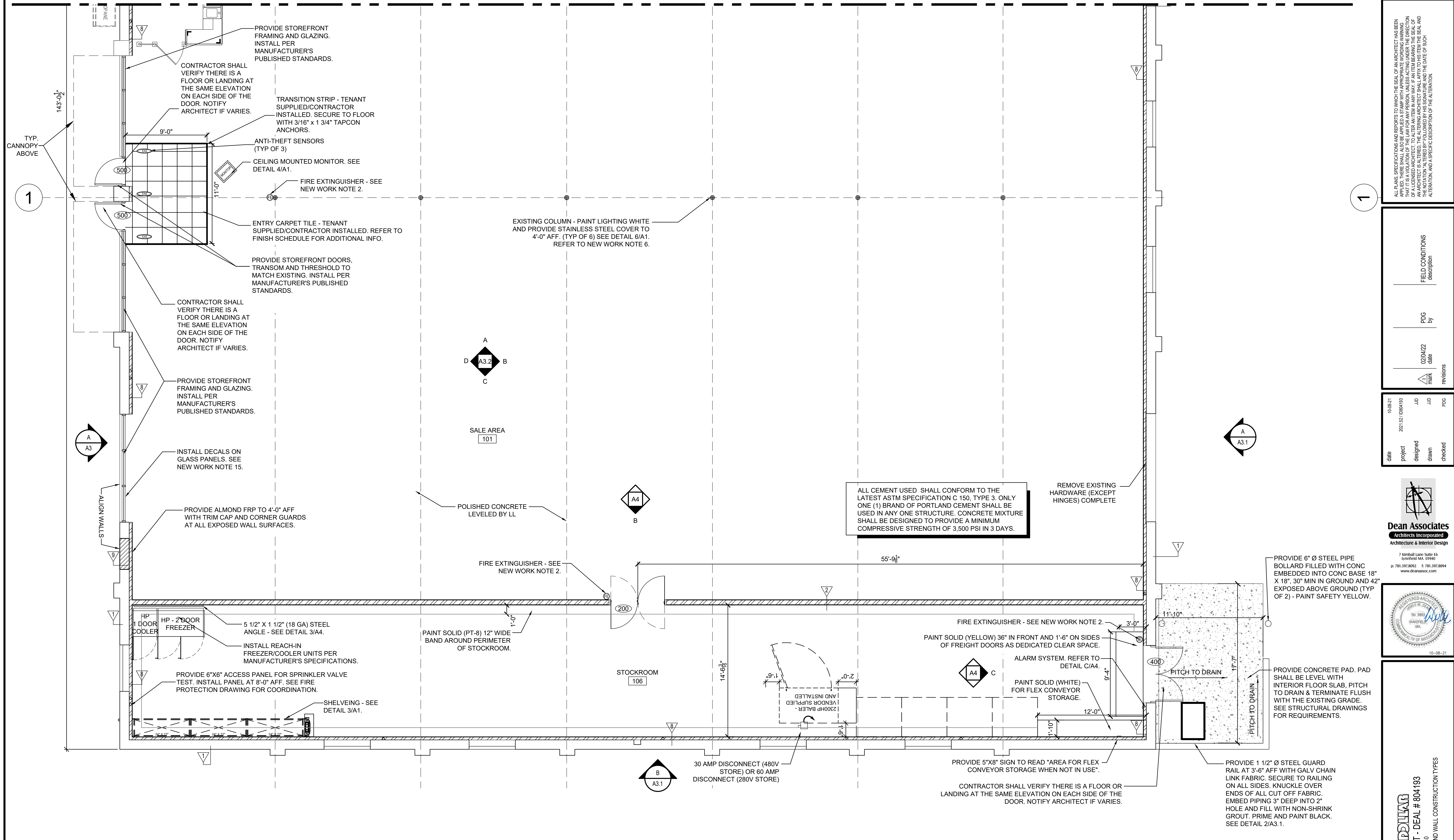




sheet

A0

3



1
A0.1

1
A0.1

1
A0.1
PARTIAL FLOOR PLAN
1/4" = 1'-0"

SMOKE FREE NOTE: VERIFY EXIST OR PROVIDE SIGNAGE AT EVERY ENTRY POINT ON EXTERIOR WALL INTO THE BUILDING PER THE GROUND UP OR IN-LINE STORE TYPE ABOVE. SIGNS MUST BE 10"x7" IN SIZE. THE MATERIAL IS PREFERRED TO BE ALUMINUM. SIGNS MAY BE FOUND AT www.compliancesigns.com

HIGH PILED STORAGE NOTE:
NO HIGH PILED STORAGE, AS DEFINED BY THE CODES GOVERNING THE JURISDICTION IN WHICH THE PROJECT IS CONSTRUCTED, SHALL BE ALLOWED.

CERTIFICATE OF OCCUPANCY
G.C. IS RESPONSIBLE FOR THE "CERTIFICATE OF OCCUPANCY". CERTIFICATE TO BE FRAMED AND MOUNTED IN THE MANAGERS OFFICE. IF MUNICIPALITY DOES NOT ISSUE A CoO, IT IS THE RESPONSIBILITY OF THE G.C. TO GET A LETTER FROM THE MUNICIPALITY STATING AS SUCH ON CITY/COUNTY LETTERHEAD AND THAT LETTER IS TO BE FRAMED AND MOUNTED IN MANAGER'S OFFICE.

SIGN FOR GROUND UP STORES
SIGN FOR IN-LINE STORES

KEY BOX NOTE:
G.C. SHALL PROVIDE KEY BOX FOR LOCK ACCESS DURING PUNCHOUT AND TURNOVER. COMBINATION MUST MATCH LAST FOUR DIGITS OF STORE NUMBER.
DESIGNER NOTE: GC TO PROVIDE EYE BOLT EMBEDDED 12" MIN. INTO TOP OF LOADING AREA BOLLARD WITH DIAMETER SIZED FOR KEY LOCK BOX.

KNOX BOX NOTE:
IF A KNOX BOX ENTRY SYSTEM IS REQUIRED BY THE CODES GOVERNING THE CONSTRUCTION OF THE PROJECT, PROVIDE RECESSED KNOX BOX PROVIDED BY THE GC PRIOR TO THE COMPLETION OF THE PROJECT. LOCATE PER LOCAL CODE REQUIREMENTS. KNOX BOX CONTACT - 866-625-4563

ALL PLANS, SPECIFICATIONS AND NOTATIONS TO WHICH THE SEAL OF AN ARCHITECT HAS BEEN APPLIED, THESE SHALL ALSO BE APPLIED A STAMP WITH APPROPRIATE WORKING WARNING THAT IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER, ADD, OR REMOVE ANY PART OF THE PLAN OR SPECIFICATION OR SEAL, AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

FIELD CONDITIONS
description
PGD
by
02/04/22
date
A
mark
revisions

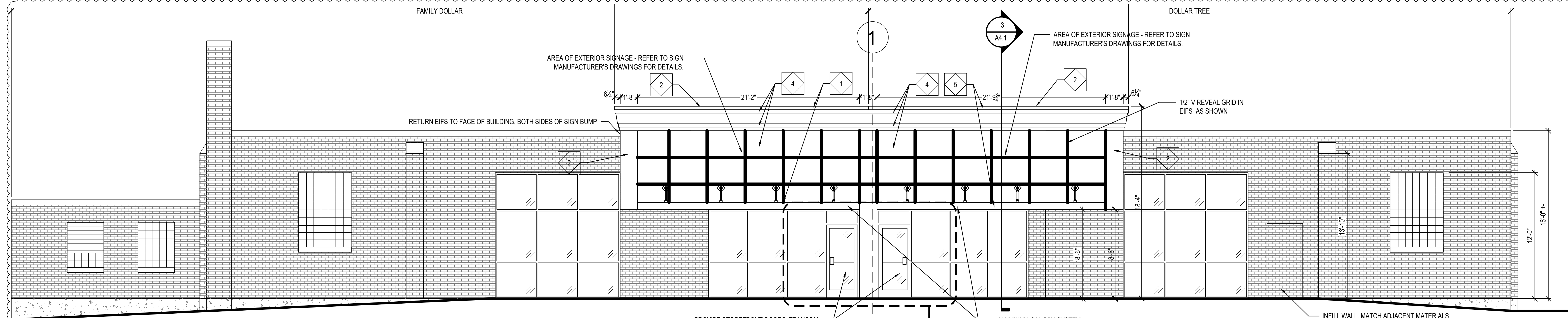
10-08-21
project
2021.52 / 0804193
JUD
JUD
PGD
date
designed
drawn
checked

Dean Associates
Architects Incorporated
Architecture & Interior Design
7 Kimball Lane Suite 15
Lynnfield MA 01940
p: 781.397.8092 f: 781.397.8094
www.deanassoc.com

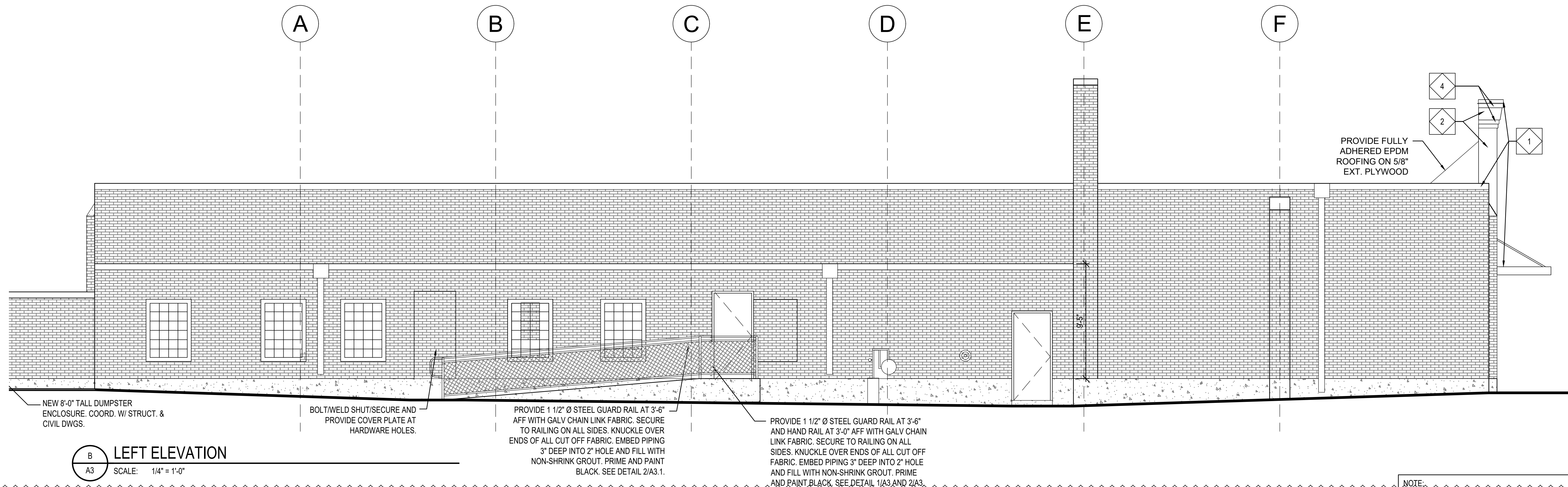
REGISTERED ARCHITECT
MASSACHUSETTS
No. 9888
WINTERFELD
MA
10-08-21

project
drawing
sheet
FAMILY DOLLAR
689 KEMPTON ST - DEAL # 804193
NEW BEDFORD, MA 02740
PARTIAL FLOOR PLAN AND WALL CONSTRUCTION TYPES

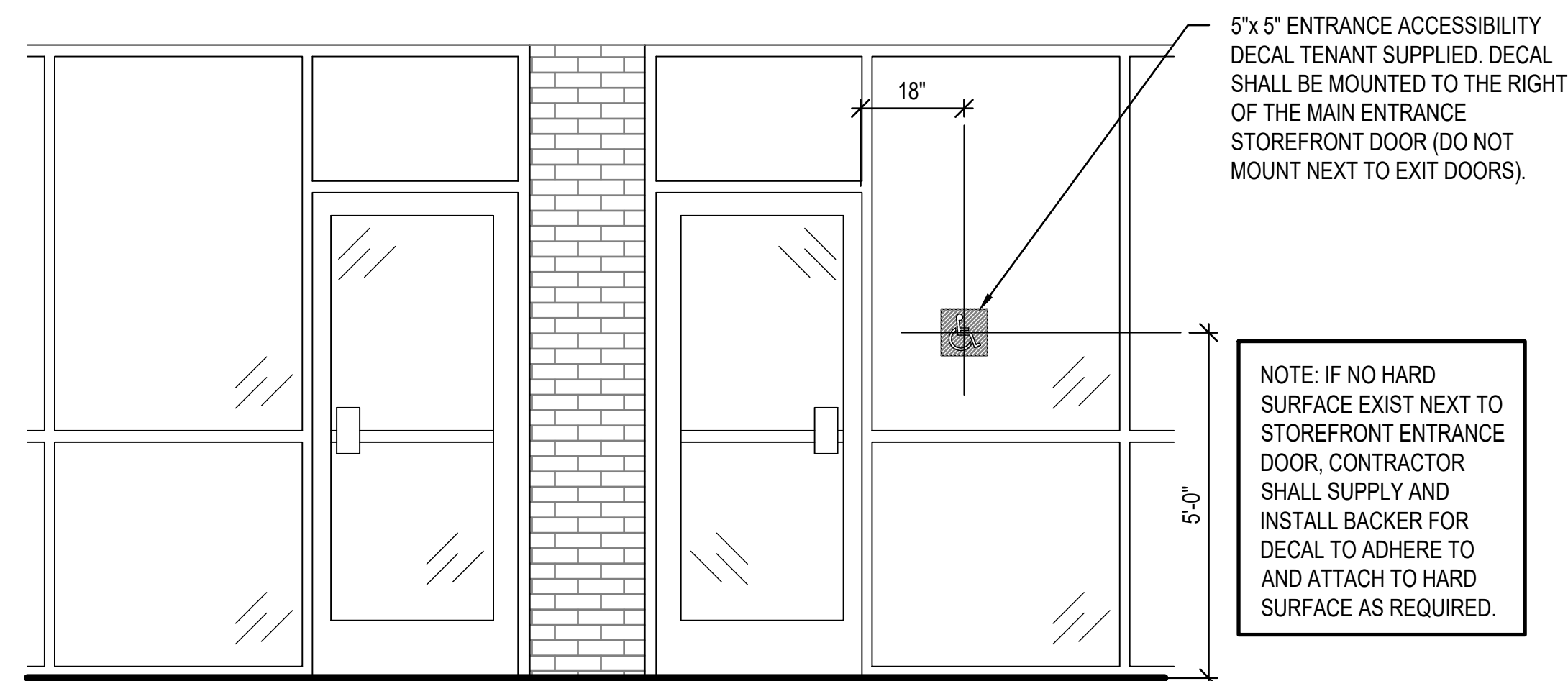
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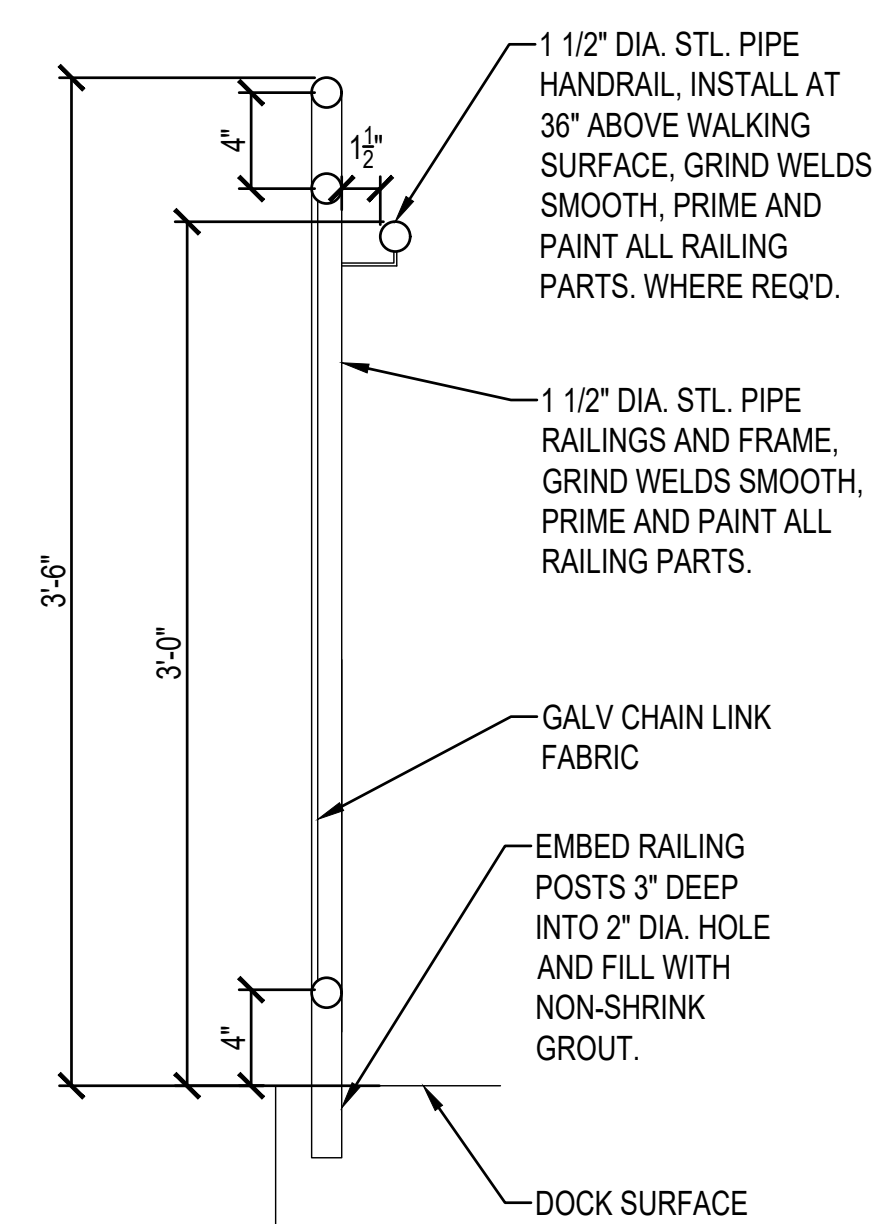
A FRONT ELEVATION
SCALE: 1/4" = 1'-0"



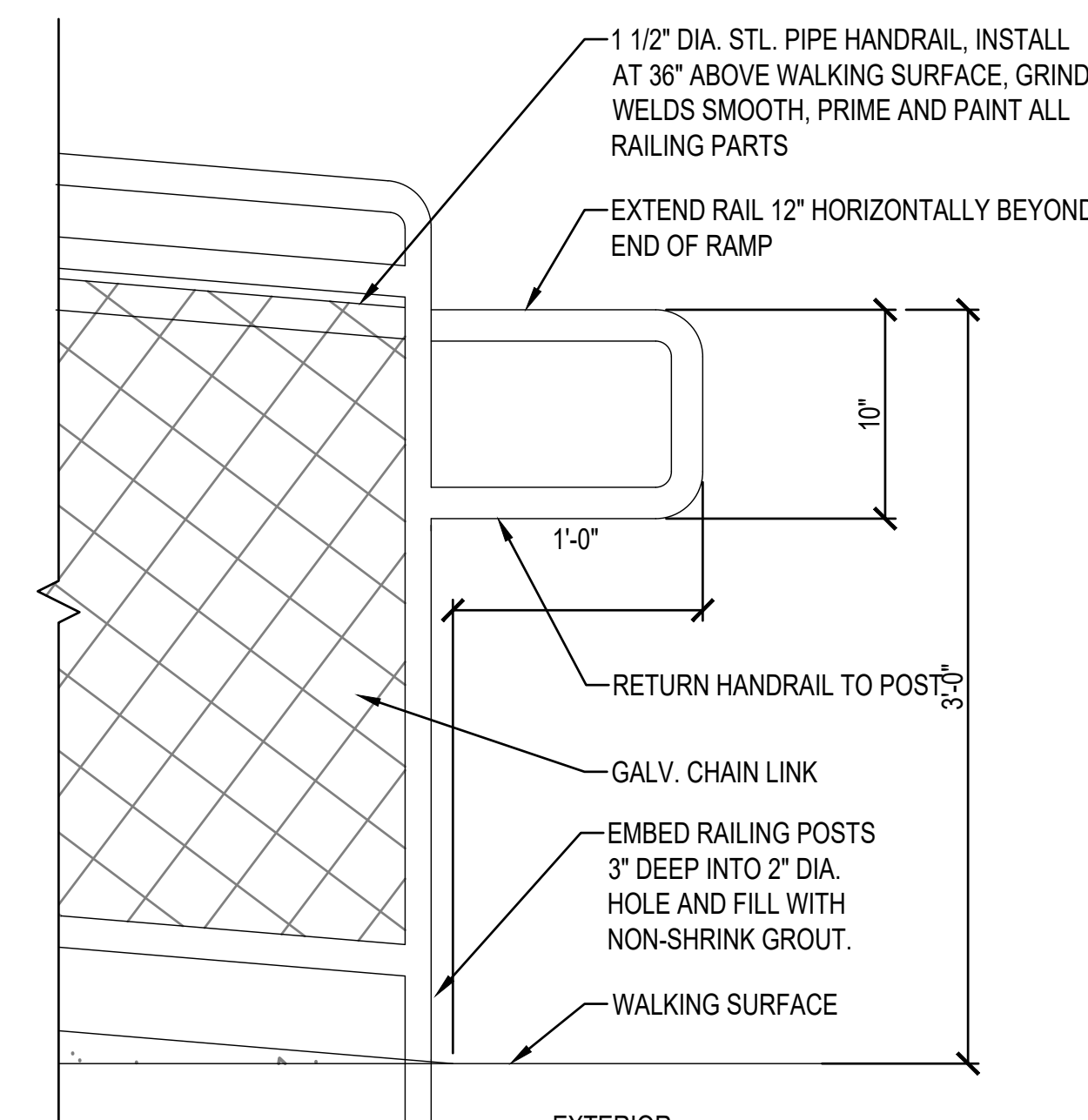
B LEFT ELEVATION
SCALE: 1/4" = 1'-0"



C ACCESSIBILITY DECAL AT STOREFRONT ENTRANCE
SCALE: 1/2" = 1'-0"



1 HANDRAIL AND GUARDRAIL DETAIL
SCALE: 1 1/2" = 1'-0"



2 HANDRAIL / GUARDRAIL ELEVATION AT RAMP
SCALE: 1 1/2" = 1'-0"

NOTE:
GC TO CLEAN AND POWER WASH EXTERIOR OF BUILDING AND WALL GLASS BLOCKS, INSIDE AND OUTSIDE, INCLUDING UNDERSIDE OF CANOPY, SIDEWALKS AND PARKING LOT IN LEASE AREA.

NOTE:
SIGNS, LOCATION, NUMBER AND SIZE ARE NOT APPROVED UNDER THIS BUILDING PERMIT. A SEPARATE SIGN LOCATION PERMIT IS REQUIRED FOR EACH SIGN.

NOTES: CONTRACTOR SHALL REMOVE AND DISPOSE OF ANY AND ALL PREVIOUS TENANT'S EXTERIOR SIGNAGE LEFT BEHIND. ALL EXISTING MATERIALS TO REMAIN WHICH ARE DAMAGED OR OTHERWISE DISTURBED BY REMOVAL OF PREVIOUS TENANT SIGNAGE SHALL BE PATCHED OR REPAIRED AND PAINTED TO MATCH EXISTING ADJACENT MATERIALS SO THAT THE REPAIR IS IMPERCEPTIBLE. CONTRACTORS SHALL NOT INCLUDE THIS SCOPE OF WORK IN THEIR BID AND WILL BE HANDLED VIA CHANGE ORDER AFTER SITE EVALUATION IS DONE BY WINNING BIDDER. CONTRACTOR SHALL FORWARD THE EVALUATION AND PRICE QUOTE TO THE CONSTRUCTION PM FOR APPROVAL PRIOR TO PERFORMING ANY AND ALL WORK.

PAINT FACADE PER COLORS NOTED: CONTACT FAMILY DOLLAR CONSTRUCTION PM PRIOR TO PAINTING.

1 PAINT: SHERWIN WILLIAMS SAFETY RED	4 PAINT: SHERWIN WILLIAMS "AESTHETIC WHITE" SW#7035 / STO "SMOKED PUTTY" 93240 (NA10-0053) - SATIN FINISH
2 PAINT: SHERMAN WILLIAMS "BALANCED BEIGE" SW#7037 / STO "SANDSTONE" 93860 (NA10-0052) - SATIN FINISH	5 PAINT: SHERWIN WILLIAMS "ENVY" LRV 18% #2032.10 - SATIN FINISH STO: NA10-0054 "ENVY" STOLT 130D AND STO 648
3 PAINT: SHERMAN WILLIAMS "VIRTUAL TAUPE" SW#7039 - SATIN FINISH	

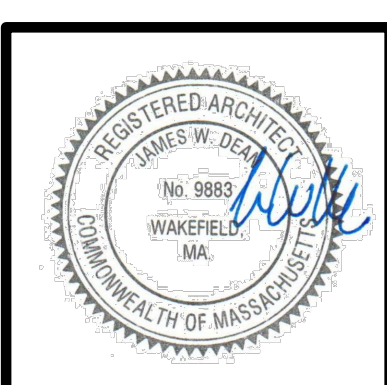
GENERAL PAINTING NOTE: EXTERIOR PAINT, WHERE REQUIRED, SHALL BE SHERWIN WILLIAMS OR APPROVED EQUAL APPLIED PER MANUFACTURER'S PUBLISHED SPECIFICATIONS. PREP SURFACES, PATCH AND SPOT PRIME WHERE NEEDED AND APPLY MINIMUM TWO (2) COATS OF FINISH PAINT.

ALL PLANS, SPECIFICATIONS AND NOTATIONS ARE TO BE USED IN CONJUNCTION WITH THE RESULTS OF AN INSPECTION HAS BEEN APPLIED. THERE SHALL ALSO BE APPLIED A STAMP WITH APPROPRIATE WORKING WARNING THAT IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS AUTHORIZED UNDER THE DIRECTION OF A LICENSED ARCHITECT TO REPRODUCE OR ALTER ANY ITEM IN ANY MANNER. IF ANY ITEM IS ALTERED, THE SEAL OF THE ARCHITECT SHALL BE ALTERED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

FIELD CONDITIONS	COORD. & NEW BUMP CONST.
PGD	PGD
11/03/21	10/27/21
02/04/22	10/27/21
mark	revisions

10-08-21	2021.52 / 08/04/193	JUD	JUD	PGD
date	project	designed	drawn	checked

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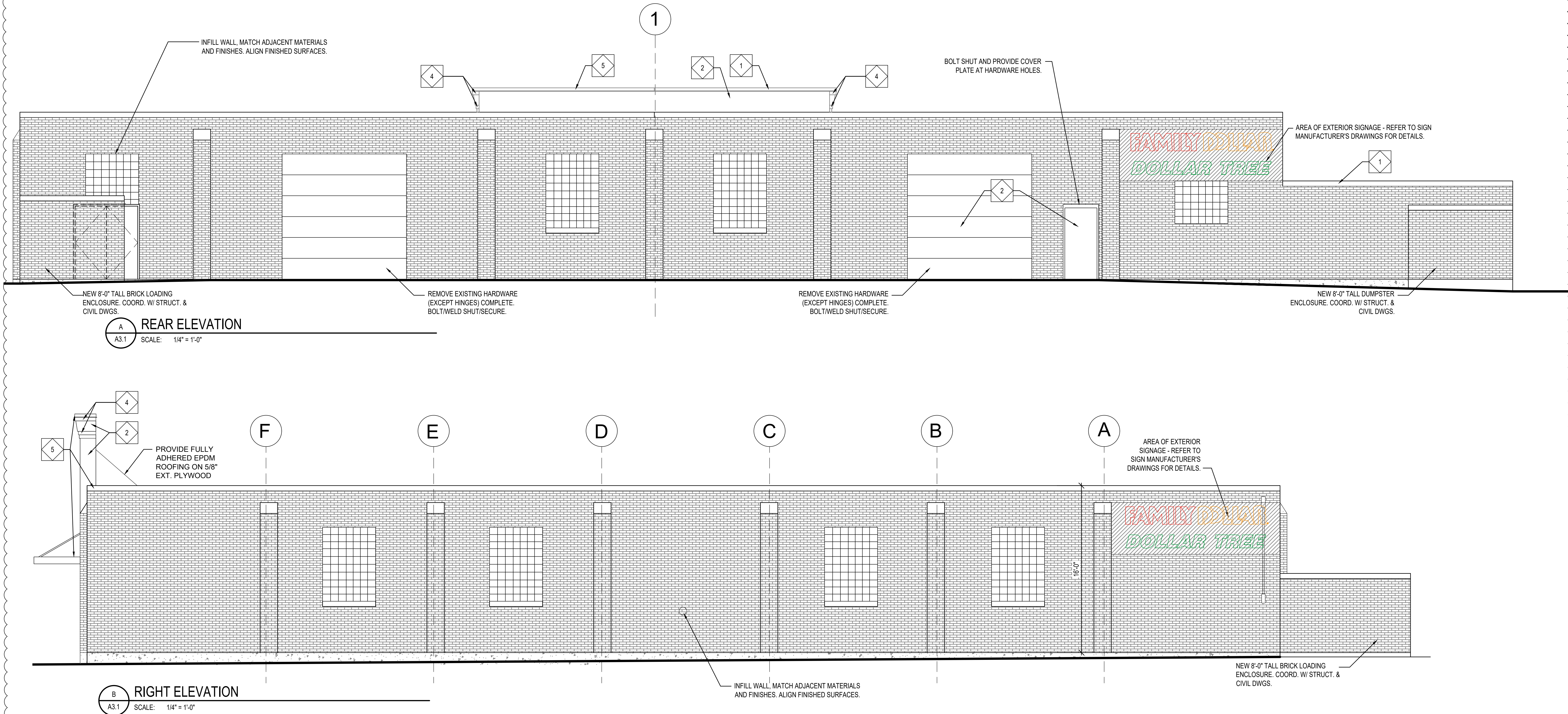


10-08-21

FAMILY DOLLAR
689 KEMPTON ST - DEAL # 804193
NEW BEDFORD, MA 02740
EXTERIOR ELEVATIONS

project sheet

A3



- 1
- 2
- 3

NOTE:
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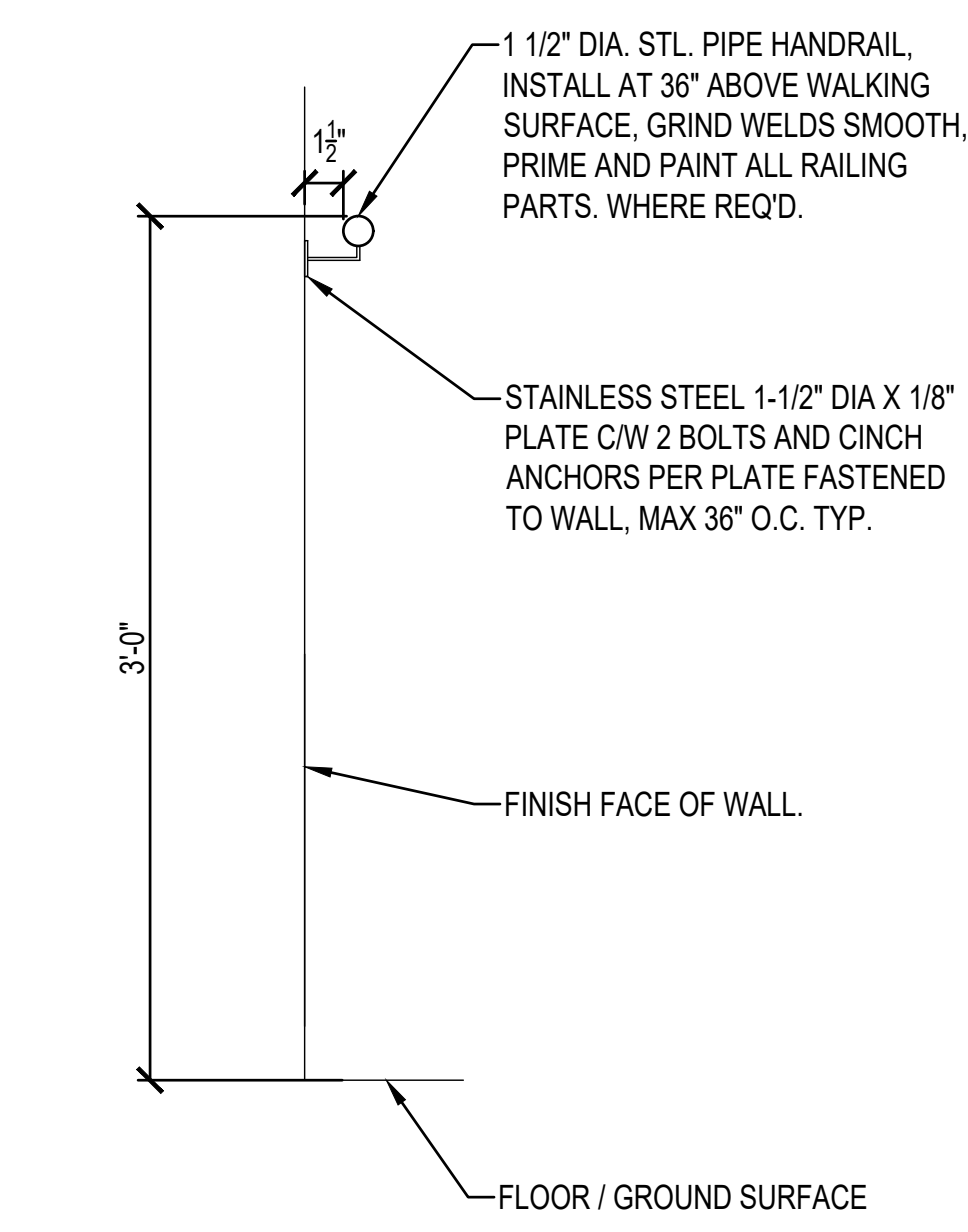
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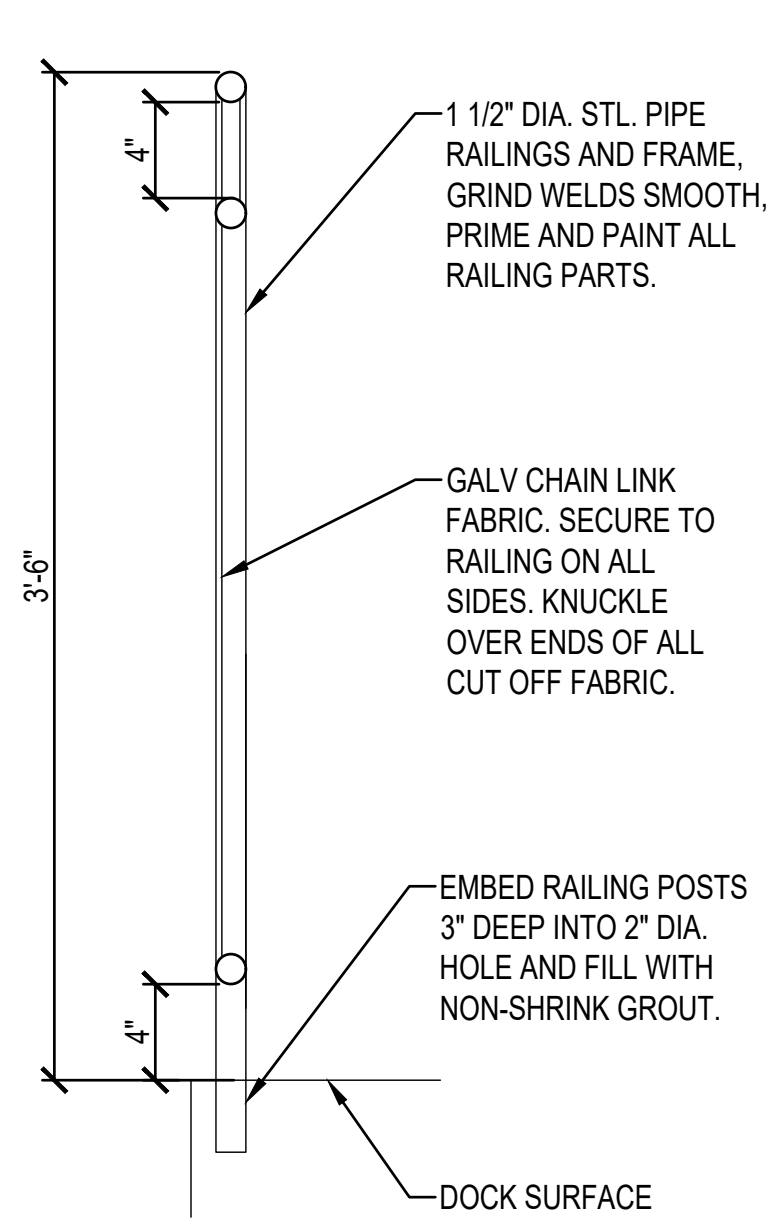
PAINT FACADE PER COLORS NOTED: CONTACT FAMILY DOLLAR CONSTRUCTION PM. PRIOR TO PAINTING.

1	PAINT: SHERWIN WILLIAMS SAFETY RED	4	PAINT: SHERWIN WILLIAMS "AESTHETIC WHITE" SW#7035 / STO "SMOKED PUTTY" 93240 (NA10-0053) - SATIN FINISH
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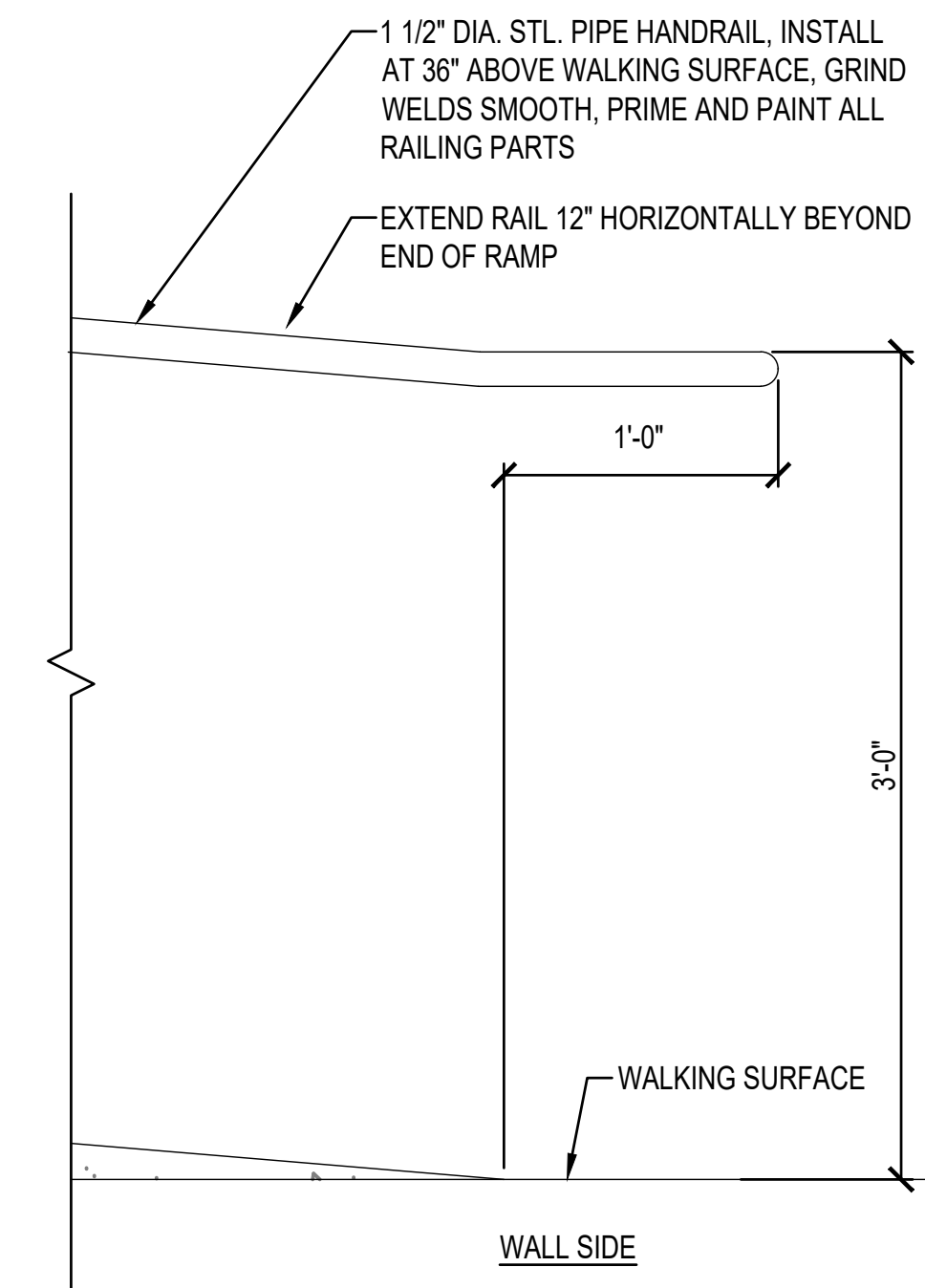
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1 WALL FASTENED HANDRAIL DETAIL
A3.1 SCALE: 1 1/2" = 1'-0"



2 GUARDRAIL ONLY
A3.1 SCALE: 1 1/2" = 1'-0"



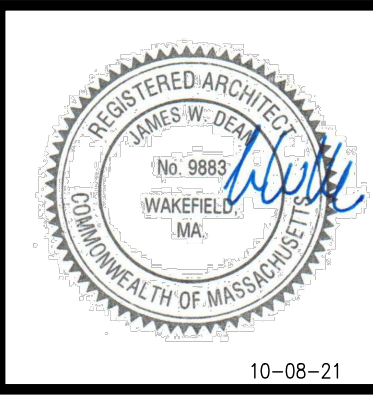
3 WALL SIDE HANDRAIL ELEVATION AT RAMP
A3.1 SCALE: 1 1/2" = 1'-0"

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FIELD CONDITIONS	
COORD. & NEW BUMP CONST.	description
PGD	PGD
PGD	PGD
PGD	PGD
02/04/22	11/03/21
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project
drawing
sheet
A3.1