



SITE DEVELOPMENT PLANS

FOR

BURGER KING - CITY OF NEW BEDFORD, MA

1383 COVE ROAD

NEW BEDFORD, MA 02744



LOCATION MAP

1"=500'

DRAWING LIST:

- CS

Prior Survey Exhibit
- SP-2

As-Built Survey
- SV

Demolition Plan
- C1

Site Plan
- C2

Existing Conditions Exhibit
- C2.1

Truck & Emergency Vehicle Access Plan
- TT1

Existing Planting Plan
- C5

Details Sheet
- C7

Specifications

WAIVED DRAWINGS:

- Grading & Drainage
- Utility Plan
- Lighting/ Photometric Plan
- Architectural Plan- Building Elevations
- Architectural Plan- Floor Plans

CLIENT:

JSC MANAGEMENT GROUP

BURGER KING FRANCHISEE

PO BOX 217

LYNDONVILLE NY 14098

(585) 735-7198

ENGINEER:

APD ENGINEERING & ARCHITECTURE

615 FISHERS RUN

VICTOR, NY 14564

(585) 742-0222

CONTACT: TODD MARKEVICZ, P.E.

SITE DATA:

LOCAL JURISDICTION:	CITY OF NEW BEDFORD		
ZONING CLASSIFICATION:	MUB - MIXED USE BUSINESS		
PERMITTED USES:	FAST FOOD		
ACCESSORY USES:	DRIVE-THROUGH FACILITY		
OWNER:	COVE DEVELOPMENT CORP		
PROPERTY ACREAGE:	± 2.5 AC - LEASE LIMITS CONSISTS OF 32,478 SQFT		
PARKING REQUIREMENT:	1 SPACE PER EACH EMPLOYEE PER SHIFT FOR A MINIMUM OF 5 SPACES PLUS 1 SPACE PER 100 SQFT OF GFA WITH A MINIMUM OF 20 SPACES		
REQUIRED SPACES:	38 SPACES		
PREVIOUSLY APPROVED:	63 SPACES		
PROPOSED SPACES:	40 SPACES *SPECIAL PERMIT NEEDED		
BULK REQUIREMENTS	REQUIRED	PROPOSED	SPECIAL PERMIT
LOT AREA	8,000 SQFT	32,478 SQFT	NO
LOT WIDTH	0 FT	± 260 FT	NO
NUMBER OF DWELLING UNITS	1	1	NO
TOTAL GROSS FLOOR AREA	0 SQFT	3,321 SQFT	NO
BUILDING HEIGHT	7 STORIES - 100 FT	1 STORY - 16.8 FT	NO
FRONT SETBACK	20 FT	± 25 FT	NO
SIDE SETBACK	10 FT	± 25 FT	NO
REAR SETBACK	30 FT	± 200 FT	NO
LOT COVERAGE BY BUILDINGS	0%	10%	NO
PERMEABLE AREA	0%	85%	NO
GREEN SPACE	0%	15%	NO
OFF STREET PARKING SPACES	63	40	YES
LONG-TERM BICYCLE SPACES	0	0	NO
SHORT-TERM BICYCLE SPACES	0	0	NO
LOADING BAYS	0	0	NO

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Revisions:

Date:

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Seal

2/11/22

Seal

Seal

2/11/22

Seal

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CONSTRUCTION

CIVIL ENGINEER OF RECORD

Name: Todd G. Markevicz

Massachusetts License No.: 54189

Exp. Date: June 30, 2022

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1122 WY 766

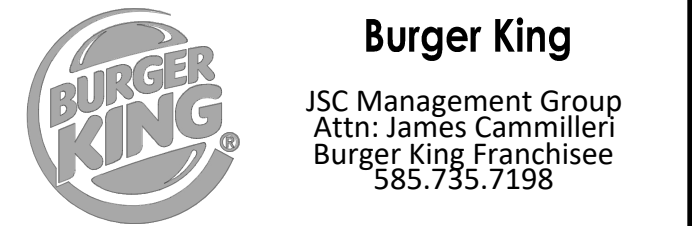
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Burger King #5399

Map: 19 Lot: 42

1383 Cove Road

New Bedford, MA 02744

Bristol County

Project Name & Location:

Cover Sheet

Drawing Name:

Date: 10/29/21

Type:

Drawn By: ASH

Scale: N.T.S.

Project No.

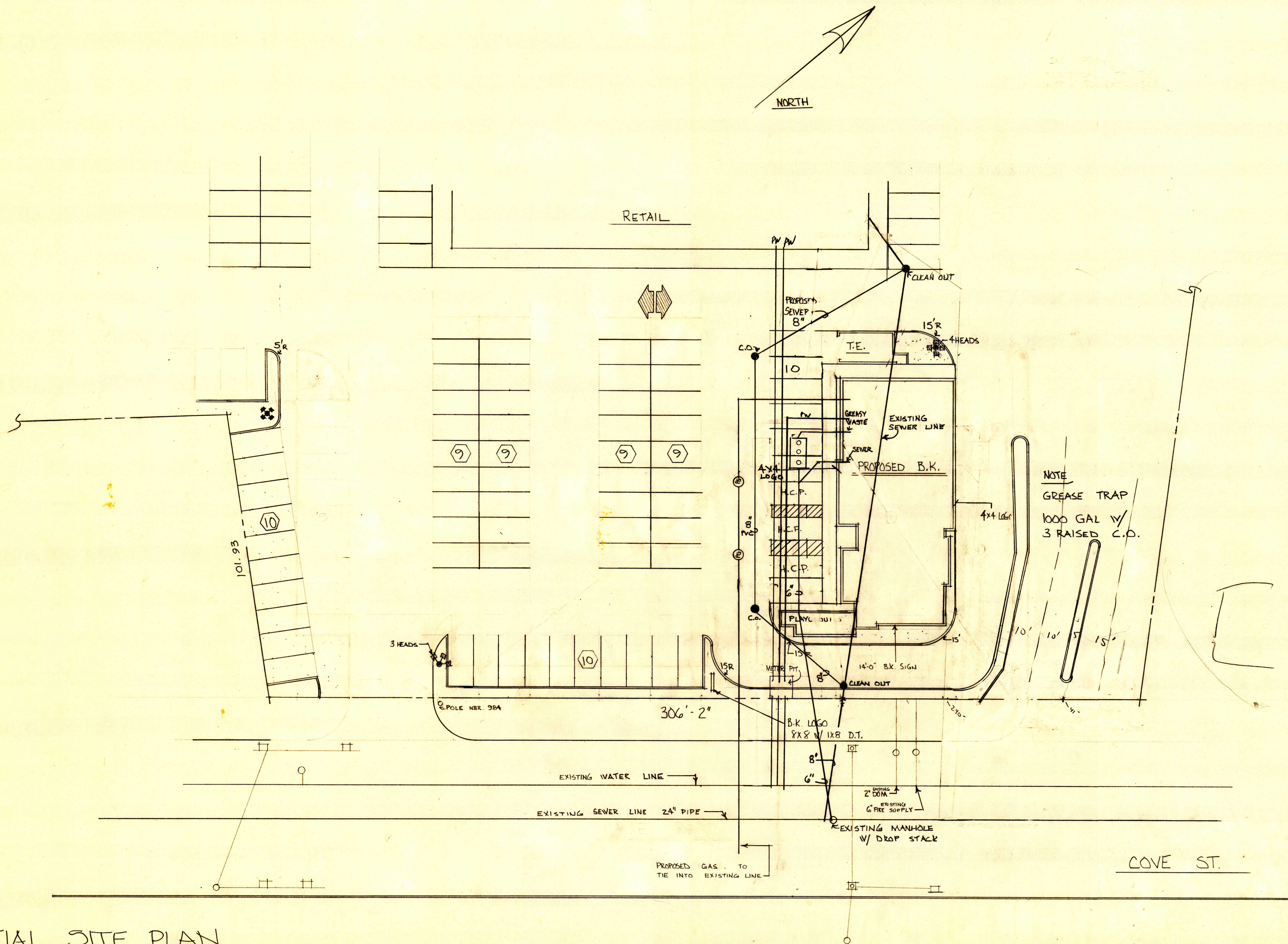
20-0118

CS

Drawing No.

PARTIAL SITE PLAN

SCALE: 1"=20'-0"



LEGEND

- PG PROPOSED GAS
- W PROPOSED WATER
- PE PROPOSED ELECTRIC
- PS PROPOSED SEWER
- GT GREASE TRAP

CHK'D BY:

APP. BY:

SCALE: 1"=20'-0"

BURGER KING RESTAURANT
COVE ROAD
NEW BEDFORD MASS.

401-946-4000
JANCO DESIGN
A DIVISION OF JANCO INC.
CRANSTON, R.I.

SHEET TITLE
UTILITY PLAN

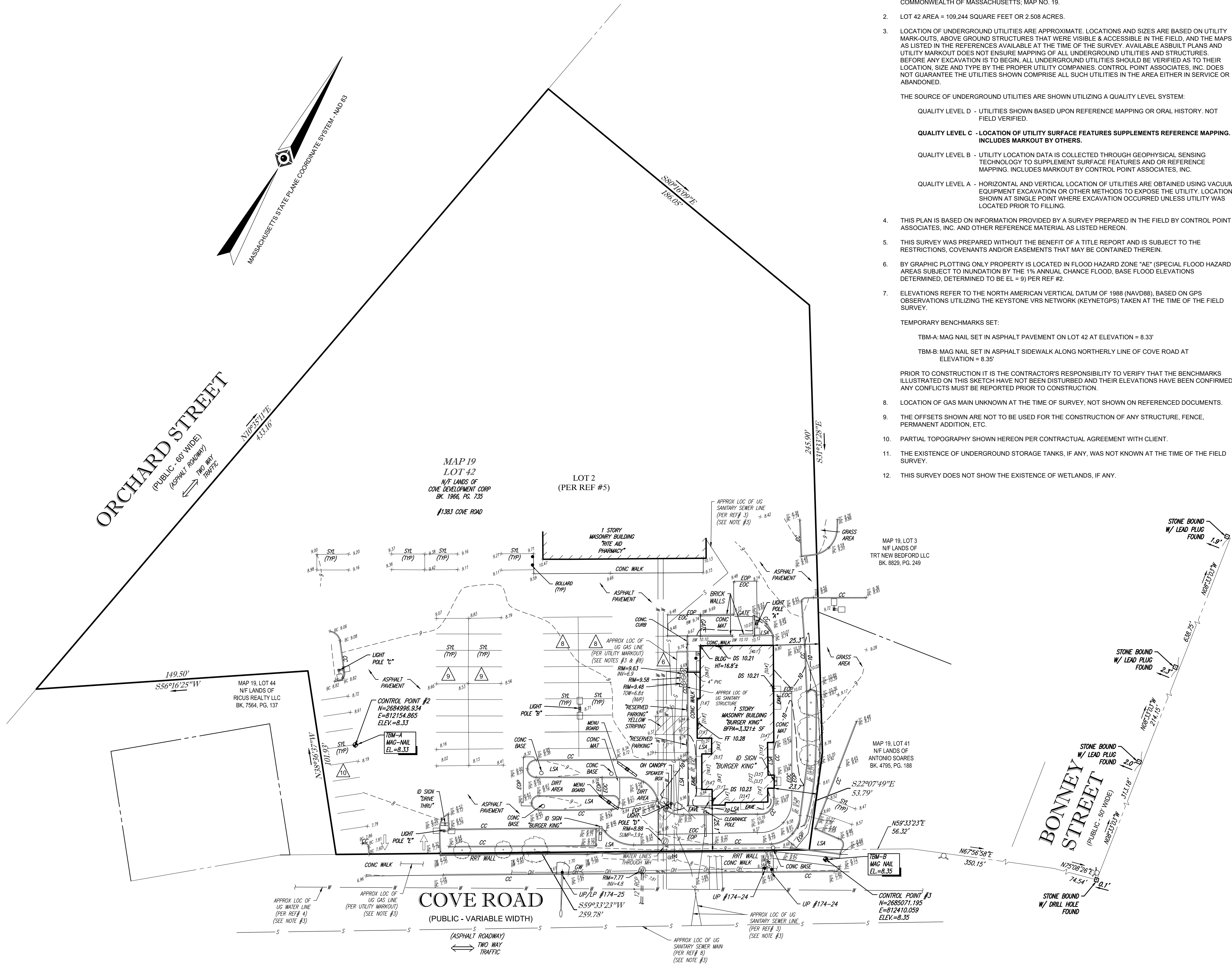
REVISIONS

JOB NO.

DATE 7-8-86

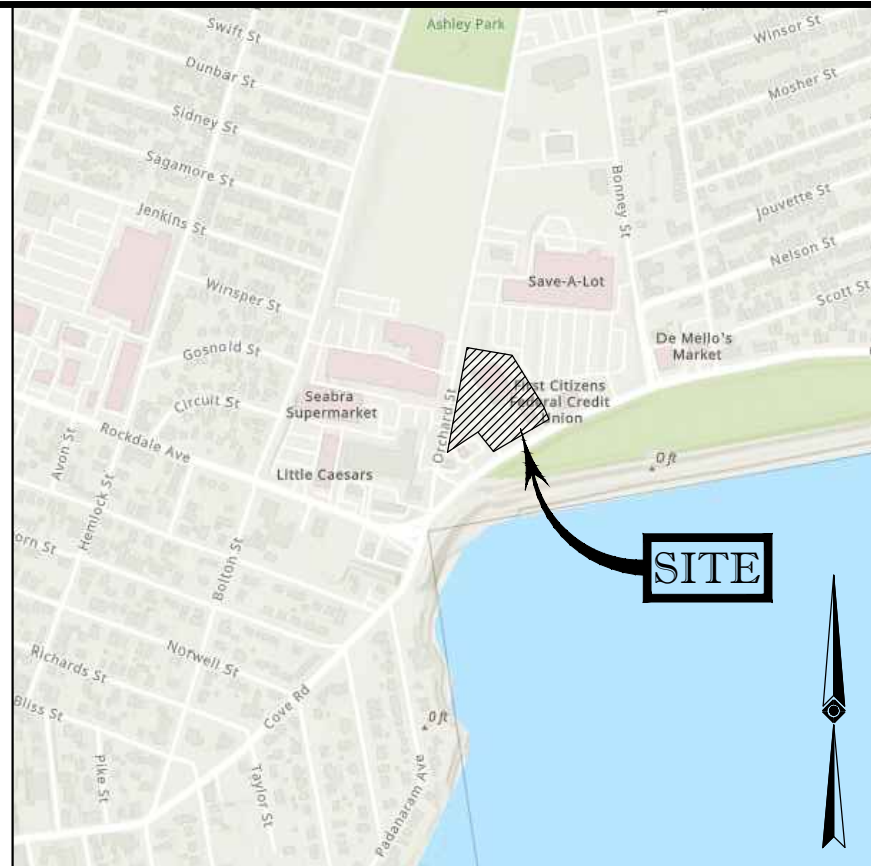
SP-2

- LEGEND
- 124 --- EXISTING CONTOUR
X 123.45 EXISTING SPOT ELEVATION
X TC 123.45 EXISTING TOP OF CURB ELEVATION
X G 122.95 EXISTING GUTTER ELEVATION
X TW 123.45 EXISTING TOP OF WALL ELEVATION
X BW 122.95 EXISTING BOTTOM OF WALL ELEVATION
X TI 122.45 EXISTING TOP OF ISLAND ELEVATION
X BI 122.95 EXISTING BOTTOM OF ISLAND ELEVATION
X FF 123.45 EXISTING FINISHED FLOOR ELEVATION
X DS 123.45 EXISTING DOOR SILL ELEVATION
X LG 125.45 EXISTING LEGAL GRADE ELEVATION
- OH OVERHEAD WIRES
G APPROX. LOC. UNDERGROUND GAS LINE
S APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
W APPROX. LOC. UNDERGROUND WATER LINE
-Gc SUBSURFACE UTILITY QUALITY LEVEL C
-Ds SUBSURFACE UTILITY QUALITY LEVEL D
- UP # UTILITY POLE
UPLP # UTILITY POLE/LIGHT POLE
GW GUY WIRE
- AREA LIGHT
SIGN
BOLLARD
PAINTED ARROWS
- SMH SANITARY/SEWER MANHOLE
DMH DRAINAGE/STORM MANHOLE
- Tree & Trunk Size
PARKING SPACE COUNT
- SYL SOLID YELLOW LINE
BLDG BUILDING
BFA BUILDING FOOTPRINT AREA
INV INVERT ELEVATION
EDC EDGE OF CONCRETE
EOP EDGE OF PAVEMENT
LSA LANDSCAPED AREA
RRW RAILROAD TIE WALL
(TYP) TYPICAL
HT HEIGHT
CC CONCRETE CURB
TOW TOP OF WATER
NVP NO VISIBLE PIPE



NOTES:

- PROPERTY KNOWN AS LOT 42, AS SHOWN ON THE CITY OF NEW BEDFORD, BRISTOL COUNTY, COMMONWEALTH OF MASSACHUSETTS, MAP NO. 19.
 - LOT 42 AREA = 109,244 SQUARE FEET OR 2.508 ACRES.
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
- THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:
- QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.
- QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.
- QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.
- QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "AE" (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, BASE FLOOD ELEVATIONS DETERMINED, DETERMINED TO BE EL = 9) PER REF #2.
 - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS) TAKEN AT THE TIME OF THE FIELD SURVEY.
- TEMPORARY BENCHMARKS SET:
- TBM-A-MAG NAIL SET IN ASPHALT PAVEMENT ON LOT 42 AT ELEVATION = 8.33'
- TBM-B-MAG NAIL SET IN ASPHALT SIDEWALK ALONG NORTHERLY LINE OF COVE ROAD AT ELEVATION = 8.35'
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- LOCATION OF GAS MAIN UNKNOWN AT THE TIME OF SURVEY, NOT SHOWN ON REFERENCED DOCUMENTS.
 - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - PARTIAL TOPOGRAPHY SHOWN HEREON PER CONTRACTUAL AGREEMENT WITH CLIENT.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
 - THIS SURVEY DOES NOT SHOW THE EXISTENCE OF WETLANDS, IF ANY.



SITE PHOTOS



ITEMS	HEIGHT	WIDTH
B.K. PYLON SIGN	8.1'	8.2'
B.K. PYLON SIGN POLE MOUNT	24.1'	-
BUILDING MOUNTED B.K. SIGN (F)	2.5'	18.3'
BUILDING MOUNTED B.K. SIGN (S)	4.0'	4.0'
PARKING LOT LIGHT BASE (A)	1.7'	-
PARKING LOT LIGHT POLE (A)	23.0'	-
PARKING LOT LIGHT (OVERALL)(A)	24.7'	-
PARKING LOT LIGHT BASE (B)	1.7'	-
PARKING LOT LIGHT POLE (B)	22.8'	-
PARKING LOT LIGHT (OVERALL)(B)	24.5'	-
PARKING LOT LIGHT BASE (C)	0.5'	-
PARKING LOT LIGHT POLE (C)	22.4'	-
PARKING LOT LIGHT (OVERALL)(C)	22.9'	-
PARKING LOT LIGHT BASE (D)	0.8'	-
PARKING LOT LIGHT POLE (D)	22.8'	-
PARKING LOT LIGHT (OVERALL)(D)	23.6'	-
PARKING LOT LIGHT BASE (E)	0.3'	-
PARKING LOT LIGHT POLE (E)	22.8'	-
PARKING LOT LIGHT (OVERALL)(E)	23.1'	-

* OVERALL HEIGHT CALCULATED FROM GROUND ELEVATION TO TOP OF LIGHT
** POLE HEIGHT CALCULATED FROM TOP OF CONCRETE BASE TO TOP OF POLE
(F) = FRONT BUILDING MOUNTED SIGN
(S) = SIDE BUILDING MOUNTED SIGN

REFERENCES:

- THE TAX ASSESSOR'S MAP OF NEW BEDFORD, BRISTOL COUNTY, MAP 19.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, BRISTOL COUNTY, MASSACHUSETTS (ALL JURISDICTIONS), PANEL 481 OF 550," MAP NUMBER 25005C0481G, MAP REVISED: JULY 16, 2014.
- UNDERGROUND SEWER MAPPING IN THE AREA PROVIDED BY CITY OF NEW BEDFORD DEPARTMENT OF PUBLIC INFRASTRUCTURE ENGINEERING DEPARTMENT.
- UNDERGROUND WATER MAPPING IN THE AREA PROVIDED BY CITY OF NEW BEDFORD DEPARTMENT OF PUBLIC INFRASTRUCTURE ENGINEERING DEPARTMENT.
- MAP ENTITLED "SUBDIVISION PLAN COVE ROAD, ORCHARD STREET, AND BONNEY STREET, ASSESSOR'S PLAT 19, LOTS 3 AND 42 ASSESSOR'S PLAT 24 LOTS 202 AND 310 SITUATED IN NEW BEDFORD, BRISTOL COUNTY, MASSACHUSETTS, PREPARED FOR RENAISSANCE DEVELOPMENT CORP., PREPARED BY JOHN P. CAITO CORPORATION, DATED: AUGUST 11, 1999, AND RECORDED WITH THE BRISTOL COUNTY REGISTRY OF DEEDS IN PLAN BOOK 144, PLAN 37.
- MAP ENTITLED "APPROVAL NOT REQUIRED PLAN OF LAND IN NEW BEDFORD, MASSACHUSETTS PREPARED FOR COVE ROAD, LLC, PREPARED BY: SITEC, DATED: AUGUST 2, 2004, AND RECORDED WITH THE BRISTOL COUNTY REGISTRY OF DEEDS IN PLAN BOOK 154, PLAN 94.
- MAP ENTITLED "PLAN OF LAND BELONGING TO EVANGELOS & CLARICE G. VAPHIDES IN NEW BEDFORD, MASS.", PREPARED BY: W. RAHN BAUER, P.E., DATED: JANUARY 26, 1992, AND RECORDED WITH THE BRISTOL COUNTY REGISTRY OF DEEDS IN PLAN BOOK 44, PLAN 38.
- PLAN ENTITLED "UTILITY PLAN" PREPARED BY JACO DESIGN, A DIVISION OF JACO INC., FOR BURGER KING RESTAURANT, COVE ROAD, NEW BEDFORD, MA, REVISED OCTOBER 28, 1986.

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL



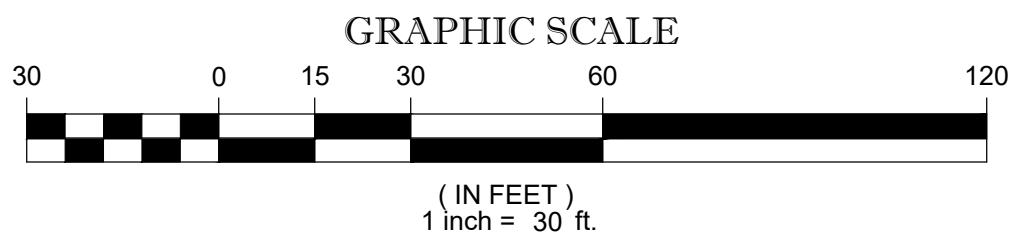
GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

FIELD DATE
9-14-2021
10-21-2021
FIELD BOOK NO
21-10 MA
21-06 MA
FIELD BOOK PG
37-38
149
FIELD CREW
B.S.B.
J.D.O.
DRAWN:
N.I.G.
REVIEWED:
B.A.V.

PRELIMINARY BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY
APD ENGINEERING & ARCHITECTURE, LLC
1383 COVE ROAD
LOT 42, MAP 19
CITY OF NEW BEDFORD, BRISTOL COUNTY
COMMONWEALTH OF MASSACHUSETTS

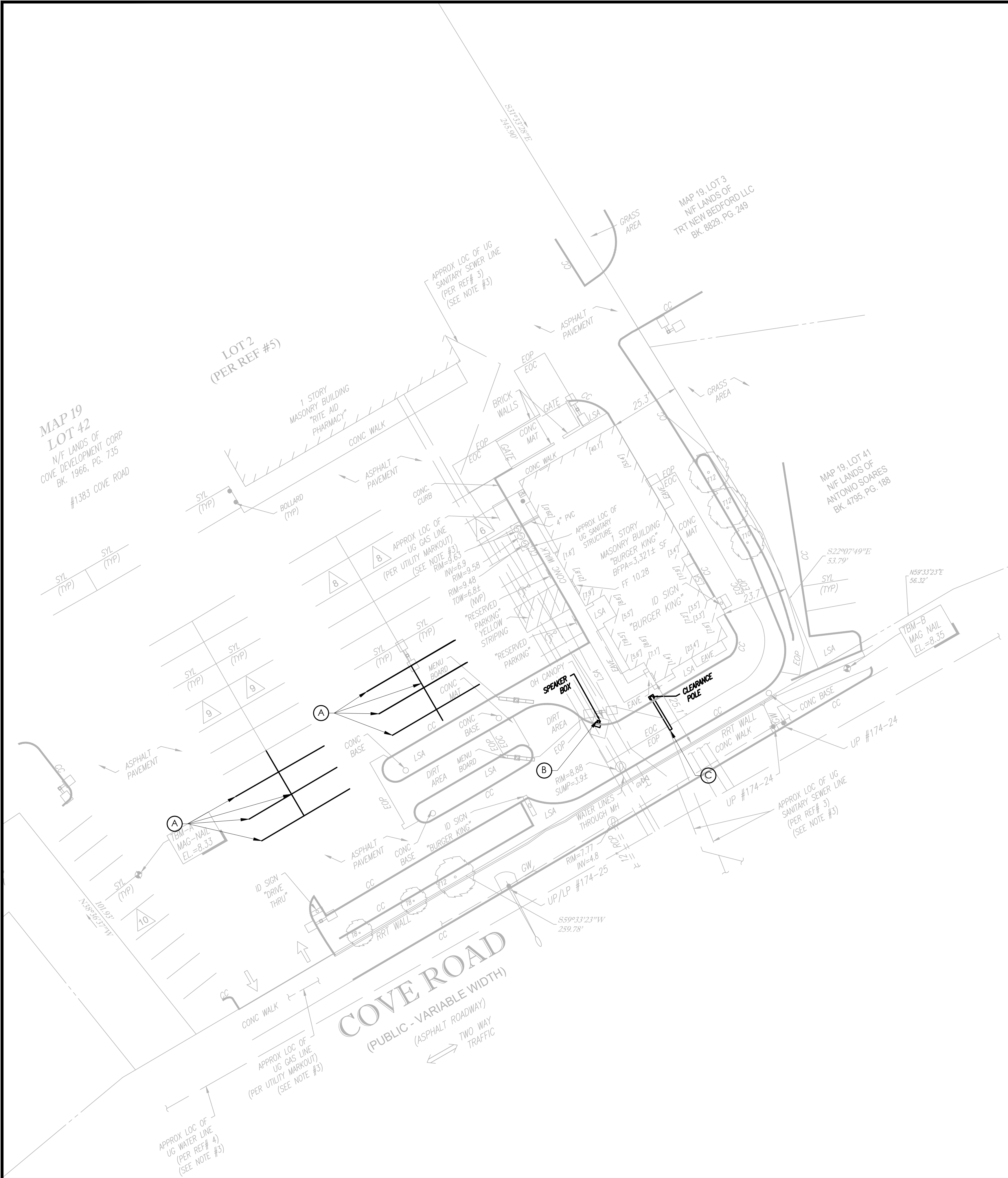
CONTROL POINT ASSOCIATES, INC.
ALBANY, NY 518-217-5010
CHALFONT, PA 215-712-9800
HAUPPAUGE, NY 631-880-3945
MANHATTAN, NY 646-780-0411
SOUTH BOKROUGH, MA 01772
508-948-3000 - 508-948-3003 FAX
WARREN, NJ 908-668-0999

APPROVED: G.L.H. DATE: 12-2-2021 SCALE: 1" = 30' FILE NO: 03-210329-00 SHEET NO: SV DRAWING NAME: SURVEY

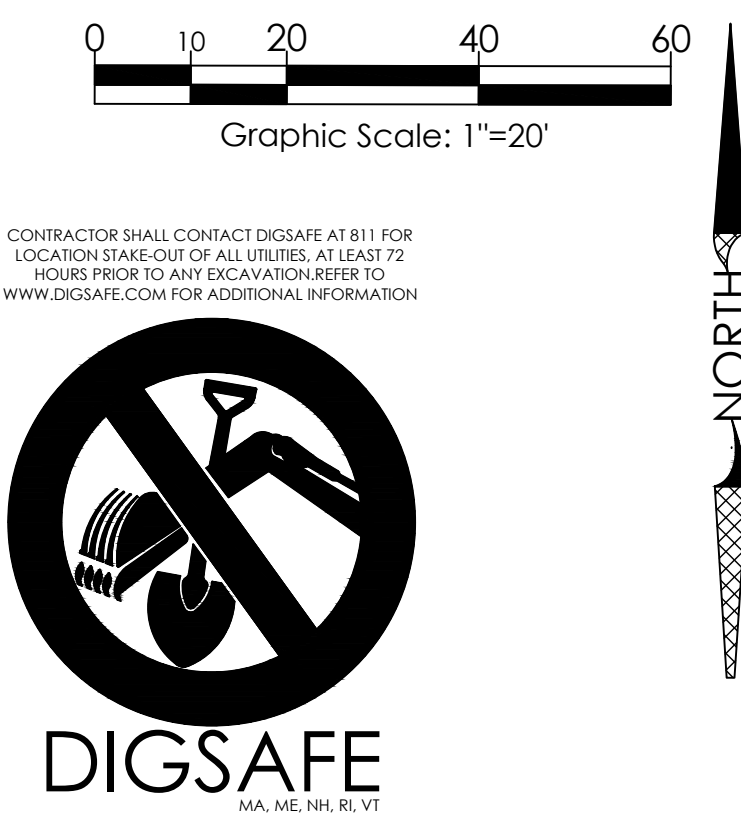


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- REFERENCE:**
- Survey prepared by Control Point Associates Inc., Last revised 12/02/2021.
 - Partial Site Plan prepared by Janco Design, dated 07/08/1986.



DEMOLITION LEGEND:

- (A) PAVEMENT MARKINGS TO BE REMOVED
- (B) SPEAKER BOX TO BE REMOVED
- (C) CLEARANCE BAR TO BE REMOVED

DEMOLITION NOTES:

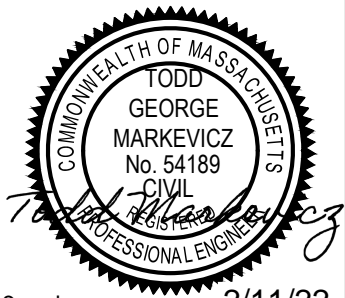


- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION OR ANY SITE WORK.
- EROSION CONTROL BMPs SHALL CONFORM TO US EPA, NPDES, MA DEP AND MASSACHUSETTS EROSION AND SEDIMENTATION CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS.

LEGEND OF EXISTING FEATURES

REFER TO THE SURVEY PREPARED BY CONTROL POINT ASSOCIATES INC.

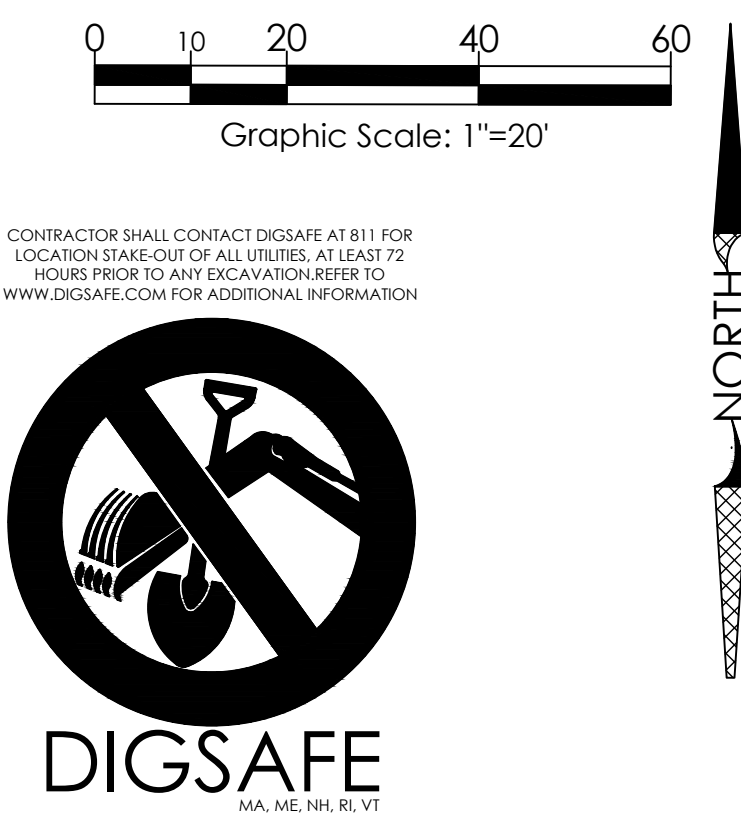
LEGEND OF IMPROVEMENTS

- SUBJECT PARCEL PROPERTY LINE
- EXISTING FEATURES/STRUCTURES TO REMAIN
- EXISTING FEATURES TO BE DEMOLISHED

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 615 Fishers Run Victor, NY 14564 585.742.2222 - www.apd.com			
 Burger King JSC Management Group Attn: James Camilleri Burger King Franchisee 585.735.7198			
Burger King #5399 Map: 19 Lot: 42 1383 Cove Road New Bedford, MA 02744 Bristol County Project Name & Location:			
Demolition Plan			
Drawing Name:		Project No.	
Date: 10/29/21		20-0118	
Type:			
Drawn By: ASH		C1	
Scale: 1"=20'		Drawing No.	



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 - Partial Site Plan prepared by Janco Design, dated 07/08/1986.



LEGEND OF EXISTING FEATURES
REFER TO THE SURVEY PREPARED BY CONTROL POINT ASSOCIATES INC.

LEGEND OF IMPROVEMENTS
----- SUBJECT PARCEL PROPERTY LINE

- SITE LEGEND:**
- (A) PAVEMENT ARROWS
 - (B) CLEARANCE BAR (TYP)
 - (C) OPTIONAL PREVIEW BOARD (TYP)
 - (D) ORDER CONFIRMATION UNIT (TYP)
 - (E) MENU BOARD (TYP)
 - (F) PAINTED PARKING ISLAND AREA TO BE STRIPED WITH 4" SYSL @ 2'-0" O.C. AND AT 45° TO PARKING SPACE.
 - (G) EXISTING LIGHT POLE TO REMAIN
 - (H) CONCRETE CURB
 - (I) LAWN/MULCH AREA (REFER TO PLANTING PLAN FOR DELINEATION)

- SITE NOTES:**
- PROPOSED WORK AS NOTED ON THE SITE PLAN, REFERS TO ALL PROPOSED IMPROVEMENTS PRIOR TO 2021.
 - SOME OF THE IMPROVEMENTS SHOWN ON THE SITE PLAN HAVE BEEN PARTIALLY COMPLETED. OWNER TO COORDINATE WITH GC FOR WORK REMAINING.
 - REFER TO REFERENCE 2 FOR SITE CONDITIONS PRIOR TO 2021.

- GENERAL NOTES:**
- ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY PLANNER AND CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLAN SHALL BE SUBMITTED TO THE CITY PLANNER AND CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
 - ANY WORK AND MATERIAL WITHIN THE CITY OF NEW BEDFORD RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
 - ALL HANDICAPPED PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAB & MAAB REQUIREMENTS.
 - ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
 - ALL PAVEMENT MARKINGS SHALL CONFORM TO MUTCD REQUIREMENTS
 - DRIVEWAY PERMITS ARE SUBJECT TO TRAFFIC COMMISSION APPROVAL.
 - PERMITS FOR SIDEWALKS, DRIVEWAYS, WATER & SEWER MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE ENGINEERING DIVISION.
 - THE DEVELOPER AND SITE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE PRIOR TO THE START OF CONSTRUCTION.

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Massachusetts License No.: 54189
Exp. Date: June 30, 2022

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01922, MA, USA
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ARCHITECTURE
615 Fishers Run Victor, NY 14564
585.742.2222 - www.apd.com

Burger King
JSC Management Group
Attn: James Cammilleri
Burger King Franchisee
585.735.7198

Burger King #5399
Map: 19 Lot: 42
1383 Cove Road
New Bedford, MA 02744
Bristol County
Project Name & Location:

Site Plan
Drawing Name:

Date: 10/29/21	Project No.
Type:	20-0118
Drawn By: ASH	C2
Scale: 1"=20'	Drawing No.



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LEGEND OF EXISTING FEATURES
REFER TO THE SURVEY PREPARED BY CONTROL POINT ASSOCIATES INC.

LEGEND OF IMPROVEMENTS
----- SUBJECT PARCEL PROPERTY LINE

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Seal

2/11/22

Seal

COMMONWEALTH OF MASSACHUSETTS

TODD

GEORGE

MARKEVICZ

No. 54189

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JSC Management Group
Attn: James Cammilleri
Burger King Franchisee
585.735.7198

Burger King #5399
Map: 19 Lot: 42
1383 Cove Road
New Bedford, MA 02744
Bristol County
Project Name & Location:

Existing Conditions
Exhibit
Drawing Name:

Date: 10/29/21

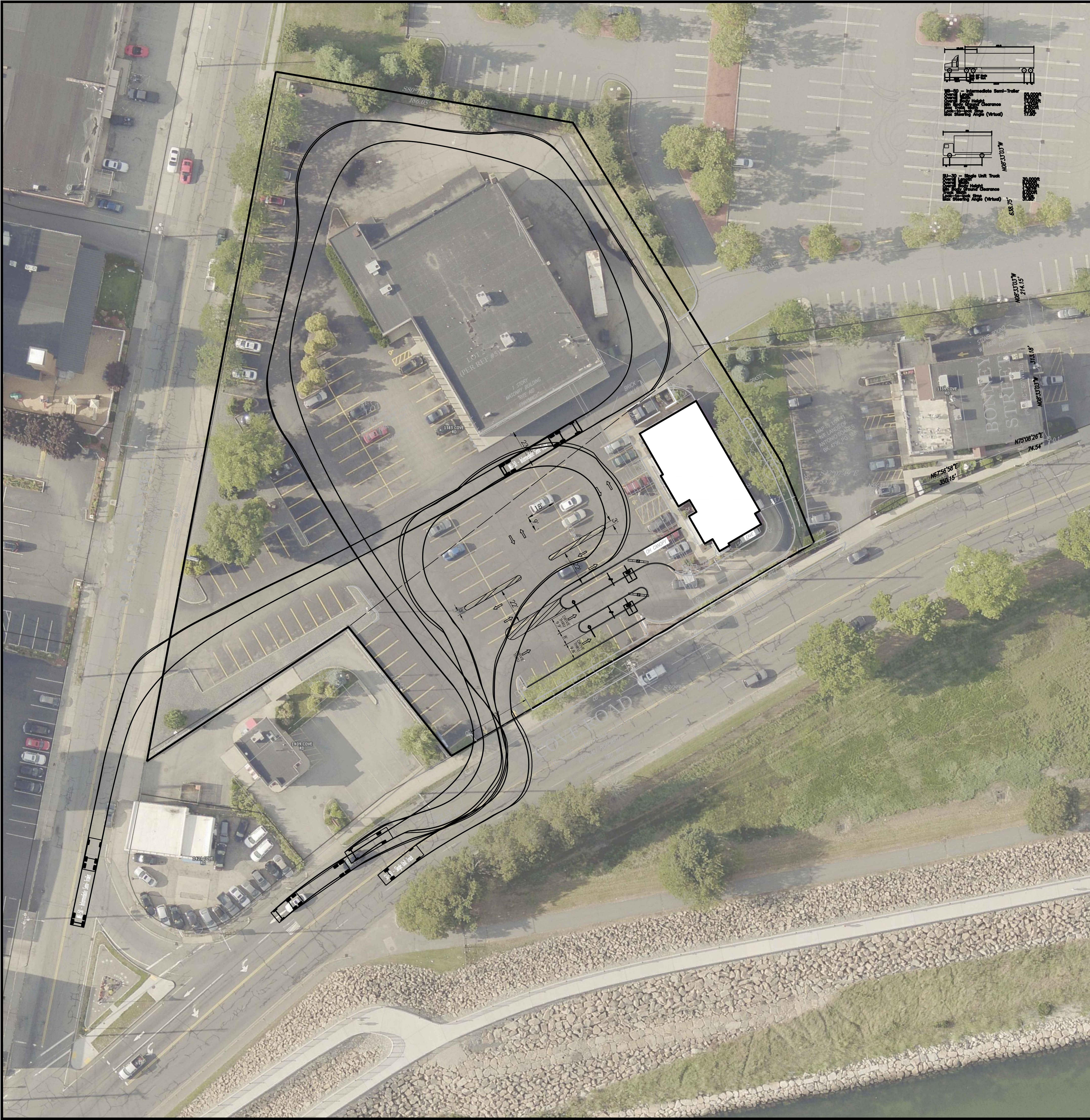
Type:

Drawn By: ASH

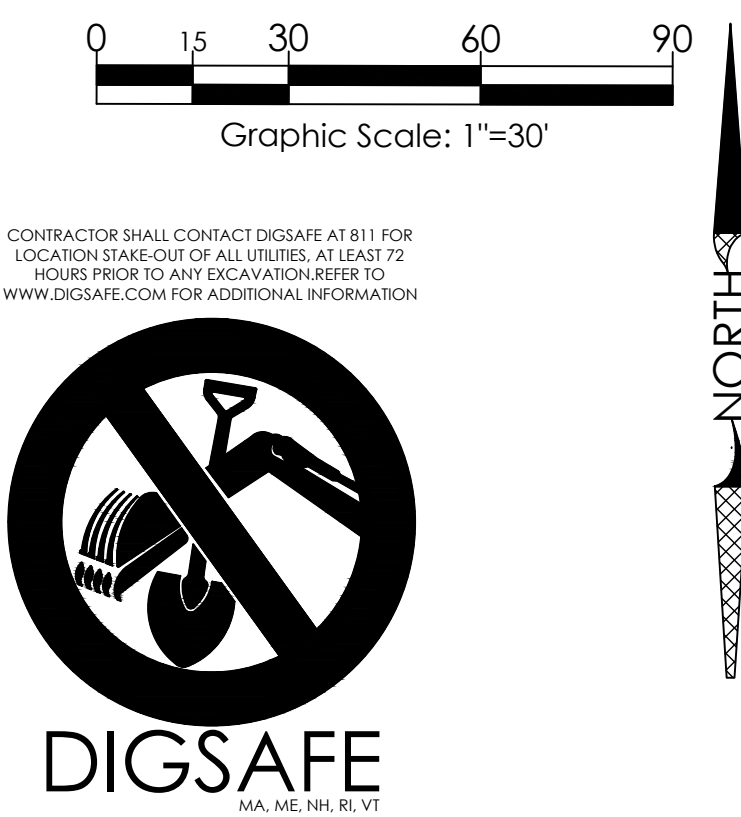
Scale: 1"=20'

Project No.
20-0118

C2.1
Drawing No.



REFERENCE:
1. Survey prepared by Control Point Associates Inc. Last revised 12/02/2021.
2. Partial Site Plan prepared by Janco Design, dated 07/08/1986.



LEGEND OF EXISTING FEATURES
REFER TO THE SURVEY PREPARED BY CONTROL POINT ASSOCIATES INC.

LEGEND OF IMPROVEMENTS
----- SUBJECT PARCEL PROPERTY LINE

GENERAL NOTES:

- DELIVERIES ARE MADE AT NIGHT TIME OUTSIDE OF STORE HOURS.
- DELIVERIES ARE MADE BY BOX TRUCKS.
- NO CARS WILL BE IN THE PARKING LOTS DURING DELIVERIES.
- A WB-50 TRUCK IS SHOWN TO REFLECT EXTREME CIRCUMSTANCES.

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Revisions:		Date:	
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Seal

CIVIL ENGINEER OF RECORD
Name: Todd G. Markevicz
Massachusetts License No.: 54189
Exp. Date: June 30, 2022

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1152 WY 100
WILMINGTON, MA 01897

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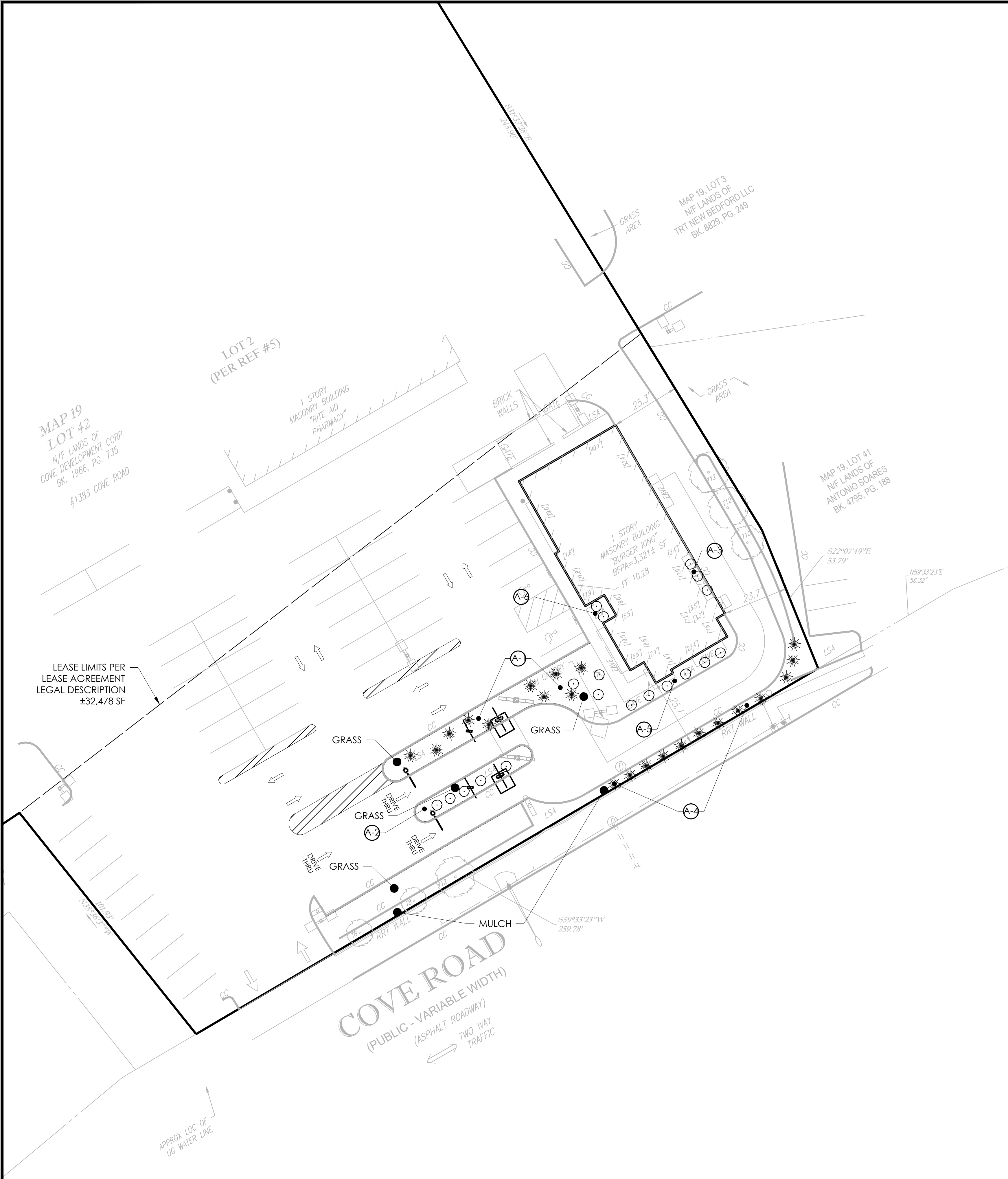
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615 Fishers Run Victor, NY 14564
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Burger King
JSC Management Group
Attn: James Camilleri
Burger King Franchisee
585.735.7198

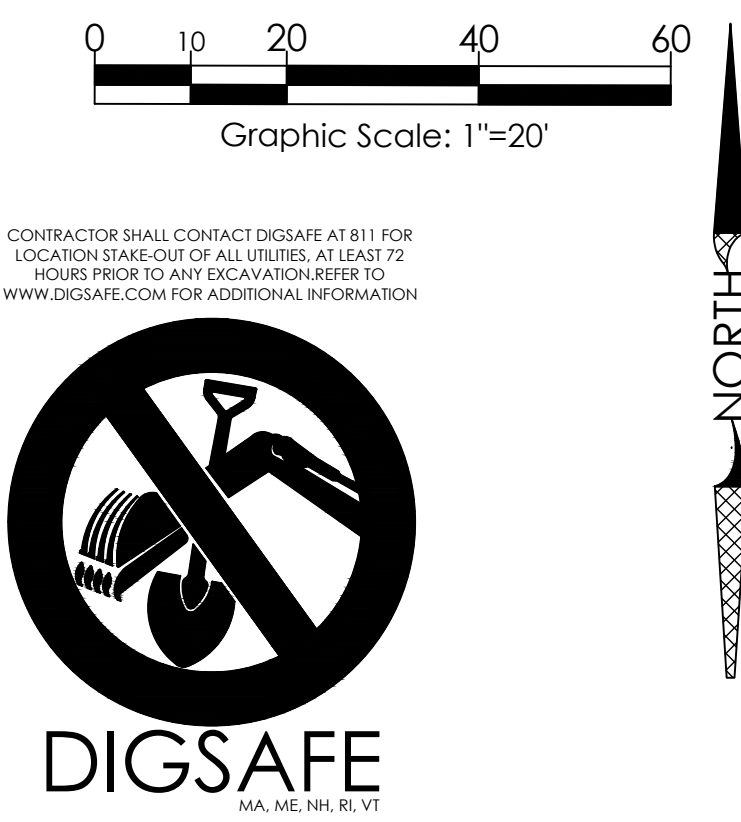
Burger King #5399
Map: 19 Lot: 42
1383 Cove Road
New Bedford, MA 02744
Bristol County
Project Name & Location:

Truck & Emergency Vehicle Access Plan
Drawing Name:

Date: 10/29/21	Project No.
Type:	20-0118
Drawn By: ASH	TT1
Scale: 1"=30'	Drawing No.



- REFERENCE:**
- Survey prepared by Control Point Associates Inc. Last revised 12/02/2021.
 - Partial Site Plan prepared by Janco Design, dated 07/08/1986.

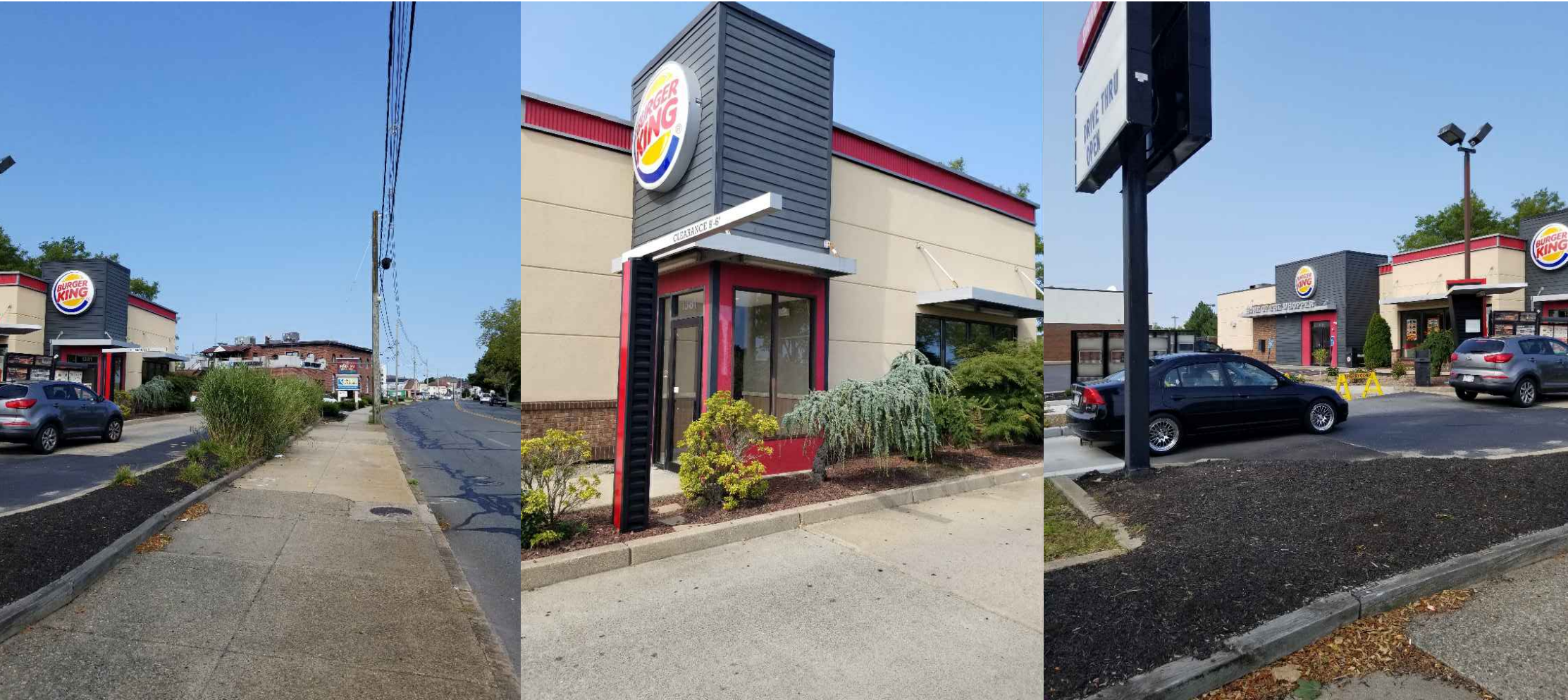
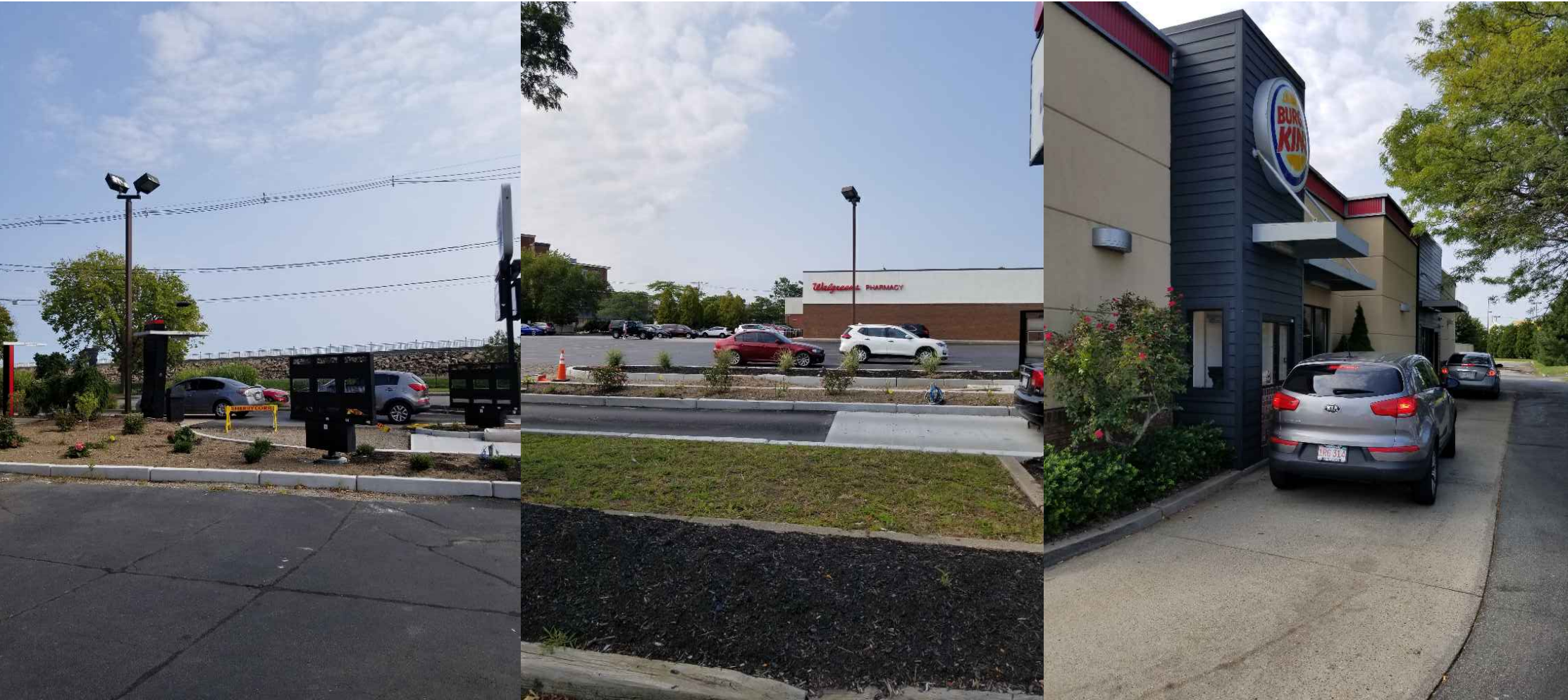


LEGEND OF IMPROVEMENTS

⊗ ⊙ * PLANTINGS

LEGEND OF EXISTING FEATURES
REFER TO THE SURVEY PREPARED BY CONTROL POINT ASSOCIATES INC.

APPROXIMATE LOCATIONS OF PLANTINGS BASED ON SITE PHOTOS DATED 2021-11-15:

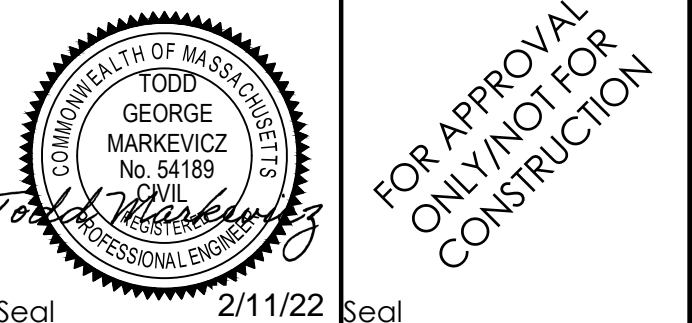


LANDSCAPE NOTES:

- REFER TO SITE PICTURES FOR LOCATIONS OF THE DIFFERENT TYPES OF PLANTINGS LISTED IN THE PLANTING SCHEDULE..

PLANTING SCHEDULE		
QTY	BOTANICAL NAME	COMMON NAME
1	Hibiscus syriacus	Rose of Sharon
6	Hosta	Hosta
3	Rosa 'Knock Out'	Coral Knockout
6	Buxus 'Franklin Gem'	Franklins Gem Boxwood
3	Hydrangea macrophylla	Summer Crush Hydrangea
15	Heemerocallis x 'Happy Returns'	Happy Returns Daylily

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Revisions:	Date:
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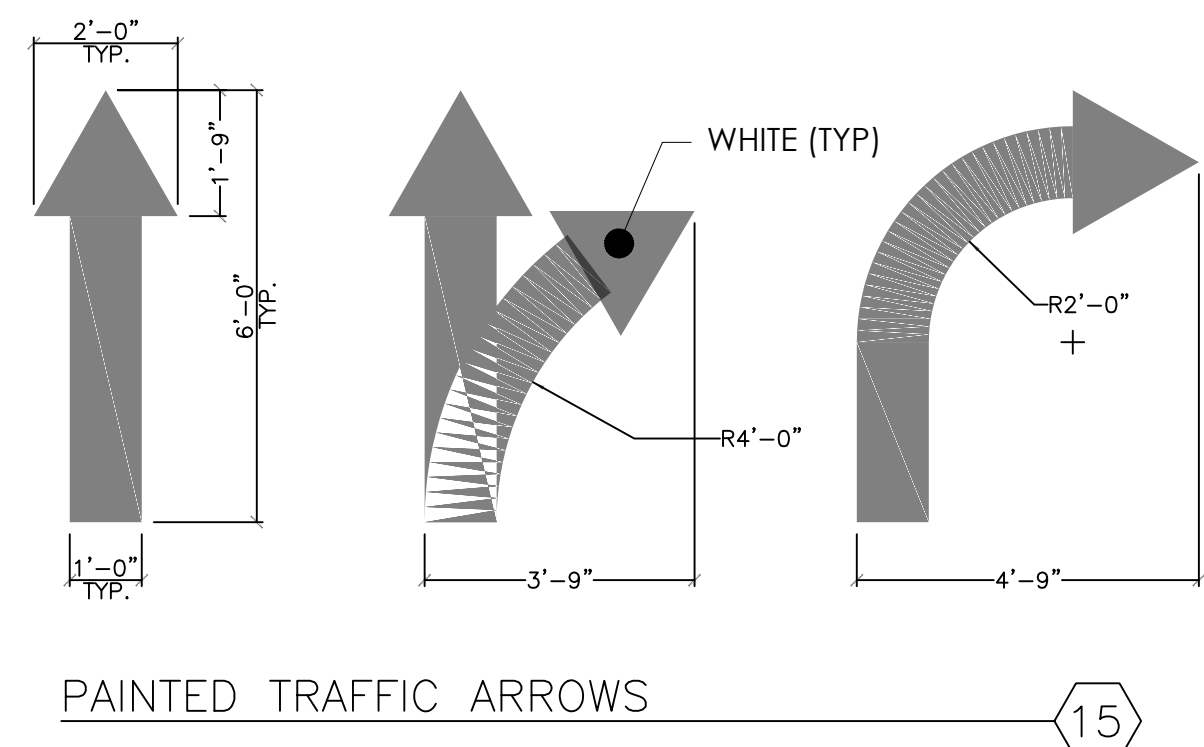
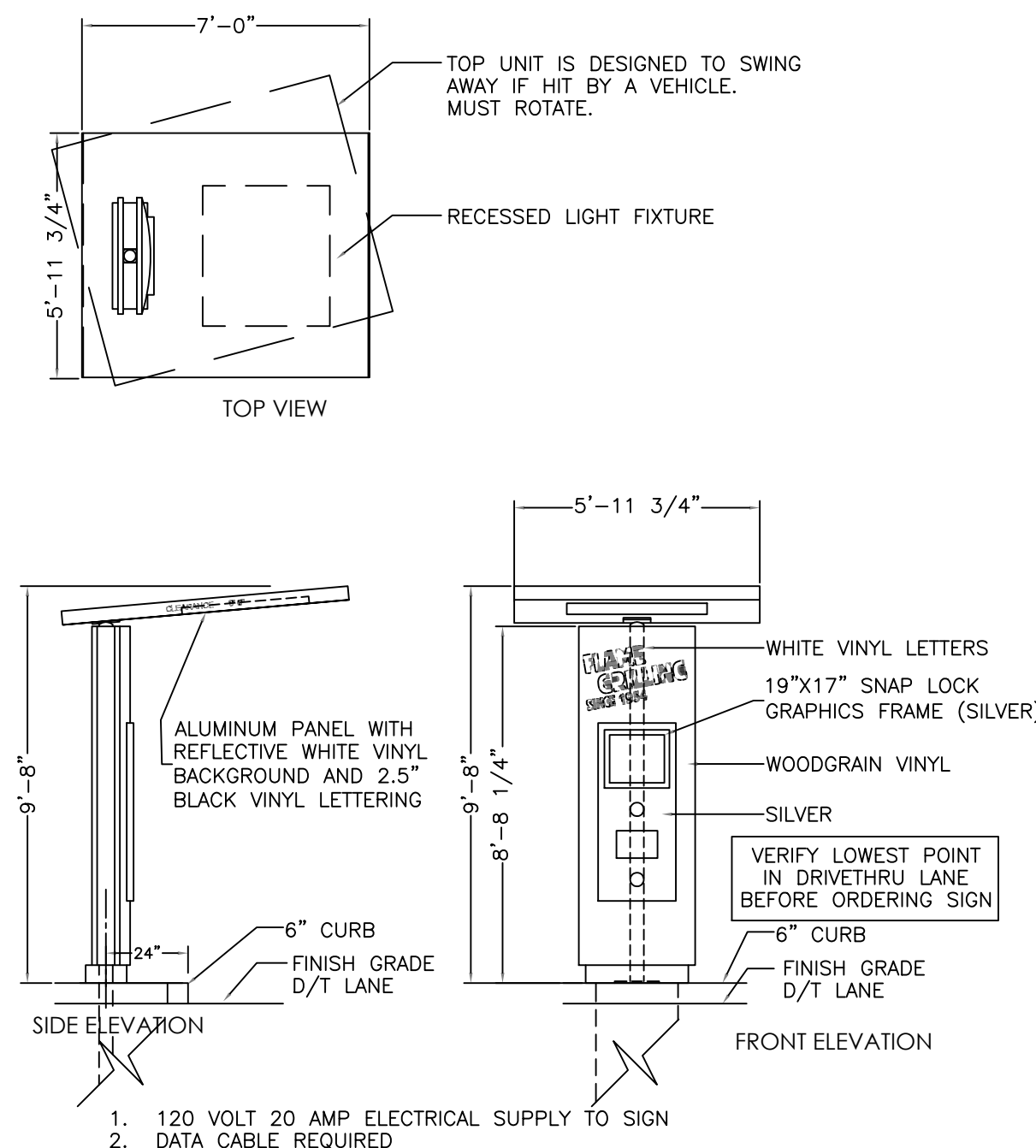
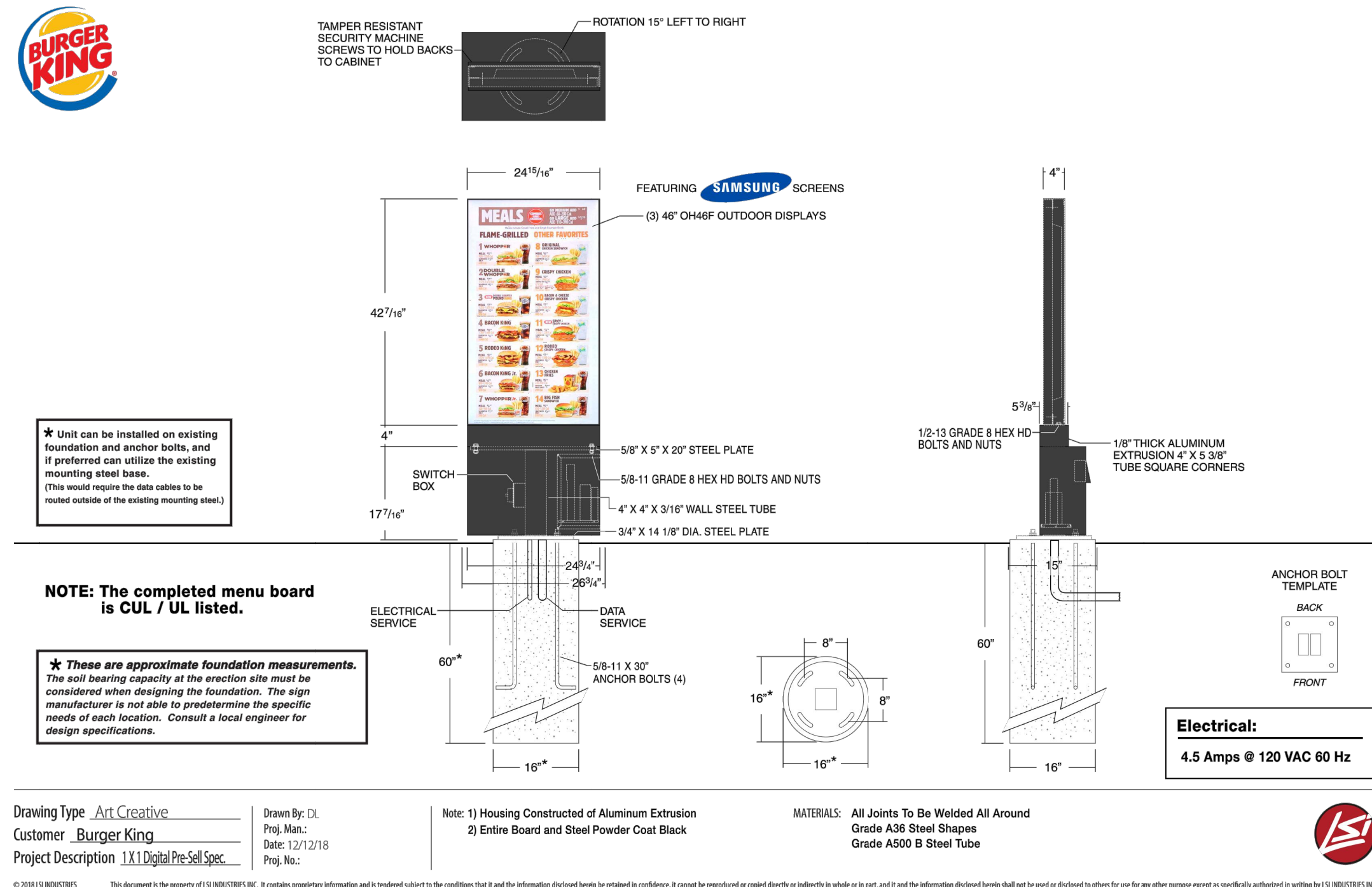
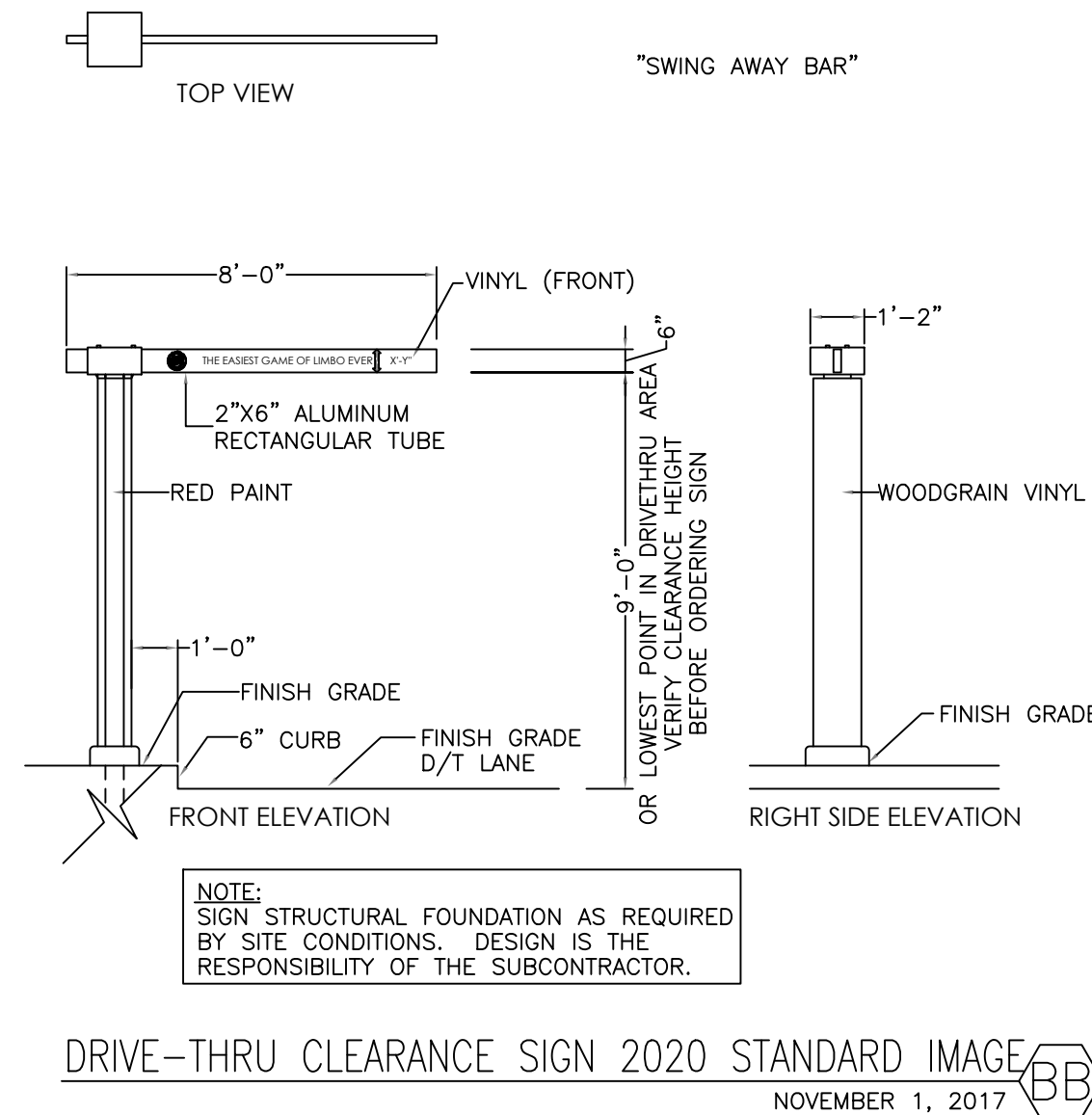
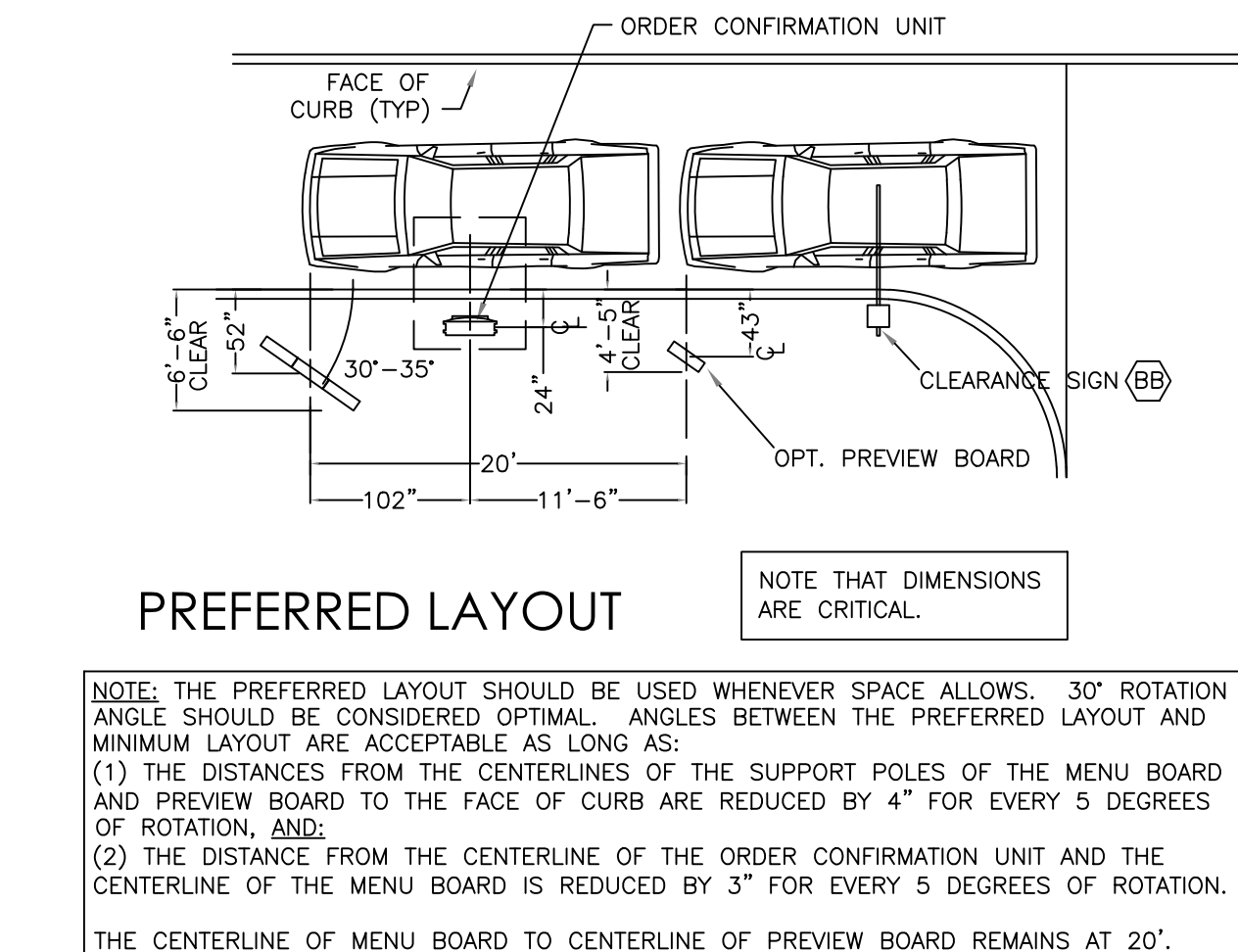
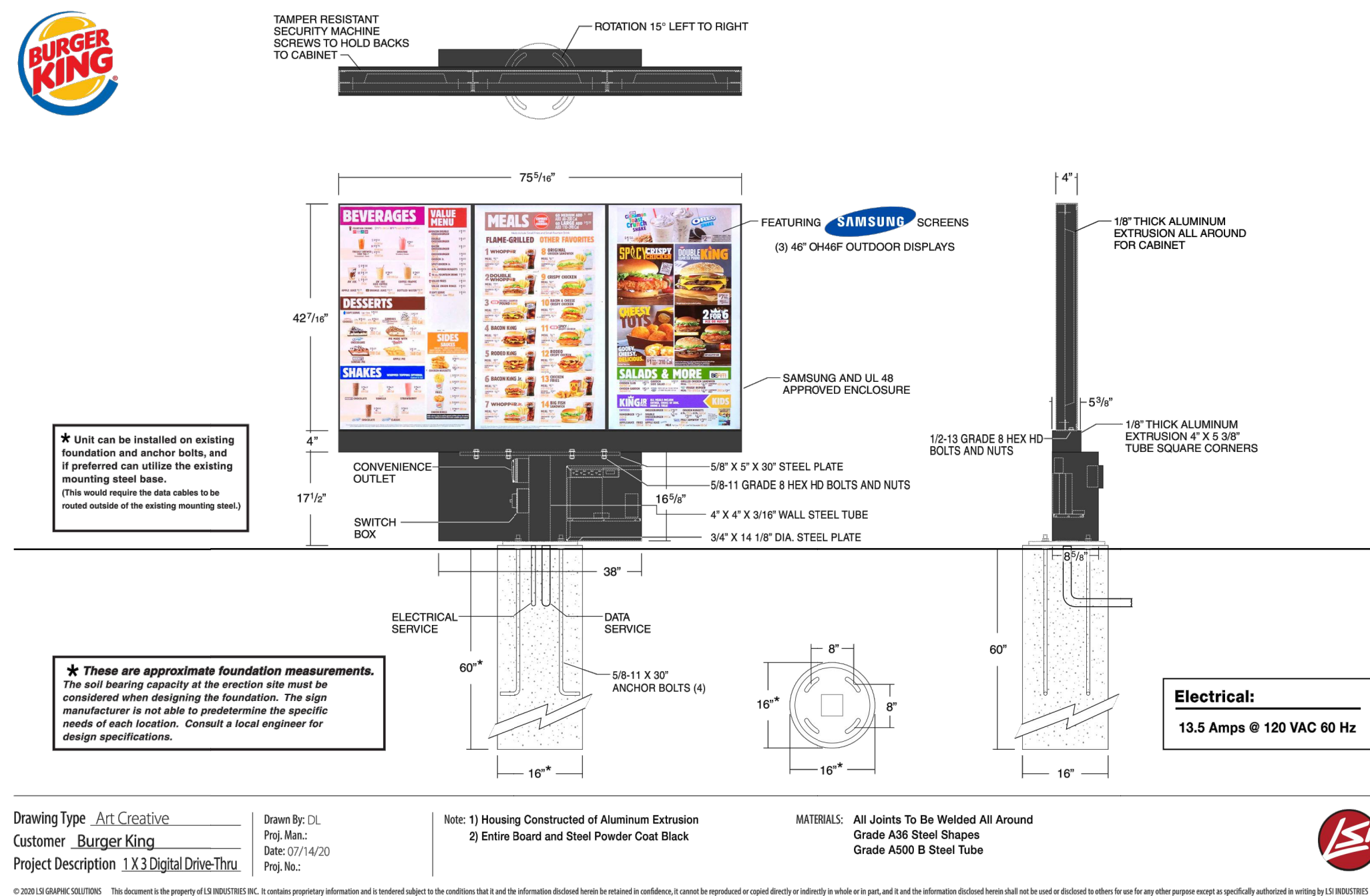
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Burger King
JSC Management Group
Attn: James Camilleri
Burger King Franchisee
585.735.7198

Burger King #5399
Map: 19 Lot: 42
1383 Cove Road
New Bedford, MA 02744
Bristol County
Project Name & Location:

Existing Planting Plan
Drawing Name:
Date: 10/29/21
Type:
Drawn By: ASH
Scale: 1"=20'
Project No.
20-0118
C5
Drawing No.



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Name: Todd G. Markevicz
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Exp. Date: June 30, 2022

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Management Group
Franchisor: James Cammilleri
Burger King Franchisee
585.735.7198

Burger King #5399
Map: 19 Lot: 42
1383 Cove Road
New Bedford, MA 02744
Bristol County
Project Name & Location:

Details Sheet

Drawing Name:		Project No. 20-0118 <hr/> C7 Drawing No.
Date:	10/29/21	
Type:		
Drawn By:	ASH	
Scale:	N.T.S.	

THE SPECIFICATIONS ARE NOT PROVIDED AS AN INDICATION OF WORK, BUT PROVIDE REQUIREMENTS AND STANDARDS OF WORK REQUIRED, OR COULD BECOME REQUIRED, DUE TO UNFORESEEN CONDITIONS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH AUTHORITY HAVING JURISDICTIONS REQUIREMENTS. WHEN THESE SPECIFICATIONS ARE IN CONFLICT WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION THE MORE STRINGENT SHALL BE REQUIRED AS DETERMINED BY THE ENGINEER AND AUTHORITY HAVING JURISDICTION.		Issued:	Date:
GENERAL CONSTRUCTION CONDITIONS			
1. The term of Owner as used in these specifications and notes shall include the owner of the property, the company or party that hired the Contractor, the company or party that signed the contract for this work, and the agents of each. The Owner's representative shall be the individual or party assigned by the Owner to be the Owner's representative. Owners of adjacent properties shall include the property owner, lessee, leasee, and/or the design shall be brought to the attention of the Owner's representative before proceeding.	1. The Contractor shall be responsible for all temporary permits, connection permits, fees, inspections and record keeping required by all municipal, utility, health, environmental, state, or federal agencies that may have jurisdiction. Furthermore, the Contractor shall be responsible to meet or exceed all requirements of the agencies or authorities having jurisdiction over his work. All conflicts in requirements of different agencies, authorities, and/or the design shall be brought to the attention of the Owner's representative before proceeding.	A	
2. All work and materials shall comply with all local, state, and federal regulations, codes, and OSHA standards and be constructed to meet or exceed those codes.	2. The Contractor shall be responsible to locate and maintain the property and project limits throughout the project. All conflicts between the design and the project/property limits shall be brought to the attention of the owner's representative before proceeding. Unless described in the contract documents or shown on the drawings the Owner has not secured any right of ways, easements or agreements with other property owners or property users. Therefore, it shall be the Contractor's responsibility to secure and maintain any temporary right of ways, easements, permits, or agreements he may need to perform his work. All such agreements shall hold the Owner, Engineer of Record, and his agents harmless and the responsibility of the Contractor to bear all costs. The Contractor shall copy the Owner on releases of all agreements prior to find payment by the Owner to the Contractor. The Contractor shall not interfere with operations of adjacent businesses and work shall be completed off-hours, as necessary. Coordinate with Municipality for any restrictions on allowable working hours.	B	
3. Unless otherwise noted on the drawings or in the contract documents the Contractor shall be responsible for all construction survey, layout, and record drawings for this contract. Any conflicts in survey/layout and the design or agencies requirements shall be brought to the attention of the Owner's representative prior to proceeding with the work. The Contractor shall protect and safeguard all existing survey corners, monuments, control and tie-downs. The Contractor shall pay all costs to repair or replace damaged survey monuments, control and tie-downs. Record drawings shall be provided in accordance with any requirements of the authorities having jurisdiction including the required information to be provided, and signatures, seals, and certifications that may be required.	3. Erosion control is necessary whenever sediment, dust, erosion, or contaminated run-off may occur. The Contractor shall be responsible to place and maintain whatever erosion control or run-off protection is required to protect his work, the work of others, the project, adjacent properties and the health and well being of the workers, public and surrounding natural resources. This shall include additional measures beyond the project plans, as necessary. They shall be familiar with all federal, state and local requirements regarding erosion and run-off control.	C	
4. The Contractor shall be responsible for costs and delays associated with weather, groundwater, and other occurrences that could be expected or are common with this type of work. The Contractor shall inform all pertinent documents including soils reports, soils borings, and other soil or site data.	4. The Contractor shall be familiar with the project site and all adjacent pedestrian, traffic, and business uses. The Contractor shall take whatever precautions and steps necessary to maintain safety and operation of these uses in accordance with federal, state, county, and local requirements. The Contractor shall be responsible for costs and damages caused from his failure to take proper and adequate precautions. The Contractor shall be familiar with all federal, state, and local requirements regarding these issues.	D	
5. The Contractor shall be responsible to save and protect his work throughout the contract. Any damages requiring repairs or replacement shall be corrected by the Contractor at his expense.	5. When work is done within a road, utility or private easement, right of way, or other property agreement, the Contractor shall do all work within that area per the authority having jurisdiction.	E	
6. When separate site and building conditions are performed, the site Contractor shall be responsible to bring utilities to within 5 feet of building face unless noted otherwise on drawings or contract documents.	6. All utilities are shown per surface survey and/or record maps and may vary from actual in-field locations. The Contractor is responsible for all utility site cuts and locating utilities prior to commencing work. Any damage to utilities due to improper stake out, lack of stake out or the failure to verify differences between drawings and actual field conditions will be the responsibility of the Contractor to repair, replace, or pay damages at no expense to the contractor.	F	
7. All utilities are shown per surface survey and/or record maps and may vary from actual in-field locations. The Contractor is responsible for all utility site cuts and locating utilities prior to commencing work. Any damage to utilities due to improper stake out, lack of stake out or the failure to verify differences between drawings and actual field conditions will be the responsibility of the Contractor to repair, replace, or pay damages at no expense to the contractor.	7. Contractor shall comply to the fullest extent with the latest standards of OSHA directives or any other agency having jurisdiction for excavation and trenching procedures. The Contractor shall use support systems, sloping, benching, and other means of protection. This includes, but is not limited to, access and egress from all excavation and trenching. Contractor is responsible to comply with performance criteria for OSHA. Trench excavation requiring shoring, shoring or other stabilizing devices shall be designed by a Professional Engineer and meet all OSHA standards. All excavations shall maintain adequate safety with local, state and O.S.H.A. requirements. No sloping of material close to an open cut or steep slope will be permitted in an effort to prevent cave-ins.	G	
8. The Contractor shall select the means and methods for providing support of excavations in accordance with safety requirements, plans, and project specifications. The contractor must evaluate soil conditions during excavations since variations in the soil can occur across the site. The excavations should be monitored continuously for signs of deterioration such as seepage of water or sloughing of soil into the excavation. The Contractor is ultimately responsible for excavation safety.	8. The Contractor shall notify the Owner immediately and stop all work in areas where hazardous materials are discovered. When required, the Contractor shall notify the appropriate environmental and health agencies.	H	
9. The Contractor shall coordinate with the Authority having jurisdiction for all required inspections and be responsible to hire any required third party inspectors.	9. For any testing, inspections, and/or certifications requiring a Professional Engineer, the Contractor shall be responsible to hire a third party engineer. A copy of all tests shall be provided to the Engineer of Record.	Revisions:	Date:
10. Any discrepancies between plans, details, and specifications shall be immediately brought to the attention of the Engineer of Record.	10. Stabilizing fabric (woven geotextiles), if required, shall meet the following requirements "modulus (load at 10% elongation)=115lb per ASTM D1682-64", "grab tensile strength 200lb per ASTM D 1682-64", "tullen burst strength = 400psi per ASTM D 3786-87", "trapexoid tear strength when applicable = 115lb per ASTM D1117-87", "coefficient of permeability K O/SEC = .015 per ASTM D 4491-85", "water flow rate (GM/5"= 60 per ASTM D 4491-85". When stabilization fabric is used it shall be pulled tight and all wrinkles removed. Overlaps shall be in accordance with manufacturer's recommendations. Refer to Geotechnical Engineers report, if available, for additional information.	1	
11. Filter fabric (non-woven geotextile), if required, shall meet the following requirements "grab tensile elongation=50% per ASTM D1682-64", "Grab tensile strength 70lb per ASTM D 1682-64", "tullen burst strength = 200psi per ASTM D 3786-87", "trapexoid tear strength when applicable = 35lb per ASTM D1117-87", "coefficient of permeability K O/SEC = .2 per ASTM D 4491-85", "water flow rate (GM/5"= 180 per ASTM D 4491-85". When filter fabric is used it shall be pulled tight and all wrinkles removed. Overlaps shall be in accordance with manufacturer's recommendations.	11. The Contractor shall take all necessary precautions to protect earthwork operations from weather and ground water including keeping positive drainage, divert drainage, dewatering, and sealing disturbed areas with a steel drum roller prior to indentment weather.	2	
12. DEMOLITION	12. The Contractor shall inspect all structures, facilities and areas slated for demolition to gain a full understanding of the work required. The Contractor shall take necessary measures necessary to protect the safety of the public, his employees and agents during the inspections and subsequent work. The Owner, District, and Engineer of Record are not responsible for the condition of the buildings, facilities, or other areas slated for demolition.	3	
13. All materials not slated for reuse must be disposed of off site in a legal manner. The Contractor may salvage any equipment or materials not designated by the Owner to be saved. All salvaged material or items shall be removed from the site immediately upon removal. No such materials shall be stored on the site. Readily no area of salvaged materials will be allowed on the project site. All salvaged material must be removed, transported, and disposed of in a legal manner.	13. The testing lab may restrict some on site materials from being used as fill in building or pavement areas when it is their opinion that the material will not meet requirements stated here. If such conditions do exist and other material is not available on site, the Owner's representative must authorize in writing the use of Import material unless there will be no additional cost to the contract.	4	
14. Upon approval by Owner, the Contractor shall be responsible to remove and store safely all materials slated to be saved or reused. The Contractor shall document existing conditions using photographs prior to start of work and notify Owner of any existing damage prior to construction start. The Contractor shall be responsible for all costs to repair or replace existing features to remain (including but not limited to fencing, lighting, curbing, pavement, utilities, storm structures, landings, etc.) that are damaged due to his work in failure to protect throughout the duration of his contract.	14. Fills shall be placed in lifts not to exceed 8 inches in mass fills and 6 inches in trench or restricted areas. All subgrades shall be thoroughly profiled using a smooth drum roller with a minimum static drum weight of 20 tons, operated in static mode. A minimum of 2 overlapping passes in one direction, followed by 2 overlapping passes in a direction perpendicular to the first 2 passes. Areas which are unsuitable and which cannot be stabilized with imported compacted material shall be excavated to a suitable subgrade. The underl should be of adequate depth such that, after backfilling is complete the resulting subgrade surface is firm and stable under proofrolling. Gravel structural fill may be used to attain proposed subgrade elevation to replace the removed unsuitable material. If imported structural fill, base, or subbase course materials are used to backfill the underlards within the building or pavement areas, a woven geotextile shall be placed at the bottom of the underlard area prior to placement of the fill.	5	
15. No burning, explosives, or other potentially dangerous methods of demolition will be allowed unless written permission is granted by the Owner and all appropriate permits are granted.	15. The Contractor to remove any debris or artificial organic soils (ie. topsoil, organic subsoil, reworked soil) which may be encountered within the proposed building footprint, floor slabs, and pavement areas prior to the placement of any fill.	6	
16. The Contractor will provide whatever safety equipment and devices are necessary to protect the adjacent properties, structures and other areas slated to remain. This will also include erosion control, dust control, and settlement.	16. All find subgrade upon proposed pavement, building, or other structure shall be proof rolled as described above for the identifying of soft areas. Areas found to be unacceptable shall be scarified, dried, and re- compacted. Retest by proof roll as necessary.	7	
17. All areas shall be brought back to their original grade or that of the surrounding area, which ever is closer to the final grades of the project for that area. All areas requiring fill shall be compacted to the requirements of the area but in no case less than 90% of modified proctor (ASTM D 1557).	17. All fill material is to be in place and compacted prior to installation of proposed utilities. Refer to pipe bedding details for trench dimensions. Additional with all work by allowed when compaction equipment limitations require and only after approval of the Engineer of Record. No more trench shall be open in one day than can be properly backfilled in that day and weather and safety concerns. When backfilling around pipes, provide uniform support to inlet and proper compaction under, along, and over the pipes. One shall be given wide backfilling around pipes to prevent damage to the pipes including, placing backfill/bedding by hand, using hand operated plate tamper or jumping jacks, and other load restrictive techniques until fills are a minimum of 2 feet or manholes/recessed depths, which ever is greater, above the top of the pipe. Compaction requirements are not relieved in these areas and will remain as stated on the drawings or above. If clean stone is used as a bedding or encasement, filter fabric shall be placed between the natural earth soils and backfill and the stone to prevent migration of fines. Anti-seep collars shall be provided in accordance with the details. The Contractor is cautioned against the migration of fines from soils adjacent to voids. Where such conditions exist, the Contractor shall install or wrap those areas with filter fabric to prevent fines from migrating into voids.	8	
18. All demolition within the proposed building footprint shall be coordinated with the building drawings.	18. If rock is encountered that was not indicated on the plans or soils report, the area for removal should be measured and reviewed with the owner's representative prior to rock removal. Rock will be defined as the natural earth materials that can not be removed with conventional earth working equipment.	Seal	2/11/22
19. Light pole removal shall include complete removal, backfill of concrete base, and capping of any conduit/wiring in to be abandoned in place.	19. Where rock is adjacent to a structure or utility, the rock shall be removed to a minimum of 6 inches below and 1 times the diameter, but not less than 1 foot or greater than 3 feet on any side.	Civil Engineer of Record	NAME: Todd G. Markewicz Massachusetts License No.: 54189 Exp. Date: June 30, 2022
CLEAR AND GRUB	20. No explosives will be allowed until all permits are granted and the Owner has signed off. Pre and post blast reports must be kept and recorded. All structures within the area of the blast must receive a pre-blast survey. All blasting must be performed by a licensed blaster.	Seal	Seal
1. Clearing and grubbing shall not commence until erosion control plans, including applicable BMP's, are in place, in accordance with the project plans.	21. Unless otherwise noted on the drawings, the Contractor shall remove all excess topsoil, cut material, or waste material from site and dispose of in a legal manner.	Copyright © 2022 APD Engineering and Architecture, LLC 1122 NW 7th Ave Suite 200 Fort Lauderdale, FL 33304 Phone: 561.742.2222 Fax: 561.742.2222 www.apd.com	
2. The Contractor shall review plans and identify safety mark all plants and trees to be saved. The Contractor shall protect all plants and trees to be saved throughout the contract. This shall include prohibiting any work within the drip line of the tree, except under the supervision of a licensed Landscape Architect.	TRAFFIC SIGNAGE AND PAVEMENT MARKINGS	Drawing Alteration It is a violation of law for any person, unless acting under the direction of licensed Architect, Professional Engineer, Landscape Architect, or Land Surveyor to alter any item on this document in any way. Any licensee who alters this document is required by law to affix his or her seal and to add the notation "Altered By" followed by his or her signature and the specific description of the alteration or revision.	
3. All areas to be cleared and grubbed shall be surveyed in the field to establish the appropriate limits of work.	1. Pavement markings shall be the type, color, size, and locations shown on the plans. Contractor shall provide two (2) coats of paint for all pavement markings. If the information on the plans and details is not complete and the authority having jurisdiction does not have requirements regarding this, use the following:	DO NOT SCALE PLANS Copying, Printing, Software and other processes required to produce these prints can stretch or shrink the actual paper or layout, therefore, scaling of this drawing may be inaccurate. Contact Engineer of Record with any need for additional dimensions or clarifications.	
4. The Contractor shall take whatever measures necessary to locate and protect existing utilities, structures, wetlands, and other facilities to remain.	1.a. Paint shall be supplied in accordance with AASHTO M 248 latest edition.	 APD ENGINEERING ARCHITECTURE 615 Fishers Run Victor, NY 14564 585.742.2222 - www.apd.com	
5. All trees, shrubs, stumps, roots, and other debris shall be removed from site and disposed of in a legal manner.	1.b.1. YELLOW - parking stalls, parking islands, and fire lanes		
6. No burning will be allowed on site.	1.b.2. WHITE - stop bars and lettering, pedestrian crossings, handicap parking symbol and characters, and traffic control lettering and characters	 Burger King JSC Management Group Attn: James Cammilleri Burger King Franchisee 585.735.7198	
PAVEMENT AND STRUCTURAL SUBBASE	1.b.3. BLUE - background of handicap parking symbol		
1. The type of subbase required for each use will be called out on the drawings. If no reference is made on the drawings or details to the type of subbase required the following shall be used:	2. The pavement shall be clean and free of dirt, dust, moisture, oils, and other foreign materials. Any old pavement markings shall be removed unless paints are compatible and overlay identically. The surface of the pavement prior to application shall be 45 degrees F and rising unless manufacturer's recommendations are greater. All painting shall be applied in appropriate weather conditions (ie. temperature, wind, precipitation), and in accordance with manufacturer's recommendations.	Burger King #3999	
1.a. The source of the material shall be as are approved for use by the State Department of Transportation.	3. The signage and pavement markings shall be the type and at the general location shown on the drawings. The signage and pavement markings shall be provided and located in accordance with the Local Highway, County Highway, and State Department of Transportation. If local, county or state codes do not exist use MUTCD.	Map: 19 Lot: 42	
1.b. The material shall be a crushed stone conforming to AASHTO M 147-65 (1980 or latest revision), grade A.	4. Post holes in pavement shall be a minimum of four feet deep and 12 inches in diameter unless placed soils or frost conditions require greater depth. Sign posts shall be kept plumb, 6 inches off bottom and centered as 4000 psi concrete is poured around the post. The overall sign and post system should be able to withstand 33 pounds per square foot.	1383 Cove Road	
1.c. Gravel or other materials can only be substituted for crushed stone when approved in writing by the Owner and Engineer of Record.	5. All handcap striping and signage, including signs, crosswalk, accessible path, and curb ramps, shall meet Americans with Disabilities Act (ADA) requirements. Fine line striping and signage shall meet the requirements of the local building inspection and fire department.	New Bedford, MA 02744	
2. Material supplied for use as subbase shall have 100% passing the 2 inch sieve, 30% to 65% passing the 3/8 inch sieve, 25% to 55% passing the No. 4 sieve, 15% to 40% passing the No. 10 sieve and 2% to 10% passing the No. 200 sieve.	SITE CONCRETE - INCLUDING CURB, SIDEWALKS AND GUTTERS	Bristol County	
3. Subbase shall be placed in lifts not to exceed 8 inches and compacted to the requirements stated in the soils report. If not stated, the compaction requirement shall be 95% of maximum dry density per ASTM D1557 (modified proctor).	1. The dimensions shall be those shown on the drawings. The Concrete mix shall be 4000 psi at 28 days made with type I or type II cement per ASTM C 150 and aggregates meeting State Department of Transportation requirements, unless otherwise noted. Slump for dip forming shall be 1 inch +/- 1/2 inch and for formed concrete the slump shall be 3 inch +/- 1 inch. Air entraining mixture shall meet the requirements of ASTM C 260 4% +/- 1 1/2% for dip form work and 6% +/- 1 1/2% for formed and placed concrete. Water reducing agent shall conform to ASTM C 494, type A. Curing compounds shall conform with ASTM C309, type I, class A moisture loss of not more than .055 g/eq on when applied at 200 sq ft per gallon.	Project Name & Location:	
4. The Contractor will be responsible for all costs in preparing the subgrade to receive subbase. This shall include fine grading and compacting as necessary to meet the requirements stated here and under Earthwork.	2. Sidewalks, gutters and curbs shall be placed on compacted subbase consistent with the pavement subbase as shown on the drawings. When subbase details are missing and no agency has jurisdiction use the following: sidewalks and gutters shall be placed on a minimum of 6 inches of compacted subbase and curbs shall be placed on a minimum of 4 inches of compacted subbase.	Specifications	
5. The amount of testing required to verify the compaction shall be the same as stated under Earthwork.	3. All forming, placement, materials and curing shall conform to the latest addition of ACI 318 "Building code requirements for reinforced concrete" and all similar State Department of Transportation requirements.	Drawing Name:	
6. Refer to General Construction Conditions for filter fabric requirements, if applicable.	4. Reinforcing shall be in accordance with that specified on the drawings and the Concrete Reinforcing Steel Institute (CRS) "manual of standard practices". Reinforcing steel shall be ASTM A 615, grade 60, deformed. Welded wire fabric shall be ASTM A 185, welded wire steel fabric.	Date: 10/29/21	
	5. Sidewalks, and gutters shall have a broom finish perpendicular to flow with a picture frame edge joint all the way around. Curbs shall have a smooth finish or light rub finish but consistent throughout the project.	Project No.	
	6. Expansion joints shall be placed as per details and at adjoining structures such as walls, manholes and vaults. Expansion joint material shall be preformed, 1/2 inch material with 23/64 inch cap in accordance with ASTM D1751. After concrete has set the joint should be removed and void filled with waterproof joint filler. Curb and gutter shall be set or top jointed to 1/3 the depth every 10 feet. Sidewalks should have toted or cut joints to 1/3 the depth in squares or close to square or possible not exceeding 5ft. 6ft.	Type:	
		Drawn By: ASH	
		Scale: N.T.S.	
		20-0118	
		C8	
		Drawing No.	