

SITE DEVELOPMENT PLANS

FOR

BURGER KING - CITY OF NEW BEDFORD, MA

1383 COVE ROAD NEW BEDFORD, MA 02744



DRAWING LIST:

CS Cover Sheet
SP-2 Prior Survey Exhibit
SV As-Built Survey
C1 Demolition Plan
C2 Site Plan
C2.1 Existing Conditions Exhibit
TT1 Truck & Emergency Vehicle Access Plan
C5 Existing Planting Plan
C7 Details Sheet

WAIVED DRAWINGS:

Specifications

Grading & Drainage
Utility Plan
Lighting/ Photometric Plan
Architectural Plan- Building Elevations
Architectural Plan- Floor Plans

CLIENT:

JSC MANAGEMENT GROUP BURGER KING FRANCHISEE PO BOX 217 LYNDONVILLE NY 14098 (585) 735-7198

ENGINEER:

APD ENGINEERING & ARCHITECTURE 615 FISHERS RUN VICTOR, NY 14564 (585) 742-0222 CONTACT: TODD MARKEVICZ, P.E.

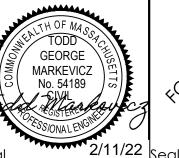
SITE DATA:

LOCAL JURISDICTION:

2007.2001.02101.11	0 0		
ZONING CLASSIFICATION:	MUB - MIXED USE BUSINESS		
PERMITTED USES:	FAST FOOD		
ACCESSORY USES:	DRIVE-THROUGH FACILITY		
OWNER:	COVE DEVELOPMENT CORP		
PROPERTY ACREAGE:	± 2.5 AC - LEASE LIMITS CONSISTS OF 32,478 SQFT		
PARKING REQUIREMENT:	1 SPACE PER EACH EMPLOYEE PER SHIFT FOR A MINIMUM OF 5 SPACES PLUS 1 SPACE PER 100 SQFT OF GFA WITH A MINIMUM OF 20 SPACES		
REQUIRED SPACES:	38 SPACES	38 SPACES	
PREVIOUSLY APPROVED:	63 SPACES		
PROPOSED SPACES:	40 SPACES *SPECIAL PERMIT NEEDED		
BULK REQUIREMENTS	REQUIRED	PROPOSED	SPECIAL PERMIT
LOT AREA	8,000 SQFT	32,478 SQFT	NO
LOT WIDTH	0 FT	± 260 FT	NO
number of dwelling units	1	1	NO
total gross floor area	0 SQFT	3,321 SQFT	NO
BUILDING HEIGHT	7 STORIES - 100 FT	1 STORY - 16.8 FT	NO
front setback	20 FT	± 25 FT	NO
SIDE SETBACK	10 FT	± 25 FT	NO
REAR SETBACK	30 FT	± 200 FT	NO
LOT COVERAGE BY BUILDINGS	0%	10%	NO
PERMEABLE AREA	0%	85%	NO
GREEN SPACE	0%	15%	NO
OFF STREET PARKING SPACES	63	40	YES
LONG-TERM BICYCLE SPACES	0	0	NO
SHORT-TERM BICYCLE SPACES	0	0	NO
LOADING BAYS	0	0	NO

CITY OF NEW BEDFORD

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Burger King

JSC Management Group Attn: James Cammilleri Burger King Franchisee 585.735.7198

Burger King #5399

Map: 19 Lot: 42

1383 Cove Road

New Bedford, MA 02744

Bristol County

Project Name & Location:

Cover Sheet

Drawing Name:

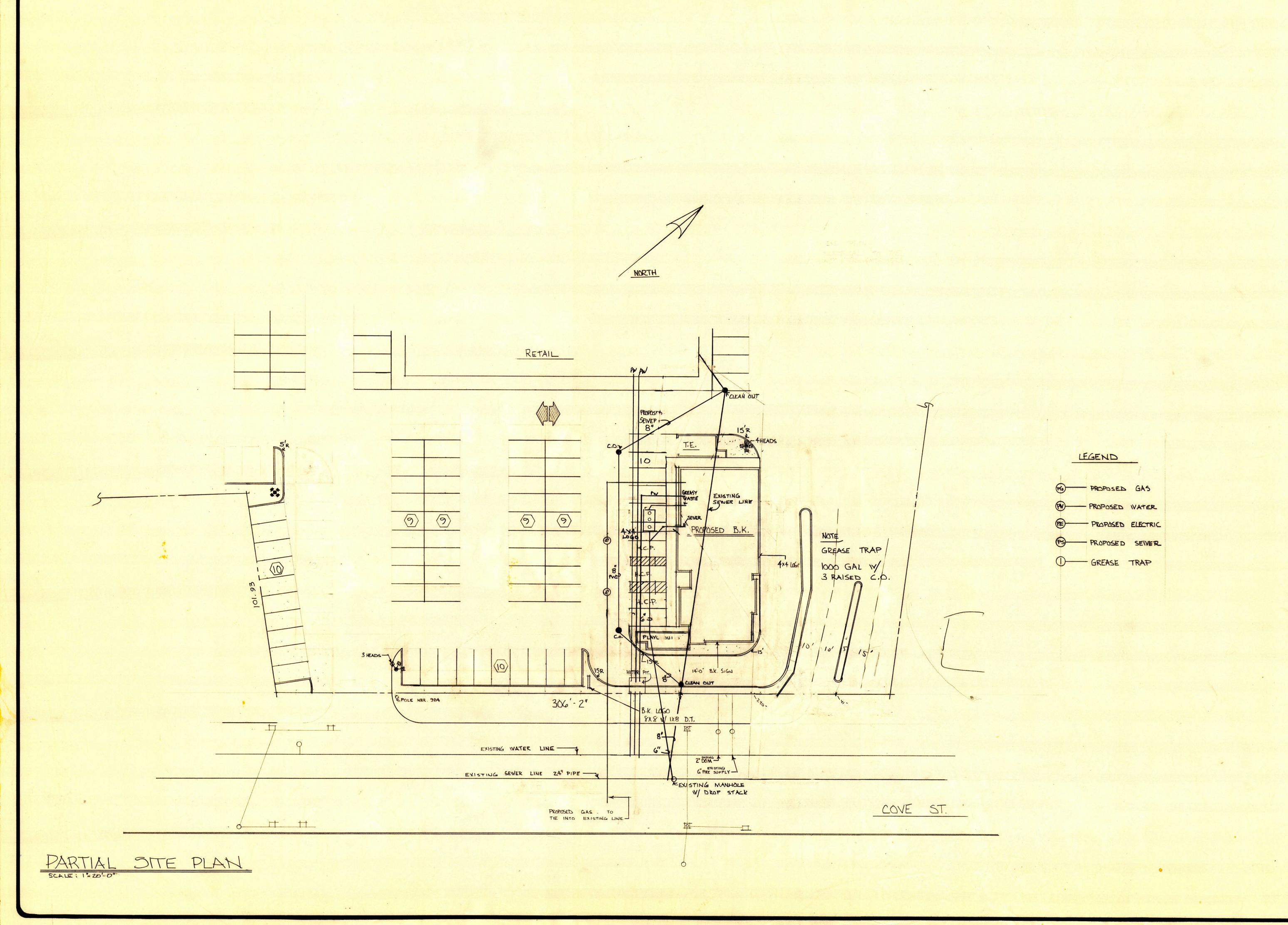
Project No.

Date: 10/29/21

20-0118

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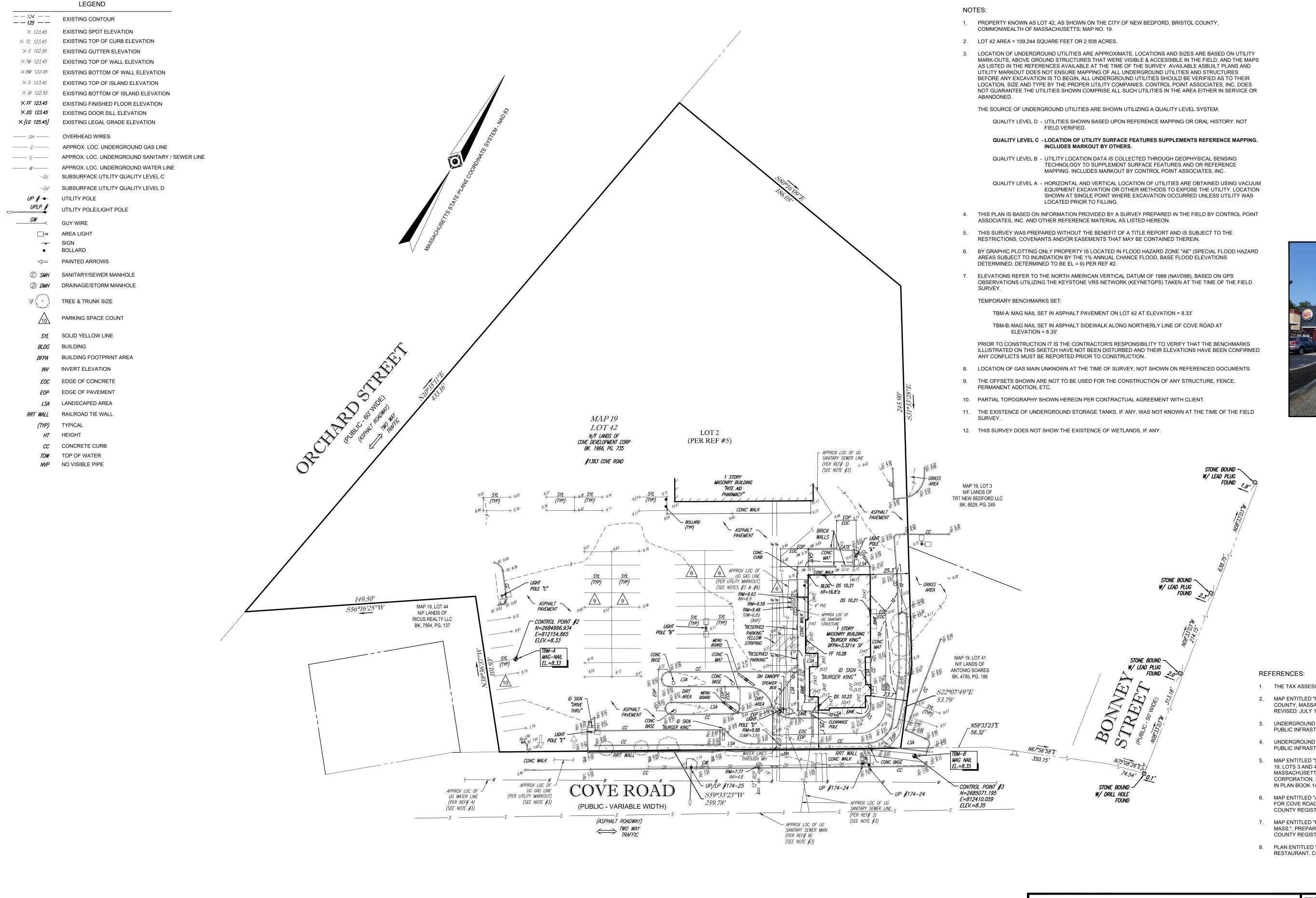
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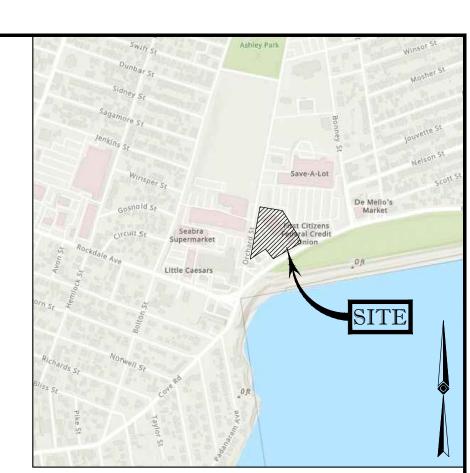
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REVISIONS

TE 7.8.86

SP-2





LOCUS MAP NOT TO SCALE



ITEMS	HEIGHT	WIDTH
B.K. PYLON SIGN	8.1'	8.2'
B.K. PYLON SIGN POLE MOUNT	24.1'	-
BUILDING MOUNTED B.K. SIGN (F)	2.5'	18.3'
BUILDING MOUNTED B.K. SIGN (S)	4.0'	4.0'
PARKING LOT LIGHT BASE (A)	1.7'	-
PARKING LOT LIGHT POLE (A)	23.0'	-
PARKING LOT LIGHT (OVERALL)(A)	24.7'	-
PARKING LOT LIGHT BASE (B)	1.7'	-
PARKING LOT LIGHT POLE (B)	22.8'	-
PARKING LOT LIGHT (OVERALL)(B)	24.5'	-
PARKING LOT LIGHT BASE (C)	0.5'	-
PARKING LOT LIGHT POLE (C)	22.4'	-
PARKING LOT LIGHT (OVERALL)(C)	22.9'	-
PARKING LOT LIGHT BASE (D)	0.8'	-
PARKING LOT LIGHT POLE (D)	22.8'	-
PARKING LOT LIGHT (OVERALL)(D)	23.6'	-
PARKING LOT LIGHT BASE (E)	0.3'	-
PARKING LOT LIGHT POLE (E)	22.8'	-
PARKING LOT LIGHT (OVERALL)(E)	23.1'	-

- * OVERALL HEIGHT CALCULATED FROM GROUND ELEVATION TO TOP OF LIGHT ** POLE HEIGHT CALCULATED FROM TOP OF CONCRETE BASE TO TOP OF POLE
- (F) = FRONT BUILDING MOUNTED SIGN (S) = SIDE BUILDING MOUNTED SIGN
- 1. THE TAX ASSESSOR'S MAP OF NEW BEDFORD, BRISTOL COUNTY, MAP 19.
- 2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, BRISTOL COUNTY, MASSACHUSETTS (ALL JURISDICTIONS), PANEL 481 OF 550," MAP NUMBER 25005C0481G, MAP REVISED: JULY 16, 2014.
- UNDERGROUND SEWER MAPPING IN THE AREA PROVIDED BY CITY OF NEW BEDFORD DEPARTMENT OF PUBLIC INFRASTRUCTURE ENGINEERING DEPARTMENT.
- 4. UNDERGROUND WATER MAPPING IN THE AREA PROVIDED BY CITY OF NEW BEDFORD DEPARTMENT OF PUBLIC INFRASTRUCTURE ENGINEERING DEPARTMENT.
- MAP ENTITLED "SUBDIVISION PLAN COVE ROAD, ORCHARD STREET, AND BONNEY STREET, ASSESSOR'S PLAT 19, LOTS 3 AND 42 ASSESSOR'S PLAT 24 LOTS 202 AND 310 SITUATED IN NEW BEDFORD, BRISTOL COUNTY, MASSACHUSETTS, PREPARED FOR RENAISSANCE DEVELOPMENT CORP.", PREPARED BY: JOHN P. CAITO CORPORATION, DATED: AUGUST 11, 1999, AND RECORDED WITH THE BRISTOL COUNTY REGISTRY OF DEEDS
- MAP ENTITLED "APPROVAL NOT REQUIRED PLAN OF LAND IN NEW BEDFORD, MASSACHUSETTS PREPARED FOR COVE ROAD, LLC", PREPARED BY: SITEC, DATED: AUGUST 2, 2004, AND RECORDED WITH THE BRISTOL COUNTY REGISTRY OF DEEDS IN PLAN BOOK 154, PLAN 94.
- MAP ENTITLED "PLAN OF LAND BELONGING TO EVANGELOS & CLARICE G. VAPHIADES IN NEW BEDFORD, MASS.", PREPARED BY: W. RAHN BAUER, P.E., DATED: JANUARY 26, 1952, AND RECORDED WITH THE BRISTOL COUNTY REGISTRY OF DEEDS IN PLAN BOOK 44, PLAN 38.
- RESTAURANT, COVE ROAD, NEW BEDRORD, MA, REVISED OCTOBER 28, 1986.
- 8. PLAN ENTITLED "UTILITY PLAN" PREPARED BY JANCO DESIGN, A DIVISION OF JANCO INC., FOR BURGER KING



BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO STURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH. (IN FEET) 1 inch = 30 ft

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL



-10 MA -06 MA	1383 COVE ROAD LOT 42, MAP 19		
LD BOOK PG. 7-38 19	,		
D CREW	CONTROL POINT		

21-10 MA

B.A.V.

HUSETTS ASSOCIATES, INC.

APD ENGINEERING & ARCHITECT

1" = 30'

PRELIMINARY BOUNDARY & PARTIAL TOPOGRAPHIC SURVE

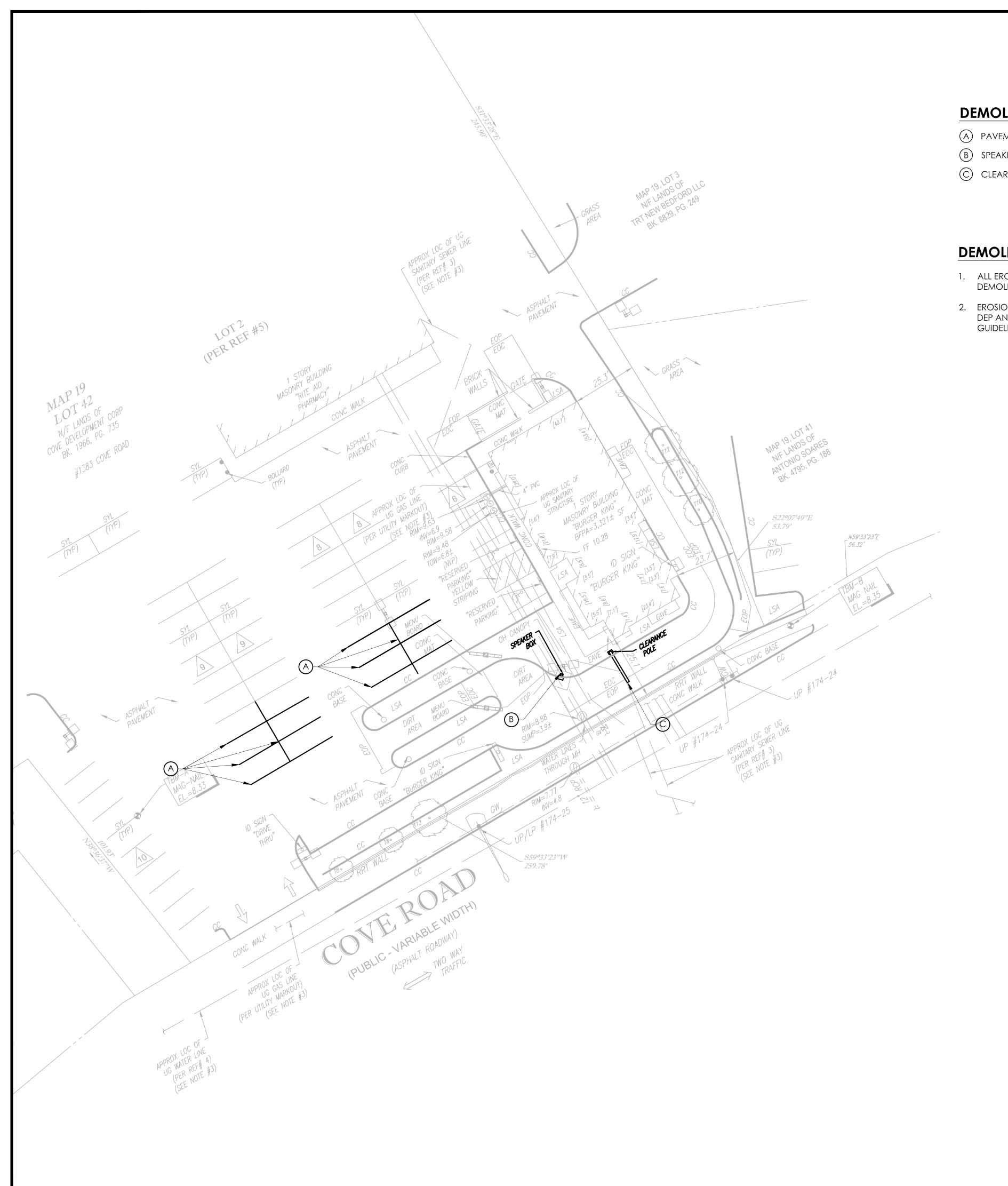
352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772

12-2-2021

ALBANY, NY 518-217-5010 CHALFONT, PA 215-712-9800 HAUPPAUGE NY 631-580-2645 MANHATTAN, NY 646-780-041 MT LAUREL, NJ 609-857-2099 WARREN, NJ 908-668-0099

MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

508.948.3000 - 508.948.3003 FAX REVIEWED:



- Associates Inc. Last revised
- 2. Partial Site Plan prepared by

DEMOLITION LEGEND:

- A PAVEMENT MARKINGS TO BE REMOVED
- B SPEAKER BOX TO BE REMOVED
- C CLEARANCE BAR TO BE REMOVED

DEMOLITION NOTES:

- 1. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION OR ANY SITE WORK.
- 2. EROSION CONTROL BMPS SHALL CONFORM TO US EPA, NPDES, MA DEP AND MASSACHUSETTS EROSION AND SEDIMENTATION CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS.

- 1. Survey prepared by Control Point 12/02/2021.
- Janco Design, dated 07/08/1986.

CONTRACTOR SHALL CONTACT DIGSAFE AT 811 FOR LOCATION STAKE-OUT OF ALL UTILITIES, AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.REFER TO WWW.DIGSAFE.COM FOR ADDITIONAL INFORMATION DIGSAFE MA, ME, NH, RI, VI

LEGEND OF EXISTING FEATURES

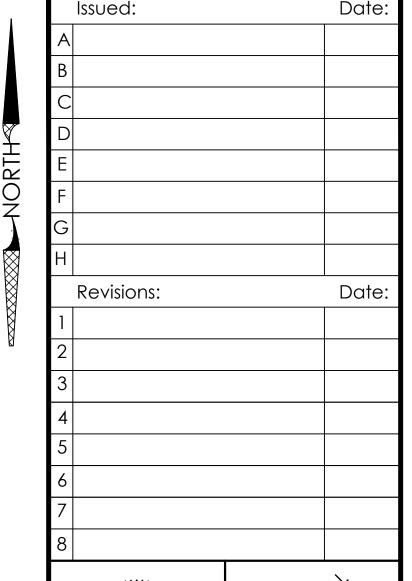
REFER TO THE SURVEY PREPARED BY CONTROL POINT ASSOCIATES INC.

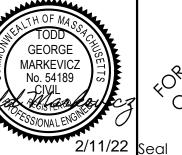
Graphic Scale: 1"=20'

LEGEND OF IMPROVEMENTS

 SUBJECT PARCEL PROPERTY LINE
 EXISTING FEATURES/STRUCTURES TO REMAIN
EVICTING FEATURES TO BE

EXISTING FEATURES TO BE DEMOLISHED





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Burger King

JSC Management Group Attn: James Cammilleri Burger King Franchisee 585.735.7198

Burger King #5399

Map: 19 Lot: 42

1383 Cove Road New Bedford, MA 02744

Bristol County

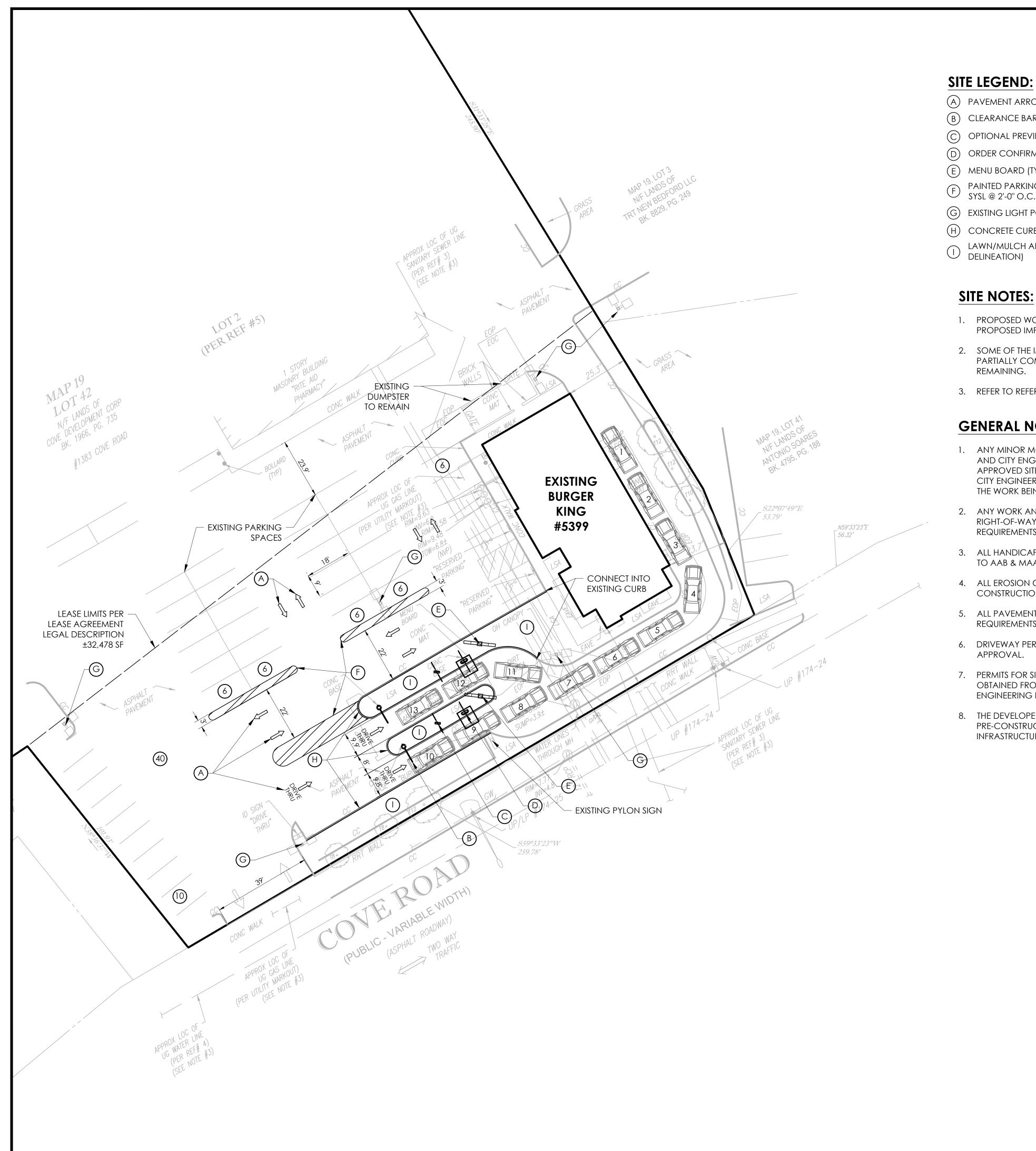
Project Name & Location:

Demolition Plan

Drawing Name: Project No. Date: 10/29/21 20-0118 Type:

Drawn By: ASH

1''=20' Drawing No.



- 1. Survey prepared by Control Point Associates Inc. Last revised 12/02/2021.
- 2. Partial Site Plan prepared by Janco Design, dated 07/08/1986.

- (A) PAVEMENT ARROWS
- (B) CLEARANCE BAR (TYP)
- © OPTIONAL PREVIEW BOARD (TYP)
- ORDER CONFIRMATION UNIT (TYP)
- E MENU BOARD (TYP)
- F PAINTED PARKING ISLAND AREA TO BE STIME LESS SYSL @ 2'-0" O.C. AND AT 45° TO PARKING SPACE. PAINTED PARKING ISLAND AREA TO BE STRIPED WITH 4"
- © EXISTING LIGHT POLE TO REMAIN
- (H) CONCRETE CURB
 - LAWN/MULCH AREA (REFER TO PLANTING PLAN FOR
- DELINEATION)

SITE NOTES:

- 1. PROPOSED WORK AS NOTED ON THE SITE PLAN, REFERS TO ALL PROPOSED IMPROVEMENTS PRIOR TO 2021.
- 2. SOME OF THE IMPROVEMENTS SHOWN ON THE SITE PLAN HAVE BEEN PARTIALLY COMPLETED. OWNER TO COORDINATE WITH GC FOR WORK REMAINING.
- 3. REFER TO REFERENCE 2 FOR SITE CONDITIONS PRIOR TO 2021.

GENERAL NOTES:

- 1. ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY PLANNER AND CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLAN SHALL BE SUBMITTED TO THE CITY PLANNER AND CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
- 2. ANY WORK AND MATERIAL WITHIN THE CITY OF NEW BEDFORD RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
- 3. ALL HANDICAPPED PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAB & MAAB REQUIREMENTS.
- 4. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
- 5. ALL PAVEMENT MARKINGS SHALL CONFORM TO MUTCD REQUIREMENTS
- 6. DRIVEWAY PERMITS ARE SUBJECT TO TRAFFIC COMMISSION APPROVAL.
- 7. PERMITS FOR SIDEWALKS, DRIVEWAYS, WATER & SEWER MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE ENGINEERING DIVISION.
- 8. THE DEVELOPER AND SITE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE PRIOR TO THE START OF CONSTRUCTION.



Graphic Scale: 1"=20'

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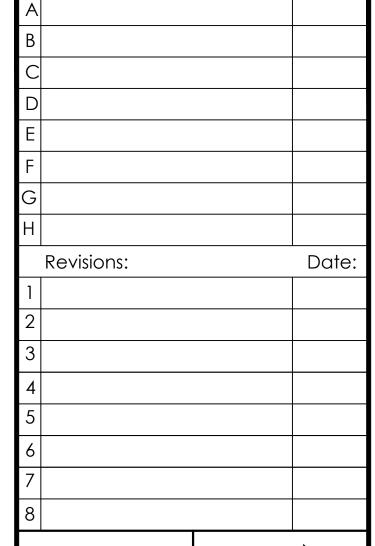


LEGEND OF EXISTING FEATURES

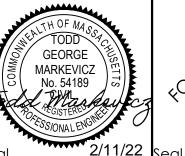
REFER TO THE SURVEY PREPARED BY CONTROL POINT ASSOCIATES INC.

LEGEND OF IMPROVEMENTS

SUBJECT PARCEL PROPERTY LINE



Issued:



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Burger King #5399

Map: 19 Lot: 42

1383 Cove Road New Bedford, MA 02744

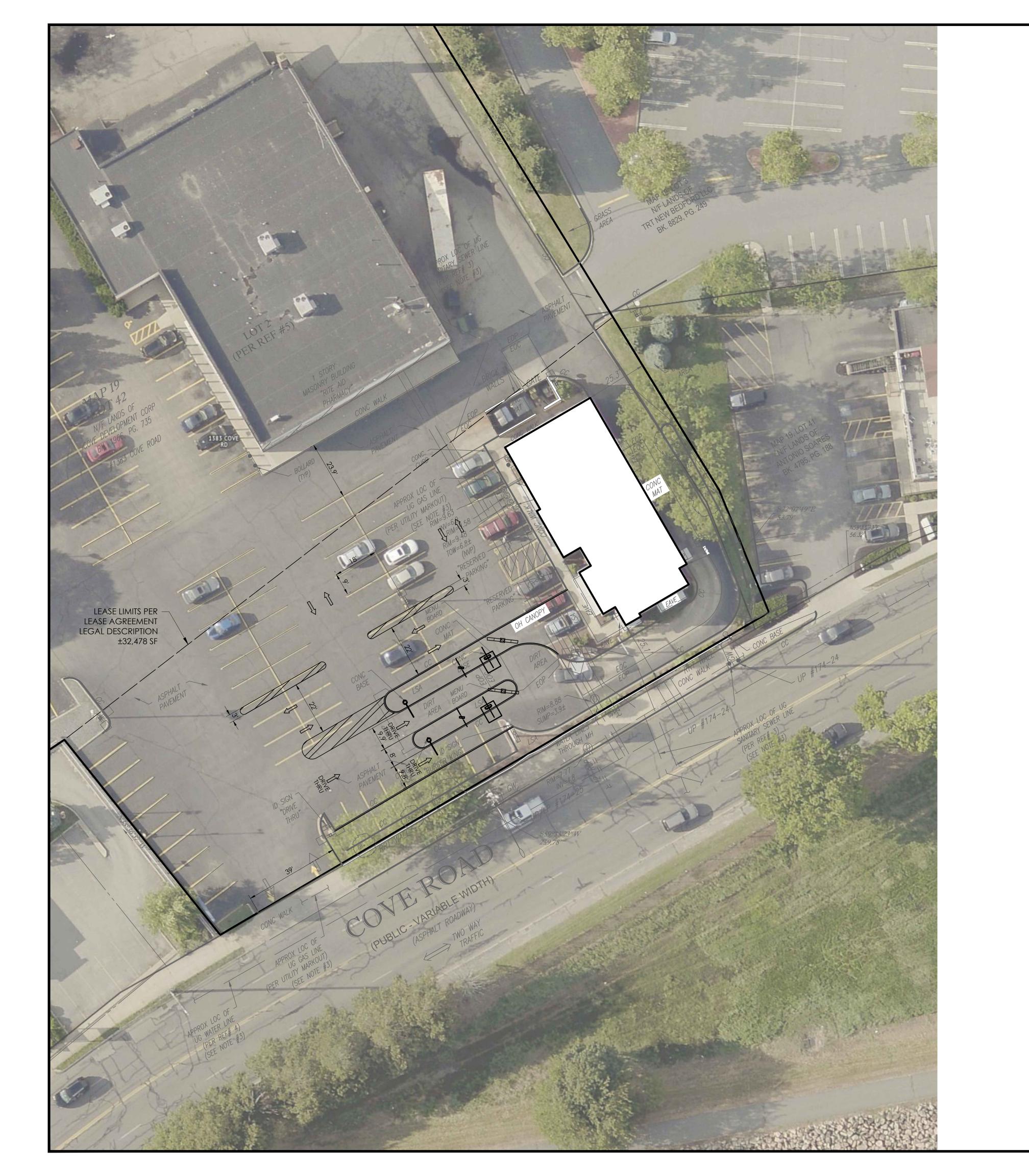
Bristol County

Project Name & Location:

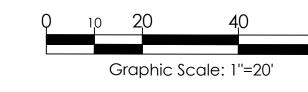
Site Plan

Drawing Name: Project No. Date: 10/29/21 20-0118 Type:

Drawn By: ASH 1''=20' Drawing No.



- 1. Survey prepared by Control Point Associates Inc. Last revised 12/02/2021.
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LEGEND OF EXISTING FEATURES

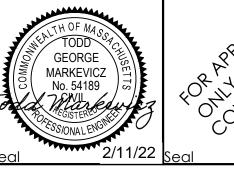
REFER TO THE SURVEY PREPARED BY CONTROL POINT ASSOCIATES INC.

LEGEND OF IMPROVEMENTS

SUBJECT PARCEL PROPERTY LINE

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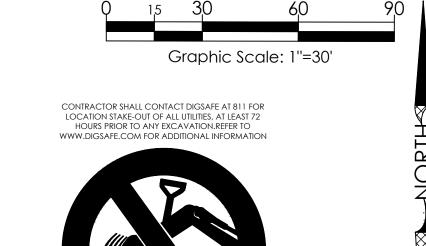
Existing Conditions Exhibit Drawing Name:

Project No. Date: 10/29/21 20-0118 Type:

Drawn By: ASH 1''=20' Drawing No.



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LEGEND OF IMPROVEMENTS

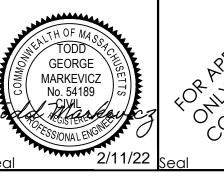
SUBJECT PARCEL PROPERTY LINE

GENERAL NOTES:

- DELIVERIES ARE MADE AT NIGHT TIME OUTSIDE OF STORE HOURS.
- 2. DELIVERIES ARE MADE BY BOX TRUCKS.
- 3. NO CARS WILL BE IN THE PARKING LOTS DURING DELIVERIES.
- 4. A WB-50 TRUCK IS SHOWN TO REFLECT EXTREME CIRCUMSTANCES.

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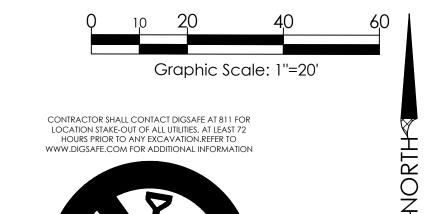
Truck & Emergency Vehicle Access Plan

Drawing Name:	
	Project No.
Date: 10/29/21	00 0110
	20-0118
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Drawn By: ASH	TT 1
DIGWITTEY. 7311	111

1"=30' Drawing No.



- 1. Survey prepared by Control Point Associates Inc. Last revised 12/02/2021.
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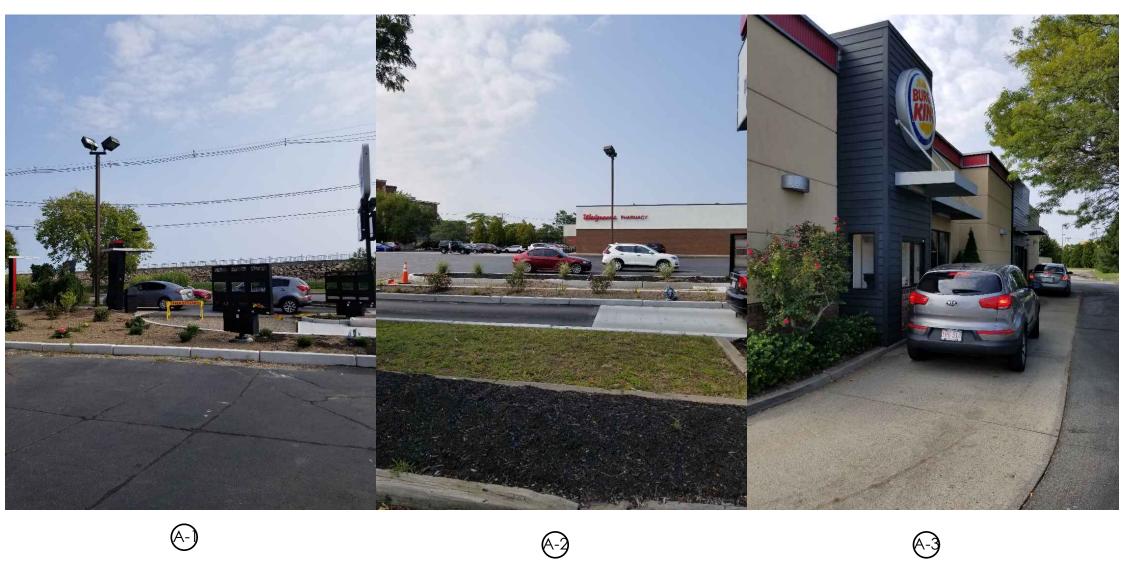


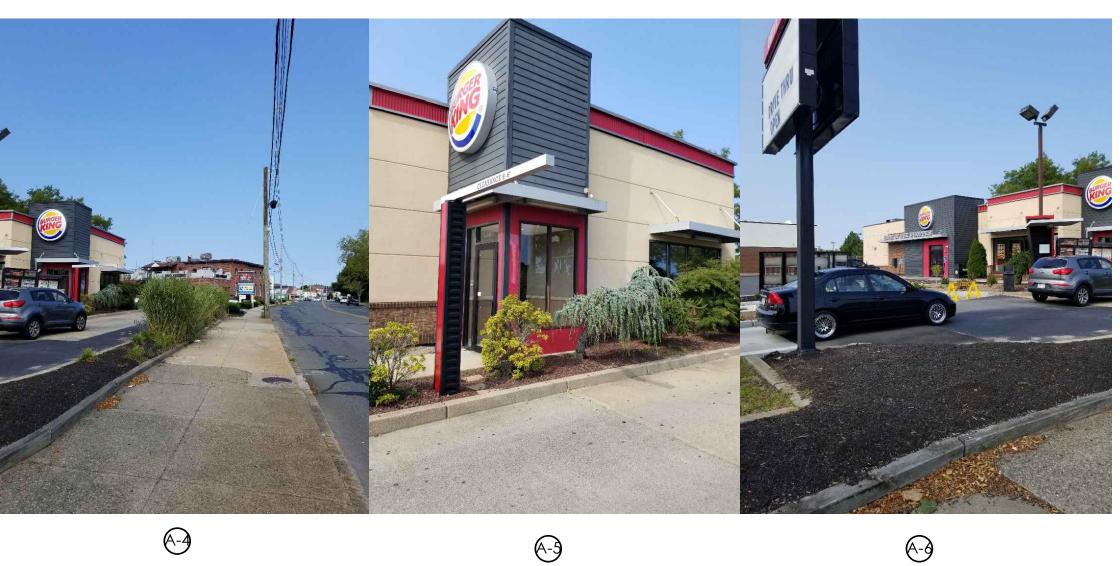
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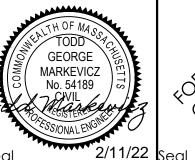
APPROXIMATE LOCATIONS OF PLANTINGS BASED ON SITE PHOTOS DATED 2021-11-15:





PLANTING SCHEDULE			
QTY	BOTANICAL NAME	COMMON NAME	
1	Hibiscus syriacus	Rose of Sharon	
6	Hosta	Hosta	
3	Rosa 'Knock Out'	Coral Knockout	
6	Buxus "Franklin Gem"	Franklins Gem Boxwood	
3	Hydrangea macrophylla	Summer Crush Hydrangea	
15	Hemerocallis x 'Happy Returns'	Happy Returns Daylily	

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Bristol County

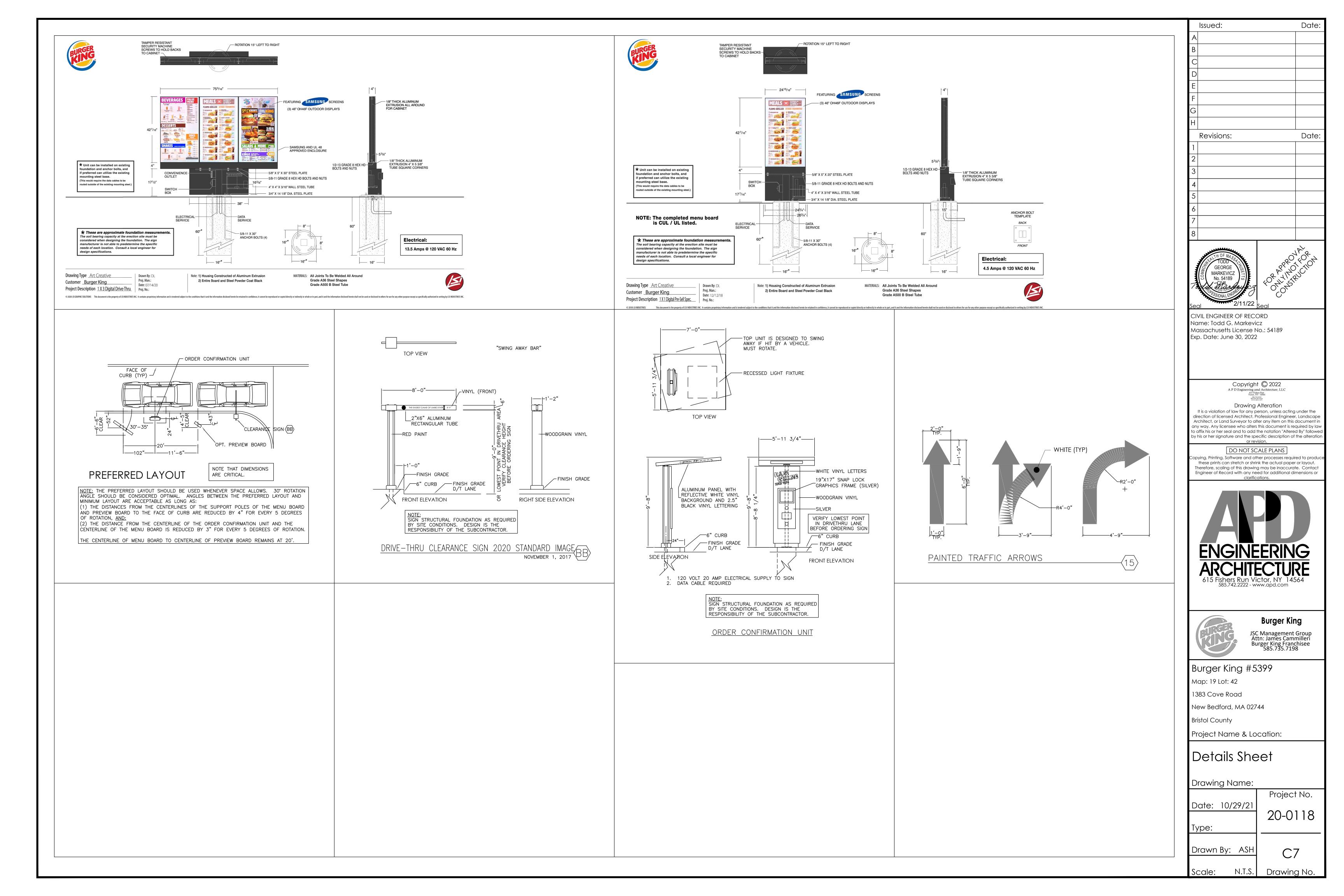
Project Name & Location:

Existing Planting Plan

Drawing Name: Project No. Date: 10/29/21 20-0118 Type:

Drawn By: ASH

1"=20' Drawing No.



THE SPECIFICATIONS ARE NOT PROVIDED AS AN INDICATION OF WORK, BUT PROVIDE REQUIREMENTS AND STANDARDS OF WORK REQUIREMENTS AND STANDARDS OF WORK REQUIRED, DUE TO UNFORESEEN CONDITIONS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH AUTHORITY HAVING JURISDICTIONS REQUIREMENTS. WHEN THESE SPECIFICATIONS ARE IN CONFLICT WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION THE MORE STRINGENT SHALL BE REQUIRED AS DETERMINED BY THE ENGINEER AND AUTHORITY HAVING JURISDICTION.

GENERAL CONSTRUCTION CONDITIONS

- 1. The term of Owner as used in these specifications and notes shall include the owner of the property, the company or party that hired the Contractor, the company or party that signed the contract for this work, and the agents of each. The Owner's representative shall be the individual or party assigned by the Owner to be the Owner's representative. Owners of adjacent properties shall include the property owner, lessee, legal occupier, and operator of any business on that property.
- All work and materials shall comply with all local, state, and federal regulations, codes, and O.S.H.A. standards and be constructed to meet or exceed those codes.
- The Contractor shall be responsible for all temporary permits, connection permits, fees, inspections and record keeping required by all municipal, utility, health, environmental, state, or federal agencies that may have jurisdiction. Furthermore, the Contractor shall be responsible to meet or exceed all requirements of the agencies or authorities having jurisdiction over his work. All conflicts in requirements of different agencies, authorities, and/or the design shall be brought to the attention of the owner's representative before proceeding.
- The Contractor shall be responsible to locate and maintain the property and project limits throughout the project. All conflicts between the design and the project/property limits shall be brought to the attention of the owner's representative before proceeding. Unless described in the contract documents or shown on the drawings the Owner has not secured any right of ways, easements or agreements with other property owners or property users. Therefore, it shall be the Contractor's responsibility to secure and maintain any temporary right of ways, easements. permits, or agreements he may need to perform his work. All such agreements shall hold the Owner, Engineer of Record, and his agents harmless and the responsibility of the Contractor to bear all costs. The Contractor shall copy the Owner on releases of all agreements prior to final payment by the Owner to the Contractor. The Contractor shall not interfere with operations of adjacent businesses and work shall be completed off-hours, as necessary. Coordinate with Municipality for any restrictions on allowable working hours.
- Unless otherwise noted on the drawings or in the contract documents the Contractor shall be responsible for all construction survey, layout, and record drawings for this contract. Any conflicts in survey/layout and the design or agencies requirements shall be brought to the attention of the owner's representative prior to proceeding with the work. The Contractor shall protect and safeguard all existing survey corners, monuments, control and tie-downs. The Contractor shall pay all costs to repair or replace damaged survey monuments, control and tie-downs. Record drawings shall be provided in accordance with any requirements of the authorities having jurisdiction including the required information to be provided, and signatures, seals, and certifications that may be required.
- No changes to the design or materials specified may be made without written authorization by the Engineer of Record or in the case of utilities or road work to be dedicated, the authority receiving dedication. At the end of the contract, the Contractor shall provide to the Owner a record set of drawings reflecting all changes made by the Contractor during construction.
- Erosion control is necessary whenever sediment, dust, erosion, or contaminated run-off may occur. The Contractor shall be responsible to place and maintain whatever erosion control or run-off protection is required to protect his work, the work of others, the project, adjacent properties and the health and well being of the workers, public and surrounding natural resources. This shall include additional measures beyond the project plans, as necessary. They shall be familiar with all federal, state and local requirements regarding erosion and run-off control.
- The Contractor shall be familiar with the project site and all adjacent pedestrian, traffic, and business uses. The Contractor shall take whatever precautions and steps necessary to maintain safety and operation of these uses in accordance with federal, state, county, and local requirements. The Contractor shall be responsible for costs and damages caused from his failure to take proper and adequate precautions. The Contractor shall be familiar with all federal, state, and local requirements regarding these uses.
- The Contractor shall be responsible for costs and delays associated with weather, groundwater, and other occurrences that could be expected or are common with this type of work. The Contractor shall review all pertinent documents including soils reports, soils borings, and other soil or
- 10. The Contractor shall be responsible to save and protect his work throughout the contract. Any damages requiring repairs or replacement shall be corrected by the Contractor at his expense
- When work is done within a road, utility or private easement, right of way, or other property agreement, the Contractor shall do all work within that area per the authority having jurisdiction.
- When separate site and building contracts are performed, the site Contractor shall be responsible to bring utilities to within 5 feet of building face unless noted otherwise on drawings or contract documents.
- 13. All utilities are shown per surface surveys and/or record maps and may vary from actual in-field locations. The Contractor is responsible for all utility stake outs and locating utilities prior to commencing work. Any damage to utilities due to improper stake out, lack of stake out or the failure to verify differences between drawings and actual field conditions will be the responsibility of the Contractor to repair, replace, or pay damages at no expense to the contract.
- 14. Contractor shall comply to the fullest extent with the latest standards of OSHA directives or any other agency having jurisdiction for excavation and trenching procedures. The Contractor shall use support systems, sloping, benching, and other means of protection. This includes, but is not limited to, access and egress from all excavation and trenching. Contractor is responsible to comply with performance criteria for OSHA. Trench excavation requiring sheeting, shoring or other stabilizing devices shall be designed by a Professional Engineer and meet all O.S.H.A. requirements. All excavations shall maintain safe side slopes in accordance with local, state and O. S. H. A. requirements. No stocking of material close to an open cut or steep slope will be permitted in an effort to prevent cave-ins.
- 15. The contractor shall select the means and methods for providing support of excavations in accordance with safety requirements, plans, and project specifications. The contractor must evaluate soil conditions during excavations since variations in the soil can occur across the site. The excavations should be monitored continuously for signs of deterioration such as seepage of water or sloughing of soil into the excavation. The contractor is ultimately responsible for excavation safety.
- 16. The Contractor shall notify the Owner immediately and stop all work in areas where hazardous materials are discovered. When required, the Contractor shall notify the appropriate environmental and health agencies.
- 17. The Contractor shall coordinate with the Authority having jurisdiction for all required inspections and be responsible to hire any required third party inspectors.
- 18. For any testing, inspections, and/or certifications requiring a Professional Engineer, the Contractor shall be responsible to hire a third party engineer. A copy of all tests shall be provided to the Engineer of Record.
- 19. Any discrepancies between plans, details, and specifications shall be immediately brought to the attention of the Engineer of Record.
- Stabilizing fabric (woven geotextiles), if required, shall meet the following requirements "modulus (load at 10% elongation) =115lb per ASTM D1682-64", "Grab tensile strength 200lb per ASTM D 1682-64", "mullen burst strength = 400psi per ASTM D 3786-87", "trapezoid tear strength when applicable = 115lb per ASTM D1117-80", "coefficient of permeability K OM/SEC = .015 per ASTM D 4491-85", "water flow rate GPM/SF= 60 per ASTM D 4491-85". When stabilization fabric is used it shall be pulled tight and all wrinkles removed. Overlaps shall be in accordance with manufacturer's recommendations. Refer to Geotechnical Engineers report, if available, for additional information.
- 21. Filter fabric (non-woven geotextile), if required, shall meet the following requirements "grab tensile elongation =50% per ASTM D1682-64", "Grab tensile strength 70lb per ASTM D 1682-64", "mullen burst strength = 200psi per ASTM D 3786-87", "trapezoid tear strength when applicable = 35lb per ASTM D1117- 80", "coefficient of permeability K CM/SEC = .2 per ASTM D 4491-85", "water flow rate GPM/SF= 180 per ASTM D 4491-85". When filter fabric is used it shall be pulled tight and all wrinkles removed. Overlaps shall be in accordance with manufacturer's

DEMOLITION

- The Contractor shall inspect all structures, facilities and areas slated for demolition to gain a full understanding of the work required. The Contractor shall take whatever measures necessary to protect the safety of the public, his employees and agents during the inspections and subsequent work. The Owner, Client, and Engineer of Record are not responsible for the condition of the buildings, facilities, or other areas slated
- All materials not slated for reuse must be disposed of off site in a legal manner. The Contractor may salvage any equipment or materials not designated by the Owner to be saved. All salvaged material or items shall be removed from the site immediately upon removal. No such materials shall be stored on the site. Absolutely no sales of salvaged materials will be allowed on the project site. All salvaged material must be removed, transported, and disposed of in a legal manner.
- Upon approval by Owner, the Contractor shall be responsible to remove and store safely all materials slated to be saved or reused. The Contractor shall document existing conditions using photographs prior to start of work and notify Owner of any existing damage prior to construction start. The Contractor shall be responsible for all costs to repair or replace existing features to remain (including but not limited to fencing, lighting, curbing, pavement, utilities, storm structures, landscaping, etc.) that are damaged due to his work or failure to protect throughout the duration of his contract.
- 4. No burning, explosives, or other potentially dangerous methods of demotion will be allowed unless written permission is granted by the Owner and all appropriate permits are granted.
- The Contractor will provide whatever safety equipment and devices are necessary to protect the adjacent properties, structures and other areas slated to remain. This will also include erosion control, dust control, and settlement.
- All areas shall be brought back to their original grade or that of the surrounding area, which ever is closer to the final grades of the project for that area. All areas requiring fill shall be compacted to the requirements of the area but in no case less than 90% of modified proctor
- All demolition within the proposed building footprint shall be coordinated with the building drawings.
- 8. Light pole removal shall include complete removal, backfill of concrete base, and capping of any conduit/wiring in to be abandoned in place.

CLEAR AND GRUE

- 1. Clearing and grubbing shall not commence until erosion control plans, including applicable BMP's, are in place, in accordance with the project
- The Contractor shall review plans and identify and safely mark all plants and trees to be saved. The Contractor shall protect all plants and trees to be saved throughout the contract. This shall include prohibiting any work within the drip line of the tree, except under the supervision of a licensed Landscape Architect.
- All areas to be cleared and grubbed shall be surveyed in the field to establish the appropriate limits of work.
- 4. The Contractor shall take whatever measures necessary to locate and protect existing utilities, structures, wetlands, and other facilities to remain.
- 5. All trees, shrubs, stumps, roots, and other debris shall be removed from site and disposed of in a legal manner. 6. No burning will be allowed on site.

PAVEMENT AND STRUCTURAL SUBBASE

- 1. The type of subbase required for each use shall be called out on the drawings. If no reference is made on the drawings or details to the type of subbase required the following shall be used:
- The source of the material shall be one approved for use by the State Department of Transportation. The material shall be a crushed stone conforming to AASHTO M 147-65 (1980 or latest revision), grade A.
- Gravel or other materials can only be substituted for crushed stone when approved in writing by the Owner and Engineer of Record. Material supplied for use as subbase shall have 100% passing the 2 inch sieve, 30% to 65% passing the 3/8 inch sieve, 25% to 55% passing the No. 4 sieve, 15% to 40% passing the No. 40 sieve and 2% to 10% passing the No. 200 sieve.
- Subbase shall be placed in lifts not to exceed 8 inches and compacted to the requirements stated in the soils report. If not stated, the compaction requirement shall be 95% of maximum dry density per ASTM D1557 (modified proctor).
- The Contractor will be responsible for all costs in preparing the subgrade to receive subbase. This shall include fine grading and compacting as necessary to meet the requirements stated here and under Earthwork.
- The amount of testing required to verify the compaction shall be the same as stated under Earthwork. Refer to General Construction Conditions for filter fabric requirements, if applicable.

EARTHWORK

- Earthwork shall not commence until erosion control plans, including applicable BMP's, are in place, in accordance with the project plans.
- Refer to Project Geotechnical Report for full project recommendations. Where Geotechnical Report is not clear or does not give requirements, the following may be used.
- Prior to starting any cuts or fills the Contractor shall strip and stockpile all topsoil. Stripping of topsoil can only commence after the clear and grub operations are complete and all erosion control devices are in place in that area. Topsoil shall be stockpiled in areas designated on the plans or approved by the owner's representative. The Contractor shall review the soils reports, boring logs, and, when necessary, his own field verification so as to be familiar with the depth of topsoil. The Contractor shall take all reasonable precautions to prevent over and under removal.
- Unless otherwise noted, the grades shown on the plans are finished grades. Therefore, povernent, floors, subbase, and other improvements must be subtracted to calculate subgrade elevations.
- The Contractor shall maintain a survey grid of not less than 100' x 100' or other means acceptable to the Owner's representative that will indicate location and amount of cut or fills remaining. At subgrade this grid shall be 50' x 50' with location and final grade marked clearly or survey shall be completed demonstrating that the subgrade is \pm 0.1 feet of required subgrade.
- Unless otherwise noted on the drawings or in the contract documents, the Contractor shall retain and pay all cost for soil compaction testing to be performed by an independent testing laboratory. For each lift placed, compaction testing shall be done every 2000 sq. ft. In trenches, compaction testing shall be done every other lift with at least 1 test every 50 LF. Structural fill placed 2 feet or deeper below the finished subgrade elevation or finished grade of graded areas shall have a maximum particle size of 6
- inches. Structural fill placed within the upper 2 feet of proposed subgrade or finished grade of graded areas shall have a maximum particle size of 3
- Compaction requirements shall be those autlined in the soils report, if provided. If the soils report is not clear or does not give requirements, the
- (modified proctor). Under proposed or future pavement areas, including 10 feet outside such areas, the soil shall be compacted to a minimum of 93% maximum dry density per ASTM D 1557 (modified proctor).

Under and to 20 feet outside the building envelope the soils shall be compacted to a minimum of 95% maximum dry density per ASTM D 1557

- All landscape and lawn areas shall be compacted to 90% maximum dry density per ASTM D 1557 (modified proctor).
- The testing lab shall test soils in accordance with ASTM D 2922 (nuclear method) with proctors for each soil type.
- Constructed berms shall be compacted to 95% maximum dry density per ASTM D1557. All material to be used for fill shall be free of organics, frozen material, contaminated material, debris, and any rocks larger than 4 inches. For fill placement within 1 foot of subgrade, no rock shall be greater than 2 inches in diameter. The Contractor shall bear all cost associated with drying, segregating, or required methods to treat soils to meet compaction and other requirements.
- All fill placed within berms that detain/retain water shall be a minimum of 20 percent by weight of material passing the No. 200 sieve, and a maximum particle size of 6 inches. The limit of the berm areas shall include both the upstream and downstream slopes down to an elevation equal to the bottom of the planting soil media (excluding this planting soil media area)]. Any on-site out areas could be utilized as fill material for the berm, as long as all construction requirements and specifications were met (placement, compaction, gradation, permeability, etc.). Inclusion of vegetation, organic material, or frozen soil in the embankment, as well as placing of embankment material on a frozen surface is prohibited. Bedding material for all pipes and conduits within berm area shall be placed in layers not thicker than 4 inches before compaction with particle size limited to 3 inches in the greatest dimension, and compacted to required density of fill material for berm. Anti-seep collars are required for all pipes/utilities within the berm
- The Contractor shall take all necessary precautions to protect earthwork operations from weather and ground water including keeping positive drainage, divert drainage, dewatering, and sealing disturbed areas with a steel drum roller prior to inclement weather.
- 12. If imported material is required, the source and a random composite sample shall be reviewed by the testing laboratory prior to being brought to site. The testing laboratory shall test for percent passing the 200 sieve that does not exceed the existing on site material or in no case greater than 10% They shall also verify consistency with existing on site materials and all other requirements. Waivers to these requirements can only be given jointly by Engineer of Record and the Geotechnical Engineer that prepared the soils report.
- 13. The testing lab may restrict some on site materials from being used as fill in building or pavement areas when it is their opinion that the material will not meet requirements stated here. If such conditions do exist and other material is not available on site, the owner's representative must authorize in
- writing the use of import material unless there will be no additional cost to the contract. Fills shall be placed in lifts not to exceed 8 inches in mass fills and 6 inches in trench or restricted areas. All subgrades shall be thoroughly proofralled using a smooth drum roller with a minimum static drum weight of 20 tons, operated in static mode. A minimum of 2 overlapping passes in one direction, fallowed by 2 overlapping passes in a direction perpendicular to the first 2 passes. Areas which are unsuitable and which cannot be stabilized with repeated compactive effort shall be overexcavated to a suitable subgrade. The undercut should be of adequate depth such that, after backfilling is complete the resulting subgrade surface is firm and stable under proofrolling. Onsite structural fill may be used to attain proposed subgrade elevation to replace the removed unsuitable material. If imported structural fill, base, or subbase course materials are used to backfill the undercuts within the building or pavement areas, a woven geotextile should be placed at the bottom of the undercut area prior to placement of the fill.
- Contractor is to remove any debris or surficial organic soils (ie. topsoil, organic subsoil, reworked soil) which may be encountered within the proposed building footprint, floor slabs, and pavement areas prior to the placement of any fill.
- 16. All final subgrade under proposed povernent, building, or other structure shall be proof rolled as described above for the identifying of soft areas. Areas found to be unacceptable shall be scarified, dried, and re-compacted. Retest by proof roll as necessary.
- All fill material is to be in place and compacted prior to installation of proposed utilities. Refer to pipe bedding details for trench dimensions. Additional width will only be allowed when compaction equipment limitations require and only after approval of the Engineer of Record. No more trench shall be open in one day than can be properly backfilled in that same day to minimize weather and safety concerns. When backfilling ground pipes, provide uniform support at invert and proper compaction under, along, and over the pipe. Care shall be given while backfilling around pipes to prevent damage to the pipes including: placing backfill/bedding by hand, using hand operated plate tamps or jumping jacks, and other load restrictive techniques until fills are a minimum of 2 feet or manufactures recommend depth, which ever is greater, above the top of the pipe. Compaction requirements are not relieved in these areas and will remain as stated on the drawings or above. If clean stone is used as a bedding or encasement, filter fabric shall be placed between the natural soils and backfill and the stone to prevent migration of fines. Anti-seep collars shall be provided in accordance with the details. The Contractor is cautioned against the migration of fines from soils adjacent to voids. Where such conditions exist the Contractor shall install or wrap those areas with filter fabric to prevents fines from migrating into voids.
- If rock is encountered that was not indicated on the plans or soils report, the area for removal should be measured and reviewed with the owner's representative prior to rock removal. Rock will be defined as the natural earth materials that can not be removed with conventional earth working
- Where rock is adjacent to a structure or utility, the rock shall be removed to a minimum of 6 inches below and 1 times the diameter, but not less than 1 foot or greater than 3 feet on any side.
- 20. No explosives will be allowed until all permits are granted and the Owner has signed off. Pre and post blast reports must be kept and recorded. All structures within the area of the blast must receive a pre- blast survey. All blasting must be performed by a licensed blaster.
- 21. Unless otherwise noted on the drawings, the Contractor shall remove all excess topsoil, cut material, or waste material from site and dispose of in a

TRAFFIC SIGNAGE AND PAVEMENT MARKINGS

- Pavement markings shall be the type, color, size, and locations shown on the plans. Contractor shall provide two (2) coats of paint for all pavement markings. If the information on the plans and details is not complete and the authority having jurisdiction does not have requirements regarding this, use the following:
- Paint shall be supplied in accordance with AASHTO: M 248 latest addition.
- 1.b. Colors shall be as follows:
- YELLOW- parking stalls, parking islands, and fire lanes
- WHTE stop bars and lettering, pedestrian crossings, handicap parking symbol and characters, and traffic control lettering and 1.b.2.
- BLUE background of handicap parking symbol
- The pavement shall be dean and free of dirt, dust, moisture, oils, and other foreign materials. Any old pavement markings shall be removed unless paints are compatible and overlay identically. The surface of the povernent prior to application shall be 45 degrees F and rising unless manufacturer's recommendations are greater. All painting shall be applied in appropriate weather conditions (e.g. temperature, wind, precipitation), and in accordance with manufacturer's recommendations.
- The signage and pavement markings shall be the type and at the general location shown on the drawings. The signage and pavement markings shall be provided and located in accordance with the Local Highway, County Highway, and State Department of Transportation. If local, county or
- Posts, brackets, and frames shall be steel per ASTM A-36, A-242, A-441, A-572, A588, Grade 50, and hot dip galvanized in accordance with ASTM A123. All cutting, drilling, or other pole modifications shall be painted with galvanizing paint. All bolts, nuts, and washers shall be stainless
- Post holes in pavement shall be a minimum of four feet deep and 12 inches in diameter unless poor soils or frost conditions require greater depth. Sign posts shall be kept plumb, 6 inches off bottom and centered as 4000 psi concrete is placed around the post. The overall sign and post system should be able to withstand 33 pounds per square foot.
- Contractor can place signs on posts after concrete has cured for seven days or 3/4 strength is achieved.
- 7. All handicap striping and signage, including spaces, crosswalk, accessible path, and curb ramps, shall meet Americans with Disabilities Act (ADA) requirements. Fire lane striping and signage shall meet the requirements of the local building inspector and fire department.

SITE CONCRETE - INCLUDING CURB, SIDEWALKS AND GUTTERS

- The dimensions shall be those shown on the drawings. The Concrete mix shall be 4000 psi at 28 days made with type I or type II cement per ASTM C 150 and aggregates meeting State Department of Transportation requirements, unless otherwise noted. Slump for slip forming shall be 1 inch +/-1/2 inch and for formed concrete the slump shall be 3 inch +/-1 inch. Air entraining mixture shall meet the requirements of ASTM C 260 4% + /-11/2% for slip form work and 6% + /-11/2% for formed and placed concrete. Water reducing agent shall conform to ASTM C 494, type A. Curing compounds shall conform with ASTM C309, type I, class A moisture loss of not more than .055 gr/sq cm when applied at 200 sq ft per gallon.
- Sidewalks, gutters and curbs shall be placed on compacted subbase consistent with the powernent subbase as shown on the drawings. When subbase details are missing and no agency has jurisdiction use the following: sidewalks and gutters shall be placed on a minimum of 6 inches of compacted subbase and curbs shall be placed on a minimum of 4 inches of compacted subbase.
- and all similar State Department of Transportation requirements. Reinforcing shall be in accordance with that specified on the drawings and the Concrete Reinforcing Steel Institute (CRSI) "manual of standard

All forming, placement, materials and curing shall conform to the latest addition of ACI 318 "Building code requirements for reinforced concrete"

- practices". Reinforcing steel shall be ASTM A 615, grade 60, deformed. Welded wire fabric shall be ASTM A 185, welded wire steel fabric. Sidewalks, and gutters shall have a broom finish perpendicular to flow with a picture frame edge joint all the way around. Ourbs shall have a smooth finish or light rub finish but consistent throughout the project.
- 6. Expansion joints shall be placed as per details and at adjoining structures such as walls, manholes and vaults. Expansion joint material shall be premolded, 1/2 inch material with 23/64 inch cap in accordance with ASTM D1751. After concrete has set the cap should be removed and void filled with waterproof joint filler. Ourb and autter shall be cut or tool jointed to 1/3 the depth every 10 feet. Sidewalks should have tooled or cut joints to 1/3 the depth in squares or as close to square as possible not exceeding 5ft x5ft.

WATER SYSTEMS AND SERVICES

- The water systems and services shall be supplied and placed in accordance with all local, state and federal requirements. When the requirements of the authority
- having jurisdiction differ from those shown on this plan, Contractor shall adhere to the more stringent standards. Refer to Pipe Bedding Detail for pipe bedding requirements.
- All water piping, fittings and appurtenances shall be placed a minimum of 5 feet of cover in lawn and 6 feet of cover in paved areas. Pipe sizes 4 inches and up shall be ductile iron or polyvinyl chloride as indicated on the drawings (if not shown use ductile iron). Pipe sizes below 4 inches shall be copper or polyethylene as indicated on the drawinas (if not shown use copper)
- The minimum separation between water services and sewer lines shall be 18 inches measured vertically from outside to outside of pipe at the crossing. A standard length of water pipe shall be centered at the crossing to maximize the distance between the crossing and the nearest water service pipe joint. The sanitary line shall be ductile iron pipe with mechanical joints at least 10 feet on both sides of crossing, the waterline shall have mechanical joints with appropriate thrust blocking as required to provide a minimum of 18" clearance meeting requirements of ANSI A21.10 or ANSI 21.11 (AWWA C-151) (Class 50). Contractor shall adjust elevation of water as needed to maintain adequate separation and burial depth. When the water service runs under the sewer line, a gravel or crushed stone backfill meeting the requirements of subbase shall be placed and compacted around the water pipe up half the diameter of the sewer pipe to provide adequate support to the sewer line. Ductile iron pipe shall be provided in accordance with AWWA C151, (6 inch diameter and greater shall be Class 50 and 6 inches and smaller shall be Class 51). Ductile iron pipe shall be lined with a cement mortar and seal coated in accordance with AWWA C104. Caskets shall be provided in accordance with AWWA C111. Fittings shall be ductile iron in accordance with AWWA C153 compact fittings with a pressure rating of 350 psi. Water services and sewer lines running parallel shall have a minimum separation of 10 feet measured from outside of pipe to outside of pipe. At crossings, one full length of water pipe shall be located so both joints will be as far from the sewer as possible. Special structural support for the water and sewer pipes may be required.
- All pipes shall be installed per manufacturer's recommendations. Ten gauge copper tracer wire shall be placed with all plastic pipe. Pipe material shall be as follows: PVC (Polyvinyl Chloride) pipe shall be furnished in accordance with AWWA C900 for pipe 4 inches or greater and ASTM D 1785, schedule 40, gaskets per
- ASTM F 477- elastomeric seal, solvent cement per ASTM D 2564 for pipes smaller than 4 inches. PE (Polyethylene) pipe shall be furnished in accordance with AWWA C901 and ASTM D2737. Ten gauge copper tracer wire will be placed with all plastic
- DIP (Ductile iran pipe) shall be provided and installed in accordance with AWWA C151 and C600 (6 inches and greater shall be Class 50, smaller than 6 inches shall be Class 51). Ductile iron pipe shall be lined with a cement mortar and seal coated in accordance with AWWA C104. Gaskets shall be provided in accordance with AWWA C111. Fittings shall be ductile iron in accordance with AWWA C153 compact fittings with a pressure rating of 350 psi. Standard ductile iron or cast iron fittings shall be supplied in accordance with AWWA C110 with a pressure rating of 250 psi. The lining and gaskets for the fitting shall meet the same requirements as the pipe. If recommended in the soils report, ductile iron pipes shall be encased in polyethylene in accordance with
- AWWA C105 and tar coat all fitting bolts whenever soils are primarily day or not pH balanced. Copper water pipe shall be supplied in accordance with ASTM B 88- type K, seamless with fittings per AWWA C800.
- Gate Valves shall be nonrising stem, double disc, bronze disc Resilient seated, cast iron or ductile iron body and bonnet in accordance with AWWA C509 and pressure rated for 250 psi. Ten gauge copper tracer wire will be placed with all pipes.
- Valve box shall be cast iron with a base compatible with valve, 5 inches in diameter, screw type extension at top and a cover that reads "WATER".
- All tap and/or connection material and work shall be done in accordance with and coordinated with the local Water Authority and Health Department. When the Authority so requires, the taps and/or connections shall be done by the Authority themselves and paid for by the Contractor.
- Curb stops shall have a bronze body, ground key plug or ball with wide tee head. The curb stop shall be compatible with adjoining pipes. The service box shall have a telescoping top section with a length that will place the adjustment centered when buried to the appropriate depth. The service box shall be of a size and

Thrust restraints will include concrete thrust blocks (3000 psi), anchoring joints and tie rods. Concrete thrust blocks shall be used unless space, access or

Thrust restraints shall be used at all fittings, plugs and appurtenances that cause a change in direction, flow or are subject to thrust or hammering by water flow.

- type that is compatible with the curb stop. The cover shall have the lettering "WATER". All meters, vaults and backflow shall meet the requirements of the health department and other agencies having jurisdiction.
- Fire hydrants shall conform to the requirements of the local water authority, fire department and AWWA C502. Drain stone shall have 100% passing the 1 1/2 inch sieve, 90 - 100% passing the 1 inch sieve, 35 - 95% passing the 1/2 inch sieve and 0 - 15% passing the 3/8 inch sieve. All hydrants will include a gate valve
- and box located at the hydrant branch to shut off the hydrant line. All bedding and encasements shall be compacted with care to achieve proper compaction without damaging the pipe, fittings, or appurtenances.
- If clean stone is required by the local authority having jusidiction and is approved by Owner and/or Engineer of Record, then the bedding material shall be wrapped in filter fabric and anti-seep collars shall be provided to prevent the migration of fines.
- All water mains fittings and valves shall be tested for pressure and leakage in accordance with AWWA C600. Test water shall be potable. Test pressures shall not be less than 1.25 times the working pressure at the highest point and 1.5 times the working pressure at the testing point. The pressure may not drop more than 5 psi during the 2 hour test. Leakage will not exceed more than (L=SD(P)1/2 /133,200) where "L = allowable leakage, in gallons per hour" "S= length of pipe tested, in feet" "D= nominal diameter of pipe, in inches" "P= average test pressure during test, in pounds per square inch (gauge) during the same 2 hour
- Other fitting and appurtenances not part of the main line testing shall be tested by visual inspection for leakage under normal working pressures.

All main lines and appropriate appurtenances shall be flushed and disinfected in accordance with AWWA C651 and the requirements of the appropriate health

- The Contractor will coordinate all testing and disinfecting with the water authority and health department.
- Any testing failure shall require the Contractor to repair or replace the failed section at no additional expense to the contract.

STORM WATER SYSTEM

- The storm water system shall be supplied and placed in accordance with all local, state and federal requirements.
- Storm design includes many variables, such as pipe roughness coefficient, that can affect the actual final run-off. If no alternative materials are listed on
- the utility drawings, no substitutions may be made by the Contractor unless first reviewed and accepted by the Engineer of Record. Refer to Pipe Bedding Detail for pipe bedding and anti-seep collar requirements.
- Storm pipe material shall be as follows:
- 12 inches and up shall be corrugated polyethylene pipe (CPP) with smooth interior, in accordance with AASHTO M252 & M294 and ASTM F405 & F667, with a manning friction number (n) of 0.013 or less. Install in accordance with ASTM F449 and the manufacturer's recommendations. Smaller than 12 inches shall be CPP, as per requirements above, or Polyvinyl Chloride (PVC) per ASTM D 3034, SDR 35 with gaskets per ASTM D
- 3212. elastomeric seal.
- End sections shall be the same material as the preceding pipe and appropriate collar. Increase size of manhole if in the same horizontal plane there is two areas where the area between two pipes is less than 8 inches or ½ of the circumference is supported by less than ½ of the diameter of the manhole. Inverts shall be smooth cast in place concrete. Caskets between risers shall be
- rubber per ASTM C 443. Adjustment rings shall be precast concrete 4000 psi and 5 to 8% air entrainment.
- Inlets shall meet the same requirements as those listed for manholes, except sumps shall be provided as per details, rather than a smooth invert. Grates shall be galvanized per ASTM A123. Minimum grate opening size will be 24 inches x 24 inches and design for a minimum of H-20 loading. Refer to
- details for additional information. Dry wells shall meet the same requirements as those listed for manholes with the addition of openings of approximately 15% of the rings interior surface. The openings shall be 1 x 3 inch slots or 1 inch diameter on the inside surface. Dry wells shall be backfilled with a minimum of 1 foot of dean stone sized between 3 and 4 inches. Outside the stone, the entire structure shall be wrapped in filter fabric to prevent outside soils from entering the stone and dry

All storm pipe entering structures shall be grouted to ensure connection at structure is watertight and structurally sound. All storm sewer pipes entering and

- 10. Unless otherwise noted, underdrains and trench drains shall be made with 4 inch perforated corrugated polyethylene pipe encased in clean stone sized between 2 inch and ¼ inch and then wrapped in filter fabric. Outside dimensions of the trench drain will not be less than 1 foot.
- exiting structures shall be flush with the inside of the structure wall. 12. All pipe shall be placed in accordance with the manufacturer's recommendation and to the lines and grades shown on the drawings. Care shall be given during backfill operations not to move or damage pipe or appurtenances while achieving the appropriate compaction requirements.
- All systems shall be visually inspected for alignment and workmanship. All debris, dirt or other foreign objects shall be removed from system by a method of than flushing and material removed shall be disposed of properly. 14. Any pipes found with diameter deflections greater than 5% of the specified pipe diameter will be repaired or replaced. Any dignment differentials greater than
- 5% of the diameter of the pipe will be corrected or replaced. 15. Any cleaning, repairs, or replacement required due to failure of testing or poor workmanship shall be done by the Contractor at no additional expense to the

ASPHALT PAVEMENT

- Asphalt shall be the type or types specified on the drawings. If no type is indicated the Contractor shall use a mix specified by the State Department of Transportation for top and binder. All asphalt shall be produced in state approved plants with state approved products.
- Asphalt will only be placed when the outside temperature is 45 degrees F and rising. Asphalt will never be placed on frozen material, during medium or heavy precipitation or when preceding precipitation has saturated the subbase and/or subgrade.
- Surfaces that will abut the new asphalt shall be tack coated prior placement of asphalt including curbs, gutter, existing asphalt and structures. Tack coat shall be applied neatly to match the lines and grades of the proposed abutting asphalt at a rate of .05 to .15 gallons per square yard. When binder is used as a working surface during construction, or there is a prolonged time period between binder and top placement, the surface must be

power washed, not just swept, and a tack coat should be applied prior to installation of top course. In addition, any yielding area of powerment binder should

- be removed and replaced prior to application of the top course. Asphalt shall be placed in layers equal to those specified on the plans. Thickness of each layer or the thickness of all layers combined shall not vary more than 1/4 inch for thickness of 0 to 4 inches and 1/2 inch for thickness of 4 inches or greater, from those specified on the drawings. The asphalt shall also be tested for smoothness by laying a 16 foot straight edge on the pavement and verifying that there are no gaps greater than 1/4" in any direction.
- Placement and compaction requirements shall be the same as those specified by the State Department of Transportation of which the project is located. The rolling shall be done in such a manner that will match joints and leave a smooth uniform surface while providing the proper compaction which will be 95% of laboratory density.

When matching into existing pavement, all match joints shall be saw out to provide a straight smooth joint. The asphalt depth at the match point shall be

- equal to that of the proposed or existing which ever is greater. Paving equipment shall be of good condition and quality. Asphalt shall be placed by mechanical equipment except in small areas that are inaccessible to a power. The binder joints and the top joints shall be offset. The top course shall be placed parallel to the direction of travel. Asphalt shall be transported in covered trucks and scheduled in such a manner that will maintain asphalt temperature. Asphalt shall be rejected when temperatures fall below 250 degrees F
- All sub-base, asphalt, curb or other work performed in a State, County or Municipal right-of-way shall be furnished, installed, inspected and completed in accordance with their specifications, details and other requirements.

or the minimum temperatures specified by the State Department of Transportation.

SEEDING AND LANDSCAPING

- Topsoil shall be removed from stockpiles and spread in the areas shown on the plans. The depth of topsoil shall be a minimum of 4 inches in lawn areas and a minimum of 12 inches in landscape planting areas. If enough topsoil is not available onsite, the Contractor is required to import as necessary. All disturbed lawn areas are to receive topsoil, seed, mulching, and water until a healthy stand of grass is established.
- Topsoil shall consist of fertile, natural agricultural soil substantially free of subsoil, stumps, roots, brush, stone, day lumps, or similar objects larger than 2 inches in the greatest diameter. Topsoil for reuse shall be screened if required to meet size and debris removal. Topsoil shall be approved by the owner at its source prior to transporting. The topsoil shall be fine graded to the lines and grades shown on the plans. The Contractor is responsible for keeping topsoil, seed, fertilizer, etc. off structures, pavements, and other site amenities; and will dean up unwanted deposits, at his expense.
 - Mow all areas to be cleared & seeded to 6" height maximum prior to beginning any new lawn work.

passes a ten mesh sieve, and at least 50% passes a 100 mesh sieve.

at a rate of 1000 lbs per agre before seeding.

free of insects, larvae, eggs, defects and disease.

- Loosen and till subgrade of lawn areas to a minimum depth of four inches, remove stones measuring 1.5 inches in any dimension, remove sticks, sod, rubbish, and other extraneous matter. Limit preparation to areas which will be planted promptly after preparation.
- Preparation of unchanged grades: where lawns are to be planted in areas that have not been altered of disturbed by excavating, grading, or stripping operations, prepare soil for lawn planting as follows: till to a depth of six inches. apply soil amendments and initial fertilizers as specified, till soil to a homogenous mixture and fine texture and complete fine grading,
- Clean all new lawn areas to be seeded of all debris, branches, stumps, brush, logs, metal, sticks, stones, etc. larger than two inches in
- Roll, rake, and/or arrag lawn areas to remove ridges and fill depressions to meet finish grades and to create a smooth, mowable lawn surface. Lime: natural dolomitic limestone containing at least 85% of total carbonates, and 30% magnesium carbonates; ground so that at least 90%
- The topsoil shall have a pH of 6.0 to 6.8 and an organic content of 3 to 20%. The gradation of the topsoil shall be 100% passing 2 inch
- sieve, 85 to 100% passing the 1 inch sieve, 65 to 100% passing the 1/4 inch sieve and 20 to 80% passing the No. 200 sieve. Lawn fertilizer shall be 55% nitrogen, 10% phosphorus and 10% potash where 50% of the nitrogen is derived from ureaform source. Work into soil
- Lawn seed shall be "50% by weight, 85% purity, 85% germination of Pennfine Perennial Rye", "30% by weight, 97% purity, 85% germination of Pennlawn Red Fescue", "20% by weight, 85% purity, 80% germination of Common Kentucky Bluegrass" at a rate of 200 lbs per acre. Mulch all seeded areas with approved straw at rate of 4000 lbs per acre. Maintain mulch as necessary and clean up upon satisfactory germination.
- 12. Steep slope mix (Type B unmowed 11/.3H or steeper) apply at a rate of 100 lbs. per acre using the following proportions by weight: 15% Creeping Red Fescue, 35% Chemung Crownvetch, 25% Kentucky 31 Tall Fescue, and 25% Empire Birdsfoot Trefoil.

Hydroseeding shall be applied in accordance with the following; fertilizer shall be placed at 80 pounds per acre, hydromulch at 1,200 pounds per

- acre, water at 500 gallons per acre, and seed at a minimum of 220 pounds per acre. Inoculate at 4x manufacturer's rate. A non-harmful color additive which colors the hydroseed mixture green shall be added to the mixture to allow visual metering of its application. The hydroseed mixture shall be sprayed upgrade and uniformly on the surface of the soil to form an absorbent cover, allowing percolation of water to the The Contractor will be responsible to water, reseed, or any other means necessary to ensure the growth of the lawn until a complete and
- uniform stand of grass has grown and been cut at least three times. Water by approved means immediately after mulching and thereafter a minimum of two times each week, or more when weather conditions require to a depth of one inch soil saturation. Mow all seeded areas to two inch height until final acceptance. In the event grass becomes too long, resulting in excessive dippings that could damage the lawn, the contractor shall remove all dippings at his expense. Lawn shall be presented to Owner in a condition that it may be maintained with standard mowing equipment
- Where substantial lawn remains (but is thin), mow, rake, aerate (if compacted), fill low spots, remove bumps, and scarify soil, fertilize, and seed. Remove weeds before seeding, if extensive. Apply selective chemical weed killers as required. Apply mulch if required to maintain moist condition. Plantings shall be supplied in accordance with the plans and ANSI 260.1 "American Standard for Nursery Stock" in good health, vigorous, and
- Plants shall be located per the plans. The holes shall be excavated per the details on the drawings with the center slightly higher to promote drainage. Use a topsoil backfill mix of 4 parts topsoil, 1 part peat moss, 1/2 part well rotted manure, 10 pounds 5–10–5 planting fertilizer properly mixed per cubic yard. Berm around plants to form a bowl shape.
- Two layers of weed barrier made from fiberglass and ultraviolet light resistant shall be placed under all planting beds prior to mulching. All trees and shrubs shall be staked as detailed on the drawings. Tree wrapping will be provided at the base of all trees as detailed.
- uniformly over the planting bed allowing no weed barrier to be seen to a minimum depth of 3". Color to be chosen by Owner. All landscaping shall be guaranteed for two years after final acceptance. Any plantings needing replacement will be guaranteed from the time of replacement if after final acceptance. Contractor shall maintain plants until completion and final acceptance of the entire project. Maintenance shall include pruning, cultivating, edging, remulching, fertilizing, weeding, watering as required for healthy growth, and application of appropriate insecticides and fungicides necessary to maintain plants free of insect and disease. Repair all washouts, gullies, and areas of unsatisfactory germination by replacing topsoil, restaking, and reseeding, as required. Reset settled plants to proper grade and position. Restore planting saucer and remove dead material. Tighten and repair guide wires and deficiencies within the first 24 hours of initial planting, and not less than twice per week until final acceptance. Contractor shall request an inspection by the Owner upon establishment of the uniformly germinated lawn.

Mulch shall be 50% shredded bark and 50% wood chips, 3/4 to 2 inch in size, uniformly mixed and free of elm wood. Mulch shall be placed

Following the final acceptance, the Owner shall be responsible for maintenance of all landscaping on the premises. Antidesiccant: protective film emulsion, providing a protective film over plant surfaces, but permeable to permit transpiration. Mixed and applied in accordance with manufacturer's instructions. Apply to all broadleaf evergreen shrubs per manufacturer's recommendations.

- SANITARY SEWER SYSTEMS
- The sanitary sewer system shall be supplied and placed in accordance with all local, state and federal requirements. 2. Refer to pipe bedding detail for bedding and anti-seep collar requirements.
- Unless otherwise noted, sanitary pipe and fittings shall be Polyvinyl Chloride (PVC) per ASTM D 3034, SDR 35, with gaskets per ASTM D 3212, Forcemain pipe shall be Polyvinyl Chloride (PVC) per ASTM D 2241, SDR 21 (or lower if pressures are high in system) with gaskets per ASTM D 31.39, and elastomeric seal. The pipe shall be encased in a run of crush stone or gravel material with 100% passing the 1.0" sieve and 10% to 3%
- water, silts, or sands are encountered. All pipe shall be placed in accordance with the manufacturer's recommendation and to the lines and grades shown on the drawings. Care shall be
- given during backfill operations not to move or damage pipe or appurtenances while achieving the appropriate compaction requirements. All systems shall be visually inspected for alignment and workmanship. All debris, dirt or other foreign objects shall be removed from the system. 7. All taps to main lines shall be made with saddles when the tap is 1/2 the diameter or less of the existing pipe, but made with a sleeve when the tap is greater than 1/2 the diameter or equal to the existing pipe. If connections are required to equal size pipes of 8 inches or greater, manhole should be installed over the connection point and inverts formed. When connecting to an existing manhole, the connecting pipe hole shall
- be cored and a press wedge installed. The connection shall be mortared up with waterproof/plug mortar. Inside the existing manhole, the existing invert shall be brake out in a manner that protects from debris entering the live system, while a new invert is formed. Sanitary manholes shall be visually lamped after backfill to verify diagnment, cleanliness and there is no damage to the system. After the system
- has been backfilled for 30 days, the system shall be relamped and tested with a mandrel sized at 95% of the intended inside diameter. 9. Gravity systems shall be air tested between manholes to 3.5 psi for 5 minutes per ASTM F 1417 for plastic pipes.
- 10. Manholes shall be tested separately for leakage or infiltration using ASTM C 969. The allowed leakage = 0.1 gallons/(feet of diameter)(feet of head)(# of hours) and the test shall run for 24 hours. 11. The sanitary sewer system shall be tested for infiltration and exfiltration using ASTM C 969. The system shall be broken up into sections when
- necessary to consider groundwater depth, length and elevation differences. The allowable leakage shall be 100 gal/inch of pipe diameter/mile/day. 12. Any testing failure shall require the Contractor to repair or replace the failed section at no additional expense to the contract.
- After all testing is complete, and before the system is turned over to the authority having jurisdiction, the system shall be checked to verify it is dean and free of dirt, debris and other foreign matter. The Contractor shall dean any sections required at no additional expense to the contract
- 15. The pipe slope shall always meet the minimum, as listed in Section 33.4 of the Recommended Standards for Wastewater Facilities (Ten State

Increase size of manhole if in the same horizontal plane there is two areas where the area between two pipes is less than 8 inches or ½ of the

shall be rubber per ASTM C 443. Adjustment rings shall be precast concrete 4000 psi and 5 to 8% air entrainment. Inside and outside of

Grease traps, if required, shall have cast iron lids and shall be installed per manufacturer's requirements

structures shall receive bitumastic coating.

Revisions: Date:

Issued:



Name: Todd G. Markevicz Massachusetts License No.: 54189 Exp. Date: June 30, 2022

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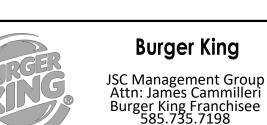
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herefore, scalina of this drawina may be inaccurate. Cont Engineer of Record with any need for additional dimensions or passing the 200 sieve. The mix shall be supplemented as needed to remove voids. Incorporate filter fabric around bedding or cradle stone if ground





Burger King #5399

Map: 19 Lot: 42 circumference is supported by less than ½ of the diameter of the manhole. Inverts shall be smooth cast in place concrete. Caskets between risers 1383 Cove Road

New Bedford, MA 02744

Bristol County Project Name & Location:

Specifications

Drawing Name: Project No. 20-0118

Type: Drawn By: ASI

Date: 10/29/21

Drawina No.