



City of Somerville

# PLANNING, PRESERVATION, & ZONING

City Hall 3<sup>rd</sup> Floor, 93 Highland Avenue, Somerville MA 02143

August 15, 2022

Silver Ocean Realty LLC  
c/o Yinhai Yang  
15 Stevens Street,  
Winchester, MA 01890

Dear Yinhai,

Your application for a Plan Revision to your approved plans at 17 Fremont Street (ZBA 2018-61), case number P&Z22-107, has been deemed *de minimis* and accepted. Please see notes below and attached exhibits.

- Installation of an exterior ladder for access to rooftop HVAC systems. Only the safety hoop at the top will be somewhat visible from the street.

As required by SZO §5.3.8, I find that the proposed change;

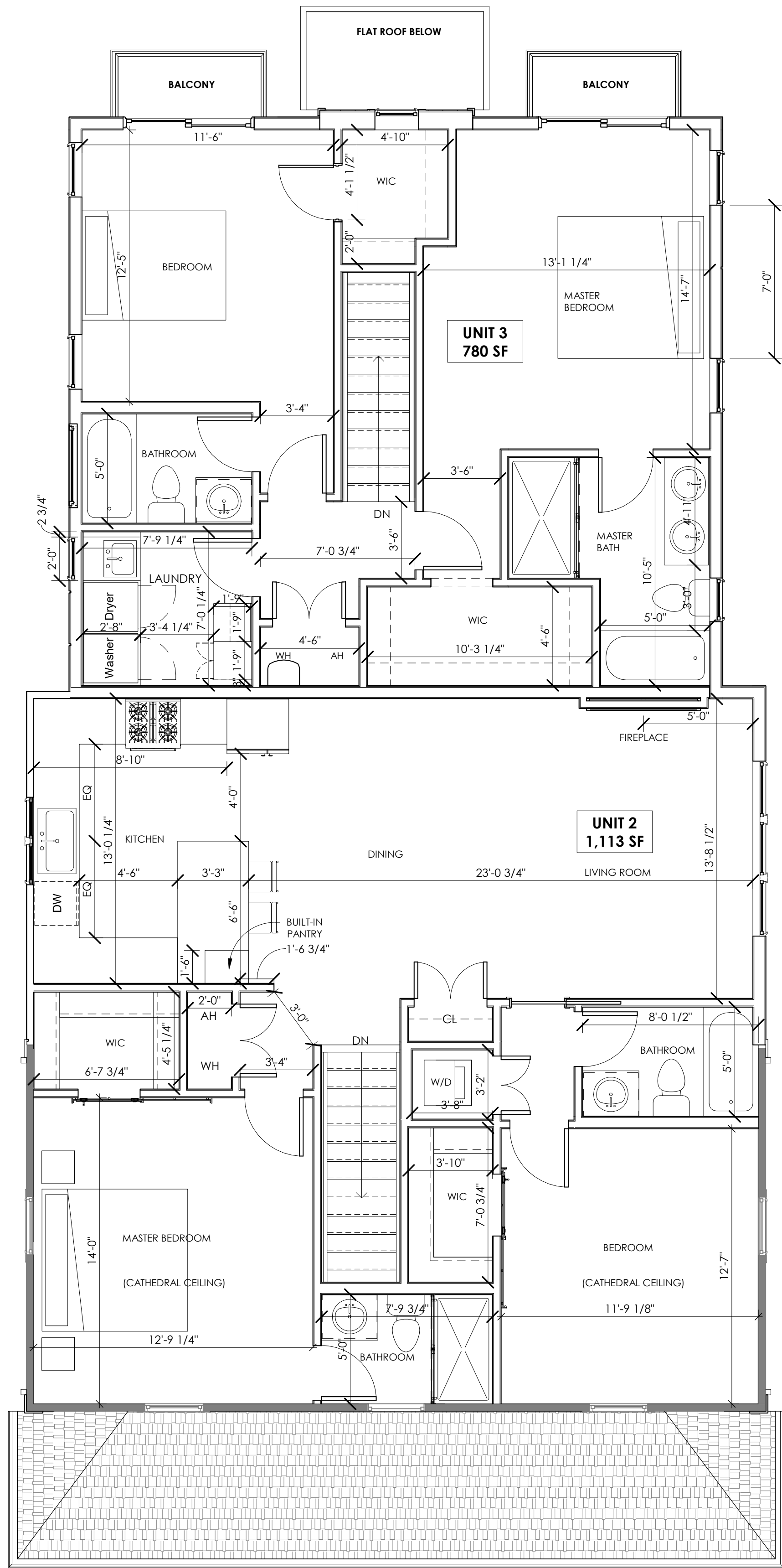
- i. Changes would not contravene the legal notice, any finding, or condition of the SPGA in the original approval;
- ii. Changes would not detrimentally impact matters of substance identified in meeting minutes of original hearings;
- iii. Changes would not alter the character of the development; and
- iv. Changes would be so insignificant as not to be noticeable to persons generally familiar with the original approval.

Please check additional outstanding conditions of the approval and bring the stamped plans to the Inspectional Services so that they may proceed with your project. If you have not done so already, contact Planning Staff at least five working days in advance of a request for a final inspection by Inspectional Services to ensure the proposal was constructed in accordance with the revised plans and the conditions attached to the approval.

Sincerely,

Sarah Lewis, RA, LEED-AP, CNU-A  
Director of Planning & Zoning

Cc: file  
ISD



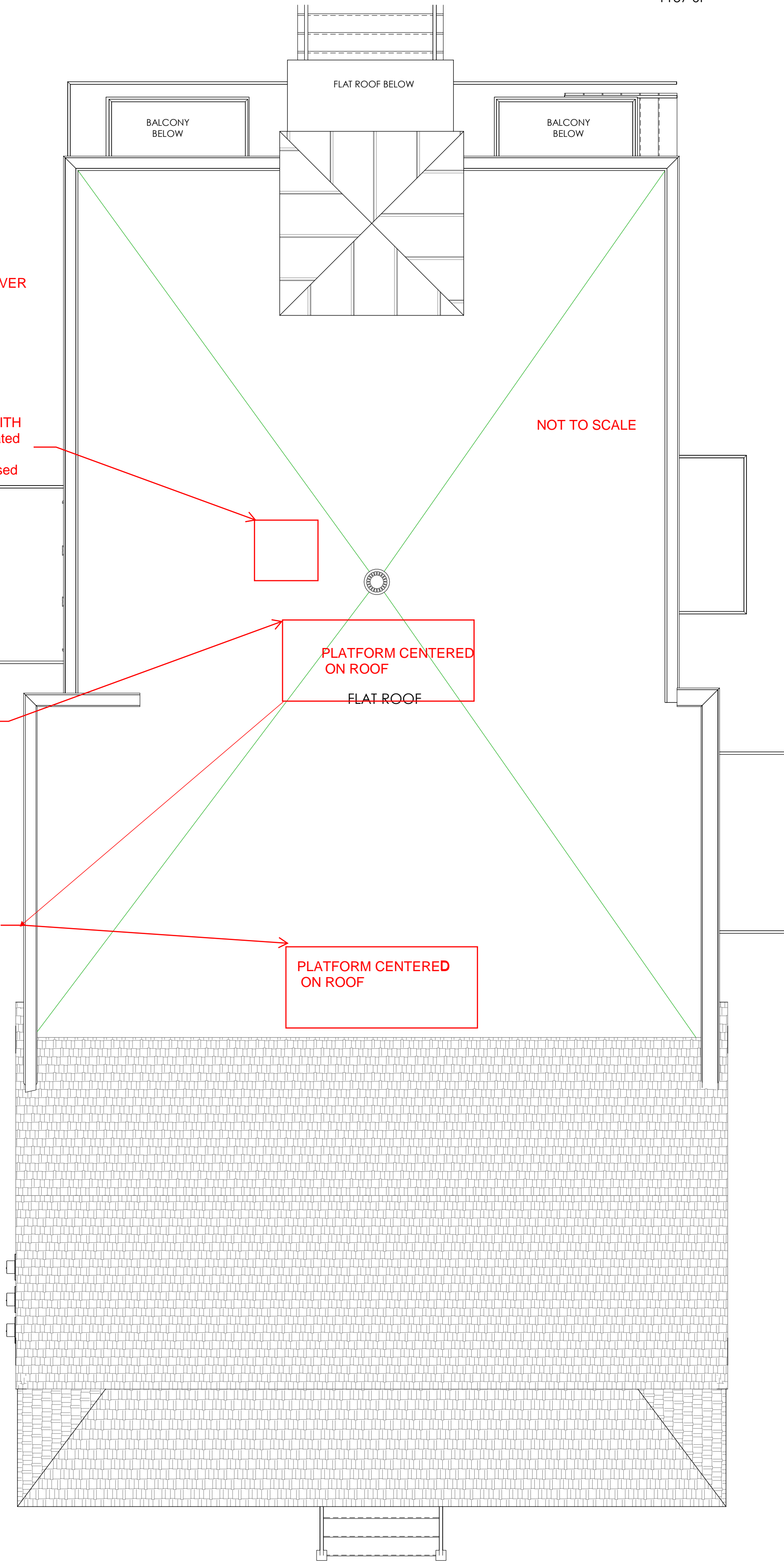
1 Proposed - Level 2  
1/4" = 1'-0"

POSITION PLATFORMS  
'CENTERED ON ROOF OVER  
DEMISING WALL

4' X 4' HATCH WITH  
RAIL. Hatch located  
in ceiling of hall  
where we discussed

3' X 10' PLATFORM  
8" MIN. OFF  
FINISHED ROOF  
SURFACE.  
DRAINAGE NEEDS  
TO BE CON  
SINERED

UNITS NEED T O  
AT MIN. 8" OF  
THEFIL



2 Proposed - Roof Plan  
1/4" = 1'-0"

UNIT AREAS		
Name	Level	Area
UNIT 1	Existing - Basement	1098 SF
UNIT 1	Existing - Level 1	1070 SF
		2168 SF
UNIT 2	Existing - Level 2	1113 SF
UNIT 2	Existing - Level 1	43 SF
		1157 SF

UNIT AREAS		
Name	Level	Area
UNIT 3	Existing - Basement	799 SF
UNIT 3	Existing - Level 1	781 SF
UNIT 3	Existing - Level 2	780 SF
		2360 SF
		5685 SF

## PR17 FREMONT STREET RESIDENCE

PROJECT ADDRESS  
17 FREMONT STREET,  
SOMERVILLE MA

CLIENT

YINHAI YANG

ARCHITECT



17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682

CONSULTANTS:

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OF PROSECUTION UNDER LAW

REGISTRATION



Project number 18012  
Date 04/22/2019  
Drawn by AB/ AV  
Checked by JSK  
Scale 1/4" = 1'-0"

REVISIONS

No.	Description	Date

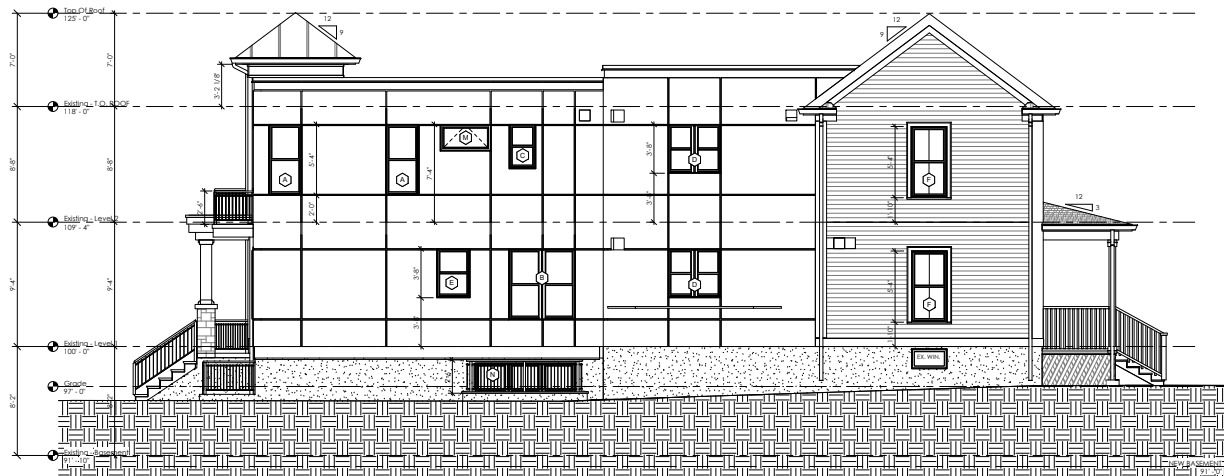
PROPOSED  
FLOOR PLANS

# A-102

17 FREMONT STREET  
RESIDENCE



① PROPOSED NORTH ELEVATION  
1/4" = 1'-0"



② PROPOSED WEST ELEVATION  
1/4" = 1'-0"

#### GENERAL ELEVATION NOTES

1. ALL EXISTING WINDOWS TO BE REPLACED WITH WOOD CLAD WINDOWS. STYLE TO MATCH EXISTING. COORDINATE W/ ELEVATIONS.
2. CONTRACTOR TO COORDINATE W/ OWNER ALL ON EXTERIOR MATERIALS/COLOR & STYLE.
3. FRONT WOOD DECK & HEADS TO BE MAHOAGANY

#### PLANNING DIVISION ELEVATION NOTES:

ALL NOTES & COMMENTS AS PER THE PLANNING DIVISION. SUPERCEDE NOTES SHOWN ON ELEVATIONS DRAWINGS

#### Original house:

- Cedar or fir siding, 3 1/2 inch reveal
- Railings: wood only. No pvc.
- Windows - aluminum clad double hung; simulated divided light, 2 over 2. Window grids must be exterior with a raised profile (presubmission required)
- All trim shall be wood (not pine)
- Heads and flooring for front steps and porches must be wood. Specific selection to be submitted. Physical sample required (provide a couple of choices)
- Shingles must be architectural (presubmission required)
- Door should be 6-panel, solid wood, no flts, oiled bronze finishes

#### New additions:

- Railings: wood only. No pvc.

#### General:

- Screening material for garbage and recycling needs to be submitted and site location indicated (condition #21)
- No Polymeric sand used between previous pavers

PROJECT NAME  
**17 FREMONT ST.  
RESIDENCE**

PROJECT ADDRESS  
**17 FREMONT STREET,  
SOMERVILLE MA**

CLIENT  
**SILVER OCEAN  
REALTY, LLC.**

ARCHITECT  
**DESIGN**  
  
**KHALSA**

17 WALDO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-891-8682

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Project Number 18012  
Date 04/20/2021  
Drawn By AB  
Checked By JDS  
Scale 1/4" = 1'-0"

REVISIONS		
No.	Description	Date
3	Variations from Permit	01/19/2021

**NORTH & WEST  
ELEVATIONS**

**A-301**  
17 FREMONT ST. RESIDENCE



② PROPOSED SOUTH ELEVATION  
1/4" = 1'-0"



④ PROPOSED EAST ELEVATION  
1/4" = 1'-0"

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- Shingles must be architectural (resubmission required)
- Door should be 6-panel, solid wood, no tiles, oiled bronze finishes

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#### General:

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RESIDENCE**

PROJECT ADDRESS  
**17 FREMONT STREET,  
SOMERVILLE MA**

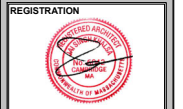
CLIENT  
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REALTY, LLC.**

ARCHITECT  
**DESIGN**  
  
**KHALSA**

17 WALDO STREET SUITE 400  
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**SOUTH & EAST  
ELEVATIONS**

**A-300**  
17 FREMONT ST. RESIDENCE