



City of Somerville

PLANNING, PRESERVATION, & ZONING

City Hall 3rd Floor, 93 Highland Avenue, Somerville MA 02143

August 8, 2022

21 Eastman LLC
c/o Adam Siegel
810 Memorial Dr, Ste 105,
Cambridge, MA 02139

Dear Adam,

Your application for a Plan Revision to your approved plans at 21 Eastman Road (P&Z21-121), case number P&Z22-096, has been deemed *de minimis* and accepted. Please see notes below and attached exhibits.

- Adjustments to location and sizes of windows due to design improvements.
- Create an entry coat closet for Unit 2.

As required by SZO §15.2.4, I find that the proposed change;

- a). Does not contravene the previously published public notice, any finding, or attached condition made by the review board for the original development review application;
- b). Does not detrimentally impact matters of substance identified in the meeting minutes of the original public meetings or public hearings;
- c). Features changes that are insignificant to the degree that persons familiar with the original application would not notice a substantial change in operational or built outcome.

Please check additional outstanding conditions of the approval and bring the stamped plans to the Inspectional Services so that they may proceed with your project. If you have not done so already, contact Planning Staff at least five working days in advance of a request for a final inspection by Inspectional Services to ensure the proposal was constructed in accordance with the revised plans and the conditions attached to the approval.

Sincerely,

Sarah Lewis, RA, LEED-AP, CNU-A
Director of Planning, Preservation, & Zoning

Cc: file
ISD
Milton Yu, Peter Quinn Architects

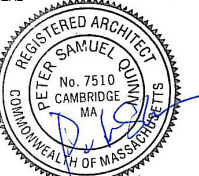


A1

ARCHITECTURE
PLANNING
INTERIOR DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989

SEAL



CONSULTANT

PROJECT

21 EASTMAN

21 EASTMAN RD,
SOMERVILLE, MA 02144

PREPARED FOR

21 EASTMAN LLC.

110 MEMORIAL DR, SUITE 105
CAMBRIDGE, MA 02139

DRAWING TITLE

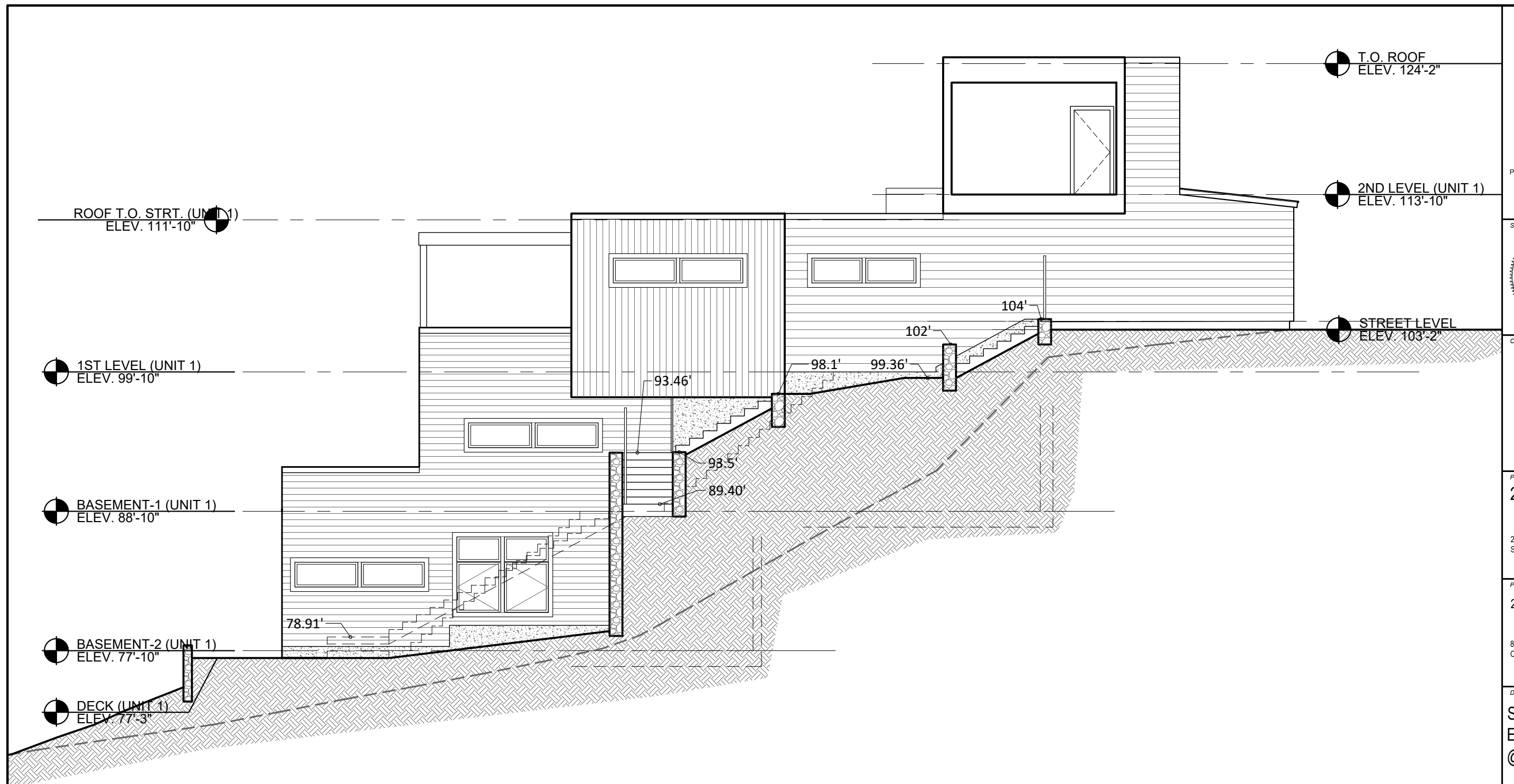
SOUTH
ELEVATION
@ UNIT 1

SCALE AS NOTED

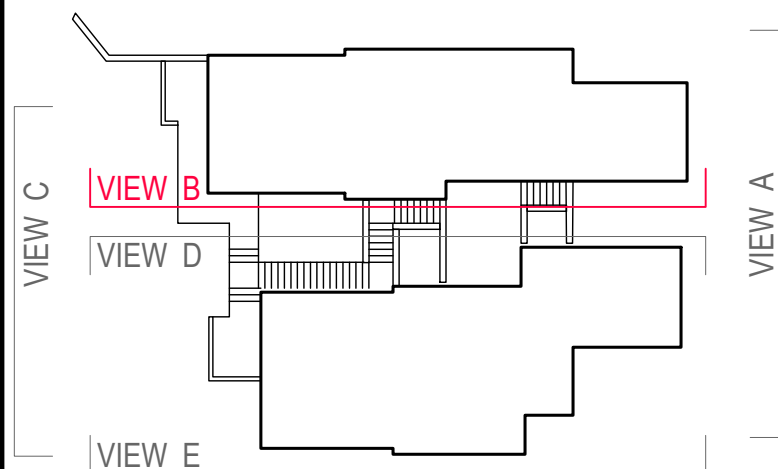
REVISION	DATE
PLAN REV	27 JUNE 2022
DRAWN BY XC	REVIEWED BY PQ

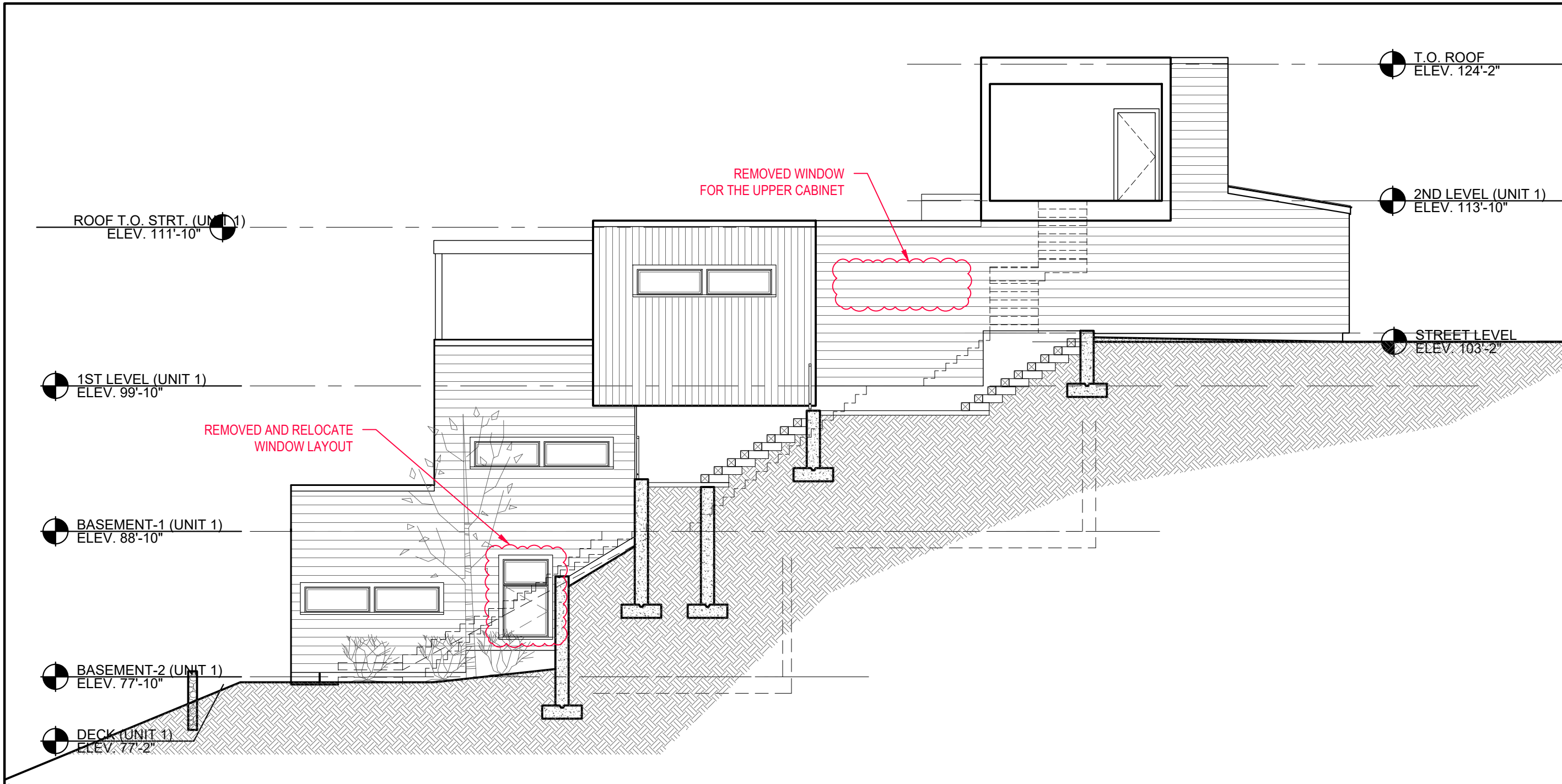
SHEET

A2

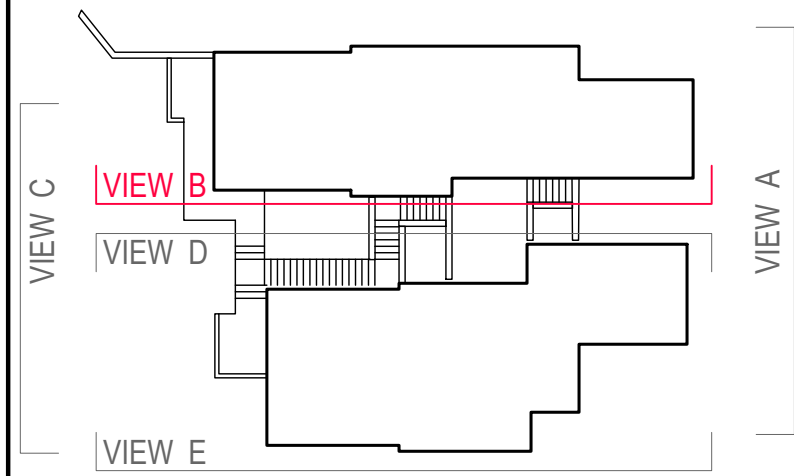


AS APPROVED
1 SOUTH ELEVATION - UNIT 1
SCALE: 1/8"=1'-0"





AS PROPOSED
1 SOUTH ELEVATION - UNIT 1
SCALE: 1/8"=1'-0"



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SEAL

REGISTERED ARCHITECT
PETER SAMUEL QUINN
No. 7510
CAMBRIDGE
MA
COMMONWEALTH OF MASSACHUSETTS

CONSULTANT

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**SOUTH
ELEVATION
@ UNIT 1**

SCALE AS NOTED	
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SHEET

A3

T.O. ROOF
ELEV. 124'-2"

2ND LEVEL (UNIT 1)
ELEV. 113'-10"

ROOF T.O. STRT. (UNIT 1)
ELEV. 111'-10"

STREET LEVEL
ELEV. 103'-2"

1ST LEVEL (UNIT 1)
ELEV. 99'-10"

BASEMENT-1 (UNIT 1)
ELEV. 88'-10"

BASEMENT-2 (UNIT 1)
ELEV. 77'-10"

T.O. ROOF
ELEV. 124'-2"

2ND LEVEL (UNIT 2)
ELEV. 113'-10"

T.O. STRT. (UNIT 2)
ELEV. 110'-2"

STREET LEVEL
ELEV. 103'-2"

1ST LEVEL (UNIT 2)
ELEV. 98'-2"

BASEMENT-1 (UNIT 2)
ELEV. 87'-2"

BASEMENT-2 (UNIT 2)
ELEV. 77'-2"

104.0'

102.0'

98.10'

93.46'

89.40'

78.91'

AS APPROVED
WEST ELEVATION

SCALE: 1/8"=1'-0"

VIEW C

VIEW B

VIEW D

VIEW E

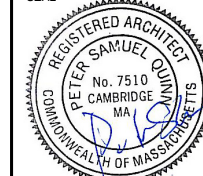
VIEW A

PETER
QUINN
ARCHI
TECTS

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WEST
ELEVATION

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SHEET

A4

T.O. ROOF
ELEV. 124'-2"

T.O. ROOF
ELEV. 124'-2"

RELOCATION OF SLIDING DOORS

2ND LEVEL (UNIT 1)
ELEV. 113'-10"

2ND LEVEL (UNIT 2)
ELEV. 113'-10"

ROOF T.O. STRT. (UNIT 1)
ELEV. 111'-10"

T.O. STRT. (UNIT 2)
ELEV. 110'-2"

REMOVED WINDOW
TO ALLOW FOR
WALL SPACE

STREET LEVEL
ELEV. 103'-2"

STREET LEVEL
ELEV. 103'-2"

1ST LEVEL (UNIT 1)
ELEV. 99'-10"

1ST LEVEL (UNIT 2)
ELEV. 98'-2"

CHANGE DOOR FROM SLIDING
DOOR TO A FRENCH DOOR
FOR EGRESS PURPOSES

BASEMENT-1 (UNIT 1)
ELEV. 88'-10"

BASEMENT-1 (UNIT 2)
ELEV. 87'-2"

BASEMENT-2 (UNIT 1)
ELEV. 77'-10"

BASEMENT-2 (UNIT 2)
ELEV. 77'-2"

EXTEND WALL OUT
TO ALLOW FOR A
NEW ENTRY CLOSET.
NEW WINDOW AT
UNIT FOYER FOR NATURAL LIGHT

REMOVED 3 PANEL DOOR
TO ALLOW FOR
WALL SPACE

AS PROPOSED
WEST ELEVATION

SCALE: 1/8"=1'-0"

VIEW C

VIEW B

VIEW D

VIEW E

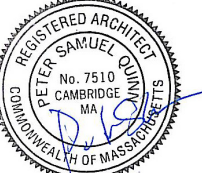
VIEW A

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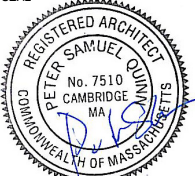
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NORTH
ELEVATION
@ UNIT 2

SCALE AS NOTED

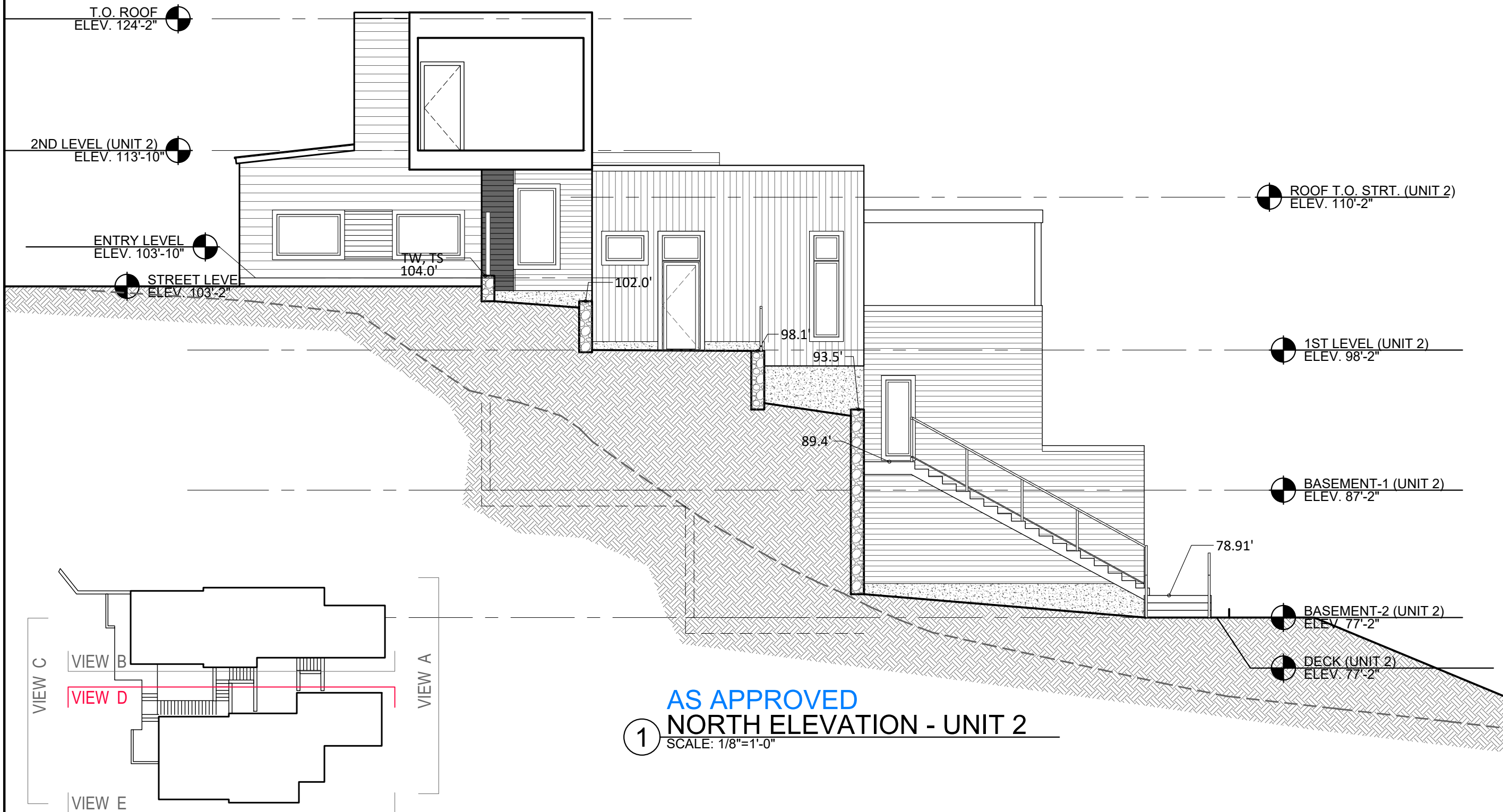
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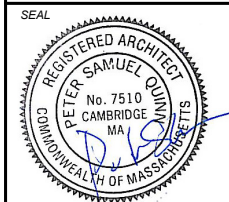
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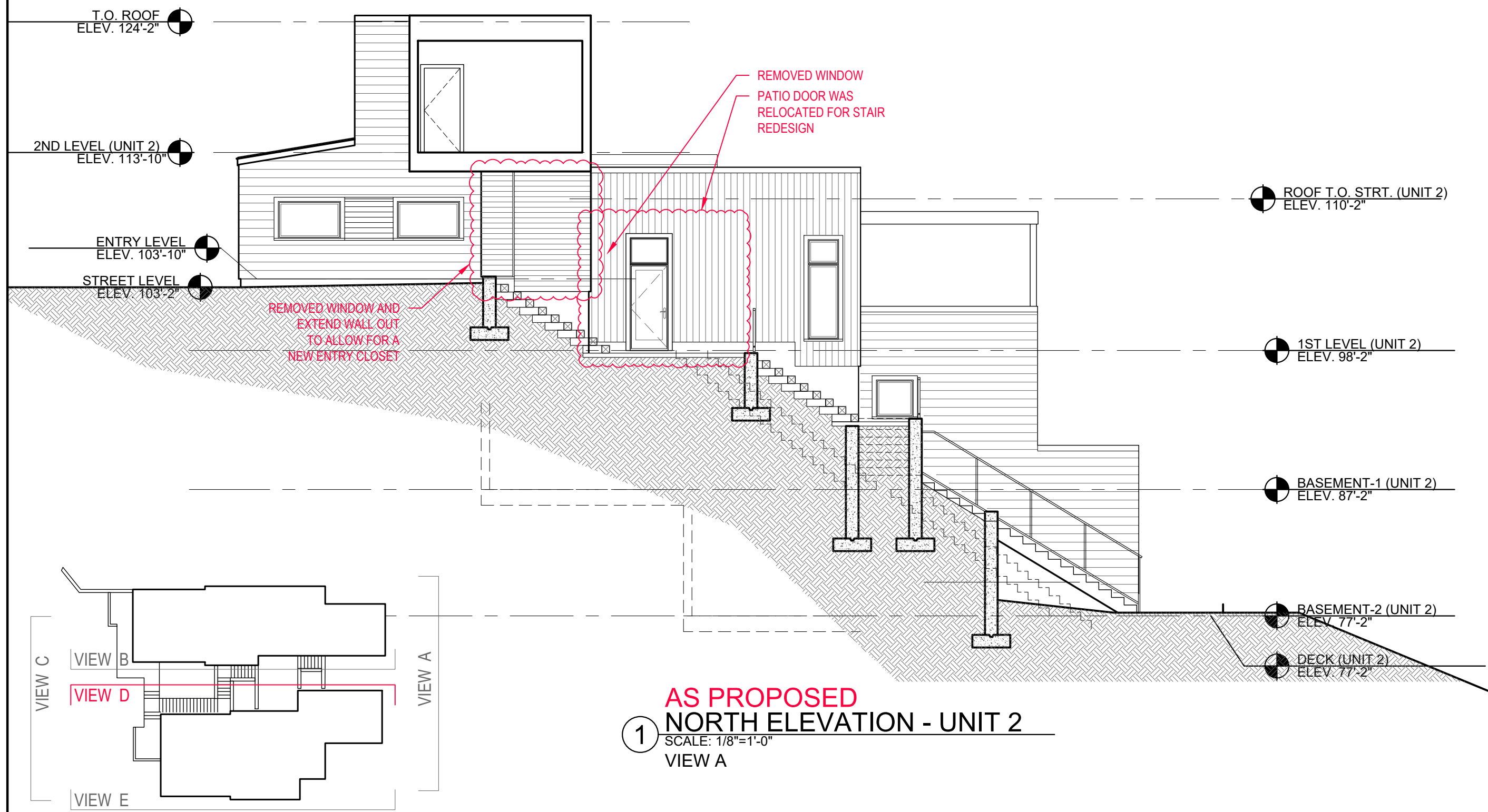
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NORTH
ELEVATION
@ UNIT 2

SCALE AS NOTED	
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A7

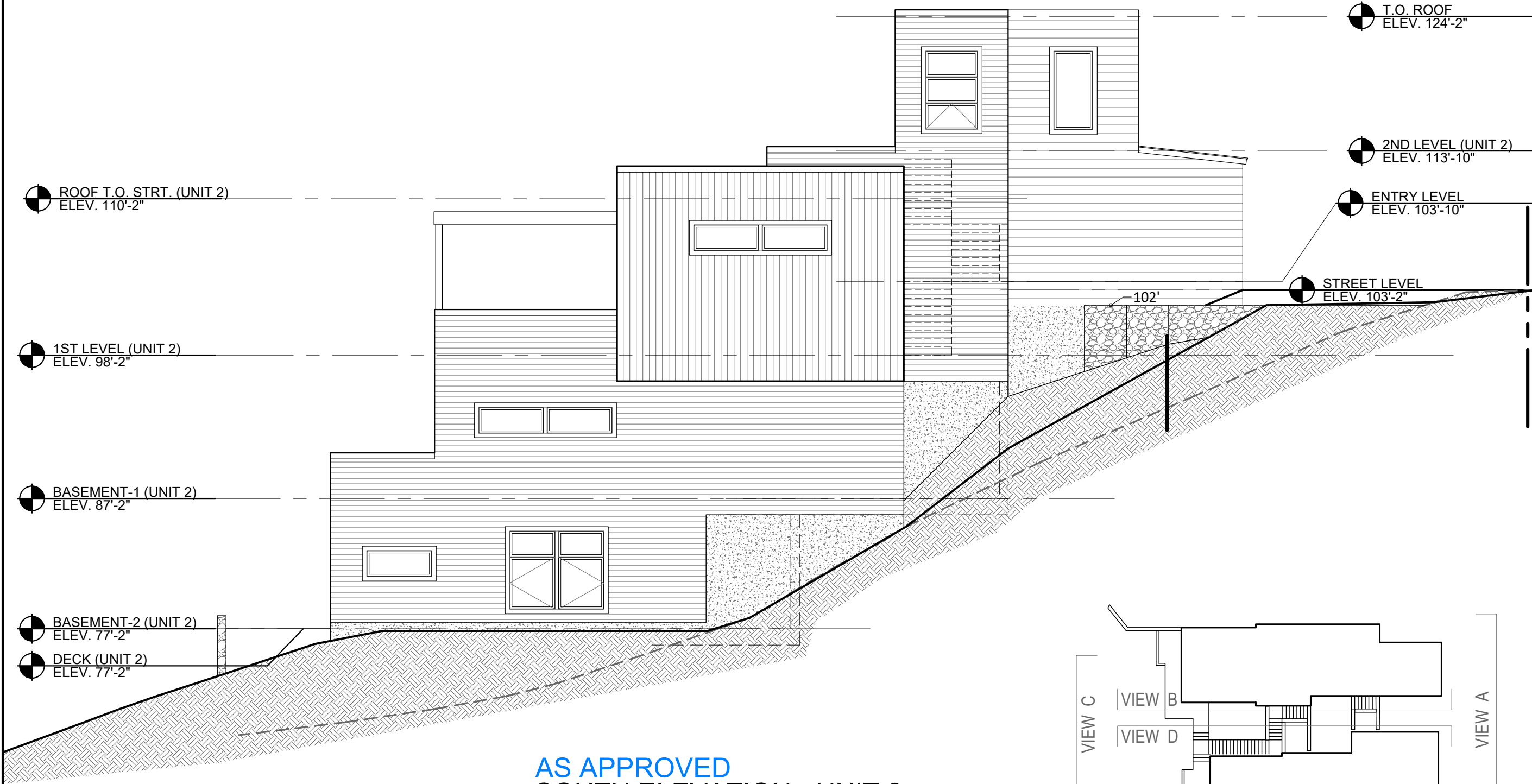


AS PROPOSED

1 NORTH ELEVATION - UNIT 2

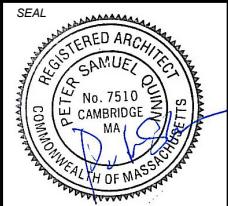
SCALE: 1/8"=1'-0"

VIEW A



AS APPROVED
1 SOUTH ELEVATION - UNIT 2
SCALE: 1/8"=1'-0"

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SOUTH
ELEVATION
@ UNIT 2

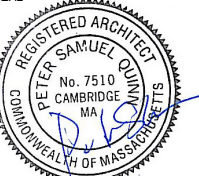
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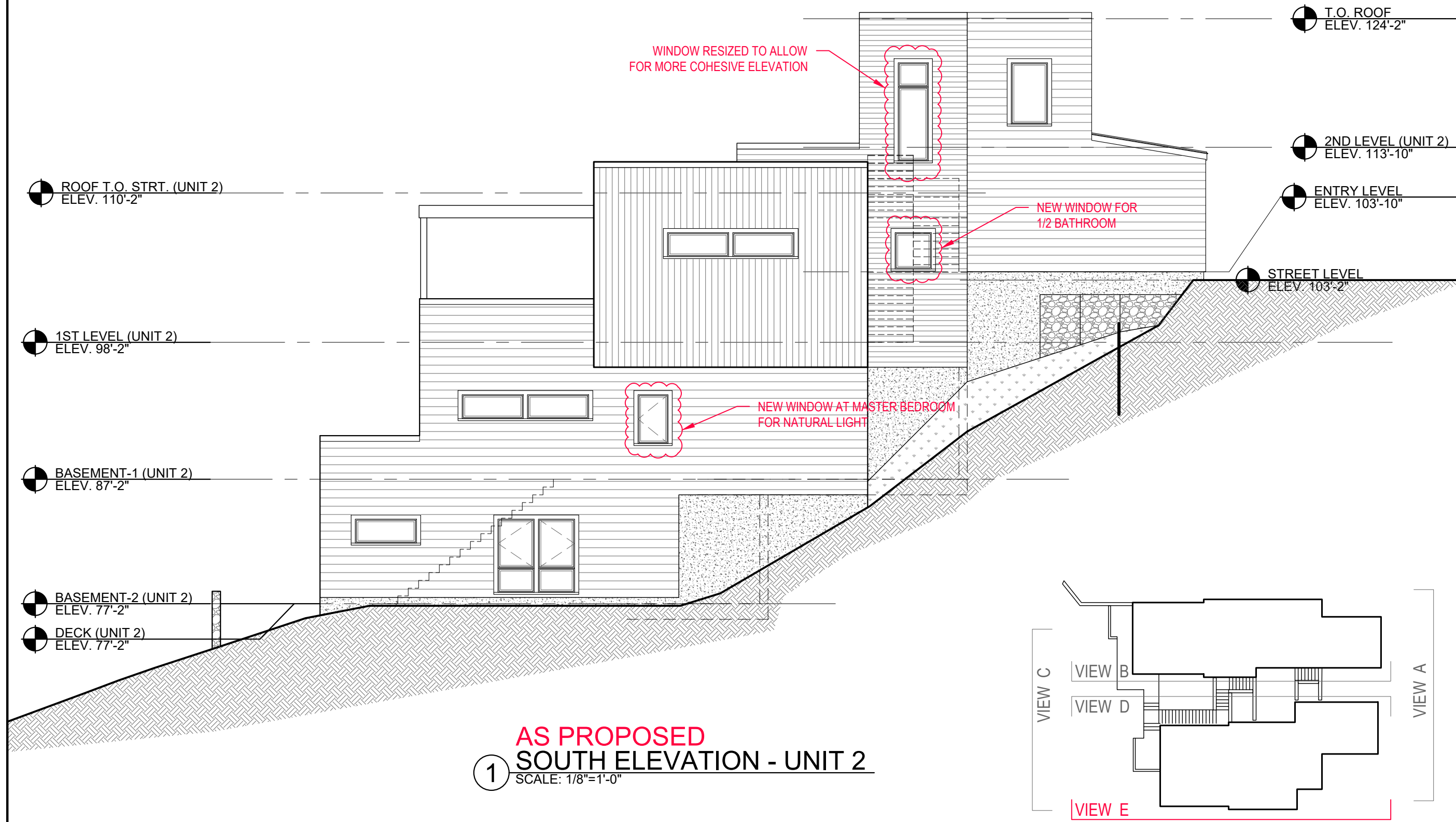
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A9



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SCALE: 1/8"=1'-0"