



City of Somerville

PLANNING, PRESERVATION, & ZONING

City Hall 3rd Floor, 93 Highland Avenue, Somerville MA 02143

March 7, 2022

Yuan Kui Shen
43 Francesca Ave.,
Somerville, MA 02144

Dear Yuan,

Your application for a Plan Revision to your approved plans at 41-43 Francesca Avenue (ZBA2019-07) and the Plan Revision (de minimis) dated March 22, 2021, case number P&Z22-009, has been deemed *de minimis* and accepted. Please see notes below and attached exhibits.

- The project had previously been divided into 2 phases of work. This is Phase 2 of the project.
- The redesign of the basement has led to an increase in the F.A.R. of the project. The 2nd bathroom and the layout changes are allowed by this revision. However, **the basement of the addition MUST remain unfinished and the basement may NOT be further divided or occupied as a separate unit (it must remain as part of Unit 1).**
- The layout of the rear addition is changed due to the removal of the interior stair and an additional exterior stoop was added for access to the rear of the property from the new family at the first floor. The overall size and dimensions of the addition have not changed from the original approval.

As required by SZO §5.3.8, I find that the proposed change;

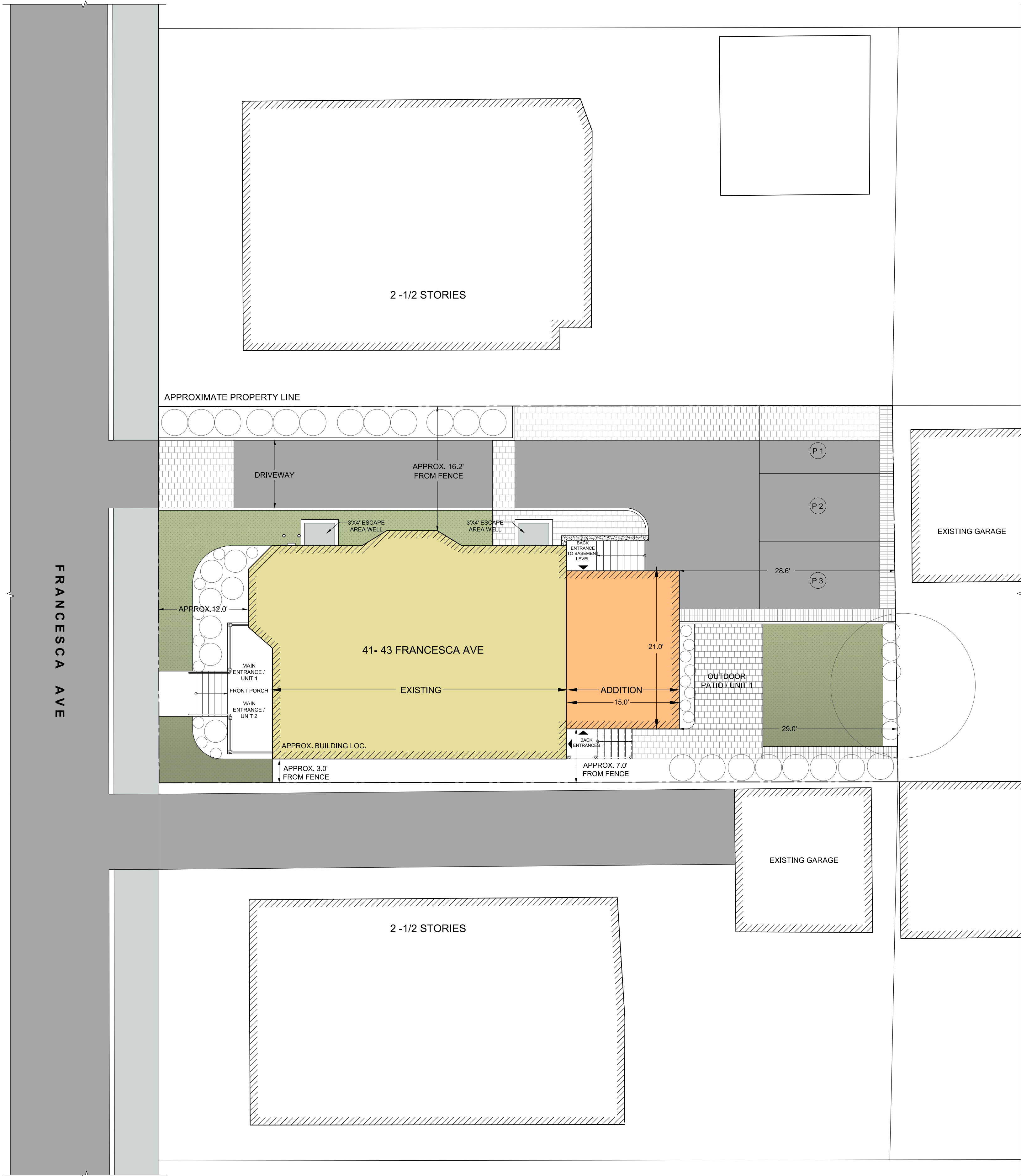
- i. Changes would not contravene the legal notice, any finding, or condition of the SPGA in the original approval;
- ii. Changes would not detrimentally impact matters of substance identified in meeting minutes of original hearings;
- iii. Changes would not alter the character of the development; and
- iv. Changes would be so insignificant as not to be noticeable to persons generally familiar with the original approval.

Please check additional outstanding conditions of the approval and bring the stamped plans to the Inspectional Services so that they may proceed with your project. If you have not done so already, contact Planning Staff at least five working days in advance of a request for a final inspection by Inspectional Services to ensure the proposal was constructed in accordance with the revised plans and the conditions attached to the approval.

Sincerely,

Sarah Lewis, RA, LEED-AP, CNU-A
Director of Planning & Zoning

Cc: file
ISD



1 | PROPOSED SITE PLAN
1/8" = 1'-0"



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156 Mount Auburn St. • Cambridge, MA 02138 • T: 617.491.4600 • E: doug@doassoc.com

41-43 FRANCESCA AVENUE RESIDENCE

Title
PROPOSED SITE PLAN

41-43 FRANCESCA AVE., SOMERVILLE, MA 02144

Scale 1/8" = 1'-0"	Date 01.10.2022	Drawn JN	Checked DOKUN	Job no. 21026
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Revisions

Sheet no.

S-02

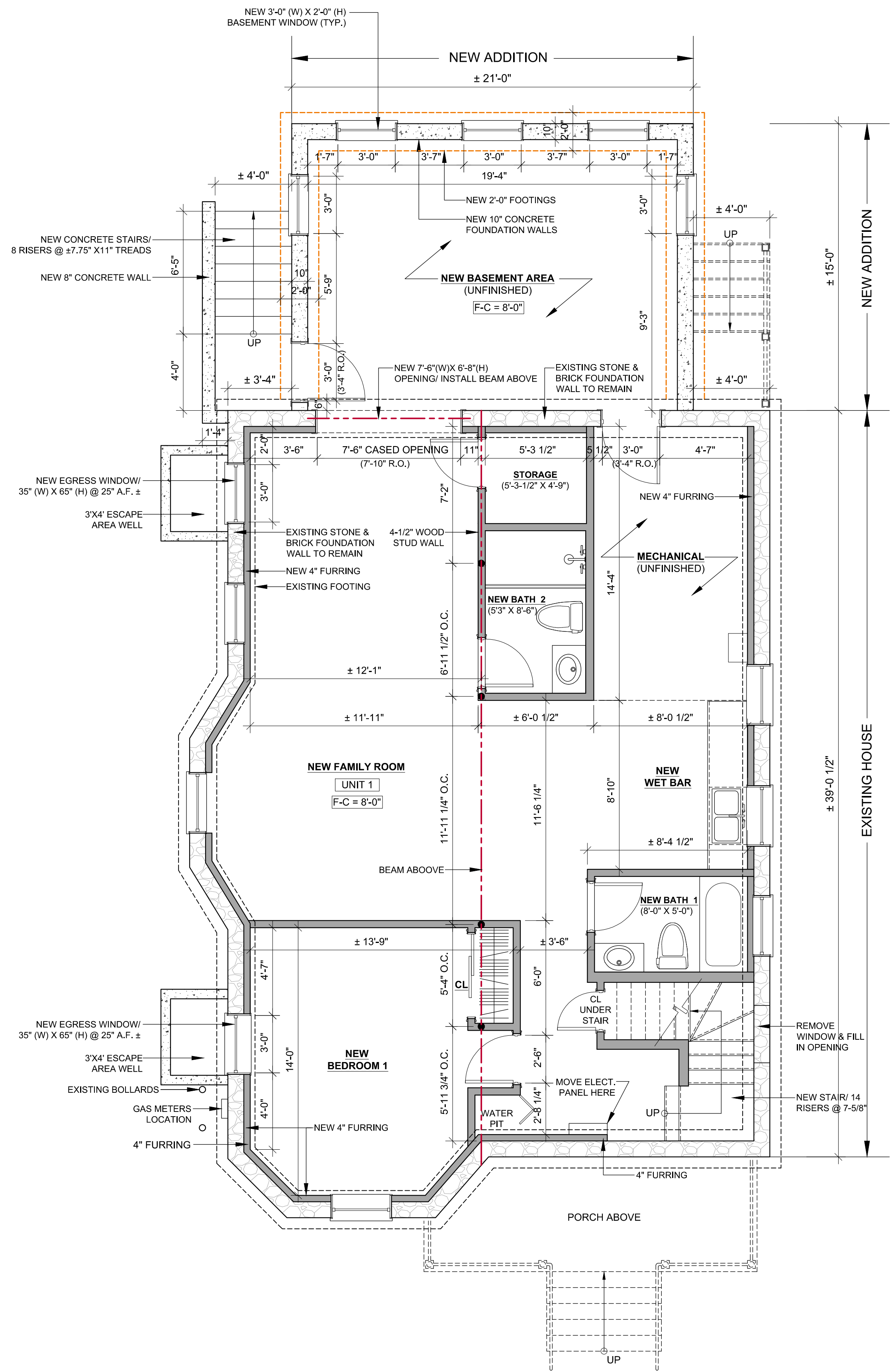
ZONING DATA

DATA	RESIDENCE A (RA)		EXISTING	PROPOSED
# of Dwelling Units			2	2
Minimum lot size	(Sq. Ft.)	10,000	4,892	4,892
Minimum lot area / dwelling units	(Sq. Ft./Du)	2,250	N/A	N/A
Gross Floor Area of Footprint	(Sq. Ft.)		1,380	1,644
Maximum ground coverage	(%)	50	28	33.6
Landscaped area, minimum percent of lot	(%)	25	30	25.1
Pervious area	(%)	35	30	40
Net floor area	(Sq. Ft.)		3,740	4,754
Floor area ratio (F.A.R.)	Max	0.75	0.76	0.97
Maximum building height	(Feet)	35	34.1	34.1
Minimum front yard setback	(Feet)	15	12	12
Minimum rear yard setback	(Feet)	20	38	28.6
Minimum side yard setback (left when you face property)	(Feet)	17	16.2	16.2
Minimum side yard setback (right when you face property)	(Feet)	8	3	3 and 7
Minimum street frontage	(Feet)	50	50	50
# of parking spaces	(Min)	3	3	3

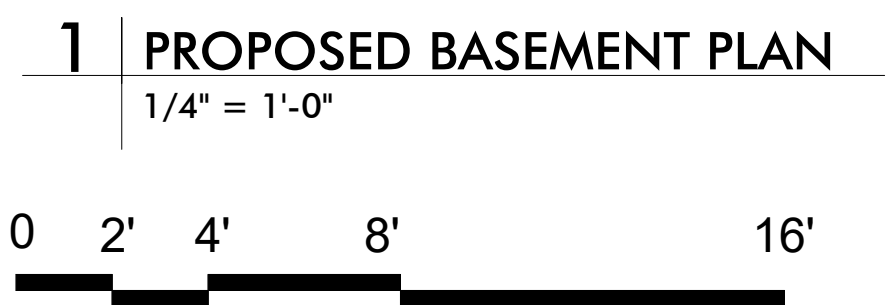
EXISTING FLOOR AREA, NET	
	Area (Sq. Ft.)
BASEMENT	890
FIRST FLOOR	1,049
SECOND FLOOR	1,054
THIRD FLOOR	747
TOTAL	3,740

PROPOSED FLOOR AREA, NET	
	Area (Sq. Ft.)
BASEMENT	1005
FIRST FLOOR	1,384
SECOND FLOOR	1,394
THIRD FLOOR	971
TOTAL	4,754

- NOTES:
- CONTRACTOR SHALL FIELD VERIFY ALL GRADES AROUND BUILDING BEFORE STARTING WITH NEW CONSTRUCTION.
 - LOWER BASEMENT LEVEL WITH $\pm 11\text{'-}1/4"$ AND INSTALL NEW 4" CONCRETE SLAB. MAKE FLOOR TO CEILING HEIGHT $\pm 8\text{'-}0"$.
 - REARRANGE POSTS LOCATION IN THE BASEMENT AS SHOWN. INSTALL NEW 4"x8" POSTS ON 3'-0" X 3'-0" FOOTINGS.
 - INSTALL 4" FURRING ALL AROUND EXISTING BASEMENT AREA (OR WHERE SHOWN).



KEY	
FOOTINGS	
EXISTING FOUNDATION WALLS	
EXISTING WOOD STUD WALLS	
NEW FOUNDATION WALLS	
NEW WOOD STUD WALLS	



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41-43 FRANCESCA AVENUE RESIDENCE

Title
PROPOSED BASEMENT PLAN

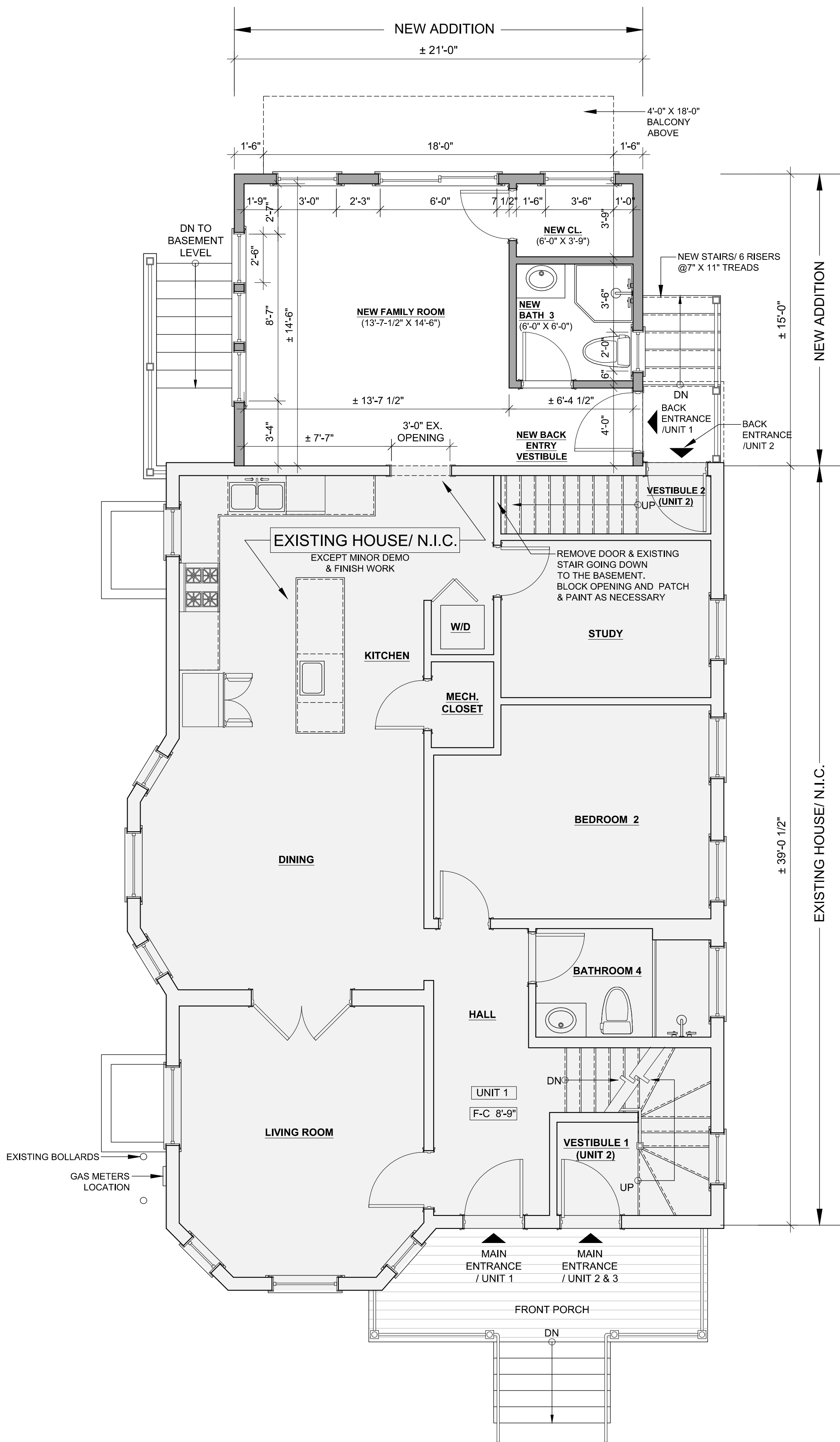
41-43 FRANCESCA AVE., SOMERVILLE, MA 02144

Scale 1/4" = 1'-0"	Date 01.10.2022	Drawn JN	Checked DOKUN	Job no. 21026
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Revisions

Sheet no.

A-01



KEY

FOOTINGS	
EXISTING FOUNDATION WALLS	
EXISTING WOOD STUD WALLS	
NEW FOUNDATION WALLS	
NEW WOOD STUD WALLS	

1 | PROPOSED 1ST FLOOR PLAN
1/4" = 1'-0"



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41-43 FRANCESCA AVENUE RESIDENCE

Title
PROPOSED 1ST FLOOR PLAN

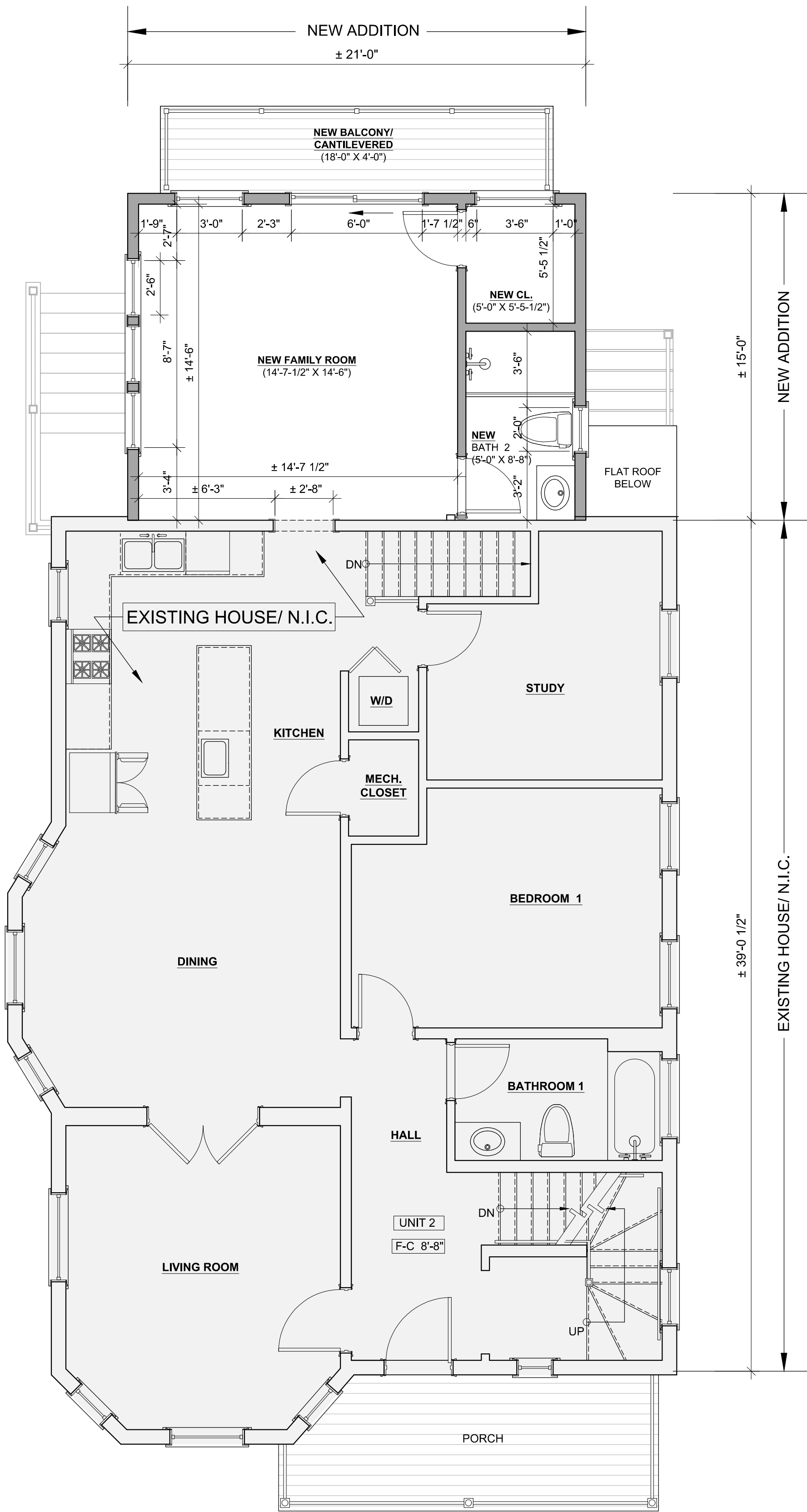
41-43 FRANCESCA AVE., SOMERVILLE, MA 02144

Scale 1/4"=1'-0"	Date 01.10.2022	Drawn JN	Checked DOKUN	Job no. 21026
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Revisions

Sheet no.

A-02



KEY

FOOTINGS	
EXISTING FOUNDATION WALLS	
EXISTING WOOD STUD WALLS	
NEW FOUNDATION WALLS	
NEW WOOD STUD WALLS	

1 | PROPOSED 2ND FLOOR PLAN
1/4" = 1'-0"



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41-43 FRANCESCA AVENUE RESIDENCE

Title
PROPOSED 2ND FLOOR PLAN

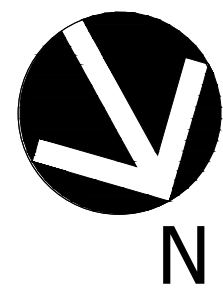
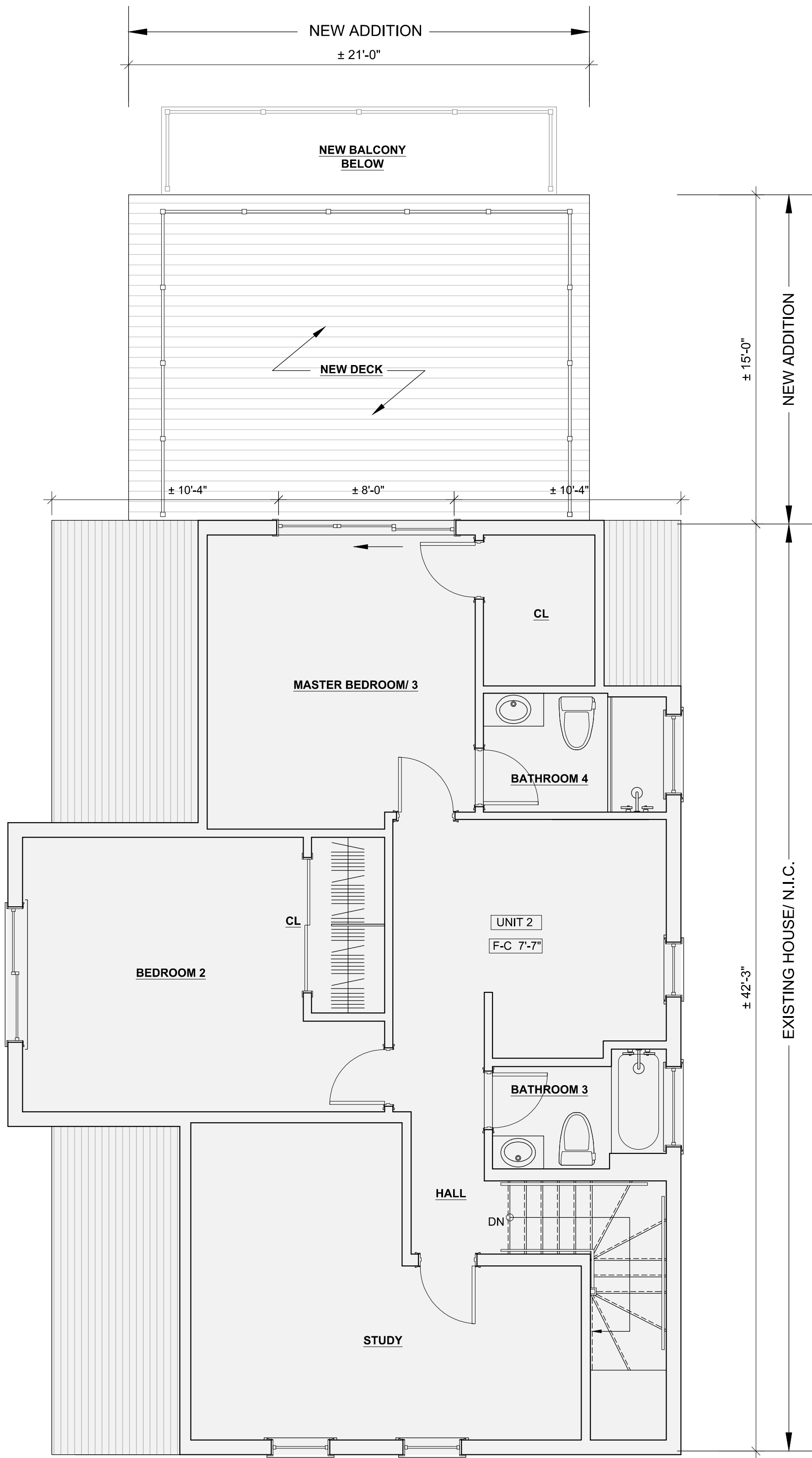
41-43 FRANCESCA AVE., SOMERVILLE, MA 02144

Scale 1/4" = 1'-0"	Date 01.10.2022	Drawn JN	Checked DOKUN	Job no. 21026
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Revisions

Sheet no.

A-03



1

PROPOSED ATTIC PLAN

1/4" = 1'-0"

0

2'

4'

8'

16'

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41-43 FRANCESCA AVENUE RESIDENCE

Title
PROPOSED ATTIC PLAN

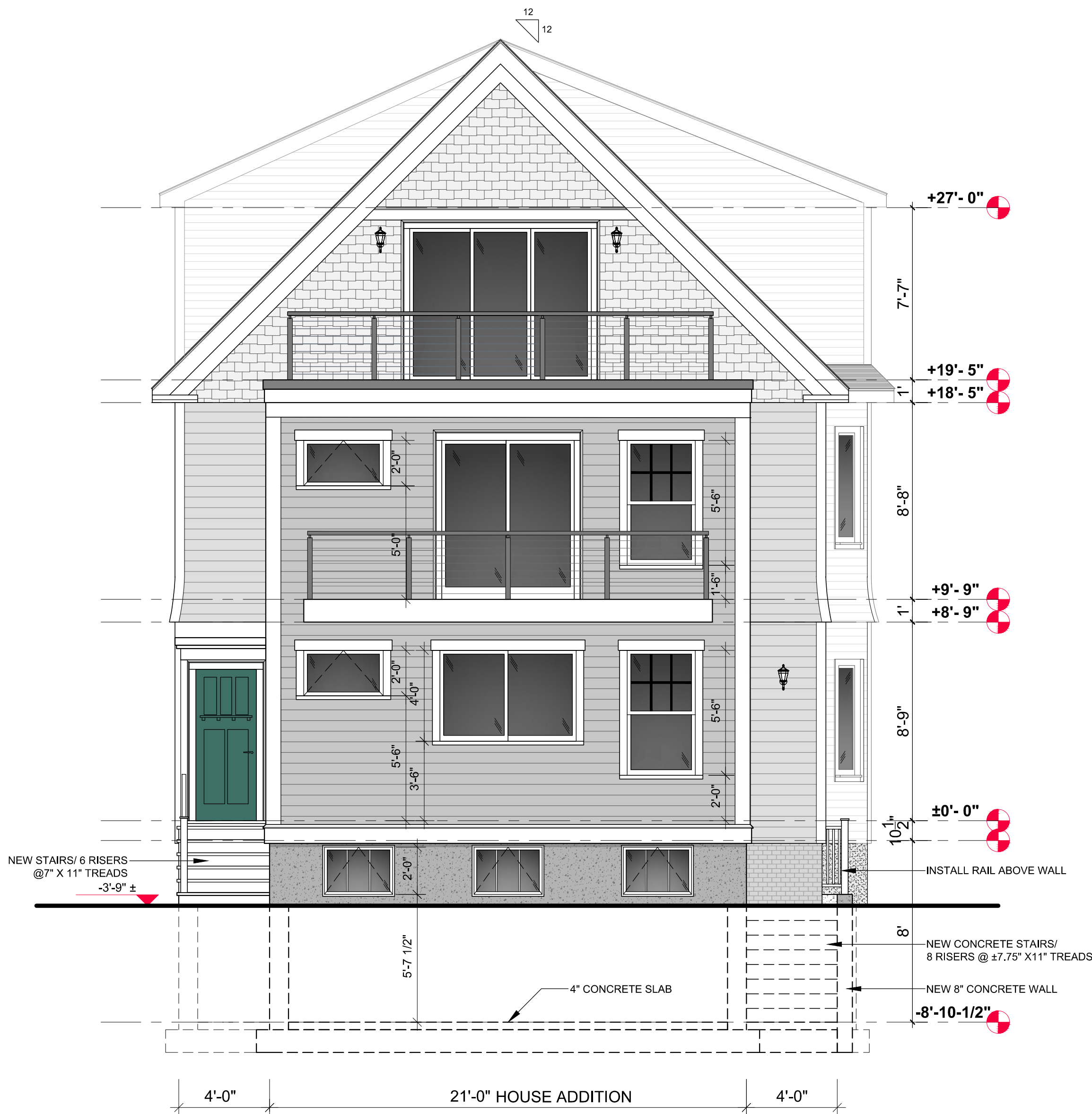
41-43 FRANCESCA AVE., SOMERVILLE, MA 02144

Scale	Date	Drawn	Checked	Job no.
1/4"=1'-0"	01.10.2022	JN	DOKUN	21026

Revisions

Sheet no.

A-04



1 | PROPOSED BACK ELEVATION
1/4" = 1'-0"



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41-43 FRANCESCA AVENUE RESIDENCE

Title
PROPOSED BACK ELEVATION

41-43 FRANCESCA AVE., SOMERVILLE, MA 02144

Scale 1/4"=1'-0"	Date 01.10.2022	Drawn JN	Checked DOKUN	Job no. 21026
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Revisions

Sheet no.

A-05



1 | PROPOSED LEFT SIDE ELEVATION
1/4" = 1'-0"



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41-43 FRANCESCA AVENUE RESIDENCE

Title
PROPOSED LEFT SIDE ELEVATION

41-43 FRANCESCA AVE., SOMERVILLE, MA 02144

Scale 1/4" = 1'-0"	Date 01.10.2022	Drawn JN	Checked DOKUN	Job no. 21026
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Sheet no.

A-06



1 | PROPOSED RIGHT SIDE ELEVATION
1/4" = 1'-0"



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41-43 FRANCESCA AVENUE RESIDENCE

Title
PROPOSED RIGHT SIDE ELEVATION

41-43 FRANCESCA AVE., SOMERVILLE, MA 02144

Scale 1/4" = 1'-0"	Date 01.10.2022	Drawn JN	Checked DOKUN	Job no. 21026
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Revisions

Sheet no.

A-07