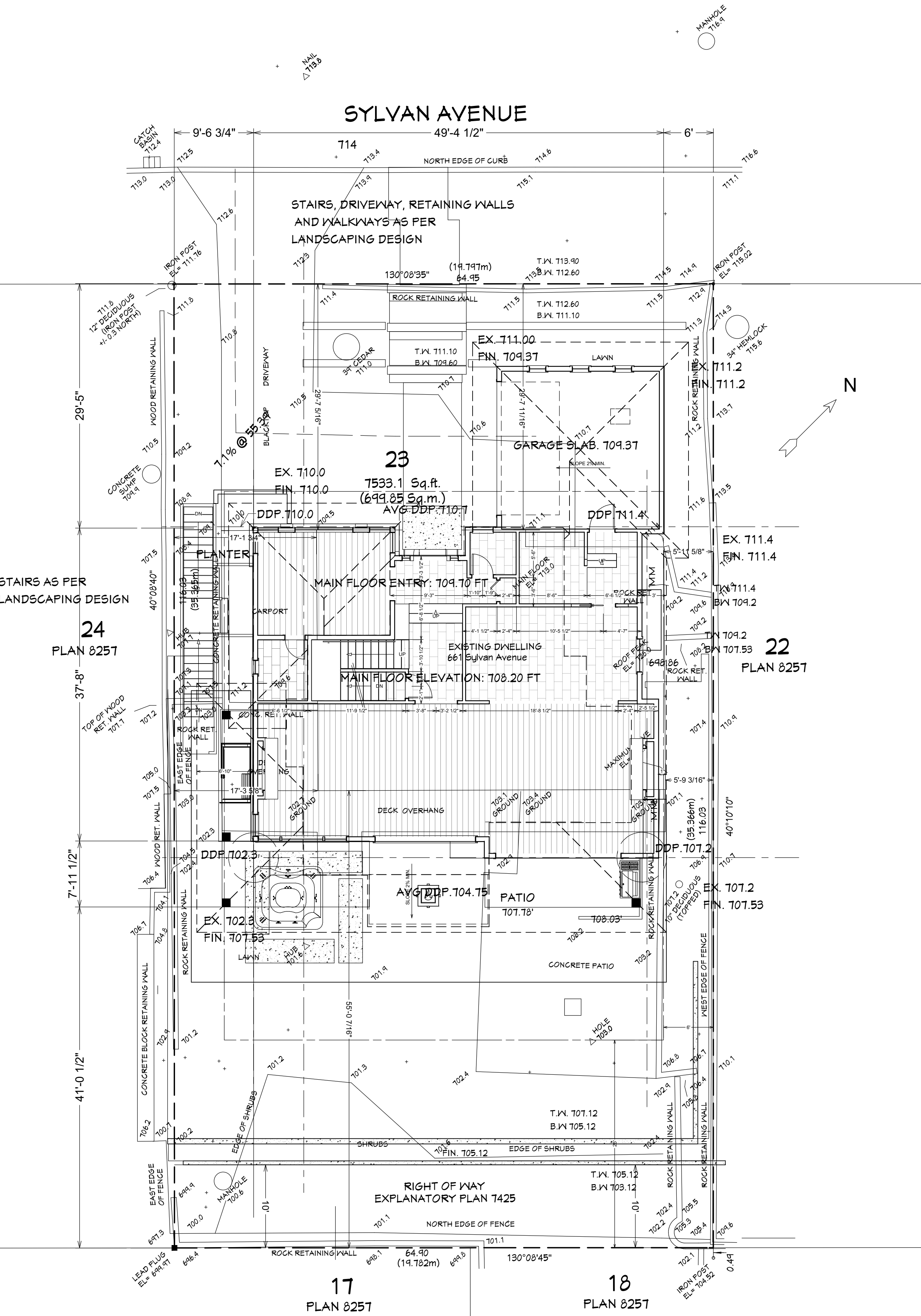




SITE PLAN
SCALE: 1/8"=1'-0"

EXCAVATIONS

- 1 Geotechnical Engineer is to certify a site is safe for workers when the slope of the excavations exceeds 374 horizontal to one vertical or excavation exceeds 48".
- 2 Inspections can only be done if site is posted as safe by Professional Engineer.
- 3

FOUNDATIONS

- 1 Pad footings are required to have a minimum footing area of 4.3sf supporting 1 floor, 8sf supporting 2 floors, & 10.7sf supporting 3 floors.
 - 2 Footings are to extend 18" below grade minimum.
 - 3 Foundation walls of basement below grade and crawl spaces must be insulated with R12 to 24" below grade.
- 1 Provide 12" Ø anchor bolts @ 8'-0" o.c.
 - 2 Anchor posts to footings to resist uplift.

CRAWL SPACE

- 1 Provide crawl space access of 1'-8" x 2'-4", min. 18" clearance and ventilate to 1/500th of area.
- 1 Groundcover of 2" concrete over 6 mil U.V. poly required.

VENTILATION

- 1 Uniformly distribute ventilation to flat and vaulted roofs to 1/150 of insulated ceiling area. Venting is required to be two-way.
- 1 Min. 2 x 2 cross-purflins to flat, vaulted ceilings, and decks over living areas to conform to #9.19.1.2.
- 1 Provide min. 2 1/2" clearance between roof sheathing and insulation #9.19.1.3. Provide min. 1" clearance between insulation and top of roof joists.
- 1 Ventilate attics to 1/300 of insulated ceiling area.
- 2 Roof vents must be uniformly distributed with a minimum of 25% at base and 25% in rooftop.
- 1 Provide attic hatch of 3.4sf in area with no dimensions less than 1'10"
- 2 Submit Mechanical Ventilation/Air Conditioning design and letter of supervision by Professional Engineer, certified HRAI or HVC Technician at frame and final inspection.
- 1 Continuous or intermittent exhaust fans are required to all bathrooms and kitchens as per #9.32.3.3.

STAIRS

- 1 Straight stair: Rise min. 5" max. 7.87" Run min. 8.25" max. 14"
- 2 Maximum 1" nosing on stair treads.
- 3 Minimum headroom is 6'-5" from a line through nosings, measured vertically.
- 1 Handrail to be between 32" to 38" from a line, measured vertically, through nosing.
- 1 Winders to conform to 9.8.4.5.
- 2 Primary stair minimum width 2'-10".
- 3 Stairs 43" in width or greater require 2 handrails.
- 4 Handrail reqd. on interior stairs with three or more risers, and exterior stairs with four or more risers.
- 1 Handrail as a guard is to be between 36" and 38".

CHIMNEY & FIREPLACES

- 1 Minimum 2" clearance between chimney and combustible framing.
- 2 Minimum 4" clearance between fireplace and combustible framing.
- 3 Masonry fireplace hearths must conform to # 9.22.5.1.
- 4 Hard wired C.O. detectors are required in each bedroom or within 5

GUARDRAILS

- 1 Guardrails to be a minimum 42" exterior and 36" interior height.
- 2 No member facilitating climbing permitted from 5.5' to 36" above the floor or walking surface (in all guards).
- 3 Maximum 4" opening in all stair, deck and balcony guards (interior and exterior).
- 4 All glass guards to have top cap unless approved by Prof. Engineer. 5 A minimum of 36" in height is permitted for decks within 5'-11" of grade.
- 6 Guard required to all drops exceeding 24" where access is provided (e.g. window wells).
- 7 Guard required where the adjacent surface within 1.2 m of the walking surface has a slope of more than 1 in 2.

GLAZING

- 1 Glass in windows and doors to be double-glazed.
- 2 Glass in entrance, shower and sliding doors, and windows within 8" of floors and within 36" of deadbolts are all to be safety glass.
- 3 Sidelights 20" in width are to be safety glass.
- 4 Windows in walls enclosing shower or tubs are to be safety glass and be located above the waterproof wall finish height.
- 5 The bottom of an operable window in a bedroom is not to exceed 4'-11" above the floor, and have a min. opening width of 15" with an area of 3.75sf, unless the house is sprinklered.
- 6 Windows over stairs, ramps and landings that extend to less than 36" above the surface shall be protected with guards or be non-operable and designed to #4.1.5.15.
- 7 Window wells are to be 22" minimum width when required as a bedroom egress.
- 8 Bedroom windows required as exits must maintain the required opening during an emergency without the need for additional support in conformance with #9.7.1.2.2.b.
- 9 Where a protective enclosure is installed over a window well, it shall be operable from the inside without the use of keys, tools, or special knowledge.

MASONRY VENEER WALLS

- 1 Provide masonry/veneer wall flashing ties and weep holes as per #9.20.
- 2 Thicken slab at garage entry to 18" below grade.

GARAGES

- 1 Doors between garage and dwelling are to be a self-closing and weather-stripped solid core door.
- 2 Thicken slab at garage entry to 18" below grade.

MOISTURE PROTECTION

- 1 Provide flashing between horizontal intersections of differing wall finishes. All flashing to slope away from the building a minimum of 6%.
- 2 Provide flashing at all wall-roof junctions, including parapets for solid guards on decks.
- 3 Rain-screen assembly required for all buildings, with a minimum capillary break of 3/8".
- 4 All platforms are roofs
- 5 All roofs must slope 1 in 50 away from walls, this includes parapet

WALLS SOUNDING DECKS

- 6 6" clearance required between deck membranes & floor MISCELLANEOUS
- 1 Cross bridging required @ 7'-0" o.c. maximum for floor and roof joists.
- 2 Lino or equal required to bathroom floors
- 3 Waterproof wallboard required as tile base around tubs and showers.
- 4 5/8" Drywall required to ceiling members at 24" o.c.
- 5 Provide 8" clearance between grade and siding.
- 6 Damp-proofing slabs, including crawl spaces, are to be 6 mil "UV" poly.
- 7 Furnace and laundry room door width of 2'-8" min
- 8 N.R.P. hinges required for out-swing exterior doors.
- 9 Hardwired and interconnected smoke alarms required on every floor level differing by 36", within 5 metres of bedroom doors, and within 15 metres of each other.
- 10 A 5lb A.B.C. dry chemical fire extinguisher is required near the kitchen.
- 11 Heating and air conditioning equipment must be secured to the metres of each bedroom door in conformance with #9.32.4.2 building to resist overturning and displacement.
- 11 Heating and air conditioning equipment must be secured to the building to resist overturning and displacement.

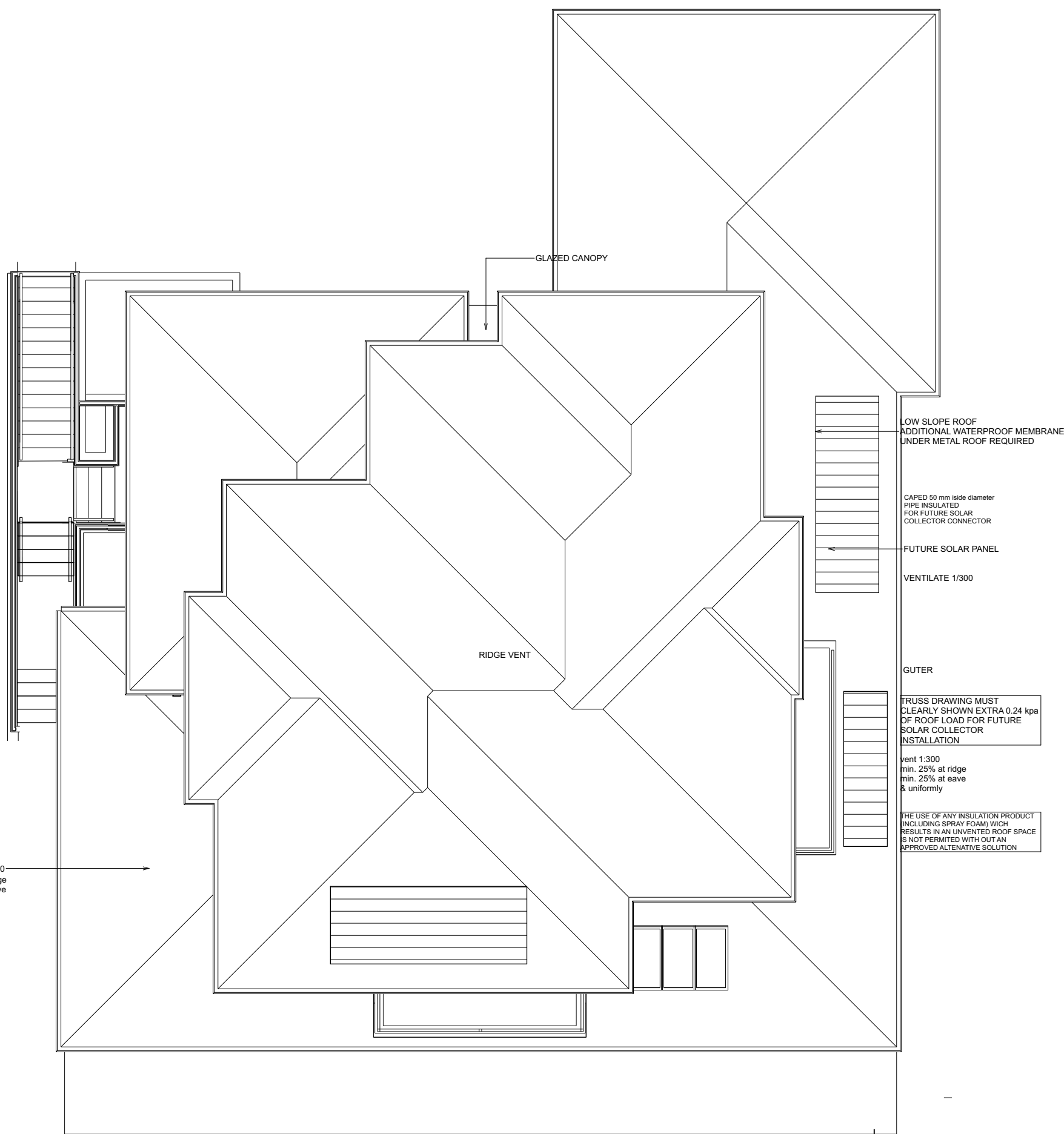
INSULATION

- 1 Insulation where subject to mechanical damage is to be covered as per #9.25.2.3.(7) with drywall or equivalent (e.g. crawl storage areas).
- 2 Wall insulation to be R20 minimum if dwelling is not heated by natural gas.
- 1 Minimum insulation values R20 walls, R28 for flat or vaulted ceilings, and R40 for attic spaces.
- 1 Ceiling and walls to have 6 mil U.V. poly fully caulked as per # 9.25.
- 2 R10 rigid insulation required around unheated slabs on grade; 20" vertical or horizontal from bottom edge of slab.
- 1 R12 rigid insulation required under entire slab area and a thermal break at the exterior walls for slabs with radiant heating.

LEGAL ADDRESS: 661 SYLVAN, NORTH VANCOUVER, BC

LEGAL DESCRIPTION: LOT 23, BLOCK 19, DISTRIC LOT 577
GROUP ONE NEW WESTMISTER DISTRICT PLAN: 8257

P.I.D. 010-185-500



ROOF PLAN
SCALE 1/8"=1'-0"

LOT AREA: 7533.1 SF

MAX. SC: 2,636.58 SF

MAX. FSR: 2,986.58 SF + 6% Energy bonus = 179.19
2,986.58 SF + 179.19 SF = 3165.77 SF

FLOOR AREA:

BASEMENT GROSS AREA: 1,290 SF
BASEMENT NET AREA: 235

MAIN FLOOR: 1,798 SF

UPPER FLOOR: 1,132.0 SF

TOTAL AREA: 3165.0 SF

ALLOWED FOR BASEMENT ENCROCHMENT:

3173.7SF - 2903.0 = 270.7 SF

PROPOSED BASEMENT ENCHROCHEMENT"
262.57 SF

GARAGE: 400.0 SF

PATIO COVERED : 311 SF

BALCONY UPPER FLOOR: 86 SF +88 = 174 SF

TOTAL SITE COVERAGE: 1,798 + 400 + 311 = 2509.0 SF

PROJECT ADDRESS:
661 SYLVAN AVE
DISTRICT OF NORTH VANCOUVER
ZONE: R5CH

DRAWING:
SITE PLAN, GENERAL NOTES, ZONING INFORMATION

DRAWINGS PROVIDED BY:
KD Design
1181 Shavington Street
North Vancouver, BC
tel. 778 895 6357
email: kddesign1@gmail.com or
kddesign@telus.net

DATE:

2015-06-14

SCALE:

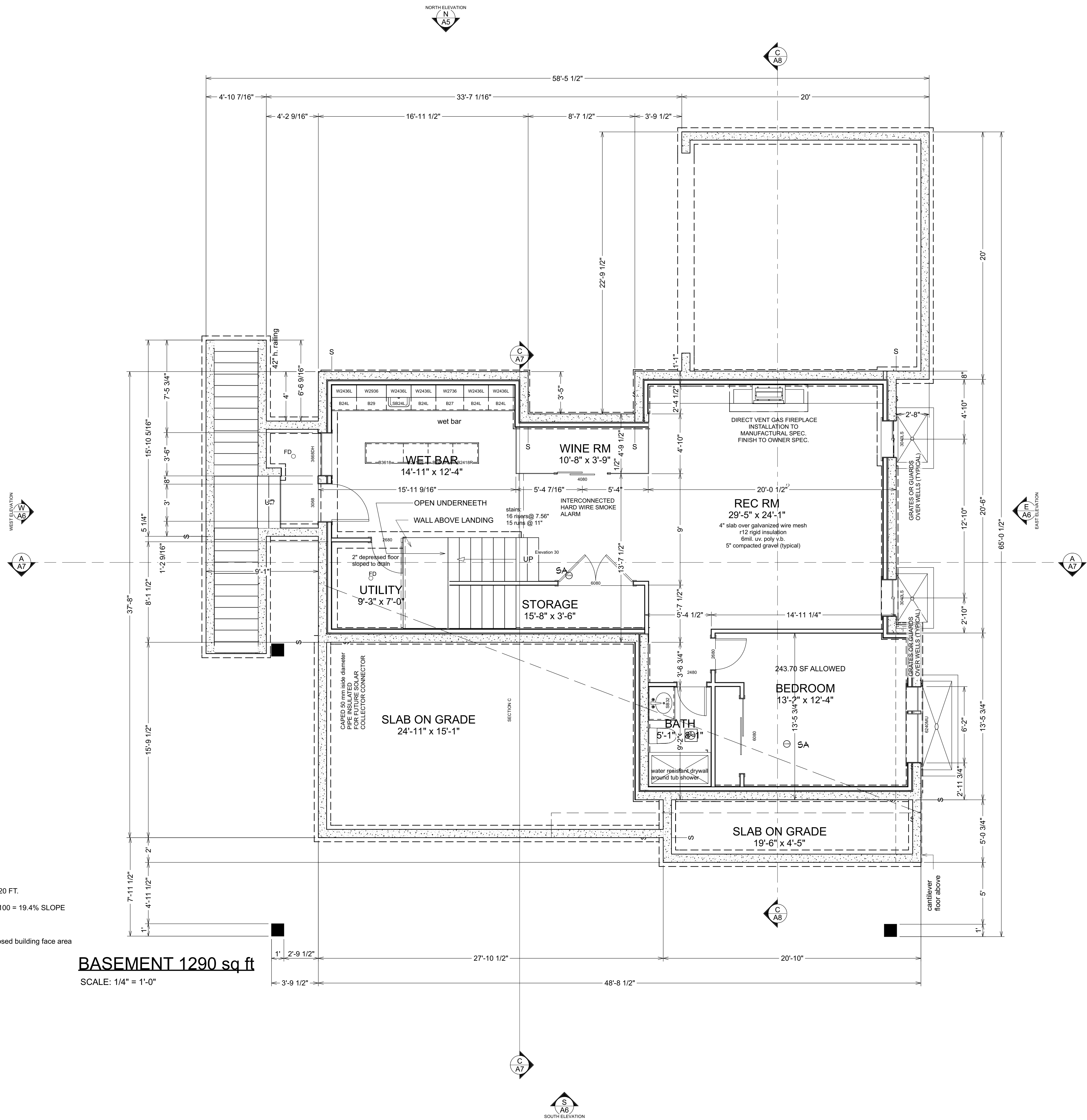
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OF 8

F.S.R
MAIN FLOOR: FIN. FLOOR 710.20 FT - 4' = 706.20 FT.
GRADES (710.0 - 702.3) = 7.7' / 39.66' = 0.194 X 100 = 19.4% SLOPE
INTERPOLATION OF 4' @ 19.4 %
4' / 19.4 % = 20.61 FT
p1 and p2 not applicable since crawlspace in exposed building face area
ALLOWED FOR BASEMENT ENCROCHEMENT:
3165.77SF - 2930 = 235.77 SF
p1= 179.58 FT
p2= 27.87 +2 + 18.83+20.61 = 69.31FT
p2/p1 = 69.31 / 179.58 = 0.3959
MAX. FSR: 3165.77
B= 1132 + 1798 = 2,930
C= 1798 * 0.3959 = 711.82
A= B+C = 2,930 + 711.82 = 3641.82 SF

BASEMENT 1290 sq ft
SCALE: 1/4" = 1'-0"



REVISION TABLE		
NUMBER	DATE	DESCRIPTION
01	15/05/11	BP APPLIC.

PROJECT ADDRESS:
661 SYLVAN AVE
DISTRICT OF NORTH VANCOUVER
ZONE: R5CH

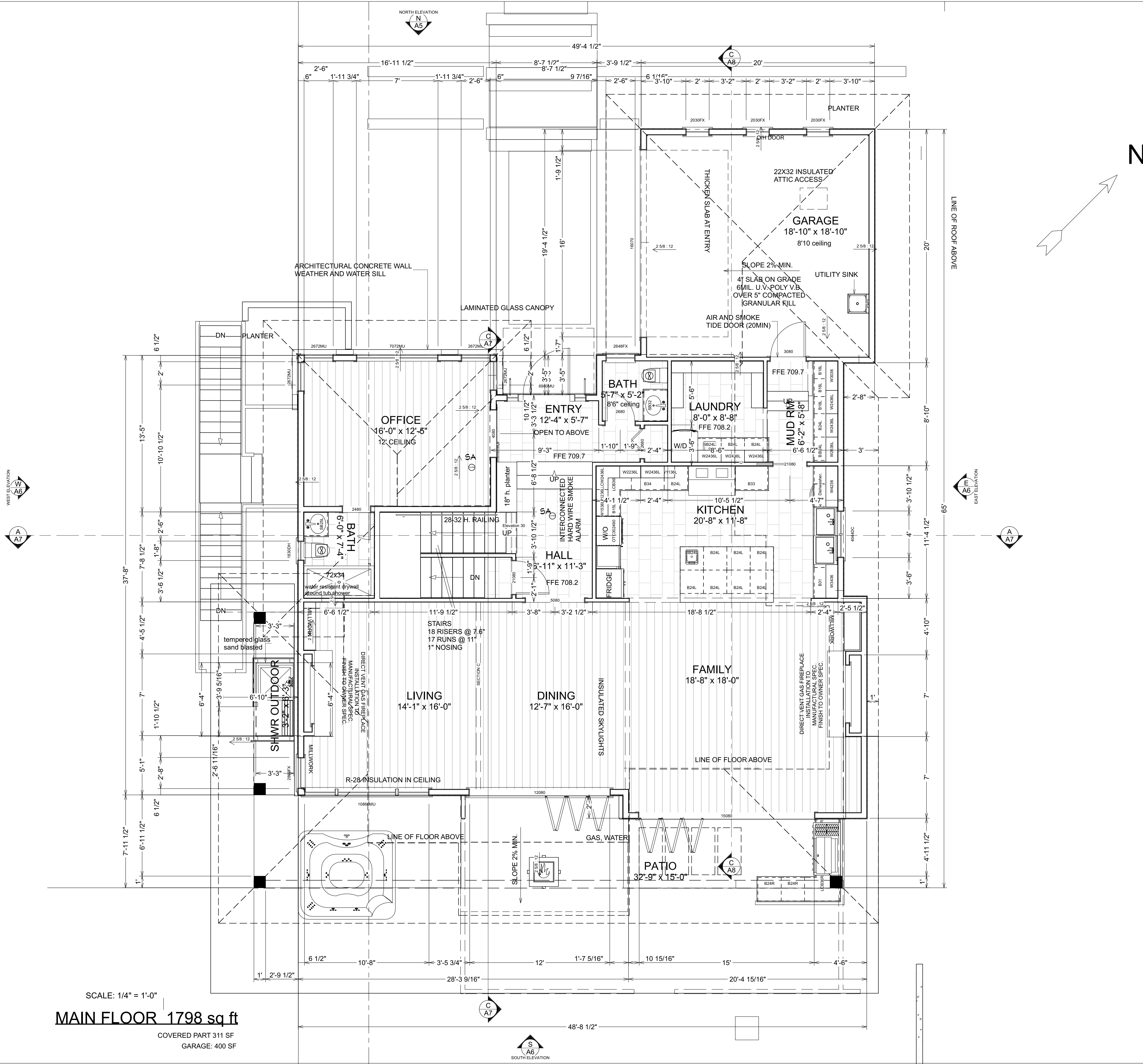
DRAWING:
BASEMENT PLAN

DRAWINGS PROVIDED BY:
KD Design
1181 Shavington Street
North Vancouver, BC
tel. 778 895 6357
email: kddesign1@gmail.com or
kddesign@telus.net

DATE:
2015-06-14

SCALE:
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SHEET:
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OF 8



SCALE: 1/4" = 1'-0"

MAIN FLOOR 1798 sq ft

COVERED PART 311 SF
GARAGE: 400 SF

REVISION TABLE			
NUMBER	DATE	REVISION	DESCRIPTION
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PROJECT ADDRESS:
661 SYLVAN AVE
DISTRICT OF NORTH VANCOUVER
ZONE: R5CH

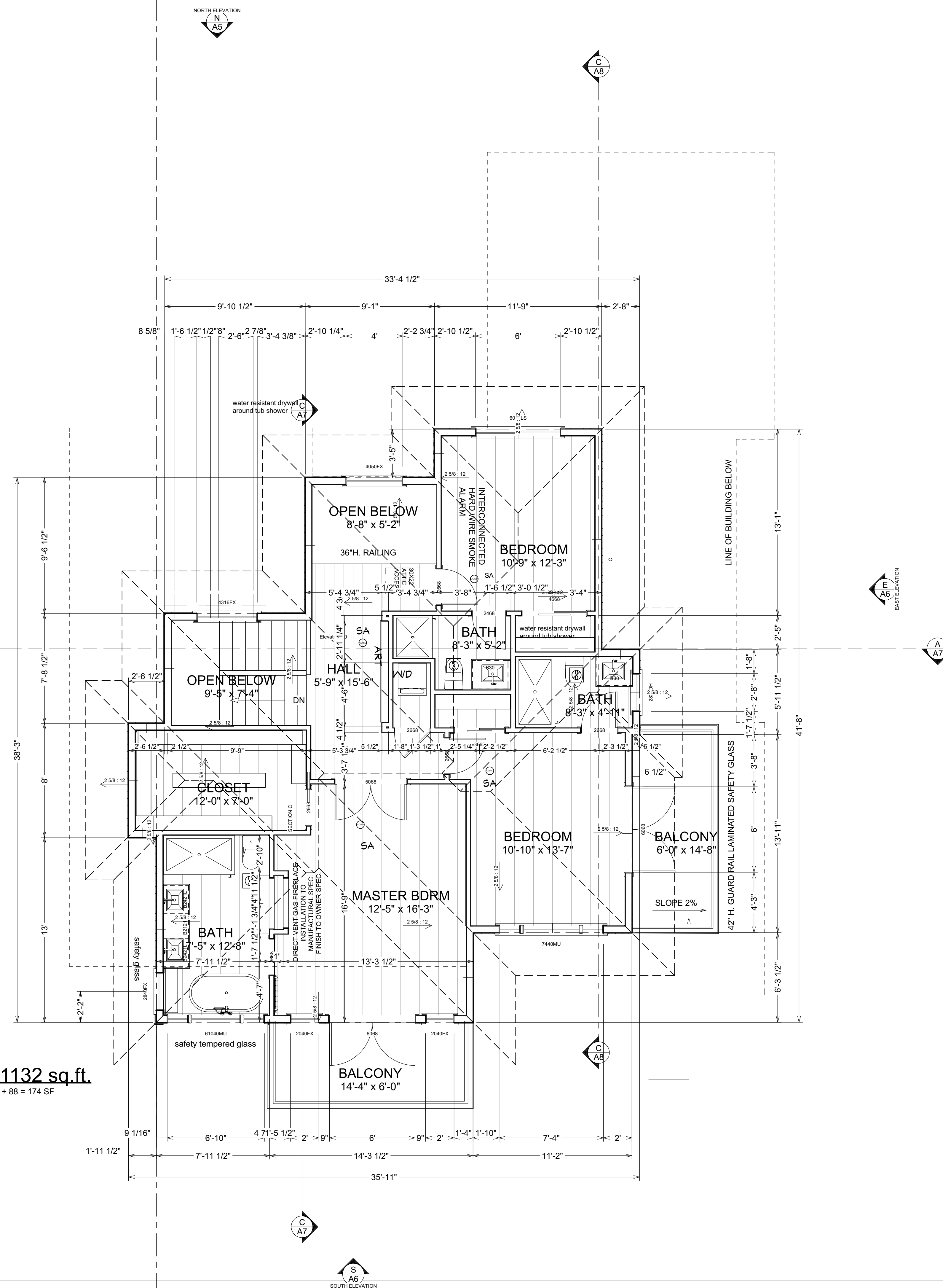
DRAWING:
MAIN FLOOR PLAN

DRAWINGS PROVIDED BY:
KD Design
1181 Shavington Street
North Vancouver, BC
tel. 778 895 6357
email: kddesign1@gmail.com or
kddesign@telus.net

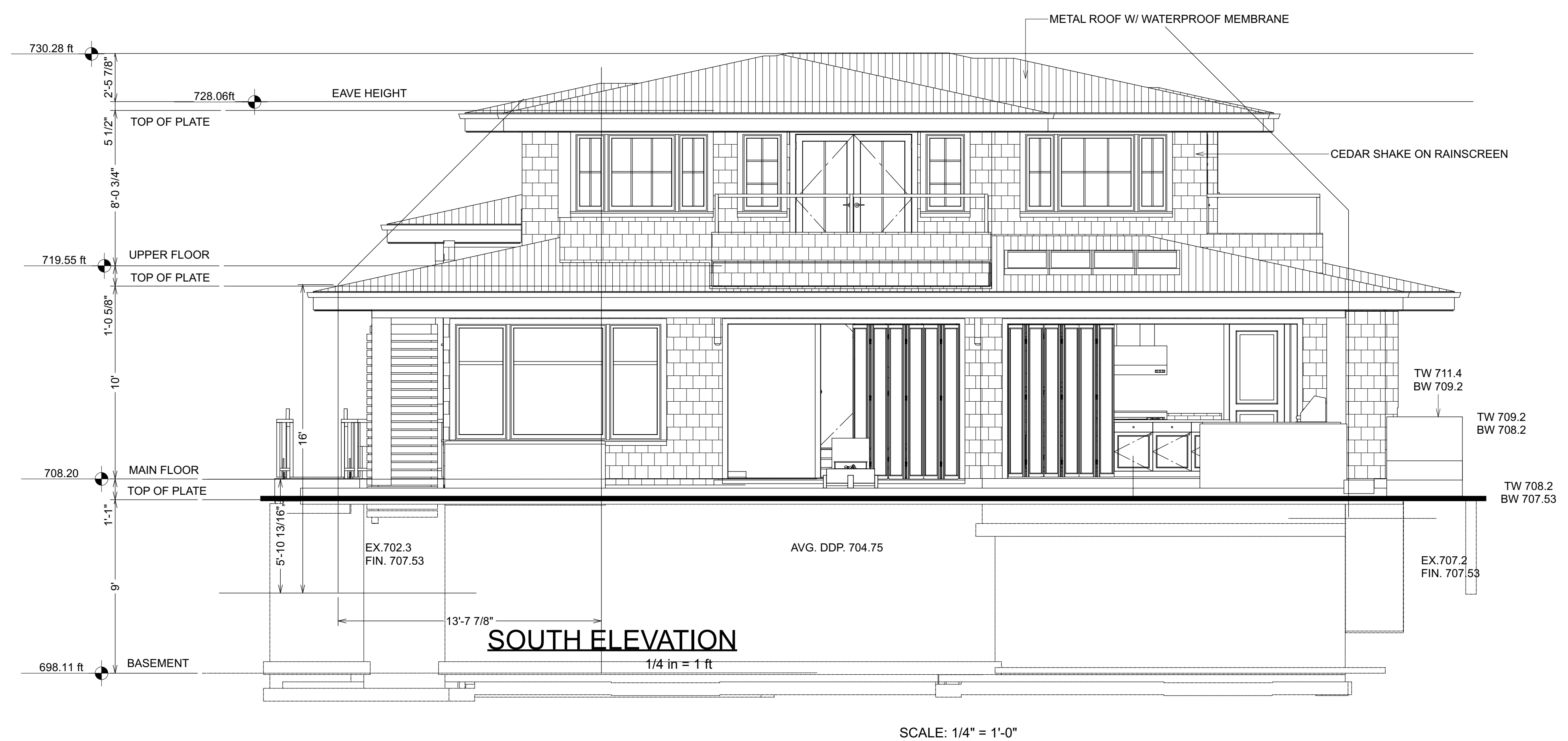
DATE:
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REVISION TABLE		DESCRIPTION
NUMBER	DATE	REVISOR
01	15/05/11	BP APPLIC.

PROJECT ADDRESS:
661 SYLVAN AVE
DISTRICT OF NORTH VANCOUVER
ZONE: R5CH

DRAWING:
SOUTH ELEVATION, WEST ELEVATION

DRAWINGS PROVIDED BY:
KD Design
1181 Shavington Street
North Vancouver, BC
tel. 778 895 6357
email: kddesign1@gmail.com or
kddesign@telus.net

DATE:

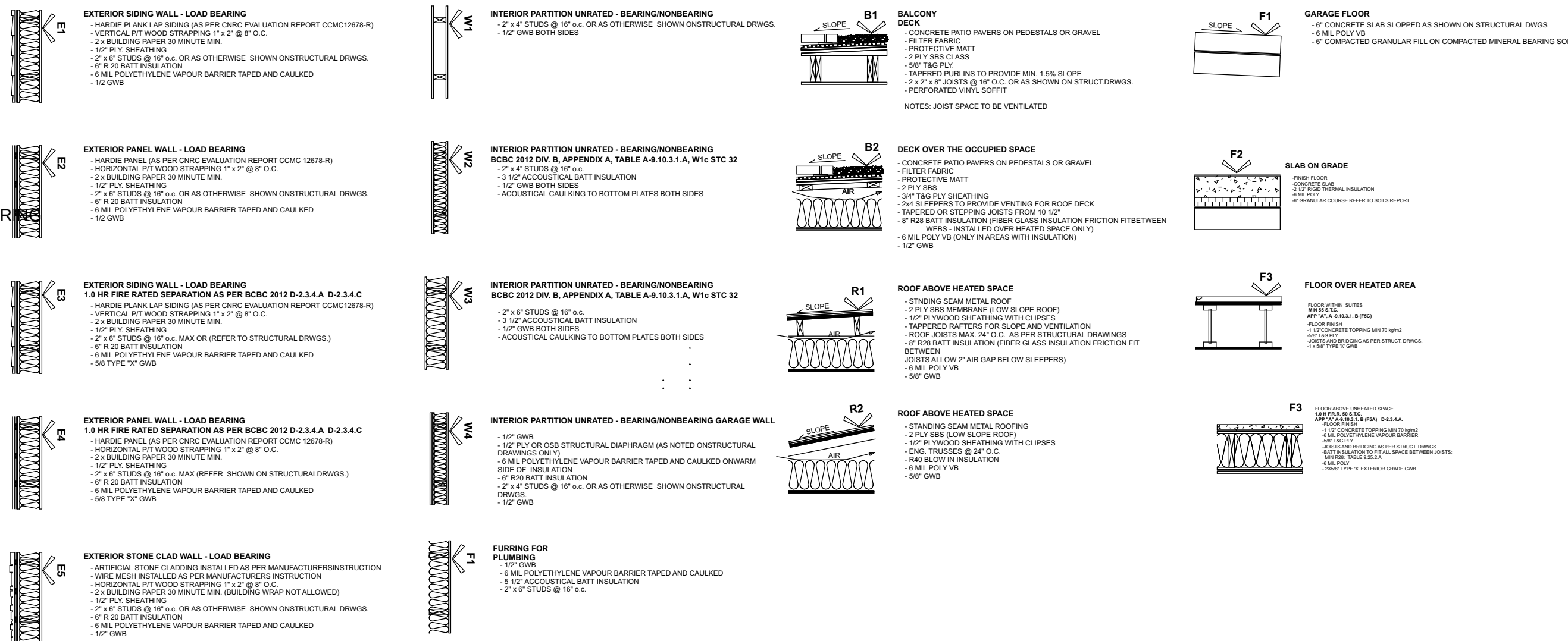
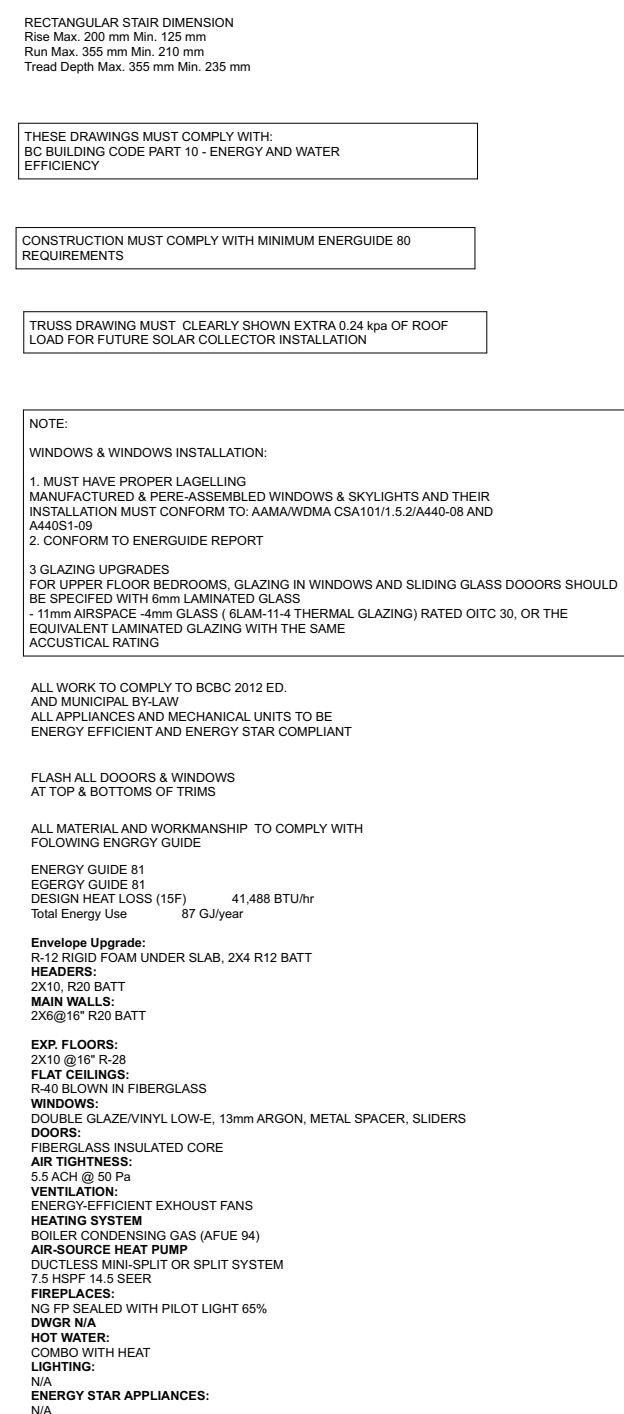
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SCALE:

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SHEET:

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OF 8



SCALE: 1/4" = 1'-0"

661 SYLVAN AVE.
DISTRICT OF NORTH VANCOUVER
ZONE: RSCH

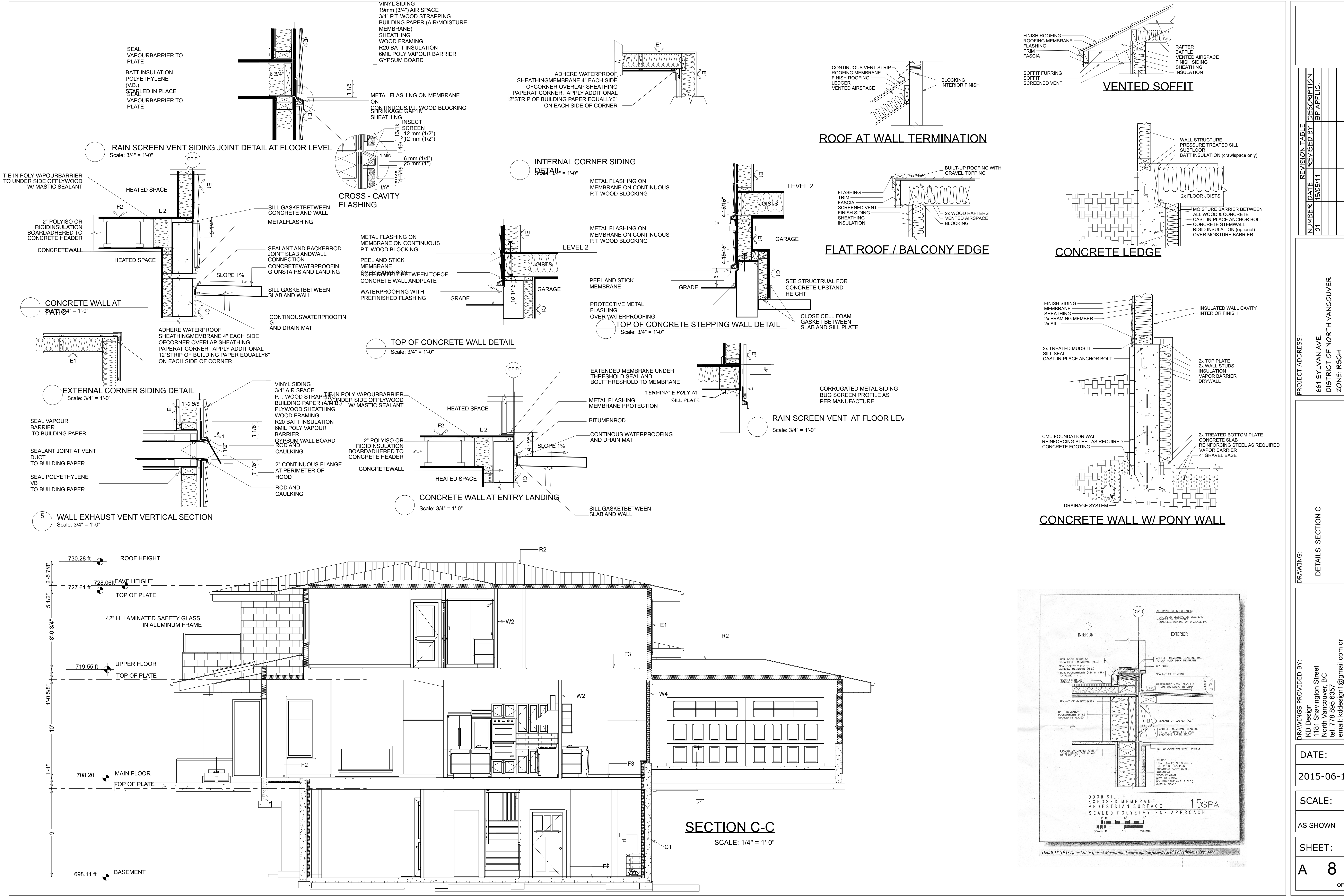
SECTION A. B.C.

KD Design
1181 Shavington Street
North Vancouver, BC
tel. 778 895 6357
email: kddesign1@gmail.com or
kddesign@telus.net

2015-06-14

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REVISION TABLE		PROJECT ADDRESS:		DRAWINGS PROVIDED BY:		DATE:		SCALE:		SHEET:	
NUMBER	DATE	DESCRIPTION	REVISOR	BP APPLIC	DETAILS, SECTION C	KD Design 1181 Shavington Street North Vancouver, BC tel. 778 895 6357 email: kddesign1@gmail.com or kddesign@telus.net	2015-06-14	AS SHOWN	A 8		
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