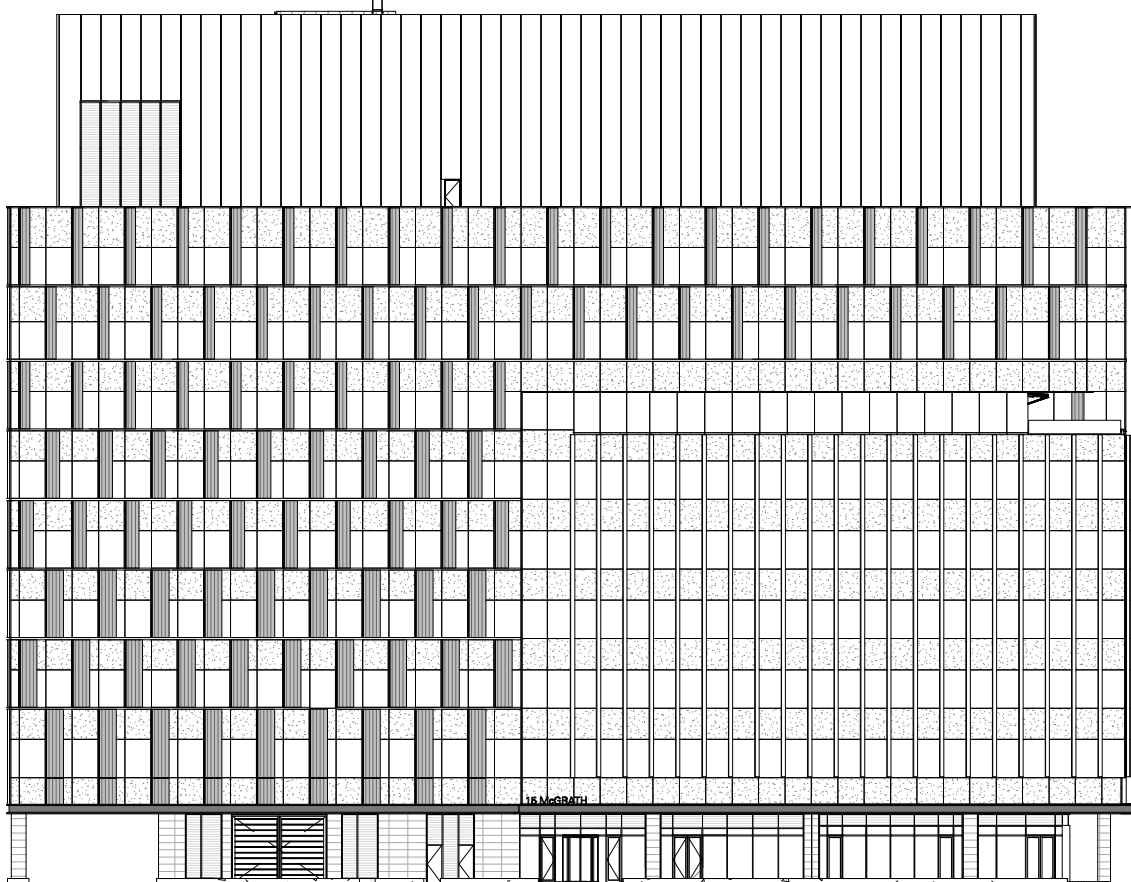
SCALE As indicated
DATE ISSUED 05/04/2022
PROJECT NO 4810.00
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CHECKED BY Checker

SHEET TITLE:

Storefront & Entry Compliance

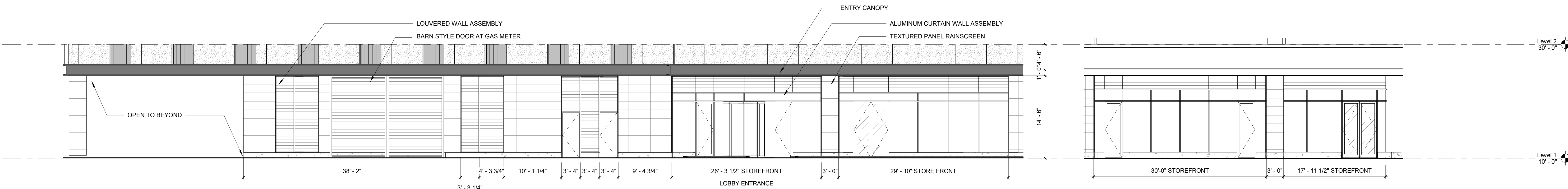
2.4

FACADE COMPOSITION	PERMITTED	PROPOSED
GROUND STORY FENESTRATION	70%	70%
UPPER STORY FENESTRATION (MIN/MAX)	15 -70%	50%
MAX BLANK WALL	20'-0"	10'-8"
BUILDING COMPONENTS		
ENTRY CANOPY		
MIN. WIDTH (EQUAL OR GREATER TO ENTRY)	26'-3 1/2"	131'-0"
MIN. PROJECTION	3'-0"	8'-0"
MIN. CLEARANCE	8'-0"	16'-0"
MAX FRONT SETBACK ENCROACHMENT	100%	-0-
LOBBY ENTRANCE		
WIDTH (MIN/MAX)	15'/30'	26'-3 1/2"
MAX RECESSED ENTRANCE WIDTH	15'-0"	-0-
MAX RECESSED ENTRANCE DEPTH	5'-0"	-0-
STOREFRONT		
WIDTH (MIN/MAX)	15'/30'	30'-0"
MIN. DISPLAY WINDOW HEIGHT	8'-0"	13'-0"
MAX RECESSED ENTRANCE WIDTH	15'-0"	-0-
MAX RECESSED ENTRANCE DEPTH	5'-0"	-0-



1

CANOPY WIDTH = 131'-0"



1 South Elevation - Storefront & Entry Compliance

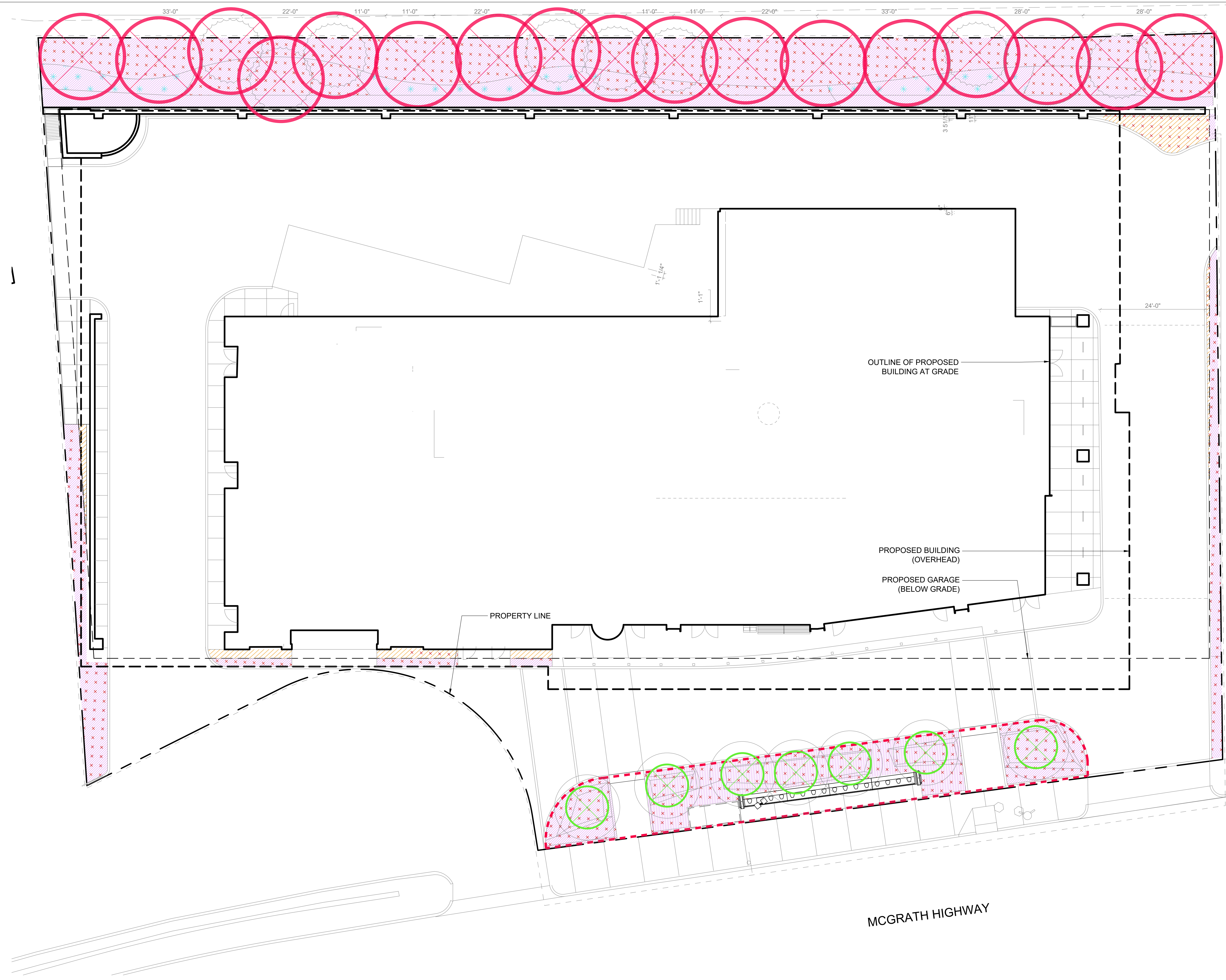
1/8" = 1'-0"

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City Stamp

96-E-1, 96-E-5, 96-E-4,
96-E-3, 96-F-2

0 2 4 8 16 (ft)



- GREEN SCORE NOTES:**
- SITE IS IN THE HIRE-RISE (HR) ZONING DISTRICT. (MIN. 0.20 GREEN SCORE REQUIRED)
 - OPEN SPACE (LANDSCAPE AREA ONLY) IS ~22% OF SITE AREA (~9,900SF) (15% MIN. REQUIRED)
 - REFER TO L-300 FOR DETAIL PLANTING PLAN & PLANTING SCHEDULE SHOWING PROPOSED PLANT SPECIES & SIZES
 - REFER TO DETAIL SHEETS FOR SUPPORTING EVIDENCE OF PROPOSED DEPTH CONDITIONS OF PLANTING SOILS

GREEN SCORECARD				
Area or Number	Sq Ft Credit	Multiplication	Weighted Area	Score Value
250	actual sq ft	0.3	75	0.082
6,100	actual sq ft	0.6	3660	0.082
0	actual sq ft	0.2	0	0.000
0	actual sq ft	0.5	0	0.000
0	actual sq ft	0.1	0	0.000
1,130	actual sq ft	0.3	339	0.008
5,940	actual sq ft	0.2	768	0.017
98	12	0.3	352.8	0.008
8	450	0.6	2700	0.068
7	50	0.8	380	0.006
9	450	0.8	3240	0.073
0	actual sq ft	0.1	0	0.000
0	actual sq ft	1.0	0	0.000
0	actual sq ft	0.1	0	0.000
0	actual sq ft	0.6	0	0.000
0	actual sq ft	0.6	0	0.000
N/A			Calculate as if soils, groundcovers, plants, and trees	
Green Score =				0.248
Required Score:	NR & UR	MR3 & MR4	MRS, MRS, & HR	FAB, CC, CB, C
Target Score:	0.25	0.25	0.20	0.10
Actual Green Score:	0.244	0.244	0.244	0.244

GREEN SCORE LEGEND

SOILS

LANDSCAPE AREA WITH A SOIL DEPTH < 24 INCHES

LANDSCAPED AREA WITH A SOIL DEPTH >= 24 INCHES

PLANTS

VEGETATION LESS THAN TWO (2) FEET TALL AT MATURITY

VEGETATION AT LEAST (2) FEET TALL AT MATURITY

TREES

SMALL TREE

LARGE TREE

BONUS CREDITS

PUBLICLY VISIBLE LANDSCAPE

GREEN SCORE = 0.24

SCALE: 1"=10'

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10' 5' 0 10' 20'



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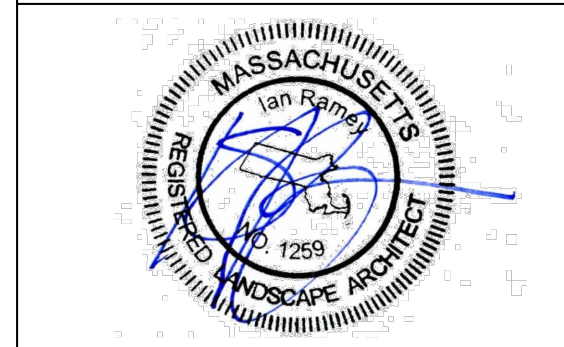
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15 McGrath Highway

15 McGrath Highway
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DLJ & Leggat McCall

REVISIONS:

No.	Date	Description
04/08/22		DRA Minor Amendments

SUBMISSIONS:

Date	Issued For:
07/28/21	Design Review Application

SCALE 1"=10'-0"
DATE ISSUED 04/08/2022
PROJECT NO 4810.00
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CHECKED BY IR

SHEET TITLE:

GREEN SCORE CARD

L-000



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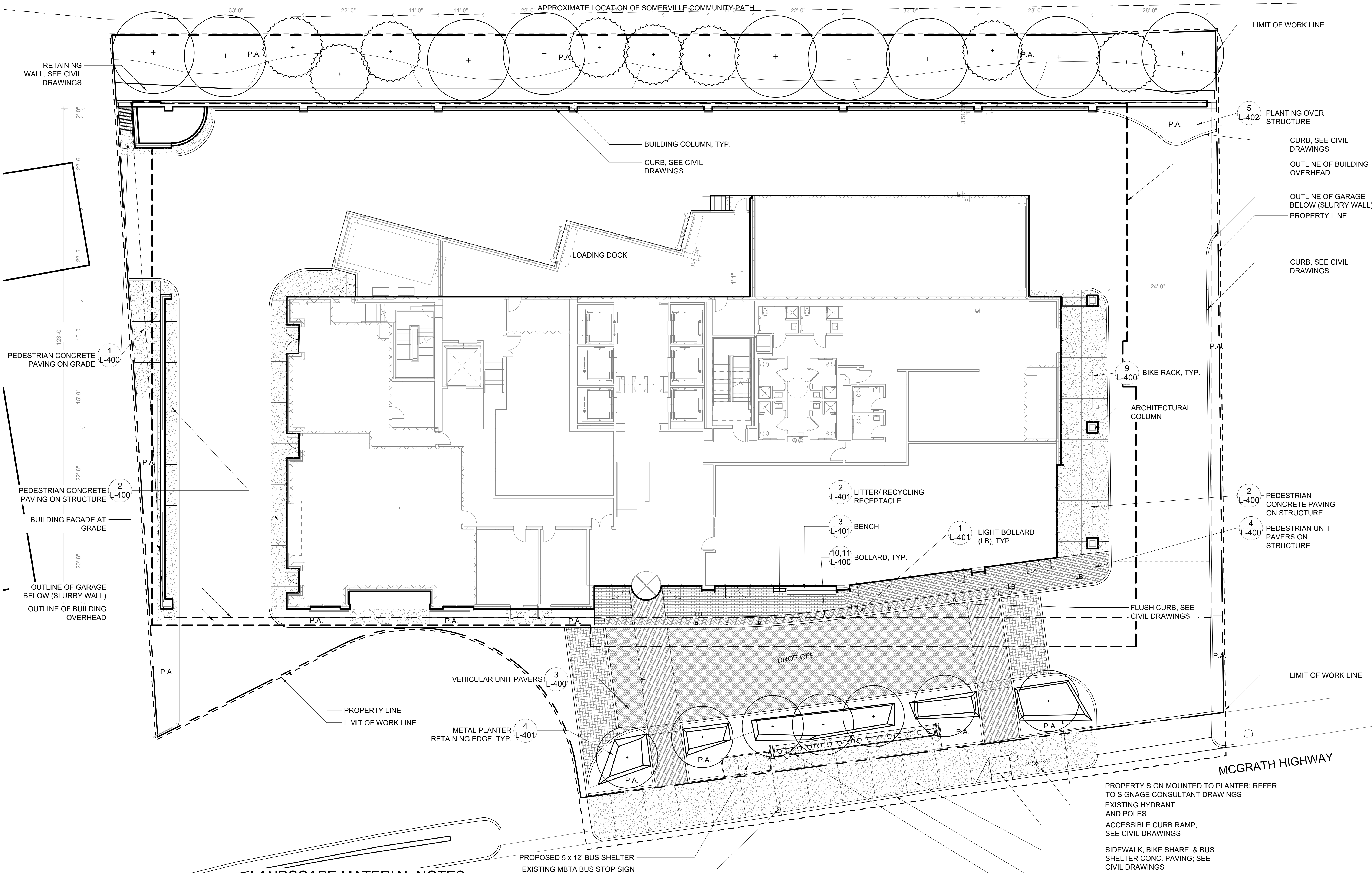
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SHEET TITLE:
LANDSCAPE MATERIALS PLAN

L-100



MATERIALS LEGEND

	PEDESTRIAN CONCRETE PAVING (ON GRADE AND ON STRUCTURE)	1,2 L-400
	VEHICULAR PRECAST UNIT PAVERS	3 L-400
	PEDESTRIAN PRECAST UNIT PAVERS	3 L-400 4 L-400
	LITTER/ RECYCLING RECEPTACLE	2 L-401
	BENCH	3 L-401
	BIKE RACK	9 L-400
	BOLLARD	10 L-400
	LIGHT BOLLARD (LB)	1 L-401
	PLANTING AREA	P.A.

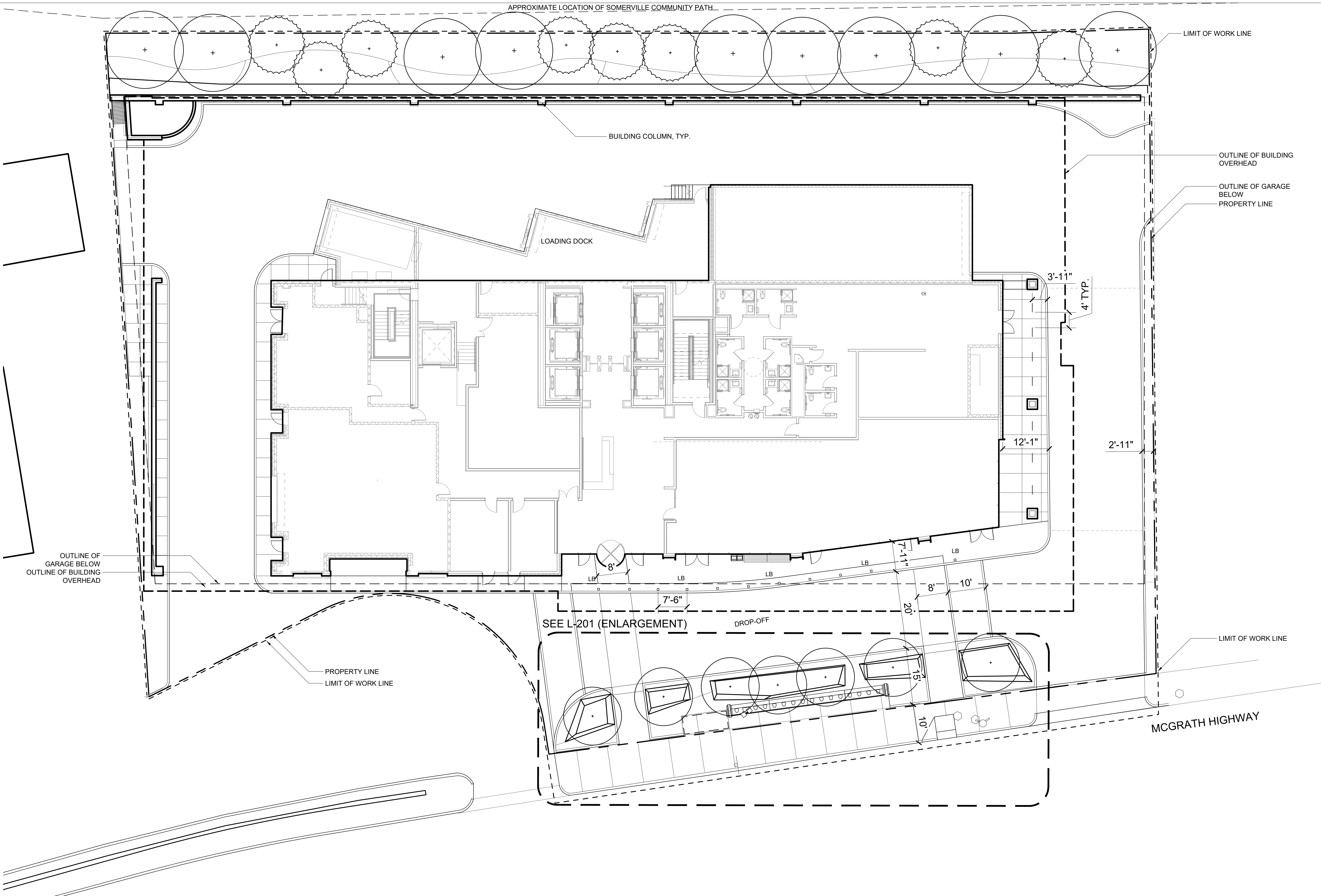
LANDSCAPE MATERIAL NOTES

- THE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS TO DETERMINE THE TOTAL SCOPE OF WORK AND ALL REQUIRED COORDINATION.
- THE CONTRACTOR IS RESPONSIBLE FOR A THOROUGH SITE EXAMINATION TO SATISFY HIM OR HERSELF AS TO THE ACTUAL SITE CONDITIONS BEFORE SUBMISSION OF BIDS.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
- CONTRACTOR SHALL ARRANGE PRE-INSTALLATION CONFERENCES AT PROJECT SITE FOR STONE WALLS AND PAVEMENT WORK. ATTENDEES SHALL INCLUDE OWNER'S REPRESENTATIVE, LANDSCAPE ARCHITECT, GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS DIRECTLY CONCERNED WITH THE WORK.
- CONTRACTOR SHALL PREPARE SUBMITTALS TO THE LANDSCAPE ARCHITECT FOR ALL COMPONENTS OF THE FINISHED WORK, INCLUDING SHOP DRAWINGS, PRODUCT DATA, MATERIAL CERTIFICATIONS, MIX DESIGNS AND SAMPLES.
- CONTRACTOR SHALL FURNISH AND INSTALL CONSTRUCTED SAMPLES (MOCK-UPS) DEMONSTRATING ALL COMPONENTS OF THE DESIGN, INCLUDING FINISHED EXPOSED EDGES AND SURFACES, COLORS AND JOINTING FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTING FINAL WORK. MOCK-UPS MAY BE PART OF THE FINAL CONSTRUCTION. MOCK-UPS SHALL BE MAINTAINED AND PROTECTED THROUGHOUT THE DURATION OF THE PROJECT AND WILL SERVE AS PROJECT STANDARD. CONTRACTOR SHALL DEMOLISH AND RECONSTRUCT MOCK-UP UNTIL APPROVAL FROM LANDSCAPE ARCHITECT. MOCK-UPS SHALL INCLUDE: ONE FULL HEIGHT AND WIDTH BY 6' LONG STONE WALL SECTION AND ONE 6' X 6' PANEL OF EXPOSED AGGREGATE CONCRETE PAVEMENT.
- THE DIMENSIONS OF PAVEMENT JOINTS AS SHOWN ON THE DRAWINGS ARE TO THE CENTER LINE OF EACH TYPE OF JOINT EXCEPT WHERE PAVEMENT MEETS A VERTICAL FACE; AT THIS LOCATION DIMENSIONS ARE TO THE VERTICAL FACE. THE DIMENSIONS SHOWN ON DRAWINGS SHOW DESIGN INTENT AND MUST BE FIELD VERIFIED PRIOR TO PREPARATION OF SHOP DRAWINGS. ALL ALIGNMENTS SHALL BE INSTALLED AS SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING THE LOCATIONS OF ALL EXISTING SITE ELEMENTS TO BE RESET IN THEIR SAME HORIZONTAL LOCATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE INSIDE OR OUTSIDE OF LIMIT OF WORK LINE DUE TO HIS/HER CONSTRUCTION OPERATIONS.
- STORAGE AREAS FOR THE GENERAL CONTRACTOR'S EQUIPMENT AND MATERIALS SHALL BE LOCATED WITHIN THE LIMITS OF WORK AS APPROVED BY THE LANDSCAPE ARCHITECT.
- WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING WITH NEW CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING BITUMINOUS CONCRETE PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN SMOOTH EDGE.

SCALE: 1"=10'



NOT FOR CONSTRUCTION



LANDSCAPE LAYOUT NOTES

1. THE SITE PLAN IS BASED ON EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS. COPLEY WOLFF DESIGN GROUP IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THIS INFORMATION.
2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY AND ALL DISCREPANCIES TO THE OWNER'S REPRESENTATIVE. ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD SHALL BE PROMPTLY REPORTED BY THE CONTRACTOR TO THE OWNER'S REPRESENTATIVE AND RECORDED ON RECORD DRAWINGS.
2. CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BETWEEN ALL TRADES PRIOR TO COMMENCING NEW CONSTRUCTION.
3. THE CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY AND ALL CONFLICTS BETWEEN PROPOSED SITE WORK AND WORK OF ALL OTHER TRADES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE INSIDE AND OUTSIDE THE LIMIT OF WORK LINE DUE TO CONTRACT OPERATIONS. CONTRACTOR SHALL RESTORE DAMAGED AREAS BEYOND CONTRACT LIMITS TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
5. THE CONTRACTOR SHALL CONTACT THE PROPER AUTHORITIES IN WRITING TO CONFIRM THE LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO THE FAILURE OF THE CONTRACTOR TO CONTACT AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR. THE CONTRACTOR SHALL REPAIR ANY DAMAGE INCURRED DURING CONSTRUCTION TO EXISTING UTILITIES SCHEDULED TO REMAIN AT NO COST TO THE OWNER.
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15. LANDSCAPE LAYOUT DRAWINGS ARE NOT TO BE USED FOR LAYOUT OF THE BUILDING ON THE SITE.

LAYOUT LEGEND

- POB POINT OF BEGINNING
- CENTERLINE FOR LAYOUT
- R 5 5'-0" RADIUS
- CL CENTER LINE OF OBJECT
- VIF VERIFY DIMENSION IN FIELD
- EQ EQUAL
- ALIGN EDGES OR FACES

SCALE: 1"=10'

10' 5' 0 10' 20'

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CONSTRUCTION



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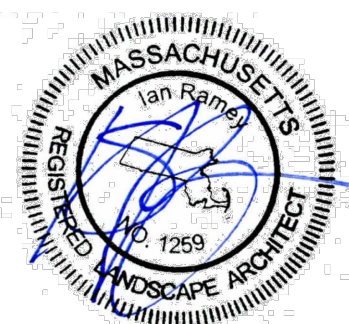
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PROJECT:

15 McGrath Highway

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DLJ & Leggat McCall

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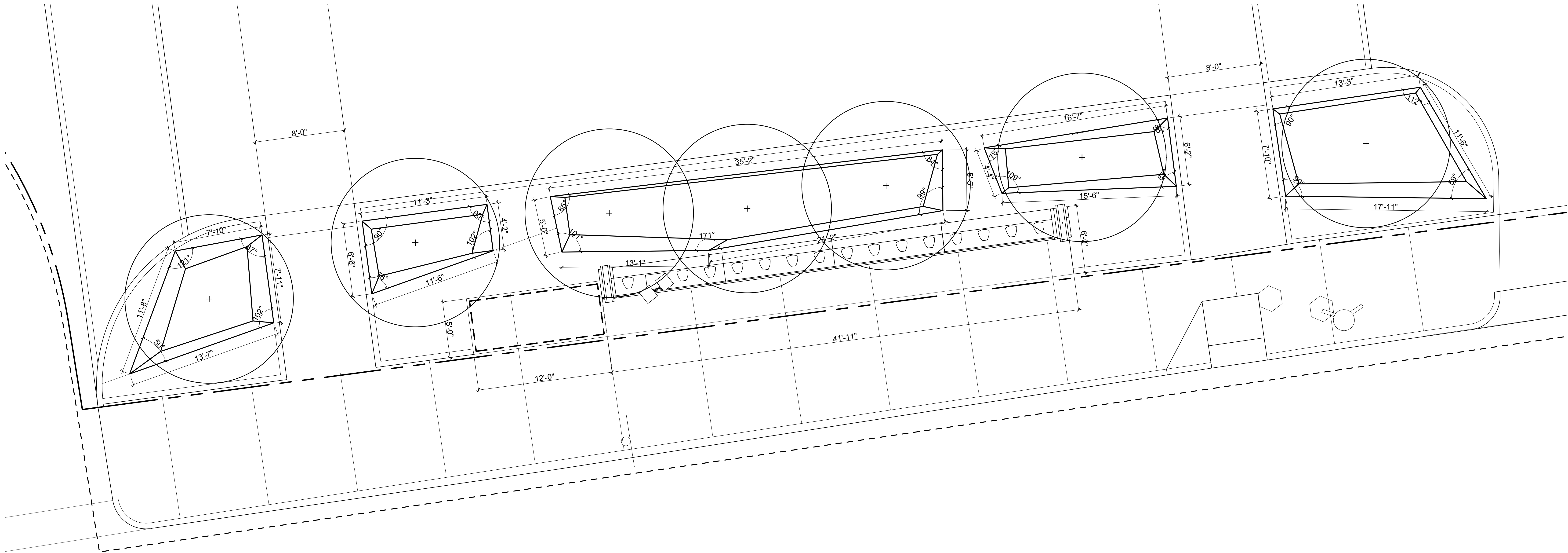
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PROJECT NO 4810.00
DRAWN BY AL
CHECKED BY IR

SHEET TITLE:
LANDSCAPE LAYOUT PLAN

L-200



LANDSCAPE LAYOUT NOTES

1. THE SITE PLAN IS BASED ON EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS. COPLEY WOLFF DESIGN GROUP IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THIS INFORMATION.

2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY AND ALL DISCREPANCIES TO THE OWNER'S REPRESENTATIVE. ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD SHALL BE PROMPTLY REPORTED BY THE CONTRACTOR TO THE OWNER'S REPRESENTATIVE AND RECORDED ON RECORD DRAWINGS.

2. CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BETWEEN ALL TRADES PRIOR TO COMMENCING NEW CONSTRUCTION.

3. THE CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY AND ALL CONFLICTS BETWEEN PROPOSED SITE WORK AND WORK OF ALL OTHER TRADES.

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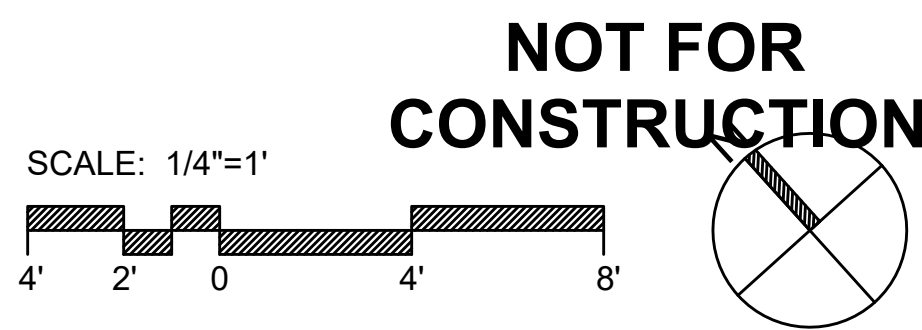
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- POB

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- CENTERLINE FOR LAYOUT
- 5'-0" RADIUS
- CENTER LINE OF OBJECT
- VERIFY DIMENSION IN FIELD
- EQUAL
- ALIGN EDGES OR FACES



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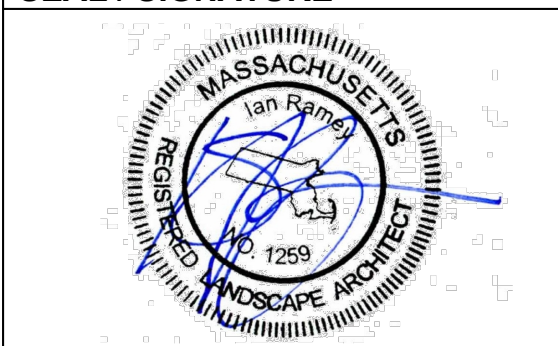
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PROJECT:

15 McGrath Highway

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DLJ & Leggat McCall

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04/08/22	DRA	Minor Amendments

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DATE ISSUED **04/08/2022**
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DRAWN BY **AL**
CHECKED BY **IR**

SHEET TITLE:

LANDSCAPE LAYOUT PLAN

L-201



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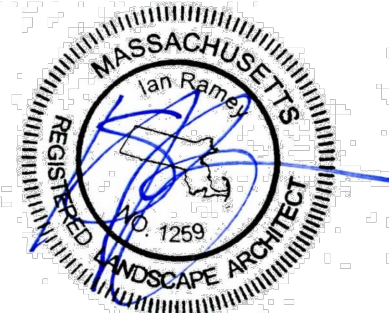
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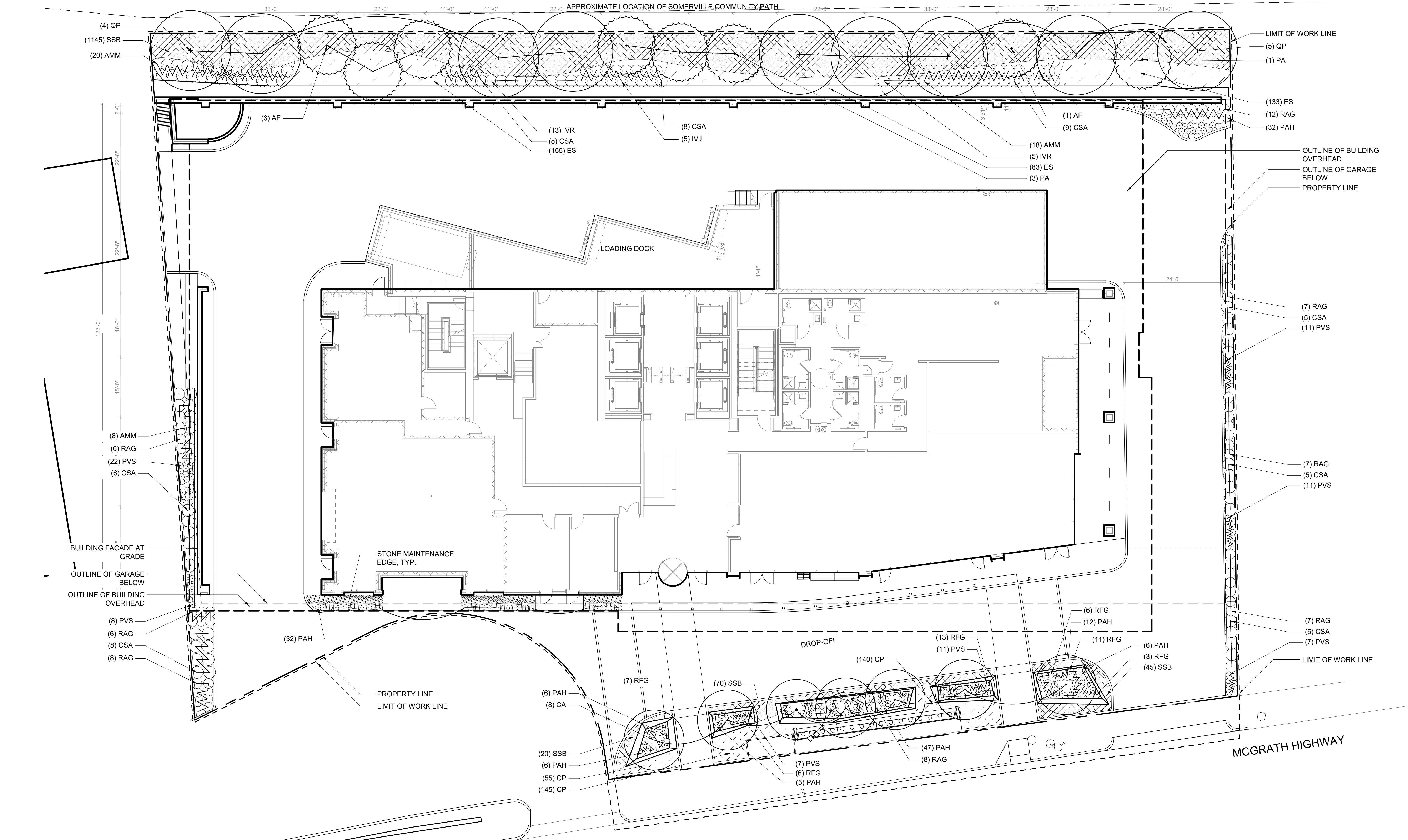
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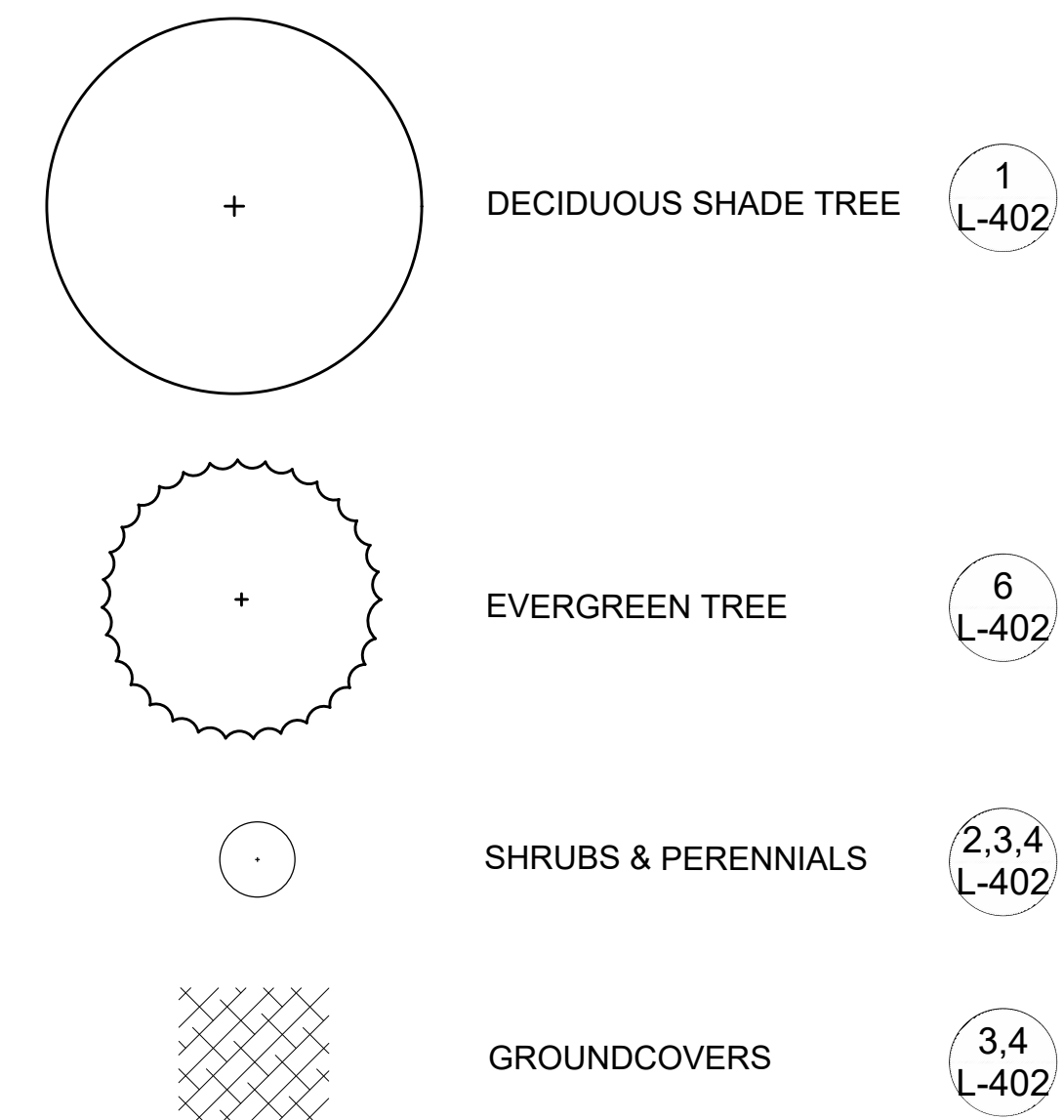
SHEET TITLE:
LANDSCAPE PLANTING PLAN

L-300

APPROXIMATE LOCATION OF SOMERVILLE COMMUNITY PATH



PLANT LEGEND



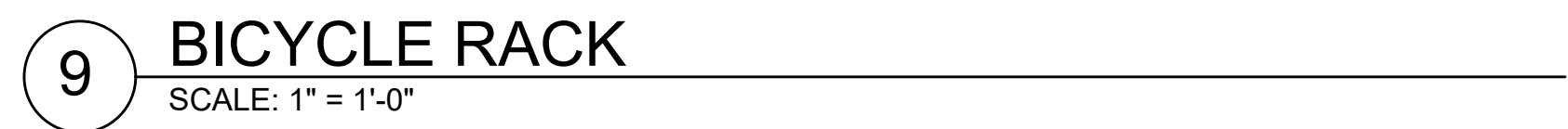
PLANT SCHEDULE

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
Deciduous Shade Trees						
QP	9	<i>Quercus palustris</i>	Pin Oak	2-2.5' Caliper	B&B	Matched
CA	8	<i>Carpinus caroliniana 'Palisade'</i>	Palisade Hornbeam	2-2.5' Caliper	B&B	Matched
Evergreen Trees						
AF	4	<i>Abies fraseri</i>	Fraser Fir	Min. 10' Height	B&B	Multi-stem
PA	4	<i>Picea abies</i>	Norway Spruce	Min. 10' Height	B&B	Multi-stem
Shrubs						
AMM	46	<i>Aronia melanocarpa 'Morton'</i>	Iroquois Beauty Black Chokeberry	#2	Cont.	24" O.C.
CSA	54	<i>Cornus sanguinea 'Arctic Sun'</i>	Arctic Sun Dogwood	#3	Cont.	30" O.C.
IVR	18	<i>Ilex verticillata 'Red Sprite'</i>	Red Sprite Dwarf Female Winterberry	#3	Cont.	36" O.C.
IVJ	5	<i>Ilex verticillata 'Jim Dandy'</i>	Jim Dandy Dwarf Male Winterberry	#3	Cont.	36" O.C.
RAG	61	<i>Rhus aromatica 'Gro Low'</i>	Gro-Low Fragrant Sumac	#3	Cont.	36" O.C.
Perennials, Ornamental Grasses and Groundcover						
CP	340	<i>Carex pensylvanica</i>	Pennsylvania Sedge	#1	Cont.	12" O.C.
ES	371	<i>Eragrostis spectabilis</i>	Purple Lovegrass	#2	Cont.	12" O.C.
PAH	146	<i>Pennisetum alopecuroides 'Hamel'</i>	Dwarf Fountain Grass	#2	Cont.	18" O.C.
PVS	78	<i>Panicum virgatum 'Shenandoah'</i>	Shenandoah Switch Grass	#2	Cont.	18" O.C.
RFG	47	<i>Rudbeckia fulgida 'Goldsturm'</i>	Goldsturm Black-eyed Susan	#2	Cont.	18" O.C.
SSB	1280	<i>Schizachyrium scoparium 'The Blues'</i>	The Blues Little Bluestem	#2	Cont.	18" O.C.

SCALE: 1"=10'



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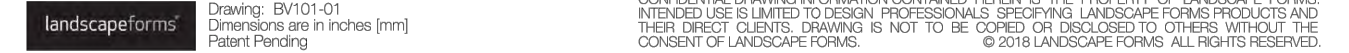


*UNIT MUST BE ANCHORED



2 TRASH RECEPTACLE
SCALE: NTS

AVAILABLE WITH:
-FREESTANDING GUIDES
-SURFACE MOUNT, INCLUDES 1/2-13 THREADED CUSTOM BOLTS
AND DROP-IN ANCHORS
-EMBEDDED, INCLUDES 1/2-13 x 5" THREADED RODS



3 BENCH
SCALE: NTS



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**LANDSCAPE
DETAILS**

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