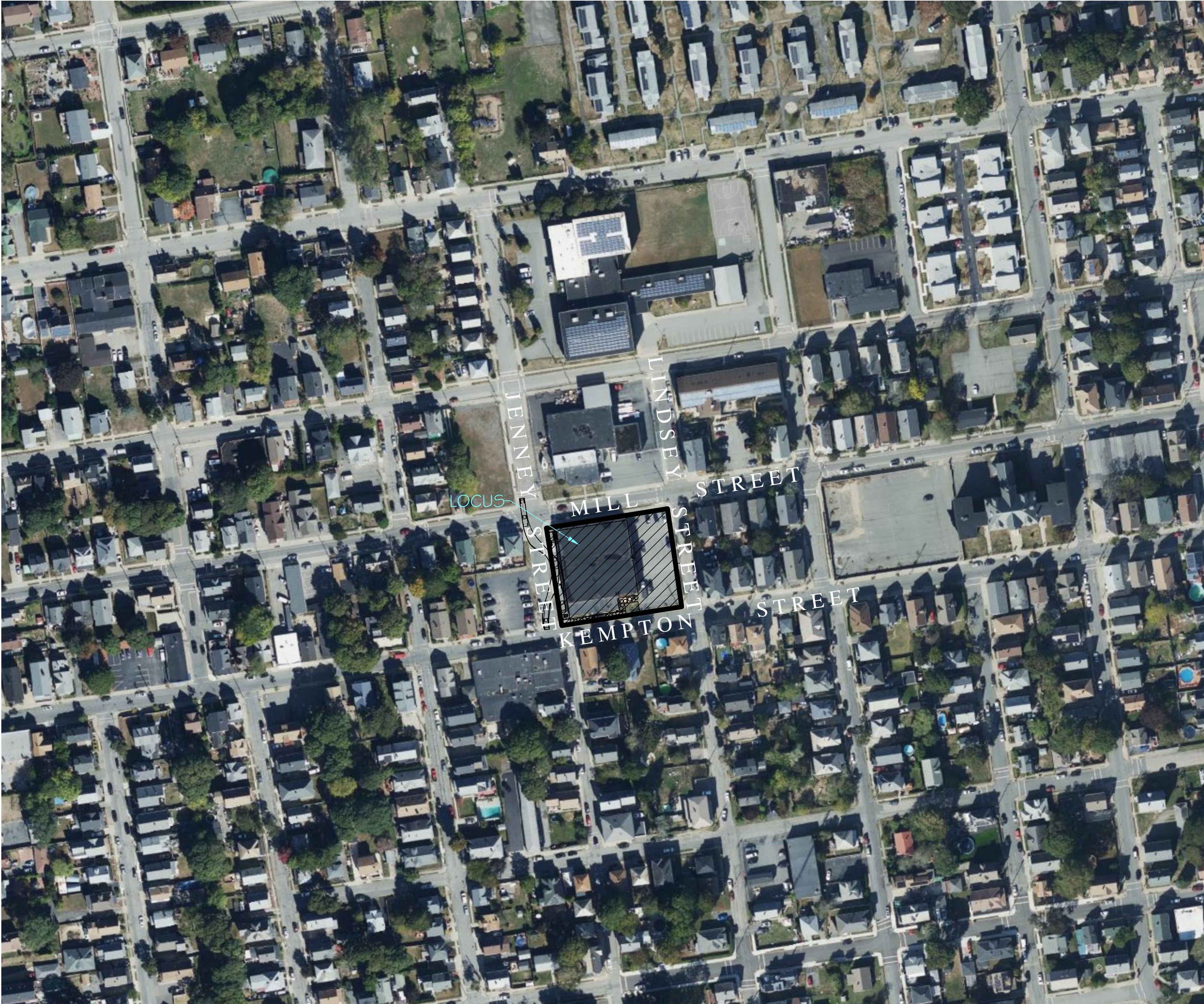


FAMILY DOLLAR
689 KEMPTON STREET
NEW BEDFORD, MA 02740
TAX MAP - 56 LOT - 137



LOCUS MAP
SCALE: 1" = 100'

NOTES:

1. PROPERTY KNOWN AS LOT 137 AS SHOWN ON THE CITY OF NEW BEDFORD, BRISTOL COUNTY, COMMONWEALTH OF MASSACHUSETTS; ASSESSOR'S MAP 56.
2. SITE AREA = 31,067 SQUARE FEET/0.71 ACRES.
3. BOUNDARY AND TOPOGRAPHY INFORMATION SHOWN HEREON OBTAINED FROM FIELD SURVEY PERFORMED BY MERRILL ENGINEERS AND LAND SURVEYORS, JANUARY 2022.
4. SUPPLEMENTAL TOPOGRAPHY INFORMATION SHOWN HEREON OBTAINED FROM COUNTY GIS. NEITHER KCI TECHNOLOGIES, INC. OR THE COUNTY CAN GUARANTEE THE ACCURACY OF THE SHOWN GIS DATA. LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE BASED ON UTILITY PLANS OBTAINED FROM THE CITY. THESE PLANS DO NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS, SIZES AND TYPES BY THE PROPER UTILITY COMPANIES. KCI TECHNOLOGIES, INC DOES NOT GUARANTEE THE EXISTING UTILITY INFORMATION AS SHOWN ON THESE PLANS.
5. THIS PLAN WAS PREPARED WITHOUT A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS, AND/OR EASEMENTS THAT MAY BE CONTAINED HEREIN.
6. THIS PLAN WAS PREPARED WITHOUT A DETAILED ENVIRONMENTAL INVESTIGATION AND IS SUBJECT TO CHANGE IF ENVIRONMENTAL CONSTRAINTS ARE IDENTIFIED.
7. THIS IS A CONCEPTUAL LAYOUT PLAN THAT HAS BEEN PREPARED WITHOUT A DETAILED GRADING STUDY. ADDITIONAL REVISIONS MAY BE NECESSARY BASED ON DETERMINATIONS FROM A GRADING STUDY.
8. THIS PLAN WAS PREPARED WITHOUT A DETAILED STORMWATER MANAGEMENT ANALYSIS. STORMWATER MANAGEMENT SHOWN HEREON IS CONCEPTUAL AND IS SUBJECT TO CHANGE.
9. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION OR ANY SITE WORK.
10. EROSION CONTROL BMPs SHALL CONFORM TO US EPA, NPDES, MA DEP AND MASSACHUSETTS EROSION AND SEDIMENTATION CONTROL GUIDELINE FOR URBAN AND SUBURBAN AREAS.
11. MAINTENANCE SPECIFICATIONS FOR ALL PROPOSED EROSION AND SEDIMENTATION CONTROLS.
12. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM (NAVD88).
13. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
14. EXISTING WATER SHOWN PER CITY OF NEW BEDFORD WATER PLOT 57.
15. EXISTING SEWER SHOWN PER CITY OF NEW BEDFORD SEWER PLOT 84.
16. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, NUMBER 25005C0389G, EFFECTIVE JULY 6, 2021, THE SITE IS LOCATED IN ZONE X, WHICH HAS BEEN DETERMINED TO BE LOCATED OUTSIDE OF THE 100-YR FLOODPLAIN.

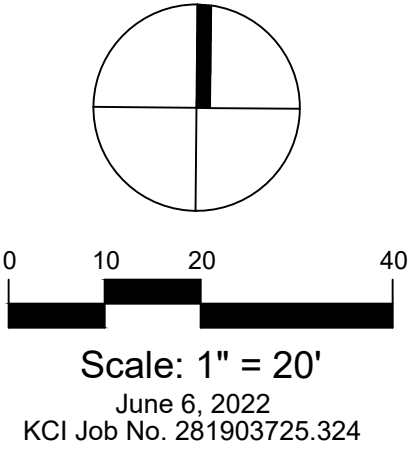
LIGHTING NOTE:
THERE IS NO PROPOSED POLE LIGHTING FOR THIS PROJECT. SEE ARCHITECTURAL PLANS FOR ANY PROPOSED BUILDING MOUNTED LIGHTING.

WAIVERS:
WAIVERS HAVE BEEN REQUESTED FOR DEVELOPMENT IMPACT STATEMENT (LIMITED SITE DEVELOPMENT), TRAFFIC IMPACT AND ACCESS STUDY (SITE ACCESS TO REMAIN), PARKING (REDUCTION IN NUMBER OF SPACES AND SPACE DEPTH), AND LIGHTING (PHOTOMETRIC PLAN).

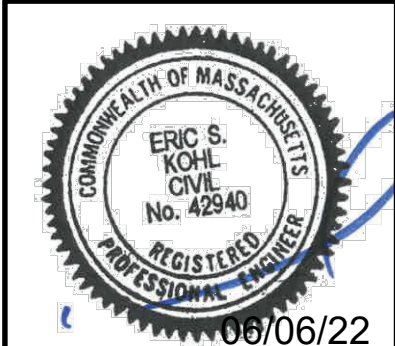
ZONING ANALYSIS TABLE			
ZONING DISTRICT	MIXED USE BUSINESS (MUB) ZONING DISTRICT - RETAIL STORE ALLOWED		
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	0 SF	31,067 SF	31,067 SF
MINIMUM LOT FRONTAGE	0 FT	158.9 FT (LINDSEY ST)	158.9 FT (LINDSEY ST)
MAX BUILDING COVERAGE	30%	50%	50%
MINIMUM FRONT SETBACK	0 FT	66.2 FT	66.2 FT
MINIMUM SIDE SETBACK	0 FT	6.9 FT	6.9 FT
MINIMUM REAR SETBACK	10 FT	15.0 FT	15.0 FT
MAXIMUM BUILDING HEIGHT	100 FT	27.4 FT	33.4 FT
IMPERVIOUS COVERAGE	100 % (ALLOWED)	95.0%	95.0%
PARKING SPACES	78	28	23 ONSITE
PARKING CRITERIA	1 SPACE FOR EVERY 200 SF GFA UP TO 20,000 SF	15,588/200 = 77.94 SPACES	
LOADING SPACES	2	1	1*
LOADING SPACE CRITERIA	1 SPACE FOR 5,000 SF - 10,000SF, PLUS 1 ADDITIONAL SPACE		
*SPECIAL PERMIT, SITE PLAN REVIEW REQUIRED			

SHEET INDEX

- C-01 - COVER SHEET
- C-02 - EXISTING CONDITIONS PLAN
- C-03 - PROPOSED SITE LAYOUT PLAN
- C-04 - DEMOLITION AND EROSION CONTROL PLAN
- C-05 - GRADING AND DRAINAGE PLAN
- C-06 - UTILITY PLAN
- C-07 - LANDSCAPE PLAN
- C-08 - DETAILS



OWNER 689 KEMPTON STREET LLC 689 KEMPTON STREET NEW BEDFORD, MA 02740	DEVELOPER FAMILY DOLLAR STORES, INC 500 VOLVO PARKWAY CHESAPEAKE, VA 23320 ZACHARY HARRIS PHONE: (757) 321-5906 ZHARRIS@DOLLARTREE.COM
--	--



THIS PLAN IS SEALED & CERTIFIED
AS BEING IN ACCORDANCE WITH
THE APPROVED DEVELOPMENT PLAN

KCI
TECHNOLOGIES

ENGINEERS
PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS

936 RIDGEBROOK ROAD
SPRING, MARYLAND 21152
TELEPHONE: (410) 316-7800
FAX: (410) 316-7818

REVISIONS				DATE: 06/06/2022
NO.	DATE	DESCRIPTION	BY	SCALE: 1"=100'
				DESIGNED BY: CTS
				DRAWN BY: CTS

COVER SHEET

FAMILY DOLLAR
689 KEMPTON STREET
NEW BEDFORD, MASSACHUSETTS

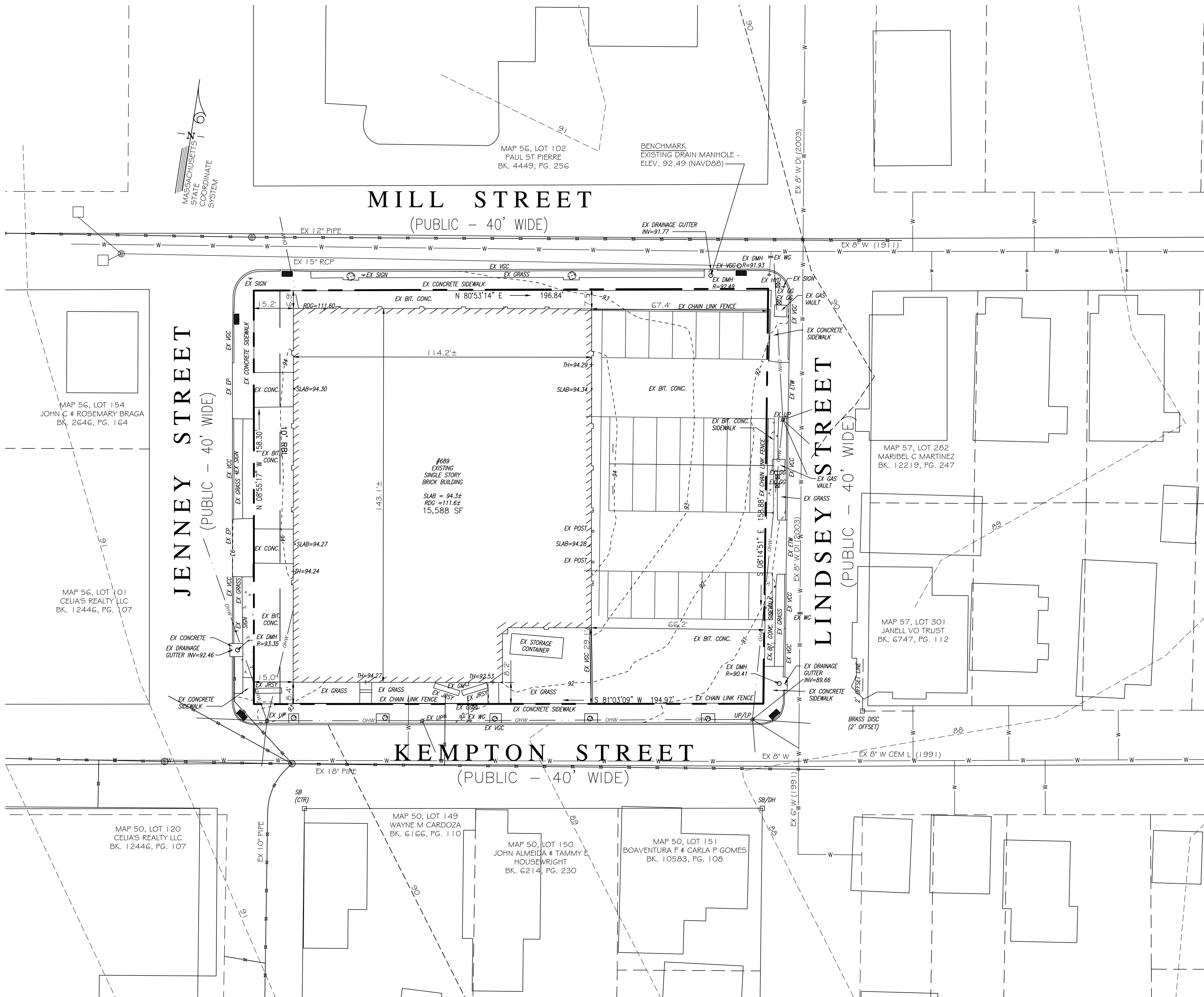
PARCEL: 56 137 DEED: 9701/112

DRAWING NO.

C-01

SHEET 1 OF 8
KCI JOB NUMBER:
281903725.324

PLOTTED: \$400
PLOTTER: \$100
FILE: \$100

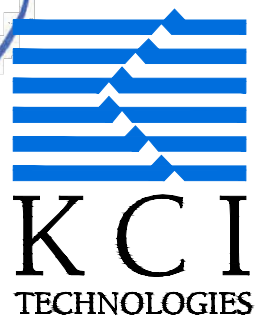
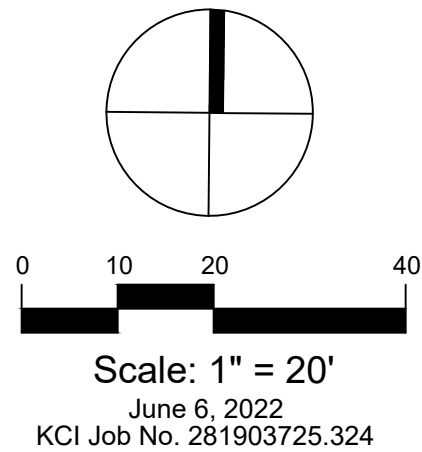


LEGEND

SB (CTR)	CENTER OF STONE BOUND	JRSY	JERSEY BARRIER
SB/DH	STONE BOUND W/DRILL HOLE FOUND	VGC	VERTICAL GRANITE CURBING
	DIMPLED MATT	VCC	VERTICAL CONCRETE CURBING
DMH	DRAIN MANHOLE	EP	EDGE OF PAVEMENT
GG	GAS GATE	ETW	EDGE OF TRAVELED WAY
GM	GAS METER	R	RIM ELEVATION
HYD	FIRE HYDRANT	SLAB	SLAB ELEVATION
INV	INVERT	RDC	RIDGE ELEVATION
POST	METAL POST	OHW	OVERHEAD WIRES
SIGN	SIGN	100	CONTOUR LINE
DECIDUOUS TREE	DECIDUOUS TREE		PROPERTY LINE
UP	UTILITY POLE		BUILDING RESTRICTION LINE
UP/LP	UTILITY & LIGHT POLE		
WG	WATER GATE		

NOTES:

- PROPERTY KNOWN AS LOT 137 AS SHOWN ON THE CITY OF NEW BEDFORD, BRISTOL COUNTY, COMMONWEALTH OF MASSACHUSETTS; ASSESSOR'S MAP 56.
- SITE AREA = 31,067 SQUARE FEET/0.71 ACRES.
- LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE BASED ON UTILITY PLANS OBTAINED FROM THE CITY. THESE PLANS DO NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES, PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS, SIZES AND TYPES BY THE PROPER UTILITY COMPANIES. KCI TECHNOLOGIES, INC DOES NOT GUARANTEE THE EXISTING UTILITY INFORMATION AS SHOWN ON THESE PLANS.
- THIS PLAN WAS PREPARED WITHOUT A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS, AND/OR EASEMENTS THAT MAY BE CONTAINED HEREIN.
- THIS PLAN WAS PREPARED WITHOUT A DETAILED ENVIRONMENTAL INVESTIGATION AND IS SUBJECT TO CHANGE IF ENVIRONMENTAL CONSTRAINTS ARE IDENTIFIED.
- BOUNDARY AND TOPOGRAPHY INFORMATION SHOWN HEREON OBTAINED FROM FIELD SURVEY PERFORMED BY MERRILL ENGINEERS AND LAND SURVEYORS, JANUARY 2022.
- THIS IS A CONCEPTUAL LAYOUT PLAN THAT HAS BEEN PREPARED WITHOUT A DETAILED GRADING STUDY. ADDITIONAL REVISIONS MAY BE NECESSARY BASED ON DETERMINATIONS FROM A GRADING STUDY.
- THIS PLAN WAS PREPARED WITHOUT A DETAILED STORMWATER MANAGEMENT ANALYSIS. STORMWATER MANAGEMENT SHOWN HEREON IS CONCEPTUAL AND IS SUBJECT TO CHANGE.
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM (NAVD88).
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- EXISTING WATER SHOWN PER CITY OF NEW BEDFORD WATER PLOT 57.
- EXISTING SEWER SHOWN PER CITY OF NEW BEDFORD SEWER PLOT 84.
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, NUMBER 25005C0389G, EFFECTIVE JULY 6, 2021, THE SITE IS LOCATED IN ZONE X, WHICH HAS BEEN DETERMINED TO BE LOCATED OUTSIDE OF THE 100-YR FLOODPLAIN.
- ANY BROKEN CONCRETE SIDEWALK PANELS WITHIN THE LIMITS OF THE PROJECT ARE TO BE REMOVED AND REPLACED IN KIND.



ENGINEERS
PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS
936 RIDGEBROOK ROAD
SPRING, MARYLAND 21152
TELEPHONE: (410) 316-7800
FAX: (410) 316-7818

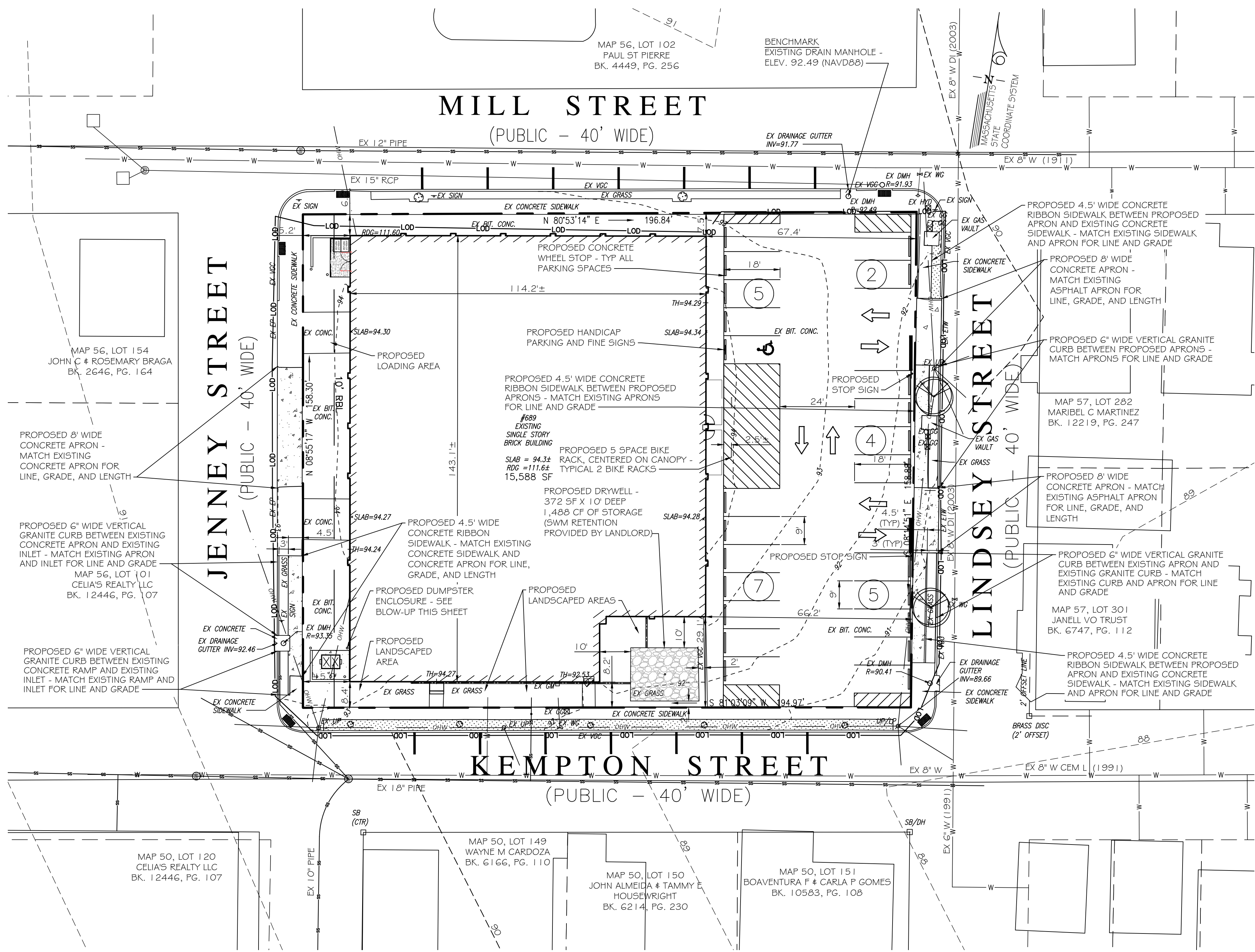
REVISIONS			
NO.	DATE	DESCRIPTION	BY

DATE:	06/06/2022
SCALE:	1"=20'
DESIGNED BY:	CTS
DRAWN BY:	CTS

OWNER 689 KEMPTON STREET LLC 689 KEMPTON STREET NEW BEDFORD, MA 02740	DEVELOPER FAMILY DOLLAR STORES, INC 500 VOLVO PARKWAY CHESAPEAKE, VA 23320 ZACHARY HARRIS PHONE: (757) 321-5906 ZHARRIS@DOLLARTREE.COM
--	--

EXISTING CONDITIONS PLAN
FAMILY DOLLAR
689 KEMPTON STREET
NEW BEDFORD, MASSACHUSETTS
PARCEL: 56 137
DEED: 9701/112

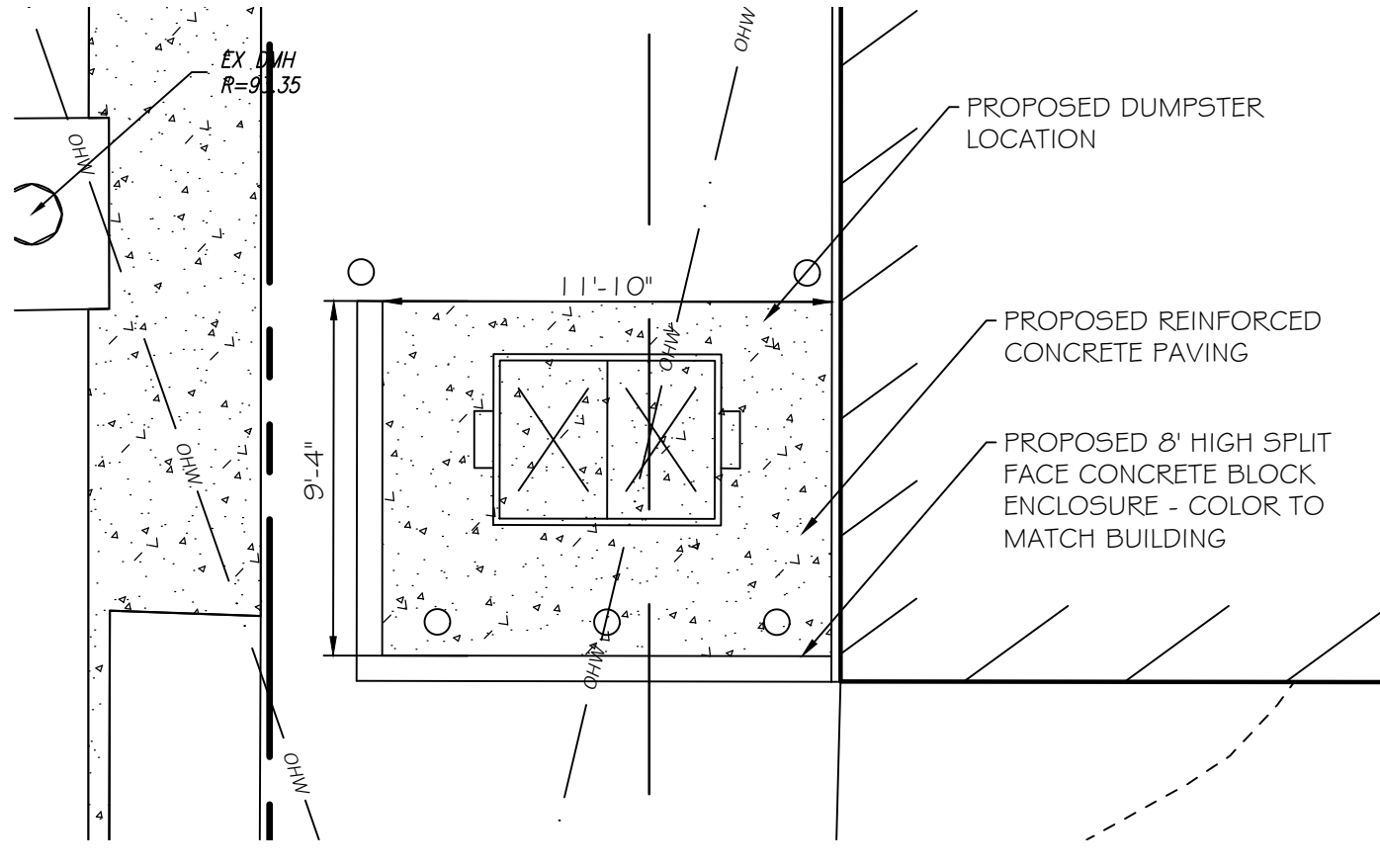
DRAWING NO. C-02
SHEET 2 OF 8 KCI JOB NUMBER 281903725.324



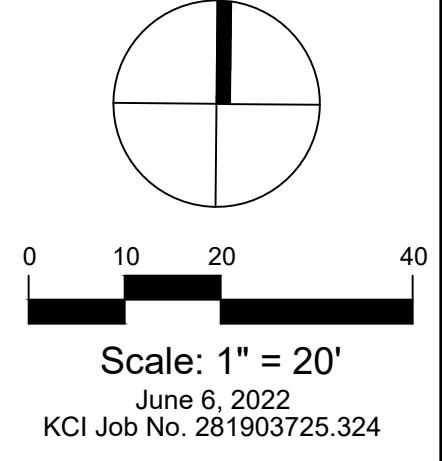
LEGEND			
SB (CTR)	CENTER OF STONE BOUND	JRSY	JERSEY BARRIER
SB/DH	STONE BOUND W/DRILL HOLE FOUND	VGC	VERTICAL GRANITE CURBING
	DIMPLED MATT	VCC	VERTICAL CONCRETE CURBING
DMH	DRAIN MANHOLE	EP	EDGE OF PAVEMENT
GG	GAS GATE	ETW	EDGE OF TRAVELED WAY
GM	GAS METER	R	RIM ELEVATION
HYD	FIRE HYDRANT	SLAB	SLAB ELEVATION
INV	INVERT	ROG	RIDGE ELEVATION
POST	METAL POST	DHW	OVERHEAD WIRES
SIGN	SIGN	---	CONTOUR LINE
DECIDUOUS TREE	DECIDUOUS TREE	---	PROPERTY LINE
UP	UTILITY POLE	---	LIMITS OF DISTURBANCE
UP/LP	UTILITY & LIGHT POLE	---	PROPOSED SIGN
WG	WATER GATE	---	BUILDING RESTRICTION LINE

- NOTES:
- ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY PLANNER AND CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLAN SHALL BE SUBMITTED TO THE CITY PLANNER AND CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
 - ANY WORK AND MATERIAL WITHIN THE CITY OF NEW BEDFORD RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
 - ALL HANDICAPPED PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAB & MAAB REQUIREMENTS.
 - ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
 - EROSION CONTROL SHALL CONFORM TO THE CITY OF NEW BEDFORD CONSERVATION COMMISSION REQUIREMENTS AS STATED IN THE ORDER OF CONDITION DATED _____.
 - ALL PAVEMENT MARKINGS SHALL CONFORM TO MUTCD REQUIREMENTS.
 - DRIVEWAY PERMITS ARE SUBJECT TO TRAFFIC COMMISSION APPROVAL.
 - PERMITS FOR SIDEWALKS, DRIVEWAYS, WATER & SEWER MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE ENGINEERING DIVISION.
 - THE DEVELOPER AND SITE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE PRIOR TO THE START OF CONSTRUCTION.
 - ANY DISTURBED AREAS ARE TO BE RETURNED TO EXISTING CONDITIONS, UNLESS OTHERWISE NOTED.

SITE PLAN
SCALE: 1" = 20'



DUMPSTER ENCLOSURE
BLOW-UP
SCALE: 1" = 20'



Scale: 1" = 20'
June 6, 2022
KCI Job No. 281903725.324

OWNER 689 KEMPTON STREET LLC 689 KEMPTON STREET NEW BEDFORD, MA 02740	DEVELOPER FAMILY DOLLAR STORES, INC 500 VOLVO PARKWAY CHESAPEAKE, VA 23320 ZACHARY HARRIS PHONE: (757) 321-5906 ZHARRIS@DOLLARTREE.COM
--	--



KCI TECHNOLOGIES
ENGINEERS
PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS
936 RIDGEBROOK ROAD
SILVER SPRING, MARYLAND 21152
TELEPHONE: (410) 316-7800
FAX: (410) 316-7818

REVISIONS			
NO.	DATE	DESCRIPTION	BY

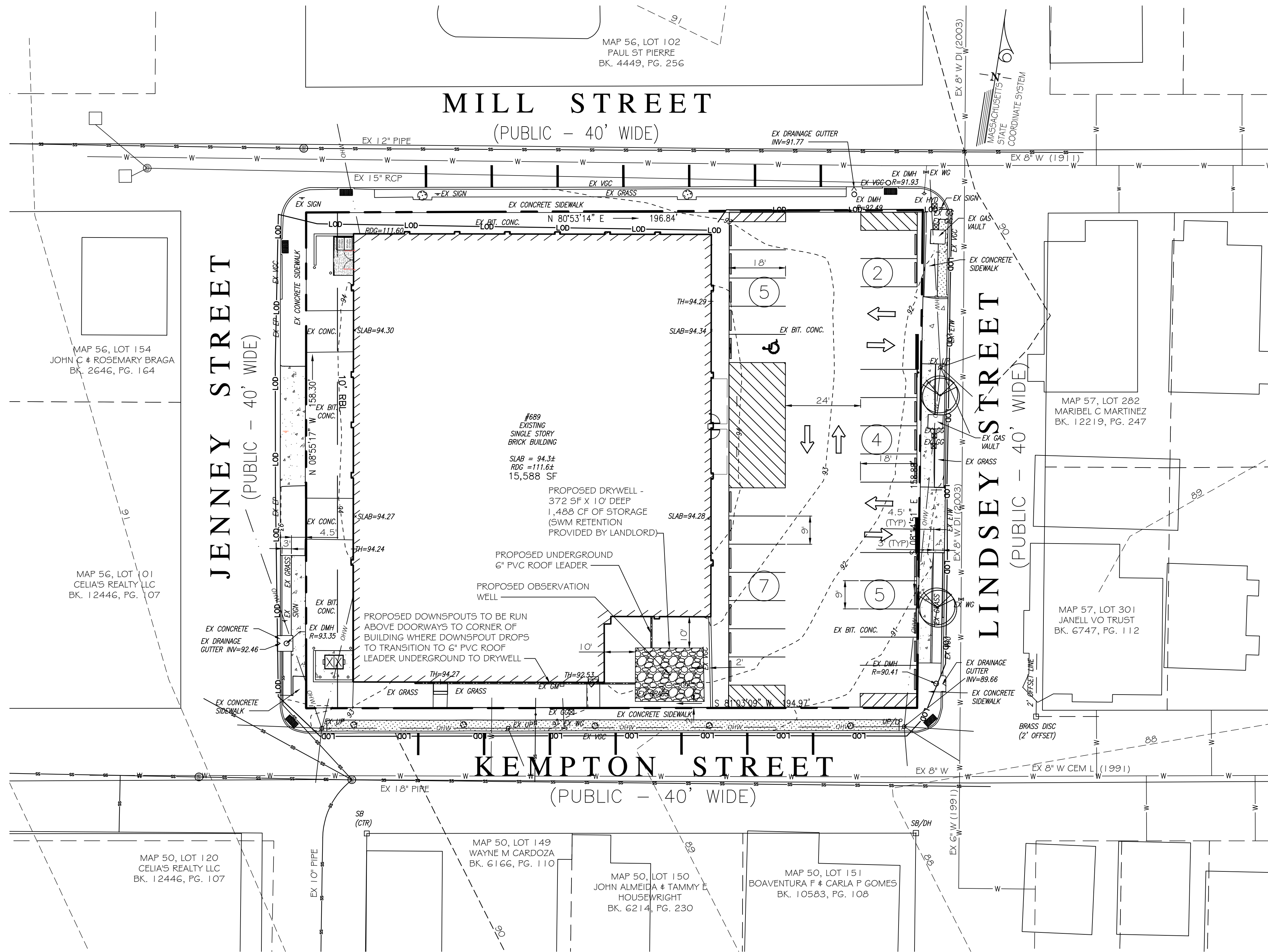
DATE: 06/06/2022
SCALE: 1"=20'
DESIGNED BY: CTS
DRAWN BY: CTS

PROPOSED SITE LAYOUT PLAN
FAMILY DOLLAR
689 KEMPTON STREET
NEW BEDFORD, MASSACHUSETTS
PARCEL: 56 137

DRAWING NO.
C-03
SHEET 3 OF 8
KCI JOB NUMBER
281903725.324
DEED: 9701/112

PLOTTED: \$245
PLOTTER: \$100
FILE: \$155

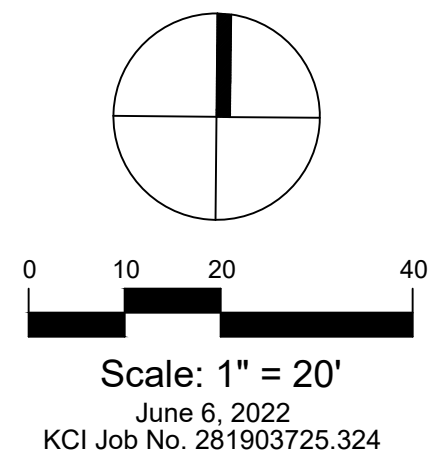
LOTTED: \$DATE\$
NY: \$USERNAME\$
FILE: \$FILE\$



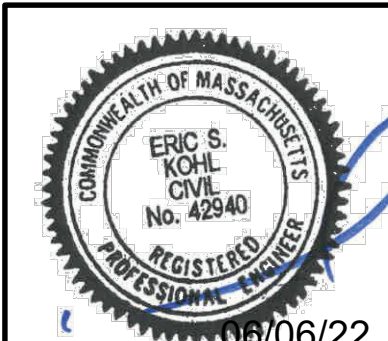
LEGEND

SB (CTR)	CENTER OF STONE BOUND	JRSY	JERSEY BARRIER
SB/DH	STONE BOUND W/DRILL HOLE FOUND	VGC	VERTICAL GRANITE CURBING
DMH	DRAIN MANHOLE	VCC	VERTICAL CONCRETE CURBING
GG	GAS GATE	EP	EDGE OF PAVEMENT
GM	GAS METER	ETW	EDGE OF TRAVELED WAY
HYD	FIRE HYDRANT	R	RIM ELEVATION
INV	INVERT	SLAB	SLAB ELEVATION
POST	METAL POST	RDG	RIDGE ELEVATION
SIGN	SIGN		
DECIDUOUS TREE	DECIDUOUS TREE		
UP	UTILITY POLE		
UP/LP	UTILITY & LIGHT POLE		
WG	WATER GATE		
		OHW	OVERHEAD WIRES
		100	CONTOUR LINE
		LOD	PROPERTY LINE
			LIMITS OF DISTURBANCE
			BUILDING RESTRICTION LINE

- GRADING AND DRAINAGE NOTES:
- ANY DISTURBED AREAS ARE TO BE RETURNED TO EXISTING CONDITIONS, THEREFORE THE GRADING WILL REMAIN UNCHANGED FROM EXISTING CONDITIONS TO PROPOSED CONDITIONS, UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO TAKE ANY SOIL REMOVED FOR THE CONSTRUCTION OF THE DRYWELL (APPROXIMATELY 3720 CF) TO A SITE WITH AN OPEN AND ACTIVE GRADING PERMIT.



OWNER 689 KEMPTON STREET LLC 689 KEMPTON STREET NEW BEDFORD, MA 02740	DEVELOPER FAMILY DOLLAR STORES, INC 500 VOLVO PARKWAY CHESAPEAKE, VA 23320 ZACHARY HARRIS PHONE: (757) 321-5906 ZHARRIS@DOLLARTREE.COM
--	--



THIS PLAN IS SEALED & CERTIFIED
AS BEING IN ACCORDANCE WITH
THE APPROVED DEVELOPMENT PLAN



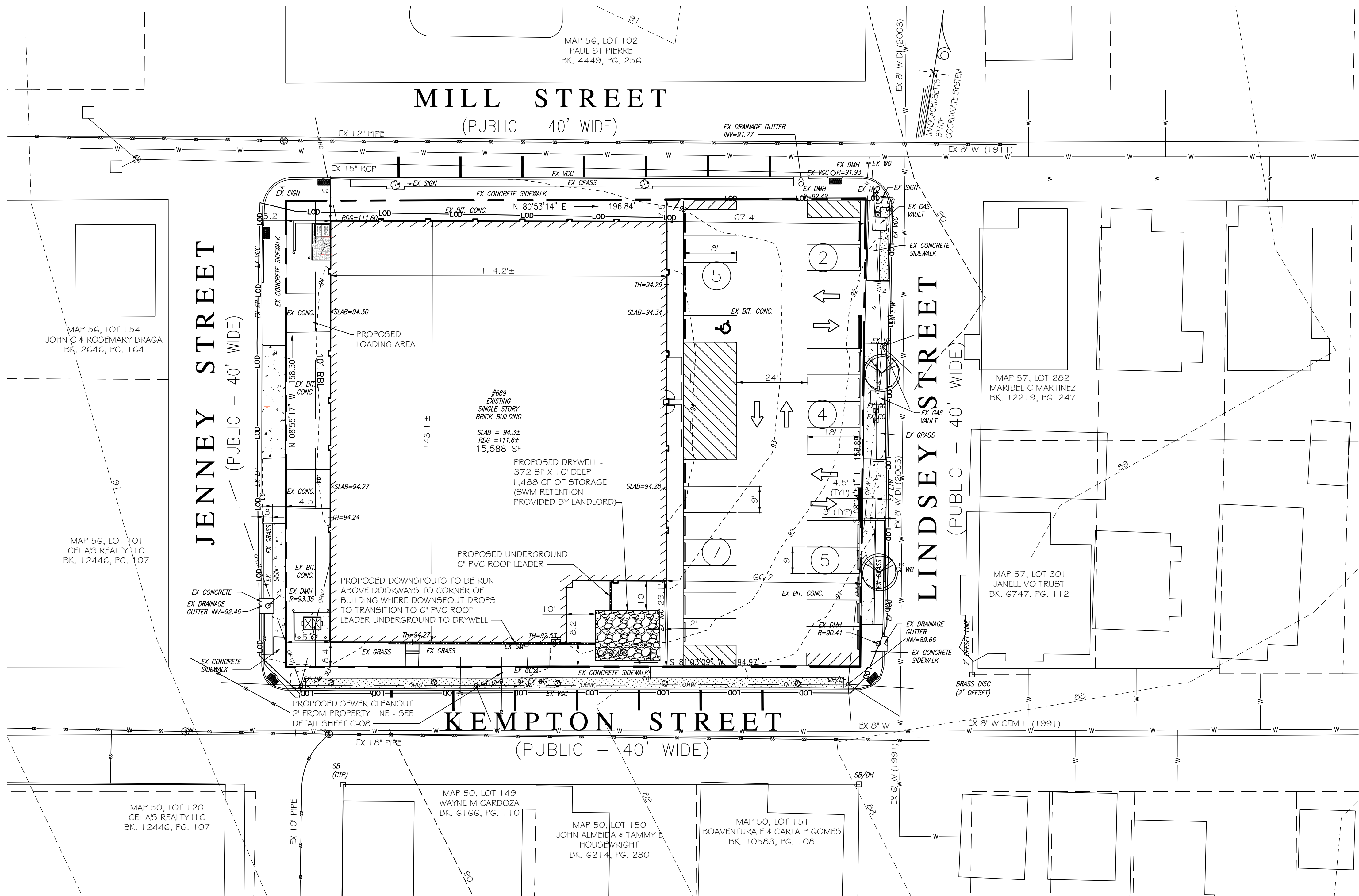
ENGINEERS
PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS
936 RIDGEBROOK ROAD
SPRINGFIELD, MA 01102
TELEPHONE: (410) 316-7800
FAX: (410) 316-7818

REVISIONS			
NO.	DATE	DESCRIPTION	BY

DATE 06/06/2022
SCALE 1"=20'
DESIGNED BY CTS
DRAWN BY CTS

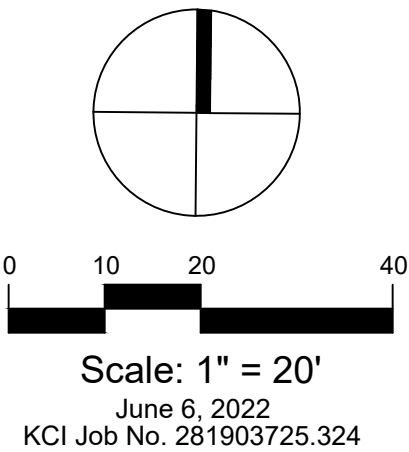
GRADING AND DRAINAGE PLAN
FAMILY DOLLAR
689 KEMPTON STREET
NEW BEDFORD, MASSACHUSETTS
PARCEL: 56 137 DEED: 9701/112

DRAWING NO. C-05
SHEET 5 OF 8 KCI JOB NUMBER 281903725.324



LEGEND			
	SB (CTR)		CENTER OF STONE BOUND
	SB/DH		STONE BOUND W/DRILL HOLE FOUND
	DIMPLED MATT		JERSEY BARRIER
	DMH		VERTICAL GRANITE CURBING
	GAS GATE		VERTICAL CONCRETE CURBING
	GAS METER		EDGE OF PAVEMENT
	FIRE HYDRANT		EDGE OF TRAVELED WAY
	INVERT		RIM ELEVATION
	METAL POST		SLAB ELEVATION
	SIGN		RIDGE ELEVATION
	DECIDUOUS TREE		OVERHEAD WIRES
	UTILITY POLE		CONTOUR LINE
	UTILITY & LIGHT POLE		PROPERTY LINE
	WATER GATE		LIMITS OF DISTURBANCE
			BUILDING RESTRICTION LINE

- NOTES:
- PROPOSED UTILITIES ARE LIMITED TO THE ROOF LEADERS DRAINING TO THE PROPOSED DRYWELL, AND A SEWER CLEANOUT.
 - THE CONTRACTOR SHALL OBTAIN A STREET DISTURBANCE AND OBSTRUCTION PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
 - ALL WATER, SEWER, AND STORM DRAIN MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
 - ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF NEW BEDFORD BEFORE BEING BACKFILLED.
 - THE CITY SHALL BE NOTIFIED AT LEAST ONE FULL WORKDAY PRIOR TO REQUIRED INSPECTIONS.
 - LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE BASED ON UTILITY PLANS OBTAINED FROM THE CITY. THESE PLANS DO NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS, SIZES AND TYPES BY THE PROPER UTILITY COMPANIES. KCI TECHNOLOGIES, INC DOES NOT GUARANTEE THE EXISTING UTILITY INFORMATION AS SHOWN ON THESE PLANS.



OWNER 689 KEMPTON STREET LLC 689 KEMPTON STREET NEW BEDFORD, MA 02740	DEVELOPER FAMILY DOLLAR STORES, INC 500 VOLVO PARKWAY CHESAPEAKE, VA 23320 ZACHARY HARRIS PHONE: (757) 321-5906 ZHARRIS@DOLLARTREE.COM
--	--

UTILITY PLAN
FAMILY DOLLAR
689 KEMPTON STREET
NEW BEDFORD, MASSACHUSETTS
PARCEL: 56 137 DEED: 9701/112

DRAWING NO.
C-06
SHEET 6 OF 8
KCI JOB NUMBER
281903725.324



KCI TECHNOLOGIES
ENGINEERS
PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS
936 RIDGEBROOK ROAD
SPRINGFIELD, MA 01104
TELEPHONE: (410) 316-7800
FAX: (410) 316-7818

REVISIONS			
NO.	DATE	DESCRIPTION	BY

DATE: 06/06/2022
SCALE: 1"=20'
DESIGNED BY: CTS
DRAWN BY: CTS

PLOTTED: \$400
PLOTTER: \$200
FILE: \$100
TOTAL: \$700

