



Stantec

ground

UNION SQUARE PARCEL D2 DSPR SUBMISSION

THOROUGHFARE PLANS

FEBRUARY 13, 2019

OWNER

UNION SQUARE RELP
MASTER DEVELOPER LLC (US2)
31 UNION SQUARE
SOMERVILLE, MA 02143

CIVIL ENGINEER

STANTEC
226 CAUSEWAY ST. 6TH FLOOR
BOSTON, MA 02114

LANDSCAPE ARCHITECT

GROUND LANDSCAPE, INC.
6 CARLON ST.
SOMERVILLE, MA 02143

SURVEYOR

DESIGN CONSULTANTS INC.
120 MIDDLESEX AVENUE
SOMERVILLE, MA 02145

ARCHITECT - D2.1 BUILDING

SGA
200 HIGH STREET
BOSTON, MA 02110

ARCHITECT - D2.2/D2.3 BUILDING

bkl ARCHITECTURE LLC
225 NORTH COLUMBUS DRIVE, SUITE 100
CHICAGO, IL 60601

STRUCTURAL ENGINEER - D2.2/D2.3 BUILDING

ODEH ENGINEERS, INC.
332 CONGRESS STREET, 6TH FLOOR
BOSTON, MA 02210

LIGHTING DESIGNER

LAM PARTNERS INC.
84 SHERMAN STREET
CAMBRIDGE, MA 02140



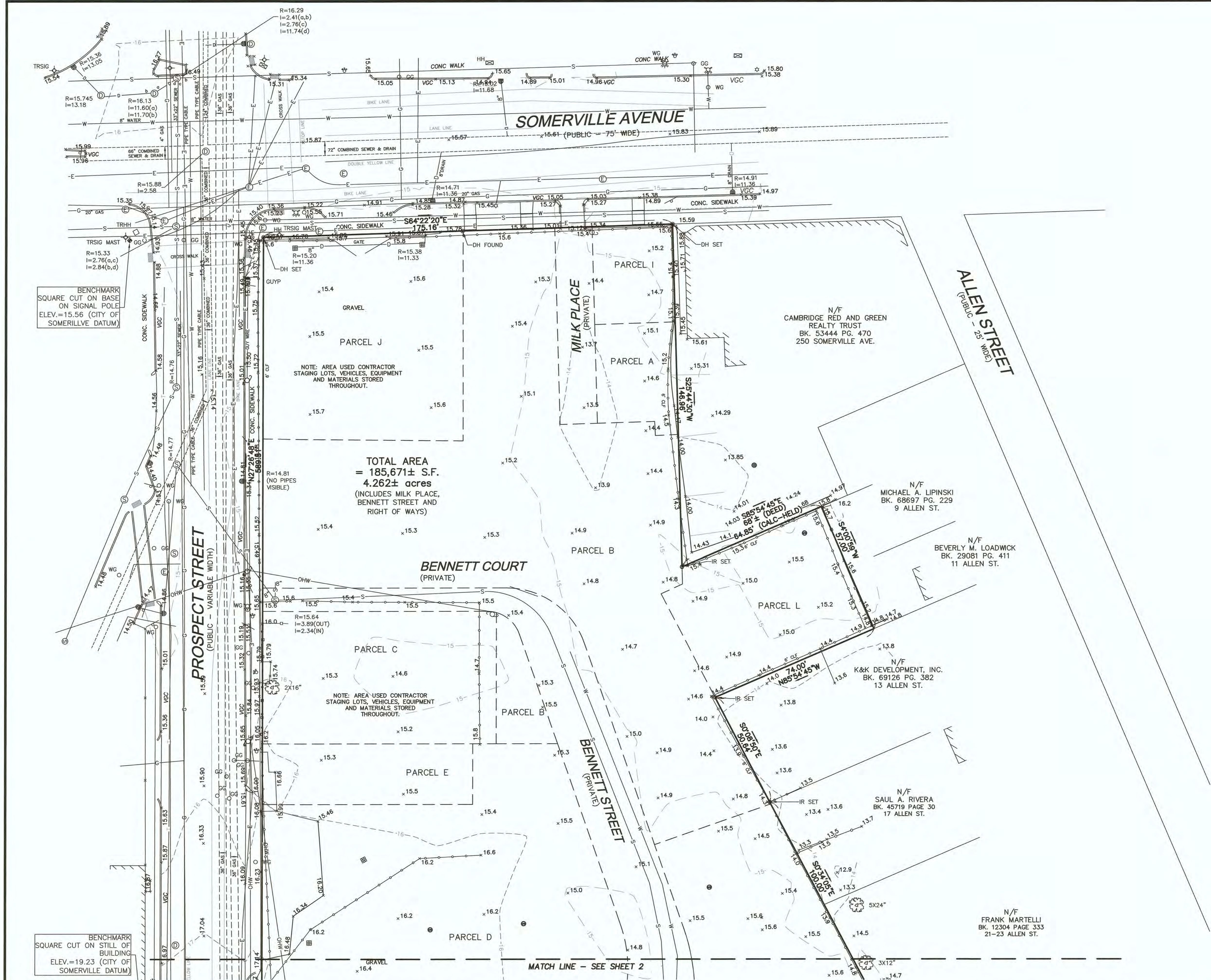
INDEX C

SHEET NO

TF-C001
TF-C100
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TF-C902

TF-L100
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TF-L102
TF-L103
TF-L104





- LEGEND**
- CLF CHAIN LINK FENCE
 - S SANITARY SEWER
 - D DRAIN LINE
 - W WATER LINE
 - E ELECTRIC LINE
 - G GAS LINE
 - OHV OVERHEAD WIRES
 - SM SANITARY SEWER MANHOLE
 - DM DRAIN MANHOLE
 - EM ELECTRIC MANHOLE
 - FM FIRE ALARM MANHOLE
 - CB CATCH BASIN
 - MW MONITORING WELL
 - LP LIGHT POLE
 - FH FIRE HYDRANT
 - UP UTILITY POLE
 - GW GUY WIRE
 - WG WATER GATE
 - GG GAS GATE
 - BL BOLLARD
 - DT DECIDUOUS TREE
 - DWP DETECTABLE WARNING PANEL
 - CLF CHAIN LINK FENCE
 - WF WOOD FENCE
 - EP EDGE OF PAVEMENT
 - VCC VERTICAL CONCRETE CURB
 - VGC VERTICAL GRANITE CURB
 - SG SPOT GRADE

NOTES

THE PURPOSE OF THIS PLAN IS TO SHOW THE AS-BUILT CONDITIONS OF THE SUBJECT PARCELS. THIS PLAN IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BETWEEN AUGUST 3, 2015 AND DECEMBER 13, 2018, BY DESIGN CONSULTANTS, INC. (DCI).

HORIZONTAL DATUM IS MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (NAD83), VERTICAL DATUM IS CITY OF SOMERVILLE.

THE UTILITIES ON THE LOCUS PROPERTY, INCLUDING THE FORMER BENNETT STREET, MAY HAVE BEEN CUT, CAPPED AND ABANDONED.

LOCATION OF UNDERGROUND UTILITIES FEATURES SHOWN ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY: FIELD SURVEY, AERIAL PHOTOGRAMMETRY, PLANS OF RECORD, INFORMATION FURNISHED BY THE RESPECTIVE UTILITY COMPANIES, AND OTHER AVAILABLE SOURCES. OVERHEAD WIRES DEPICTED HEREON ARE SHOWN FOR GENERAL LOCATION PURPOSES ONLY. ACTUAL WIDTH, TYPE, NUMBER, AND HEIGHT SHOULD BE FIELD VERIFIED PRIOR TO ANY SITE DESIGN WORK. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED. CALL DIGSAFE PRIOR TO EXCAVATION.



P.L.S. *Matthew Lowry*
MATTHEW LOWRY, P.L.S. MASS. REGISTRATION NO. 49625
DATE 12-17-2018

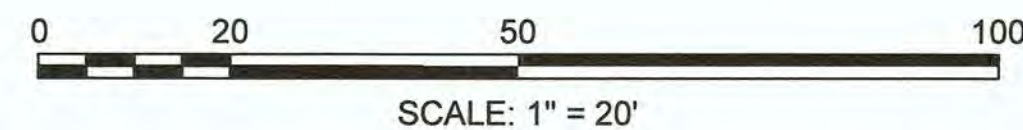
LOCUS TITLE INFORMATION

PROSPECT STREET, SOMERVILLE AVENUE, MILK PLACE,
BENNETT STREET, ALLEN STREET

OWNER: SOMERVILLE REDEVELOPMENT AUTHORITY

DEED REFERENCES: BK. 61890 PG. 47, BK. 59656 PG. 226,
BK. 34934 PG. 102, BK. 14224 PG. 180

ASSESSORS: MAP 82, BLOCK D, LOTS 1-6, 20-34, 36-38,
MAP 82, BLOCK I, LOTS 1, 1A, 2-7



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P:\2015 Projects\2015-045 Union Sq Parcel D2 Somerville\Drawings\SURVEYING\15-045ec 2018.dwg

Design Consultants, Inc.
CIVIL ENGINEERS and LAND SURVEYORS

120 MIDDLESEX AVENUE
SOMERVILLE, MA 02145
617-776-3350

SCALE:
HORIZ: 1" = 20'
VERT: _____

NO.	DATE	BY	REVISIONS

FIELD: LG
CALCS: ML
CHECKED: BD
APPROVED: ML

EXISTING CONDITIONS PLAN

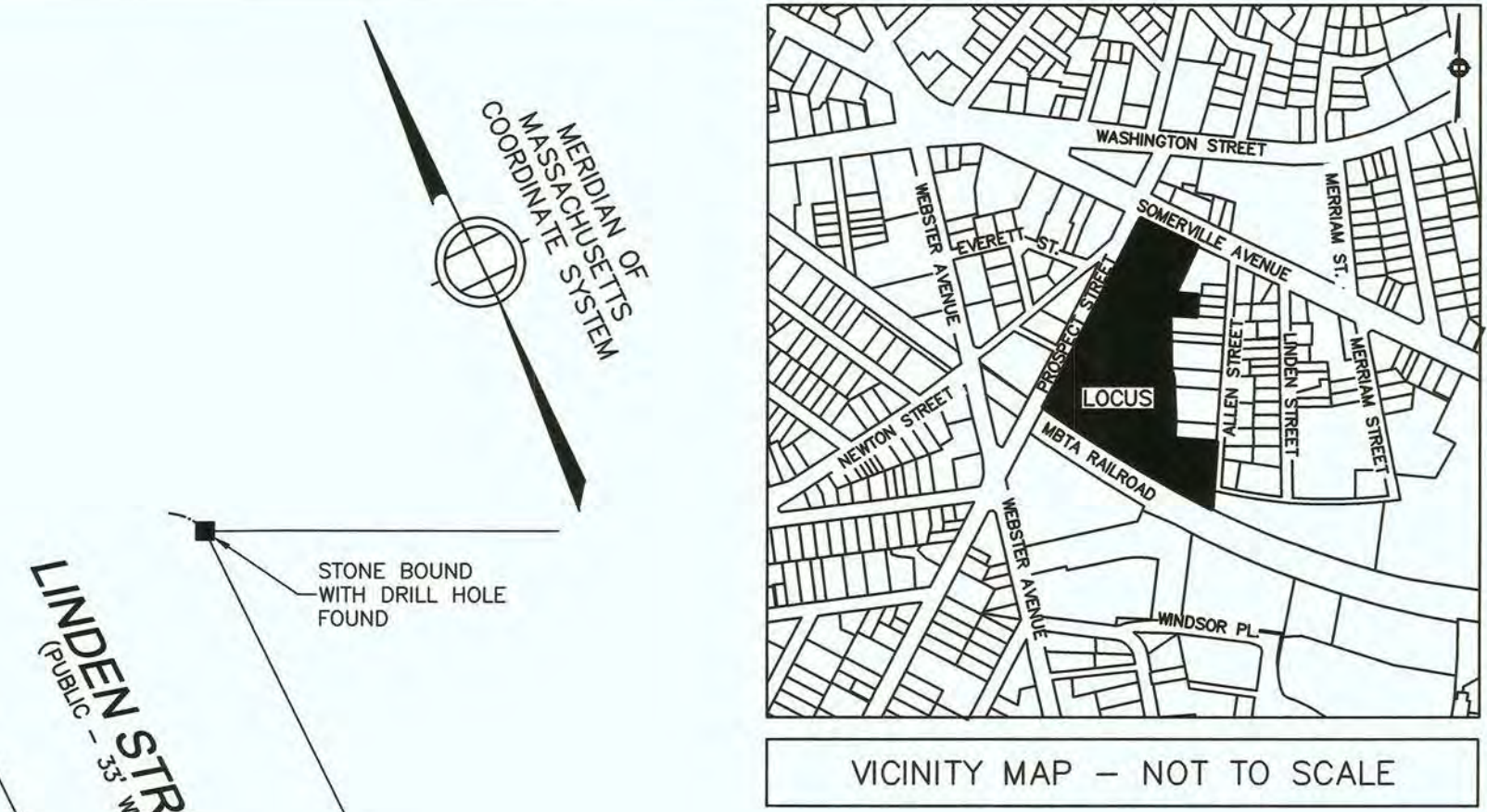
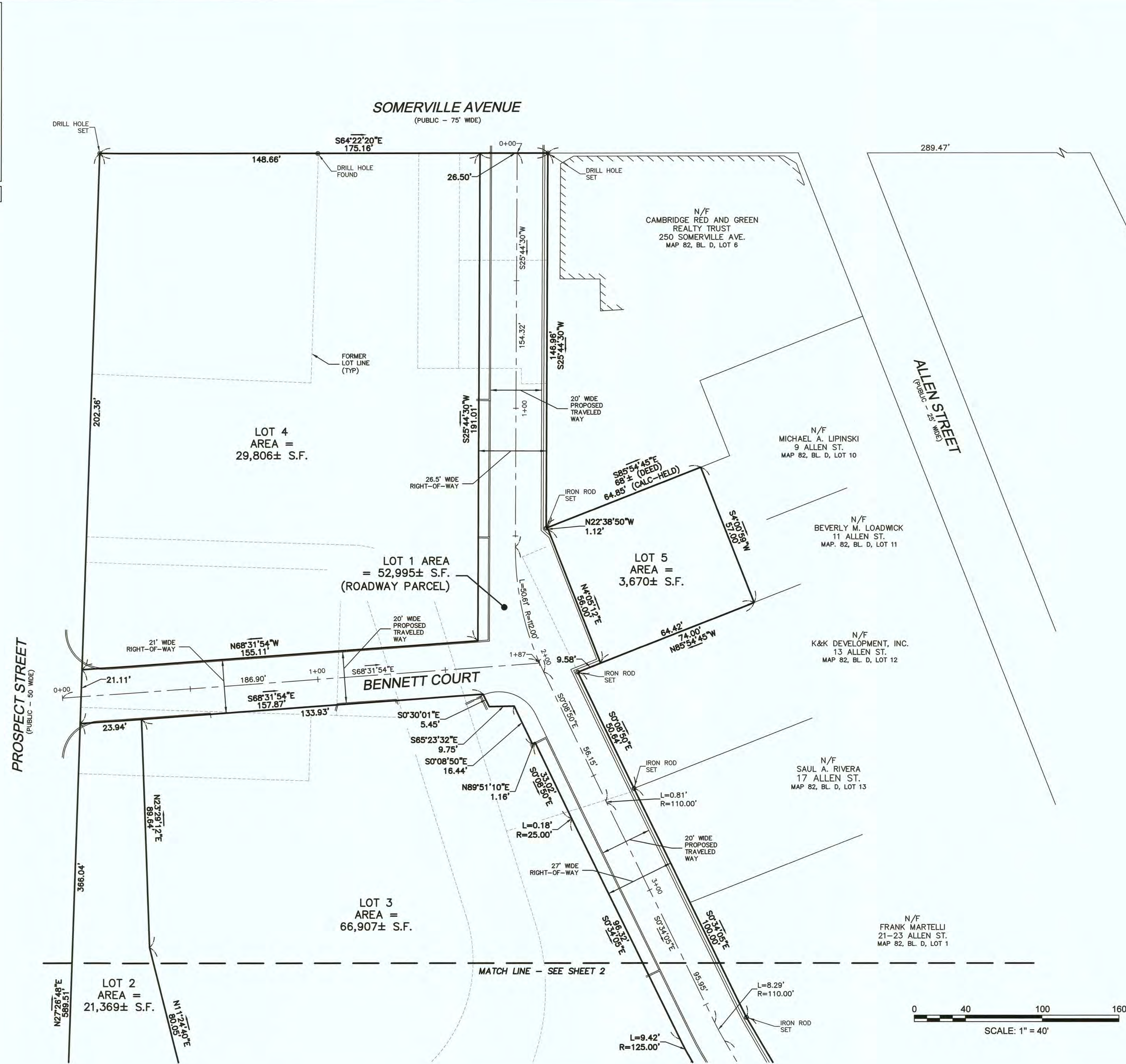
PROSPECT STREET AT
SOMERVILLE AVENUE

LAND LOCATED IN
SOMERVILLE, MASSACHUSETTS

SURVEYED FOR
UNION SQUARE STATION ASSOCIATES, LLC (US2)

PROJECT NO.
2015-045
DATE: DEC. 17, 2018
SHEET NO.
1 OF 2

RESERVED FOR REGISTERS USE ONLY



APPROVED BY SOMERVILLE PLANNING BOARD:

PLAN REFERENCES:

PLAN BK. 14 PLAN 55
PLAN BK. 54 PLAN 42
PLAN BK. 178 PLAN 22
PLAN BK. 342 PLAN 16
BOOK 4941 PG. END
BOOK 5443 PG. END
PLAN 534 OF 1936
PLAN 818 OF 1957
PLAN 421 OF 1962
PLAN 288 OF 1999
PLAN 298 OF 2005
PLAN 520 OF 2011
PLAN 650 OF 2011
PLAN 347 OF 2015

DATE, _____

ZONING DISTRICT
TOD100 DISTRICT

NOTES

THE PURPOSE OF THIS PLAN IS TO DIVIDE THE EXISTING PARCELS AS DESCRIBED IN DEEDS LISTED UNDER "LOCUS TITLE INFORMATION" INTO SIX SEPARATE LOTS. THIS PLAN IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BETWEEN AUGUST 3, 2015 AND DECEMBER 13, 2018, BY DESIGN CONSULTANTS, INC. (DCI).

THE CITY OF SOMERVILLE HAS NOT ADOPTED THE SUBDIVISION CONTROL LAW.

PROPOSED LOT DIMENSIONS, PROPOSED PAVEMENT AND ROADWAY CENTER LINE INFORMATION WHERE PROVIDED BY STANTEC.

TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THIS PLAN CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

P.L.S. Matthew Lowry
MATTHEW LOWRY, P.L.S. MASS. REGISTRATION NO. 49625

DATE 2-8-2019

LOCUS TITLE INFORMATION

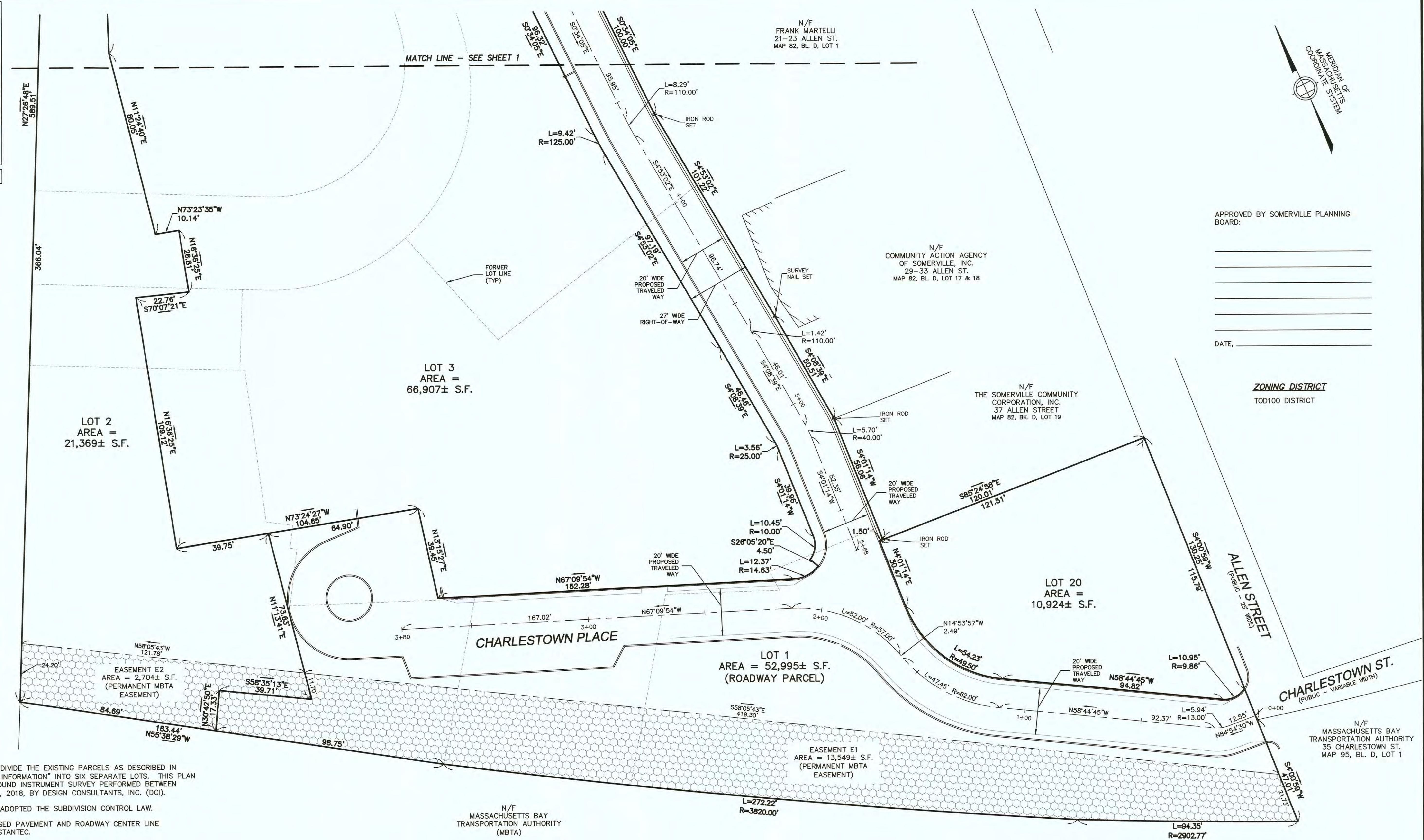
PROSPECT STREET, SOMERVILLE AVENUE, MILK PLACE, BENNETT STREET, ALLEN STREET

OWNER: SOMERVILLE REDEVELOPMENT AUTHORITY

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ASSESSORS: MAP 82, BLOCK D, LOTS 1-6, 20-34, 36-38, MAP 82, BLOCK I, LOTS 1, 1A, 2-7

RESERVED FOR REGISTERS USE ONLY



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P.L.S. Matthew Lowry
MATTHEW LOWRY, P.L.S. MASS. REGISTRATION NO. 49625
DATE 2-2-2019



LOCUS TITLE INFORMATION

PROSPECT STREET, SOMERVILLE AVENUE, MILK PLACE,
BENNETT STREET, ALLEN STREET

OWNER: SOMERVILLE REDEVELOPMENT AUTHORITY
DEED REFERENCES: BK. 61890 PG. 47, BK. 59656 PG. 226,
BK. 34934 PG. 102, BK. 14224 PG. 180
ASSESSORS: MAP 82, BLOCK D, LOTS 1-6, 20-34, 36-38,
MAP 82, BLOCK I, LOTS 1, 1A, 2-7

0 40 100 160
SCALE: 1" = 40'

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Design Consultants, Inc. CIVIL ENGINEERS and LAND SURVEYORS 120 MIDDLESEX AVENUE SOMERVILLE, MA 02145 617-776-3350	SCALE: HORIZ: 1" = 40' VERT: _____					FIELD: LG CALCS: ML CHECKED: GM APPROVED: ML	SUBDIVISION PLAN OF LAND PROSPECT STREET AT SOMERVILLE AVENUE	LAND LOCATED IN SOMERVILLE, MASSACHUSETTS SURVEYED FOR UNION SQUARE STATION ASSOCIATES, LLC (US2)	PROJECT NO. 2015-045 DATE: FEB. 8, 2019 SHEET NO. 2 OF 2
		NO.	DATE	BY	REVISIONS				



Curve Table									
Curve	Length	Radius	Tan	Chord	Chord Direction	Delta	Start Point (N,E)	End Point (N,E)	Center Point (N,E)
C1	50.61	112	25.74	50.18	S12° 47' 50"W	25° 53' 20"	(2963174.47, 765924.92)	(2963125.54, 765913.80)	(2963125.82, 766025.80)
C2	0.81	110	0.40	0.81	S0° 21' 28"E	0° 25' 16"	(2963069.39, 765913.95)	(2963068.58, 765913.95)	(2963069.67, 766023.95)
C3	8.29	110	4.14	8.28	S2° 43' 34"E	4° 18' 57"	(2962972.64, 765914.91)	(2962964.36, 765915.30)	(2962973.73, 766024.90)
C4	1.42	110	0.71	1.42	S4° 30' 51"E	0° 44' 23"	(2962867.97, 765923.54)	(2962866.56, 765923.65)	(2962858.61, 765813.93)
C5	5.70	40	2.85	5.70	S0° 03' 43"E	8° 09' 53"	(2962820.67, 765926.97)	(2962814.97, 765926.98)	(2962817.78, 765887.08)
C6	53.33	57	28.80	51.41	N40° 22' 19"W	53° 36' 36"	(2962713.32, 765920.99)	(2962752.49, 765887.69)	(2962699.95, 765865.58)
C7	47.45	62	24.95	46.30	N36° 50' 04"W	43° 50' 48"	(2962675.18, 765949.01)	(2962712.24, 765921.25)	(2962728.19, 765981.16)
C8	5.94	13	3.02	5.88	N71° 50' 21"W	26° 09' 45"	(2962625.44, 766033.58)	(2962627.27, 766027.99)	(2962638.39, 766034.73)

Project:
UNION SQUARE - D2 PARCEL
SOMERVILLE, MA

PREPARED BY:
 Stantec
STANTEC
225 CAUSEWAY STREET, 6TH FLOOR
BOSTON, MA 02114

PREPARED FOR:
 USQ
UNION SQUARE RLP
MASTER DEVELOPER LLC (US2)
31 UNION SQUARE
SOMERVILLE, MA 02143

SOMERVILLE USE ONLY

Permit-Seal



DSPPR - THOROUGHFARE PLAN SET	JEL	FH	2019.02.13
Issued/Revision	By	Appd	YYYY.MM.DD
Title			
THOROUGHFARE PLANS			
LAYOUT PLAN			

Project No.	Scale
210801584/85	AS SHOWN
Drawing No.	

TF-C100

GENERAL NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY DESIGN CONSULTANTS INC. OF SOMERVILLE, MA, DATED SEPTEMBER 28, 2015.
- CONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
- ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF SOMERVILLE.

SOIL EROSION AND SEDIMENT CONTROL NOTES

CITY OF SOMERVILLE

- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH PUBLISHED EROSION CONTROL AND SEDIMENT GUIDELINES FOR MASSACHUSETTS (SEE REFERENCE BELOW, NOTE #8).
- PRIOR TO ANY LAND DISTURBANCE ACTIVITIES COMMENCING ON THE SITE, THE CONTRACTOR SHALL PHYSICALLY MARK LIMITS OF NO LAND DISTURBANCE ON THE SITE WITH TAPE, SIGNS, OR ORANGE CONSTRUCTION FENCE, SO THAT WORKERS CAN SEE THE AREAS TO BE PROTECTED. THE PHYSICAL MARKERS SHALL REMAIN IN PLACE UNTIL A CERTIFICATE OF COMPLETION HAS BEEN ISSUED.
- AN EROSION CONTROL BARRIER SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT PRIOR TO COMMENCEMENT OF DEMOLITION OR CONSTRUCTION OPERATIONS.
- ANY EROSION AND SEDIMENT CONTROL MEASURES FOR THE STABILIZATION OF SLOPES ARE TEMPORARY FOR CONSTRUCTION PHASES ONLY.
- APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF AND DURING ALL PHASES OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO AND IMMEDIATELY AFTER ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL.
- PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES SHALL BE PROVIDED TO ENSURE THAT THE INTENDED PURPOSE IS ACCOMPLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SEDIMENT LEAVING THE LIMIT OF WORK. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
- ALL SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM DRAINAGE SYSTEM (I.E. THROUGH THE USE OF STRAW MATS, CATCH BASIN SEDIMENT TRAPS, GRAVEL, BOARDS, OR OTHER APPLICABLE METHODS). INLET PROTECTION SHALL BE FURNISHED, INSTALLED AND MAINTAINED AT ALL CATCH BASINS WITHIN THE PROJECT AREA AND ALONG THE LIMIT OF EXCAVATION. THROUGHOUT PROJECT DURATION, DEBRIS COLLECTED IN INLET PROTECTION SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE ON A WEEKLY BASIS OR MORE FREQUENTLY IF NECESSARY TO MAINTAIN FLOW THROUGH THE INLET PROTECTION. UPON COMPLETION OF THE PROJECT AND AS DIRECTED BY THE ENGINEER, THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF THE INLET PROTECTION AND DEBRIS OFF-SITE.
- THE CONTRACTOR INSTALLING THE ABOVE SHALL OBTAIN AND FOLLOW THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" PREPARED BY DEPARTMENT OF ENVIRONMENTAL PROTECTION. BUREAU OF RESOURCE PROTECTION, DATED MAY 1997, REPRINTED MAY 2003 (OR LATEST EDITION) AND THE 2017 NPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES, OR LATEST EDITION.
- ALL DRAINAGE SWALES AND GROUND SURFACES WITHIN THE LIMIT OF WORK SHALL BE PROTECTED.
- AFTER ANY SIGNIFICANT RAINFALL (0.25" OR GREATER), SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED FOR INTEGRITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
- SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES ¼ TO ½ THE HEIGHT OF THE EROSION CONTROL DEVICE. SEDIMENT SHALL BE REMOVED FROM SILT FENCE PRIOR TO REACHING THE LOAD-BEARING CAPACITY OF THE SILT FENCE WHICH MAY BE LOWER THAN ¼ TO ½ THE HEIGHT.
- ALL STOCKPILES SHALL BE PROTECTED AND LOCATED A MINIMUM OF 100' AWAY FROM EXISTING WATER BODIES OR WETLANDS & WITHIN THE LIMIT OF WORK. SOIL STOCKPILES SHALL BE PROTECTED FROM CONTACT WITH ON-SITE STORMWATER RUNOFF USING TEMPORARY PERIMETER SEDIMENT BARRIERS. A COVER (TARP) OR APPROPRIATE TEMPORARY STABILIZATION WILL BE PROVIDED TO MINIMIZE SEDIMENT DISCHARGE.
- STABILIZED PORTIONS OF A SITE SHALL BE INSPECTED AT LEAST ONCE PER MONTH.
- CONTRACTOR SHALL PREVENT OFF-SITE VEHICLE TRACKING OF SEDIMENTS. ANY SEDIMENT TRACKED ONTO PAVED AREAS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
- ALL DEBRIS GENERATED DURING SITE PREPARATION SHALL BE LEGALLY DISPOSED OF OFF-SITE.
- DUST SHALL BE CONTROLLED AT THE SITE.
- ALL TOPSOIL ENCOUNTERED WITHIN THE WORK AREA SHALL BE STRIPPED TO ITS FULL DEPTH AND STOCKPILED FOR REUSE. TOPSOIL NOT NEEDED AFTER COMPLETION OF ALL FINAL TOPSOIL SPREADING AND GRASSING SHALL BE REMOVED FROM THE SITE AND LEGALLY RECYCLED OR DISPOSED OF. TOPSOIL PILES SHALL REMAIN SEGREGATED FROM EXCAVATED SUBSURFACE SOIL MATERIALS.
- IF WORK IS HALTED OVER WINTER MONTHS THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILIZING THE AREA THROUGH GROUNDCOVER PRACTICES.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL EROSION AND SEDIMENT CONTROLS AT THE COMPLETION OF SITE CONSTRUCTION.
- THE CONTRACTOR SHALL USE TEMPORARY SEEDING, MULCHING, OR OTHER APPROVED STABILIZATION MEASURES TO PROTECT EXPOSED AREAS DURING PROLONGED CONSTRUCTION OR OTHER LAND DISTURBANCE. STOCKPILES THAT WILL BE EXPOSED FOR LONGER THAN 14 CALENDAR DAYS SHALL BE SEEDDED WITH ANNUAL RYE.

SUPPLEMENTAL NOTES

- THE OWNER'S REPRESENTATIVE SHALL BE CONSULTED AND WILL REVIEW THE WORK ON SITE WITH THE CONTRACTOR BEFORE ANY WORK SHALL COMMENCE.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS/HER EFFORTS OF THE DEMOLITION WITH ALL TRADES.
- THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH RESPECTIVE UTILITY COMPANY.
- THE CONTRACTOR SHALL CUT AND CAP ALL EXISTING UTILITIES SERVICING THE PROPERTY.

LAYOUT AND MATERIALS NOTES

- ACCESSIBLE CURB RAMPS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, WHICHEVER IS MORE STRINGENT.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.
- THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN: ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING. ALL DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE. ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS. ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

GRADING NOTES

- WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
- MAXIMUM SLOPE IN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL MEET THE REQUIREMENTS OF 521 CMR OF THE ARCHITECTURAL ACCESS BOARD REGULATIONS. ALL GRADES ON WALKWAYS, RAMPS, CURB CUTS AND PARKING AREAS AS DEFINED BY 521 CMR SHALL COMPLY WITH THE MAXIMUM ALLOWABLE GRADES. GRADES SHALL BE MEASURED AT TWO FOOT INTERVALS. GROSS SLOPES ON ALL WALKS, PATHS OF TRAVEL AND ACCESSIBLE ROUTES AS DEFINED IN 521 CMR SHALL NOT EXCEED 1.5%. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF DISCREPANCIES ARISE BETWEEN THE ACTUAL GRADES SHOWN ON THE PLANS AND THE MAXIMUM ALLOWABLE GRADES INDICATED IN 521 CMR.
- ALL WALKWAYS SHALL BE GRADED TO A MAXIMUM 4.5% RUNNING SLOPE (PARALLEL TO THE DIRECTION OF TRAVEL). THE CROSS PITCH OF ALL WALKWAYS, PATHS AND PLAZAS SHALL NOT EXCEED 1.5% (PERPENDICULAR TO THE DIRECTION OF TRAVEL). THE SLOPE OF ALL RAMPS AND SIDE SLOPES OF HANDICAP CURB CUTS AS DEFINED BY SECTION 21.1 OF 521 CMR SHALL BE CONSTRUCTED AT 7.5% MAXIMUM. RAMPS AS DEFINED IN SECTION 24.1 OF 521 CMR SHALL BE CONSTRUCTED TO A MAXIMUM SLOPE OF 7.5%.
- ENSURE ALL EXISTING (TO REMAIN), AND PROPOSED MANHOLE COVERS PROPERLY IDENTIFY UTILITY SERVICED.
- CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
- BITUMINOUS CONCRETE ELEVATIONS AT CATCH BASINS TO BE 1/4 INCH ABOVE RIM ELEVATION SHOWN FOR CATCH.
- CONTRACTOR TO ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN-OUTS, UTILITY MANHOLES, CATCH BASINS, INLETS, ETC) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.

UTILITY NOTES

- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- ALL SEWER PIPES SHALL BE PVC PER ASTM D3034, SDR-35 AND ASTM D1784 WITH RUBBER GASKET JOINTS, UNLESS OTHERWISE NOTED.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION, AT THE CONTRACTOR'S EXPENSE.
- THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PRIVATE UTILITY SERVICES SHALL BE PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS/TELEPHONE/ELECTRICAL) AND INSTALLED ACCORDING TO THOSE REQUIREMENTS. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION, ALTERATION, OR ADJUSTMENT OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION.
- ALL CEMENT LINED DUCTILE IRON JOINTS AT FITTINGS (CLASS 52,) VALVES, AND HYDRANT LATERALS SHALL BE MECHANICAL WITH NEOPRENE GASKETS. JOINTS AT OTHER LOCATIONS SHALL BE PUSH-ON TYPE WITH NEOPRENE OR SYNTHETIC RUBBER GASKETS. ALL WATER GATES SHALL OPEN AS PER MUNICIPAL REQUIREMENTS. ALL WATER LINES SHALL HAVE A MINIMUM OF FIVE FEET OF GROUND COVER AND A MINIMUM SEPARATION OF TEN FEET FROM THE SEWER SYSTEM. AT WATER AND SEWER CROSSINGS, THE WATER LINE SHALL BE ENCASED IN SIX INCHES OF CONCRETE FOR A DISTANCE OF TEN FEET ON EITHER SIDE OF THE CROSSING.
- THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND REQUIRES A PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. AT LEAST 14 DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL FILE AN ELECTRONIC NOTICE OF INTENT (eNOI) WITH THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (U.S. EPA) FOR CONSTRUCTION DISCHARGES ASSOCIATED WITH THIS PROJECT AND MAINTAIN A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REGULATIONS.
- ENSURE ALL EXISTING (TO REMAIN) AND PROPOSED MANHOLE COVERS PROPERLY IDENTIFY UTILITIES SERVICED.
- ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF ANY EARTH MOVING ACTIVITIES. REFER TO SITE PREPARATION PLAN FOR COMPLETE EROSION AND SEDIMENTATION CONTROLS.
- WHERE AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED WORK, THE CONTRACTOR SHALL ACCURATELY DETERMINE THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY AND TRANSMIT THIS INFORMATION TO THE ENGINEER WITHOUT DELAY.
- THE USE OF FIRE HYDRANTS FOR CONSTRUCTION IS NOT PERMITTED WITHOUT PRIOR APPROVAL FROM THE CITY OF SOMERVILLE WATER AND SEWER DEPARTMENT AND FIRE DEPARTMENT.
- CONTRACTOR SHALL COORDINATE ANY WATER SHUT DOWNS THE CITY OF SOMERVILLE WATER AND SEWER DEPARTMENT AND FIRE DEPARTMENT.
- ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. TRENCH EXCAVATION PERMITS ARE REQUIRED. THIS APPLIES TO ALL TRENCHES ON PUBLIC AND PRIVATE PROPERTY.

GENERAL LEGEND

	PROPERTY LINE
	LIMIT OF THOROUGHFARE

LEGEND

	VERTICAL GRANITE CURB
	FLUSH GRANITE CURB
	TRANSITIONAL CURB
	LIMIT OF CURB TYPE
	BUILDING ENTRANCE
	LOADING DOCK
	PAVERS
	PAVERS
	STAMPED BITUMINOUS CONCRETE

PAVEMENT MARKING AND SIGNAGE LEGEND

	POLE MOUNTED SIGN
	WALL/FENCE MOUNTED SIGN
	CROSSWALK
	SINGLE WHITE LINE

GRADING LEGEND

	PROPOSED CONTOUR MAJOR LINE
	PROPOSED CONTOUR MINOR LINE
	PROPOSED SPOTGRADE
	EXISTING SPOTGRADE, TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO THE START OF CONSTRUCTION
	BOTTOM OF CURB
	TOP OF CURB

UTILITY LEGEND

	DRAINAGE LINE
	SANITARY SEWER LINE
	WATER LINE
	UNDERGROUND CONDUIT (UGC) INCLUDES ELECTRIC AND TELEDATA CONDUIT
	GAS LINE
	BORINGS PERFORMED BY STANTEC IN NOVEMBER 2016
	DRAIN MANHOLE
	WATER QUALITY INLET (WQI) (STORMCEPTOR 450I)
	SEWER MANHOLE
	WATER GATE VALVE
	TEE
	HYDRANT
	ELECTRIC OR TELEDATA MANHOLE
	CEMENET LINED DUCTILE IRON
	DRAIN MANHOLE
	FORCE MAIN
	HIGH DENSITY POLYETHYLENE
	WATER QUALITY UNIT

Project:

UNION SQUARE - D2 PARCEL
SOMERVILLE, MA

PREPARED BY:



STANTEC
225 CAUSEWAY STREET, 6TH FLOOR
BOSTON, MA 02114

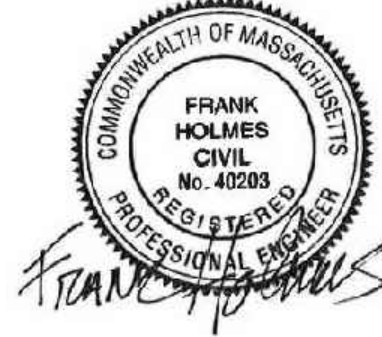
PREPARED FOR:



UNION SQUARE RLP
MASTER DEVELOPER LLC (US2)
31 UNION SQUARE
SOMERVILLE, MA 02143

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DSPP - THOROUGHFARE PLAN SET

Issued/Revision

Title

THOROUGHFARE PLANS

NOTES, LEGEND, AND ABBREVIATIONS

Project No.
210801584/85

Scale
AS SHOWN

Drawing No.

TF-C001



Project:
UNION SQUARE - D2 PARCEL
SOMERVILLE, MA

PREPARED BY:
 Stantec
STANTEC
225 CAUSEWAY STREET, 6TH FLOOR
BOSTON, MA 02114

PREPARED FOR:
 USQ
UNION SQUARE RLP
MASTER DEVELOPER LLC (US2)
31 UNION SQUARE
SOMERVILLE, MA 02143

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DSFR - THOROUGHFARE PLAN SET	JEL	FH	2019.02.13
Issued/Revision	By	Appd	YYYY.MM.DD
Title			
THOROUGHFARE PLANS			
MATERIALS PLAN			

Project No. 210801584/85	Scale AS SHOWN
	Drawing No.

TF-C200

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Plotted: 1/28/2019 10:00:00 AM
Plotter: HP DesignJet T1100e
Plot Scale: 1/8"=1'-0"



Project:
UNION SQUARE - D2 PARCEL
SOMERVILLE, MA

PREPARED BY:

STANTEC
 225 CAUSEWAY STREET, 6TH FLOOR
 BOSTON, MA 02114

PREPARED FOR:

UNION SQUARE RLP
 MASTER DEVELOPER LLC (US2)
 31 UNION SQUARE
 SOMERVILLE, MA 02143

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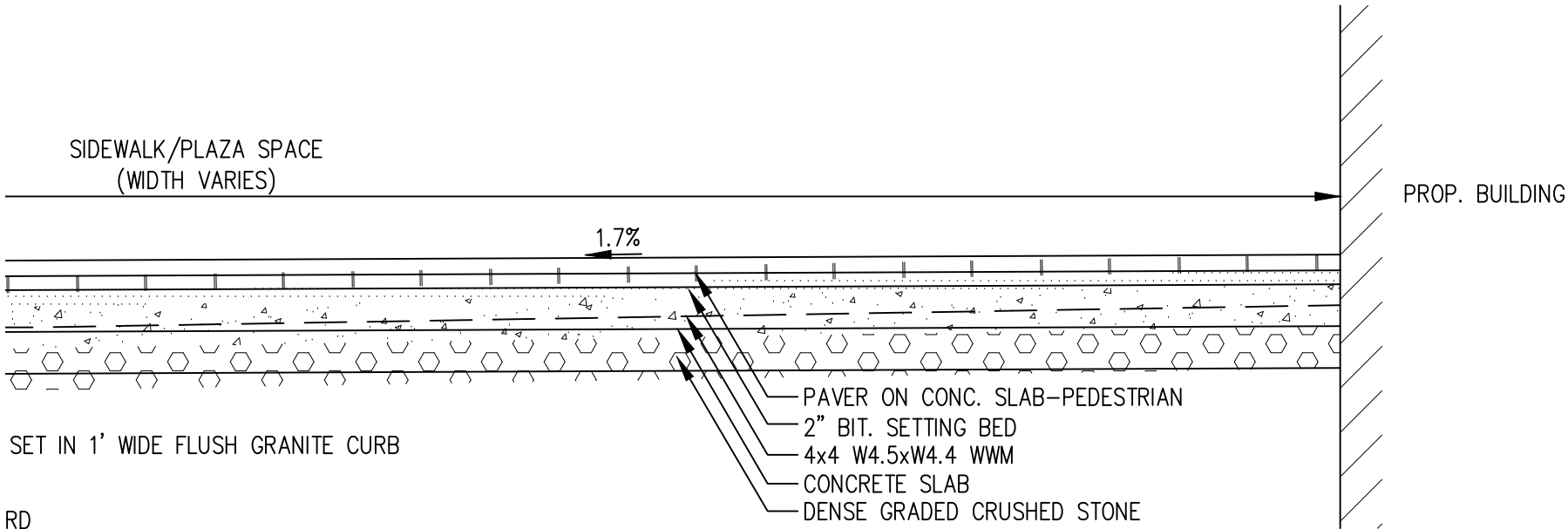
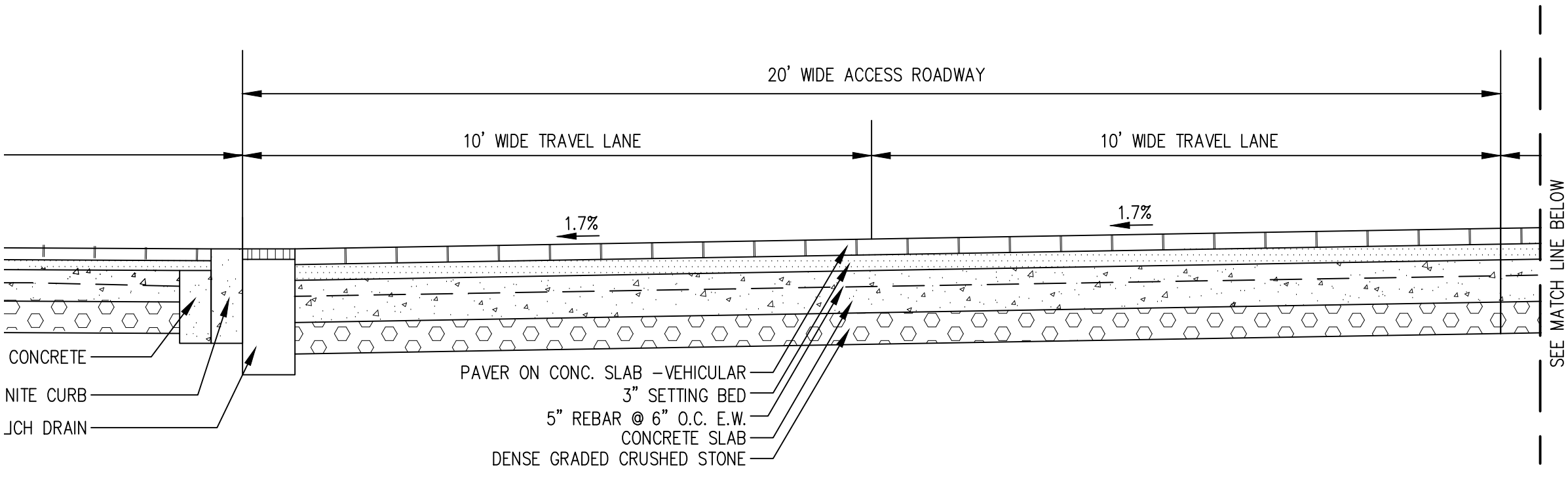
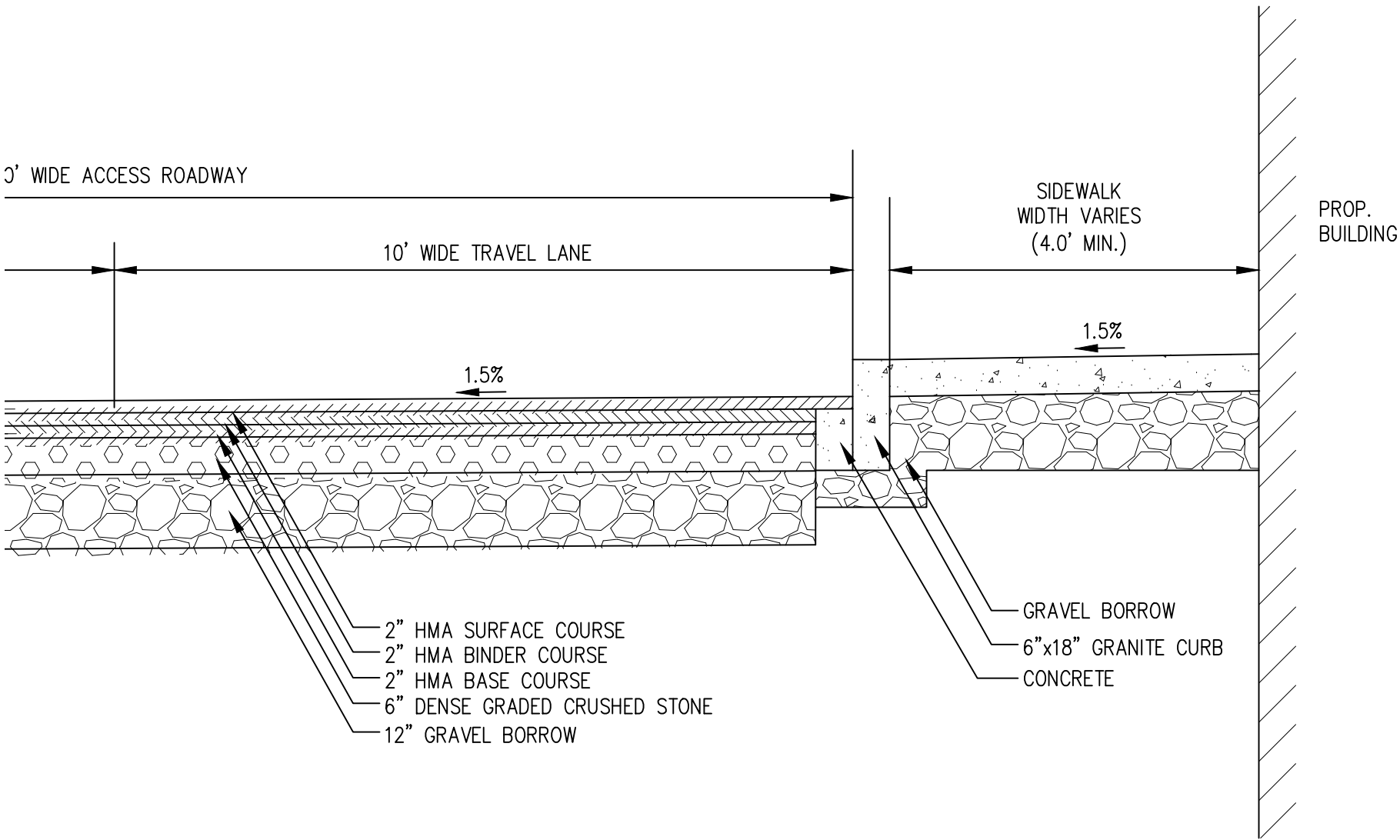


DSPP - THOROUGHFARE PLAN SET	JEL	FH	2019.02.13
Issued/Revision	By	Appd	YYYY.MM.DD

Title
 THOROUGHFARE PLANS
 PAVEMENT MARKING AND SIGNAGE PLAN

Project No. 210801584/85	Scale AS SHOWN
Drawing No.	

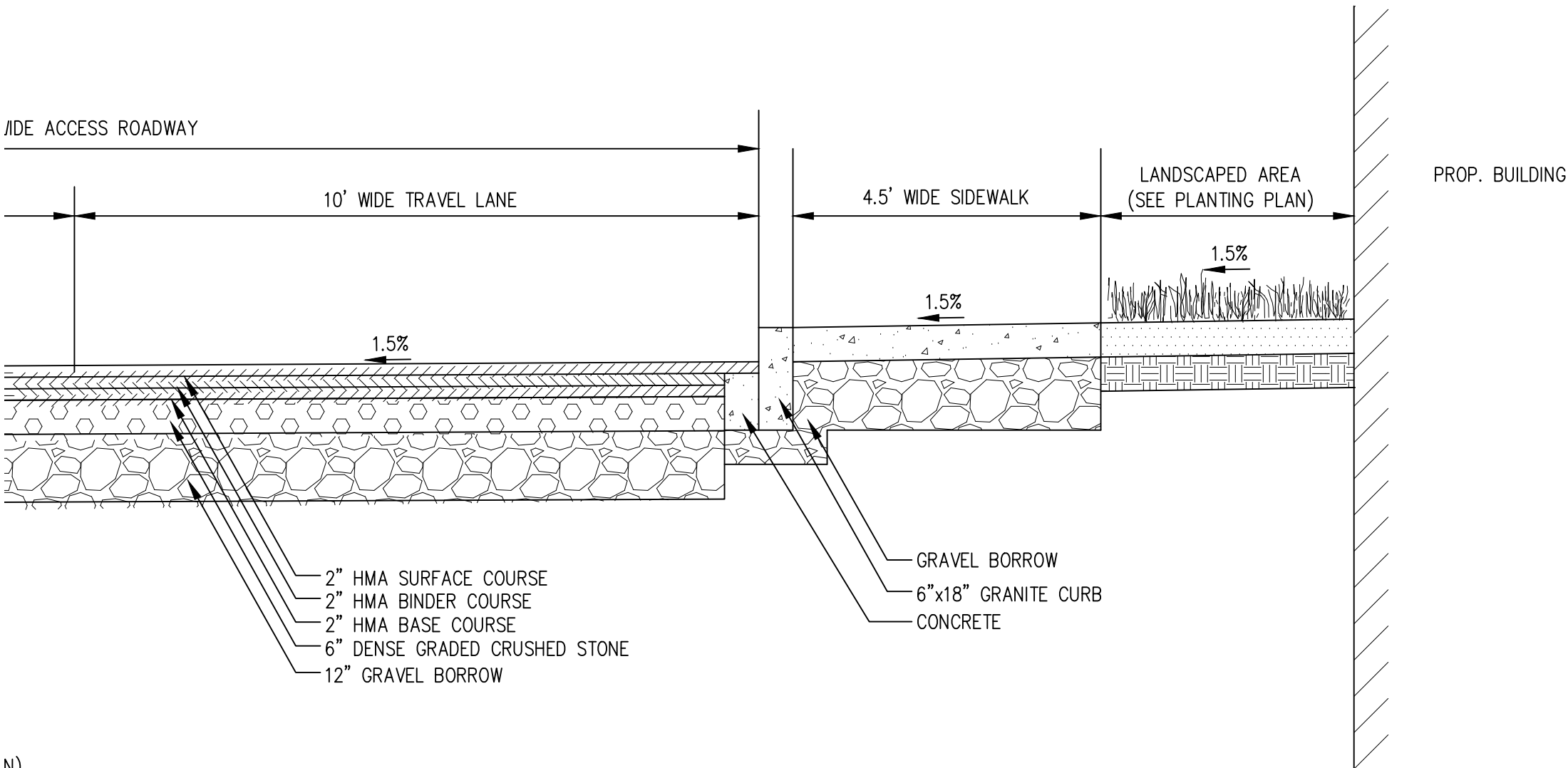
TF-C300



RD


FOUNDATION 12"Dx40"H

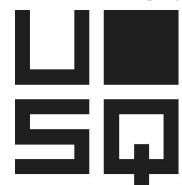
GRADED CRUSHED STONE



N)

Project:
UNION SQUARE - D2 PARCEL
SOMERVILLE, MA

PREPARED BY:
**Stantec**
STANTEC
225 CAUSEWAY STREET, 6TH FLOOR
BOSTON, MA 02114

PREPARED FOR:
**USQ**
UNION SQUARE RLP
MASTER DEVELOPER LLC (US2)
31 UNION SQUARE
SOMERVILLE, MA 02143

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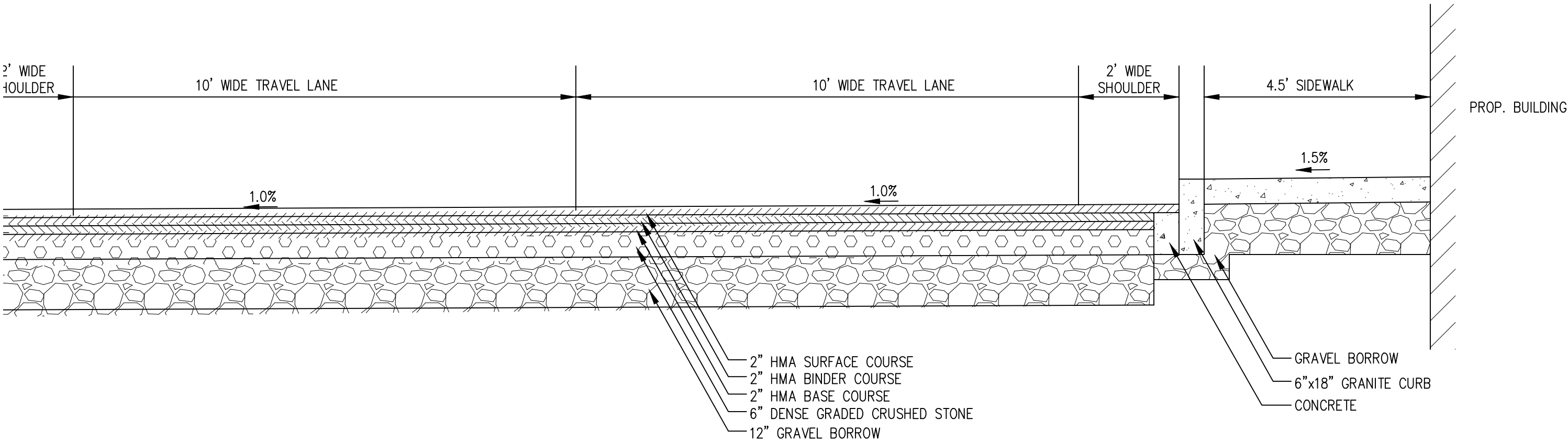


DSFR - THOROUGHFARE PLAN SET	JEL	FH	2019.02.13
Issued/Revision	By	Appd	YYYY.MM.DD

Title
THOROUGHFARE PLANS
THOROUGHFARE CROSS SECTIONS 1

Project No. 210801584/85	Scale AS SHOWN
Drawing No.	


TF-C400



Project:


UNION SQUARE - D2 PARCEL
SOMERVILLE, MA

PREPARED BY:

Stantec

STANTEC
225 CAUSEWAY STREET, 6TH FLOOR
BOSTON, MA 02114

PREPARED FOR:

USQ

UNION SQUARE RELP
MASTER DEVELOPER LLC (US2)
31 UNION SQUARE
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Title
THOROUGHFARE PLANS
THOROUGHFARE CROSS SECTIONS 2

Project No. 210801584/85	Scale AS SHOWN
Drawing No.	


TF-C401



Project:

UNION SQUARE - D2 PARCEL
SOMERVILLE, MA


PREPARED BY:



Stantec

STANTEC
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PREPARED FOR:



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MASTER DEVELOPER LLC (US2)
31 UNION SQUARE
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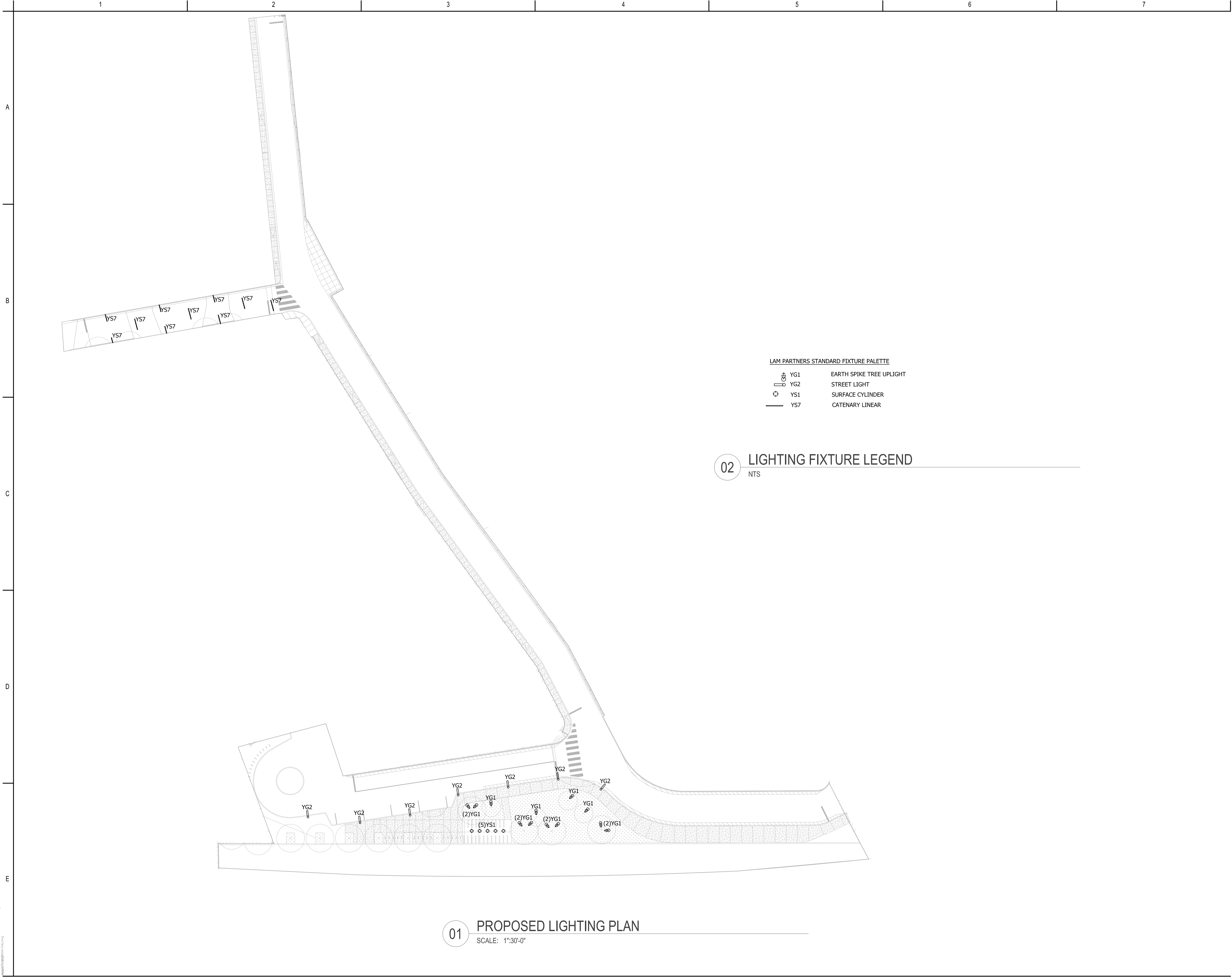


DSPPR - THOROUGHFARE PLAN SET	JEL	FH	2019.02.13
Issued/Revision	By	Appd	YYYY.MM.DD

Title
THOROUGHFARE PLANS
UTILITY PLAN

Project No. 210801584/85	Scale AS SHOWN
Drawing No.	

TF-C600



Project:

UNION SQUARE - D2 PARCEL
SOMERVILLE, MA

PREPARED BY:



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BOSTON, MA 02114

PREPARED FOR:



UNION SQUARE RELP
MASTER DEVELOPER LLC (US2)
31 UNION SQUARE
SOMERVILLE, MA 02143

Lam Partners
ARCHITECTURAL LIGHTING DESIGN

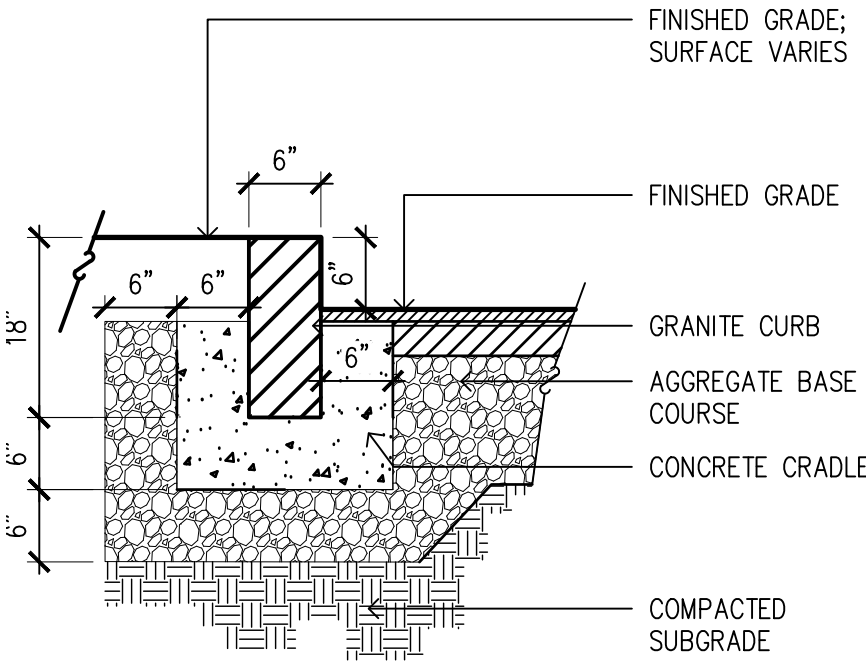
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Issued/Revision	By	Appd	YYYY.MM.DD
Title			
THOROUGHFARE PLANS			
PROPOSED LIGHTING PLAN			

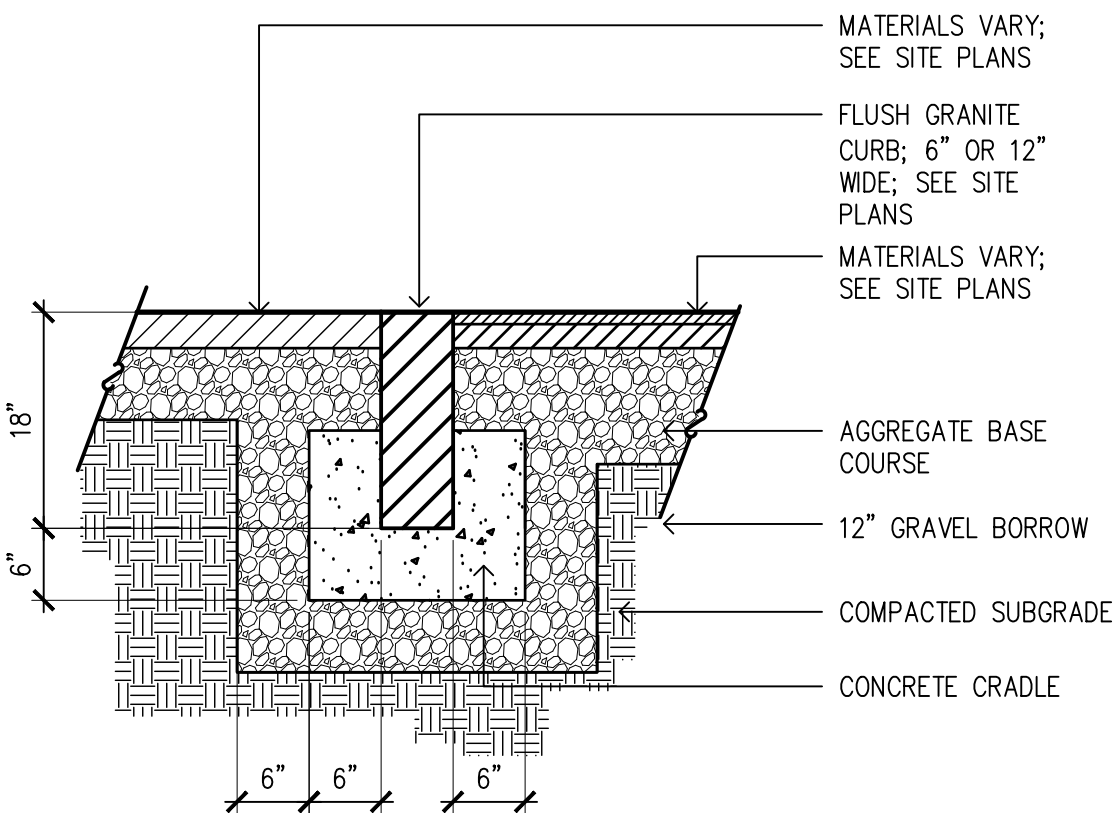
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	Drawing No.

TF-C700



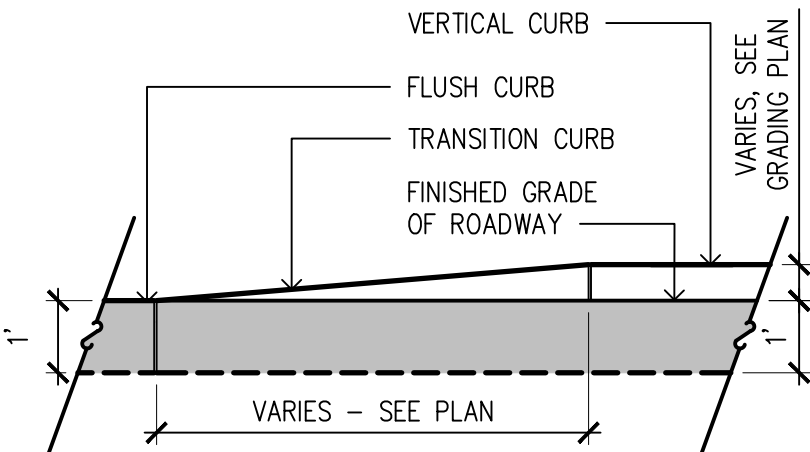
VERTICAL GRANITE CURB

SCALE: NTS



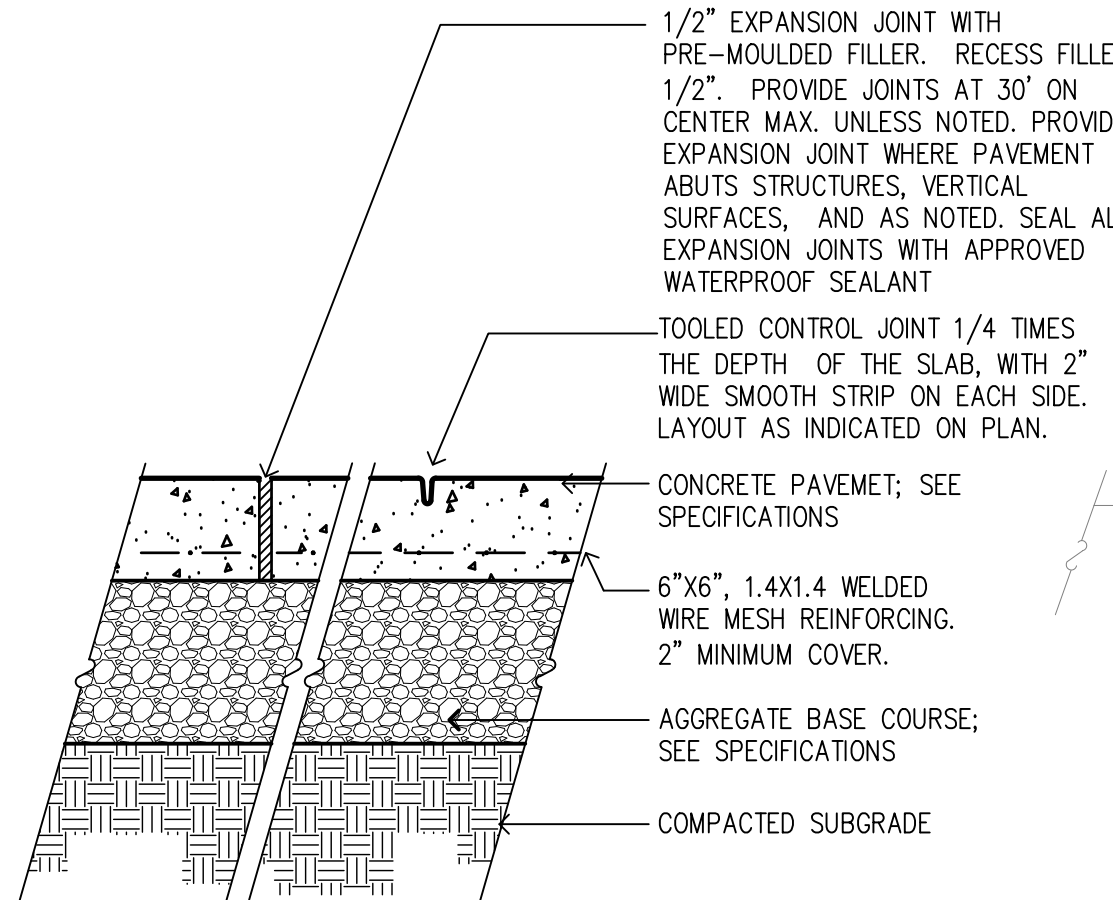
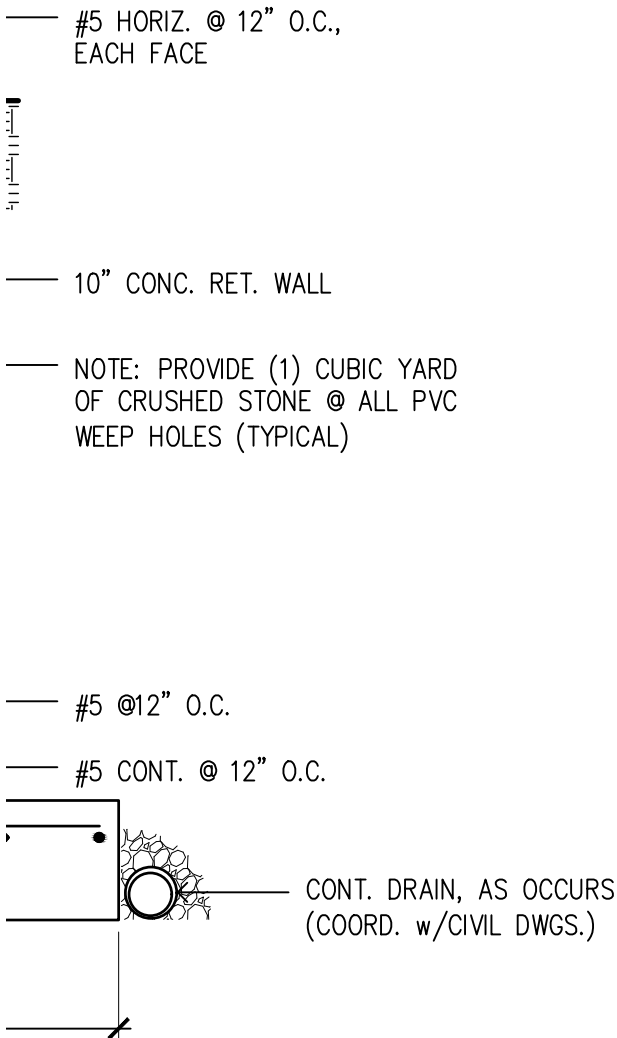
FLUSH GRANITE CURB

SCALE: NTS



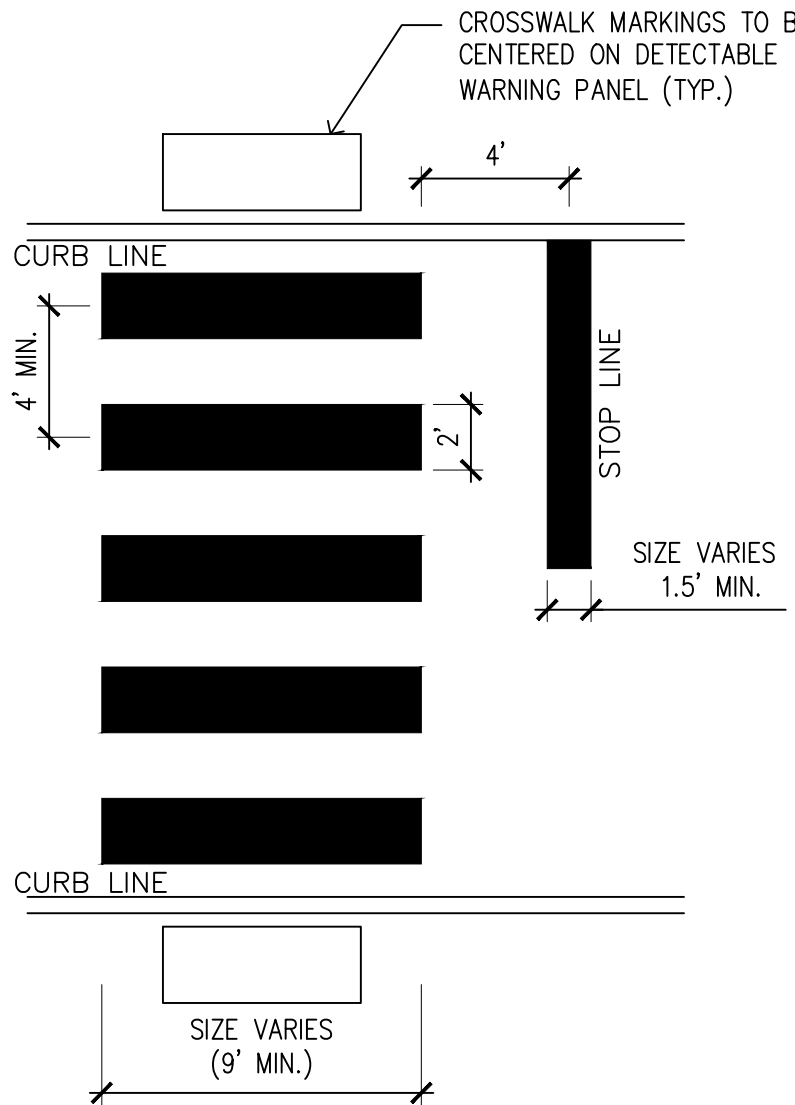
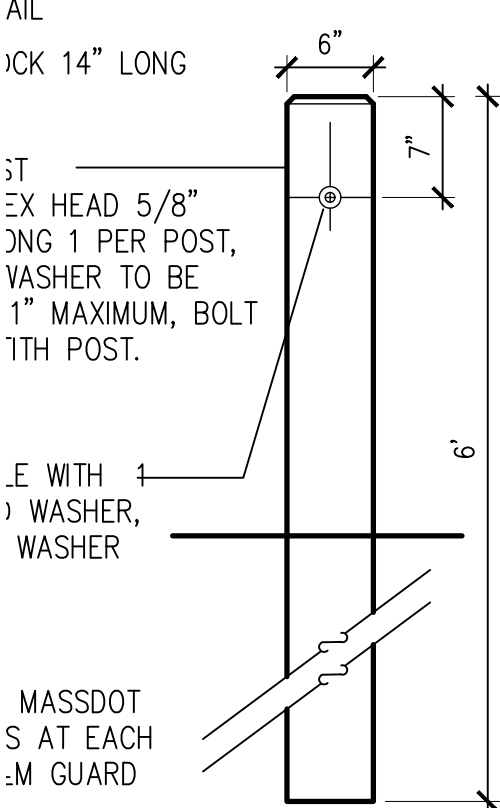
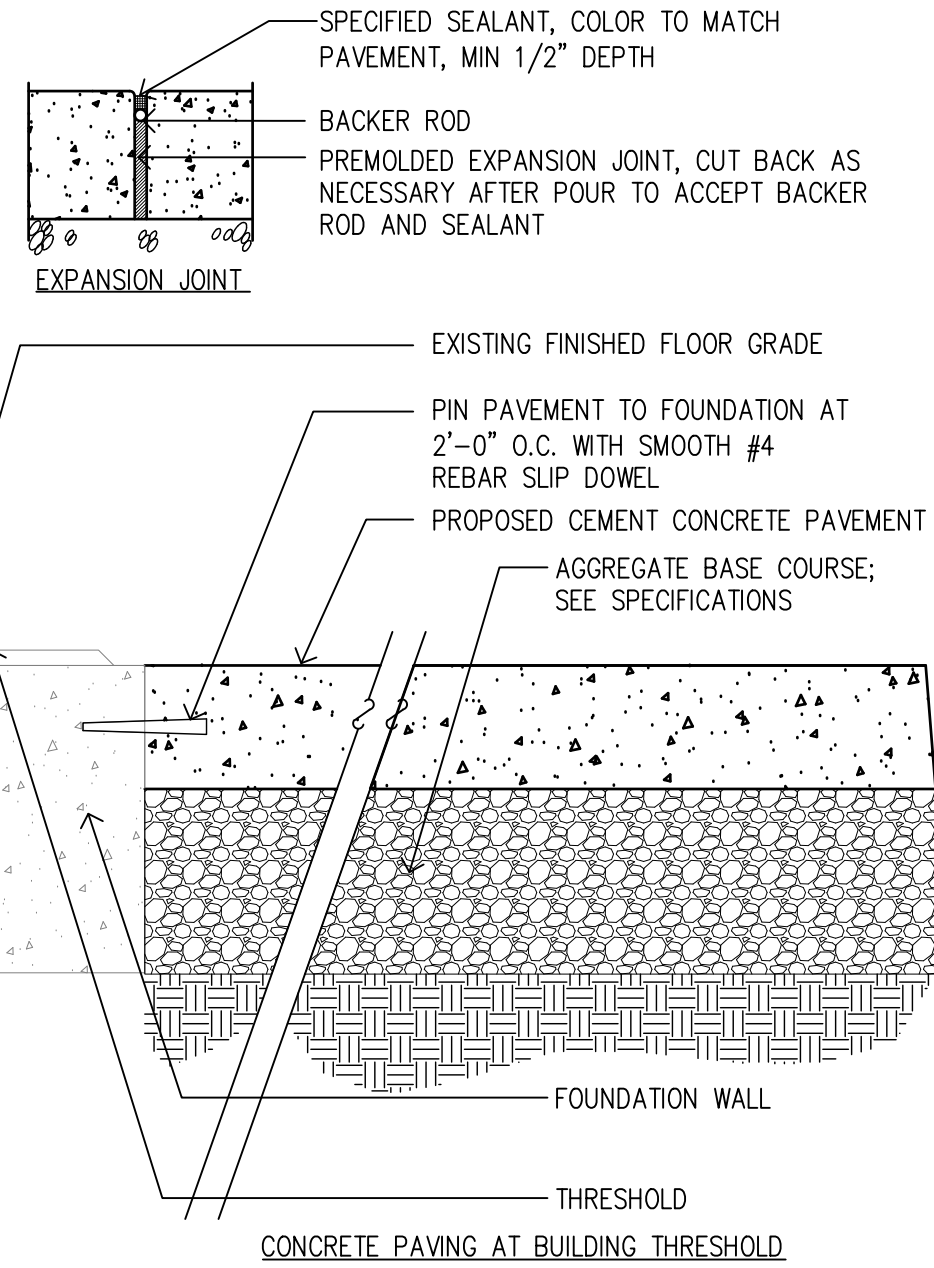
TRANSITIONAL CURB

SCALE: NTS



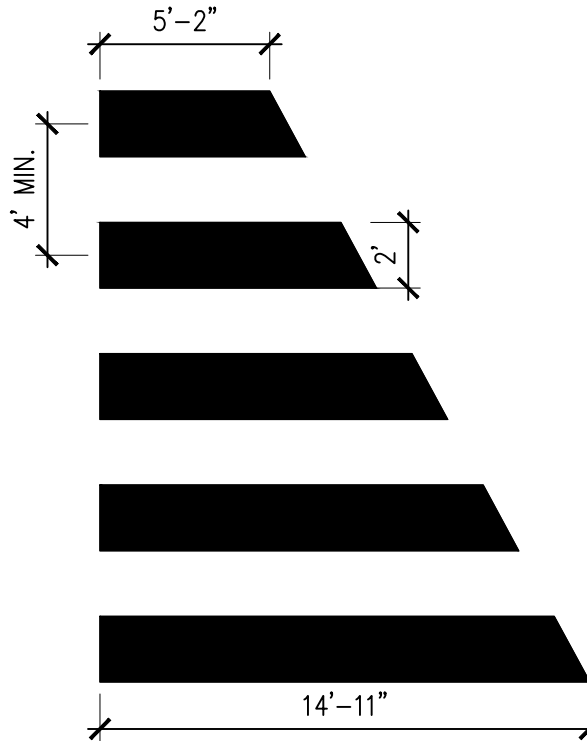
CONCRETE PAVING

SCALE: NTS



CROSSWALK

SCALE: NTS



- NOTES:
- ALL 12" THERMOPLASTIC LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO - 6" LINES) WILL BE ACCEPTED.
 - LAYOUT OF CROSSWALKS SHALL BE APPROVED BY THE SOMERVILLE TRANSPORTATION AND INFRASTRUCTURE DIVISION PRIOR TO APPLICATION OF THERMOPLASTIC.
 - ALL CROSSWALKS INSTALLED SHALL CONFORM TO THE RELEVANT PROVISIONS OF THE MASSACHUSETTS HIGHWAY DEPARTMENT "STANDARD SPECIFICATION FOR HIGHWAY AND BRIDGES" DATED 1988, SECTION 860 FOR REFLECTORIZED LINES (THERMO-PLASTIC) & MATERIAL M7.01.20, LATEST REVISIONS.

Project:
UNION SQUARE - D2 PARCEL
SOMERVILLE, MA

PREPARED BY:
Stantec
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225 CAUSEWAY STREET, 6TH FLOOR
BOSTON, MA 02114

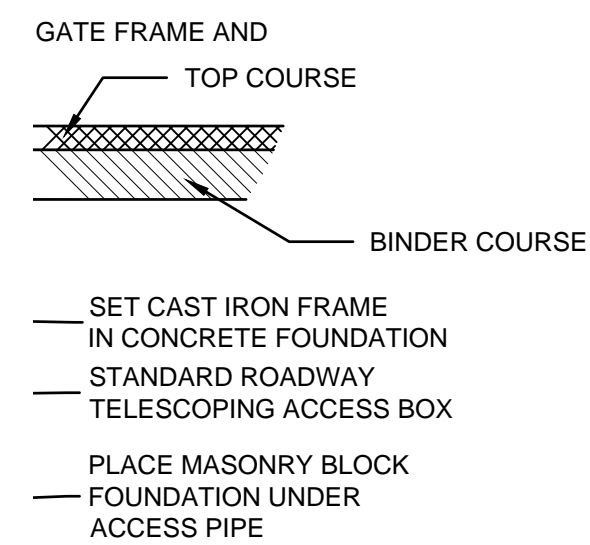
PREPARED FOR:
USQ
UNION SQUARE RLP
MASTER DEVELOPER LLC (US2)
31 UNION SQUARE
SOMERVILLE, MA 02143

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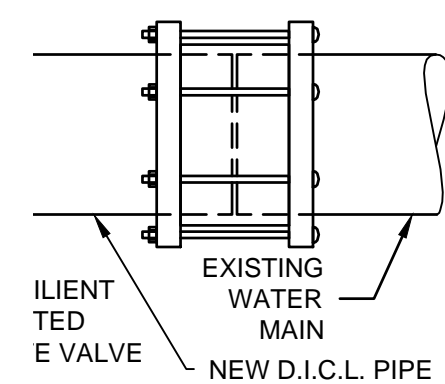
FRANK HOLMES
CIVIL
No. 40203
PROFESSIONAL ENGINEER
COMMONWEALTH OF MASSACHUSETTS

DSPPR - THOROUGHFARE PLAN SET	JEL	FH	2019.02.13
Issued/Revision	By	Appd	YYYY.MM.DD
Title	THOROUGHFARE PLANS		
SITE DETAILS			
Project No.	210801584/85		
Scale	AS SHOWN		
Drawing No.	TF-C800		

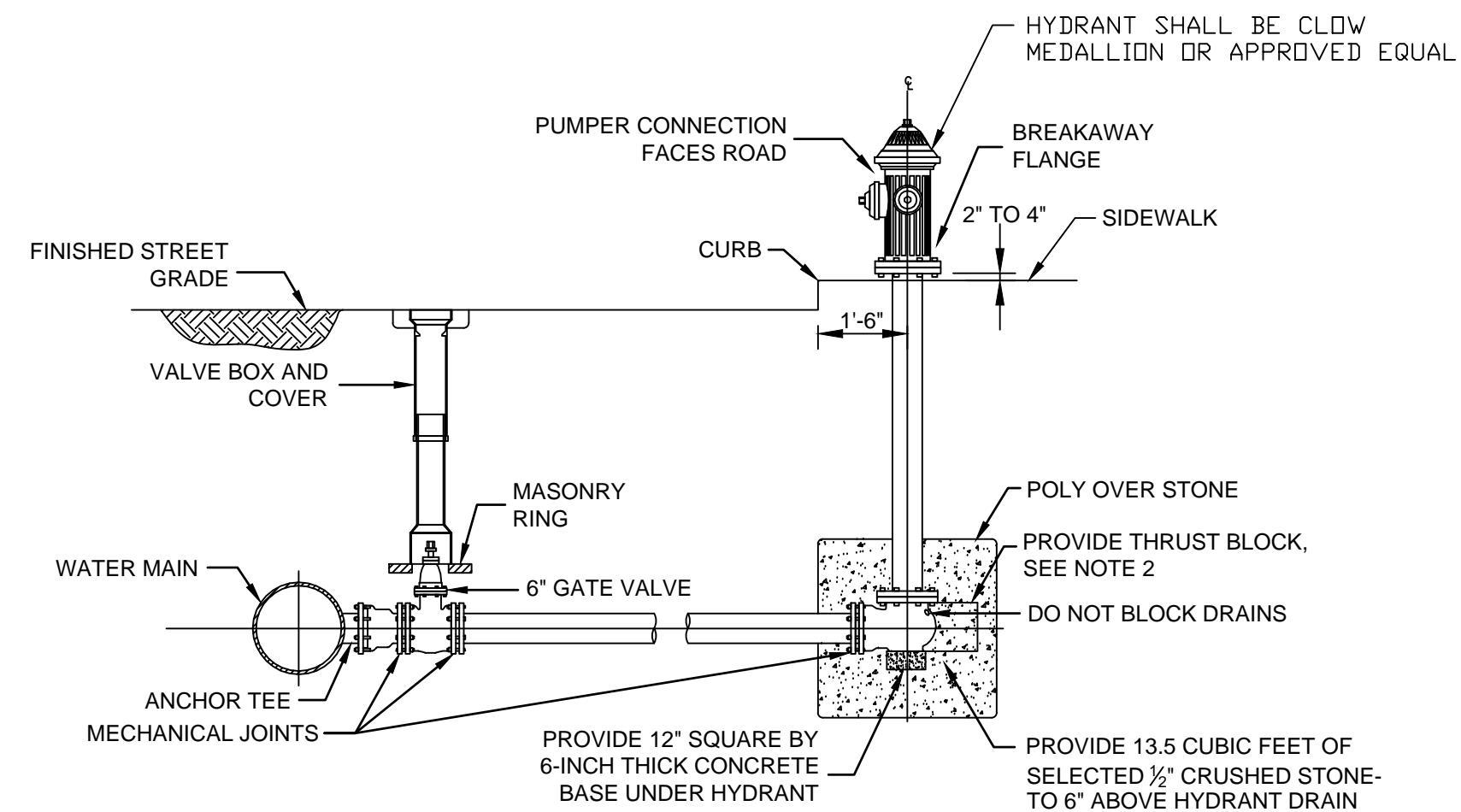


NOTES:

1. FOR PROPOSED CONNECTIONS TO EXISTING CAST IRON WATER MAIN REFER TO RESTRAINED CONNECTION TO EXISTING CAST IRON WATER MAINS DETAIL.
2. REFER TO REQUIRED RESTRAINED LENGTHS IN CONTRACT DOCUMENTS.



SOMERVILLE



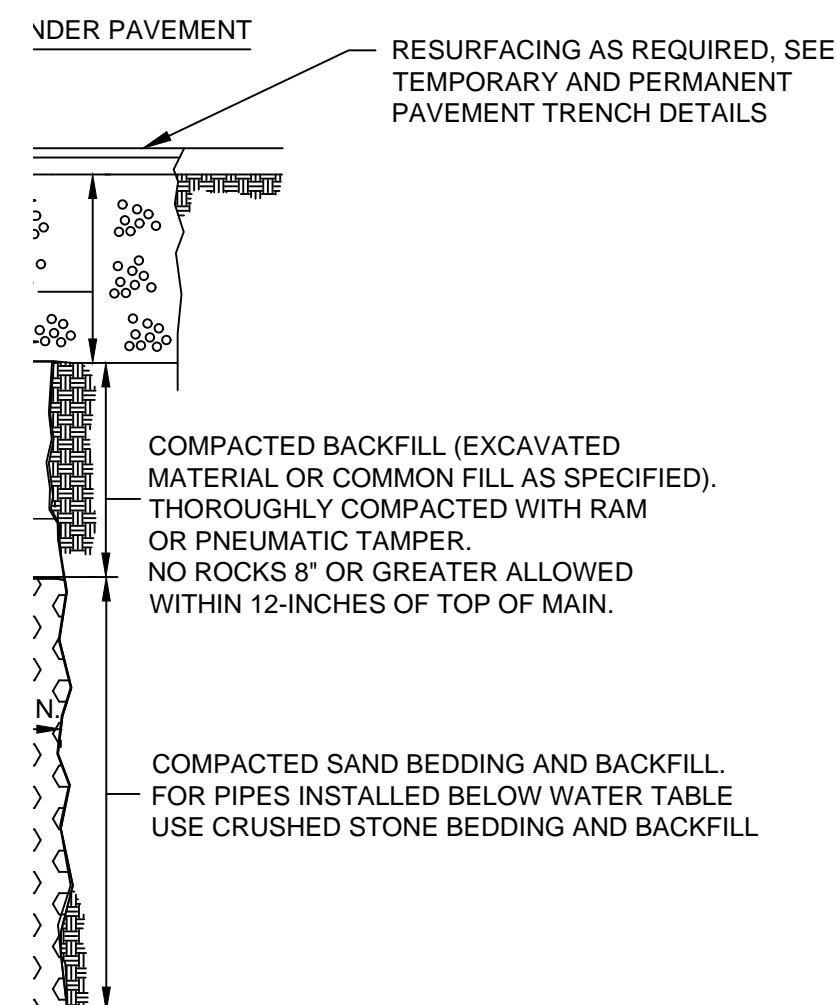
NOTES:

1. PROVIDE HYDRANT, VALVE AND TEE JOINTS WITH RESTRAINED MECHANICAL JOINTS
2. THRUST BLOCK SHALL HAVE MINIMUM BEARING AREA OF 1.5 FEET BY 1.5 FEET

② HYDRANT SETTING WITH GATE VALVE

SCALE: NTS

SOMERVILLE



; DISCRETION.

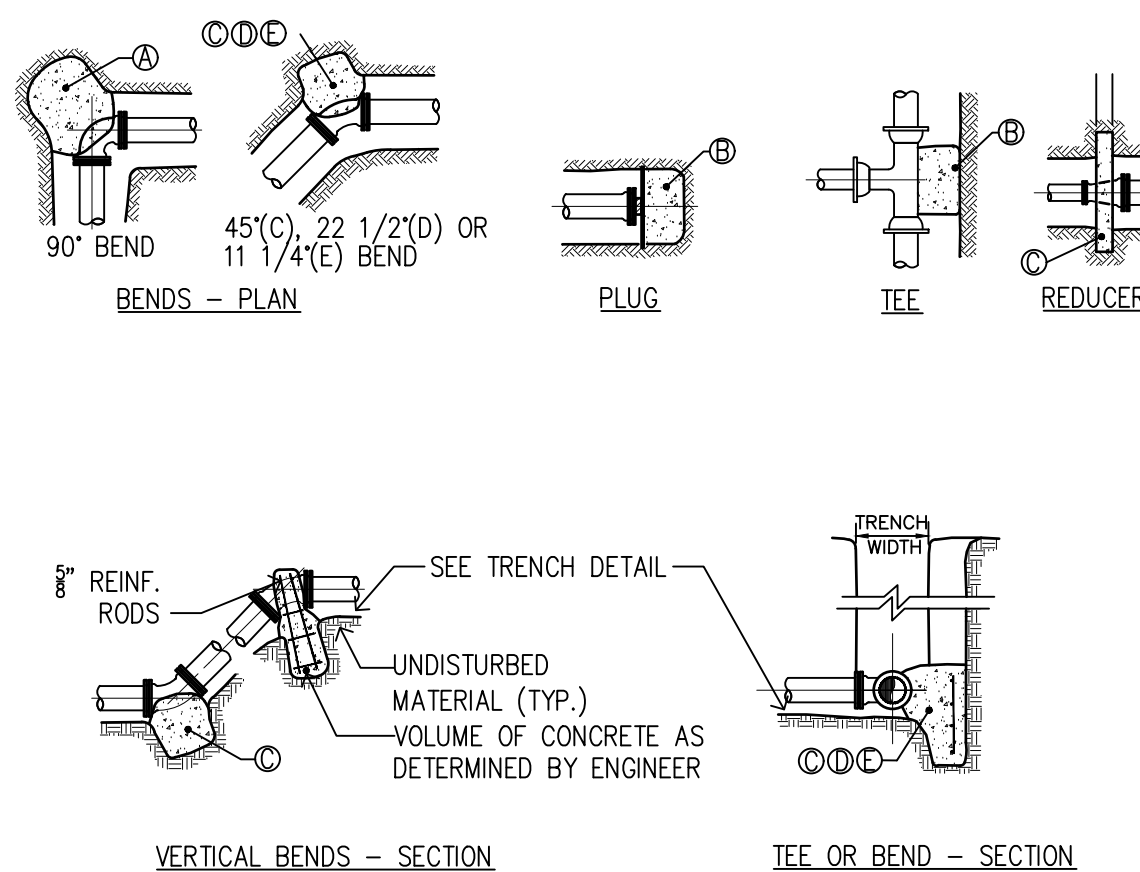
BEDDING SHALL BE MINIMUM OF 12" THICK UNDER PIPE.

DENSITY.

SOMERVILLE

④ THRUST BLOCK

SCALE: NTS



THRUST BLOCK SCHEDULE					
SQUARE FEET OF CONCRETE THRUST BLOCKING BEARING ON UNDISTURBED MATERIAL					
TYPE REACTION	PIPE SIZE				
	4"	6"	8"	10"	12"
(A)	1.78	4.38	7.84	11.14	16.52
(B)	1.30	3.10	5.52	8.38	12.18
(C)	0.96	2.38	4.24	6.02	9.32
(D)	0.50	1.2	2.16	3.08	4.74
(E)	0.26	0.60	1.08	1.54	2.38
OTHER TEST PRESSURES FOR THE ABOVE REACTIONS	ABOVE DIMENSIONS ARE MINIMUM THRUST BLOCK SIZES. THEY HAVE BEEN CALCULATED USING A PRESSURE OF 200 PSI.				
	TEST PRESSURE TO BE 150 PSI MIN. OR AS REQUIRED BY THE CITY OF SOMERVILLE.				
	SQUARE FEET OF CONCRETE THRUST BLOCKING FOR OTHER TEST PRESSURES IS DIRECTLY PROPORTIONAL TO THE ABOVE TABLE. AS AN INSTANCE, AT 225 PSI TEST PRESSURE ABOVE NUMBERS SHOULD BE MULTIPLIED BY 1.125 (225 PSI/200 PSI=1.125).				

Project:

UNION SQUARE - D2 PARCEL
SOMERVILLE, MA

PREPARED BY:



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PREPARED FOR:



UNION SQUARE RELP
MASTER DEVELOPER LLC (US2)
31 UNION SQUARE
SOMERVILLE, MA 02143

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DSPR - THOROUGHFARE PLAN SET

Issued/Revision

Title

THOROUGHFARE PLANS

UTILITY DETAILS 1

Project No.
210801584/85

Scale
AS SHOWN

Drawing No.

TF-C900

TABLE 1 : MANHOLE/CATCH BASIN DIMENSIONS				
MANHOLE/CATCH BASIN DIAMETER	SIDE WALL MIN. THICKNESS	BOTTOM SLAB MIN. THICKNESS	MAX PIPE RCP DI/PVC	DIAMETER *
4'	5"	6"	24"	30"
5'	6"	8"	36"	42"
6'	6"	8"	48"	54"
8'	8"	8"	66"	72"
10'	10"	10"	72"	84"

NERAL MANHOLE NOTES:

INNER EDGE OF BRICK TABLE TO BE AT ELEVATION OF CROWN OF TOP OF PIPE. TABLE TO SLOPE AT 8.3% TO INSIDE OF MANHOLE BASE.

SEWER OR DRAIN MANHOLE DIAMETER SHALL BE 4', 5', 6', 8', OR 10' AS SHOWN ON PLAN/PROFILE VIEWS.

DESIGN PRECAST SECTIONS WITH FRAME AND COVER FOR AASHTO H20 LOADINGS.

FOR DESCRIPTION OF MATERIALS, SEE SPECIFICATIONS.

OPENING IN TOP MANHOLE SECTION SHALL MATCH CASTING NOMINAL DIAMETER.

MANHOLES LARGER THAN 4' IN DIAMETER AT THE BASE SHALL BE REDUCED IN DIAMETER TO 4' AT TOP RISER SECTION

GENERAL CATCH BASIN NOTES:

- FACE OF PIPE SHALL NOT PROJECT MORE THAN 4-INCHES FROM FACE OF WALL ALONG CENTERLINE OF PIPE.
- FOR DESCRIPTION OF MATERIAL AND CONSTRUCTION METHODS, SEE SPECIFICATIONS.
- DESIGN PRECAST SECTIONS WITH FRAME AND GRATE FOR AASHTO H20 LOADING.
- GRATE OPENING CAN BE CENTERED OR OFFSET PERPENDICULAR TO THE CURB.

MAY VARY DEPENDING ON SIZE AND LOCATION OF ADDITIONAL PENETRATIONS OR RELATIONSHIP OF PENETRATIONS IN MANHOLE

POWER SEAL INTERLOCKED INSIDE OF GASKET. (ACID RESISTANT-STAINLESS STEEL TYPE 304)

TAKE UP CLAMPS. (ACID RESISTANT-STAINLESS STEEL TYPE 304)
(1 CLAMP ON 12" PIPE AND SMALLER)
(2 CLAMPS ON 15" PIPE AND LARGER)

NON-SHRINK HYDRAULIC GROUT

FLEXIBLE "SEAL BOOT" RESILIENT CONNECTOR IN ACCORDANCE WITH ASTM C923.

PRECAST CONCRETE MANHOLE

FLEXIBLE SLEEVE CONNECTION NOTES:

- PRECAST OPENING OR CORE DRILLED INTO EXISTING STRUCTURE. SIZE VARIES TO ACCOMMODATE EXTENSION BONNET FLANGE DIAMETER OR PIPE.
- IF PRECAST OPENING, CONTRACTOR TO COORDINATE WITH PRECASTER TO CAST SLEEVES INTO THE MANHOLE WALL.

DRAIN MANHOLE GENERAL NOTES

SCALE: NTS

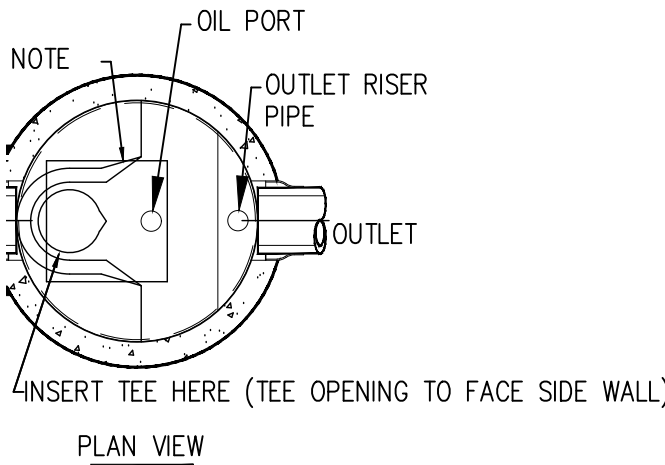
SOMERVILLE

MANHOLE FLEXIBLE SLEEVE

SCALE: NTS

SOMERVILLE

J



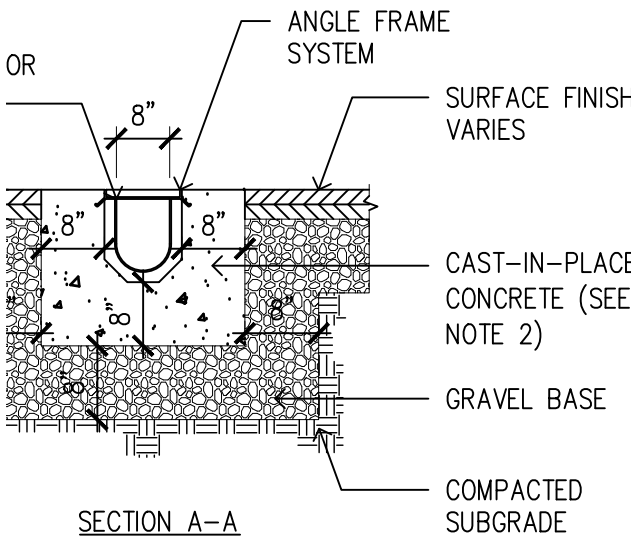
USE OF FLEXIBLE CONNECTION IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
COVER SHOULD BE POSITIONED OVER THE OUTLET DROP PIPE AND OIL PORT.
STORMCEPTOR SYSTEM IS PROTECTED BY ONE OF MORE OF THE FOLLOWING U.S. PATENTS: #5753115, #5849181, #6068765, #6371690, #72216, #7666303.
TACT A CONCRETE PIPE DIVISION REPRESENTATIVE FOR FURTHER DETAILS NOT LISTED ON THE DRAWING.

R 450i

UTILITY CROSSING

SCALE: NTS

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NOTES:

- TRENCH DRAIN SHALL BE HEAVY DUTY AND DESIGNED FOR HS-20 LOADING.
- CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
- TRENCH DRAIN GRATE SHALL MEET AMERICANS WITH DISABILITY (ADA) REGULATIONS.

Project:

UNION SQUARE - D2 PARCEL
SOMERVILLE, MA

PREPARED BY:



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225 CAUSEWAY STREET, 6TH FLOOR
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PREPARED FOR:



UNION SQUARE REMP
MASTER DEVELOPER LLC (US2)
31 UNION SQUARE
SOMERVILLE, MA 02143

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DSPPR - THOROUGHFARE PLAN SET
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Title
THOROUGHFARE PLANS
UTILITY DETAILS 2

Project No. 210801584/85
Scale AS SHOWN
Drawing No.

TF-C901

	SOIL TYPE		
	SILT OR CLAY	GRANULAR SOIL	
OR SIDEWALK			
SIDEWALK			
MENT	ABOVE GROUND	FILTER FABRIC	FILTER FABRIC
BASE	WATER	NOT REQUIRED	NOT REQUIRED
ISE	BELOW GROUND	FILTER FABRIC	FILTER FABRIC
SE	WATER	REQUIRED	NOT REQUIRED
± 1)			

COMMON FILL AND ON-SITE FILL
MATERIAL GEOTECHNICALLY
TABLE FOR REUSE ON-SITE AS
BACKFILL

	TRENCH PAY LIMIT TABLE FOR PIPES	
	PIPE SIZE (DIA.)	MAX. TRENCH WIDTH
CRUSHED	LESS THAN 2"	2'-0"
ONE BEDDING	2" TO 6"	3'-0"
	8" TO 22"	4'-0"
FTER FABRIC	24" & GREATER	I.D. + 2'-0"
E TABLE)		

I.D. = INSIDE DIAMETER

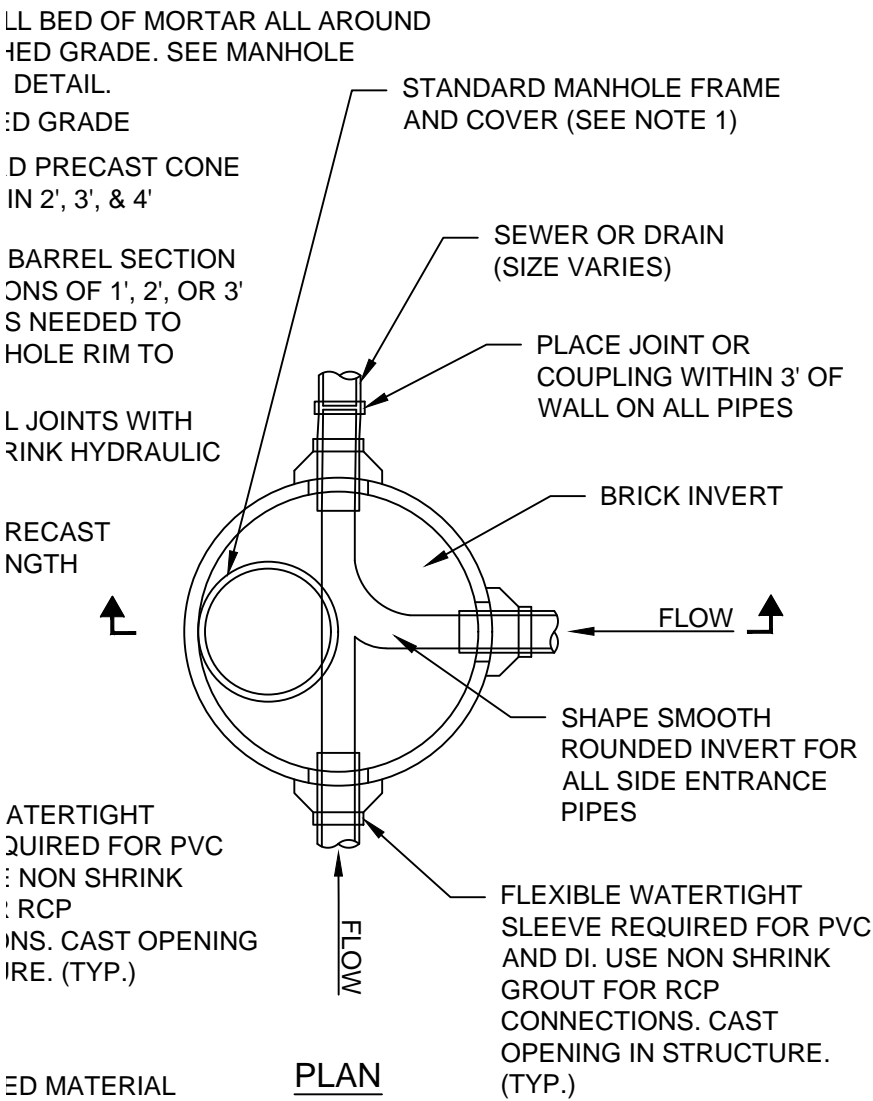
REQUIREMENTS.

IN WHICH PAY TRENCH WIDTH IS A VARIABLE FOR

SUPPORT OF EXCAVATION.

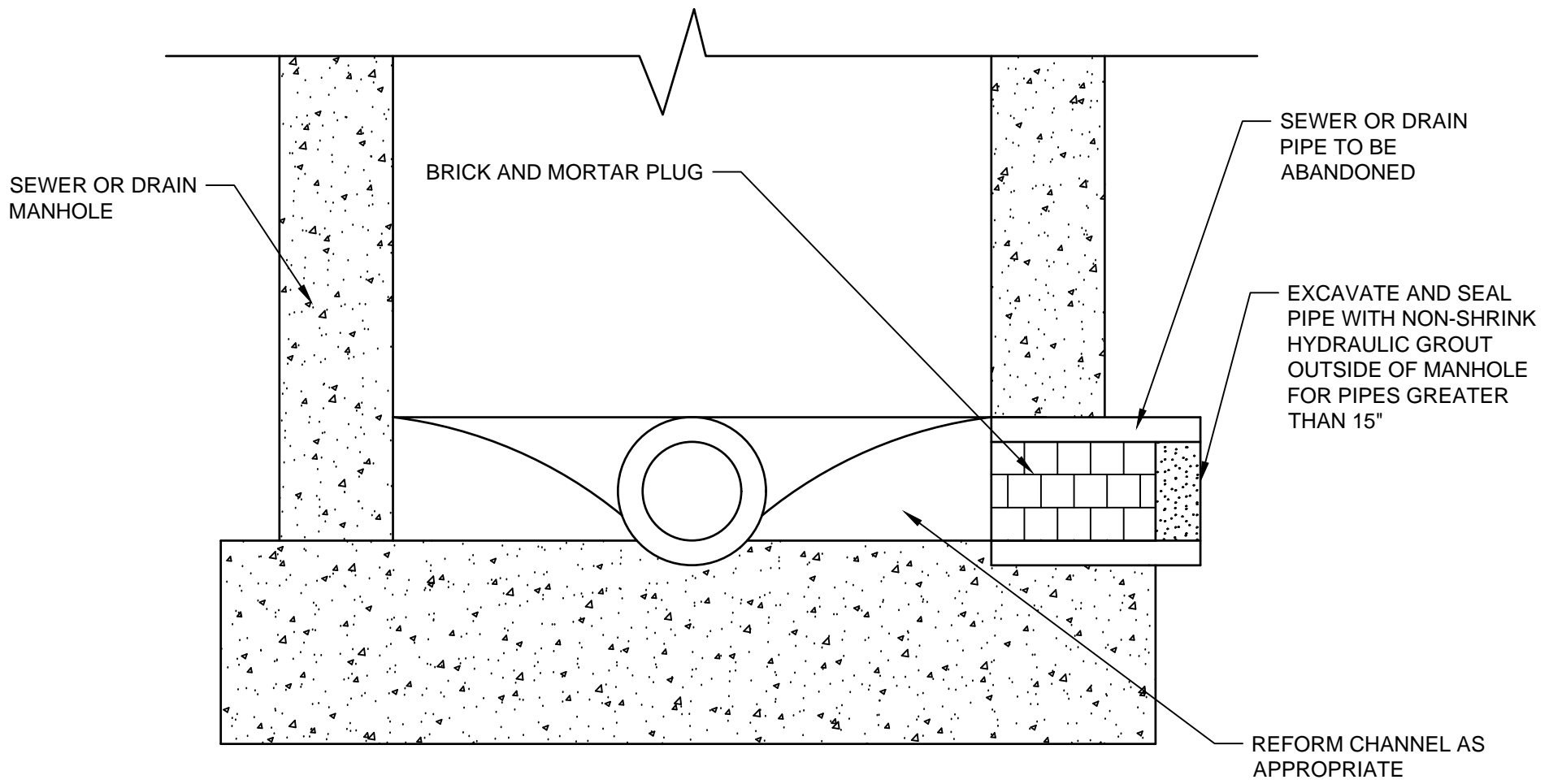
PIPES

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DETAIL FOR MANHOLE NOTES AND TABLE.

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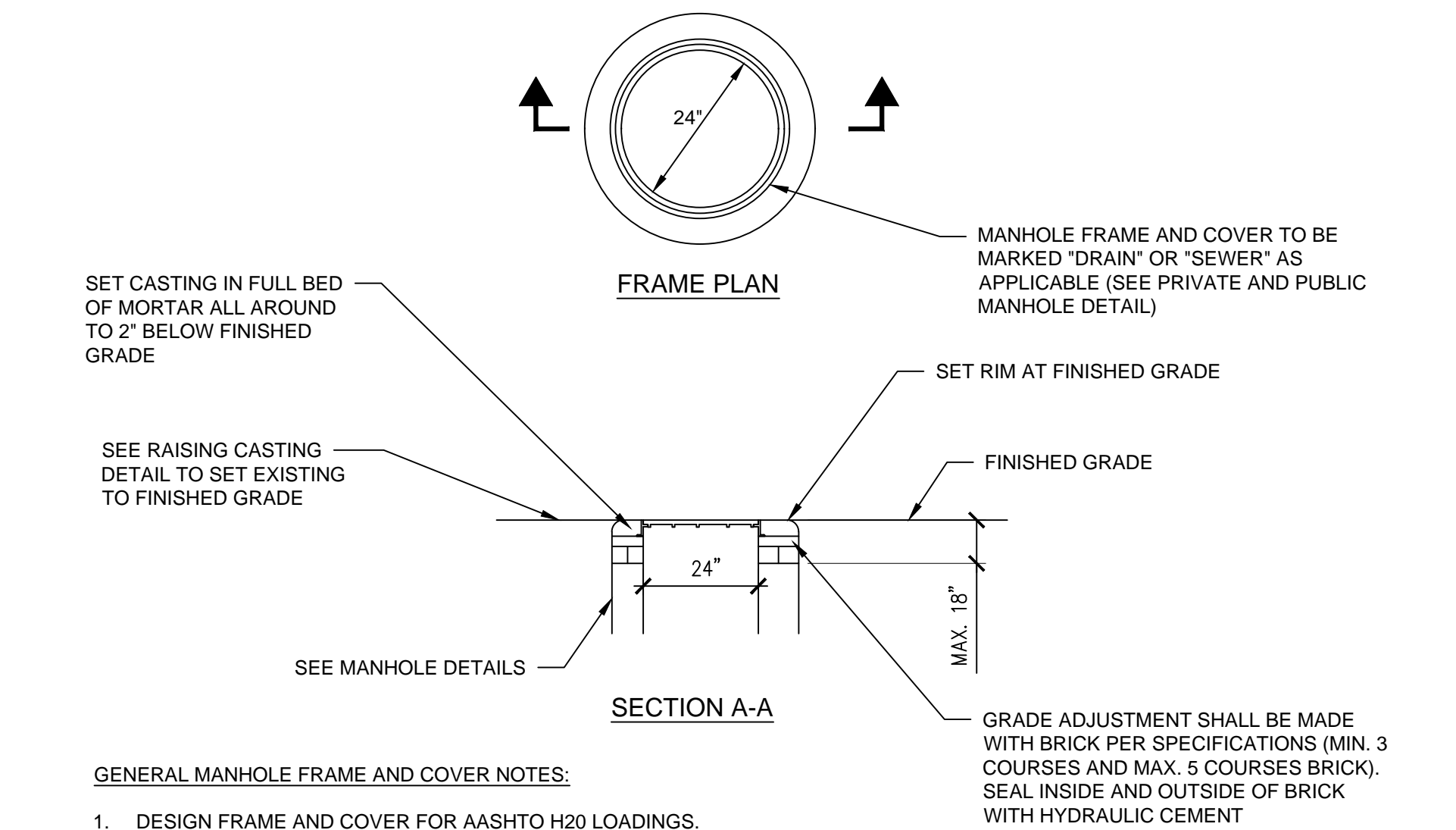
NOTE:

- REFER TO SPECIFICATIONS FOR FLOWFILL ABANDONMENT REQUIREMENTS FOR PIPES GREATER THAN 15" IN DIAMETER.

2 PLUG FOR ABANDONING SEWER OR DRAIN

SCALE: NTS

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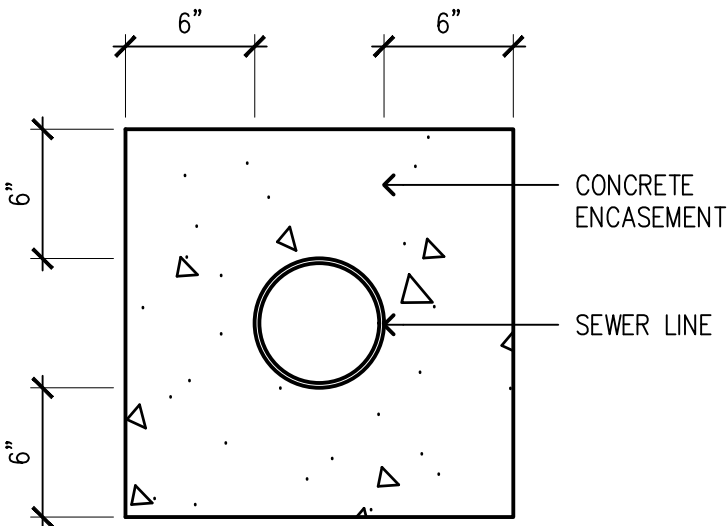
GENERAL MANHOLE FRAME AND COVER NOTES:

- DESIGN FRAME AND COVER FOR AASHTO H20 LOADINGS.
- SEE SPECIFICATIONS FOR MATERIAL DETAIL AND MANUFACTURER'S INFORMATION.

5 MANHOLE FRAME AND COVER

SCALE: NTS

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3 SEWER LINE ENCASEMENT

SCALE: NTS

Project:

UNION SQUARE - D2 PARCEL
SOMERVILLE, MA

PREPARED BY:



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225 CAUSEWAY STREET, 6TH FLOOR
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PREPARED FOR:



UNION SQUARE RLP
MASTER DEVELOPER LLC (US2)
31 UNION SQUARE
SOMERVILLE, MA 02143

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DSPR - THOROUGHFARE PLAN SET
Issued/Revision
Title
THOROUGHFARE PLANS
UTILITY DETAILS 3

By JEL
Appd FH
2019.02.13
YYYY.MM.DD

Project No.
210801584/85
Scale
AS SHOWN
Drawing No.

TF-C902



- Legend:
- Commercial Lobby
 - Residential Lobby
 - Retail/Active Use
 - MBTA
 - Parking/Back of House
 - Back of House
 - Circulation
 - Lot Boundaries

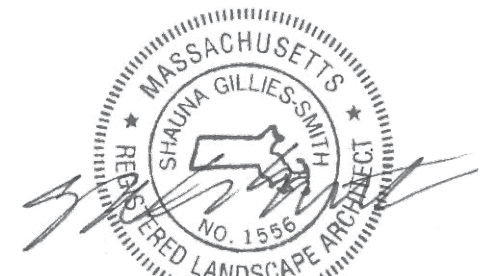
Project:
UNION SQUARE - D2 PARCEL
SOMERVILLE, MA

PREPARED BY:
Stantec
STANTEC
226 CAUSEWAY STREET, 6TH FLOOR
BOSTON, MA 02114

PREPARED FOR:
USQ
UNION SQUARE RLP
MASTER DEVELOPER LLC (US2)
31 UNION SQUARE
SOMERVILLE, MA 02143

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OVERALL ILLUSTRATIVE SITE PLAN			

Project No.	Scale
210801584/85	AS SHOWN
Drawing No.	
TF - L100	



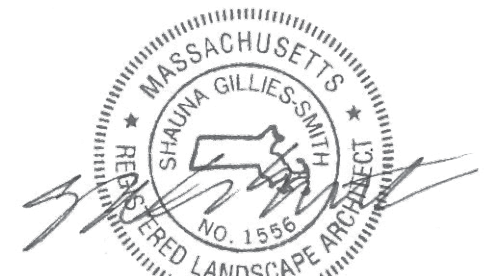
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ILLUSTRATIVE PLAN			


Project No. 210801584/85	Scale 1:30
Drawing No. TF - L101	



01 Planting Plan
Scale: 1"=70'-0"

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SOMERVILLE, MA

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PLANTING PLAN			

Project No.	Scale
210801584/85	1:30
Drawing No.	
TF - L102	

SHADE TREES - Shade Trees will be selected from the following list or similar



Blackgum
Nyssa sylvatica
fall color



Honey Locust
Gleditsia triacanthos



River Birch
Betula nigra



Red Maple
Acer Rubrum 'autmn blaze'



American Witch Hazel
Hamamelis virginiana or vernalis



Serviceberry
Amelanchier canadensis
'autumn brilliance'



Pagoda Dogwood
Cornus alternifolia



American Hornbeam
Carpinus caroliniana 'palisade'



Willow Oak
Quercus phellos



Sterling Silver Linden
Tilia tomentosa 'sterling'



Swamp White Oak
Quercus bicolor



Eastern White Pine
Pinus strobus 'fastigata'



Eastern White Pine
Juniperus virginiana



Magnolia Elizabeth
Magnolia x brooklynensis 'elizabeth'

SITE FURNISHING - Site furnishing will be selected from the following list or similar



BIKE RACKS, OR SIMILAR



BOLLARD, OR SIMILAR



BIKE CAGE, OR SIMILAR

UNDERSTORY TREES - Understory trees will be selected from the following list or similar

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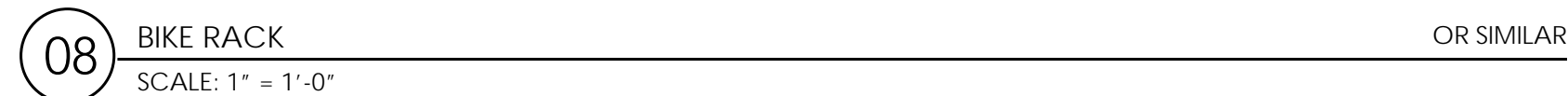
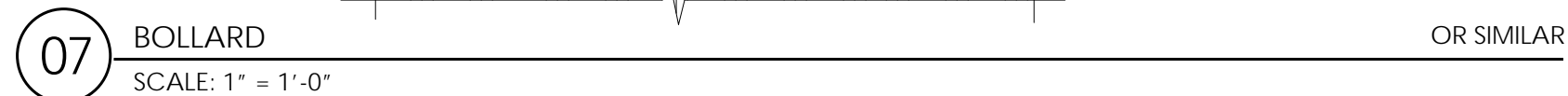
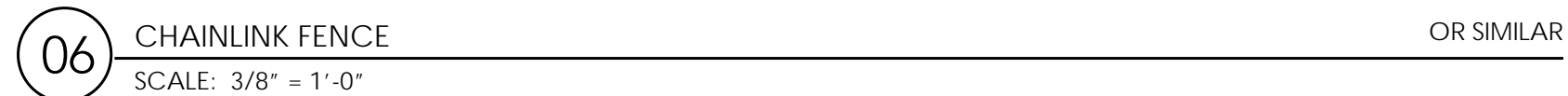
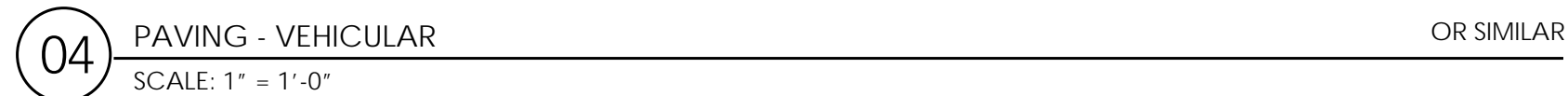
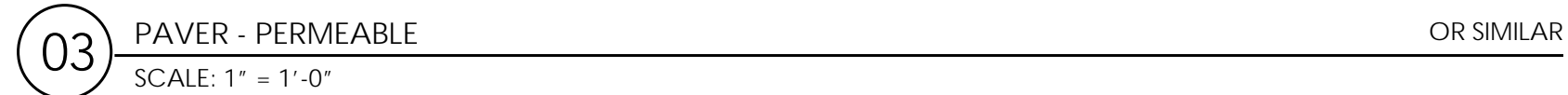
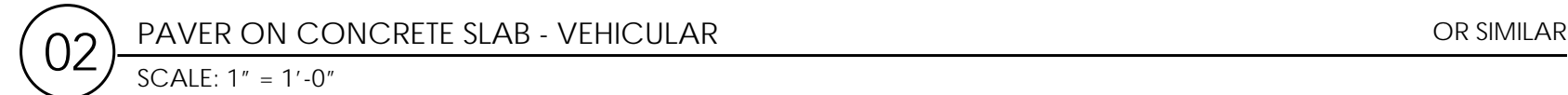
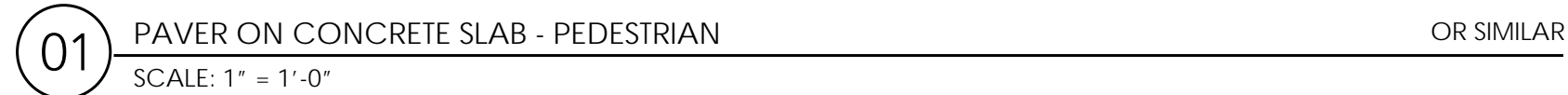
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PLANTING LIST AND FURNISHING LIST			

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Drawing No.	TF - L103



UNION SQUARE RELP
MASTER DEVELOPER LLC (US2)
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SOMERVILLE, MA 02143

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DETAILS

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TF - L104