



City of Somerville

PLANNING, PRESERVATION, & ZONING

City Hall 3rd Floor, 93 Highland Avenue, Somerville MA 02143

August 17, 2022

Christopher Cassa
103 Gore St., #2,
Cambridge, MA 02141

Dear Chris,

Your application for a Plan Revision to your approved plans at 303 Beacon Street (ZBA 2019-121), case number P&Z22-110, has been deemed *de minimis* and accepted. Please see notes below and attached exhibits.

- Site plan revised for planting locations and pervious surfaces for egress.

As required by SZO §5.3.8, I find that the proposed change;

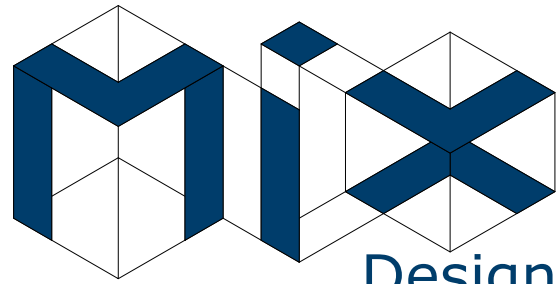
- i. Changes would not contravene the legal notice, any finding, or condition of the SPGA in the original approval;
- ii. Changes would not detrimentally impact matters of substance identified in meeting minutes of original hearings;
- iii. Changes would not alter the character of the development; and
- iv. Changes would be so insignificant as not to be noticeable to persons generally familiar with the original approval.

Please check additional outstanding conditions of the approval and bring the stamped plans to the Inspectional Services so that they may proceed with your project. If you have not done so already, contact Planning Staff at least five working days in advance of a request for a final inspection by Inspectional Services to ensure the proposal was constructed in accordance with the revised plans and the conditions attached to the approval.

Sincerely,

Sarah Lewis, RA, LEED-AP, CNU-A
Director of Planning, Preservation, & Zoning

Cc: file
ISD



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Somerville, MA 02143
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dsidel@mixdesigndevelop.com
www.mixdesigndevelop.com

- DESIGN/BUILD NOTES:**
- ALL WORK RELATED TO PLUMBING, ELECTRICAL, FIRE ALARM, HVAC, AND FIRE PROTECTION SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED ON A DESIGN/BUILD BASIS. ALL WORK SHALL COMPLY WITH ALL RELEVANT FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES.
 - HVAC, ELECTRICAL, EMERGENCY LIGHTING, FIRE PROTECTION AND FIRE ALARM LAYOUTS WHERE SHOWN ARE FOR INFORMATION AND COORDINATION PURPOSES ONLY. INSTALLERS SHALL HAVE FULL RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE CODES AND SHALL INDEMNIFY, DEFEND, AND HOLD HARMLESS THE ARCHITECT FROM ANY AND ALL LIABILITY IN CONNECTION THEREIN.
 - ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.

- ELECTRICAL NOTES:**
- GC SHALL PROVIDE ALL CUTTING, CORING, PATCHING OF CHASES IN FLOORS OR WALLS AS REQUIRED. MAINTAIN REQUIRED FIRE PROTECTION.
 - MOUNTING HEIGHTS FOR ELECTRICAL RECEPTACLES AND SWITCHES SHALL MATCH EXISTING BUILDING EQUIPMENT AND CODE. ELECTRICAL RECEPTACLES MAY BE NO LOWER THAN 18" A.F.F. (CENTERLINE) MAXIMUM HEIGHT FOR CONTROLS IS 48" A.F.F.
 - COVER PLATES FOR ANY DEVICES SHALL NOT BE INSTALLED UNTIL APPLICATION OF ALL FINISH MATERIALS HAS BEEN COMPLETED.
 - ALL ELECTRICAL WORK SHALL BE COORDINATED WITH HVAC, CABINETWORK, PARTITION CONSTRUCTION AND ANY OTHER WORK WHERE SO REQUIRED/APPROPRIATE EVEN IF NOT SPECIFICALLY REQUESTED.
 - ELECTRICAL CONTRACTOR WILL COORDINATE ANY CHANGES OR CHANGE REQUESTS IN ELECTRICAL POWER OR DEVICE REQUIREMENTS WITH OWNER AND ARCHITECT.
 - WHERE REQUIRED TO PASS CABLES THROUGH THE STRUCTURE OR FLOOR, ALL SLEEVES AND CORES AROUND THE CABLES SHALL BE TIGHTLY PACKED WITH APPROVED FIRE-SAFE MATERIALS TO MAINTAIN SMOKE AND FIRE INTEGRITY BETWEEN FLOORS/WALLS.
 - COMPLY WITH ALL MANUFACTURER REQUIREMENTS FOR ELECTRICAL, TELEPHONE, AND OTHER ASSOCIATED DEVICES.

APPLICABLE CODE:
MASSACHUSETTS STATE BUILDING CODE (780 CMR) 9TH EDITION AND 2015 INTERNATIONAL BUILDING CODE

- GENERAL NOTES:**
- ALL TYPICAL NOTES ON EACH DRAWING TO APPLY UNIFORMLY.



No.	Description	Date
1	REV 2	8/16/2022

CASSA
303 Beacon Street,
Somerville, MA

SITE PLAN & ZONING ANALYSIS

Project number	201901
Date	10/30/2019

A1

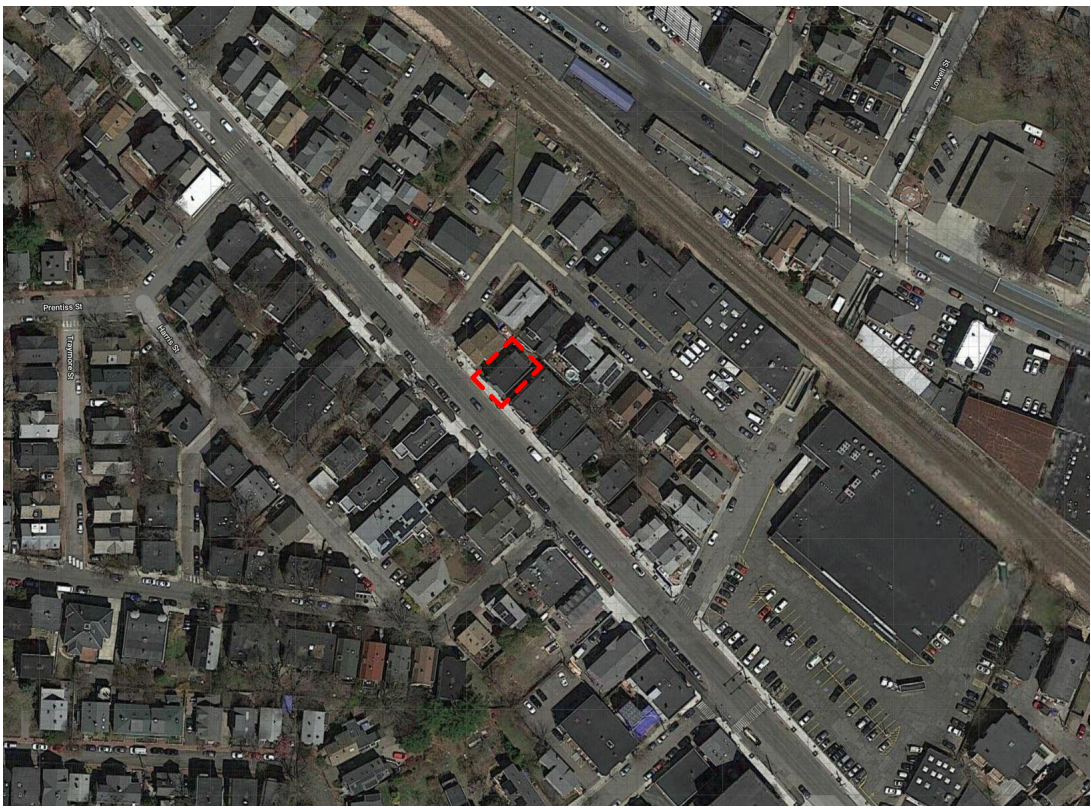
Scale	As indicated
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ZONING

	Minimum lot size	Minimum lot area / dwelling unit	Maximum ground coverage	Landscaped area, minimum percentage of lot	Floor area ratio (F.A.R.)	Maximum height	Minimum front yard	Minimum side yards	Minimum rear yard	Minimum frontage	Pervious Area, minimum percentage of lot
	(Sq. Ft.)	(Sq. Ft.)	(%)	(%)	Maximum	Stories (Feet)	(Feet)	(Feet)	(Feet)	(Feet)	(Percent)
Residence C (RC)	7,500	875	80	25	2.0	3	40	15	7.18/15.36	10.00	35
Permitted	2,320	773	48.8	38.9	1.13	2	26.8	10	6.84/14.26	10.00	38.9
As-Built	2,320	773	48.8	33.6	1.13	2	26.8	10	6.84/14.26	10.00	49.3

Notes

- Front yard: If the average front yard depth of two (2) or more existing buildings on each side of a lot within one hundred (100) feet and within the district and same block, uninterrupted by an intersection, is less than the required front yard, the average of such existing front yard depths may be the required front yard depth for buildings of three (3) stories or less, but in no case may the front yard depth be less than ten (10) feet.
Note— See Figure 8A.
- Projections into Front Yards: First story building elements such as bays, bay windows and oriel windows (provided that said bays, bay windows or oriel windows encumber no more than fifty percent (50%) of the length of the front side of the structure they project from), balconies, chimneys, flues and fire escapes, **steps down from the first story**, cornices, belt courses, leaders, sills, pilasters, lintels, **decks**, unenclosed porches, or other similar structures and ornamental features **may project into a required front yard provided a minimum ten (10) foot distance is maintained from the front lot line.**
- Fences, walls, steps, patios: Dimensional provisions of this Article shall not apply to:
 - front yard fences or walls not over four (4) feet high above the average natural grade, and side or rear yard fences/walls not over six (6) feet high above the average natural grade;
 - steps of a height no more than three (3) feet above average grade;**
 - patios.
- Projections into side yards: Bays, bay windows and oriel windows (provided that said bays, bay windows or oriel windows encumber no more than one-third of the length of the side of the structure they project from), balconies, chimneys, flues and fire escapes, steps down from the first story, and cornices, belt courses, leaders, sills, pilasters, lintels, **decks**, unenclosed porches, or other similar structures and ornamental features may **project into a required side yard not more than one-quarter (¼) of the required setback, nor more than three (3) feet in any case.**
1/4 required setback = 1' - 9 1/2"
- Reduction of side yards for narrow lots: For each foot by which a lot is less than fifty (50) feet wide on the effective date of this Ordinance, one (1) inch may be deducted from the required width of each side yard and two (2) inches from the required width of both side yards, provided that no side yard shall be less than five (5) feet. No building projections, as enumerated in footnote 6 above, shall be allowed in the minimum five (5) foot side yard.
*Assessor's map width = 40.15 ft
Therefore = allowable minimum side yard = 7.18 ft / 15.36 ft*
- Reduction of rear yards for shallow lots: For each foot by which a lot is less than one hundred (100) feet deep on the effective date of this Ordinance, three (3) inches may be deducted from the required depth of the rear yard, provided that no rear yard shall be less than ten (10) feet.
*Assessor's map depth = 59.50 ft
Therefore = allowable minimum rear yard = 10.00 ft*
- Projections into rear yards: Bays, bay windows and oriel windows (provided that said bays, bay windows or oriel windows encumber no more than fifty percent (50%) of the length of the rear side of the structure they project from), as well as such **structures and ornamental features as are enumerated in note 6 above may project into a required rear yard up to one-fourth (¼) of the required setback, but in no case within ten (10) feet of a rear lot line.**
1/4 required setback = 2' - 6"

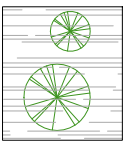


2 AERIAL MAP

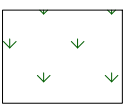


1 ASSESSOR'S MAP 39

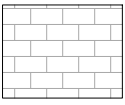
PLANTINGS



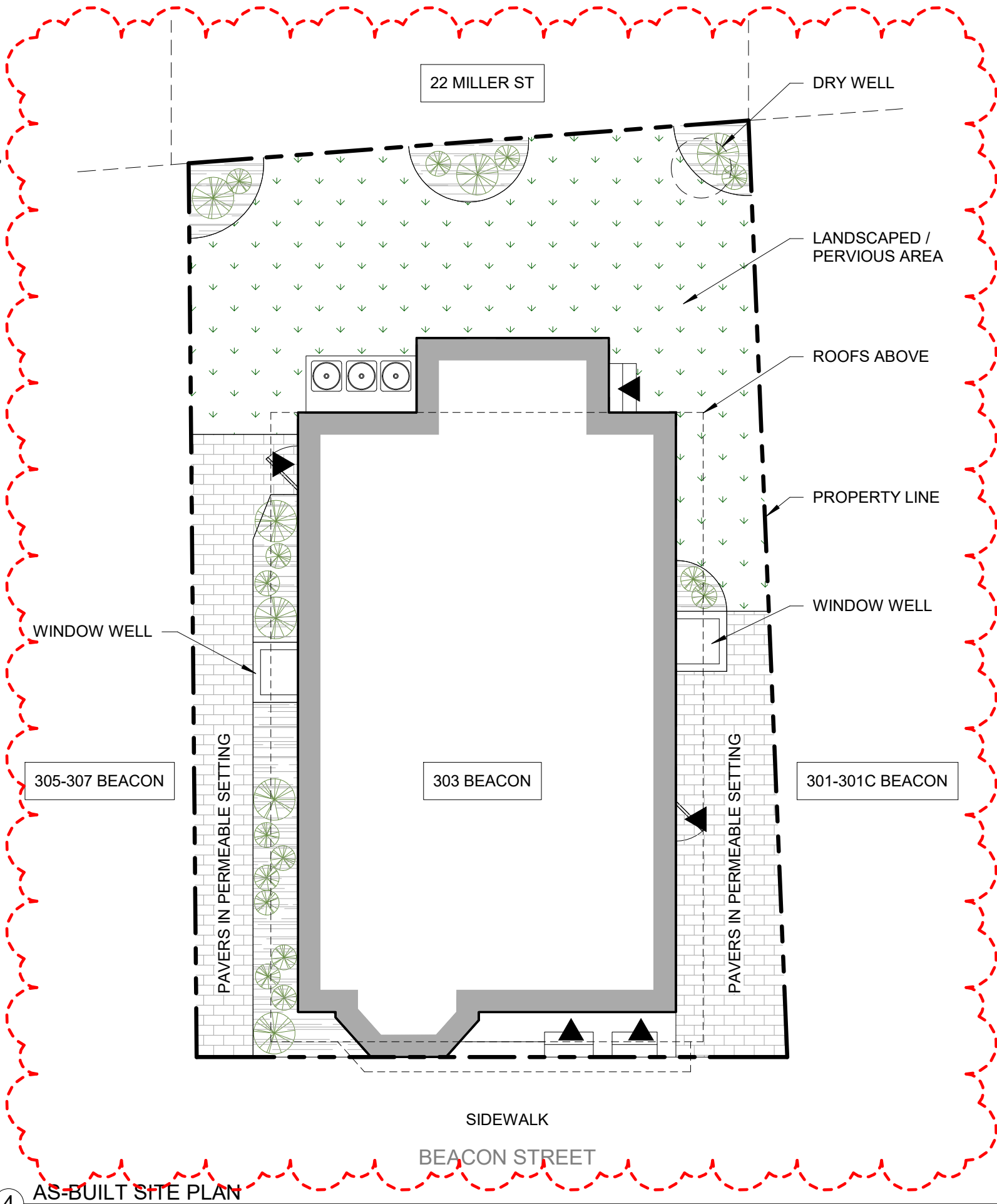
ASSORTED PLANTINGS INCLUDING HOSTA, EVERGREEN, BOXWOOD, LILY, RHODODENDRON, ROSE BUSHES



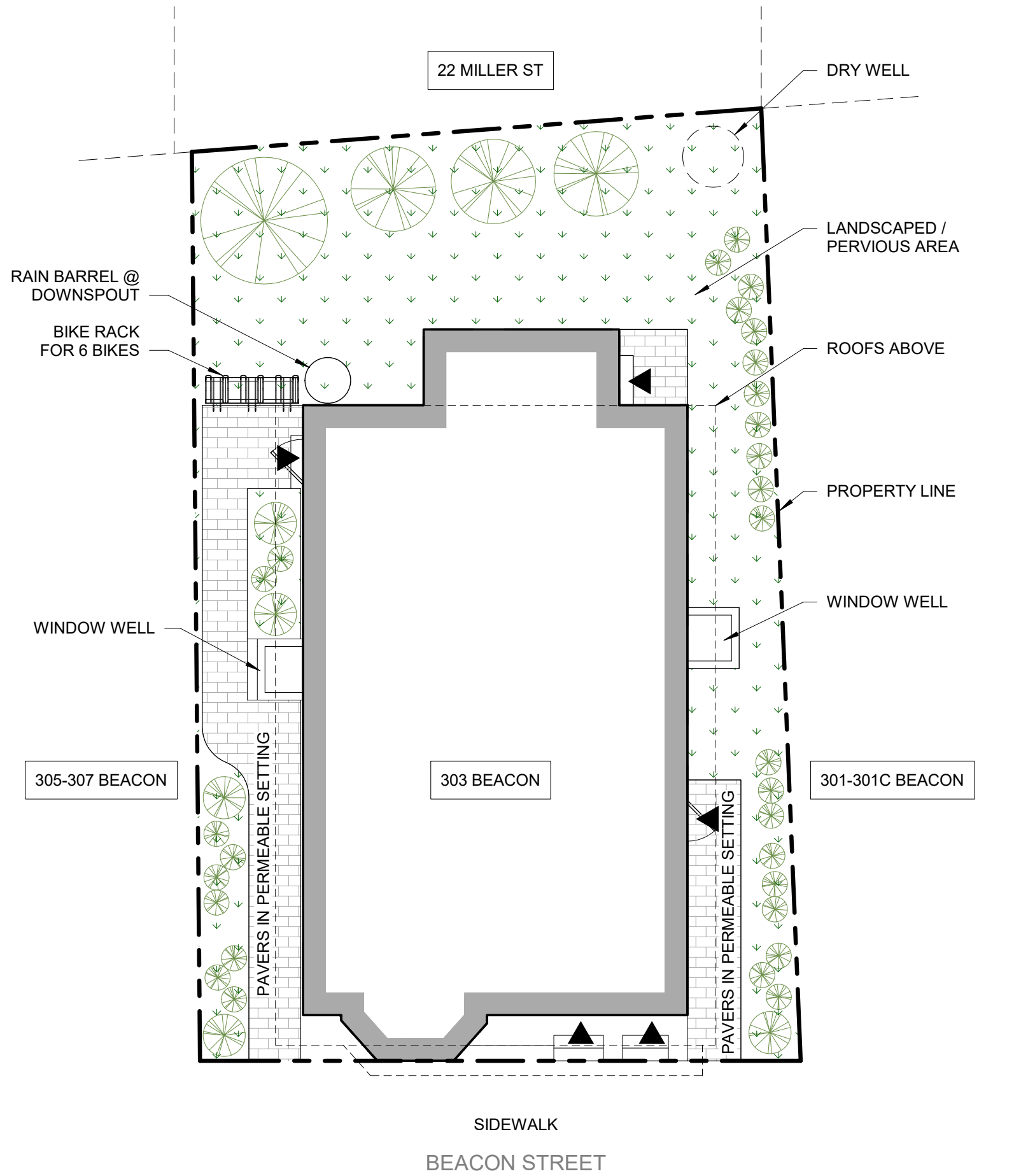
RIBBON AND FOUNTAIN GRASSES



PAVERS IN PERMEABLE SETTING



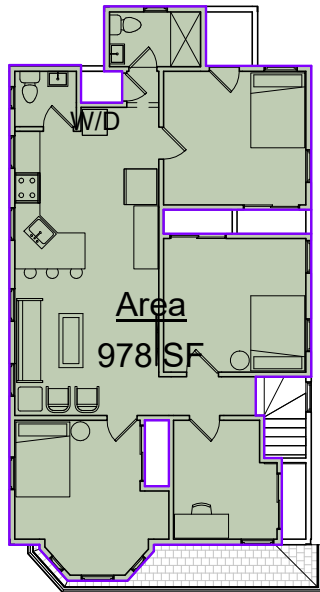
4 AS-BUILT SITE PLAN
1/8" = 1'-0"



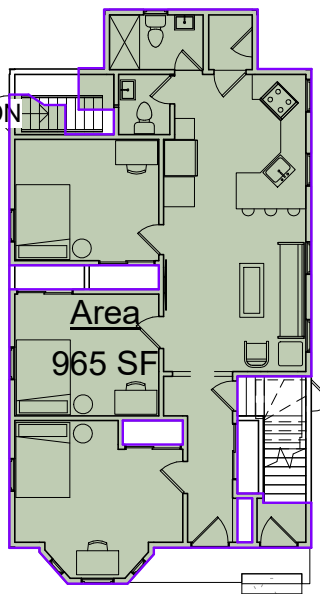
3 PERMITTED SITE PLAN
1/8" = 1'-0"

NET FLOOR AREA - PROPOSED	
LEVEL	AREA (sq.ft.)

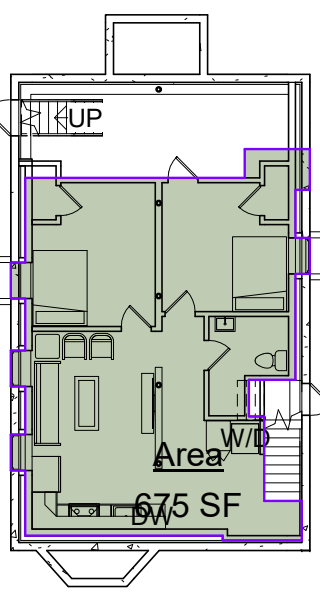
Basement	675
First Floor	965
Second Floor	978
	2,617



10 NET FLOOR AREA - PROPOSED 2ND FL
1/16" = 1'-0"



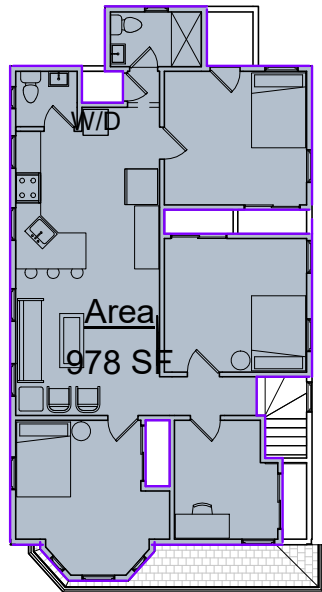
9 NET FLOOR AREA - PROPOSED 1ST FL
1/16" = 1'-0"



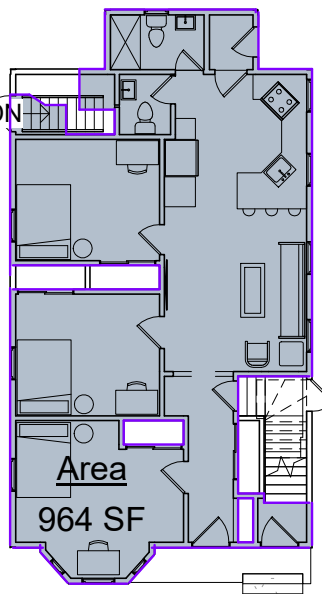
8 NET FLOOR AREA - PROPOSED BASEMENT
1/16" = 1'-0"

NET FLOOR AREA - EXISTING	
LEVEL	AREA (sq.ft.)

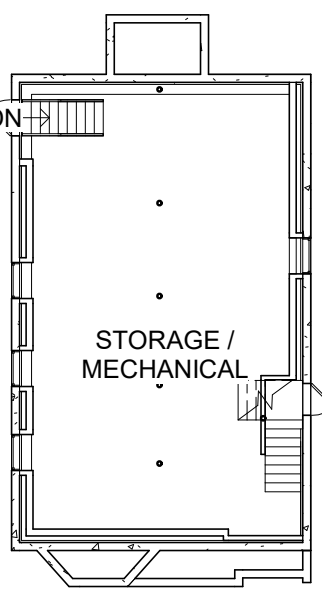
First Floor	964
Second Floor	978
	1,941



7 NET FLOOR AREA - EXISTING 2ND FL
1/16" = 1'-0"



6 NET FLOOR AREA - EXISTING 1ST FL
1/16" = 1'-0"



5 NET FLOOR AREA - EXISTING BASEMENT
1/16" = 1'-0"