

S I T E P L A N
563 COUNTY STREET
ASSESSORS MAP #58 LOT #259
NEW BEDFORD, MASSACHUSETTS

— ZONING DATA —

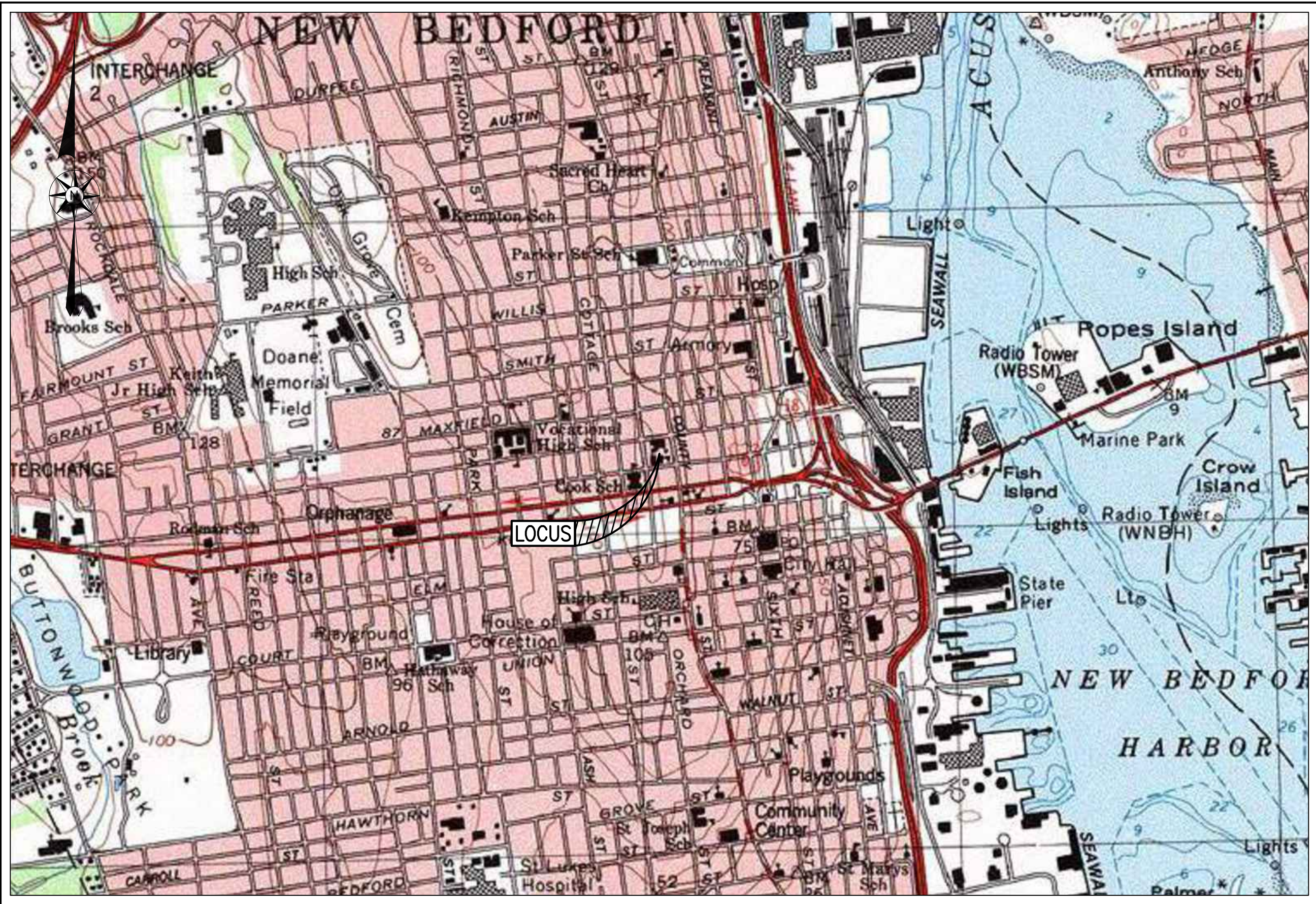
DISTRICT:	RA			
DESCRIPTION	REQUIRED	EXISTING	PROVIDED	
LOT AREA	8,000 S.F.	74,407 S.F.	18,189 S.F.	
DENSITY OF DWELLING UNITS PER LOT	1 PER 10,000 S.F.	N/A	1 PER 1,212 S.F.	
LOT FRONTAGE	75 FT	1,092 FT	279.34 FT	
FRONT SETBACK	20 FT	14.00 FT	14.00 FT	
SIDE SETBACK	10/12 FT	N/A FT	56.7/15.9 FT	
REAR SETBACK	30 FT	N/A FT	64.4 FT	
BUILDING HEIGHT (MAXIMUM)	*45 FT	39± FT	39± FT	
BUILDING COVERAGE (MAXIMUM)	**30 %	25+/- %	22.00 %	
LOT COVERAGE (MAXIMUM)	65 %	50+/- %	84.17 %	
*60 FT. ALLOWED FOR RELIGIOUS, EDUCATIONAL, OR INSTITUTIONAL BUILDINGS				
**40% BUILDING COVERAGE ON CORNER LOTS				

— PARKING & LOADING REQUIREMENTS —

PRINCIPAL USE:	MULTI-FAMILY		
REQUIREMENT	REQUIRED	PROVIDED	
2 SPACES PER DWELLING UNIT	30 SPACES	22 SPACES*	
WHEN 1-25 TOTAL PARKING SPACES ARE PROVIDED, 1 MUST BE ACCESSIBLE SPACES. ONE IN EVERY EIGHT ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE VAN ACCESSIBLE	2 ACCESSIBLE, 1 VAN ACCESSIBLE	1 ACCESSIBLE, 1 VAN ACCESSIBLE	
ONE (1) LOADING SPACE FOR EACH MULTIFAMILY DWELLING CONTAINING MORE THAN TEN (10) DWELLING UNITS, OR MORE THAN TWENTY (20) HOUSEKEEPING UNITS.	1 LOADING SPACE	0 LOADING* SPACE	

— WAIVERS & SPECIAL PERMITS —

CODE OF ORDINANCES — CHAPTER 9, SECTION 2420
A SPECIAL PERMIT IS REQUESTED TO CHANGE A NONCONFORMING USE
CODE OF ORDINANCES — CHAPTER 9, SECTION 2430
A SPECIAL PERMIT IS REQUESTED TO ALLOW ALTERATION OF A NONCONFORMING STRUCTURE
CODE OF ORDINANCES — CHAPTER 9, SECTION 2720
A VARIANCE IS REQUESTED TO ALLOW INCREASED DWELLING UNIT DENSITY, AND REDUCED GREEN SPACE
CODE OF ORDINANCES — CHAPTER 9, SECTION 3120
A SPECIAL PERMIT IS REQUESTED TO ALLOW A REDUCTION OF PARKING AND LOADING REQUIREMENTS
CODE OF ORDINANCES — CHAPTER 9, SECTION 3340
A SPECIAL PERMIT IS REQUESTED TO ALLOW A REDUCTION OF LANDSCAPE BUFFER REQUIREMENTS
CODE OF ORDINANCES — CHAPTER 9, SECTIONS 5350 & 5455
A WAIVER FROM THE REQUIRED DEVELOPMENT IMPACT STUDY IS REQUESTED
CODE OF ORDINANCES — CHAPTER 9, SECTION 5451.F
A WAIVER FROM THE REQUIRED LIGHTING PLAN IS REQUESTED
SITE PLAN REVIEW CHECKLIST (8)TRAFFIC IMPACT & ACCESS STUDY
A WAIVER FROM THE REQUIRED TRAFFIC IMPACT & ACCESS STUDY IS REQUESTED



— AREA MAP —
SCALE: 1"=1,000'±

— INDEX —

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3	EXISTING CONDITIONS
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7	UTILITIES
8	SEDIMENT & EROSION CONTROL
9-10	DETAILS

REVISIONS

1	020421	PARKING DIMENSION
2	020921	LIGHTING & DUMPSTER
3	042721	DRIVEWAY

SEAL

CHRISTIAN ALBERT FARLAND
No. 47544
CIVIL
PROFESSIONAL ENGINEER

Signature

FARLAND CORP.

www.FarlandCorp.com

21 VENTURA DRIVE
DARTMOUTH, MA 02747
P.508.717.3479
• ENGINEERING
• SITEWORK
• LAND SURVEYING
• DEVELOPMENT

DRAWN BY: JKM
DESIGNED BY: JKM
CHECKED BY: CAF

SITE PLAN

563 COUNTY STREET
ASSESSORS MAP 58, PARCEL 259
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
CHARING CROSS REALTY TRUST
2 CENTENIAL DRIVE
PEABODY, MA 01960

JANUARY 15, 2021
SCALE: 1" = 10'
JOB NO. 20-681
LATEST REVISION:
042721
COVER
SHEET 1 OF 10

RECORD OWNER:
ASSESSORS MAP 58 LOT 259
ST. LAWRENCE CHURCH CORP. PARSONAGE
P.O. BOX 2577
FALL RIVER, MA 02720
DEED BOOK 254, PAGE 514

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. PROPERTY LINE INFORMATION TAKEN FROM: DEED BOOK 254, PAGE 514.
3. TOPOGRAPHIC SURVEY PERFORMED BY FARLAND CORP. IN OCTOBER 2018.
4. VERTICAL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988 AND HORIZONTAL LOCATIONS REFER TO THE NORTH AMERICAN DATUM (NAD) OF 1983.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL STANDARDS AND REGULATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
7. WHERE PROPOSED PAVEMENT AND WALKS ARE TO MEET EXISTING, THE CONTRACTOR SHALL SAWCUT A NEAT LINE AND MATCH GRADES, SEAL ALL JOINTS WITH HOT BITUMINOUS ASPHALT JOINT SEALER.
8. CURBING TO BE AS INDICATED ON THE PLANS.
9. ALL EXISTING TREES, SHRUBS AND GROUND COVER WHERE NATURAL GRADE IS TO BE RETAINED SHALL BE KEPT IN THEIR EXISTING STATE UNLESS REMOVAL IS REQUIRED FOR CONSTRUCTION PURPOSES. THE NUMBER OF REMOVED TREES 6 CALIPER OR LARGER SHALL BE MINIMIZED.
10. ALL AREAS DISTURBED BY CONSTRUCTION AND NOT TO BE PAVED OR OTHERWISE TREATED AS NOTED ON PLAN SHALL BE TREATED WITH 4" OF LOAM, SEEDED AND HAY MULCHED FOR EROSION CONTROL.
11. SITE IMPROVEMENTS SHALL CONFORM TO A.D.A. SPECIFICATIONS.
12. THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON-SITE UTILITY SERVICES ACCORDING TO THE LOCAL AUTHORITY'S SPECIFICATIONS. SERVICES SHALL BE CAPPED OFF WHERE SAME ENTER THE PERIMETER OF THE PROPERTY LINE.
13. THE CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
14. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION. THESE PLANS ARE PERMITTING PLANS AND SHALL NOT TO BE USED FOR CONSTRUCTION. A FINAL SET OF STAMPED PLANS FOR CONSTRUCTION WILL BE ISSUED AFTER RECEIVING FINAL APPROVAL FROM THE LOCAL AND/OR STATE DEPARTMENTS.
15. ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY PLANNER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY PLANNER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO WORK BEING PERFORMED.
16. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
17. ALL HANDICAP PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAB & MAAB REQUIREMENTS.
18. EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO CITY OF NEW BEDFORD CONSERVATION COMMISSION REQUIREMENTS AS STATED IN THE ORDER OF CONDITIONS.
19. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.
20. THE CONTRACTOR SHALL OBTAIN A STREET DISTURBANCE & OBSTRUCTION PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT OF WAY.
21. THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.

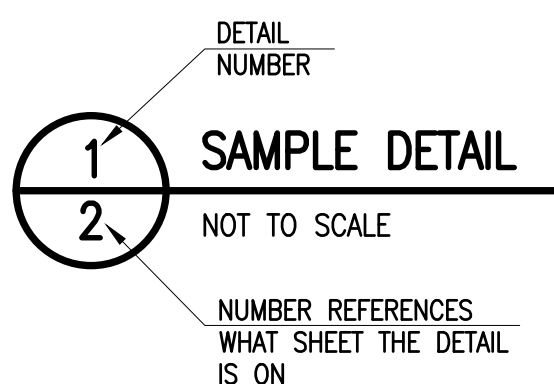
1. ALL ON-SITE STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE), UNLESS NOTED OTHERWISE.
2. HDPE PIPE SHALL CONFORM WITH ASHOTO DESIGNATIONS M294 AND M252, SHALL BE MANUFACTURED WITH HIGH DENSITY POLYETHYLENE PLASTIC AND SHALL BE ADS N-12 PIPE AS MANUFACTURED BY ADVANCE DRAINAGE SYSTEM, INC. OR HANGOR HI Q PIPE AS MANUFACTURED BY HANGOR, INC. OR APPROVED EQUAL UNLESS OTHERWISE NOTED OR DETAIL.
3. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES.
4. BEFORE THE DEVELOPMENT SITE IS GRADED, THE AREA OF THE DRAINAGE BASINS SHOULD BE FENCED OFF TO PREVENT HEAVY EQUIPMENT FROM COMPACTING THE UNDERLYING SOIL.
5. WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
6. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES.
7. MAXIMUM SLOPE IN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
8. CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
9. CONTRACTOR SHALL ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
10. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER'S REPRESENTATIVE FOR RESOLUTION OF THE CONFLICT.
11. DEVELOPER TO CHECK CONDITION OF EXISTING SEWER AND WATER SERVICES TO BE MAINTAINED AND REUSED.
12. ANY EXISTING WATER AND/OR SEWER SERVICES TO BE ABANDONED OR OLD UNUSED SERVICES PERTAINING TO THE PARCEL ARE TO BE CAPPED IN ACCORDANCE WITH THE CITY'S CONSTRUCTION STANDARDS. WATER SERVICES ARE TO BE CAPPED AT THE MAIN. SEWER SERVICES ARE TO BE CAPPED AT THE PROPERTY LINE.
13. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
14. THE LOCATION, SIZE AND DEPTH OF ALL EXISTING OR PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY AND APPROVED BY THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE AND ELECTRICAL). FINAL DESIGN AND LOCATIONS AT THE BUILDING WILL BE PROVIDED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION.

1. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
2. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
3. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAILS CONTIGUOUS TO THE BUILDING INCLUDING SIDEWALKS, RAMPS, UTILITY ENTRANCE LOCATIONS, WALL PACKS, CONCRETE DOOR PADS, ROOF DRAINAGE, ETC.
4. ACCESSIBLE CURB RAMPS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD AND THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES, WHICH IS MORE STRINGENT.
5. THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
 ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING.
 ALL DIMENSIONS ARE TO FACE OF CURB AT UTILITY LINE.
 ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS.
 ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

1. A COPY OF THE SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
2. SOIL EROSION AND SEDIMENT CONTROL PRACTICES IN THE PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
3. ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY DEMOLITION GRADING OPERATIONS AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
4. ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
5. AFTER A SOIL EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
6. THE MAINTENANCE OF SOIL EROSION AND SEDIMENT CONTROL MEASURES AND FACILITIES DURING AND IMMEDIATELY AFTER CONSTRUCTION RESTS WITH THE GENERAL CONTRACTOR. UPON ACCEPTANCE OF THE PROJECT, THE OWNER SHALL BECOME RESPONSIBLE FOR MAINTENANCE OF ANY REMAINING MEASURES AND FACILITIES.
7. OFF SITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE ENGINEER.
8. THE CONSERVATION COMMISSION AND/OR ENGINEER MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.
9. ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS AT ALL TIMES.
10. THE CONTRACTOR SHALL UTILIZE ALL METHODS NECESSARY TO PREVENT BLOWING AND MOVEMENT OF DUST FROM THE EXPOSED SOIL SURFACES.
11. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
12. ALL CATCH BASIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION AS DETAILED ON THE PLAN, IF APPLICABLE.
13. ALL STORM DRAINAGE OUTLETS SHALL BE PROTECTED AS REQUIRED HEREON BEFORE DISCHARGE POINTS BECOME OPERATIONAL.
14. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
15. LAND AREAS EXPOSED AT ANY ONE TIME AND THE LENGTH OF EXPOSURE SHALL BE KEPT TO A PRACTICAL MINIMUM. THEY SHALL BE LEFT IN A NEAT AND FINISHED APPEARANCE AND PROTECTED FROM EROSION.
16. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN SIXTY (60) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION. IF THE SEASON PERMITS TEMPORARY SEEDING, THE DISTRIBUTED AREAS SHALL BE MULCHED.
17. ALL CRITICAL AREA SUBJECT TO EROSION SHALL RECEIVE A TEMPORARY SEEDING AND BE MULCHED IN ACCORDANCE WITH THE SPECIFICATIONS IMMEDIATELY FOLLOWING ROUGH GRADING.
18. IMMEDIATELY AFTER COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, SEED THE STOCKPILE WITH ANNUAL RYE GRASS. STABILIZE TOPSOIL STOCKPILES WITH STRAW MULCH FOR PROTECTION IF THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING.
19. SOIL STOCKPILES SHALL BE PROTECTED BY A STRAW BALE BARRIER OR SEDIMENT FENCE. LOCATIONS ARE DELINEATED ON THE PLAN.
20. MAXIMUM SLOPE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
21. ALL AREAS NOT STABILIZED BY CONSTRUCTION, SODDING OR LANDSCAPING SHALL BE SEEDDED AND STABILIZED IN ACCORDANCE WITH THE SPECIFICATIONS FOR MULCHING SPECIFICATIONS.
22. MULCHING IS REQUIRED ON ALL SEEDED AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATIVE COVER.
23. ALL DOWNSLOPE OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTRATION DEVICE. THE SEDIMENT FILTER MUST BE CAPABLE OF FILTERING THE SEDIMENT AND BE PLACED SO AS NOT TO CAUSE EROSION OF THE DOWNSTREAM AREA.

1. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN OR THE PLANT MATERIAL WILL BE UNACCEPTABLE. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY, SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. THE OWNER AND/OR THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIAL ON SITE PRIOR TO INSTALLATION.
2. ALL PLANT MATERIAL SHALL BE PROPERLY GUYED, STAKED, WRAPPED, AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. GUY WIRES SHALL BE ATTACHED TO THE TREE AT A HEIGHT OF TWO-THIRDS THE HEIGHT OF THE TREE AND SHOULD BE LOCATED AT POINTS SO AS NOT TO SPLIT THE TRUNK OF MULTI-STEMMED TREES. PROVIDE THREE STAKES PER TREE UNLESS NOTED OTHERWISE. INSTALL ALL PLANT MATERIAL ON UNDISTURBED GRADE. PROVIDE BURLAP WRAPPING WITH A 50% OVERLAP. CUT AND REMOVE BURLAP FROM TOP ONE THIRD OF THE ROOT BALL.
3. PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH ONE PART EACH OF TOP SOIL, PEAT MOSS, AND PARENT MATERIAL. IF WET SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH SAND.
4. NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION AND SHALL BE SUBSEQUENTLY FLOODED TWO TIMES WITHIN TWENTY-FOUR (24) HOURS OF PLANTING. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF ALL PLANTS.
5. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT DIES WITHIN THAT TIME PERIOD SHALL BE REMOVED, INCLUDING THE STUMP, AND REPLACED WITH MATERIAL OF SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE DEVELOPER. THE REPLACED PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER THE REPLACEMENT DATE.
6. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM 4" LAYER OF TOPSOIL IN ALL LAWN AREAS AND A MINIMUM OF 6" OF TOPSOIL IN ALL PLANTING AREAS. A FULL SOIL ANALYSIS SHALL BE CONDUCTED AFTER CONSTRUCTION AND PRIOR TO PLANTING TO DETERMINE THE EXTENT OF SOIL AMENDMENT REQUIRED.
7. ALL DISTURBED LAWN AREAS SHALL BE STABILIZED WITH EITHER SOD OR SEED AS INDICATED ON THE LANDSCAPE PLANS. SEED SHALL CONSIST OF THE MIXTURE LISTED IN THE GENERAL SEEDING NOTES. ALL DISTURBED LAWN AREAS SHALL BE TOP SOILED, LIMED, FERTILIZED, AND FINE GRADED PRIOR TO LAWN INSTALLATION.
8. ALL TREES ARE TO BE GUYED, 3 EACH, UNLESS OTHERWISE NOTED ON PLAN.
9. ALL DECIDUOUS TREES ARE TO BE WRAPPED, WITH TREE WRAP, UP TO THE FIRST BRANCHING AND SECURED.
10. THE LANDSCAPE CONTRACTOR IS TO PERFORM ALL CONTRACTED WORK IN A REASONABLE PERIOD OF CONTINUOUS
11. THE LANDSCAPE CONTRACTOR IS TO MAINTAIN PLANT MATERIAL WHILE THE PROJECT IS UNDERWAY AND FOR A PERIOD OF TWO WEEKS AFTER THE COMPLETION OF THE PROJECT UNLESS OTHERWISE SPECIFIED.
12. THE CONTRACTOR IS TO CLEAN UP AND REMOVE ANY DEBRIS FROM THE SITE, CAUSED BY THE LANDSCAPE CONTRACTOR.

	PROPOSED
CONTOUR LINE	
SPOT GRADE	
EDGE OF PAVEMENT	EOP
VERTICAL GRANITE CURB	VGC
SLOPED GRANITE CURB	SGC
VERTICAL CONCRETE CURB	VCC
BITUMINOUS CONCRETE CURB	BCC
CAPE COD BERM	CCB
STONE WALL	
CHAIN LINK FENCE	
IRON FENCE	
POST & RAIL FENCE	
STOCKADE FENCE	
GUARD RAIL	
STRAW WATTLE	
WATER LINE	-W- - - -W- - - -
FIRE HYDRANT	
POST INDICATOR VALVE	
WATER GATE	
WATER METER PIT	
IRRIGATION HAND HOLE	
WELL	
SEWER LINE	==S==
SEWER MANHOLE	
GAS LINE	-G- - - -G- - - -
GAS METER	
GAS GATE	
DRAIN LINE	
DRAIN MANHOLE	
CATCH BASIN	
OVERHEAD WIRES	-OHW- - -OHW- - -
ELECTRIC, TELEPHONE & CABLE	-ETC- - -ETC- - -
UTILITY POLE	
GUY WIRE	



1. CONSTRUCT TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES. EROSION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING.
2. CLEAR CUT, DEMOLISH AND DISPOSE OF EXISTING SITE ELEMENTS NOT TO REMAIN.
3. STORMWATER SHALL NOT BE DIRECTED TOWARDS THE INFILTRATION BASIN UNTIL THE ENTIRE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
4. GRASS AND GRAVEL ALL PAVED AREAS. ALL PROPOSED PAVED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
5. BEGIN ALL PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION.
6. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES AND MULCH AND SEED AS REQUIRED.
7. FINISH PAVING ALL HARD SURFACE AREAS.
8. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
9. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
10. REMOVE TEMPORARY EROSION CONTROL MEASURES.
11. THE CONSTRUCTION SEQUENCE SHALL BE CONFINED TO THE LIMIT OF WORK AS SHOWN ON THE DRAWINGS.
12. UPON COMPLETION OF CONSTRUCTION THE OWNER SHALL AGREE TO MAINTAIN AND CLEAN ALL DRAINAGE STRUCTURES AS REQUIRED.

1. WITHIN THE LIMIT OF WORK LINE AS NOTED ON THE SITE PLANS, REMOVE AND DISCARD ALL CONCRETE PAVEMENT,
2. BITUMINOUS CONCRETE PAVEMENT, BRICK PAVEMENT, TOP SOIL, MULCH, TRASH, DEAD TREES AND STUMPS,
3. SHRUBBERY, CHAIN LINK FENCE POSTS, RAILS, FABRIC, GATES, FOOTINGS AND ALL APPURTENANCES, BOLLARDS,
4. POSTS, CONCRETE FOOTINGS AND FOUNDATIONS, WALLS AND CURBS UNLESS OTHERWISE NOTED.

5. THE OWNER'S REPRESENTATIVE SHALL BE CONSULTED AND WILL REVIEW THE WORK ON SITE WITH THE CONTRACTOR
6. BEFORE ANY WORK SHALL COMMENCE.

7. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES
8. BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.

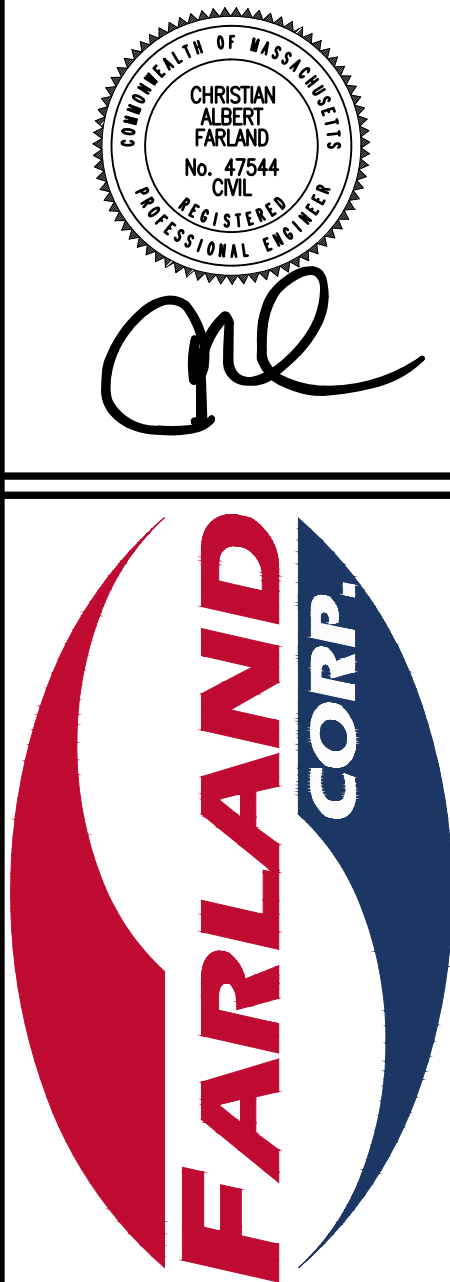
9. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO
10. CONTRACTOR OPERATIONS.

11. ALL ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO
12. THE OWNER SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS EFFORTS OF THE DEMOLITION WITH ALL TRADES.
14. THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE
15. UTILITY COMPANY.

16. THE CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADES AS NECESSARY ALL UTILITY AND SITE
17. STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MANHOLES, CATCH BASINS, HAND HOLES, WATER AND GAS
18. GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED OR DIRECTED BY
19. THE OWNER'S REPRESENTATIVE.

1	020421	PARKING DIMENSION
2	020921	LIGHTING & DUMPSTER
3	042721	DRIVEWAY



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21 VENTURA DRIVE
DARTMOUTH, MA 02747
P.508.717.3479

- ENGINEERING
- SITEWORK
- LAND SURVEYING
- DEVELOPMENT

DRAWN BY: JKM
DESIGNED BY: JKM
CHECKED BY: CAF

— 563 COUNTY STREET —
ASSESSORS MAP 58, PARCEL 259
NEW BEDFORD, MASSACHUSETTS

PREPARED BY CHARING CROSS REALTY TRUST
FOR: 2 CENTENAL DRIVE
PEARODY, MA 01960

JANUARY 15, 2021

SCALE: 1" = 10'

JOB NO. 20-681

LATEST REVISION:

042721

NOTES & LEGEND

SHEET 2 OF 10

1. 2. 3. 4. 5. 6. 7. 8.



21 VENTURA DRIVE
DARTMOUTH, MA 02747
P.508.717.3479

- ENGINEERING
- SITEWORK
- LAND SURVEYING
- DEVELOPMENT

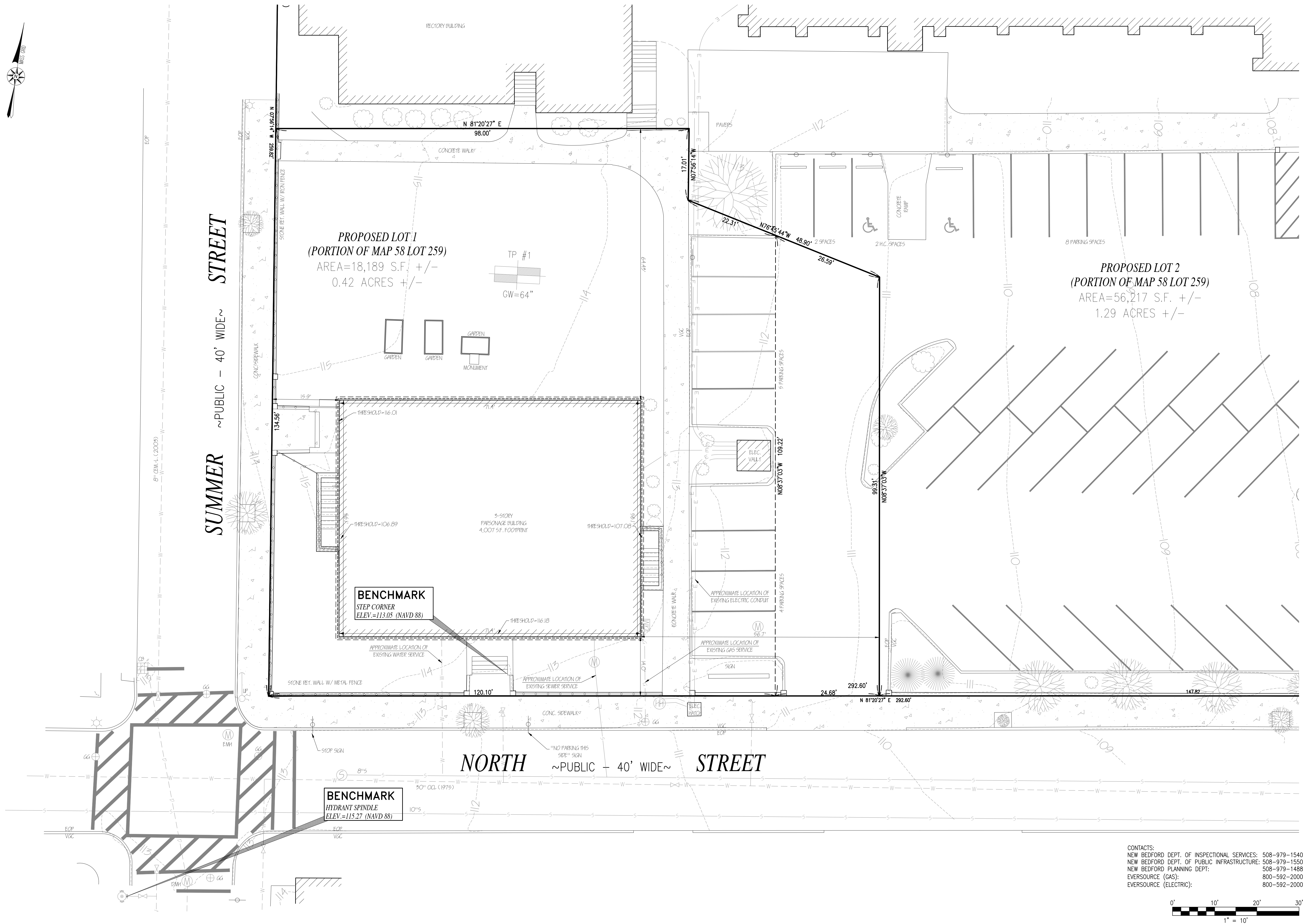
DRAWN BY: JKM
DESIGNED BY: JKM
CHECKED BY: CAF

— 563 COUNTY STREET —
ASSESSORS MAP 58, PARCEL 259
NEW BEDFORD, MASSACHUSETTS

FOR: 2 CENTENIAL DRIVE
PEABODY, MA 01960

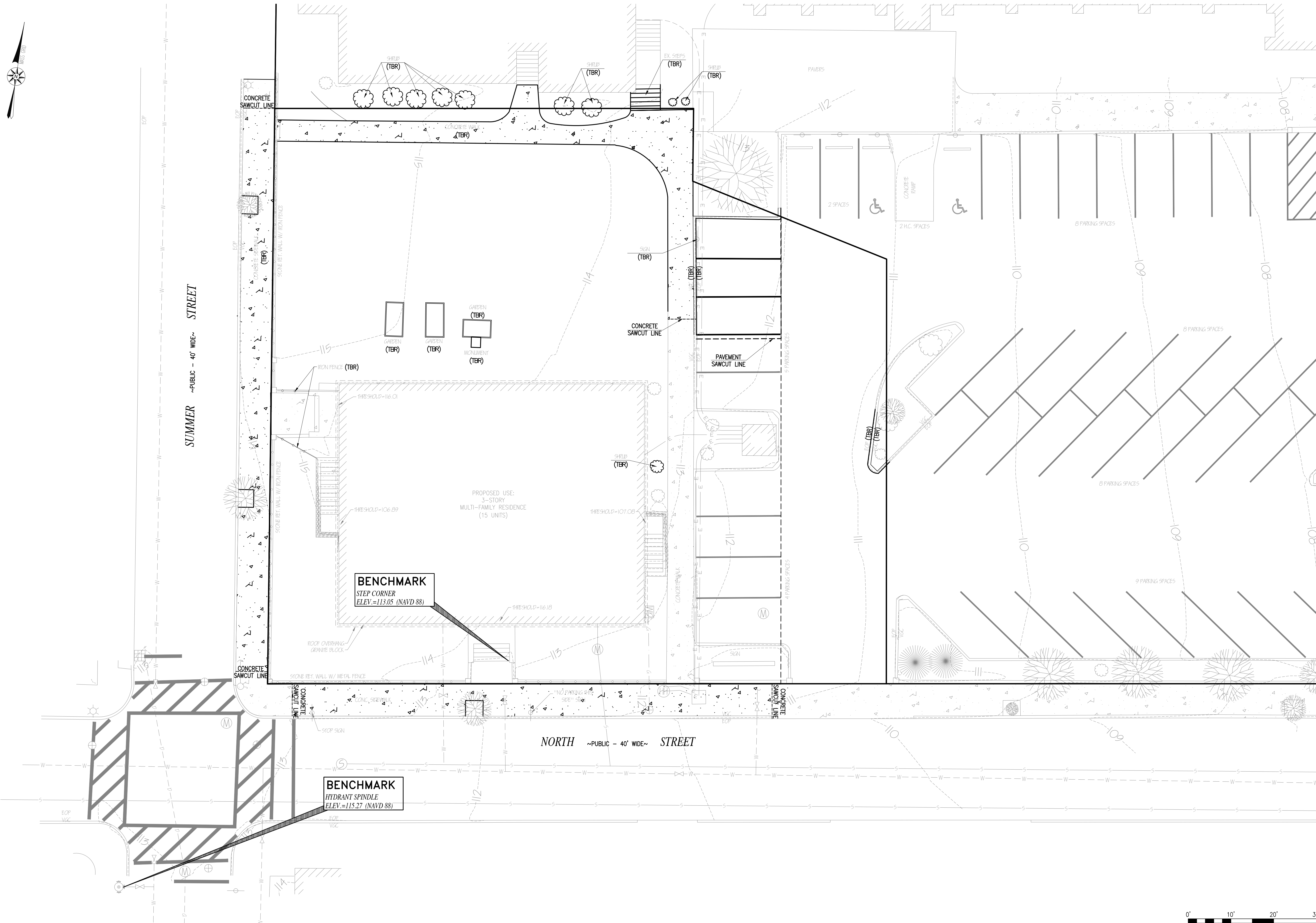
LATEST REVISION:
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SHEET 3 OF 10



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REVISIONS

1	020421	PARKING DIMENSION
2	020921	LIGHTING & DUMPSTER
3	042721	DRIVEWAY

VERIFICATION OF MASSACHUSETTS
REGISTERED PROFESSIONAL ENGINEER
CHRISTIAN ALBERT FARLAND
No. 47544
CIVIL
PEABODY, MA 01960

www.FarlandCorp.com

21 VENTURA DRIVE
DARTMOUTH, MA 02747
P.508.717.3479
• ENGINEERING
• SITEWORK
• LAND SURVEYING
• DEVELOPMENT

DRAWN BY: JKM
DESIGNED BY: JKM
CHECKED BY: CAF

SITE PLAN

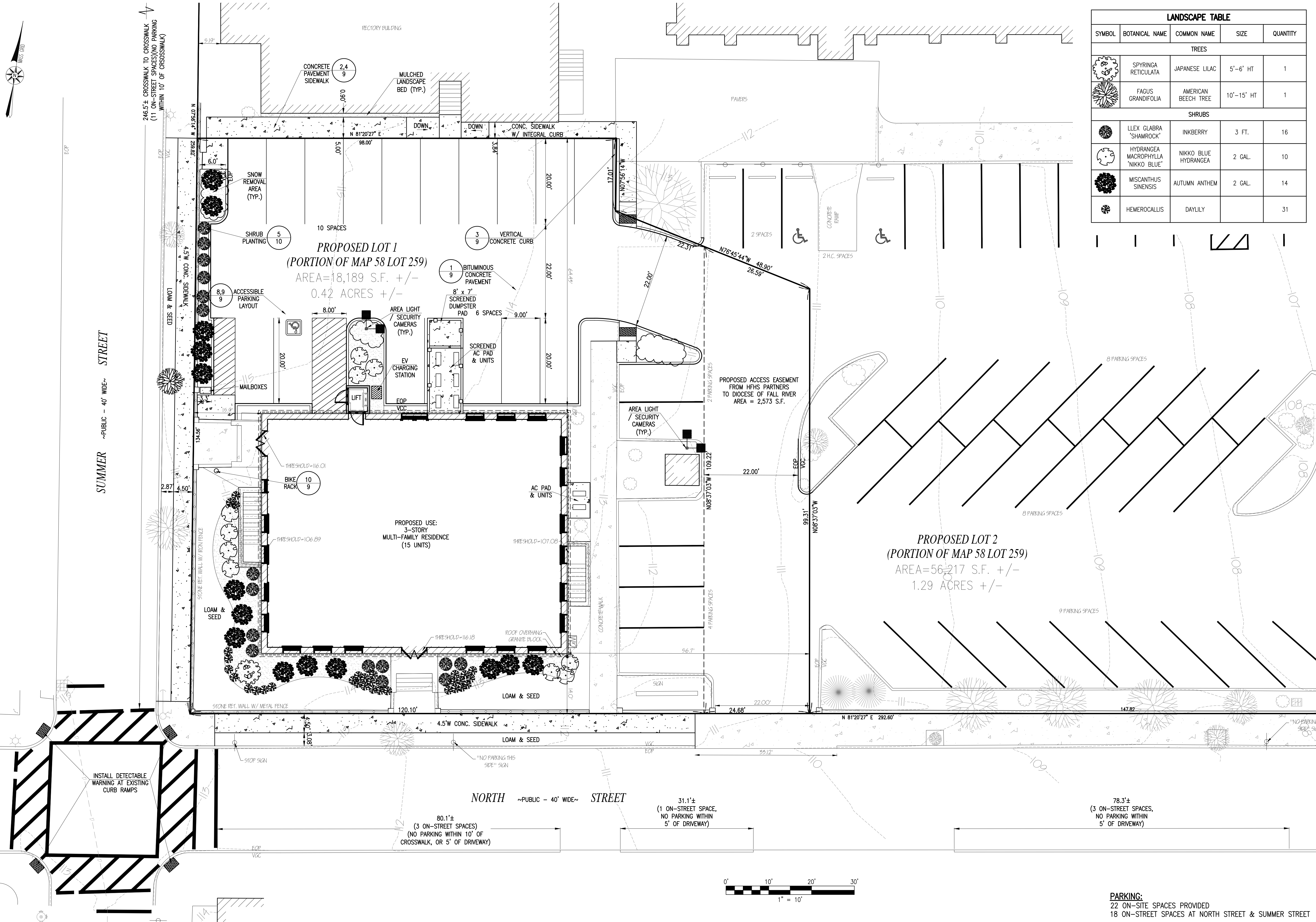
563 COUNTY STREET
ASSESSORS MAP 58, PARCEL 259
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
CHARING CROSS REALTY TRUST
2 CENTENIAL DRIVE
PEABODY, MA 01960

JANUARY 15, 2021
SCALE: 1" = 10'
JOB NO. 20-681
LATEST REVISION:
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DEMOLITION PLAN
SHEET 4 OF 10

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LANDSCAPE TABLE				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
TREES				
	SPYRINGA RETICULATA	JAPANESE LILAC	5'-6' HT	1
	FAGUS GRANDIFOLIA	AMERICAN BEECH TREE	10'-15' HT	1
SHRUBS				
	LLEX GLABRA 'SHAMROCK'	INKBERRY	3 FT.	16
	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	NIKKO BLUE HYDRANGEA	2 GAL.	10
	MISCANTHUS SINENSIS	AUTUMN ANTHEM	2 GAL.	14
	HEMEROCALLIS	DAYLILY		31

REVISIONS

1	020421	PARKING DIMENSION
2	020921	LIGHTING & DUMPSTER
3	042721	DRIVEWAY

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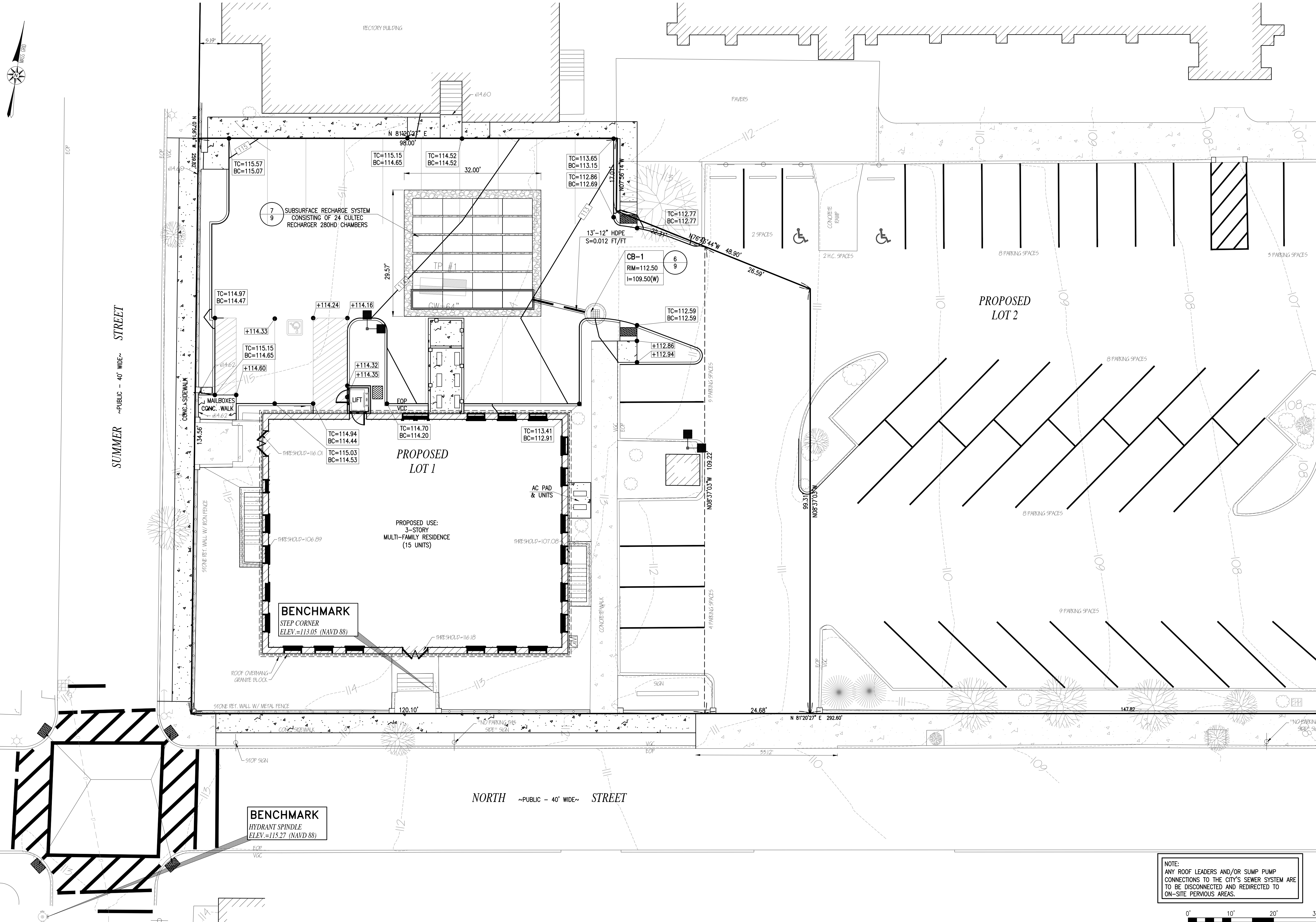
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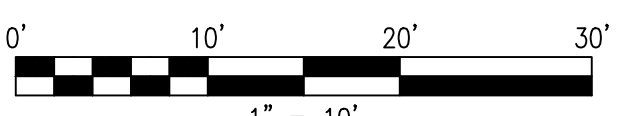
SITE PLAN
563 COUNTY STREET
ASSESSORS MAP 58, PARCEL 259
NEW BEDFORD, MASSACHUSETTS
PREPARED FOR:
CHARING CROSS REALTY TRUST
2 CENTENAL DRIVE
PEABODY, MA 01960

JANUARY 15, 2021
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LAYOUT & LANDSCAPE
SHEET 5 OF 10

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NOTE:
ANY ROOF LEADERS AND/OR SUMP PUMP
CONNECTIONS TO THE CITY'S SEWER SYSTEM ARE
TO BE DISCONNECTED AND REDIRECTED TO
ON-SITE PERVIOUS AREAS.



REVISIONS

1	020421	PARKING DIMENSION
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SEAL

CHRISTIAN ALBERT FARLAND No. 47544 C.M.A.A. PROFESSIONAL ENGINEER

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DARTMOUTH, MA 02747
P.508.717.3479

ENGINEERING

SITEWORK

LAND SURVEYING

DEVELOPMENT

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SITE PLAN

563 COUNTY STREET
ASSESSORS MAP 58, PARCEL 259
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
CHARING CROSS REALTY TRUST
2 CENTENAL DRIVE
PEABODY, MA 01960

JANUARY 15, 2021

SCALE: 1" = 10'

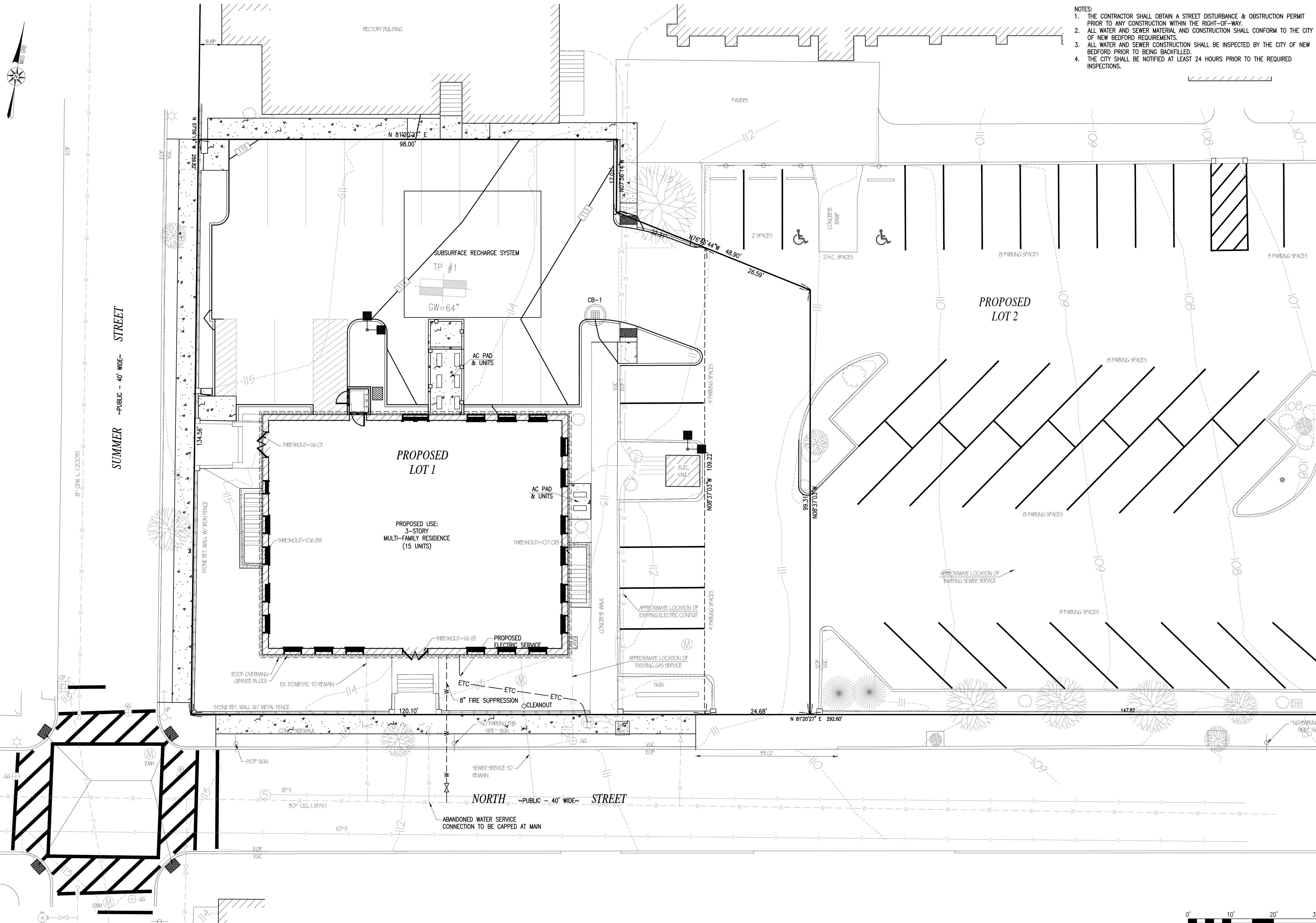
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GRADING & DRAINAGE

SHEET 6 OF 10

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- NOTES:
1. THE CONTRACTOR SHALL OBTAIN A STREET DISTURBANCE & OBSTRUCTION PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
 2. ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
 3. ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF NEW BEDFORD PRIOR TO BEING BACKFILLED.
 4. THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.

REVISIONS

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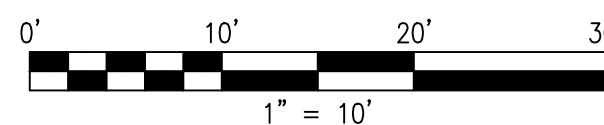
SITE PLAN

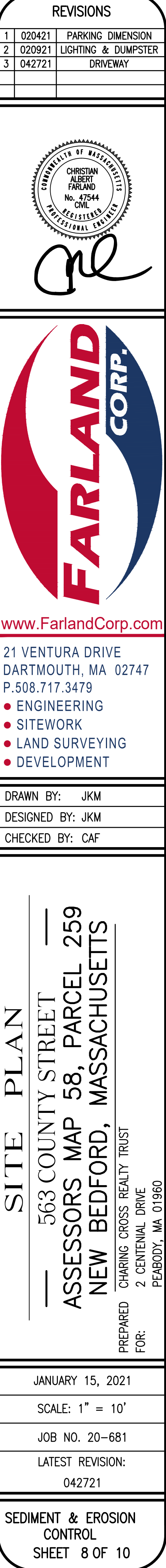
563 COUNTY STREET
ASSESSORS MAP 58, PARCEL 259
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
CHARING CROSS REALTY TRUST
2 CENTENAL DRIVE
PEABODY, MA 01960

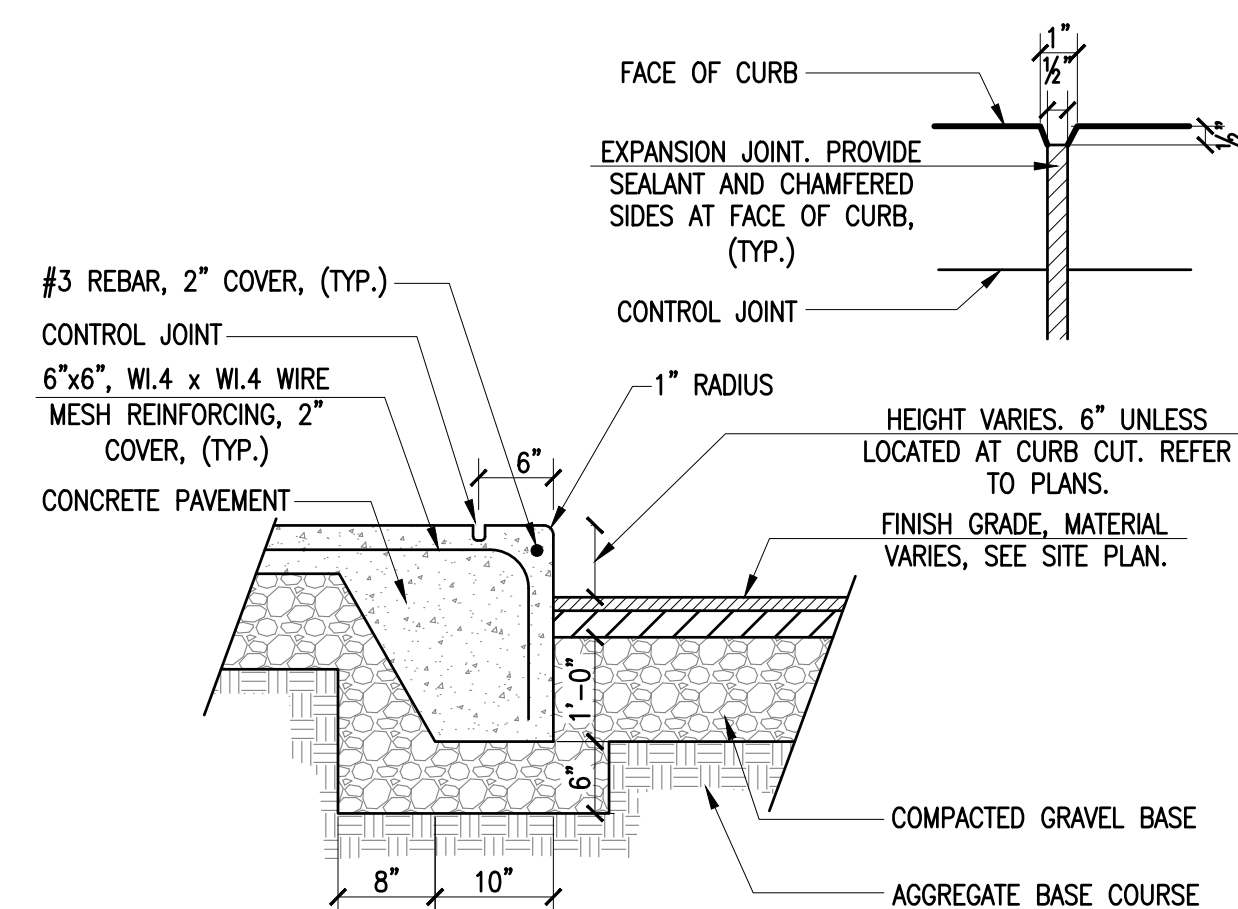
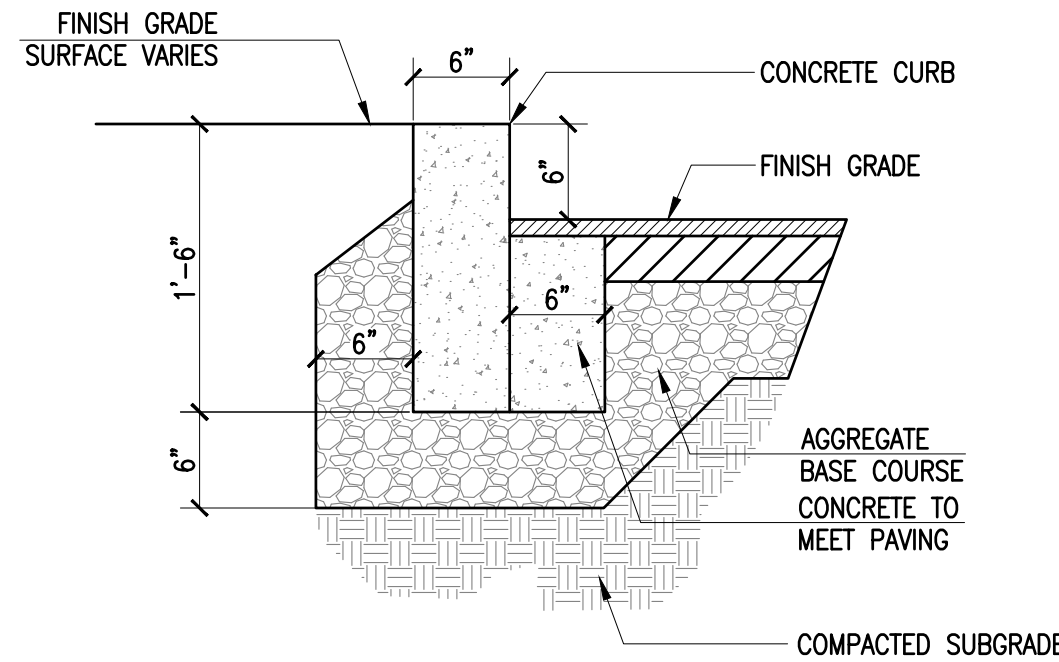
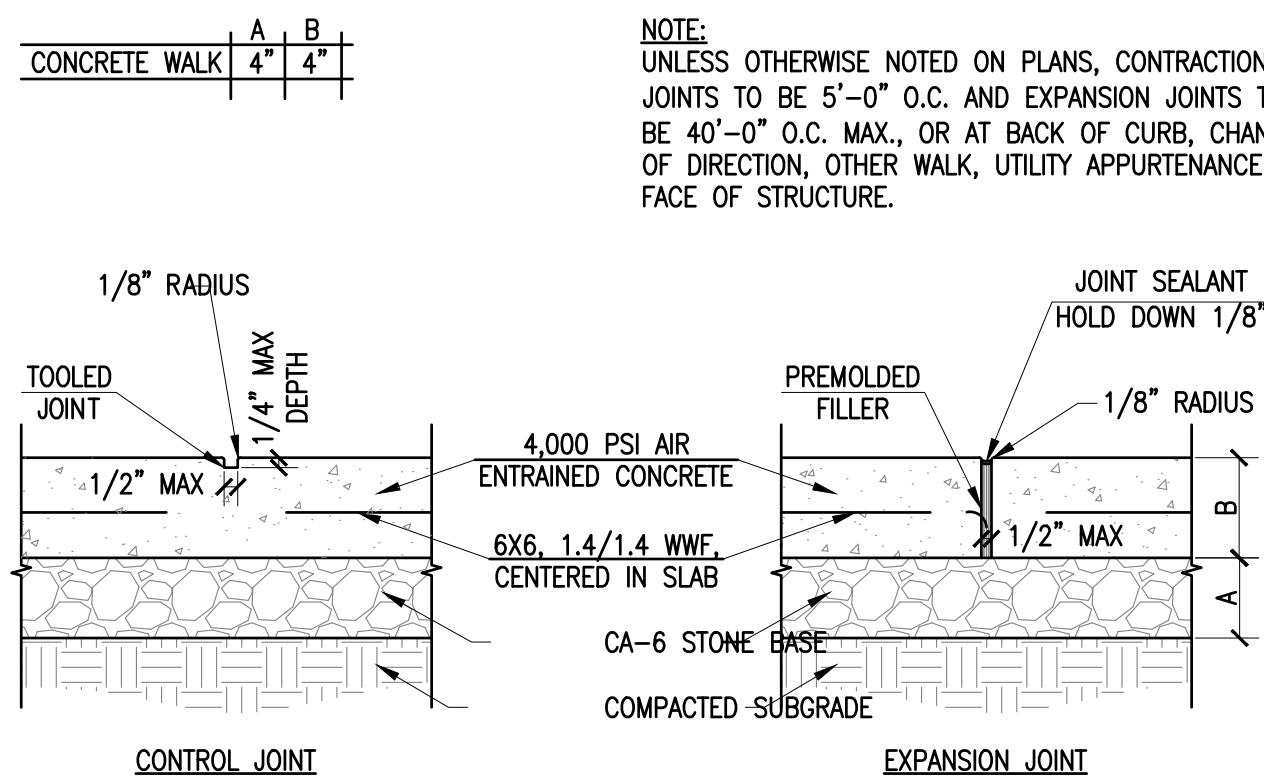
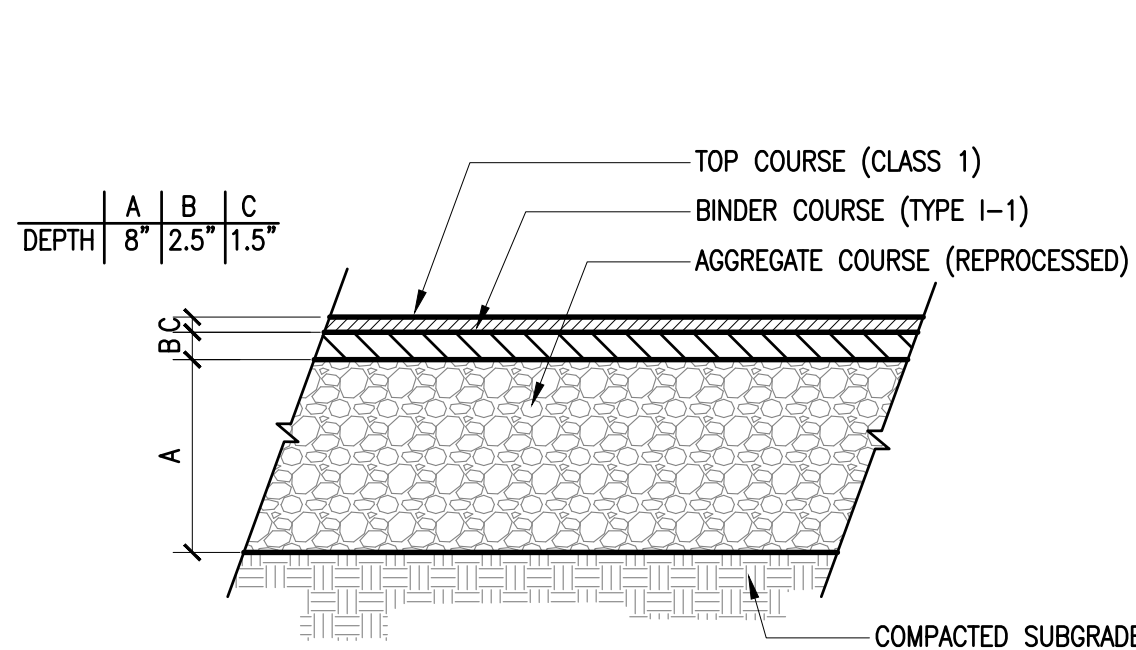
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UTILITIES
SHEET 7 OF 10





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1 BITUMINOUS CONCRETE PAVEMENT

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2 CONCRETE PAVEMENT SIDEWALK

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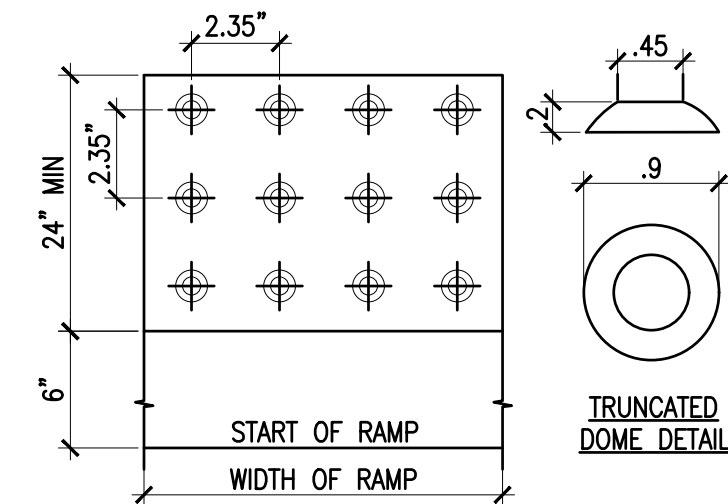
3 VERTICAL CONCRETE CURB

NOT TO SCALE

4 INTEGRAL CONCRETE CURB

NOT TO SCALE

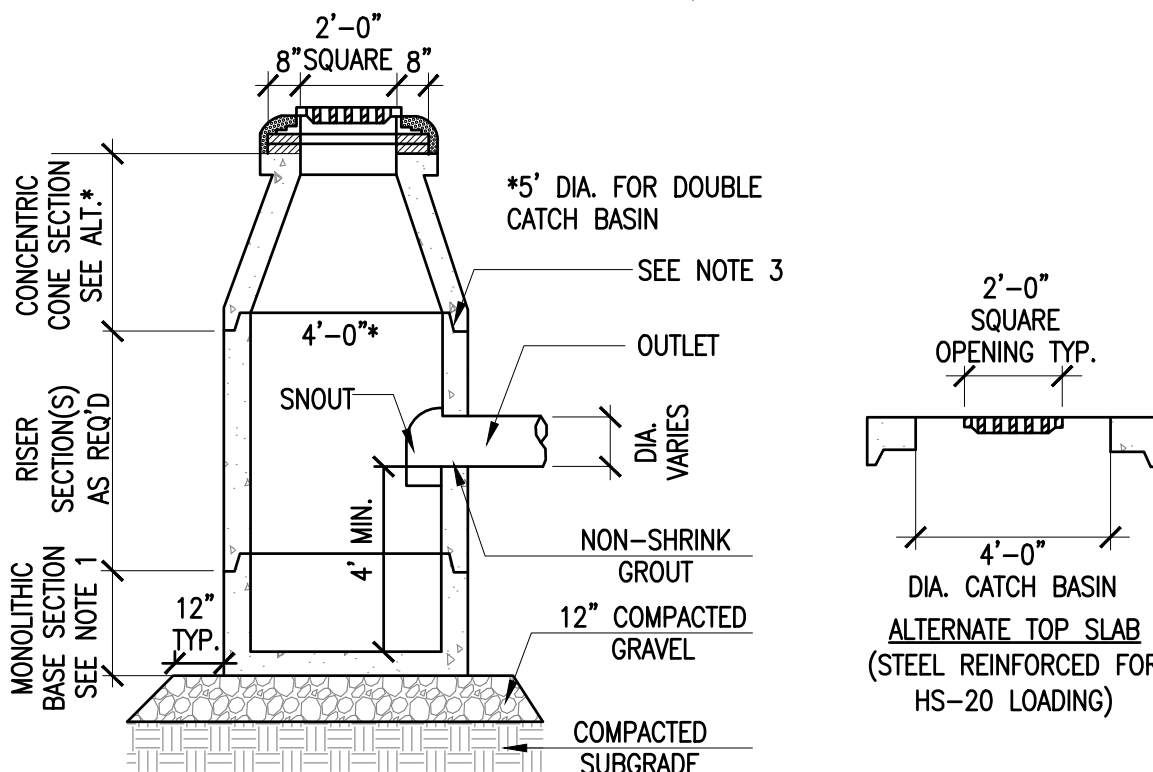
NOTES:
1. COLOR OF TACTILE DETECTABLE WARNINGS SHALL BE YELLOW.
2. CONTRACTOR SHALL INSTALL TILE PER MANUFACTURER'S SPECIFICATIONS
3. PREFERRED PRODUCT SHALL BE REPLACEABLE (WET-SET) COMPOSITE TACTILE BY ADA SOLUTIONS, INC. FOR PRICING QUOTATIONS, PLACING ORDERS, AND FURTHER INFORMATION, CALL JON MEHLMAN, EAST REGIONAL ACCOUNT DIRECTOR FOR ADA SOLUTIONS, INC. AT (800) 372-0519 or (978) 262-9900. DETAILED INFORMATION IS AVAILABLE AT www.adatale.com.



5 DETECTABLE WARNING DETAIL

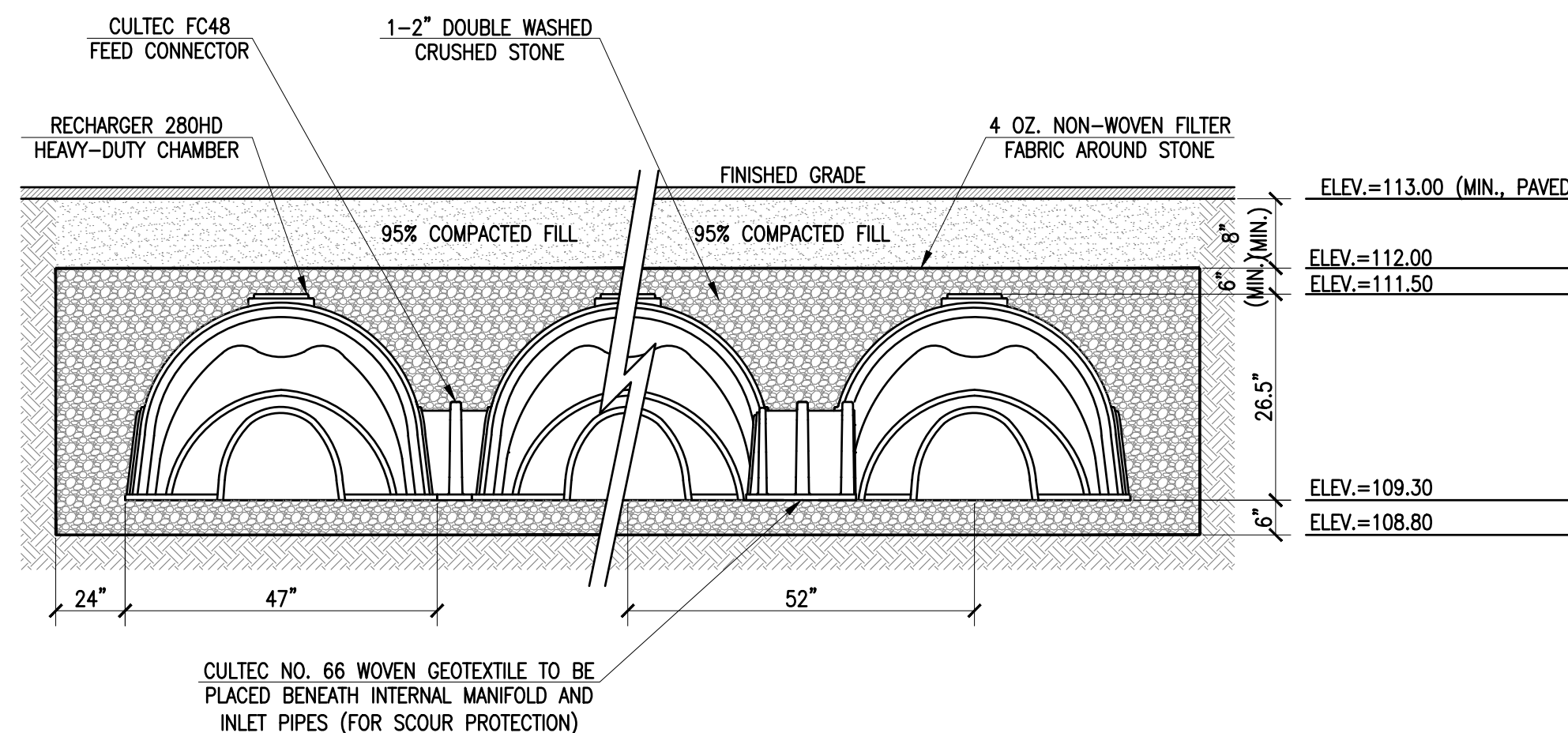
NOT TO SCALE

NOTES:
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
2. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
4. CATCH BASIN FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR. (2 BRICK COURSES MIN. 5 BRICK COURSES MAX.)
5. FRAME AND GRATE TO BE EQUAL TO LEBARON LK 120 (3 FLANGE) OR LK 121 (4 FLANGE) WITH SG-1 GRATE. DOUBLE FRAME AND GRATE SHALL BE LEBARON TYPE R-3531 B OR APPROVED EQUAL BY THE ENGINEER.



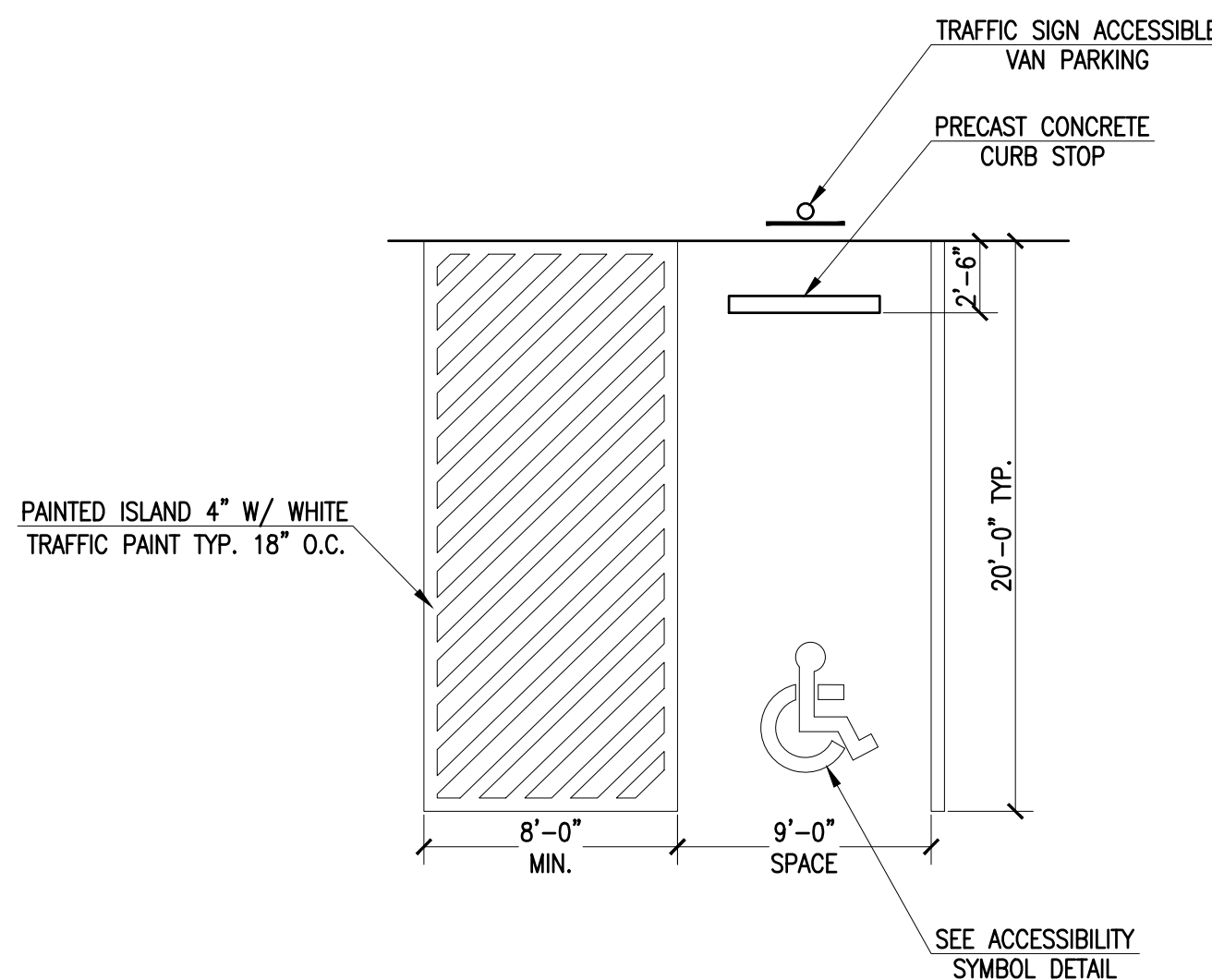
6 CATCH BASIN

NOT TO SCALE



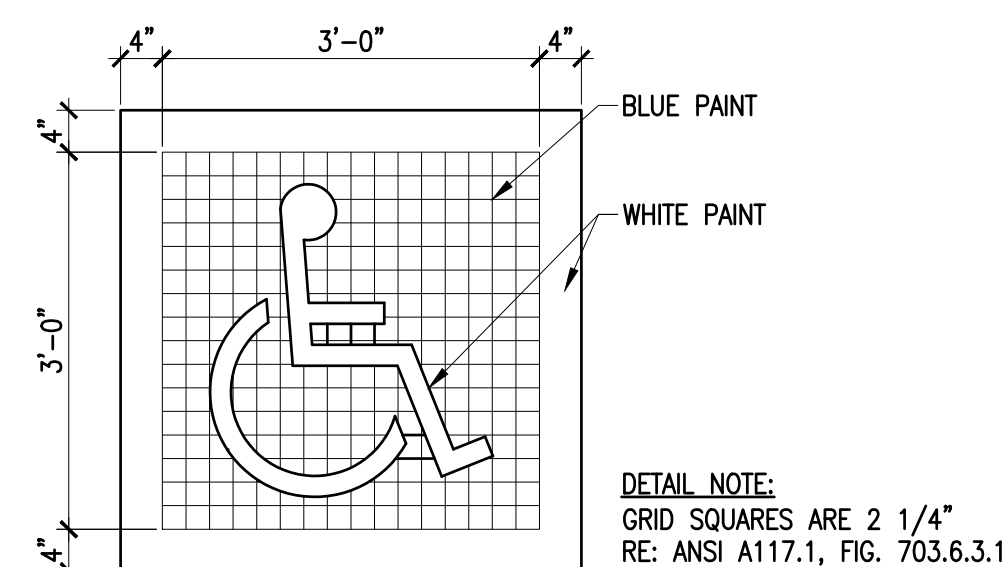
7 CULTREC RECHARGER 280HD HEAVY DUTY CROSS SECTION

NOT TO SCALE



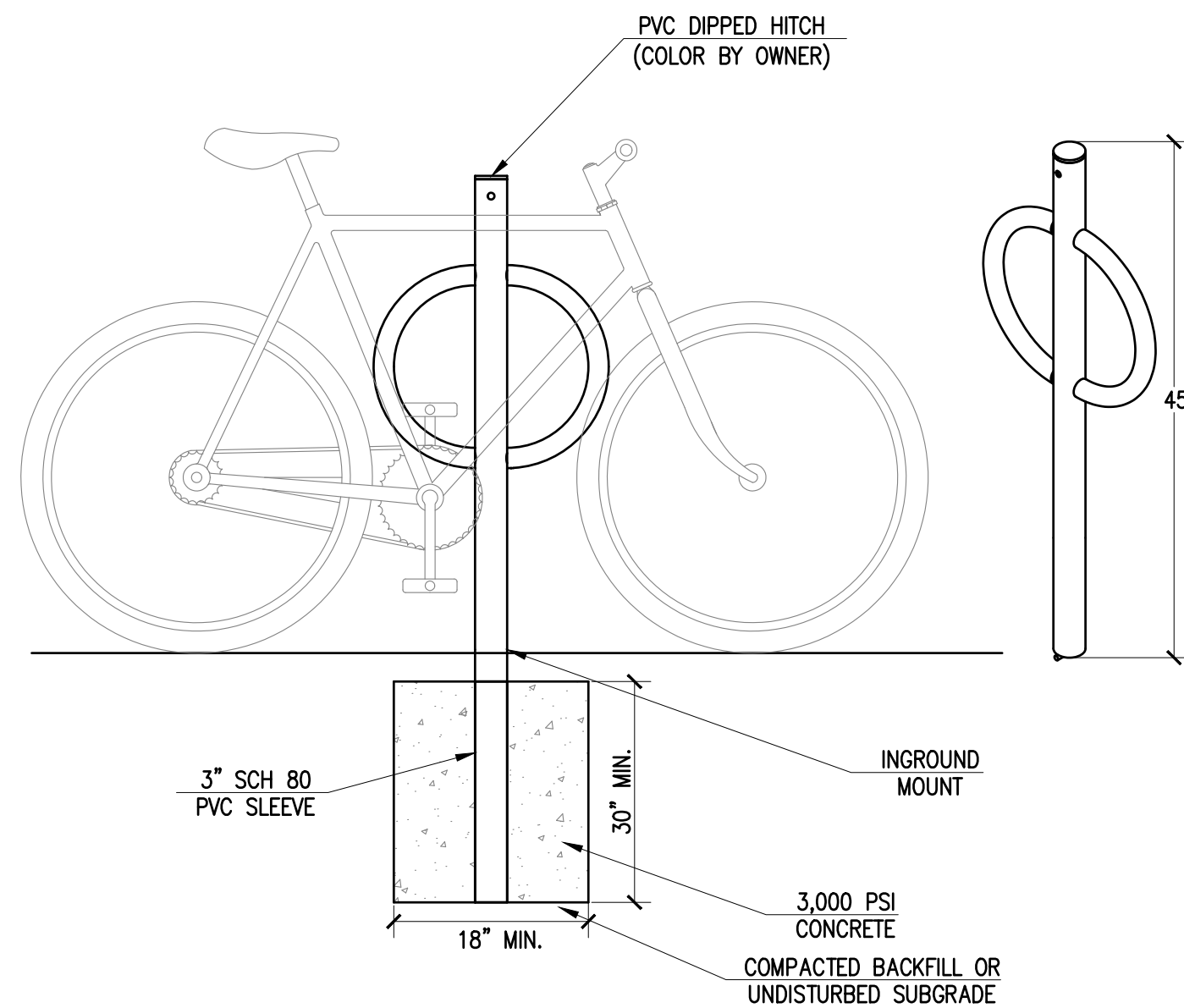
8 ACCESSIBLE PARKING LAYOUT

NOT TO SCALE



9 ACCESSIBLE PARKING SYMBOL

NOT TO SCALE



10 DERO BIKE HITCH

NOT TO SCALE

REVISIONS

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21 VENTURA DRIVE
DARTMOUTH, MA 02747
P.508.717.3479

- ENGINEERING
- SITEWORK
- LAND SURVEYING
- DEVELOPMENT

DRAWN BY: JKM

DESIGNED BY: JKM

CHECKED BY: CAF

SITE PLAN

563 COUNTY STREET
ASSESSORS MAP 58, PARCEL 259
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
CHARING CROSS REALTY TRUST
2 CENTENNIAL DRIVE
PEABODY, MA 01960

JANUARY 15, 2021

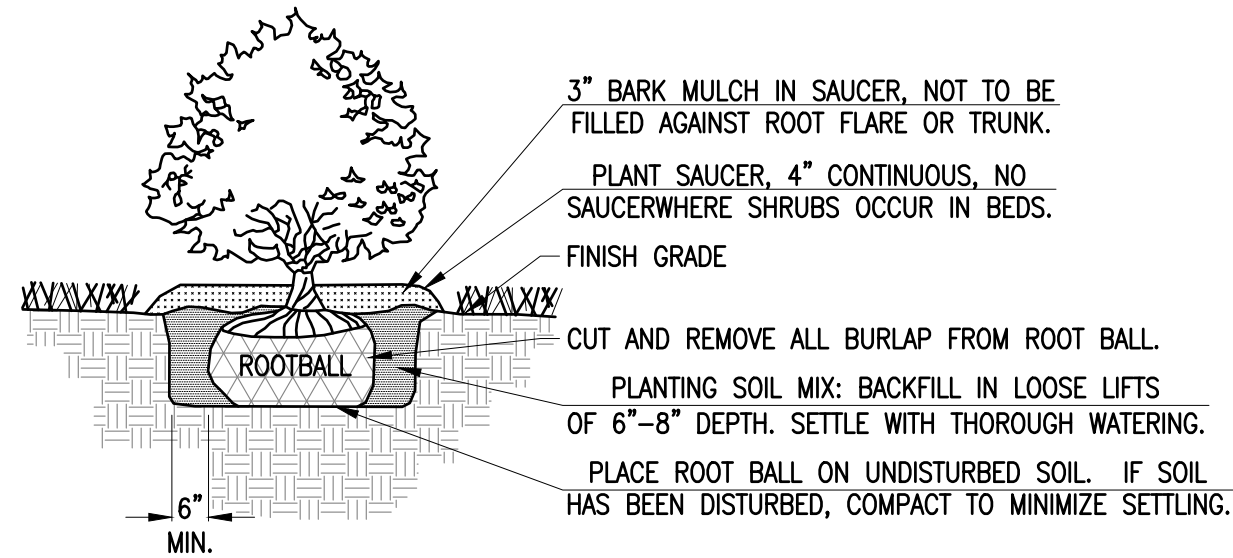
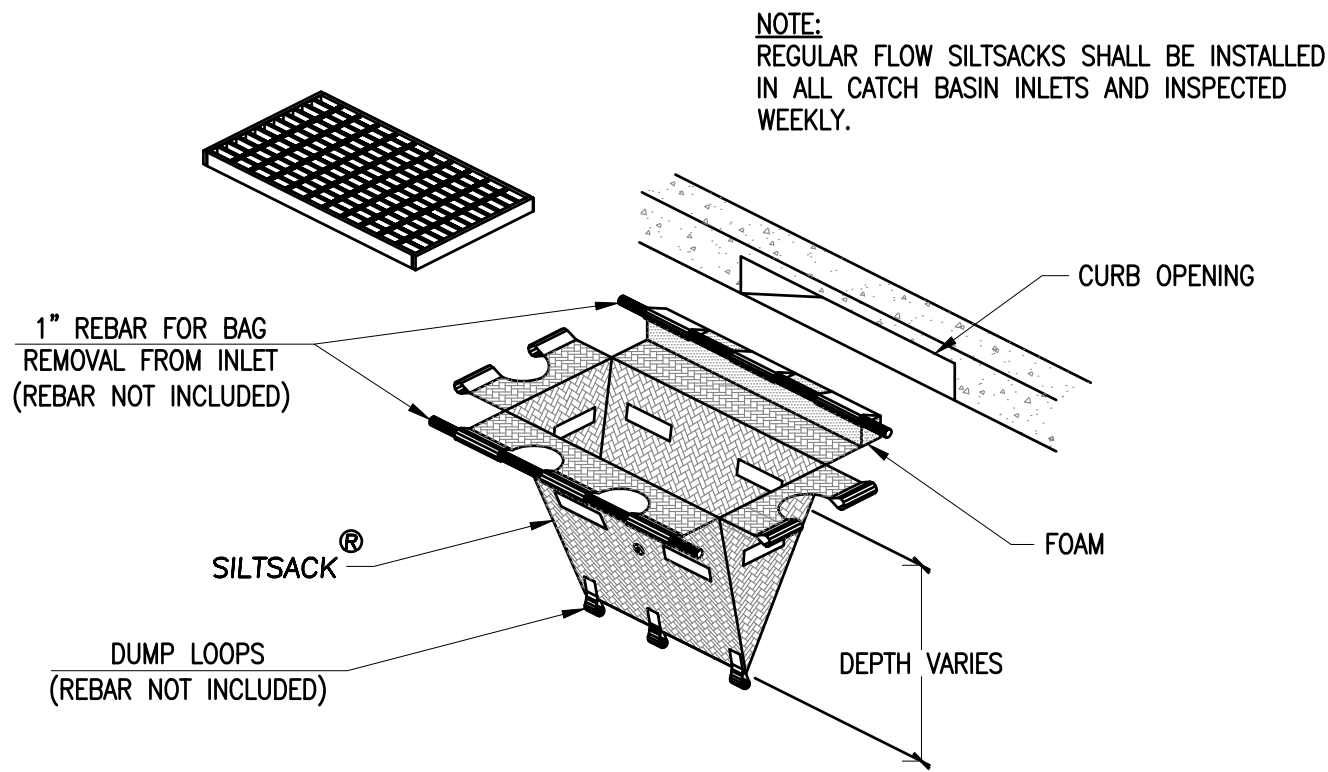
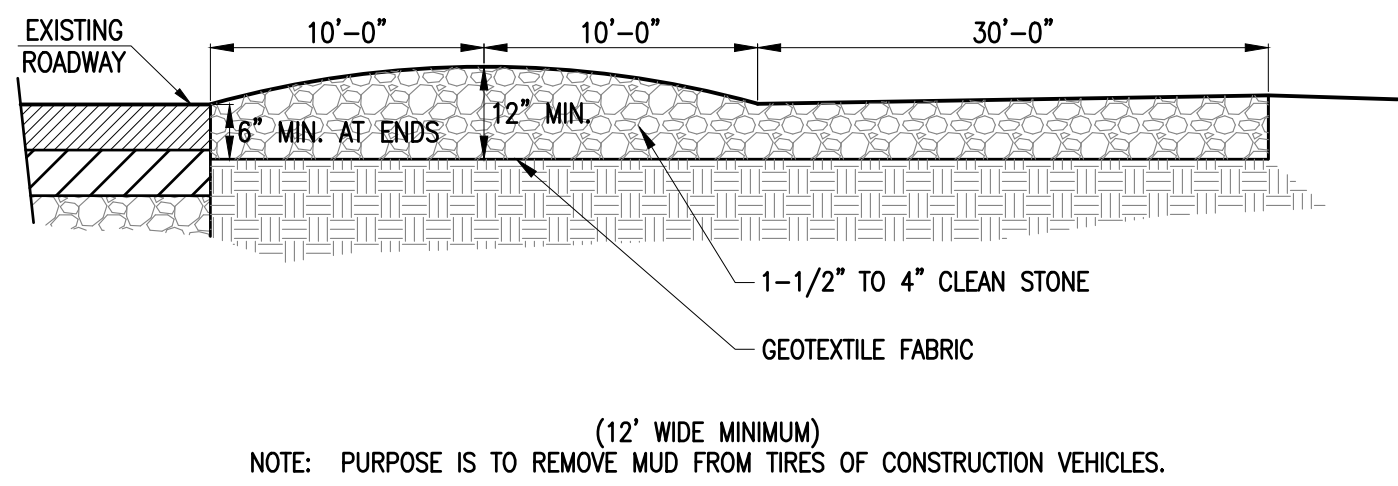
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JOB NO. 20-681

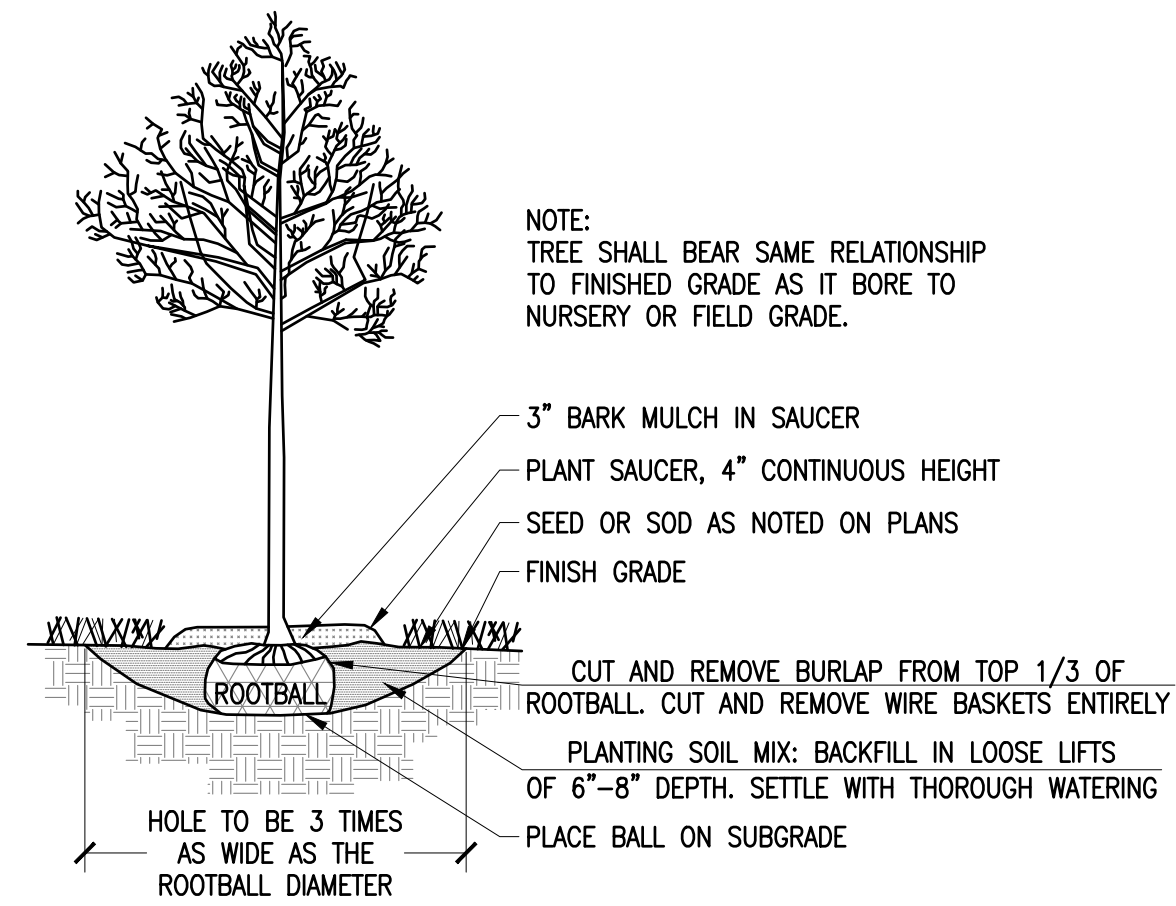
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DETAILS

SHEET 9 OF 10



- NOTES:
- SHRUB SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS IT BORE TO NURSERY OR FIELD GRADE.
 - WHERE SHRUBS OCCUR IN GROUPINGS IN PLANT BEDS, PROVIDE 2' DEEP CONTINUOUS LOAM BED.



1
8

TEMPORARY CONSTRUCTION ENTRANCE

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2
8

REGULAR FLOW SILTSACK®

NOT TO SCALE

3
5

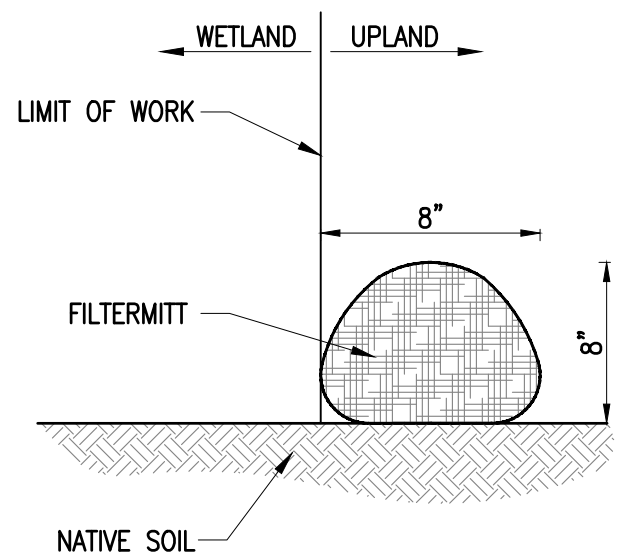
SHRUB PLANTING

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4
5

TREE PLANTING

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5
8

8" SEDIMENT FILTERMITT

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SITE PLAN

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DETAILS
SHEET 10 OF 10