

SYMBOLS LEGEND

BACKER ROD AND SEALANT		DETAIL MARK / DRAWING NO.	
BATT INSULATION		DOOR TAG	
COMPACTED GRANULAR FILL		ELEVATION / SHEET NO.	
CONCRETE		FLOOR ELEVATION	
CONCRETE BLOCK (CMU)		GRID LINES	
EARTH		REVISION CLOUD/NUMBER	
FACE BRICK		ROOM NAME / NUMBER	
FINISHED WOOD		SECTION MARK / DRAWING NO.	
GYPSUM BOARD		SPOT ELEVATION	
PLYWOOD		WALL TYPE	
RIGID INSULATION		WINDOWS OR FRAMES TAG	
STEEL			
WOOD BLOCKING OR FRAMING			

ABBREVIATIONS

A AFC ADJ & L APPROX ARCH	ABOVE FINISH FLOOR ACOUSTICAL CEILING TILE ADJUSTABLE AND ANGLE APPROXIMATE ARCHITECTURAL	F FF FIN FEC FHC CHY FLK FLOR F.LOR F.O. FT FTG FDN G	FACTORY FINISH FINISH FIRE EXTINGUISHER CABINET FIRE HOSE CABINET FIRE HYDRANT FLOOR FLOOR DRAIN FLUORESCENT FACE OF FOOT OR FEET FOUNDATION GAGE	N NAT NOM N NIC NTS NO	NATURAL FINISH NOMINAL NORTH NOT IN CONTRACT NOT TO SCALE NUMBER	T TKBD TEL TV TMPD GL TER THK THRES T/G T/B T/O T/F T TYP	TACKBOARD TELEPHONE TELEVISION TEMPERED GLASS TEMPERED GLASS TERRAZZO THICK THRESHOLD TONGUE AND GROOVE TOP AND BOTTOM TOP OF TRANSPARENT FINISH TREAD TYPE X TYPICAL
B BLKG BD B.O. BRK BLDG	BLOCKING BOARD BOTTOM OF BRICK BUILDING	GA GL GND GYP BD GWB	GALVANIZED GLASS GROUND GYPSUM BOARD GYPSUM WALL BOARD	P PNT PR PNL PTN PLAS PLAM PL PLYWD PVC PVC LB PRCST	PAINT PAIR PANEL PARTITION PLASTER PLASTIC LAMINATE PLATE PLYWOOD POLYVINYL CHLORIDE ROUND PRECAST	U UNO UR	UNLESS NOTED OTHERWISE URINAL
C CAB CUH CPT CI CB CLG CTR CL CT CLR CLO COL CONC CMU CONC JT CONT CORR CNTR CVB	CABINET CABINET UNIT HEATER CARPET CAST IRON CATCH BASIN CEILING CENTER LINE CERAMIC TILE CLEAR CLOSET COLUMN CONCRETE CONCRETE MASONRY UNIT CONSTRUCTION JOINT CONTINUOUS CORRIDOR COUNTER COVERED VINYL BASE	H HDWR HDWD HT HM HORIZ HB HR	HARDWARE HARDWOOD HEIGHT HOLLOW METAL HORIZONTAL HOSE BIB HOUR	Q QT	QUARRY TILE	W WC WR WT WWF W W/O WD WD-FR	WATER CLOSET WATER RESISTANT WATERPROOF WEIGHT WELED WIRE FABRIC WEST WITH WITHOUT WOOD WOOD FURRING
D DEPT DET DIA DIM DISP DBL DN DS DWR DWG DF	DEPARTMENT DETAIL DIAMETER DIMENSION DISPENSER DOUBLE DOWN DOWNSPOUT DRAWER DRAWING DRINKING FOUNTAIN	J JAN JT	JANITOR JOINT	R RAD REF REFR REIN REBAR REQD RESIL R RD RM RO	RADIUS REFERENCE REFRIGERATOR REINFORCED REINFORCING BAR REQUIRED RESILIENT ROSE ROOF DRAIN ROOM ROUGH OPENING	S SCHED SECT SKX SMT SMT SHV SHR SM SPEC SQ S STN SS STD STL STJ SVB STOR STRUCT SUSP	SCHEDULE SECTION SERVICE SINK SHEET SHEET METAL SHELF SHOWER SIMILAR SOUTH SPECIFICATION SQUARE SQUARE FEET STAINED STANDARD STAINLESS STEEL STEEL JOIST STRAIGHT VINYL BASE STORAGE STRUCTURAL SUSPENDED

BIDDING & CONSTRUCTION DOCUMENTS
SEPTEMBER 9TH, 2025

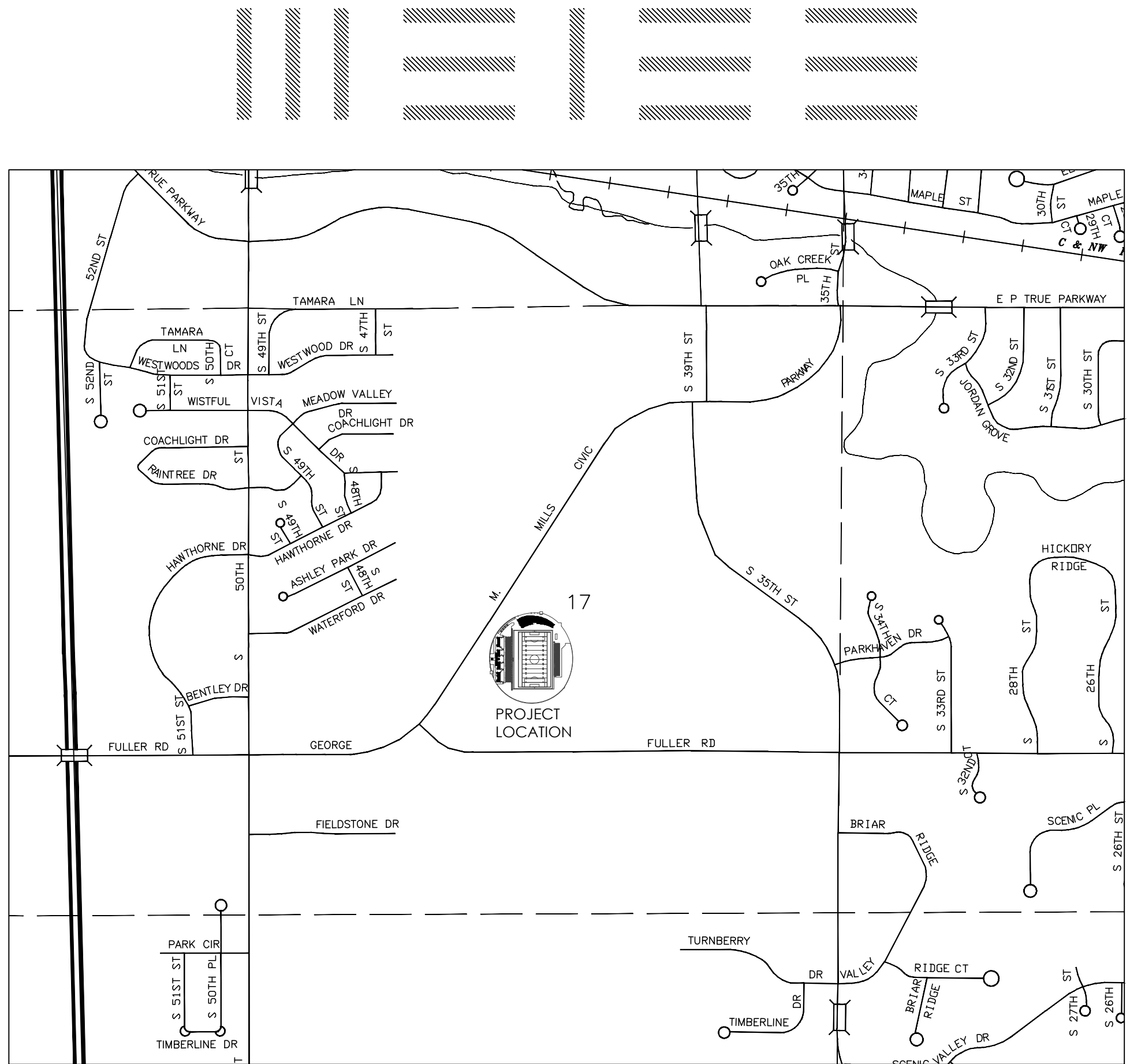
WDMCS VALLEY STADIUM
ROOFING REPLACEMENTS

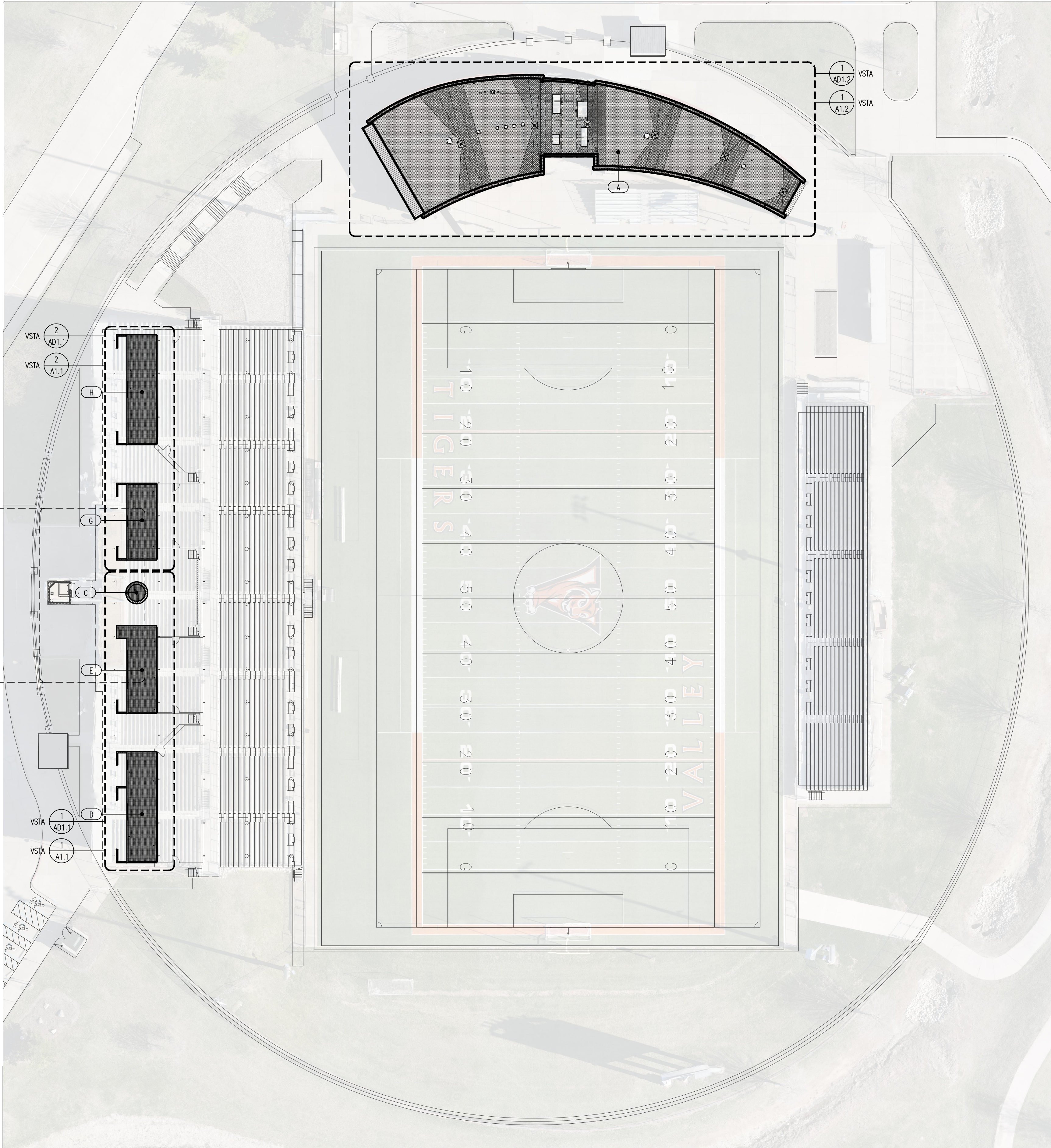
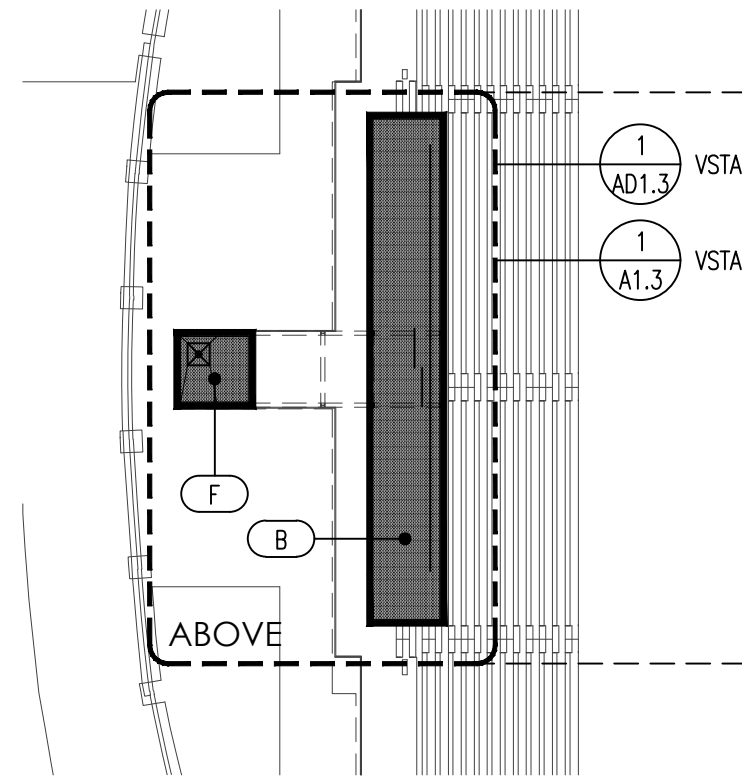
4440 MILLS CIVIC PARKWAY
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SITEPLAN
SCALE: 1/32" = 1'-0"

SITE PLAN - GENERAL NOTES:

- CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS FROM THE AUTHORITY HAVING JURISDICTION. CONTACT THE CITY OF WEST DES MOINES FOR INFORMATION REGARDING PERMIT APPLICATION AND FEES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT STATEWIDE URBAN DESIGN SPECIFICATIONS FOR PUBLIC IMPROVEMENTS (SUDAS) AND THE CITY OF WEST DES MOINES (INCLUDING ALL ADDENDUMS).
- THE CONTRACTOR SHALL CONTACT THE WEST DES MOINES COMMUNITY SCHOOL DISTRICT AND THE CITY OF WEST DES MOINES TRAFFIC DEPARTMENT PRIOR TO BLOCKING OFF ANY DRIVEWAYS, PARKING LOTS, SIDEWALKS, AND/OR ROADWAYS.
- CONTRACTOR IS RESPONSIBLE FOR THE DAILY CLEAN UP OF DIRT, GRAVEL, AND DEBRIS SPILLED OR TRACKED TO OR FROM THE SITE ONTO PUBLIC RIGHTS-OF-WAY (R.O.W.) OR OTHER PROPERTIES.
- CONTRACTOR SHALL INSTALL AND MAINTAIN A CONSTRUCTION FENCE TO LIMIT ACCESS TO THE SITE WHEN LIFTING OF MATERIAL OCCURS. INSTALL SECURE ACCESS GATES AS REQUIRED. ACTUAL LOCATION OF FENCE AND GATES SHALL BE REVIEWED AND APPROVED BY OWNER PRIOR TO INSTALLATION. STADIUM AND ADJACENT FACILITIES MAY REMAIN OPERATIONAL FOR THE DURATION OF THE PROJECT. UPON PROJECT COMPLETION, THE FENCE SHALL BE COMPLETELY REMOVED AND ALL AFFECTED AREAS REPAIRED.
- UPON PROJECT COMPLETION, ALL EXISTING AREAS AFFECTED BY CONSTRUCTION WORK, INCLUDING STAGING AREAS, SHALL BE RESTORED TO ORIGINAL CONDITION. THE SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF SITE PLAN APPROVAL. ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE CITY OF WEST DES MOINES PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION.
- THERE ARE CURRENTLY NO PROPOSED DUMPSTERS OR DUMPSTER ENCLOSURES.
- PROTECT TREES, FENCES, BENCHES, BIKE RACKS, PLAYGROUND EQUIPMENT, AND OTHER SITE ACCESSORIES WITH CONSTRUCTION FENCE, UNLESS IDENTIFIED TO BE REMOVED.
- MAINTAIN ALL PARKING LOTS, WALKWAYS, ACCESSIBLE ENTRANCES AND DROP-OFFS FOR OWNER USE UNTIL END OF FALL ATHLETIC SCHEDULE OR AS INDICATED IN CONTRACT DOCUMENTS.
- MAINTAIN ALL ROUTES OF EGRESS FOR OCCUPANT USE THROUGHOUT DURATION OF PROJECT.

SITE PLAN (LANDSCAPING) - GENERAL NOTES:

- ALL EXISTING LANDSCAPING, INCLUDING GRAVEL, MULCH AND SOD SHALL BE MAINTAINED OR REPLACED BY THE CONTRACTOR FOR THE LIFE OF THE PERMIT. CONTRACTOR TO COORDINATE TRANSITION PERIOD W/ OWNER PRIOR TO PROJECT COMPLETION.
- CONTRACTOR SHALL SOD AND RESTORE ALL DISTURBED AREAS.

ROOF PLAN - GENERAL NOTES:

- CONTRACTORS SHALL VERIFY THE CONDITION OF THE EXISTING ROOF SYSTEM PRIOR TO BID.
- ALL ROOFTOP MECHANICAL EQUIPMENT, MAINTENANCE AREAS AND ACCESS POINTS SHALL BE LOCATED A MINIMUM 10'-0" DISTANCE FROM ALL ROOF EDGES TO MEET ALL OSHA REQUIREMENTS WITHOUT ADDITIONAL GUARDRAILS. CONTRACTOR TO VERIFY ALL DISTANCES FROM ROOF EDGES WITH OSHA'S CURRENT REQUIREMENTS PRIOR TO INSTALLATION.
- CONTRACTOR SHALL PROTECT THE EXISTING ROOF ASSEMBLY SHOWN TO REMAIN, THROUGHOUT DEMOLITION AND CONSTRUCTION SO THAT THE EXISTING ROOF ASSEMBLY IS NOT COMPROMISED. CONTRACTOR SHALL SWEEP/CLEAN THE EXISTING ADJACENT ROOF MEMBRANE OF DEBRIS. CONTRACTOR SHALL MAINTAIN BUILDING WATERTIGHT DURING CONSTRUCTION.

ROOF SECTION A

- EXISTING SUBSTRATE:** PRECAST CONCRETE HOLLOW CORE.
- VAPOR BARRIER:** INSTALL A SELF-ADHERED VAPOR BARRIER OVER THE PRECAST HOLLOW CORE DECK PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
- INSULATION:** INSTALL 2 LAYERS OF 2.5" POLYISO INSULATION WITH 1/2" PER FOOT SLOPED CRICKETS AS SHOWN ON DRAWINGS. ALL LAYERS ARE TO BE ADHERED TO THE STRUCTURAL DECK USING MANUFACTURER'S APPROVED LOW-RISE FOAM ADHESIVE AS REQUIRED BY THE MANUFACTURER TO MEET FM 1-90. 4'X4' BOARDS, MANUFACTURER'S APPROVED INSULATION ADHESIVE WITH BEAD SPACING OF 4" O.C. IN CORNERS, 6" O.C. ALONG PERIMETER, AND 12" O.C. IN THE FIELD.
- COVER BOARD:** INSTALL 1/2" POLYISO HD COVER BOARD ADHERED IN A LAYER OF LOW-RISE FOAM ADHESIVE AS REQUIRED BY THE MANUFACTURER TO MEET FM 1-90. 4'X4' BOARDS, MANUFACTURER'S APPROVED INSULATION ADHESIVE WITH BEAD SPACING OF 4" O.C. IN THE CORNERS, 6" O.C. ALONG PERIMETER, AND 12" O.C. IN THE FIELD.
- MEMBRANE:** INSTALL A 90 MIL FULLY ADHERED EPDM ROOFING SYSTEM IN ACCORDANCE WITH MANUFACTURER'S STANDARD DETAILS. ADHERED WITH MANUFACTURER'S APPROVED EPDM BONDING ADHESIVE.

ROOF SECTION H,G,C,E, & D

- EXISTING SUBSTRATE:** 3/4" PLYWOOD SHEATHING OVER STEEL ROOF STRUCTURE.
- VAPOR BARRIER:** INSTALL A SELF-ADHERED VAPOR BARRIER OVER THE PLYWOOD SHEATHING PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
- INSULATION:** INSTALL 1 LAYER OF 1" POLYISO INSULATION. MECHANICALLY ATTACH THE BASE LAYER OF 1" POLYISO TO THE METAL DECK PER MANUFACTURER'S REQUIREMENTS TO MEET FM 1-90 WITH A MINIMUM OF 16 FASTENERS AND PLATES PER 4'X8' INSULATION BOARD (16 FASTENERS PER 4X8 IN THE FIELD AND ALONG THE PERIMETER; 32 FASTENERS IN THE CORNERS).
- COVER BOARD:** INSTALL 1/2" POLYISO HD COVER BOARD ADHERED IN A LAYER OF LOW-RISE FOAM ADHESIVE AS REQUIRED BY THE MANUFACTURER TO MEET FM 1-90. 4'X4' BOARDS, MANUFACTURER'S APPROVED INSULATION ADHESIVE WITH BEAD SPACING OF 4" O.C. IN THE CORNERS, 6" O.C. ALONG PERIMETER, AND 12" O.C. IN THE FIELD.
- MEMBRANE:** INSTALL A 90 MIL FULLY ADHERED EPDM ROOFING SYSTEM IN ACCORDANCE WITH MANUFACTURER'S STANDARD DETAILS. ADHERED WITH MANUFACTURER'S APPROVED EPDM BONDING ADHESIVE.

ROOF SECTION B

- EXISTING SUBSTRATE:** METAL DECK.
- VAPOR BARRIER:** INSTALL A SELF-ADHERED VAPOR BARRIER OVER THE METAL DECK PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
- INSULATION:** INSTALL 1 LAYER OF 2.5" POLYISO INSULATION WITH 1/2" PER FOOT SLOPED CRICKETS AS SHOWN ON DRAWINGS (3" TOTAL STARTING THICKNESS). MECHANICALLY ATTACH THE BASE LAYER OF 2.5" POLYISO TO THE METAL DECK PER MANUFACTURER'S REQUIREMENTS TO MEET FM 1-90 WITH A MINIMUM OF 16 FASTENERS AND PLATES PER 4'X8' INSULATION BOARD (16 FASTENERS PER 4X8 IN THE FIELD AND ALONG THE PERIMETER; 32 FASTENERS IN THE CORNERS). METAL DECK IS VISIBLY EXPOSED TO THE INSIDE. CONTRACTOR SHALL SELECT FASTENER LENGTHS AS REQUIRED TO MEET THE MINIMUM AMOUNT OF BITE REQUIRED TO ACHIEVE FM 1-90 WITHOUT EXCESSIVELY PENETRATING THROUGH THE UNDERSIDE OF THE METAL DECK. ALL REMAINING LAYERS ARE TO BE ADHERED TO THE BASE LAYER USING MANUFACTURER'S APPROVED LOW-RISE FOAM ADHESIVE AS REQUIRED BY THE MANUFACTURER TO MEET FM 1-90. 4'X4' BOARDS, MANUFACTURER'S APPROVED INSULATION ADHESIVE WITH BEAD SPACING OF 4" O.C. IN CORNERS, 6" O.C. ALONG PERIMETER, AND 12" O.C. IN THE FIELD.
- COVER BOARD:** INSTALL 1/2" POLYISO HD COVER BOARD ADHERED IN A LAYER OF LOW-RISE FOAM ADHESIVE AS REQUIRED BY THE MANUFACTURER TO MEET FM 1-90. 4'X4' BOARDS, MANUFACTURER'S APPROVED INSULATION ADHESIVE WITH BEAD SPACING OF 4" O.C. IN THE CORNERS, 6" O.C. ALONG PERIMETER, AND 12" O.C. IN THE FIELD.
- MEMBRANE:** INSTALL A 90 MIL FULLY ADHERED EPDM ROOFING SYSTEM IN ACCORDANCE WITH MANUFACTURER'S STANDARD DETAILS. ADHERED WITH MANUFACTURER'S APPROVED EPDM BONDING ADHESIVE.

ROOF SECTION F

- EXISTING SUBSTRATE:** METAL DECK.
- VAPOR BARRIER:** INSTALL A SELF-ADHERED VAPOR BARRIER OVER THE METAL DECK PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
- INSULATION:** INSTALL 1/4" PER FOOT TAPER INSULATION WITH 3" STARTING THICKNESS AT ROOF DRAIN. MECHANICALLY ATTACH THE BASE LAYER OF 2.5" POLYISO TO THE METAL DECK PER MANUFACTURER'S REQUIREMENTS TO MEET FM 1-90 WITH A MINIMUM OF 16 FASTENERS AND PLATES PER 4'X8' INSULATION BOARD (16 FASTENERS PER 4X8 IN THE FIELD AND ALONG THE PERIMETER; 32 FASTENERS IN THE CORNERS). ALL REMAINING LAYERS ARE TO BE ADHERED TO THE BASE LAYER USING MANUFACTURER'S APPROVED LOW-RISE FOAM ADHESIVE AS REQUIRED BY THE MANUFACTURER TO MEET FM 1-90. 4'X4' BOARDS, MANUFACTURER'S APPROVED INSULATION ADHESIVE WITH BEAD SPACING OF 4" O.C. IN CORNERS, 6" O.C. ALONG PERIMETER, AND 12" O.C. IN THE FIELD.
- COVER BOARD:** INSTALL 1/2" POLYISO HD COVER BOARD ADHERED IN A LAYER OF LOW-RISE FOAM ADHESIVE AS REQUIRED BY THE MANUFACTURER TO MEET FM 1-90. 4'X4' BOARDS, MANUFACTURER'S APPROVED INSULATION ADHESIVE WITH BEAD SPACING OF 4" O.C. IN THE CORNERS, 6" O.C. ALONG PERIMETER, AND 12" O.C. IN THE FIELD.
- MEMBRANE:** INSTALL A 90 MIL FULLY ADHERED EPDM ROOFING SYSTEM IN ACCORDANCE WITH MANUFACTURER'S STANDARD DETAILS. ADHERED WITH MANUFACTURER'S APPROVED EPDM BONDING ADHESIVE.

PRINT DATE:
SEPTEMBER, 9TH 2025

SHEET NAME:
SITE PLAN

VSTA-SPI.1

WDMCS 2025 ROOF REPLACEMENTS

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DEMOLITION ROOF PLAN - KEY NOTE LEGEND:

- 1 BUILT-UP ROOF MEMBRANE:
REMOVE EXISTING BUILT-UP ROOF, ROCK BALLAST, COVER BOARD, INSULATION, TAPERED INSULATION, BASE SHEETS, AND ALL RELATED ADHESIVES, FASTENERS, AND SEALANT TO EXISTING STRUCTURAL ROOF DECK. CLEAN SURFACE OF STRUCTURAL ROOF DECK AND PREP FOR INSTALLATION OF SELF-ADHERING VAPOR BARRIER SHEET AND NEW ROOF ASSEMBLY. SEE DETAILS.
- 1A T.O. EXISTING METAL DECK
- 1B T.O. EXISTING PLYWOOD SUBSTRATE
- 1C T.O. EXISTING PRECAST HOLLOW-CORE CONCRETE SLAB
- 2 ROOF DRAIN:
LOOSEN CLAMP RING TO REMOVE EXISTING MEMBRANE OR BUILT-UP ROOF, INSULATION AND ALL RELATED ADHESIVES, FASTENERS, AND SEALANTS. CONTRACTOR SHALL NOTE LOCATIONS OF ANY DRAINS WITH LOOSE OR DAMAGED CLAMP RING OR FASTENERS AND NOTIFY THE OWNER. SEE DETAILS.
- 3 BOOT/PIPE PENETRATION FLASHING:
REMOVE EXISTING PIPE PENETRATION, MEMBRANE FLASHING, FASTENERS, ADHESIVES, AND SEALANTS FROM FACE OF EXISTING VTRs AND PVRs AS SHOWN TO REMAIN. SEE DETAILS.
- 4 SCUPPER FLASHING:
REMOVE EXISTING SCUPPER FLASHING, ALL RELATED ADHESIVES, FASTENERS, AND SEALANTS. SEE DETAILS.
- 5 ROOF TOP MECHANICAL CURB FLASHING:
- 5A MOVABLE UNIT - REMOVE & RE-INSTALL EXISTING MECHANICAL UNIT. REMOVE EXISTING GASKET, SEALANT, ROOF FLASHING, AND ALL RELATED ADHESIVES AND FASTENERS. SEE DETAILS.
- 5B FIXED UNIT - EXISTING MECHANICAL UNIT TO REMAIN. REMOVE EXISTING GASKET, SEALANT, ROOF FLASHING, AND ALL RELATED ADHESIVES AND FASTENERS. SEE DETAILS.
- 6 ROOF EDGE FASCIA FLASHING:
REMOVE EXISTING PRE-FINISHED METAL ROOF EDGE FLASHING AND ALL RELATED ADHESIVES, FASTENERS, AND SEALANTS. SEE DETAILS.
- 7 COPING CAP FLASHING:
REMOVE EXISTING PRE-FINISHED METAL COPING CAP AND ALL RELATED ADHESIVES, FASTENERS, AND SEALANTS. SEE DETAILS.
- 8 SIGNAGE:
REMOVE & RE-INSTALL EXISTING BUILDING SIGNAGE AND ALL ASSOCIATED STRUCTURAL STEEL SUPPORTS, ADHESIVES, FASTENERS, AND SEALANTS COMPLETE. SEE DETAILS.
- 9 COUNTER FLASHING:
REMOVE EXISTING PREFINISHED METAL COUNTER FLASHING AND ALL RELATED ADHESIVES, FASTENERS, AND SEALANTS. SEE DETAILS.
- 10 GUTTER:
REMOVE EXISTING PREFINISHED METAL GUTTER AND ALL ASSOCIATED ADHESIVES, FASTENERS, AND SEALANTS COMPLETE. SEE DETAILS.
- 11 DOWNSPOUT:
REMOVE EXISTING PREFINISHED METAL DOWNSPOUT AND ALL ASSOCIATED ADHESIVES, FASTENERS, AND SEALANTS COMPLETE. REMOVE DOWN TO EXISTING DISCHARGE. SEE DETAILS.
- 12 FIELD GOAL BACKSTOP NETTING & STRUCTURE:
REMOVE & SALVAGE EXISTING STEEL FRAMED FIELD GOAL BACKSTOP W/ NET AND CABLES AND ALL ASSOCIATED ADHESIVES, FASTENERS, AND SEALANTS COMPLETE. SEE DETAILS.
- 13 PITCH PAN:
REMOVE EXISTING PITCH PAN, CAP AND INFILL. EXISTING CONDUIT/MECHANICAL LINES AND STRUCTURAL STEEL COLUMNS TO REMAIN. REVIEW DETAILS PRIOR TO PERFORMING WORK AS SOME LOCATIONS VARY IN SCOPE. FAILURE TO PROPERLY REMOVE PITCH PAN OR TO DAMAGE EXISTING MATERIALS SHOWN TO REMAIN WILL RESULT IN THE CONTRACTOR REPAIRING/REPLACING MATERIALS AT NO ADDITIONAL COST TO THE OWNER.*
- 14 FLUID APPLIED FLASHING AT STRUCTURAL STEEL:
REMOVE EXISTING FLUID APPLIED FLASHING FROM STRUCTURAL STEEL COMPLETE. EXISTING STRUCTURAL STEEL TO REMAIN.

GENERAL ROOF PLAN SYMBOL KEY

- MEMBRANE ROOF
- BUILT-UP ROOF
- METAL COPING/FASCIA FLASHING
- TAPERED INSULATION OVER SLOPED INSULATION (SEE PLAN FOR SLOPE)
- ROOF DRAIN/ROOF AND OVERFLOW DRAIN
- VENT THROUGH ROOF (VTR)
- PIPING PENETRATION (FLUE SIM)
- POWER ROOF VENT (PRV)
- WALKPAD
- PITCH PAN
- MECHANICAL ROOF TOP UNIT (RTU)
- EXISTING STEEL STRUCTURE
- ROOF SLOPE W/ VERTICAL FALL PER FOOT OF HORIZONTAL RUN AT TOP SURFACE OF HIGHEST SHEET OF INSULATION

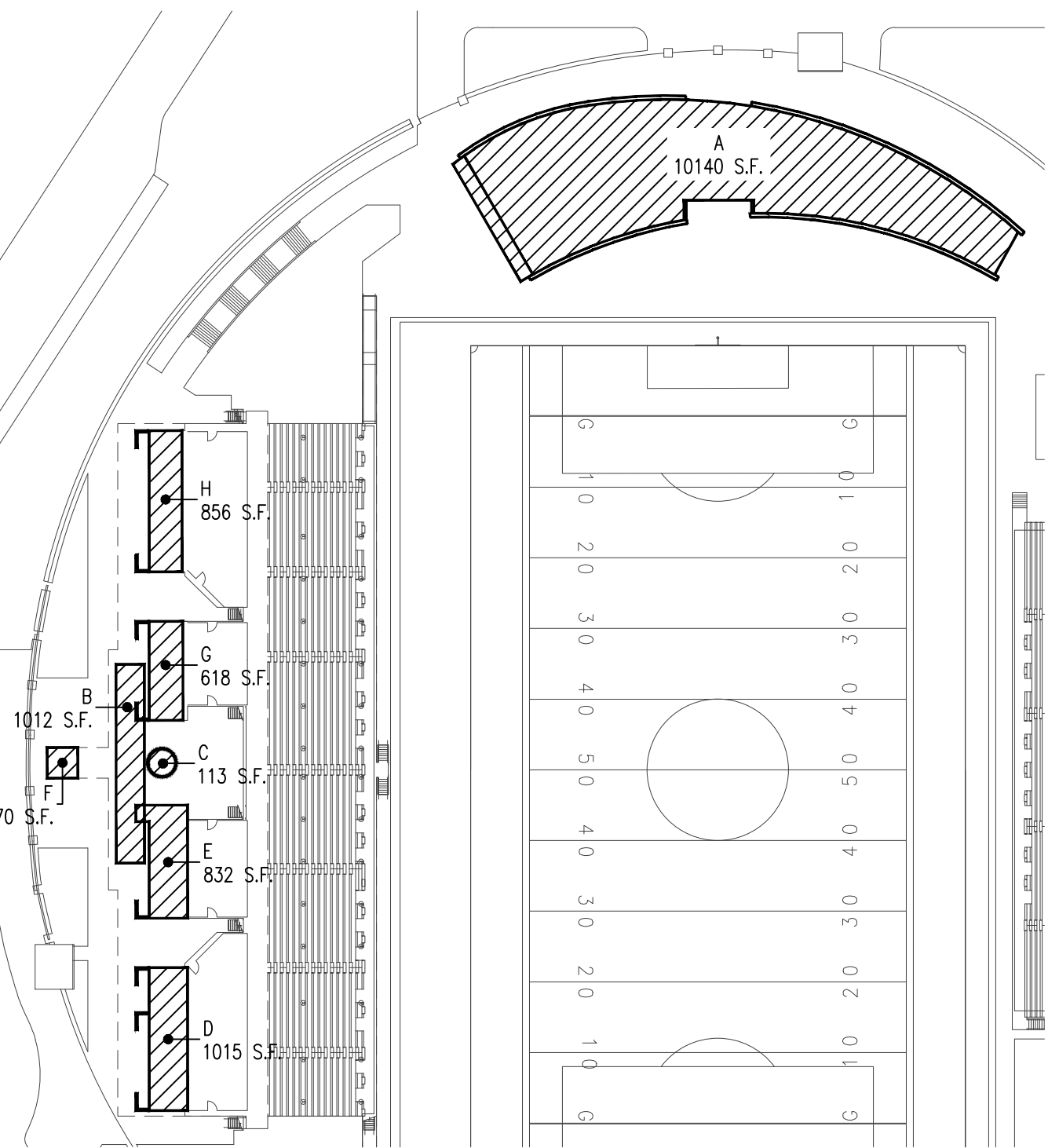
DEMO. ROOF PLAN GENERAL NOTES

1. BOLD & DASHED LINES INDICATE ITEMS TO BE REMOVED UNLESS NOTED OTHERWISE. PATCH & REPAIR ALL ADJACENT SURFACES TO MATCH EXISTING SURFACE @ REMOVED ITEMS. SEE RELATED DOCUMENTS FOR ADDITIONAL INFORMATION.
2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS & REPORT ANY DISCREPANCIES TO THE ARCHITECT.
3. CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH NEW WORK, INCLUDING COORDINATION WITH ALL MECHANICAL, ELECTRICAL, AND PLUMBING TRADES. CONTRACTOR SHALL COORDINATE WITH THE SHEETS OF ALL OTHER DISCIPLINES. ADDITIONAL DEMOLITION SCOPE MAY BE SHOWN ON MECHANICAL OR ANY OTHER DOCUMENTS RELATED TO THIS PROJECT.
4. CONTRACTOR SHALL REMOVE ROOF MEMBRANE, BUILT-UP ROOF, ROCK BALLAST, MEMBRANE FLASHING, COVER BOARD, ROOF INSULATION, TAPERED INSULATION, METAL COPING CAP, ROOF CURB FLASHING, COUNTER FLASHING AND ALL RELATED ADHESIVES, FASTENERS, AND SEALANTS. CONTRACTOR SHALL PROTECT THE EXISTING ROOF DECK SHOWN TO REMAIN, THROUGHOUT DEMOLITION AND CONSTRUCTION SO THAT THE EXISTING ROOF DECK IS NOT COMPROMISED. CONTRACTOR SHALL CLEAN THE EXISTING ROOF DECK PRIOR TO INSTALLING NEW VAPOR BARRIER. INSTALL NEW INSULATION, ROOF MEMBRANE AND FLASHING PER MANUFACTURERS WRITTEN REQUIREMENTS TO RESULT IN A WARRANTED AND WEATHER-TIGHT SYSTEM. REFERENCE SPECIFICATION FOR WARRANTY REQUIREMENTS. CONTRACTOR SHALL MAINTAIN BUILDING WATERTIGHT THROUGHOUT DEMOLITION AND CONSTRUCTION.
5. PRIOR TO PROJECT COMPLETION CONTRACTOR SHALL WATER TEST ROOF AND NOTE LOCATIONS OF PONDING (DEFINED AS AN AREA OF STANDING WATER LARGER THAN 1'-0" IN ANY DIMENSION WITHIN 12 HOURS OF A RAIN EVENT). THESE AREAS SHALL BE REWORKED TO ELIMINATE PONDING AT ALL LOCATIONS. THIS WORK INCLUDES INSTALLATION OF NEW TAPERED INSULATION, RESETTling ROOF DRAINS AND SCUPPER FLASHING AREAS, OTHER THAN SITAL AREAS OF PONDING DUE TO MEMBRANE LAP AND SEALANT JOINTS. LARGE AREAS OF PONDING WILL NOT BE ACCEPTED. CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT OF TESTING SCHEDULE AND COORDINATE SITE OBSERVATIONS FOR APPROVAL.
6. THE CONTRACTOR SHALL FIELD VERIFY THE WIDTH OF ALL PARAPET AREA SEPARATION AND EXPANSION JOINT ABOVE ROOF WALLS TO RECEIVE NEW METAL COPING PRIOR TO FABRICATION. SIZES SHOWN ON PLANS OR DETAILS ARE APPROXIMATIONS BASED ON FIELD OBSERVATIONS AND ARE FOR ESTIMATING PURPOSES ONLY.
7. THE CONTRACTOR SHALL FIELD VERIFY ROOF ELEVATIONS RELATIVE TO ALL PARAPET, ROOF EDGE AND EXPANSION JOINT HEIGHTS. CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING NEW ROOF SLOPE AND INSTALLING NEW BLOCKING AT ALL LOCATIONS TO ACCOMMODATE NEW ROOF INSULATION DEPTH AND TAPERED INSULATION SLOPE.
8. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THE ROOF AND WALL CAVITY WATER-TIGHT DURING CONSTRUCTION. EXPOSED WALL CAVITIES, EXPOSED ROOF DECK, OPEN ROOF PENETRATIONS AND OPEN WALLS SHALL BE COVERED AT THE END OF EACH WORK DAY. REMOVE SECTIONS OF ROOFING SMALL ENOUGH TO BE REINSTALLED AND MADE WATERTIGHT BY THE END OF EACH DAY. DAMAGE TO THE BUILDING DUE TO WATER INFILTRATION SHALL BE REPAIRED AND DAMAGED MATERIALS REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
9. CONTRACTOR SHALL PROTECT ALL SURFACES & COMPONENTS SHOWN "TO REMAIN" THROUGHOUT DEMOLITION AND NEW CONSTRUCTION. CONTRACTOR SHALL REPAIR AND REPLACE ALL DAMAGED SURFACES & COMPONENTS THAT ARE NOT SHOWN TO BE DEMOLISHED. ALL OTHER SURFACES & COMPONENTS NOT SHOWN TO BE "REMOVED," "REMOVED AND SALVAGED," OR "REMOVED AND RE-INSTALLED" SHALL BE CONSIDERED "TO REMAIN."
10. DUST CONTROL & DEBRIS CONTAINMENT MEASURES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. DUST SHALL BE CONTROLLED SO NOT TO INFILTRATE ADJACENT INTERIOR SPACES & EXISTING MECHANICAL EQUIPMENT. DEMOLITION DEBRIS, INCLUDING BUT NOT LIMITED TO COVER BOARD, GRAVEL BALLAST, AND ROOF INSULATION SHALL BE CONTROLLED SO NOT TO DAMAGE EXISTING VEGETATION OR BLOW ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS. IF DUST OR DEBRIS MIGRATION IS FOUND, THE CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING ALL EFFECTED AREAS AT NO ADDITIONAL COST TO THE OWNER.
11. PROVIDE WALK PADS FROM ROOF ACCESS POINTS AND LADDER LOCATIONS TO ALL ROOF TOP EQUIPMENT LOCATIONS. TYP. AREAS SHOWN ON PLAN ARE APPROXIMATE. FIELD VERIFY ALL EQUIPMENT LOCATIONS AND ROOF ACCESS POINTS
12. CONTRACTOR SHALL THOROUGHLY CLEAN ROOF PRIOR TO PROJECT COMPLETION. REMOVE ALL ROOFING MATERIALS, TOOLS, FASTENERS, EMPTY BUCKETS, USED SEALANT TUBES AND GENERAL REFUSE FROM THE ROOF AND CLEAN ANY DIRT, DUST OR METAL SHAVINGS PRIOR TO COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL USE A MAGNET TO PICK UP ALL FASTENERS AND METAL SCRAPS THAT MAY CAUSE A PUNCTURE IN THE MEMBRANE. SWEEP DUST AND DEBRIS WITH A BROOM, BAG AND REMOVE FROM THE ROOF. RINSE REMAINING DIRT WITH A LOW PRESSURE HOSE.
13. CONTRACTOR SHALL INSTALL EXPANSION JOINTS AND CONTROL JOINTS TO MATCH EXISTING INSTALLATION CONDITION. CONTRACTOR IS RESPONSIBLE FOR REPLACING ALL MANUFACTURER REQUIRED OR RECOMMENDED JOINTS INCLUDING ANY NOT INDICATED ON THE DRAWINGS
14. CONTRACTOR SHALL PROVIDE AND INSTALL SEALANT AT ALL LOCATIONS INDICATED ON DRAWINGS AND AS REQUIRED FOR A WATER TIGHT ASSEMBLY. SEALANT THAT IS VISIBLE FROM THE GROUND AND/OR USED WITH PREFINISHED METAL COPING/FLASHING SHALL BE COLOR MATCHED TO THE ADJACENT MATERIAL. JOINTS SHALL BE TOOLED. JOINTS THAT ARE NOT TOOLED, COLOR MATCHED OR HAVE EXCESSIVE SEALANT ON ADJACENT MATERIALS WILL NOT BE ACCEPTED. REJECTED JOINTS WILL BE FULLY REMOVED AND REINSTALLED.
15. CONTRACTOR SHALL REMOVE AND REINSTALL ROOF TOP MECHANICAL UNITS (RTU) AS REQUIRED TO INSTALL NEW MEMBRANE ROOFING. OWNER SHALL HIRE A SEPARATE MECHANICAL CONTRACTOR TO LIFT & RAISE CURBS OF ROOFTOP UNITS TO ALLOW FOR INCREASED ROOF INSULATION THICKNESS. ROOFING CONTRACTOR SHALL COORDINATE W/OWNER AND REMOVE EXISTING GASKET, SEALANT, ROOF FLASHING, AND ALL RELATED ADHESIVES AND FASTENERS. PREPARE CURB FOR NEW FLASHING. SEE DETAILS. PRIOR TO REINSTALLING RTU'S, MECHANICAL CONTRACTOR SHALL INSPECT ALL PIPING, ELECTRICAL CONNECTIONS AND DUCTING, AND REPLACE ANY DAMAGED MATERIALS WITH NEW. ALL RTU'S SHALL BE TESTED AND FOUND TO BE IN PROPER WORKING ORDER. CONTRACTOR SHALL PROVIDE INSPECTION REPORT TO THE OWNER PRIOR TO PROJECT COMPLETION.
16. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION. THE LOCATIONS OF EXISTING DEVICES, SIZE OF EXISTING COMPONENTS, ALONG WITH ALL EXISTING HEIGHTS, WIDTHS, SECTIONS AND DETAILS WERE DERIVED FROM RECORD DRAWINGS OF THE PREVIOUS ARCHITECT AND LIMITED FIELD VERIFICATION AND/OR ON-SITE OBSERVATIONS.
17. CONTRACTOR SHALL PRE-DRILL AT ALL LOCATIONS WHERE MASONRY FASTENERS ARE CALLED TO BE INSTALLED IN MASONRY VENEER. ALL FASTENERS SHALL BE INSTALLED IN MORTAR JOINTS. DO NOT INSTALL MASONRY FASTENERS IN BRICK VENEER. DAMAGED BRICK VENEER SHALL BE REPLACED AT NO COST TO THE OWNER.

- DEFINITIONS:
- PRV = POWERED ROOF VENT
- R.D./O.D. = ROOF DRAIN & OVERFLOW DRAIN
- E.F. = EXHAUST FAN
- D.S. = DOWN SPOUT
- F.V. = FIELD VERIFY
- RTU = ROOFTOP UNIT
- E.J. = EXPANSION JOINT
- VTR = VENT THROUGH ROOF
- S.S.D. = SLOPED STRUCTURAL DECK
- THIS LEGEND IS FOR VISUAL REFERENCE ONLY

- DEFINITIONS:
- "REMOVE": DETACH ITEMS FROM EXISTING CONSTRUCTION & LEGALLY DISPOSE OF THEM OFF-SITE UNLESS INDICATED TO BE REMOVED & SALVAGED OR REMOVED & RE-INSTALLED.
- "REMOVE & SALVAGE": CAREFULLY DETACH FROM EXISTING CONSTRUCTION, IN A MANNER TO PREVENT DAMAGE, AND DELIVER TO OWNER FOR REUSE IF INDICATED.
- "REMOVE & RE-INSTALL": DETACH ITEMS FROM EXISTING CONSTRUCTION, PREPARE FOR REUSE & RE-INSTALL WHERE INDICATED.
- "TO REMAIN": EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT TO BE PERMANENTLY REMOVED & THAT ARE NOT OTHERWISE TO BE REMOVED, REMOVED & SALVAGED, OR REMOVED & RE-INSTALLED.

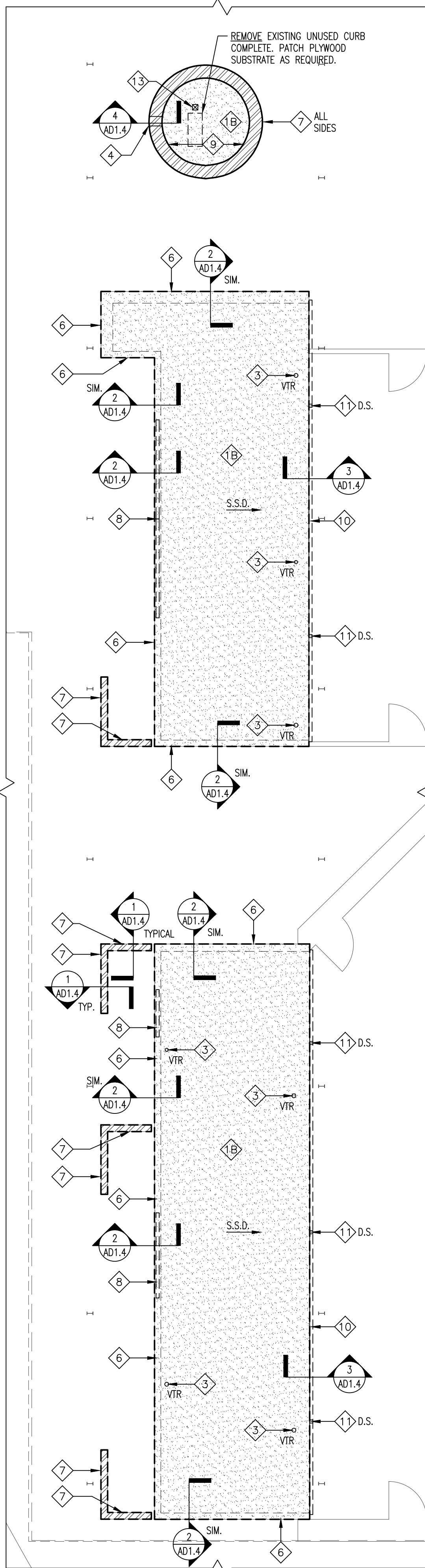
IF UNANTICIPATED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT PROCEED WITH DEMOLITION. IMMEDIATELY CONTACT THE OWNER. ARCHITECT HAS NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, DISPOSAL OF, OR EXPOSURE TO, HAZARDOUS MATERIALS OR TOXIC SUBSTANCES, IN ANY FORM, ON THE PROJECT SITE. CONTACT OWNER FOR INFORMATION REGARDING TESTING & ABATEMENT. THE PROJECT SHALL MEET ALL RELEVANT FEDERAL AND STATE REGULATIONS REGARDING REGULATED ASBESTOS-CONTAINING MATERIALS (ACMs), INCLUDING BUT NOT LIMITED TO THE FOLLOWING: NOTIFYING THE EPA, DNR AND NESHAP; COMPLETING ASBESTOS SURVEY BY A LICENSED ASBESTOS BUILDING INSPECTOR IN ORDER TO IDENTIFY, CLASSIFY AND QUANTIFY ALL ACMs; SUBMISSION OF A DEMOLITION NOTIFICATION FORM TO THE DNR AT LEAST 10 WORKING DAYS PRIOR TO THE START OF DEMOLITION (REGARDLESS OF WHETHER ACMs WERE DISCOVERED); AND REMOVAL OF ACMs BY A PERMITTED ASBESTOS ABATEMENT CONTRACTOR.



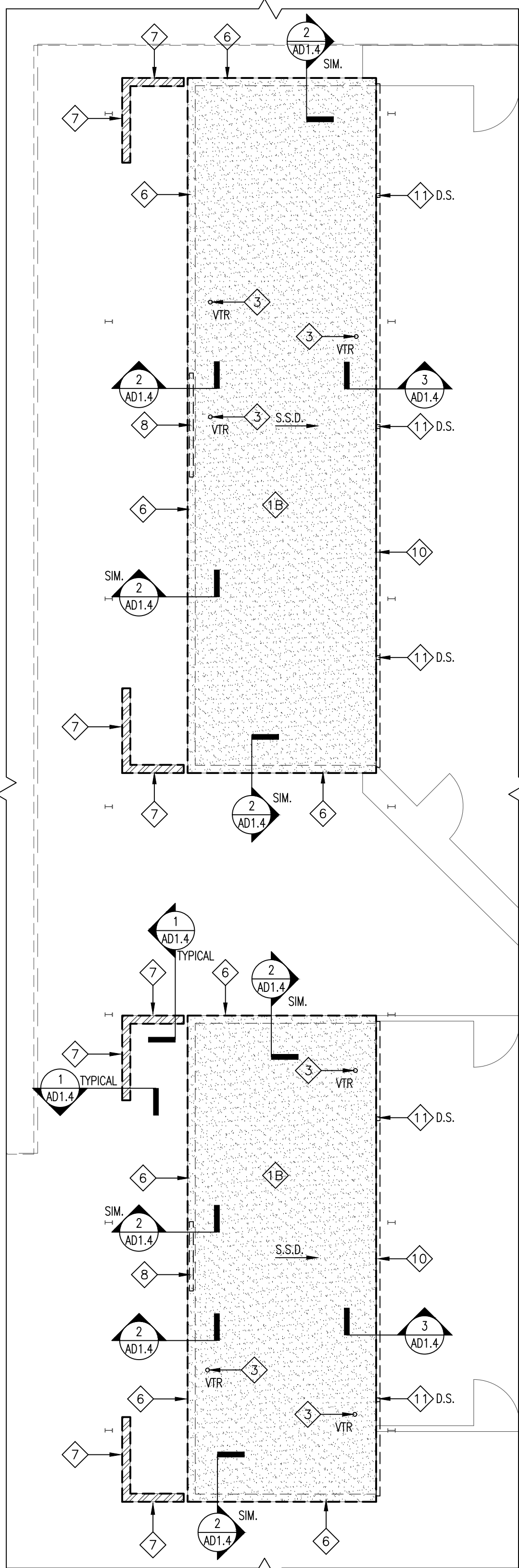
ROOF KEY PLAN

SCALE: 1/64" = 1'-0"

TOTAL ROOF AREA OF THIS PROJECT IS APPROXIMATELY : 14,756 S.F.
AREAS SHOWN ARE FOR GENERAL REFERENCE PURPOSES ONLY.
CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL QUANTITIES PRIOR TO BIDDING.



1 DEMO ROOF PLAN - ROOF SECTION 'C', 'E', & 'D'
SCALE: 1/8" = 1'-0"



2 DEMO ROOF PLAN - ROOF SECTION 'H' & 'G'
SCALE: 1/8" = 1'-0"

DEMOLITION ROOF PLAN - KEY NOTE LEGEND:

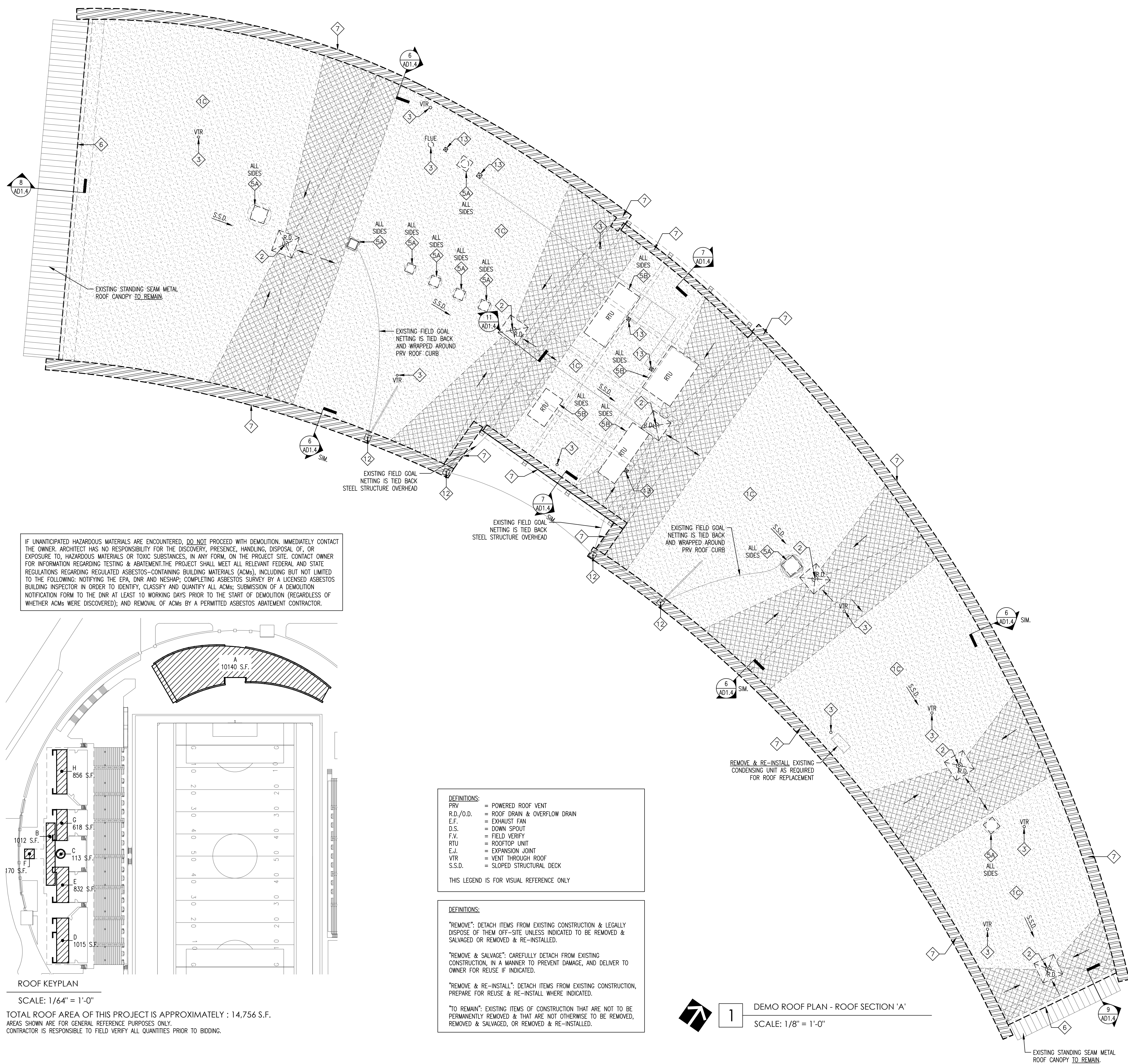
1. BUILT-UP ROOF MEMBRANE:
REMOVE EXISTING BUILT-UP ROOF, ROCK BALLAST, COVER BOARD, INSULATION, TAPERED INSULATION, BASE SHEETS, AND ALL RELATED ADHESIVES, FASTENERS, AND SEALANT TO EXISTING STRUCTURAL ROOF DECK. CLEAN SURFACE OF STRUCTURAL ROOF DECK AND PREP FOR INSTALLATION OF SELF-ADHERING VAPOR BARRIER SHEET AND NEW ROOF ASSEMBLY. SEE DETAILS.
- 1A. T.O. EXISTING METAL DECK
- 1B. T.O. EXISTING PLYWOOD SUBSTRATE
- 1C. T.O. EXISTING PRECAST HOLLOW-CORE CONCRETE SLAB
2. ROOF DRAIN:
LOOSEN CLAMP RING TO REMOVE EXISTING MEMBRANE OR BUILT-UP ROOF, INSULATION AND ALL RELATED ADHESIVES, FASTENERS, AND SEALANTS. CONTRACTOR SHALL NOTE LOCATIONS OF ANY DRAINS WITH LOOSE OR DAMAGED CLAMP RING OR FASTENERS AND NOTIFY THE OWNER. SEE DETAILS.
3. BOOT/PIPE PENETRATION FLASHING:
REMOVE EXISTING PIPE PENETRATION, MEMBRANE FLASHING, FASTENERS, ADHESIVES, AND SEALANTS FROM FACE OF EXISTING VTRs AND PVRs AS SHOWN TO REMAIN. SEE DETAILS.
4. SCUPPER FLASHING:
REMOVE EXISTING SCUPPER FLASHING, ALL RELATED ADHESIVES, FASTENERS, AND SEALANTS. SEE DETAILS.
5. ROOF TOP MECHANICAL CURB FLASHING:
- 5A. MOVABLE UNIT - REMOVE & RE-INSTALL EXISTING MECHANICAL UNIT. REMOVE EXISTING GASKET, SEALANT, ROOF FLASHING, AND ALL RELATED ADHESIVES AND FASTENERS. SEE DETAILS.
- 5B. FIXED UNIT - EXISTING MECHANICAL UNIT TO REMAIN. REMOVE EXISTING GASKET, SEALANT, ROOF FLASHING, AND ALL RELATED ADHESIVES AND FASTENERS. SEE DETAILS.
6. ROOF EDGE FASCIA FLASHING:
REMOVE EXISTING PRE-FINISHED METAL ROOF EDGE FLASHING AND ALL RELATED ADHESIVES, FASTENERS, AND SEALANTS. SEE DETAILS.
7. COPING CAP FLASHING:
REMOVE EXISTING PRE-FINISHED METAL COPING CAP AND ALL RELATED ADHESIVES, FASTENERS, AND SEALANTS. SEE DETAILS.
8. SIGNAGE:
REMOVE & RE-INSTALL EXISTING BUILDING SIGNAGE AND ALL ASSOCIATED STRUCTURAL STEEL SUPPORTS, ADHESIVES, FASTENERS, AND SEALANTS COMPLETE. SEE DETAILS.
9. COUNTER FLASHING:
REMOVE EXISTING PREFINISHED METAL COUNTER FLASHING AND ALL RELATED ADHESIVES, FASTENERS, AND SEALANTS. SEE DETAILS.
10. GUTTER:
REMOVE EXISTING PREFINISHED METAL GUTTER AND ALL ASSOCIATED ADHESIVES, FASTENERS, AND SEALANTS COMPLETE. SEE DETAILS.
11. DOWNSPOUT:
REMOVE EXISTING PREFINISHED METAL DOWNSPOUT AND ALL ASSOCIATED ADHESIVES, FASTENERS, AND SEALANTS COMPLETE. REMOVE DOWN TO EXISTING DISCHARGE. SEE DETAILS.
12. FIELD GOAL BACKSTOP NETTING & STRUCTURE:
REMOVE & SALVAGE EXISTING STEEL FRAMED FIELD GOAL BACKSTOP W/ NET AND CABLES AND ALL ASSOCIATED ADHESIVES, FASTENERS, AND SEALANTS COMPLETE. SEE DETAILS.
13. PITCH PAN:
REMOVE EXISTING PITCH PAN, CAP AND INFILL. EXISTING CONDUIT/MECHANICAL LINES AND STRUCTURAL STEEL COLUMNS TO REMAIN. *REVIEW DETAILS PRIOR TO PERFORMING WORK AS SOME LOCATIONS VARY IN SCOPE. FAILURE TO PROPERLY REMOVE PITCH PAN OR TO DAMAGE EXISTING MATERIALS SHOWN TO REMAIN WILL RESULT IN THE CONTRACTOR REPAIRING/REPLACING MATERIALS AT NO ADDITIONAL COST TO THE OWNER.*
14. FLUID APPLIED FLASHING AT STRUCTURAL STEEL:
REMOVE EXISTING FLUID APPLIED FLASHING FROM STRUCTURAL STEEL COMPLETE. EXISTING STRUCTURAL STEEL TO REMAIN.

GENERAL ROOF PLAN SYMBOL KEY

- MEMBRANE ROOF
- BUILT-UP ROOF
- METAL COPING/FASCIA FLASHING
- TAPERED INSULATION OVER SLOPED INSULATION (SEE PLAN FOR SLOPE)
- ROOF DRAIN/ROOF AND OVERFLOW DRAIN
- VENT THROUGH ROOF (VTR)
- PIPING PENETRATION (FLUE SIM)
- POWER ROOF VENT (PRV)
- WALKPAD
- PITCH PAN
- MECHANICAL ROOF TOP UNIT (RTU)
- EXISTING STEEL STRUCTURE
- ROOF SLOPE W/ VERTICAL FALL PER FOOT OF HORIZONTAL RUN AT TOP SURFACE OF HIGHEST SHEET OF INSULATION

DEMO. ROOF PLAN GENERAL NOTES

1. BOLD & DASHED LINES INDICATE ITEMS TO BE REMOVED UNLESS NOTED OTHERWISE. PATCH & REPAIR ALL ADJACENT SURFACES TO MATCH EXISTING SURFACE @ REMOVED ITEMS. SEE RELATED DOCUMENTS FOR ADDITIONAL INFORMATION.
2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS & REPORT ANY DISCREPANCIES TO THE ARCHITECT.
3. CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH NEW WORK, INCLUDING COORDINATION WITH ALL MECHANICAL, ELECTRICAL, AND PLUMBING TRADES. CONTRACTOR SHALL COORDINATE WITH THE SHEETS OF ALL OTHER DISCIPLINES. ADDITIONAL DEMOLITION SCOPE MAY BE SHOWN ON MECHANICAL OR ANY OTHER DOCUMENTS RELATED TO THIS PROJECT.
4. CONTRACTOR SHALL REMOVE ROOF MEMBRANE, BUILT-UP ROOF, ROCK BALLAST, MEMBRANE FLASHING, COVER BOARD, ROOF INSULATION, TAPERED INSULATION, METAL COPING CAP, ROOF CURB FLASHING, COUNTER FLASHING AND ALL RELATED ADHESIVES, FASTENERS, AND SEALANTS. CONTRACTOR SHALL PROTECT THE EXISTING ROOF DECK SHOWN TO REMAIN. THROUGHOUT DEMOLITION AND CONSTRUCTION SO THAT THE EXISTING ROOF DECK IS NOT COMPROMISED. CONTRACTOR SHALL CLEAN THE EXISTING ROOF DECK PRIOR TO INSTALLING NEW VAPOR BARRIER. INSTALL NEW INSULATION, ROOF MEMBRANE AND FLASHING PER MANUFACTURERS WRITTEN REQUIREMENTS TO RESULT IN A WARRANTED AND WEATHER-TIGHT SYSTEM. REFERENCE SPECIFICATION FOR WARRANTY REQUIREMENTS. CONTRACTOR SHALL MAINTAIN BUILDING WATERTIGHT THROUGHOUT DEMOLITION AND CONSTRUCTION.
5. PRIOR TO PROJECT COMPLETION CONTRACTOR SHALL WATER TEST ROOF AND NOTE LOCATIONS OF PONDING (DEFINED AS AN AREA OF STANDING WATER LARGER THAN 1'-0" IN ANY DIMENSION WITHIN 12 HOURS OF A RAIN EVENT). THESE AREAS SHALL BE REWORKED TO ELIMINATE PONDING AT ALL LOCATIONS. THIS WORK INCLUDES INSTALLATION OF NEW TAPERED INSULATION, RESETTNG ROOF DRAINS AND SCUPPER FLASHING AREAS, OTHER THAN SMALL AREAS OF PONDING DUE TO MEMBRANE LAP AND SEALANT JOINTS. LARGE AREAS OF PONDING WILL NOT BE ACCEPTED. CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT OF TESTING SCHEDULE AND COORDINATE SITE OBSERVATIONS FOR APPROVAL.
6. THE CONTRACTOR SHALL FIELD VERIFY THE WIDTH OF ALL PARAPET AREA SEPARATION AND EXPANSION JOINT ABOVE ROOF WALLS TO RECEIVE NEW METAL COPING PRIOR TO FABRICATION. SIZES SHOWN ON PLANS OR DETAILS ARE APPROXIMATIONS BASED ON FIELD OBSERVATIONS AND ARE FOR ESTIMATING PURPOSES ONLY.
7. THE CONTRACTOR SHALL FIELD VERIFY ROOF ELEVATIONS RELATIVE TO ALL PARAPET, ROOF EDGE AND EXPANSION JOINT HEIGHTS. CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING NEW ROOF SLOPE AND INSTALLING NEW BLOCKING AT ALL LOCATIONS TO ACCOMMODATE NEW ROOF INSULATION DEPTH AND TAPERED INSULATION SLOPE.
8. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THE ROOF AND WALL CAVITY WATER-TIGHT DURING CONSTRUCTION. EXPOSED WALL CAVITIES, EXPOSED ROOF DECK, OPEN ROOF PENETRATIONS AND OPEN WALLS SHALL BE COVERED AT THE END OF EACH WORK DAY. REMOVE SECTIONS OF ROOFING SMALL ENOUGH TO BE REINSTALLED AND MADE WATERTIGHT BY THE END OF EACH DAY. DAMAGE TO THE BUILDING DUE TO WATER INFILTRATION SHALL BE REPAIRED AND DAMAGED MATERIALS REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
9. CONTRACTOR SHALL PROTECT ALL SURFACES & COMPONENTS SHOWN "TO REMAIN" THROUGHOUT DEMOLITION AND NEW CONSTRUCTION. CONTRACTOR SHALL REPAIR AND REPLACE ALL DAMAGED SURFACES & COMPONENTS THAT ARE NOT SHOWN TO BE DEMOLISHED. ALL OTHER SURFACES & COMPONENTS NOT SHOWN TO BE "REMOVED," "REMOVED AND SALVAGED," OR "REMOVED AND RE-INSTALLED" SHALL BE CONSIDERED "TO REMAIN."
10. DUST CONTROL & DEBRIS CONTAINMENT MEASURES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. DUST SHALL BE CONTROLLED SO NOT TO INFILTRATE ADJACENT INTERIOR SPACES & EXISTING MECHANICAL EQUIPMENT. DEMOLITION DEBRIS, INCLUDING BUT NOT LIMITED TO COVER BOARD, GRAVEL BALLAST, AND ROOF INSULATION SHALL BE CONTROLLED SO NOT TO DAMAGE EXISTING VEGETATION OR BLOW ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS. IF DUST OR DEBRIS MIGRATION IS FOUND, THE CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING ALL EFFECTED AREAS AT NO ADDITIONAL COST TO THE OWNER.
11. PROVIDE WALK PADS FROM ROOF ACCESS POINTS AND LADDER LOCATIONS TO ALL ROOF TOP EQUIPMENT LOCATIONS. TYP. AREAS SHOWN ON PLAN ARE APPROXIMATE. FIELD VERIFY ALL EQUIPMENT LOCATIONS AND ROOF ACCESS POINTS.
12. CONTRACTOR SHALL THOROUGHLY CLEAN ROOF PRIOR TO PROJECT COMPLETION. REMOVE ALL ROOFING MATERIALS, TOOLS, FASTENERS, EMPTY BUCKETS, USED SEALANT TUBES AND GENERAL REFUSE FROM THE ROOF AND CLEAN ANY DIRT, DUST OR METAL SHAVINGS PRIOR TO COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL USE A MAGNET TO PICK UP ALL FASTENERS AND METAL SCRAPS THAT MAY CAUSE A PUNCTURE IN THE MEMBRANE. SWEEP DUST AND DEBRIS WITH A BROOM, BAG AND REMOVE FROM THE ROOF. RINSE REMAINING DIRT WITH A LOW PRESSURE HOSE.
13. CONTRACTOR SHALL INSTALL EXPANSION JOINTS AND CONTROL JOINTS TO MATCH EXISTING INSTALLATION CONDITION. CONTRACTOR IS RESPONSIBLE FOR REPLACING ALL MANUFACTURER REQUIRED OR RECOMMENDED JOINTS INCLUDING ANY NOT INDICATED ON THE DRAWINGS.
14. CONTRACTOR SHALL PROVIDE AND INSTALL SEALANT AT ALL LOCATIONS INDICATED ON DRAWINGS AND AS REQUIRED FOR A WATER TIGHT ASSEMBLY. SEALANT THAT IS VISIBLE FROM THE GROUND AND/OR USED WITH PREFINISHED METAL COPING/FLASHING SHALL BE COLOR MATCHED TO THE ADJACENT MATERIAL. JOINTS SHALL BE TOOLED. JOINTS THAT ARE NOT TOOLED, COLOR MATCHED OR HAVE EXCESSIVE SEALANT ON ADJACENT MATERIALS WILL NOT BE ACCEPTED. REJECTED JOINTS WILL BE FULLY REMOVED AND REINSTALLED.
15. CONTRACTOR SHALL REMOVE AND REINSTALL ROOF TOP MECHANICAL UNITS (RTU) AS REQUIRED TO INSTALL NEW MEMBRANE ROOFING. OWNER SHALL HIRE A SEPARATE MECHANICAL CONTRACTOR TO LIFT & RAISE CURBS OF ROOFTOP UNITS TO ALLOW FOR INCREASED ROOF INSULATION THICKNESS. ROOFING CONTRACTOR SHALL COORDINATE W/OWNER AND REMOVE EXISTING GASKET, SEALANT, ROOF FLASHING, AND ALL RELATED ADHESIVES AND FASTENERS. PREPARE CURB FOR NEW FLASHING. SEE DETAILS. PRIOR TO REINSTALLING RTU'S, MECHANICAL CONTRACTOR SHALL INSPECT ALL PIPING, ELECTRICAL CONNECTIONS AND DUCTING, AND REPLACE ANY DAMAGED MATERIALS WITH NEW. ALL RTU'S SHALL BE TESTED AND FOUND TO BE IN PROPER WORKING ORDER. CONTRACTOR SHALL PROVIDE INSPECTION REPORT TO THE OWNER PRIOR TO PROJECT COMPLETION.
16. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION. THE LOCATIONS OF EXISTING DEVICES, SIZE OF EXISTING COMPONENTS, ALONG WITH ALL EXISTING HEIGHTS, WIDTHS, SECTIONS AND DETAILS WERE DERIVED FROM RECORD DRAWINGS OF THE PREVIOUS ARCHITECT AND LIMITED FIELD VERIFICATION AND/OR ON-SITE OBSERVATIONS.
17. CONTRACTOR SHALL PRE-DRILL AT ALL LOCATIONS WHERE MASONRY FASTENERS ARE CALLED TO BE INSTALLED IN MASONRY VENEER. ALL FASTENERS SHALL BE INSTALLED IN MORTAR JOINTS. DO NOT INSTALL MASONRY FASTENERS IN BRICK VENEER. DAMAGED BRICK VENEER SHALL BE REPLACED AT NO COST TO THE OWNER.



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PRINT DATE:
SEPTEMBER, 9TH 2025
SHEET NAME:
DEMO ROOF PLAN

VSTA-AD1.2

DEMOLITION ROOF PLAN – KEY NOTE LEGEND:

- 1

BUILT-UP ROOF MEMBRANE:
REMOVE EXISTING BUILT-UP ROOF, ROCK BALLAST, COVER BOARD, INSULATION, TAPERED INSULATION, BASE SHEETS, AND ALL RELATED ADHESIVES, FASTENERS, AND SEALANT TO EXISTING STRUCTURAL ROOF DECK. CLEAN SURFACE OF STRUCTURAL ROOF DECK AND PREP FOR INSTALLATION OF SELF-ADHERING VAPOR BARRIER SHEET AND NEW ROOF ASSEMBLY. SEE DETAILS.
- 1A

T.O. EXISTING METAL DECK
- 1B

T.O. EXISTING PLYWOOD SUBSTRATE
- 1C

T.O. EXISTING PRECAST HOLLOW-CORE CONCRETE SLAB
- 2

ROOF DRAIN:
LOOSEN CLAMP RING TO REMOVE EXISTING MEMBRANE OR BUILT-UP ROOF, INSULATION AND ALL RELATED ADHESIVES, FASTENERS, AND SEALANTS. CONTRACTOR SHALL NOTE LOCATIONS OF ANY DRAINS WITH LOOSE OR DAMAGED CLAMP RING OR FASTENERS AND NOTIFY THE OWNER. SEE DETAILS.
- 3

BOOT/PIPE PENETRATION FLASHING:
REMOVE EXISTING PIPE PENETRATION, MEMBRANE FLASHING, FASTENERS, ADHESIVES, AND SEALANTS FROM FACE OF EXISTING VTRs AND PVRs AS SHOWN TO REMAIN. SEE DETAILS.
- 4

SCUPPER FLASHING:
REMOVE EXISTING SCUPPER FLASHING, ALL RELATED ADHESIVES, FASTENERS, AND SEALANTS. SEE DETAILS.
- 5

ROOF TOP MECHANICAL CURB FLASHING:
- 5A

MOVABLE UNIT – REMOVE & RE-INSTALL EXISTING MECHANICAL UNIT. REMOVE EXISTING GASKET, SEALANT, ROOF FLASHING, AND ALL RELATED ADHESIVES AND FASTENERS. SEE DETAILS.
- 5B

FIXED UNIT – EXISTING MECHANICAL UNIT TO REMAIN. REMOVE EXISTING GASKET, SEALANT, ROOF FLASHING, AND ALL RELATED ADHESIVES AND FASTENERS. SEE DETAILS.
- 6

ROOF EDGE FASCIA FLASHING:
REMOVE EXISTING PRE-FINISHED METAL ROOF EDGE FLASHING AND ALL RELATED ADHESIVES, FASTENERS, AND SEALANTS. SEE DETAILS.
- 7

COPING CAP FLASHING:
REMOVE EXISTING PRE-FINISHED METAL COPING CAP AND ALL RELATED ADHESIVES, FASTENERS, AND SEALANTS. SEE DETAILS.
- 8

SIGNAGE:
REMOVE & RE-INSTALL EXISTING BUILDING SIGNAGE AND ALL ASSOCIATED STRUCTURAL STEEL SUPPORTS, ADHESIVES, FASTENERS, AND SEALANTS COMPLETE. SEE DETAILS.
- 9

COUNTER FLASHING:
REMOVE EXISTING PREFINISHED METAL COUNTER FLASHING AND ALL RELATED ADHESIVES, FASTENERS, AND SEALANTS. SEE DETAILS.
- 10

GUTTER:
REMOVE EXISTING PREFINISHED METAL GUTTER AND ALL ASSOCIATED ADHESIVES, FASTENERS, AND SEALANTS COMPLETE. SEE DETAILS.
- 11

DOWNSPOUT:
REMOVE EXISTING PREFINISHED METAL DOWNSPOUT AND ALL ASSOCIATED ADHESIVES, FASTENERS, AND SEALANTS COMPLETE. REMOVE DOWN TO EXISTING DISCHARGE. SEE DETAILS.
- 12

FIELD GOAL BACKSTOP NETTING & STRUCTURE:
REMOVE & SALVAGE EXISTING STEEL FRAMED FIELD GOAL BACKSTOP W/ NET AND CABLES AND ALL ASSOCIATED ADHESIVES, FASTENERS, AND SEALANTS COMPLETE. SEE DETAILS.
- 13

PITCH PAN:
REMOVE EXISTING PITCH PAN, CAP AND INFILL. EXISTING CONDUIT, MECHANICAL LINES AND STRUCTURAL STEEL COLUMNS TO REMAIN. REVIEW DETAILS PRIOR TO PERFORMING WORK AS SOME LOCATIONS VARY IN SCOPE. FAILURE TO PROPERLY REMOVE PITCH PAN OR TO DAMAGE EXISTING MATERIALS SHOWN TO REMAIN WILL RESULT IN THE CONTRACTOR REPAIRING/REPLACING MATERIALS AT NO ADDITIONAL COST TO THE OWNER.*
- 14

FLUID APPLIED FLASHING AT STRUCTURAL STEEL:
REMOVE EXISTING FLUID APPLIED FLASHING FROM STRUCTURAL STEEL COMPLETE. EXISTING STRUCTURAL STEEL TO REMAIN.

GENERAL ROOF PLAN SYMBOL KEY

- MEMBRANE ROOF
- BUILT-UP ROOF
- METAL COPING/FASCIA FLASHING
- TAPERED INSULATION OVER SLOPED INSULATION (SEE PLAN FOR SLOPE)
- RO

ROOF DRAIN/ROOF AND OVERFLOW DRAIN
- VENT THROUGH ROOF (VTR)
- PIPING PENETRATION (FLUE SIM)
- POWER ROOF VENT (PRV)
- WALKPAD
- PITCH PAN
- RTU

MECHANICAL ROOF TOP UNIT (RTU)
- EXISTING STEEL STRUCTURE
- 1/8"

ROOF SLOPE W/ VERTICAL FALL PER FOOT OF HORIZONTAL RUN AT TOP SURFACE OF HIGHEST SHEET OF INSULATION

DEMO. ROOF PLAN GENERAL NOTES

- BOLD & DASHED LINES INDICATE ITEMS TO BE REMOVED UNLESS NOTED OTHERWISE. PATCH & REPAIR ALL ADJACENT SURFACES TO MATCH EXISTING SURFACE @ REMOVED ITEMS. SEE RELATED DOCUMENTS FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS & REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH NEW WORK, INCLUDING COORDINATION WITH ALL MECHANICAL, ELECTRICAL, AND PLUMBING TRADES. CONTRACTOR SHALL COORDINATE WITH THE SHEETS OF ALL OTHER DISCIPLINES. ADDITIONAL DEMOLITION SCOPE MAY BE SHOWN ON MECHANICAL OR ANY OTHER DOCUMENTS RELATED TO THIS PROJECT.
- CONTRACTOR SHALL REMOVE ROOF MEMBRANE, BUILT-UP ROOF, ROCK BALLAST, MEMBRANE FLASHING, COVER BOARD, ROOF INSULATION, TAPERED INSULATION, METAL COPING CAP, ROOF CURB FLASHING, COUNTER FLASHING AND ALL RELATED ADHESIVES, FASTENERS, AND SEALANTS. CONTRACTOR SHALL PROTECT THE EXISTING ROOF DECK SHOWN TO REMAIN, THROUGHOUT DEMOLITION AND CONSTRUCTION SO THAT THE EXISTING ROOF DECK IS NOT COMPROMISED. CONTRACTOR SHALL CLEAN THE EXISTING ROOF DECK PRIOR TO INSTALLING NEW VAPOR BARRIER. INSTALL NEW INSULATION, ROOF MEMBRANE AND FLASHING PER MANUFACTURERS WRITTEN REQUIREMENTS TO RESULT IN A WARRANTED AND WEATHER-TIGHT SYSTEM. REFERENCE SPECIFICATION FOR WARRANTY REQUIREMENTS. CONTRACTOR SHALL MAINTAIN BUILDING WATERTIGHT THROUGHOUT DEMOLITION AND CONSTRUCTION.
- PRIOR TO PROJECT COMPLETION CONTRACTOR SHALL WATER TEST ROOF AND NOTE LOCATIONS OF PONDING (DEFINED AS AN AREA OF STANDING WATER LARGER THAN 1'-0" IN ANY DIMENSION WITHIN 12 HOURS OF A RAIN EVENT). THESE AREAS SHALL BE REWORKED TO ELIMINATE PONDING AT ALL LOCATIONS. THIS WORK INCLUDES INSTALLATION OF NEW TAPERED INSULATION, RESETTling ROOF DRAINS AND SCUPPER FLASHING AREAS, OTHER THAN SMALL AREAS OF PONDING DUE TO MEMBRANE LAP AND SEALANT JOINTS. LARGE AREAS OF PONDING WILL NOT BE ACCEPTED. CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT OF TESTING SCHEDULE AND COORDINATE SITE OBSERVATIONS FOR APPROVAL.
- THE CONTRACTOR SHALL FIELD VERIFY THE WIDTH OF ALL PARAPET AREA SEPARATION AND EXPANSION JOINT ABOVE ROOF WALLS TO REVEAL NEW METAL COPING PRIOR TO FABRICATION. SIZES SHOWN ON PLANS OR DETAILS ARE APPROXIMATIONS BASED ON FIELD OBSERVATIONS AND ARE FOR ESTIMATING PURPOSES ONLY.
- THE CONTRACTOR SHALL FIELD VERIFY ROOF ELEVATIONS RELATIVE TO ALL PARAPET, ROOF EDGE AND EXPANSION JOINT HEIGHTS. CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING NEW ROOF SLOPE AND INSTALLING NEW BLOCKING AT ALL LOCATIONS TO ACCOMMODATE NEW ROOF INSULATION DEPTH AND TAPERED INSULATION SLOPE.
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING THE ROOF AND WALL CAVITY WATER-TIGHT DURING CONSTRUCTION. EXPOSED WALL CAVITIES, EXPOSED ROOF DECK, OPEN ROOF PENETRATIONS AND OPEN WALLS SHALL BE COVERED AT THE END OF EACH WORK DAY. REMOVE SECTIONS OF ROOFING SMALL ENOUGH TO BE REINSTALLED AND MADE WATERTIGHT BY THE END OF EACH DAY. DAMAGE TO THE BUILDING DUE TO WATER INFILTRATION SHALL BE REPAIRED AND DAMAGED MATERIALS REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- CONTRACTOR SHALL PROTECT ALL SURFACES & COMPONENTS SHOWN "TO REMAIN" THROUGHOUT DEMOLITION AND NEW CONSTRUCTION. CONTRACTOR SHALL REPAIR AND REPLACE ALL DAMAGED SURFACES & COMPONENTS THAT ARE NOT SHOWN TO BE DEMOLISHED. ALL OTHER SURFACES & COMPONENTS NOT SHOWN TO BE "REMOVED," "REMOVED AND SALVAGED," OR "REMOVED AND RE-INSTALLED" SHALL BE CONSIDERED "TO REMAIN."
- DUST CONTROL & DEBRIS CONTAINMENT MEASURES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. DUST SHALL BE CONTROLLED SO NOT TO INFILTRATE ADJACENT INTERIOR SPACES & EXISTING MECHANICAL EQUIPMENT. DEMOLITION DEBRIS, INCLUDING BUT NOT LIMITED TO COVER BOARD, GRAVEL BALLAST, AND ROOF INSULATION SHALL BE CONTROLLED SO NOT TO DAMAGE EXISTING VEGETATION OR BLOW ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS. IF DUST OR DEBRIS MIGRATION IS FOUND, THE CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING ALL EFFECTED AREAS AT NO ADDITIONAL COST TO THE OWNER.
- PROVIDE WALK PADS FROM ROOF ACCESS POINTS AND LADDER LOCATIONS TO ALL ROOF TOP EQUIPMENT LOCATIONS. TYP. AREAS SHOWN ON PLAN ARE APPROXIMATE. FIELD VERIFY ALL EQUIPMENT LOCATIONS AND ROOF ACCESS POINTS
- CONTRACTOR SHALL THOROUGHLY CLEAN ROOF PRIOR TO PROJECT COMPLETION. REMOVE ALL ROOFING MATERIALS, TOOLS, FASTENERS, EMPTY BUCKETS, USED SEALANT TUBES AND GENERAL REFUSE FROM THE ROOF AND CLEAN ANY DIRT, DUST OR METAL SHAVINGS PRIOR TO COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL USE A MAGNET TO PICK UP ALL FASTENERS AND METAL SCRAPS THAT MAY CAUSE A PUNCTURE IN THE MEMBRANE. SWEEP DUST AND DEBRIS WITH A BROOM, BAG AND REMOVE FROM THE ROOF. RINSE REMAINING DIRT WITH A LOW PRESSURE HOSE.
- CONTRACTOR SHALL INSTALL EXPANSION JOINTS AND CONTROL JOINTS TO MATCH EXISTING INSTALLATION CONDITION. CONTRACTOR IS RESPONSIBLE FOR REPLACING ALL MANUFACTURER REQUIRED OR RECOMMENDED JOINTS INCLUDING ANY NOT INDICATED ON THE DRAWINGS
- CONTRACTOR SHALL PROVIDE AND INSTALL SEALANT AT ALL LOCATIONS INDICATED ON DRAWINGS AND AS REQUIRED FOR A WATER TIGHT ASSEMBLY. SEALANT THAT IS VISIBLE FROM THE GROUND AND/OR USED WITH PREFINISHED METAL COPING/FLASHING SHALL BE COLOR MATCHED TO THE ADJACENT MATERIAL. JOINTS SHALL BE TOOLED. JOINTS THAT ARE NOT TOOLED, COLOR MATCHED OR HAVE EXCESSIVE SEALANT ON ADJACENT MATERIALS WILL NOT BE ACCEPTED. REJECTED JOINTS WILL BE FULLY REMOVED AND REINSTALLED.
- CONTRACTOR SHALL REMOVE AND REINSTALL ROOF TOP MECHANICAL UNITS (RTU) AS REQUIRED TO INSTALL NEW MEMBRANE ROOFING. OWNER SHALL HIRE A SEPARATE MECHANICAL CONTRACTOR TO LIFT & RAISE CURBS OF ROOFTOP UNITS TO ALLOW FOR INCREASED ROOF INSULATION THICKNESS. ROOFING CONTRACTOR SHALL COORDINATE W/OWNER AND REMOVE EXISTING GASKET, SEALANT, ROOF FLASHING, AND ALL RELATED ADHESIVES AND FASTENERS. PREPARE CURB FOR NEW FLASHING. SEE DETAILS. PRIOR TO REINSTALLING RTU'S, MECHANICAL CONTRACTOR SHALL INSPECT ALL PIPING, ELECTRICAL CONNECTIONS AND DUCTING, AND REPLACE ANY DAMAGED MATERIALS WITH NEW. ALL RTU'S SHALL BE TESTED AND FOUND TO BE IN PROPER WORKING ORDER. CONTRACTOR SHALL PROVIDE INSPECTION REPORT TO THE OWNER PRIOR TO PROJECT COMPLETION.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION. THE LOCATIONS OF EXISTING DEVICES, SIZE OF EXISTING COMPONENTS, ALONG WITH ALL EXISTING HEIGHTS, WIDTHS, SECTIONS AND DETAILS WERE DERIVED FROM RECORD DRAWINGS OF THE PREVIOUS ARCHITECT AND LIMITED FIELD VERIFICATION AND/OR ON-SITE OBSERVATIONS.
- CONTRACTOR SHALL PRE-DRILL AT ALL LOCATIONS WHERE MASONRY FASTENERS ARE CALLED TO BE INSTALLED IN MASONRY VENEER. ALL FASTENERS SHALL BE INSTALLED IN MORTAR JOINTS. DO NOT INSTALL MASONRY FASTENERS IN BRICK VENEER. DAMAGED BRICK VENEER SHALL BE REPLACED AT NO COST TO THE OWNER.

DEFINITIONS:
PRV = POWERED ROOF VENT
R.D./O.D. = ROOF DRAIN & OVERFLOW DRAIN
E.F. = EXHAUST FAN
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THIS LEGEND IS FOR VISUAL REFERENCE ONLY

DEFINITIONS:

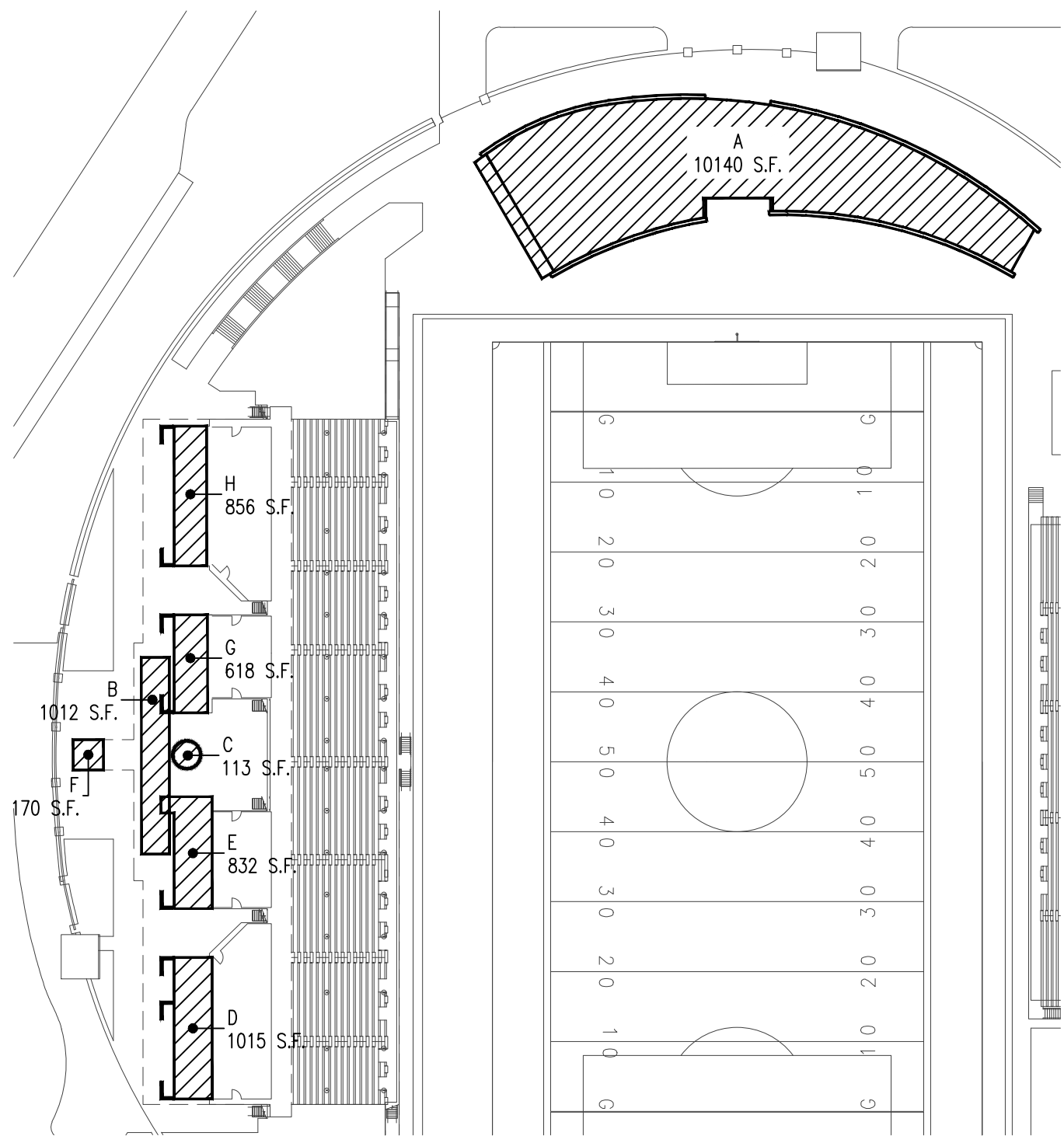
"REMOVE": DETACH ITEMS FROM EXISTING CONSTRUCTION & LEGALLY DISPOSE OF THEM OFF-SITE UNLESS INDICATED TO BE REMOVED & SALVAGED OR REMOVED & RE-INSTALLED.

"REMOVE & SALVAGE": CAREFULLY DETACH FROM EXISTING CONSTRUCTION, IN A MANNER TO PREVENT DAMAGE, AND DELIVER TO OWNER FOR REUSE IF INDICATED.

"REMOVE & RE-INSTALL": DETACH ITEMS FROM EXISTING CONSTRUCTION, PREPARE FOR REUSE & RE-INSTALL WHERE INDICATED.

"TO REMAIN": EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT TO BE PERMANENTLY REMOVED & THAT ARE NOT OTHERWISE TO BE REMOVED, REMOVED & SALVAGED, OR REMOVED & RE-INSTALLED.

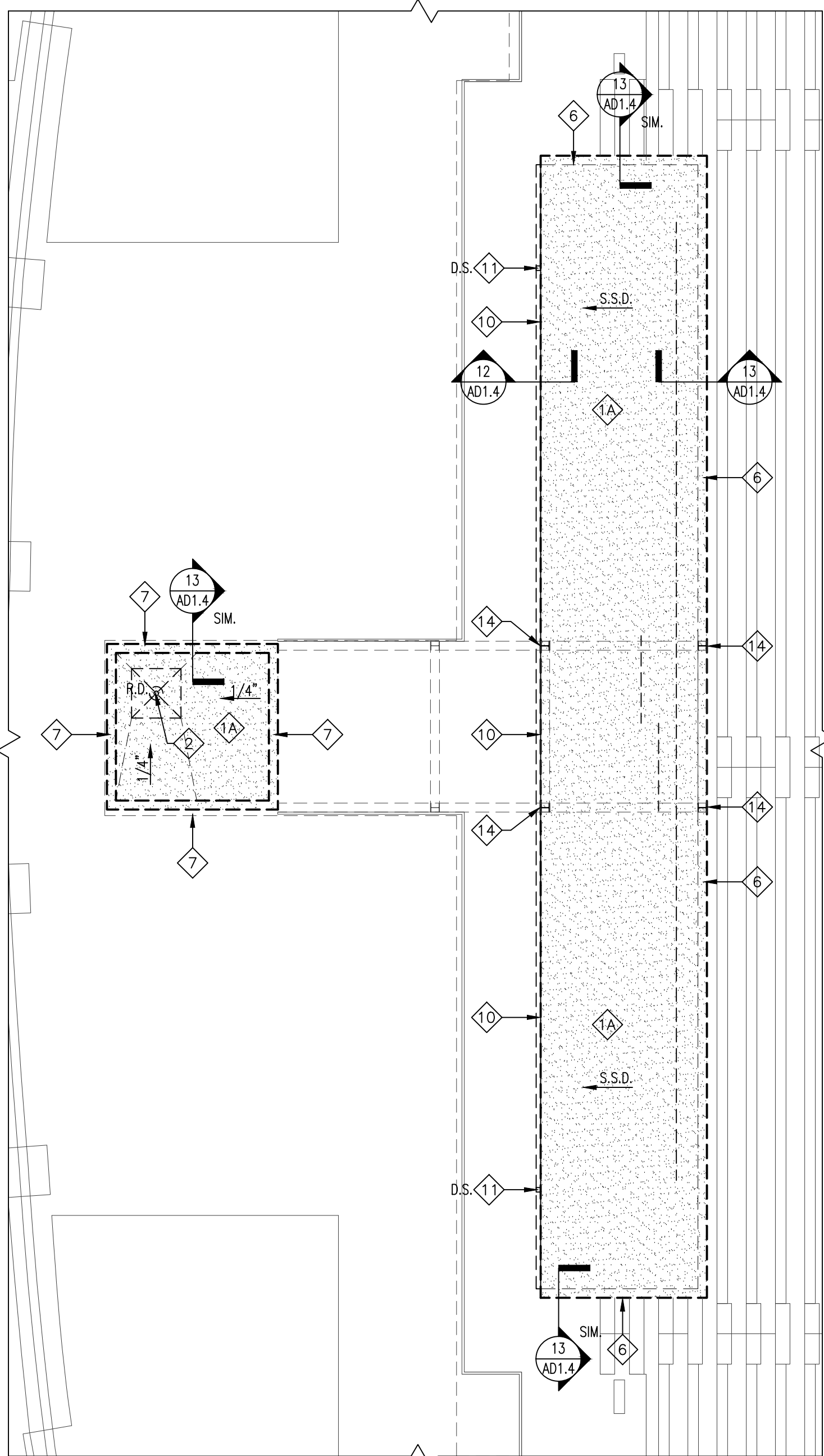
IF UNANTICIPATED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT PROCEED WITH DEMOLITION. IMMEDIATELY CONTACT THE OWNER. ARCHITECT HAS NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, DISPOSAL OF, OR EXPOSURE TO, HAZARDOUS MATERIALS OR TOXIC SUBSTANCES, IN ANY FORM, ON THE PROJECT SITE. CONTACT OWNER FOR INFORMATION REGARDING TESTING & ABATEMENT.THE PROJECT SHALL MEET ALL RELEVANT FEDERAL AND STATE REGULATIONS REGARDING REGULATED ASBESTOS-CONTAINING BUILDING MATERIALS (ACMs), INCLUDING BUT NOT LIMITED TO THE FOLLOWING: NOTIFYING THE EPA, DNR AND NESHAP; COMPLETING ASBESTOS SURVEY BY A LICENSED ASBESTOS BUILDING INSPECTOR IN ORDER TO IDENTIFY, CLASSIFY AND QUANTIFY ALL ACMs; SUBMISSION OF A DEMOLITION NOTIFICATION FORM TO THE DNR AT LEAST 10 WORKING DAYS PRIOR TO THE START OF DEMOLITION (REGARDLESS OF WHETHER ACMs WERE DISCOVERED); AND REMOVAL OF ACMs BY A PERMITTED ASBESTOS ABATEMENT CONTRACTOR.



ROOF KEYPLAN

SCALE: 1/64" = 1'-0"

TOTAL ROOF AREA OF THIS PROJECT IS APPROXIMATELY : 14,756 S.F.
AREAS SHOWN ARE FOR GENERAL REFERENCE PURPOSES ONLY.
CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL QUANTITIES PRIOR TO BIDDING.



1

DEMO ROOF PLAN - ROOF SECTION 'F' & 'B'

SCALE: 1/8" = 1'-0"

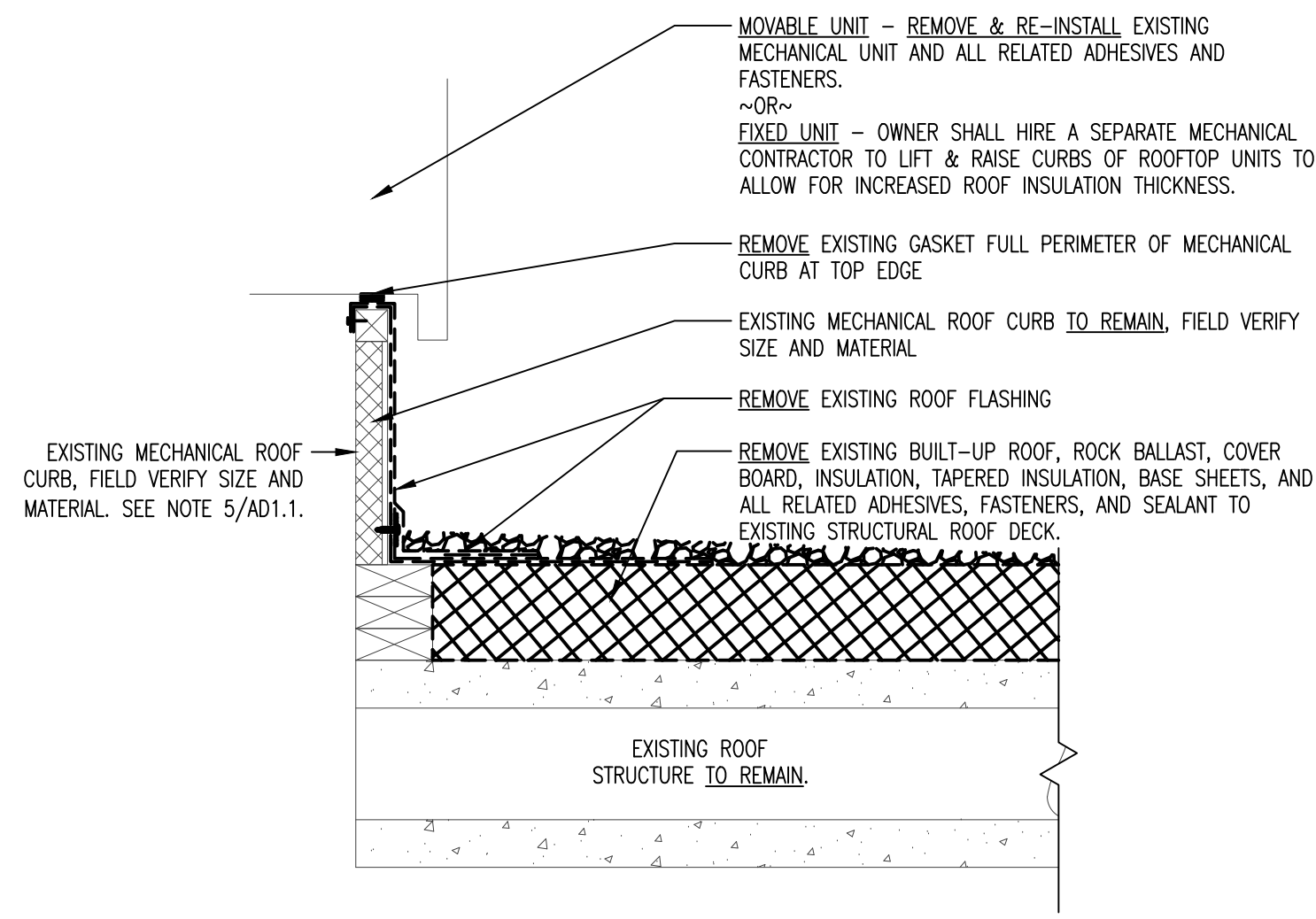
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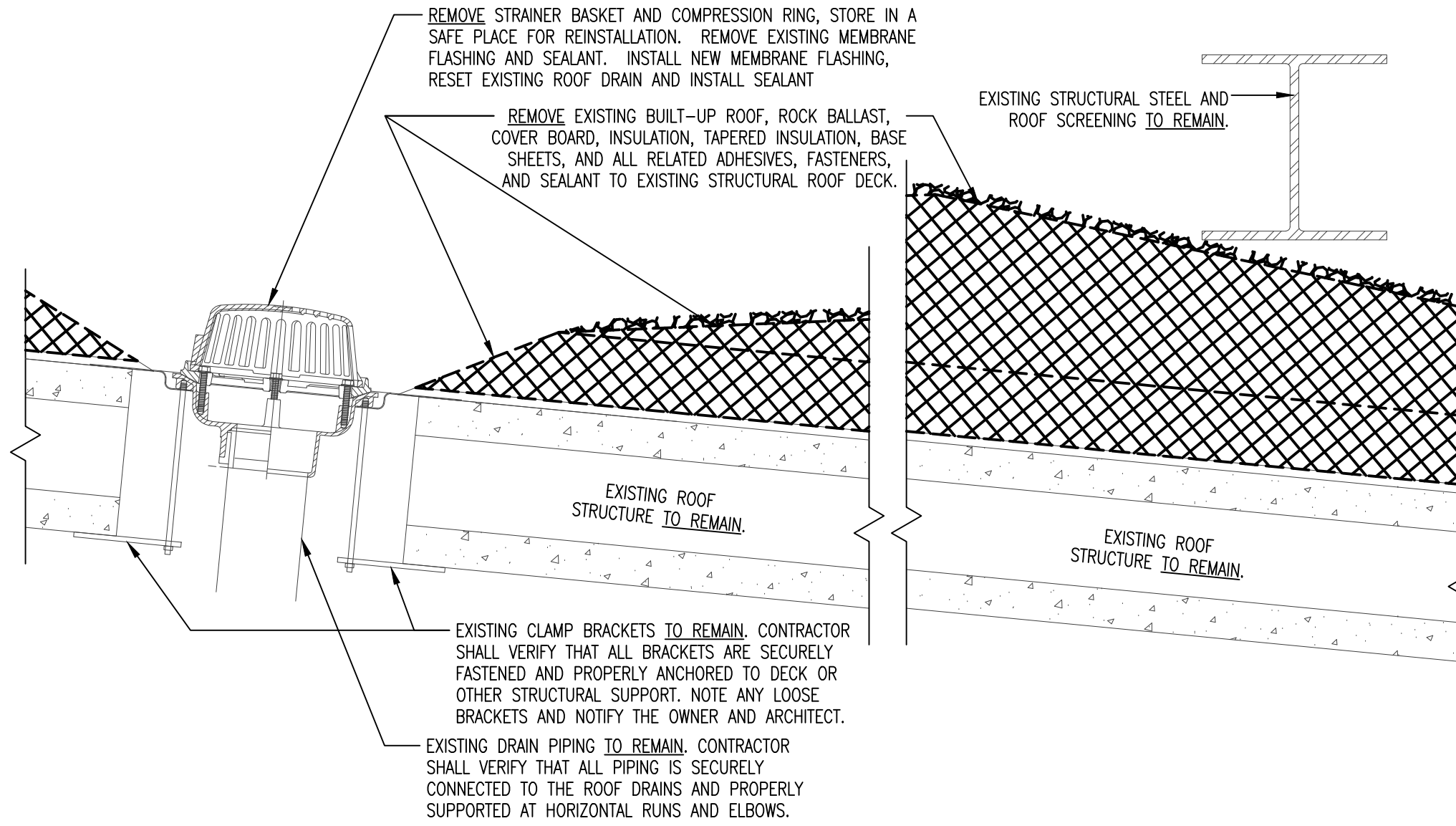
WDMCS 2025 ROOF REPLACEMENTS
4440 MILLS CIVIC PKWY
WEST DES MOINES, IOWA 50265

PRINT DATE:
SEPTEMBER, 9TH 2025
SHEET NAME:
DEMO ROOF PLAN

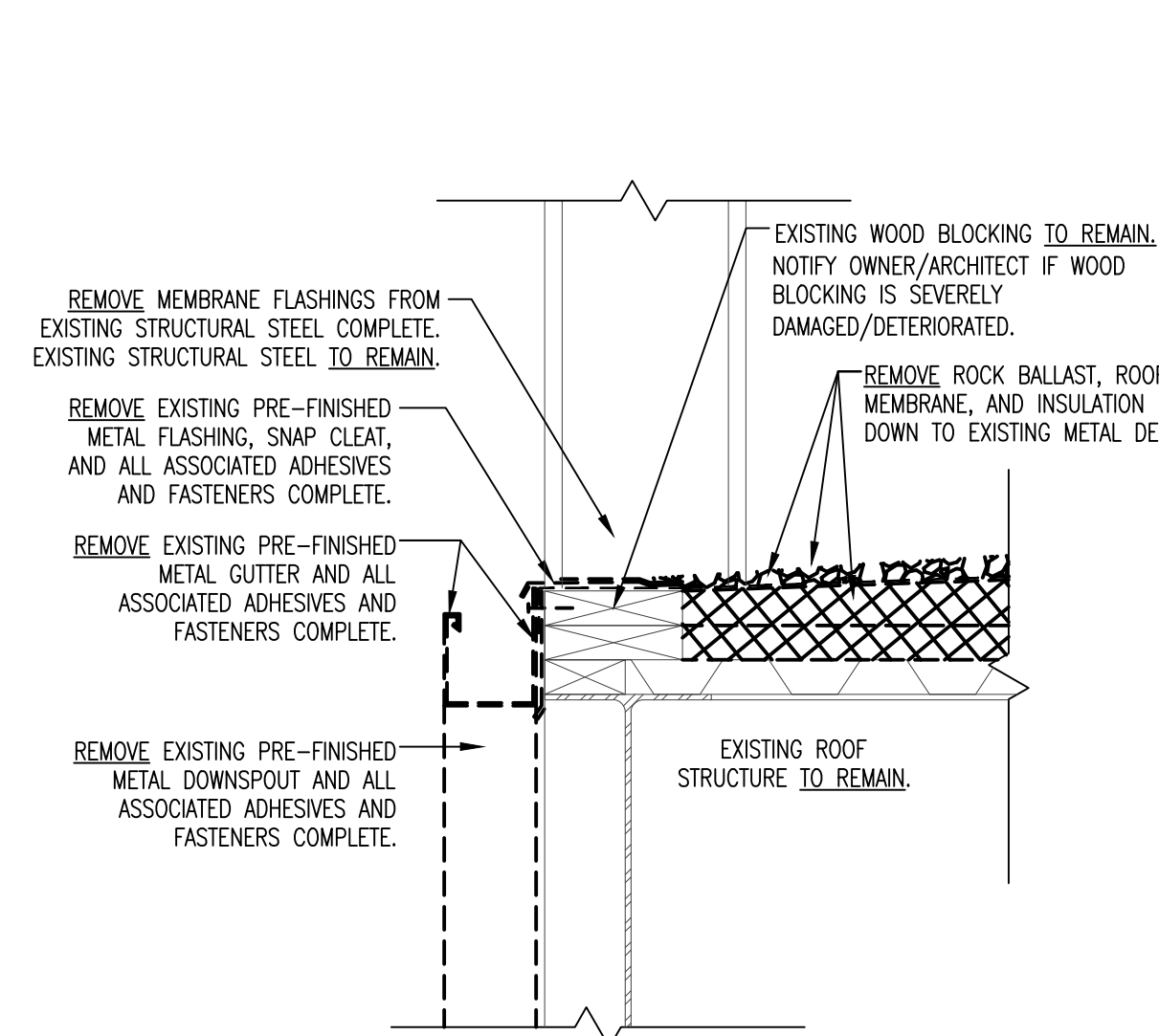
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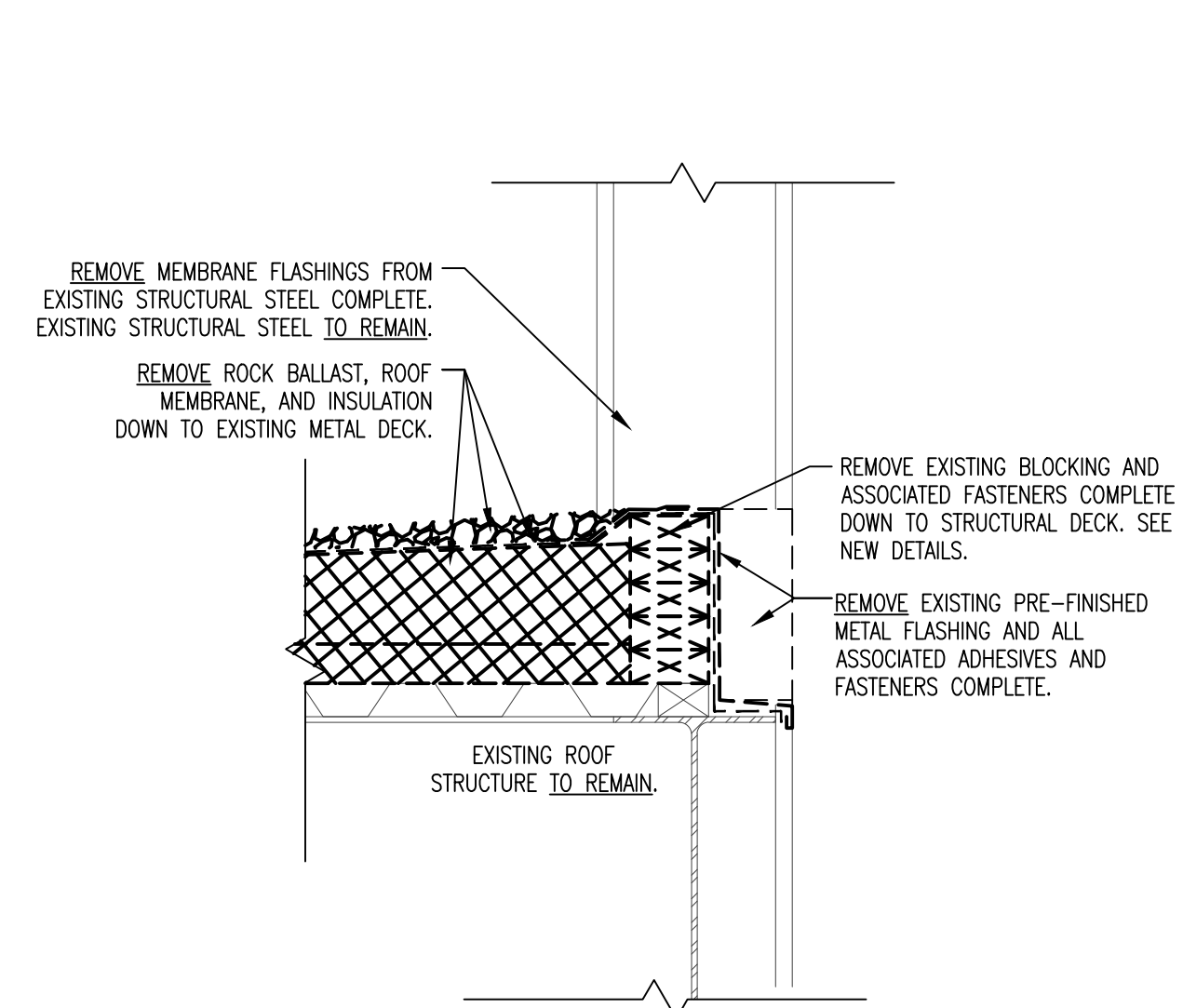
10 DEMO SECTION DETAIL - MECHANICAL CURB FLASHING
SCALE: 1-1/2" = 1'-0"



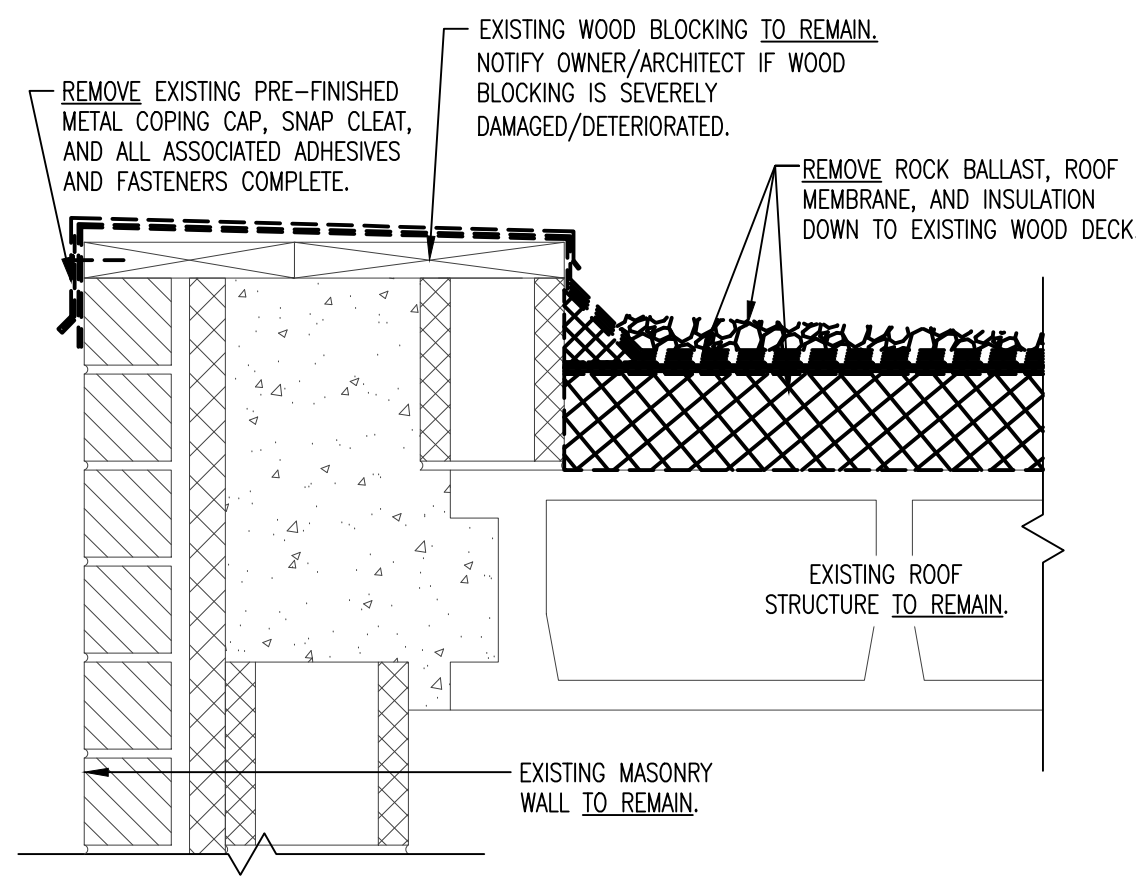
11 DEMO SECTION DETAIL - ROOF DRAIN, TYPICAL
SCALE: 1-1/2" = 1'-0"



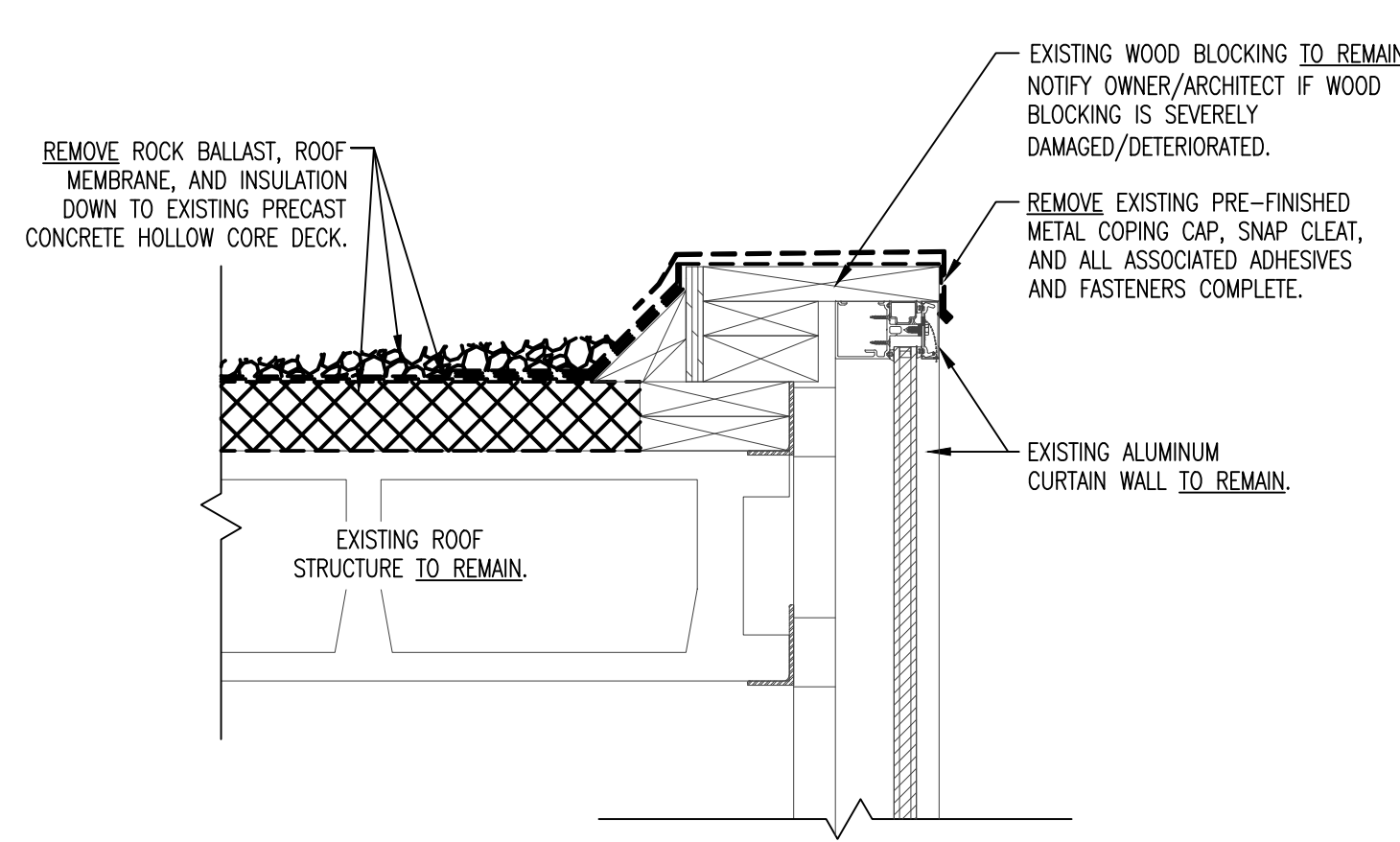
12 DEMO SECTION DETAIL - GUTTER DETAIL @ PRESS BOX
SCALE: 1-1/2" = 1'-0"



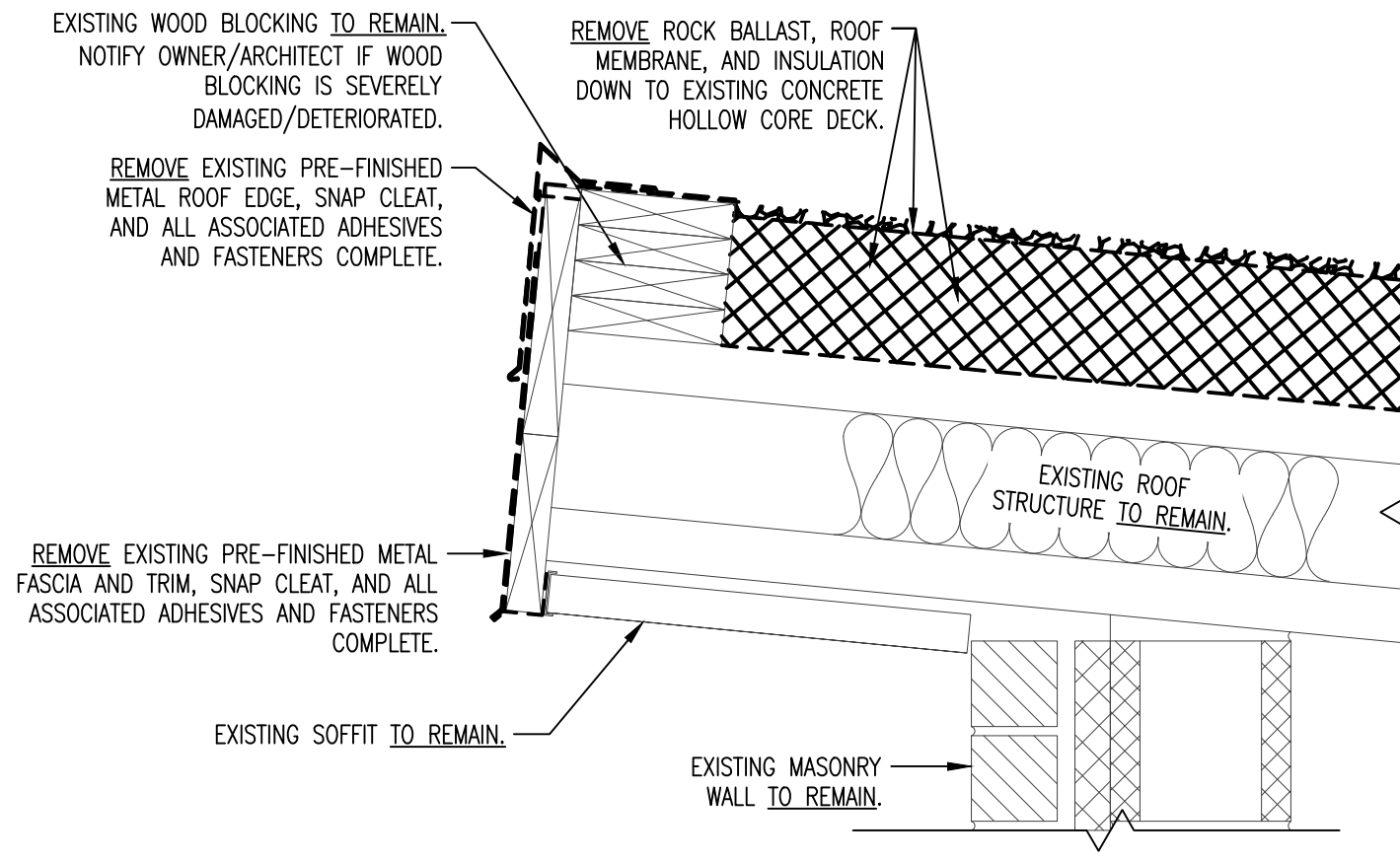
13 DEMO SECTION DETAIL - ROOF EDGE @ PRESS BOX
SCALE: 1-1/2" = 1'-0"



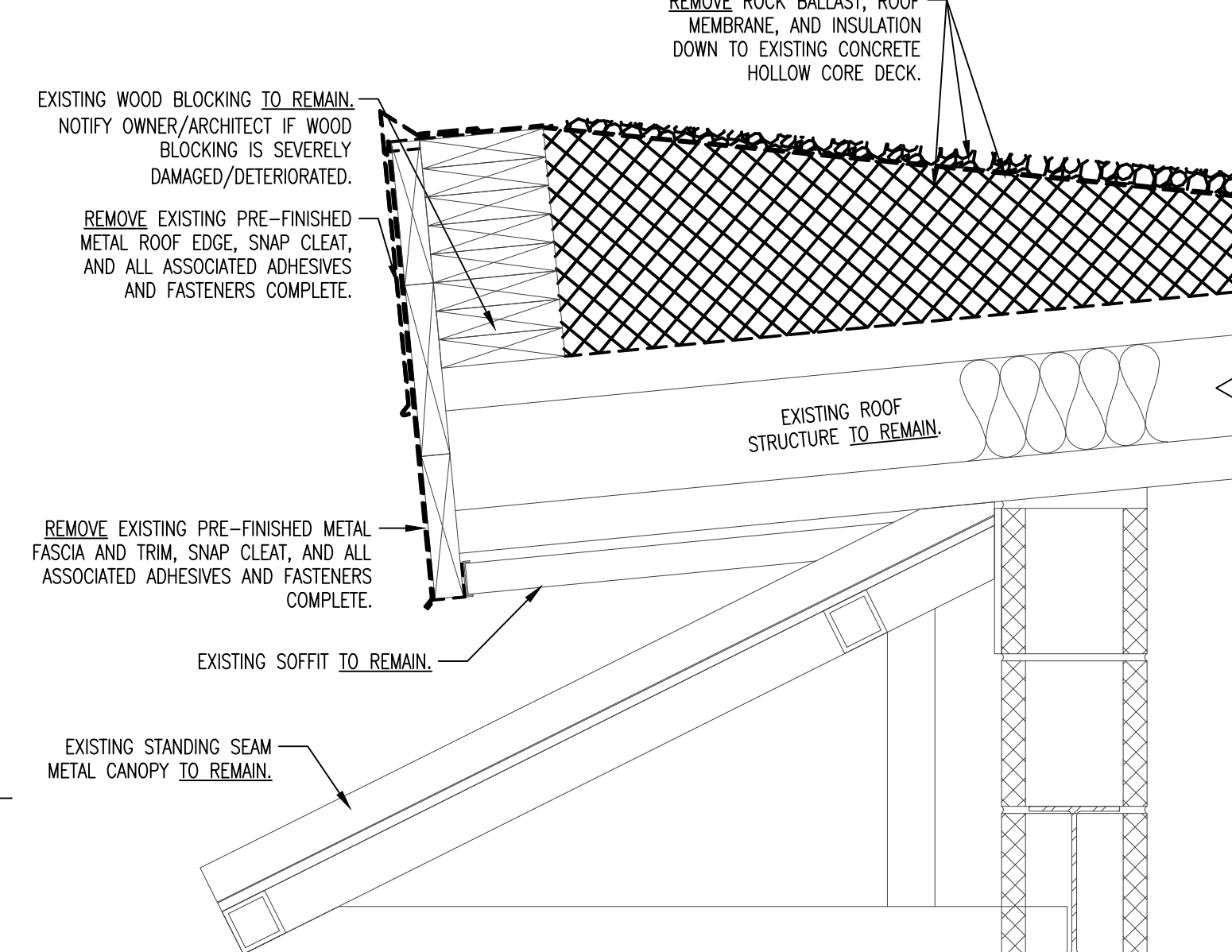
6 DEMO SECTION DETAIL - ROOF EDGE TYP.
SCALE: 1-1/2" = 1'-0"



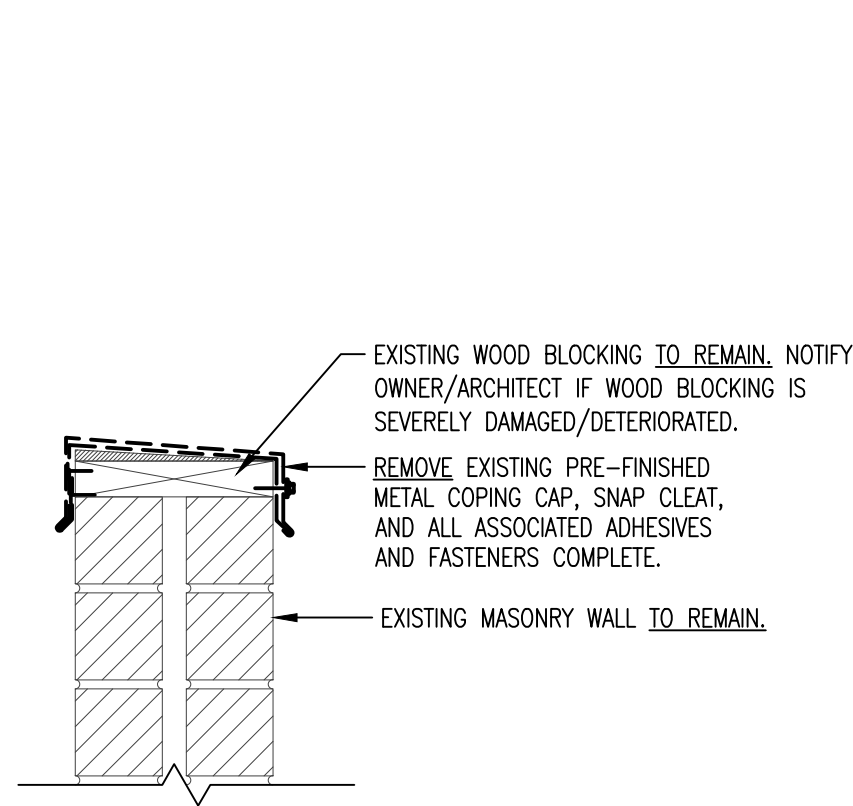
7 DEMO SECTION DETAIL - PARAPET AT ALUMINUM CURTAIN WALL
SCALE: 1-1/2" = 1'-0"



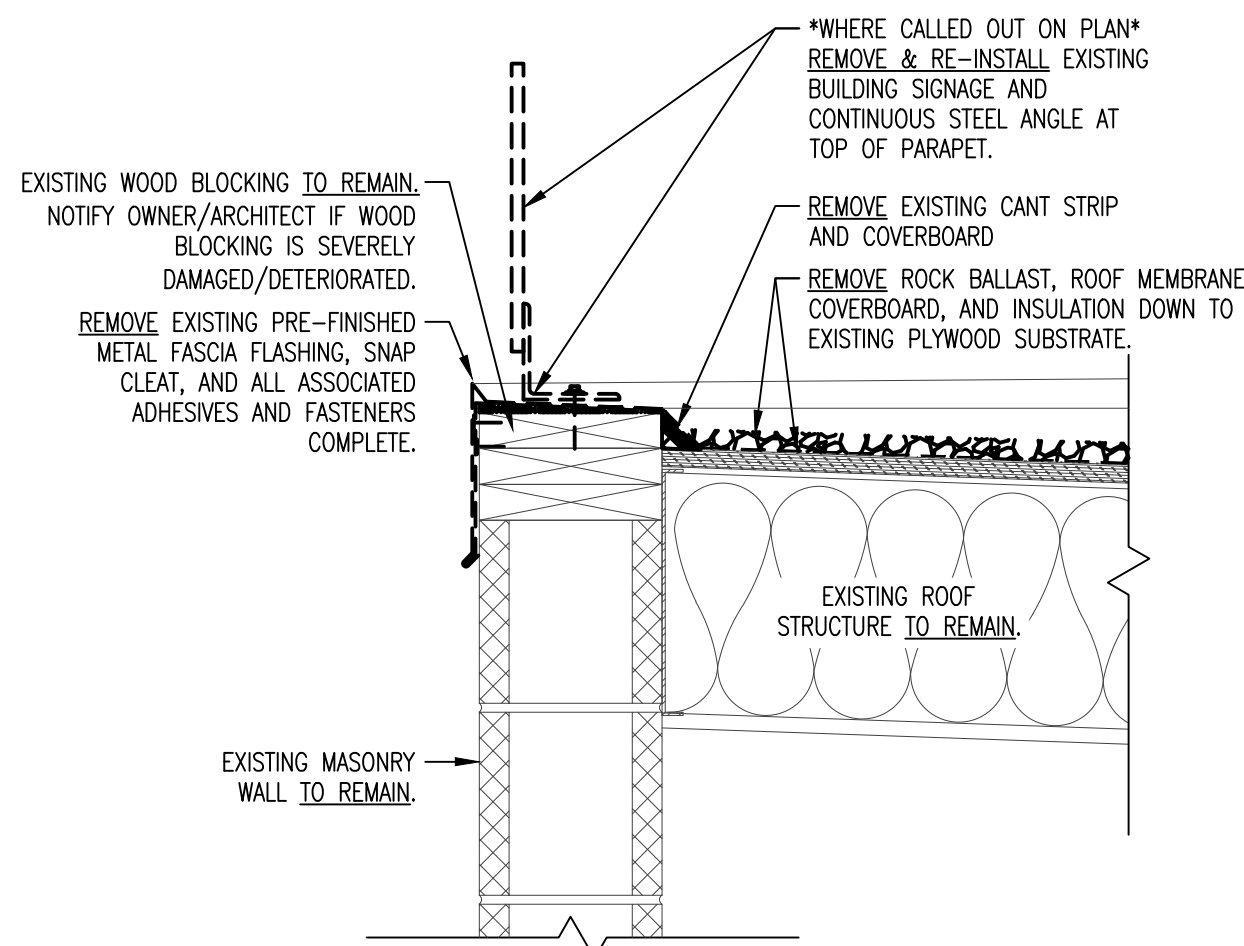
8 DEMO SECTION DETAIL - ROOF EDGE DETAIL @ LOCKER ROOMS (HIGH SIDE)
SCALE: 1-1/2" = 1'-0"



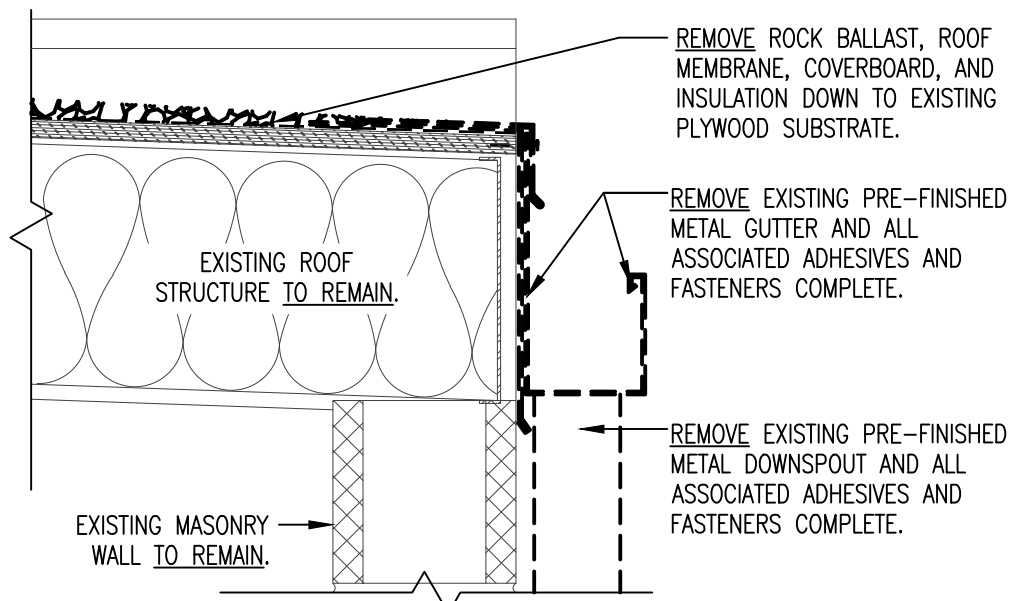
9 DEMO SECTION DETAIL - ROOF EDGE DETAIL @ LOCKER ROOMS (LOW SIDE)
SCALE: 1-1/2" = 1'-0"



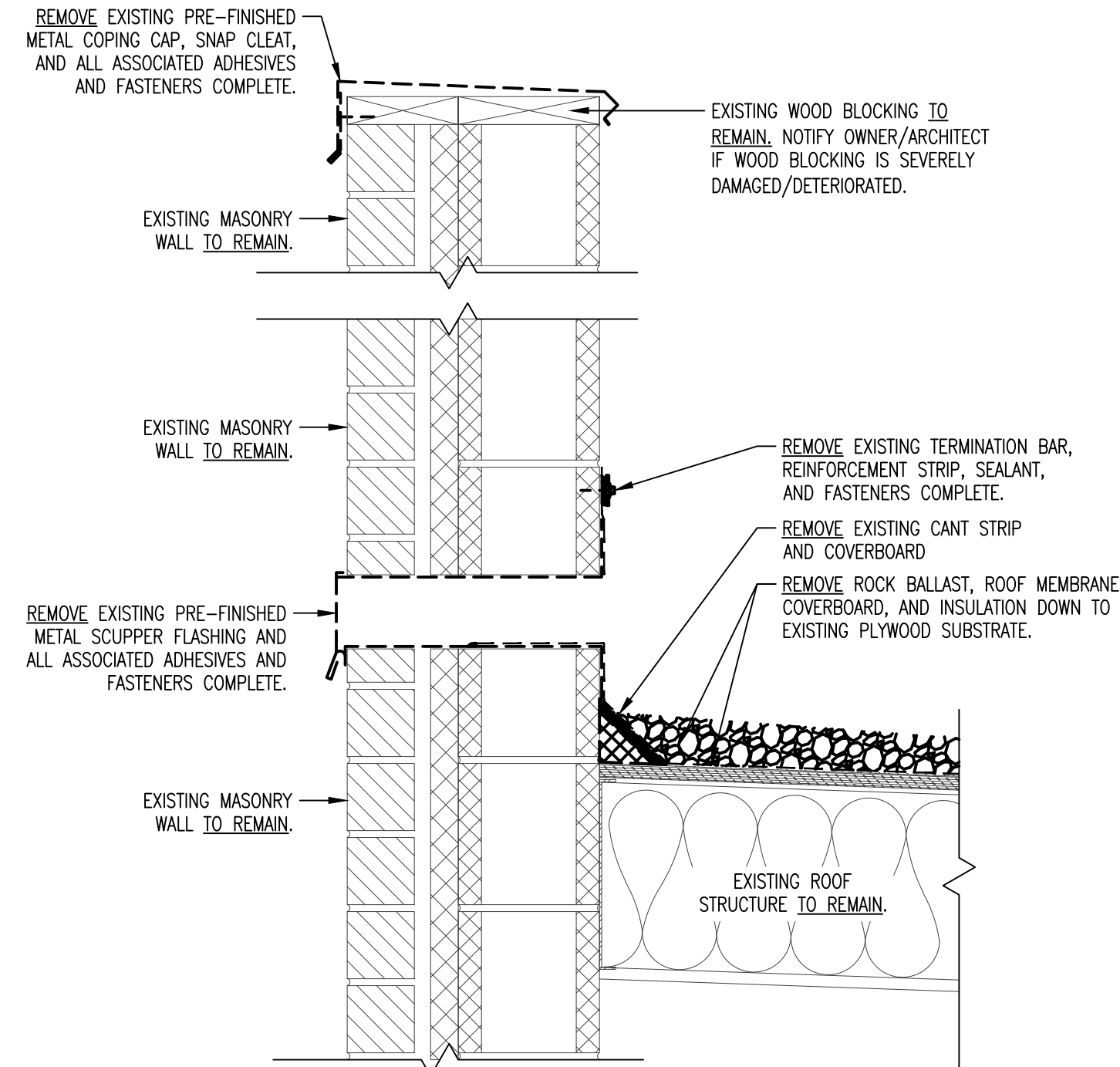
1 DEMO SECTION DETAIL - SCREEN WALL, TYP.
SCALE: 1-1/2" = 1'-0"



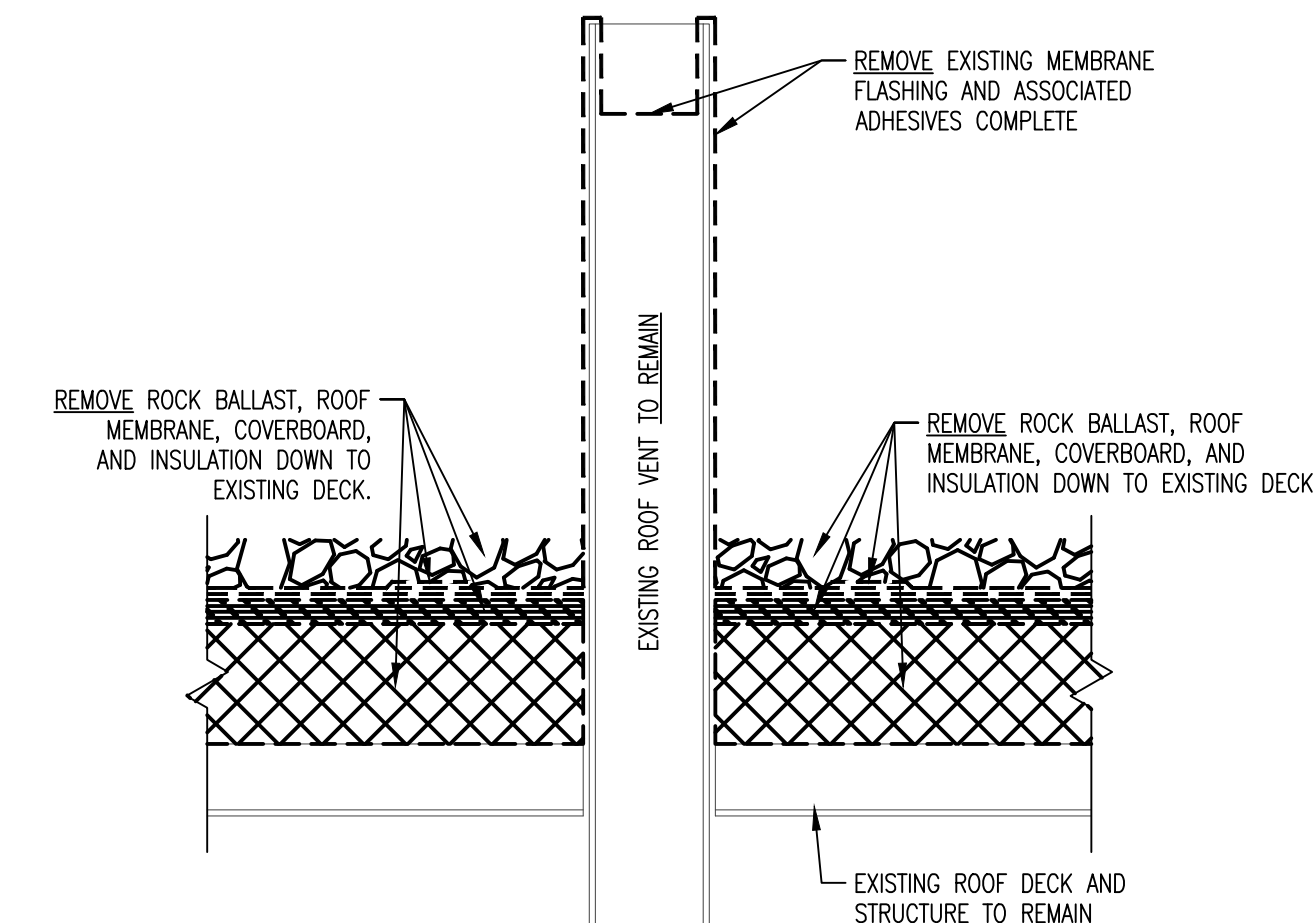
2 DEMO SECTION DETAIL - ROOF EDGE FLASHING
SCALE: 1-1/2" = 1'-0"



3 DEMO SECTION DETAIL - ROOF EDGE W/ DOWNSPOUT
SCALE: 1-1/2" = 1'-0"



4 DEMO SECTION DETAIL - COPING CAP FLASHING @ MACHINE ROOM
SCALE: 1-1/2" = 1'-0"



5 DEMO SECTION DETAIL - ROOF VENT, TYPICAL
SCALE: 3" = 1'-0"

- ROOF PLAN - KEY NOTE LEGEND:
- EPDM ROOF ASSEMBLY:**
PROVIDE & INSTALL NEW ROOF MEMBRANE, COVERBOARD, INSULATION AND/OR VAPOR BARRIER AS DESCRIBED FOR EACH ROOF AREA AS DESCRIBED IN THE ROOF ASSEMBLY DESCRIPTION ON SHEET VSTA-SF1.1.
 - INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS FOR A 30 YEAR WARRANTY AND WATERTIGHT ASSEMBLY.
 - ROOF DRAIN:**
PROVIDE & INSTALL NEW MEMBRANE FLASHING PER MANUFACTURERS INSTRUCTIONS AND REINSTALL CLAMP RING WITH NEW LONGER BOLTS AS REQUIRED. WIRE BRUSH, PRIME AND PAINT 2 COATS OF DTM PAINT ON EXISTING METAL STRAINER BASKET. REPLACE ANY EXISTING PLASTIC STRAINER BASKETS WITH PAINTED CAST IRON. SEE DETAILS.
 - BOOT/PIPE PENETRATION FLASHING:**
EXTEND MEMBRANE FLASHING UP PIPE/CONDUIT, FULLY ADHERE AND SECURE WITH CLAMP RING. PROVIDE & INSTALL BOOT FLASHING PER ROOFING MANUFACTURER. INSTALL STAINLESS STEEL CLAMPING RING AND CONTINUOUS SEALANT BEAD AT TOP OF BOOT FLASHING. SEE DETAILS.
 - SCUPPER FLASHING:**
PROVIDE & INSTALL NEW PREFINISHED STEEL SCUPPER FLASHING WITH 1" UP AND TRIM COLLAR. FULLY ADHERE NEW MEMBRANE FLASHING TO SCUPPER AND INSTALL TOOLED, COLOR MATCHED SEALANT FOR A WATERTIGHT ASSEMBLY. PROVIDE KYNAR 500 FINISH WITH MANUFACTURER'S FINISH WARRANTY. HEM ALL EXPOSED EDGES COLOR: DARK BRONZE. SEE DETAILS.
 - ROOF TOP MECHANICAL CURB FLASHING:**
INSTALL NEW MEMBRANE FLASHING UP AND OVER EXISTING MECHANICAL CURB AND SECURE AT INTERIOR FACE ~90°. PROVIDE PRE-FINISHED METAL COUNTER FLASHING TIGHT TO UNDERSIDE OF ROOF TOP UNIT. INSTALL NEW NEOPRENE GASKET ON TOP OF CURB AND RE-SET MECHANICAL UNIT AS REQUIRED.
 - ROOF EDGE FASCIA FLASHING:**
PROVIDE & INSTALL NEW PRE-FINISHED STEEL ROOF EDGE FLASHING WITH CONTINUOUS CLEAT ON EXTERIOR FACE. FASTEN TO WOOD BLOCKING AND ADHERE ROOF MEMBRANE AND MEMBRANE FLASHING. INSTALL PER ES-1 STANDARD. PROVIDE KYNAR 500 FINISH WITH MANUFACTURER'S FINISH WARRANTY. HEM ALL EXPOSED EDGES. COLOR: DARK BRONZE. SEE DETAILS.
 - COPING CAP FLASHING:**
PROVIDE & INSTALL NEW PRE-FINISHED STEEL COPING CAP WITH CONTINUOUS CLEATS ON BOTH SIDES. INSTALL PER ES-1 STANDARD. PROVIDE KYNAR 500 FINISH WITH MANUFACTURER'S FINISH WARRANTY. HEM ALL EXPOSED EDGES. INSTALL LAP JOINT COVERS AT JOINTS. FIELD VERIFY PARAPET WIDTH PRIOR TO FABRICATION. COLOR: DARK BRONZE. SEE DETAILS.
 - SIGNAGE:**
RE-INSTALL EXISTING BUILDING SIGNAGE WITH ASSOCIATED STEEL ANGLED SUPPORT AT ORIGINAL LOCATION AT TOP OF PARAPET. SEE DETAILS.
 - COUNTER FLASHING:**
EXTEND MEMBRANE FLASHING UP WALL AND SECURE WITH CONTINUOUS TERMINATION BAR. PROVIDE & INSTALL NEW PRE-FINISHED STEEL COUNTER FLASHING WITH CONTINUOUS, TOOLED, COLOR MATCH SEALANT BEAD AT TOP EDGE. PROVIDE KYNAR 500 FINISH WITH MANUFACTURER'S FINISH WARRANTY. HEM ALL EXPOSED EDGES. COLOR: DARK BRONZE. SEE DETAILS.
 - GUTTER:**
PROVIDE & INSTALL NEW PRE-FINISHED STEEL GUTTER WITH CONTINUOUS CLEAT ON EXTERIOR FACE, FASTEN TO WOOD BLOCKING AND ADHERE ROOF MEMBRANE AND MEMBRANE FLASHING. PROVIDE KYNAR 500 FINISH WITH MANUFACTURER'S FINISH WARRANTY. HEM ALL EXPOSED EDGES. COLOR: DARK BRONZE. SEE DETAILS.
 - DOWNSPOUT:**
PROVIDE & INSTALL NEW PRE-FINISHED STEEL DOWNSPOUT. SEE ROOF PLAN FOR GENERAL LOCATION OF DOWNSPOUTS. PROVIDE KYNAR 500 FINISH WITH MANUFACTURERS FINISH WARRANTY. HEM ALL EXPOSED EDGES. EXTEND DOWNSPOUTS TO FULL LENGTH OF EXISTING DOWNSPOUTS AND MATCH EXISTING DISCHARGE (TIE INTO EXISTING DRAIN TILE/BOOT OR ELBOW AWAY FROM BUILDING). COLOR: DARK BRONZE. SEE DETAILS.
 - ROOF DRAIN/RETRO FIT DRAIN INSERT:**
PROVIDE & INSTALL NEW RETROFIT DRAIN INSERT INTO EXISTING ROOF DRAIN PER MANUFACTURER'S INSTRUCTION. SEE SPECIFICATIONS.
 - PITCH PAN:**
PROVIDE & INSTALL PITCH PAN, CAP AND INFILL. EXISTING CONDUIT/MECHANICAL LINES AND STRUCTURAL STEEL COLUMNS TO REMAIN. SEE DETAILS.
 - FLUID APPLIED MEMBRANE FLASHING:**
PROVIDE & INSTALL FLUID APPLIED MEMBRANE FLASHING AROUND EXISTING STRUCTURAL STEEL PER MANUFACTURER'S REQUIREMENTS. SEE DETAILS.


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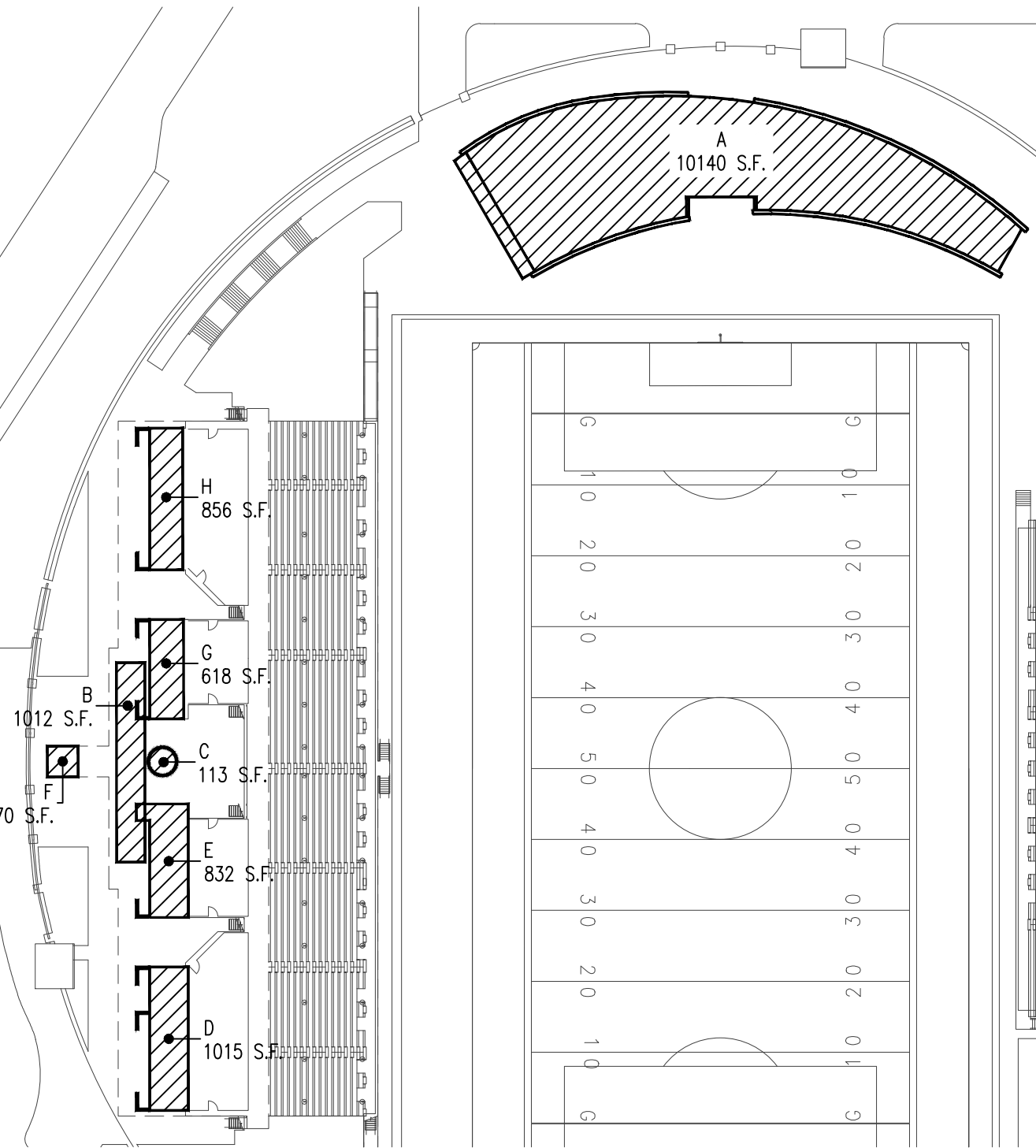
ROOF PLAN GENERAL NOTES

- BOLD & DASHED LINES INDICATE ITEMS TO BE REMOVED UNLESS NOTED OTHERWISE. PATCH & REPAIR ALL ADJACENT SURFACES TO MATCH EXISTING SURFACE & REMOVED ITEMS. SEE RELATED DOCUMENTS FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS & REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH NEW WORK, INCLUDING COORDINATION WITH ALL MECHANICAL, ELECTRICAL, AND PLUMBING TRADES. CONTRACTOR SHALL COORDINATE WITH THE SHEETS OF ALL OTHER DISCIPLINES. ADDITIONAL DEMOLITION SCOPE MAY BE SHOWN ON MECHANICAL OR ANY OTHER DOCUMENTS RELATED TO THIS PROJECT.
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- DUST CONTROL & DEBRIS CONTAINMENT MEASURES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. DUST SHALL BE CONTROLLED SO NOT TO INFILTRATE ADJACENT INTERIOR SPACES & EXISTING MECHANICAL EQUIPMENT. DEMOLITION DEBRIS, INCLUDING BUT NOT LIMITED TO COVER BOARD, GRAVEL, BALLAST, AND ROOF INSULATION SHALL BE CONTROLLED SO NOT TO DAMAGE EXISTING VEGETATION OR BLOW ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS. IF DUST OR DEBRIS MIGRATION IS FOUND, THE CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING ALL EFFECTED AREAS AT NO ADDITIONAL COST TO THE OWNER.
- PROVIDE WALK PADS FROM ROOF ACCESS POINTS AND LADDER LOCATIONS TO ALL ROOF TOP EQUIPMENT LOCATIONS. TYP. AREAS SHOWN ON PLAN ARE APPROXIMATE. FIELD VERIFY ALL EQUIPMENT LOCATIONS AND ROOF ACCESS POINTS.
- CONTRACTOR SHALL THOROUGHLY CLEAN ROOF PRIOR TO PROJECT COMPLETION. REMOVE ALL ROOFING MATERIALS, TOOLS, FASTENERS, EMPTY BUCKETS, USED SEALANT TUBES AND GENERAL REFUSE FROM THE ROOF AND CLEAN ANY DIRT, DUST OR METAL SHAVINGS PRIOR TO COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL USE A MAGNET TO PICK UP ALL FASTENERS AND METAL SCRAPS THAT MAY CAUSE A PUNCTURE IN THE MEMBRANE. SWEEP DUST AND DEBRIS WITH A BROOM, BAG AND REMOVE FROM THE ROOF. RINSE REMAINING DIRT WITH A LOW PRESSURE HOSE.
- CONTRACTOR SHALL INSTALL EXPANSION JOINTS AND CONTROL JOINTS TO MATCH EXISTING INSTALLATION CONDITION. CONTRACTOR IS RESPONSIBLE FOR REPLACING ALL MANUFACTURER REQUIRED OR RECOMMENDED JOINTS INCLUDING ANY NOT INDICATED ON THE DRAWINGS.
- CONTRACTOR SHALL PROVIDE AND INSTALL SEALANT AT ALL LOCATIONS INDICATED ON DRAWINGS AND AS REQUIRED FOR A WATER TIGHT ASSEMBLY. SEALANT THAT IS VISIBLE FROM THE GROUND AND/OR USED WITH PREFINISHED METAL COPING/FLASHING SHALL BE COLOR MATCHED TO THE ADJACENT MATERIAL. JOINTS SHALL BE TOOLED. JOINTS THAT ARE NOT TOOLED, COLOR MATCHED OR HAVE EXCESSIVE SEALANT ON ADJACENT MATERIALS WILL NOT BE ACCEPTED. REJECTED JOINTS WILL BE FULLY REMOVED AND REINSTALLED.
- CONTRACTOR SHALL REMOVE AND REINSTALL ROOF TOP MECHANICAL UNITS (RTU) AS REQUIRED TO INSTALL NEW MEMBRANE ROOFING. OWNER SHALL HIRE A SEPARATE MECHANICAL CONTRACTOR TO LIFT & RAISE CURBS OF ROOFTOP UNITS TO ALLOW FOR INCREASED ROOF INSULATION THICKNESS. ROOFING CONTRACTOR SHALL COORDINATE W/OWNER AND REMOVE EXISTING GASKET, SEALANT, ROOF FLASHING, AND ALL RELATED ADHESIVES AND FASTENERS. PREPARE CURB FOR NEW FLASHING. SEE DETAILS. PRIOR TO REINSTALLING RTU'S, MECHANICAL CONTRACTOR SHALL INSPECT ALL PIPING, ELECTRICAL CONNECTIONS AND DUCTING, AND REPLACE ANY DAMAGED MATERIALS WITH NEW. ALL RTU'S SHALL BE TESTED AND FOUND TO BE IN PROPER WORKING ORDER. CONTRACTOR SHALL PROVIDE INSPECTION REPORT TO THE OWNER PRIOR TO PROJECT COMPLETION.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION. THE LOCATIONS OF EXISTING DEVICES, SIZE OF EXISTING COMPONENTS, ALONG WITH ALL EXISTING HEIGHTS, WIDTHS, SECTIONS AND DETAILS WERE DERIVED FROM RECORD DRAWINGS OF THE PREVIOUS ARCHITECT AND LIMITED FIELD VERIFICATION AND/OR ON-SITE OBSERVATIONS.
- CONTRACTOR SHALL PRE-DRILL AT ALL LOCATIONS WHERE MASONRY FASTENERS ARE CALLED TO BE INSTALLED IN MASONRY VENEER. ALL FASTENERS SHALL BE INSTALLED IN MORTAR JOINTS. DO NOT INSTALL MASONRY FASTENERS IN BRICK VENEER. DAMAGED BRICK VENEER SHALL BE REPLACED AT NO COST TO THE OWNER.

GENERAL ROOF PLAN SYMBOL KEY	
	MEMBRANE ROOF
	BUILT-UP ROOF
	METAL COPING/FASCIA FLASHING
	TAPERED INSULATION OVER SLOPED INSULATION (SEE PLAN FOR SLOPE)
	ROOF DRAIN/ROOF AND OVERFLOW DRAIN
	VENT THROUGH ROOF (VTR)
	PIPING PENETRATION (FLUE SIM)
	POWER ROOF VENT (PRV)
	WALKPAD
	PITCH PAN
	MECHANICAL ROOF TOP UNIT (RTU)
	EXISTING STEEL STRUCTURE
	ROOF SLOPE W/ VERTICAL FALL PER FOOT OF HORIZONTAL RUN AT TOP SURFACE OF HIGHEST SHEET OF INSULATION

ALL PORTIONS OF THE WORK RELATED TO THE INSTALLATION OF THE ROOF MEMBRANE SHALL BE PERFORMED BY THE CONTRACTOR, UTILIZING ITS OWN ORGANIZATION AND WORK FORCE. NO PORTION OF THE WORK RELATED TO THE INSTALLATION OF THE ROOF MEMBRANE MAY BE SUBCONTRACTOR OUT TO ANY SUB-CONTRACTOR.

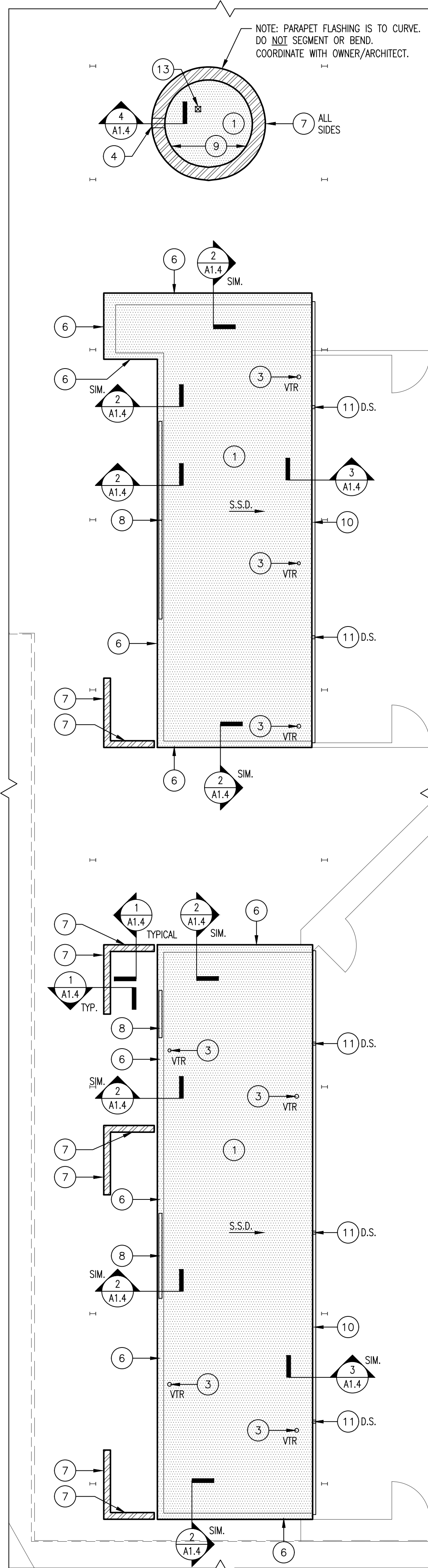
IF UNANTICIPATED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT PROCEED WITH DEMOLITION. IMMEDIATELY CONTACT THE OWNER. ARCHITECT HAS NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, DISPOSAL OF, OR EXPOSURE TO, HAZARDOUS MATERIALS OR TOXIC SUBSTANCES, IN ANY FORM, ON THE PROJECT SITE. CONTACT OWNER FOR INFORMATION REGARDING TESTING & ABATEMENT.THE PROJECT SHALL MEET ALL RELEVANT FEDERAL AND STATE REGULATIONS REGARDING REGULATED ASBESTOS-CONTAINING MATERIALS (ACMs), INCLUDING BUT NOT LIMITED TO THE FOLLOWING: NOTIFYING THE EPA, DNR AND NESHAP; COMPLETING ASBESTOS SURVEY BY A LICENSED ASBESTOS BUILDING INSPECTOR IN ORDER TO IDENTIFY, CLASSIFY AND QUANTIFY ALL ACMs; SUBMISSION OF A DEMOLITION NOTIFICATION FORM TO THE DNR AT LEAST 10 WORKING DAYS PRIOR TO THE START OF DEMOLITION (REGARDLESS OF WHETHER ACMs WERE DISCOVERED); AND REMOVAL OF ACMs BY A PERMITTED ASBESTOS ABATEMENT CONTRACTOR.



ROOF KEYPLAN

SCALE: 1/64" = 1'-0"

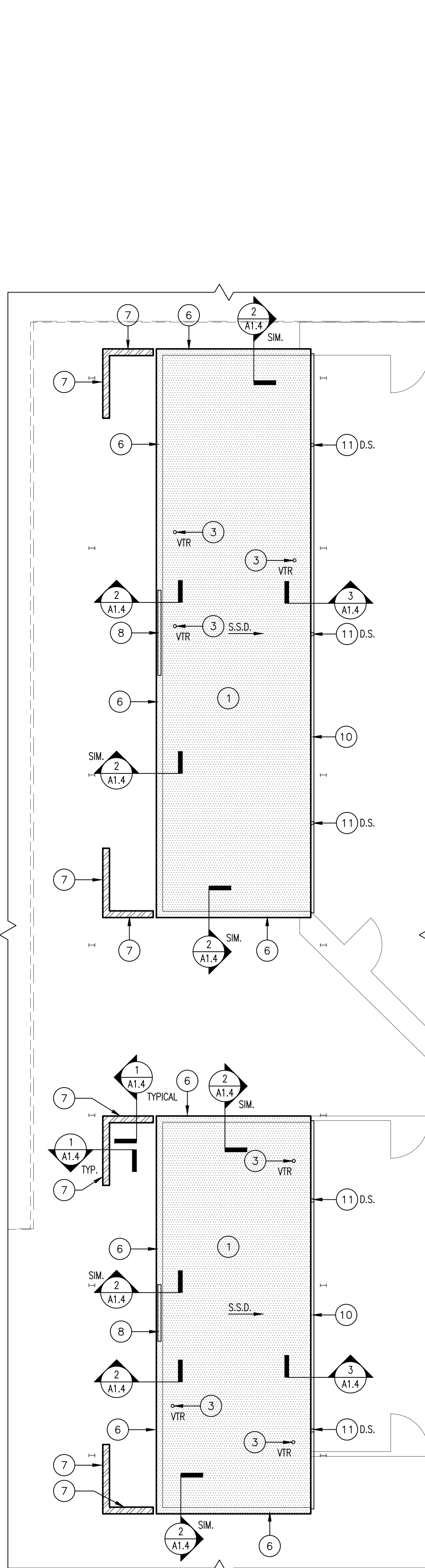
TOTAL ROOF AREA OF THIS PROJECT IS APPROXIMATELY : 14,756 S.F.
AREAS SHOWN ARE FOR GENERAL REFERENCE PURPOSES ONLY.
CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL QUANTITIES PRIOR TO BIDDING.



1

ROOF PLAN - ROOF SECTION 'C', 'E', & 'D'

SCALE: 1/8" = 1'-0"



2

ROOF PLAN - ROOF SECTION 'H' & 'G'

SCALE: 1/8" = 1'-0"

PRINT DATE: SEPTEMBER, 9TH 2025

SHEET NAME: R O O F P L A N

WDMCS 2025 ROOF REPLACEMENTS

4440 MILLS CIVIC PKWY
WEST DES MOINES, IOWA 50265

V A L L E Y
S T A D I U M

S T U D I O M E L E E

1 3 9 4 T H S T R E E T
WEST DES MOINES, IOWA 50265

THESE DOCUMENTS ARE PREPARED BY A PROFESSIONAL SERVICE AND SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THESE DOCUMENTS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MEELE, LLC. UNAUTHORIZED REPRODUCTION IS PROHIBITED.

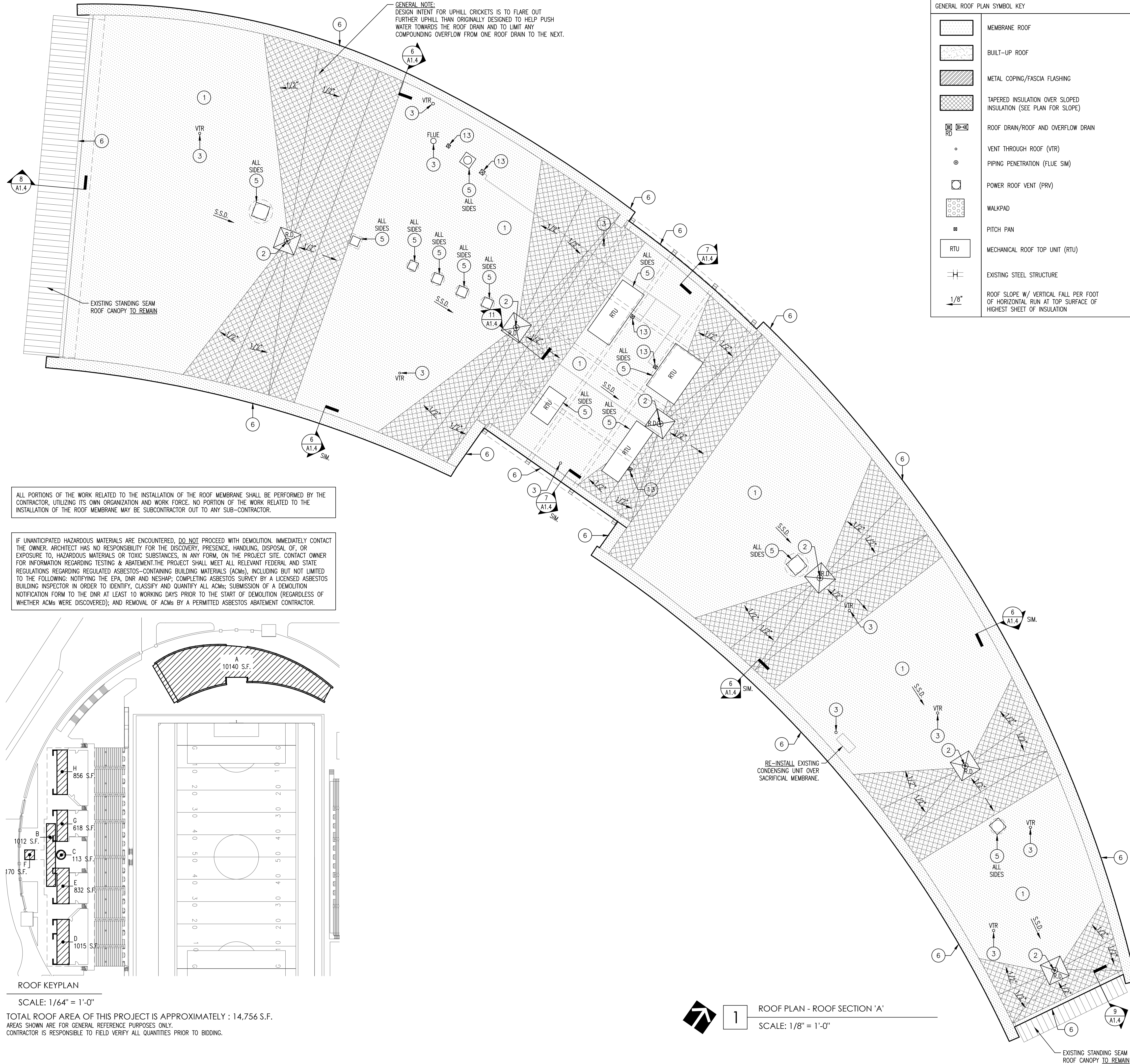
VSTA-A1.1

- ROOF PLAN - KEY NOTE LEGEND:
- EPDM ROOF ASSEMBLY:**
PROVIDE & INSTALL NEW ROOF MEMBRANE, COVERBOARD, INSULATION AND/OR VAPOR BARRIER AS DESCRIBED FOR EACH ROOF AREA AS DESCRIBED IN THE ROOF ASSEMBLY DESCRIPTION ON SHEET VSTA-SF1.1.

INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS FOR A 30 YEAR WARRANTY AND WATERTIGHT ASSEMBLY.
 - ROOF DRAIN:**
PROVIDE & INSTALL NEW MEMBRANE FLASHING PER MANUFACTURER'S INSTRUCTIONS AND REINSTALL CLAMP RING WITH NEW LONGER BOLTS AS REQUIRED. WIRE BRUSH, PRIME AND PAINT 2 COATS OF DTM PAINT ON EXISTING METAL STRAINER BASKET. REPLACE ANY EXISTING PLASTIC STRAINER BASKETS WITH PAINTED CAST IRON. SEE DETAILS.
 - BOOT/PIPE PENETRATION FLASHING:**
EXTEND MEMBRANE FLASHING UP PIPE/CONDUIT, FULLY ADHERE AND SECURE WITH CLAMP RING. PROVIDE & INSTALL BOOT FLASHING PER ROOFING MANUFACTURER. INSTALL STAINLESS STEEL CLAMPING RING AND CONTINUOUS SEALANT BEAD AT TOP OF BOOT FLASHING. SEE DETAILS.
 - SCUPPER FLASHING:**
PROVIDE & INSTALL NEW PREFINISHED STEEL SCUPPER FLASHING WITH 1" UP AND TROW COLLAR. FULLY ADHERE NEW MEMBRANE FLASHING TO SCUPPER AND INSTALL TOOLED, COLOR MATCHED SEALANT FOR A WATERTIGHT ASSEMBLY. PROVIDE KYNAR 500 FINISH WITH MANUFACTURER'S FINISH WARRANTY. HEM ALL EXPOSED EDGES COLOR: DARK BRONZE. SEE DETAILS.
 - ROOF TOP MECHANICAL CURB FLASHING:**
INSTALL NEW MEMBRANE FLASHING UP AND OVER EXISTING MECHANICAL CURB AND SECURE AT INTERIOR FACE ~OR~ PROVIDE PRE-FINISHED METAL COUNTER FLASHING TIGHT TO UNDERSIDE OF ROOF TOP UNIT. INSTALL NEW NEOPRENE GASKET ON TOP OF CURB AND RE-SET MECHANICAL UNIT AS REQUIRED.
 - ROOF EDGE FASCIA FLASHING:**
PROVIDE & INSTALL NEW PRE-FINISHED STEEL ROOF EDGE FLASHING WITH CONTINUOUS CLEAT ON EXTERIOR FACE. FASTEN TO WOOD BLOCKING AND ADHERE ROOF MEMBRANE AND MEMBRANE FLASHING. INSTALL PER ES-1 STANDARD. PROVIDE KYNAR 500 FINISH WITH MANUFACTURER'S FINISH WARRANTY. HEM ALL EXPOSED EDGES. COLOR: DARK BRONZE. SEE DETAILS.
 - COPING CAP FLASHING:**
PROVIDE & INSTALL NEW PRE-FINISHED STEEL COPING CAP WITH CONTINUOUS CLEATS ON BOTH SIDES. INSTALL PER ES-1 STANDARD. PROVIDE KYNAR 500 FINISH WITH MANUFACTURER'S FINISH WARRANTY. HEM ALL EXPOSED EDGES. INSTALL LAP JOINT COVERS AT JOINTS. FIELD VERIFY PARAPET WIDTH PRIOR TO FABRICATION. COLOR: DARK BRONZE. SEE DETAILS.
 - SIGNAGE:**
RE-INSTALL EXISTING BUILDING SIGNAGE WITH ASSOCIATED STEEL ANGLED SUPPORT AT ORIGINAL LOCATION AT TOP OF PARAPET. SEE DETAILS.
 - COUNTER FLASHING:**
EXTEND MEMBRANE FLASHING UP WALL AND SECURE WITH CONTINUOUS TERMINATION BAR. PROVIDE & INSTALL NEW PRE-FINISHED STEEL COUNTER FLASHING WITH CONTINUOUS, TOOLED, COLOR MATCH SEALANT BEAD AT TOP EDGE. PROVIDE KYNAR 500 FINISH WITH MANUFACTURER'S FINISH WARRANTY. HEM ALL EXPOSED EDGES. COLOR: DARK BRONZE. SEE DETAILS.
 - GUTTER:**
PROVIDE & INSTALL NEW PRE-FINISHED STEEL GUTTER WITH CONTINUOUS CLEAT ON EXTERIOR FACE, FASTEN TO WOOD BLOCKING AND ADHERE ROOF MEMBRANE AND MEMBRANE FLASHING. PROVIDE KYNAR 500 FINISH WITH MANUFACTURER'S FINISH WARRANTY. HEM ALL EXPOSED EDGES. COLOR: DARK BRONZE. SEE DETAILS.
 - DOWNSPOUT:**
PROVIDE & INSTALL NEW PRE-FINISHED STEEL DOWNSPOUT. SEE ROOF PLAN FOR GENERAL LOCATION OF DOWNSPOUTS. PROVIDE KYNAR 500 FINISH WITH MANUFACTURER'S FINISH WARRANTY. HEM ALL EXPOSED EDGES. EXTEND DOWNSPOUTS TO FULL LENGTH OF EXISTING DOWNSPOUTS AND MATCH EXISTING DISCHARGE (TIE INTO EXISTING DRAIN TILE/BOOT OR ELBOW AWAY FROM BUILDING). COLOR: DARK BRONZE. SEE DETAILS.
 - ROOF DRAIN/RETRO FIT DRAIN INSERT:**
PROVIDE & INSTALL NEW RETROFIT DRAIN INSERT INTO EXISTING ROOF DRAIN PER MANUFACTURER'S INSTRUCTION. SEE SPECIFICATIONS.
 - PITCH PAN:**
PROVIDE & INSTALL PITCH PAN, CAP AND INFILL. EXISTING CONDUIT/MECHANICAL LINES AND STRUCTURAL STEEL COLUMNS TO REMAIN. SEE DETAILS.
 - FLUID APPLIED MEMBRANE FLASHING:**
PROVIDE & INSTALL FLUID APPLIED MEMBRANE FLASHING AROUND EXISTING STRUCTURAL STEEL PER MANUFACTURER'S REQUIREMENTS. SEE DETAILS.

- DEFINITIONS:
- PRV = POWERED ROOF VENT
 - R.D./O.D. = ROOF DRAIN & OVERFLOW DRAIN
 - E.F. = EXHAUST FAN
 - D.S. = DOWN SPOUT
 - V.V. = FIELD VERIFY
 - RTU = ROOFTOP UNIT
 - E.J. = EXPANSION JOINT
 - VTR = VENT THROUGH ROOF
 - S.S.D. = SLOPED STRUCTURAL DECK
- THIS LEGEND IS FOR VISUAL REFERENCE ONLY

- ROOF PLAN GENERAL NOTES
- BOLD & DASHED LINES INDICATE ITEMS TO BE REMOVED UNLESS NOTED OTHERWISE. PATCH & REPAIR ALL ADJACENT SURFACES TO MATCH EXISTING SURFACE & REMOVED ITEMS. SEE RELATED DOCUMENTS FOR ADDITIONAL INFORMATION.
 - CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS & REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 - CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH NEW WORK, INCLUDING COORDINATION WITH ALL MECHANICAL, ELECTRICAL, AND PLUMBING TRADES. CONTRACTOR SHALL COORDINATE WITH THE SHEETS OF ALL OTHER DISCIPLINES. ADDITIONAL DEMOLITION SCOPE MAY BE SHOWN ON MECHANICAL OR ANY OTHER DOCUMENTS RELATED TO THIS PROJECT.
 - CONTRACTOR SHALL REMOVE ROOF MEMBRANE, BUILT-UP ROOF, ROCK BALLAST, MEMBRANE FLASHING, COVER BOARD, ROOF INSULATION, TAPERED INSULATION, METAL COPING CAP, ROOF CURB FLASHING, COUNTER FLASHING AND ALL RELATED ADHESIVES, FASTENERS, AND SEALANTS. CONTRACTOR SHALL PROTECT THE EXISTING ROOF DECK SHOWN TO REMAIN, THROUGHOUT DEMOLITION AND CONSTRUCTION SO THAT THE EXISTING ROOF DECK IS NOT COMPROMISED. CONTRACTOR SHALL CLEAN THE EXISTING ROOF DECK PRIOR TO INSTALLING NEW VAPOR BARRIER. INSTALL NEW INSULATION, ROOF MEMBRANE AND FLASHING PER MANUFACTURER'S WRITTEN REQUIREMENTS TO RESULT IN A WARRANTED AND WEATHER-TIGHT SYSTEM. REFERENCE SPECIFICATION FOR WARRANTY REQUIREMENTS. CONTRACTOR SHALL MAINTAIN BUILDING WATERTIGHT THROUGHOUT DEMOLITION AND CONSTRUCTION.
 - PRIOR TO PROJECT COMPLETION CONTRACTOR SHALL WATER TEST ROOF AND NOTE LOCATIONS OF PONDING (DEFINED AS AN AREA OF STANDING WATER LARGER THAN 1'-0" IN ANY DIMENSION WITHIN 12 HOURS OF A RAIN EVENT). THESE AREAS SHALL BE REMOVED TO ELIMINATE PONDING AT ALL LOCATIONS. THIS WORK INCLUDES INSTALLATION OF NEW TAPERED INSULATION, RESETTNG ROOF DRAINS AND SCUPPER FLASHING AREAS. OTHER THAN SMALL AREAS OF PONDING DUE TO MEMBRANE LAP AND SEALANT JOINTS, LARGE AREAS OF PONDING WILL NOT BE ACCEPTED. CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT OF TESTING SCHEDULE AND COORDINATE SITE OBSERVATIONS FOR APPROVAL.
 - THE CONTRACTOR SHALL FIELD VERIFY THE WIDTH OF ALL PARAPET, AREA SEPARATION AND EXPANSION JOINT ABOVE ROOF WALLS TO RECEIVE NEW METAL COPING PRIOR TO FABRICATION. SIZES SHOWN ON PLANS OR DETAILS ARE APPROXIMATIONS BASED ON FIELD OBSERVATIONS AND ARE FOR ESTIMATING PURPOSES ONLY.
 - THE CONTRACTOR SHALL FIELD VERIFY ROOF ELEVATIONS RELATIVE TO ALL PARAPET, ROOF EDGE AND EXPANSION JOINT HEIGHTS. CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING NEW ROOF SLOPE AND INSTALLING NEW BLOCKING AT ALL LOCATIONS TO ACCOMMODATE NEW ROOF INSULATION DEPTH AND TAPERED INSULATION SLOPE.
 - THE CONTRACTOR IS RESPONSIBLE FOR MAKING THE ROOF AND WALL CAVITY WATER-TIGHT DURING CONSTRUCTION. EXPOSED WALL CAVITIES, EXPOSED ROOF DECK, OPEN ROOF PENETRATIONS AND OPEN WALLS SHALL BE COVERED AT THE END OF EACH WORK DAY. REMOVE SECTIONS OF ROOFING SMALL ENOUGH TO BE REINSTALLED AND MADE WATERTIGHT BY THE END OF EACH DAY. DAMAGE TO THE BUILDING DUE TO WATER INFILTRATION SHALL BE REPAIRED AND DAMAGED MATERIALS REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
 - CONTRACTOR SHALL PROTECT ALL SURFACES & COMPONENTS SHOWN TO REMAIN THROUGHOUT DEMOLITION AND NEW CONSTRUCTION. CONTRACTOR SHALL REPAIR AND REPLACE ALL DAMAGED SURFACES & COMPONENTS THAT ARE NOT SHOWN TO BE DEMOLISHED. ALL OTHER SURFACES & COMPONENTS NOT SHOWN TO BE "REMOVED," "REMOVED AND SALVAGED," OR "REMOVED AND RE-INSTALLED" SHALL BE CONSIDERED "TO REMAIN."
 - DUST CONTROL & DEBRIS CONTAINMENT MEASURES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. NEW CONSTRUCTION SHALL BE CONTROLLED SO NOT TO INFILTRATE ADJACENT INTERIOR SPACES & EXISTING MECHANICAL EQUIPMENT. DEMOLITION DEBRIS, INCLUDING BUT NOT LIMITED TO COVER BOARD, GRAVEL, BALLAST, AND ROOF INSULATION SHALL BE CONTROLLED SO NOT TO DAMAGE EXISTING VEGETATION OR BLOW ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAY. IF DUST OR DEBRIS MIGRATION IS FOUND, THE CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING ALL EFFECTED AREAS AT NO ADDITIONAL COST TO THE OWNER.
 - PROVIDE WALK PADS FROM ROOF ACCESS POINTS AND LADDER LOCATIONS TO ALL ROOF TOP EQUIPMENT LOCATIONS. TYP. AREAS SHOWN ON PLAN ARE APPROXIMATE. FIELD VERIFY ALL EQUIPMENT LOCATIONS AND ROOF ACCESS POINTS.
 - CONTRACTOR SHALL THOROUGHLY CLEAN ROOF PRIOR TO PROJECT COMPLETION. REMOVE ALL ROOFING MATERIALS, TOOLS, FASTENERS, EMPTY BUCKETS, USED SEALANT TUBES AND GENERAL REFUSE FROM THE ROOF AND CLEAN ANY DIRT, DUST OR METAL SHAVINGS PRIOR TO COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL USE A MAGNET TO PICK UP ALL FASTENERS AND METAL SCRAPS THAT MAY CAUSE A PUNCTURE IN THE MEMBRANE. SWEEP DUST AND DEBRIS WITH A BROOM, BAG AND REMOVE FROM THE ROOF. RINSE REMAINING DIRT WITH A LOW PRESSURE HOSE.
 - CONTRACTOR SHALL INSTALL EXPANSION JOINTS AND CONTROL JOINTS TO MATCH EXISTING INSTALLATION CONDITION. CONTRACTOR IS RESPONSIBLE FOR REPLACING ALL MANUFACTURER REQUIRED OR RECOMMENDED JOINTS INCLUDING ANY NOT INDICATED ON THE DRAWINGS.
 - CONTRACTOR SHALL PROVIDE AND INSTALL SEALANT AT ALL LOCATIONS INDICATED ON DRAWINGS AND AS REQUIRED FOR A WATER TIGHT ASSEMBLY. SEALANT THAT IS VISIBLE FROM THE GROUND AND/OR USED WITH PREFINISHED METAL COPING/FLASHING SHALL BE COLOR MATCHED TO THE ADJACENT MATERIAL. JOINTS SHALL BE TOOLED. JOINTS THAT ARE NOT TOOLED, COLOR MATCHED OR HAVE EXCESSIVE SEALANT ON ADJACENT MATERIALS WILL NOT BE ACCEPTED. REJECTED JOINTS WILL BE FULLY REMOVED AND REINSTALLED.
 - CONTRACTOR SHALL REMOVE AND REINSTALL ROOF TOP MECHANICAL UNITS (RTU) AS REQUIRED TO INSTALL NEW MEMBRANE ROOFING. OWNER SHALL HIRE A SEPARATE MECHANICAL CONTRACTOR TO LIFT & RAISE CURBS OF ROOFTOP UNITS TO ALLOW FOR INCREASED ROOF INSULATION THICKNESS. ROOFING CONTRACTOR SHALL COORDINATE W/OWNER AND REMOVE EXISTING GASKET, SEALANT, ROOF FLASHING, AND ALL RELATED ADHESIVES AND FASTENERS. PREPARE CURB FOR NEW FLASHING. SEE DETAILS. PRIOR TO REINSTALLING RTU'S, MECHANICAL CONTRACTOR SHALL INSPECT ALL PIPING, ELECTRICAL CONNECTIONS AND DUCTING, AND REPLACE ANY DAMAGED MATERIALS WITH NEW. ALL RTU'S SHALL BE TESTED AND FOUND TO BE IN PROPER WORKING ORDER. CONTRACTOR SHALL PROVIDE INSPECTION REPORT TO THE OWNER PRIOR TO PROJECT COMPLETION.
 - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION. THE LOCATIONS OF EXISTING DEVICES, SIZE OF EXISTING COMPONENTS, ALONG WITH ALL EXISTING HEIGHTS, WIDTHS, SECTIONS AND DETAILS WERE DERIVED FROM RECORD DRAWINGS OF THE PREVIOUS ARCHITECT AND LIMITED FIELD VERIFICATION AND/OR ON-SITE OBSERVATIONS.
 - CONTRACTOR SHALL PRE-DRILL AT ALL LOCATIONS WHERE MASONRY FASTENERS ARE CALLED TO BE INSTALLED IN MORTAR JOINTS. DO NOT INSTALL MASONRY FASTENERS IN BRICK VENEER. DAMAGED BRICK VENEER SHALL BE REPLACED AT NO COST TO THE OWNER.

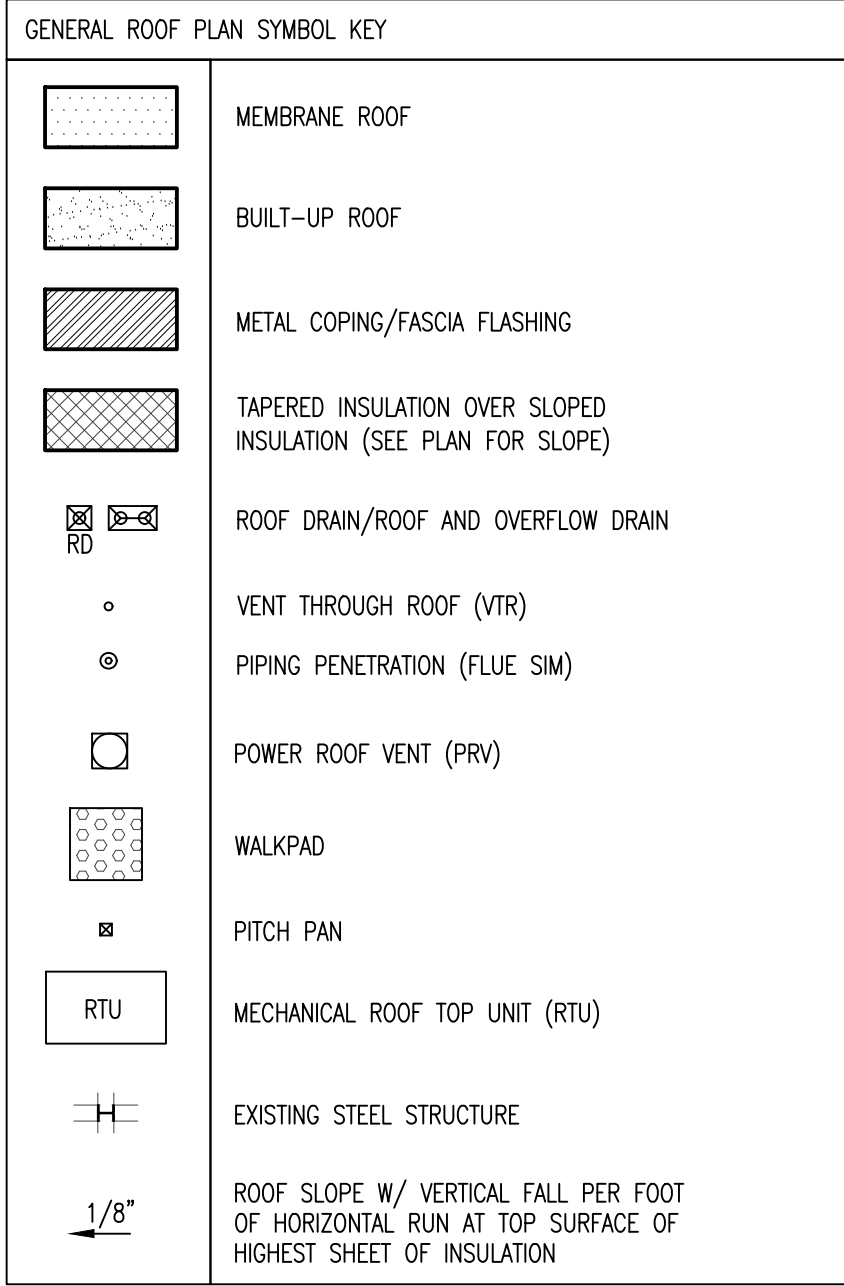


1 ROOF PLAN - ROOF SECTION 'A'
SCALE: 1/8" = 1'-0"

- ROOF PLAN - KEY NOTE LEGEND:
1. EPDM ROOF ASSEMBLY:
PROVIDE & INSTALL NEW ROOF MEMBRANE, COVERBOARD, INSULATION AND/OR VAPOR BARRIER AS DESCRIBED FOR EACH ROOF AREA AS DESCRIBED IN THE ROOF ASSEMBLY DESCRIPTION ON SHEET VSTA-SF1.1.
- INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS FOR A 30 YEAR WARRANTY AND WATERTIGHT ASSEMBLY.
2. ROOF DRAIN:
PROVIDE & INSTALL NEW MEMBRANE FLASHING PER MANUFACTURERS INSTRUCTIONS AND REINSTALL CLAMP RING WITH NEW LONGER BOLTS AS REQUIRED. WIRE BRUSH, PRIME AND PAINT 2 COATS OF DTM PAINT ON EXISTING METAL STRAINER BASKET. REPLACE ANY EXISTING PLASTIC STRAINER BASKETS WITH PAINTED CAST IRON. SEE DETAILS.
3. BOOT/PIPE PENETRATION FLASHING:
EXTEND MEMBRANE FLASHING UP PIPE/CONDUIT, FULLY ADHERE AND SECURE WITH CLAMP RING. PROVIDE & INSTALL BOOT FLASHING PER ROOFING MANUFACTURER. INSTALL STAINLESS STEEL CLAMPING RING AND CONTINUOUS SEALANT BEAD AT TOP OF BOOT FLASHING. SEE DETAILS.
4. SCUPPER FLASHING:
PROVIDE & INSTALL NEW PREFINISHED STEEL SCUPPER FLASHING WITH 1" UP AND TRIM COLLAR. FULLY ADHERE NEW MEMBRANE FLASHING TO SCUPPER AND INSTALL TOOLED, COLOR MATCHED SEALANT FOR A WATERTIGHT ASSEMBLY. PROVIDE KYNAR 500 FINISH WITH MANUFACTURER'S FINISH WARRANTY. HEM ALL EXPOSED EDGES COLOR: DARK BRONZE. SEE DETAILS.
5. ROOF TOP MECHANICAL CURB FLASHING:
INSTALL NEW MEMBRANE FLASHING UP AND OVER EXISTING MECHANICAL CURB AND SECURE AT INTERIOR FACE ~90°. PROVIDE PRE-FINISHED METAL COUNTER FLASHING TIGHT TO UNDERSIDE OF ROOF TOP UNIT. INSTALL NEW NEOPRENE GASKET ON TOP OF CURB AND RE-SET MECHANICAL UNIT AS REQUIRED.
6. ROOF EDGE FASCIA FLASHING:
PROVIDE & INSTALL NEW PRE-FINISHED STEEL ROOF EDGE FLASHING WITH CONTINUOUS CLEAT ON EXTERIOR FACE. FASTEN TO WOOD BLOCKING AND ADHERE ROOF MEMBRANE AND MEMBRANE FLASHING. INSTALL PER ES-1 STANDARD. PROVIDE KYNAR 500 FINISH WITH MANUFACTURER'S FINISH WARRANTY. HEM ALL EXPOSED EDGES. COLOR: DARK BRONZE. SEE DETAILS.
7. COPING CAP FLASHING:
PROVIDE & INSTALL NEW PRE-FINISHED STEEL COPING CAP WITH CONTINUOUS CLEATS ON BOTH SIDES. INSTALL PER ES-1 STANDARD. PROVIDE KYNAR 500 FINISH WITH MANUFACTURER'S FINISH WARRANTY. HEM ALL EXPOSED EDGES. INSTALL LAP JOINT COVERS AT JOINTS. FIELD VERIFY PARAPET WIDTH PRIOR TO FABRICATION. COLOR: DARK BRONZE. SEE DETAILS.
8. SIGNAGE:
RE-INSTALL EXISTING BUILDING SIGNAGE WITH ASSOCIATED STEEL ANGLED SUPPORT AT ORIGINAL LOCATION AT TOP OF PARAPET. SEE DETAILS.
9. COUNTER FLASHING:
EXTEND MEMBRANE FLASHING UP WALL AND SECURE WITH CONTINUOUS TERMINATION BAR. PROVIDE & INSTALL NEW PRE-FINISHED STEEL COUNTER FLASHING WITH CONTINUOUS, TOOLED, COLOR MATCH SEALANT BEAD AT TOP EDGE. PROVIDE KYNAR 500 FINISH WITH MANUFACTURER'S FINISH WARRANTY. HEM ALL EXPOSED EDGES. COLOR: DARK BRONZE. SEE DETAILS.
10. GUTTER:
PROVIDE & INSTALL NEW PRE-FINISHED STEEL GUTTER WITH CONTINUOUS CLEAT ON EXTERIOR FACE, FASTEN TO WOOD BLOCKING AND ADHERE ROOF MEMBRANE AND MEMBRANE FLASHING. PROVIDE KYNAR 500 FINISH WITH MANUFACTURER'S FINISH WARRANTY. HEM ALL EXPOSED EDGES. COLOR: DARK BRONZE. SEE DETAILS.
11. DOWNSPOUT:
PROVIDE & INSTALL NEW PRE-FINISHED STEEL DOWNSPOUT. SEE ROOF PLAN FOR GENERAL LOCATION OF DOWNSPOUTS. PROVIDE KYNAR 500 FINISH WITH MANUFACTURERS FINISH WARRANTY. HEM ALL EXPOSED EDGES. EXTEND DOWNSPOUTS TO FULL LENGTH OF EXISTING DOWNSPOUTS AND MATCH EXISTING DISCHARGE (TIE INTO EXISTING DRAIN TILE/BOOT OR ELBOW AWAY FROM BUILDING). COLOR: DARK BRONZE. SEE DETAILS.
12. ROOF DRAIN/RETRO FIT DRAIN INSERT:
PROVIDE & INSTALL NEW RETROFIT DRAIN INSERT INTO EXISTING ROOF DRAIN PER MANUFACTURER'S INSTRUCTION. SEE SPECIFICATIONS.
13. PITCH PAN:
PROVIDE & INSTALL PITCH PAN, CAP AND INFILL. EXISTING CONDUIT/MECHANICAL LINES AND STRUCTURAL STEEL COLUMNS TO REMAIN. SEE DETAILS.
14. FLUID APPLIED MEMBRANE FLASHING:
PROVIDE & INSTALL FLUID APPLIED MEMBRANE FLASHING AROUND EXISTING STRUCTURAL STEEL PER MANUFACTURER'S REQUIREMENTS. SEE DETAILS.

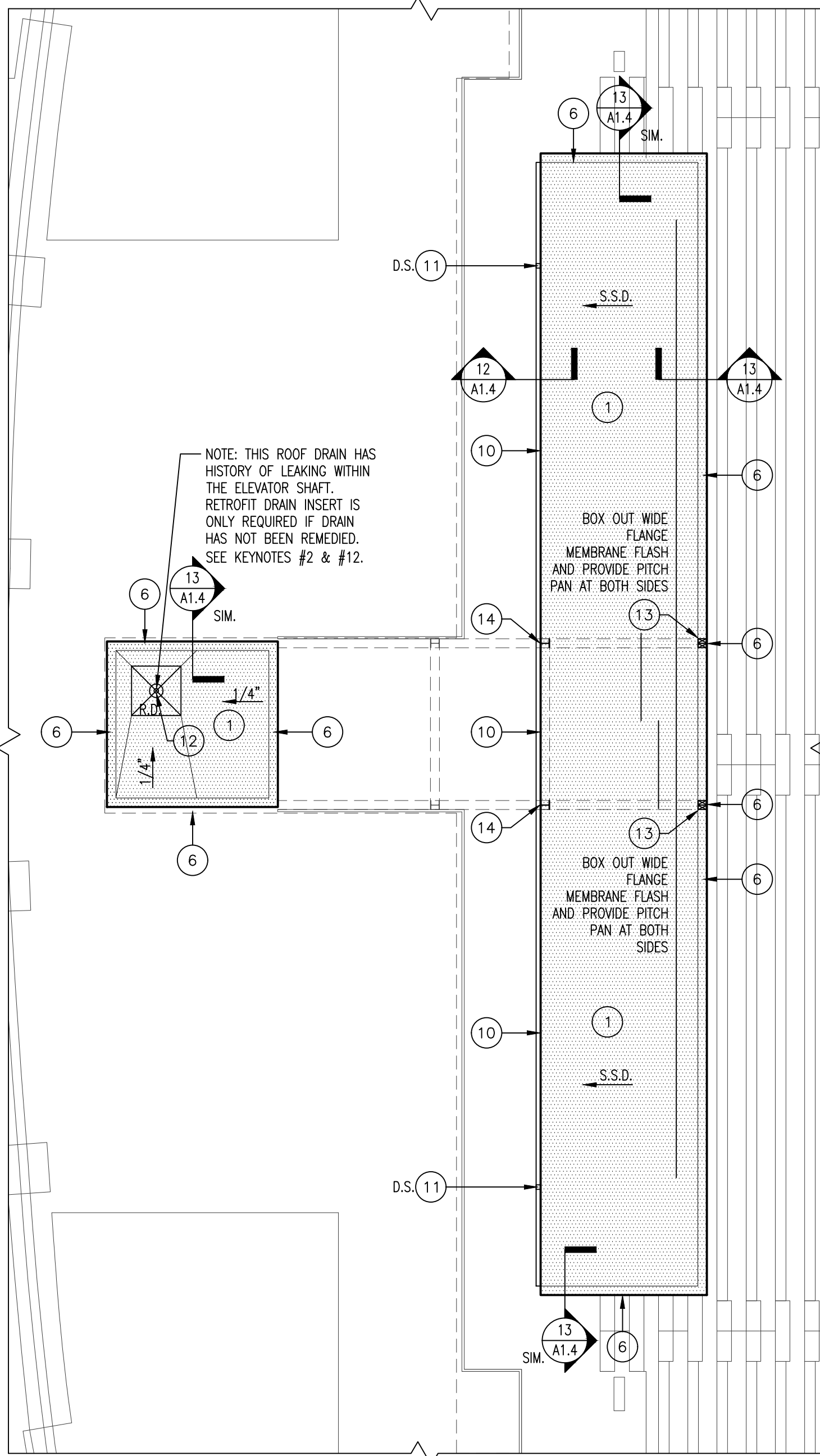
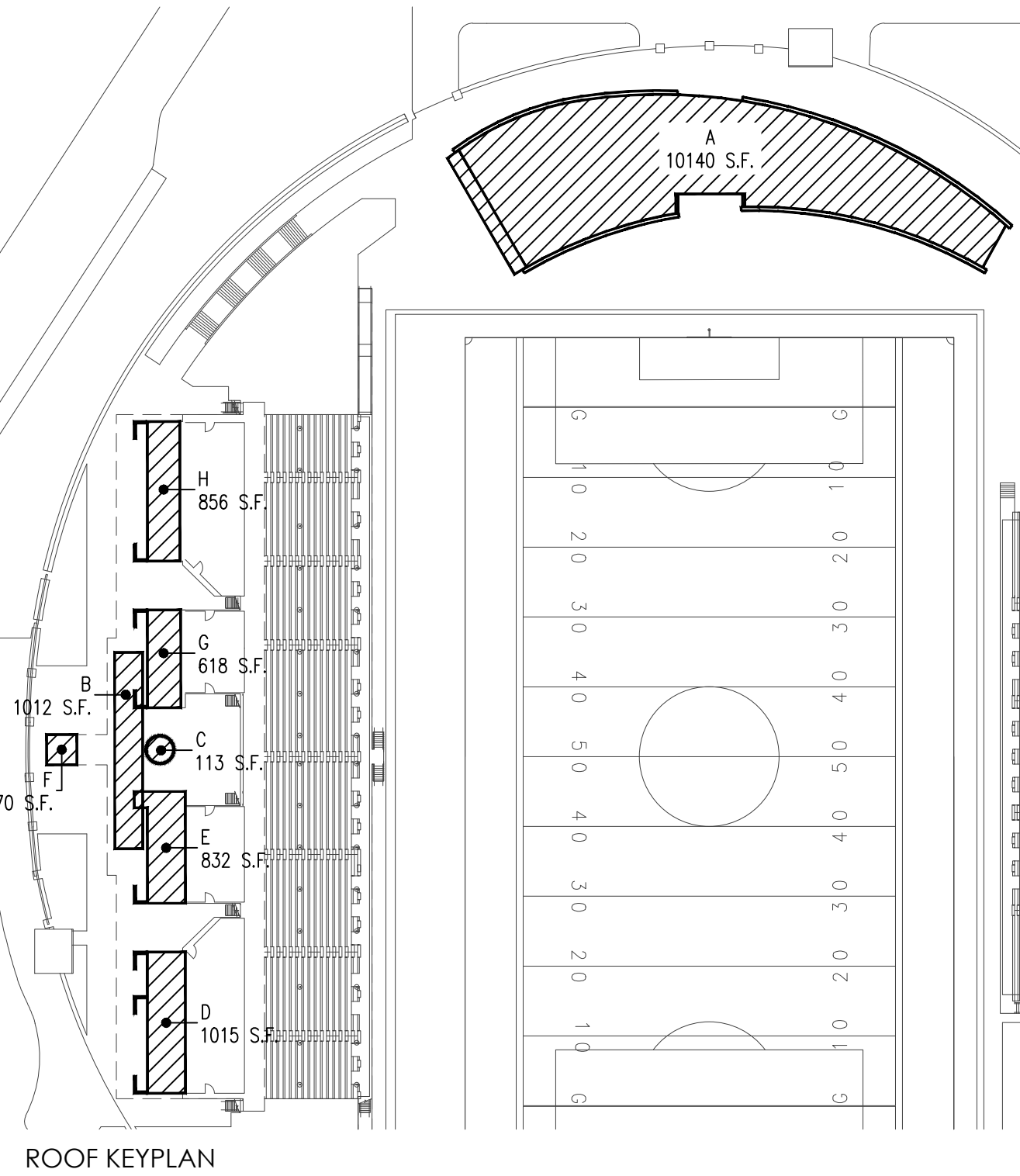
- DEFINITIONS:
- PRV = POWERED ROOF VENT
R.D./O.D. = ROOF DRAIN & OVERFLOW DRAIN
E.F. = EXHAUST FAN
D.S. = DOWN SPOUT
F.V. = FIELD VERIFY
RTU = ROOFTOP UNIT
E.J. = EXPANSION JOINT
VTR = VENT THROUGH ROOF
S.S.D. = SLOPED STRUCTURAL DECK
- THIS LEGEND IS FOR VISUAL REFERENCE ONLY

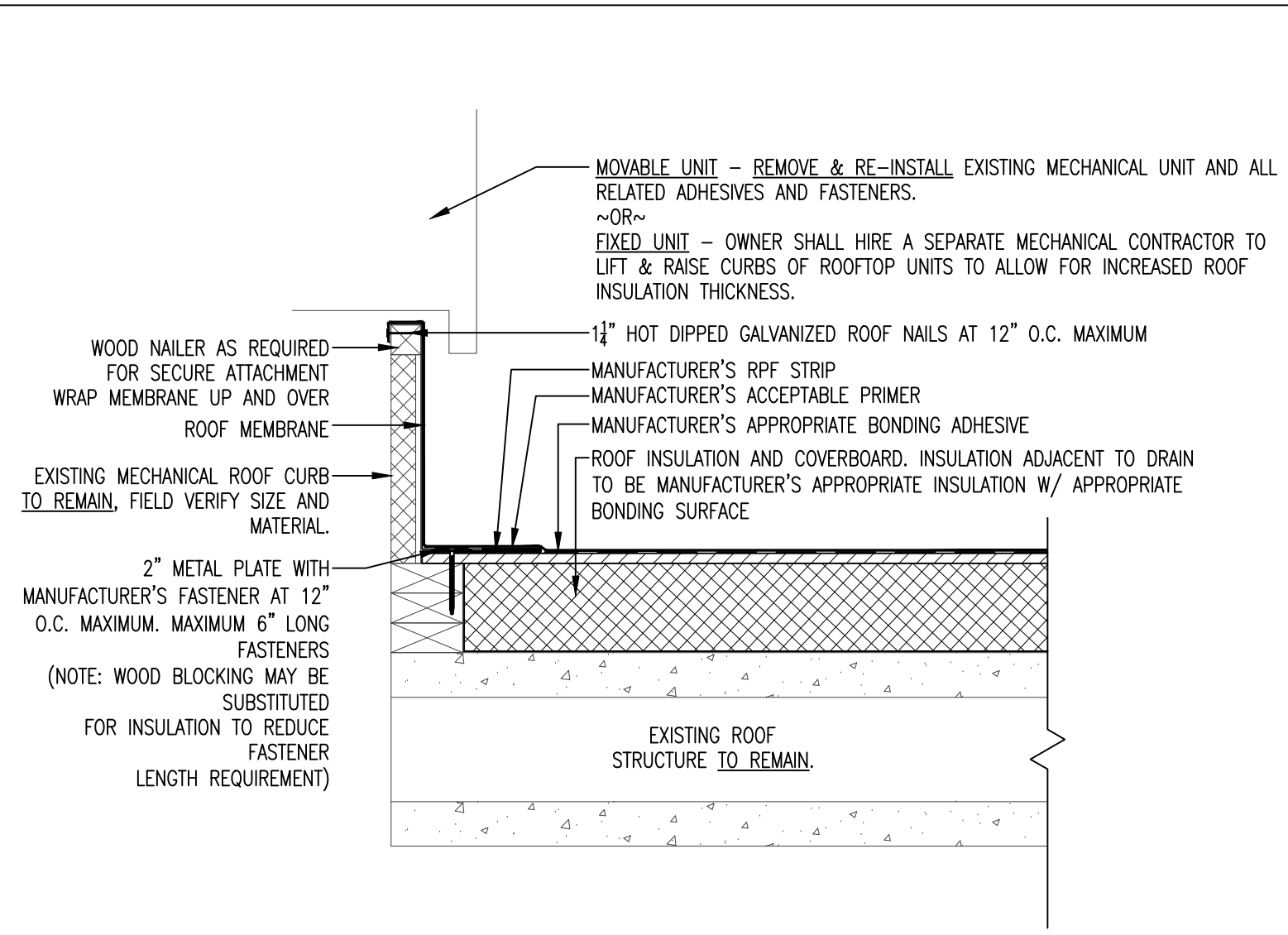
- ROOF PLAN GENERAL NOTES
1. BOLD & DASHED LINES INDICATE ITEMS TO BE REMOVED UNLESS NOTED OTHERWISE. PATCH & REPAIR ALL ADJACENT SURFACES TO MATCH EXISTING SURFACE & REMOVED ITEMS. SEE RELATED DOCUMENTS FOR ADDITIONAL INFORMATION.
2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS & REPORT ANY DISCREPANCIES TO THE ARCHITECT.
3. CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH NEW WORK, INCLUDING COORDINATION WITH ALL MECHANICAL, ELECTRICAL, AND PLUMBING TRADES. CONTRACTOR SHALL COORDINATE WITH THE SHEETS OF ALL OTHER DISCIPLINES. ADDITIONAL DEMOLITION SCOPE MAY BE SHOWN ON MECHANICAL OR ANY OTHER DOCUMENTS RELATED TO THIS PROJECT.
4. CONTRACTOR SHALL REMOVE ROOF MEMBRANE, BUILT-UP ROOF, ROCK BALLAST, MEMBRANE FLASHING, COVER BOARD, ROOF INSULATION, TAPERED INSULATION, METAL COPING CAP, ROOF CURB FLASHING, COUNTER FLASHING AND ALL RELATED ADHESIVES, FASTENERS, AND SEALANTS. CONTRACTOR SHALL PROTECT THE EXISTING ROOF DECK SHOWN TO REMAIN, THROUGHOUT DEMOLITION AND CONSTRUCTION SO THAT THE EXISTING ROOF DECK IS NOT COMPROMISED. CONTRACTOR SHALL CLEAN THE EXISTING ROOF DECK PRIOR TO INSTALLING NEW VAPOR BARRIER. INSTALL NEW INSULATION, ROOF MEMBRANE AND FLASHING PER MANUFACTURERS WRITTEN REQUIREMENTS TO RESULT IN A WARRANTED AND WEATHER-TIGHT SYSTEM. REFERENCE SPECIFICATION FOR WARRANTY REQUIREMENTS. CONTRACTOR SHALL MAINTAIN BUILDING WATERTIGHT THROUGHOUT DEMOLITION AND CONSTRUCTION.
5. PRIOR TO PROJECT COMPLETION CONTRACTOR SHALL WATER TEST ROOF AND NOTE LOCATIONS OF PONDING (DEFINED AS AN AREA OF STANDING WATER LARGER THAN 1'-0" IN ANY DIMENSION WITHIN 12 HOURS OF A RAIN EVENT). THESE AREAS SHALL BE REMOVED TO ELIMINATE PONDING AT ALL LOCATIONS. THIS WORK INCLUDES INSTALLATION OF NEW TAPERED INSULATION, RESETTING ROOF DRAINS AND SCUPPER FLASHING AREAS. OTHER THAN SMALL AREAS OF PONDING DUE TO MEMBRANE LAP AND SEALANT JOINTS, LARGE AREAS OF PONDING WILL NOT BE ACCEPTED. CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT OF TESTING SCHEDULE AND COORDINATE SITE OBSERVATIONS FOR APPROVAL.
6. THE CONTRACTOR SHALL FIELD VERIFY THE WIDTH OF ALL PARAPET, AREA SEPARATION AND EXPANSION JOINT ABOVE ROOF WALLS TO RECEIVE NEW METAL COPING PRIOR TO FABRICATION. SIZES SHOWN ON PLANS OR DETAILS ARE APPROXIMATIONS BASED ON FIELD OBSERVATIONS AND ARE FOR ESTIMATING PURPOSES ONLY.
7. THE CONTRACTOR SHALL FIELD VERIFY ROOF ELEVATIONS RELATIVE TO ALL PARAPET, ROOF EDGE AND EXPANSION JOINT HEIGHTS. CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING NEW ROOF SLOPE AND INSTALLING NEW BLOCKING AT ALL LOCATIONS TO ACCOMMODATE NEW ROOF INSULATION DEPTH AND TAPERED INSULATION SLOPE.
8. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THE ROOF AND WALL CAVITY WATER-TIGHT DURING CONSTRUCTION. EXPOSED WALL CAVITIES, EXPOSED ROOF DECK, OPEN ROOF PENETRATIONS AND OPEN WALLS SHALL BE COVERED AT THE END OF EACH WORK DAY. REMOVE SECTIONS OF ROOFING SMALL ENOUGH TO BE REINSTALLED AND MADE WATERTIGHT BY THE END OF EACH DAY. DAMAGE TO THE BUILDING DUE TO WATER INFILTRATION SHALL BE REPAIRED AND DAMAGED MATERIALS REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
9. CONTRACTOR SHALL PROTECT ALL SURFACES & COMPONENTS SHOWN TO REMAIN THROUGHOUT DEMOLITION AND NEW CONSTRUCTION. CONTRACTOR SHALL REPAIR AND REPLACE ALL DAMAGED SURFACES & COMPONENTS THAT ARE NOT SHOWN TO BE DEMOLISHED. ALL OTHER SURFACES & COMPONENTS NOT SHOWN TO BE "REMOVED," "REMOVED AND SALVAGED," OR "REMOVED AND RE-INSTALLED" SHALL BE CONSIDERED "TO REMAIN."
10. DUST CONTROL & DEBRIS CONTAINMENT MEASURES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. DUST SHALL BE CONTROLLED SO NOT TO INFILTRATE ADJACENT INTERIOR SPACES & EXISTING MECHANICAL EQUIPMENT. DEMOLITION DEBRIS, INCLUDING BUT NOT LIMITED TO COVER BOARD, GRAVEL, BALLAST, AND ROOF INSULATION SHALL BE CONTROLLED SO NOT TO DAMAGE EXISTING VEGETATION OR BLOW ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS. IF DUST OR DEBRIS MIGRATION IS FOUND, THE CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING ALL EFFECTED AREAS AT NO ADDITIONAL COST TO THE OWNER.
11. PROVIDE WALK PADS FROM ROOF ACCESS POINTS AND LADDER LOCATIONS TO ALL ROOF TOP EQUIPMENT LOCATIONS, TYP. AREAS SHOWN ON PLAN ARE APPROXIMATE. FIELD VERIFY ALL EQUIPMENT LOCATIONS AND ROOF ACCESS POINTS.
12. CONTRACTOR SHALL THOROUGHLY CLEAN ROOF PRIOR TO PROJECT COMPLETION. REMOVE ALL ROOFING MATERIALS, TOOLS, FASTENERS, EMPTY BUCKETS, USED SEALANT TUBES AND GENERAL REFUSE FROM THE ROOF AND CLEAN ANY DIRT, DUST OR METAL SHAVINGS PRIOR TO COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL USE A MAGNET TO PICK UP ALL FASTENERS AND METAL SCRAPS THAT MAY CAUSE A PUNCTURE IN THE MEMBRANE. SWEEP DUST AND DEBRIS WITH A BROOM, BAG AND REMOVE FROM THE ROOF. RINSE REMAINING DIRT WITH A LOW PRESSURE HOSE.
13. CONTRACTOR SHALL INSTALL EXPANSION JOINTS AND CONTROL JOINTS TO MATCH EXISTING INSTALLATION CONDITION. CONTRACTOR IS RESPONSIBLE FOR REPLACING ALL MANUFACTURER REQUIRED OR RECOMMENDED JOINTS INCLUDING ANY NOT INDICATED ON THE DRAWINGS.
14. CONTRACTOR SHALL PROVIDE AND INSTALL SEALANT AT ALL LOCATIONS INDICATED ON DRAWINGS AND AS REQUIRED FOR A WATER TIGHT ASSEMBLY. SEALANT THAT IS VISIBLE FROM THE GROUND AND/OR USED WITH PREFINISHED METAL COPING/FLASHING SHALL BE COLOR MATCHED TO THE ADJACENT MATERIAL. JOINTS SHALL BE TOOLED. JOINTS THAT ARE NOT TOOLED, COLOR MATCHED OR HAVE EXCESSIVE SEALANT ON ADJACENT MATERIALS WILL NOT BE ACCEPTED. REJECTED JOINTS WILL BE FULLY REMOVED AND REINSTALLED.
15. CONTRACTOR SHALL REMOVE AND REINSTALL ROOF TOP MECHANICAL UNITS (RTU) AS REQUIRED TO INSTALL NEW MEMBRANE ROOFING. OWNER SHALL HIRE A SEPARATE MECHANICAL CONTRACTOR TO LIFT & RAISE CURBS OF ROOFTOP UNITS TO ALLOW FOR INCREASED ROOF INSULATION THICKNESS. ROOFING CONTRACTOR SHALL COORDINATE W/OWNER AND REMOVE EXISTING GASKET, SEALANT, ROOF FLASHING, AND ALL RELATED ADHESIVES AND FASTENERS. PREPARE CURB FOR NEW FLASHING. SEE DETAILS. PRIOR TO REINSTALLING RTU'S, MECHANICAL CONTRACTOR SHALL INSPECT ALL PIPING, ELECTRICAL CONNECTIONS AND DUCTING, AND REPLACE ANY DAMAGED MATERIALS WITH NEW. ALL RTU'S SHALL BE TESTED AND FOUND TO BE IN PROPER WORKING ORDER. CONTRACTOR SHALL PROVIDE INSPECTION REPORT TO THE OWNER PRIOR TO PROJECT COMPLETION.
16. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION. THE LOCATIONS OF EXISTING DEVICES, SIZE OF EXISTING COMPONENTS, ALONG WITH ALL EXISTING HEIGHTS, WIDTHS, SECTIONS AND DETAILS WERE DERIVED FROM RECORD DRAWINGS OF THE PREVIOUS ARCHITECT AND LIMITED FIELD VERIFICATION AND/OR ON-SITE OBSERVATIONS.
17. CONTRACTOR SHALL PRE-DRILL AT ALL LOCATIONS WHERE MASONRY FASTENERS ARE CALLED TO BE INSTALLED IN MASONRY VENEER. ALL FASTENERS SHALL BE INSTALLED IN MORTAR JOINTS. DO NOT INSTALL MASONRY FASTENERS IN BRICK VENEER. DAMAGED BRICK VENEER SHALL BE REPLACED AT NO COST TO THE OWNER.



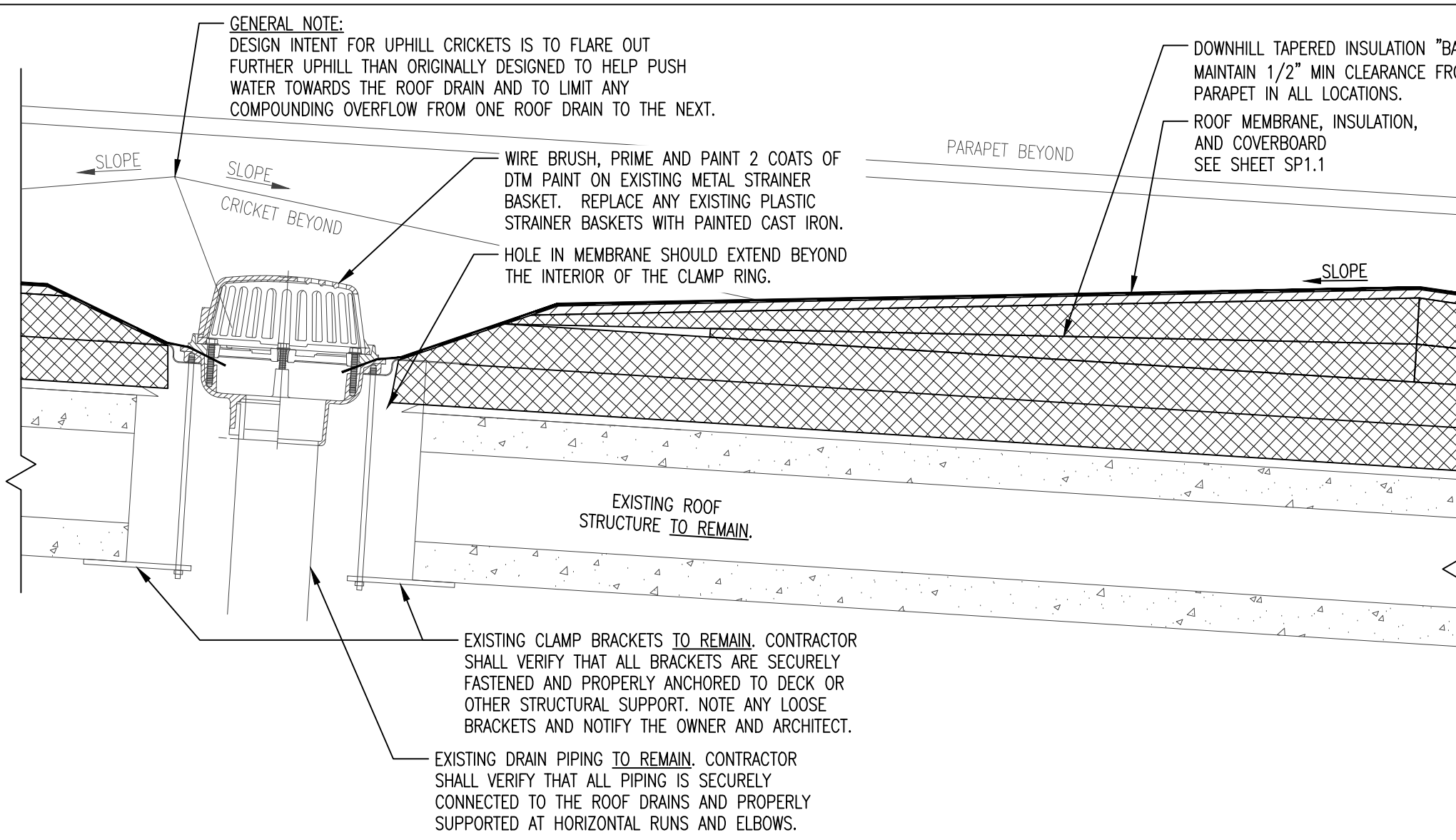
ALL PORTIONS OF THE WORK RELATED TO THE INSTALLATION OF THE ROOF MEMBRANE SHALL BE PERFORMED BY THE CONTRACTOR, UTILIZING ITS OWN ORGANIZATION AND WORK FORCE. NO PORTION OF THE WORK RELATED TO THE INSTALLATION OF THE ROOF MEMBRANE MAY BE SUBCONTRACTOR OUT TO ANY SUB-CONTRACTOR.

IF UNANTICIPATED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT PROCEED WITH DEMOLITION. IMMEDIATELY CONTACT THE OWNER. ARCHITECT HAS NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, DISPOSAL OF, OR EXPOSURE TO, HAZARDOUS MATERIALS OR TOXIC SUBSTANCES, IN ANY FORM, ON THE PROJECT SITE. CONTACT OWNER FOR INFORMATION REGARDING TESTING & ABATEMENT. THE PROJECT SHALL MEET ALL RELEVANT FEDERAL AND STATE REGULATIONS REGARDING REGULATED ASBESTOS-CONTAINING MATERIALS (ACMs), INCLUDING BUT NOT LIMITED TO THE FOLLOWING: NOTIFYING THE EPA, DNR AND NESHAP; COMPLETING ASBESTOS SURVEY BY A LICENSED ASBESTOS BUILDING INSPECTOR IN ORDER TO IDENTIFY, CLASSIFY AND QUANTIFY ALL ACMs; SUBMISSION OF A DEMOLITION NOTIFICATION FORM TO THE DNR AT LEAST 10 WORKING DAYS PRIOR TO THE START OF DEMOLITION (REGARDLESS OF WHETHER ACMs WERE DISCOVERED); AND REMOVAL OF ACMs BY A PERMITTED ASBESTOS ABATEMENT CONTRACTOR.

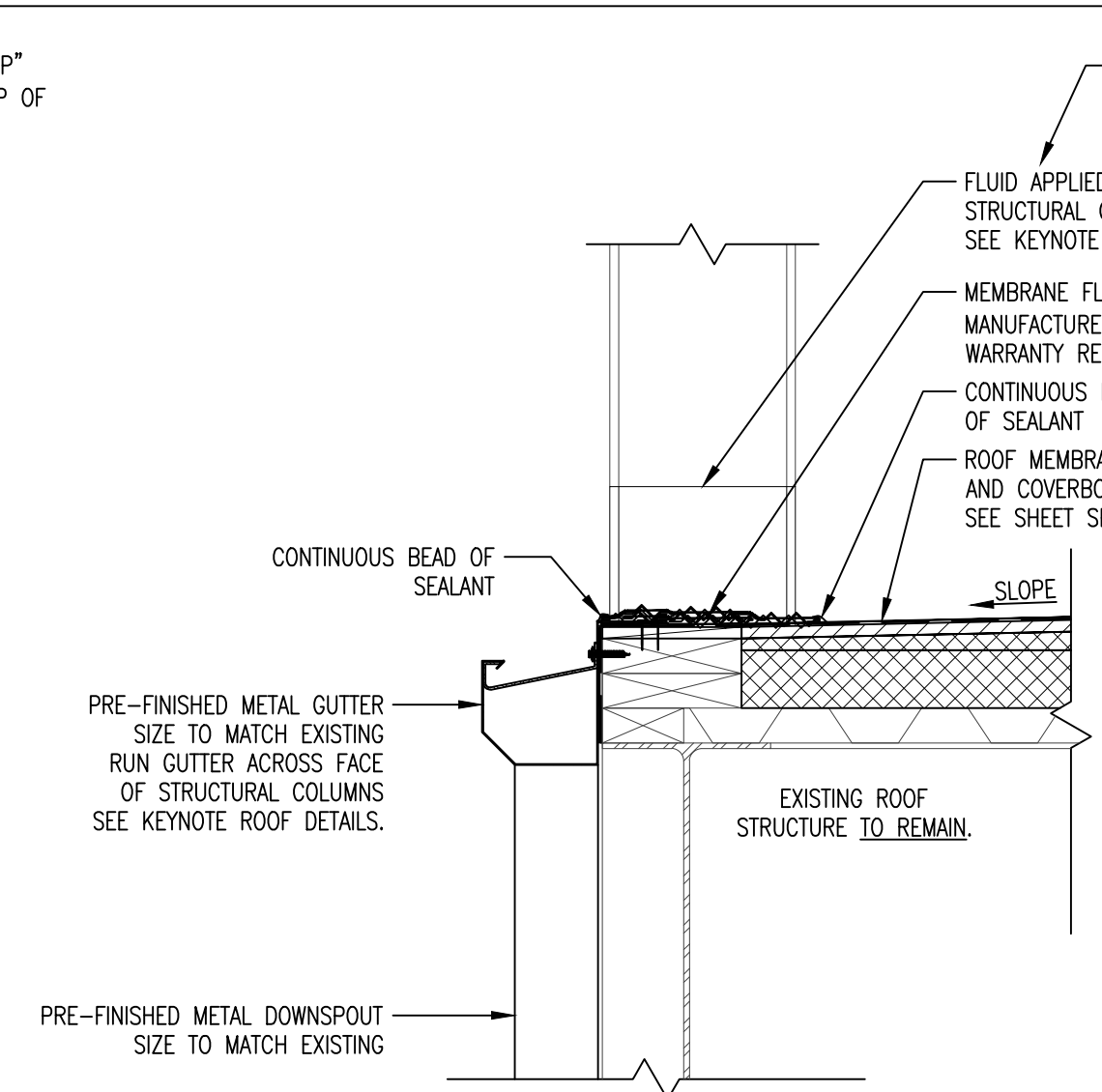




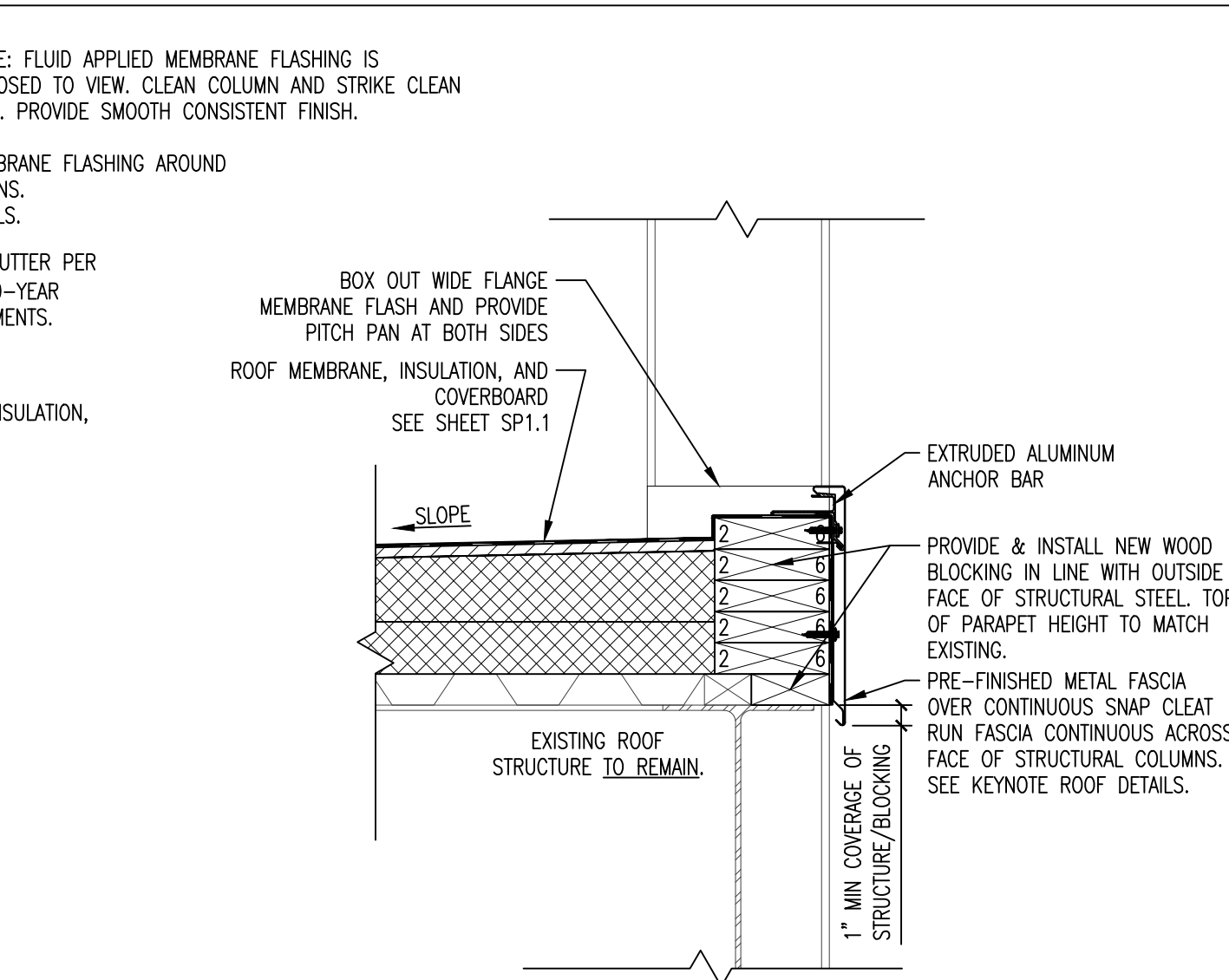
10 SECTION DETAIL - MECHANICAL CURB FLASHING
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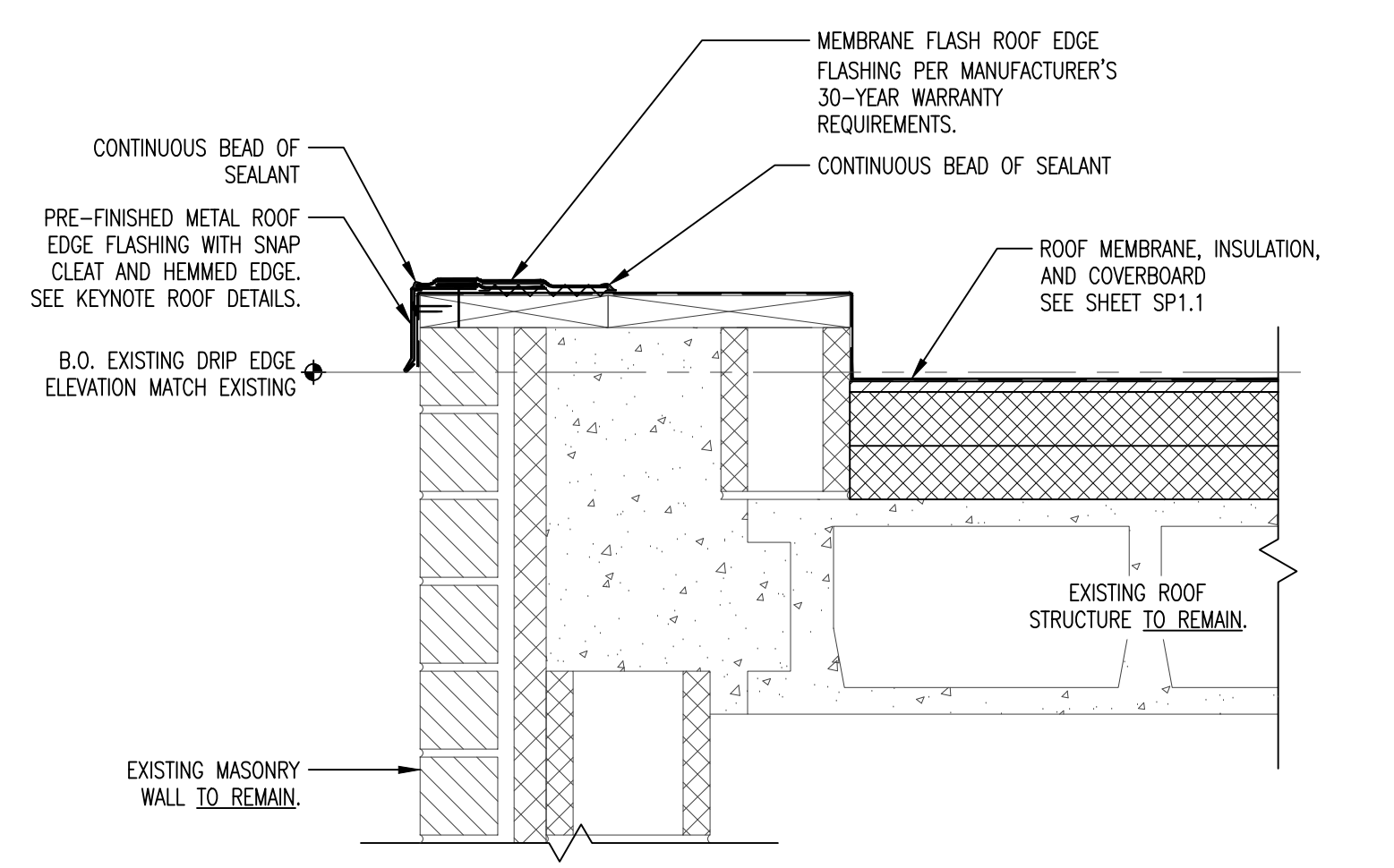
11 SECTION DETAIL - ROOF DRAIN, TYPICAL
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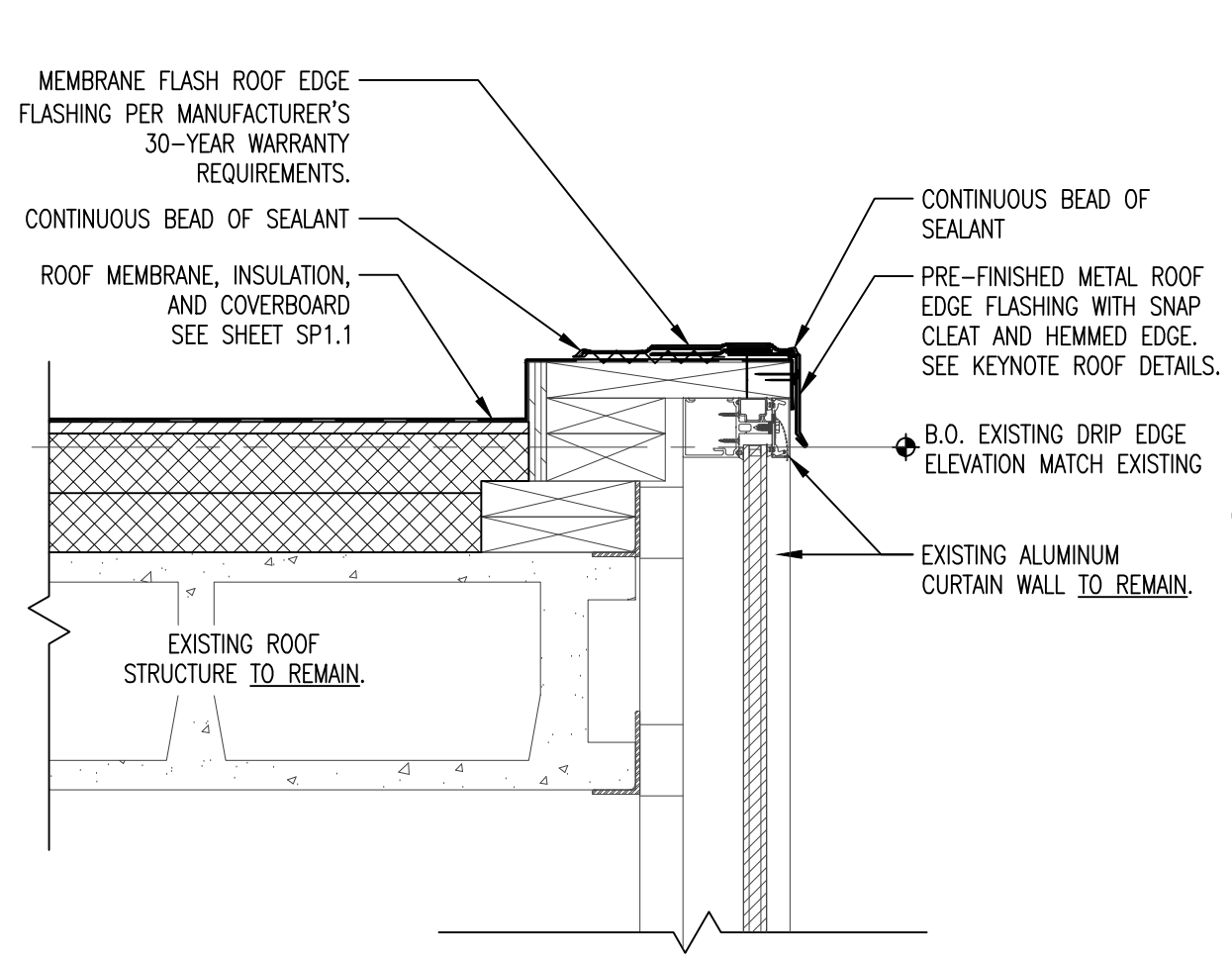
12 SECTION DETAIL - GUTTER DETAIL @ PRESS BOX
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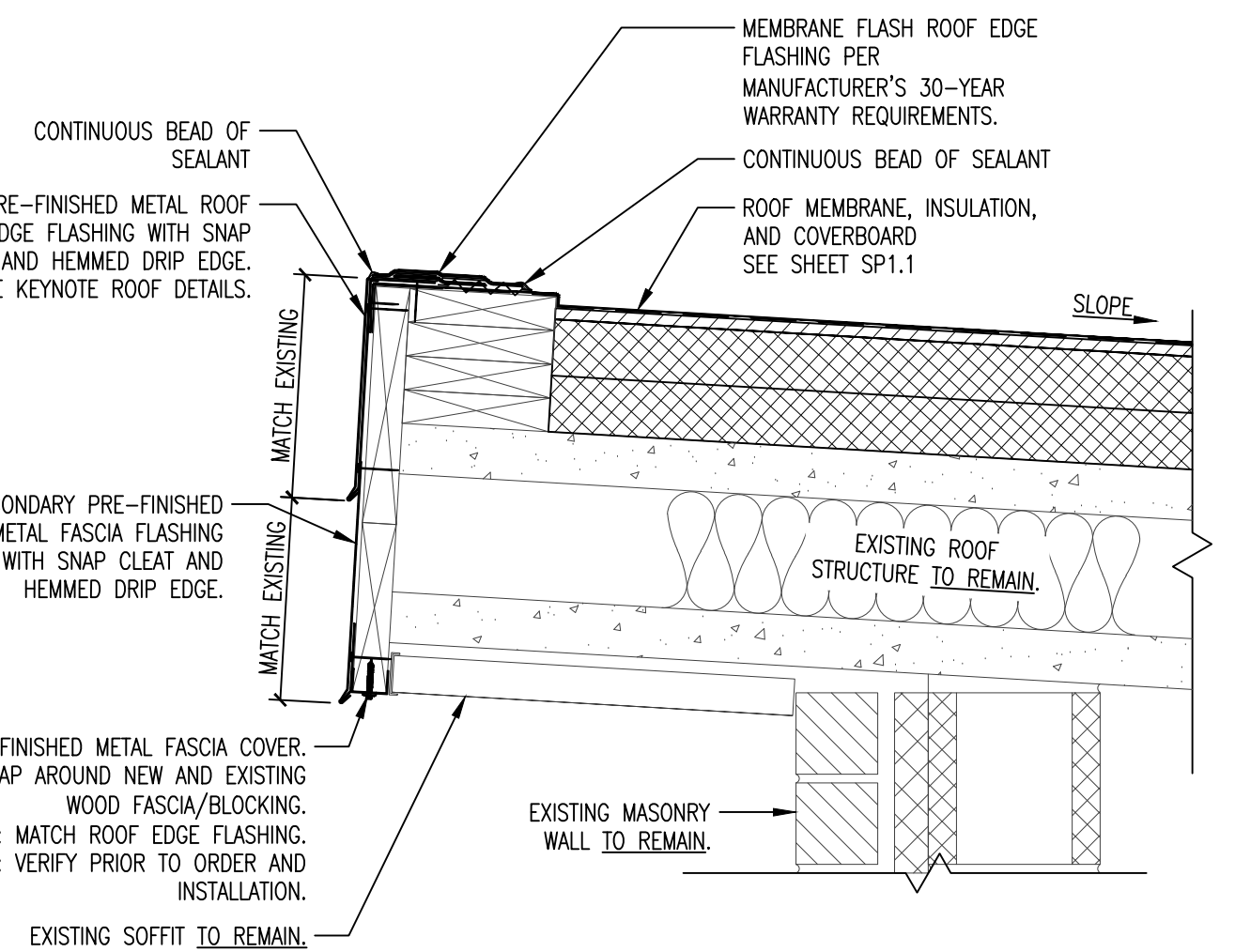
13 SECTION DETAIL - ROOF EDGE @ PRESS BOX
SCALE: 1-1/2" = 1'-0"



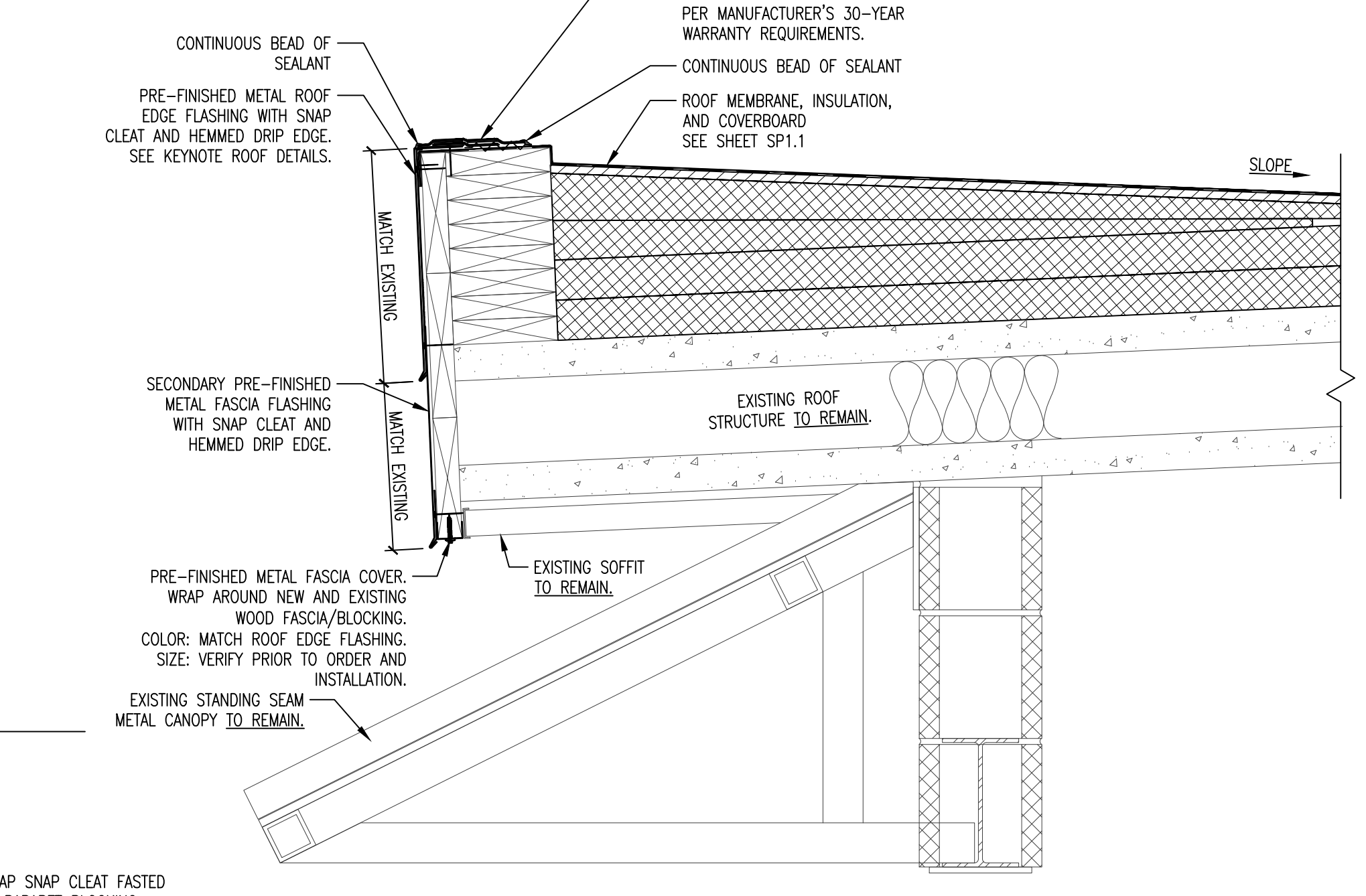
6 SECTION DETAIL - ROOF EDGE TYP.
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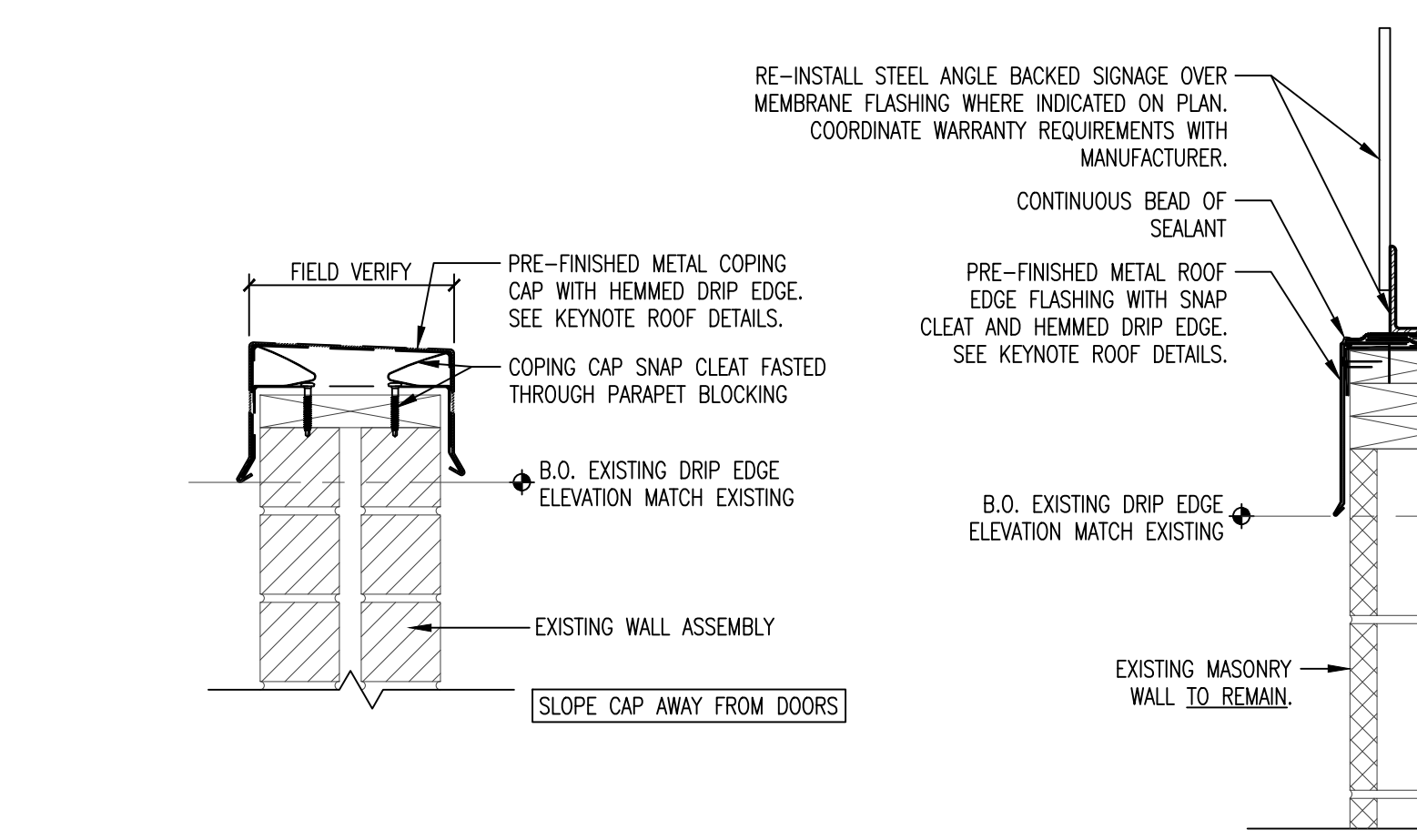
7 SECTION DETAIL - PARAPET AT ALUMINUM CURTAIN WALL
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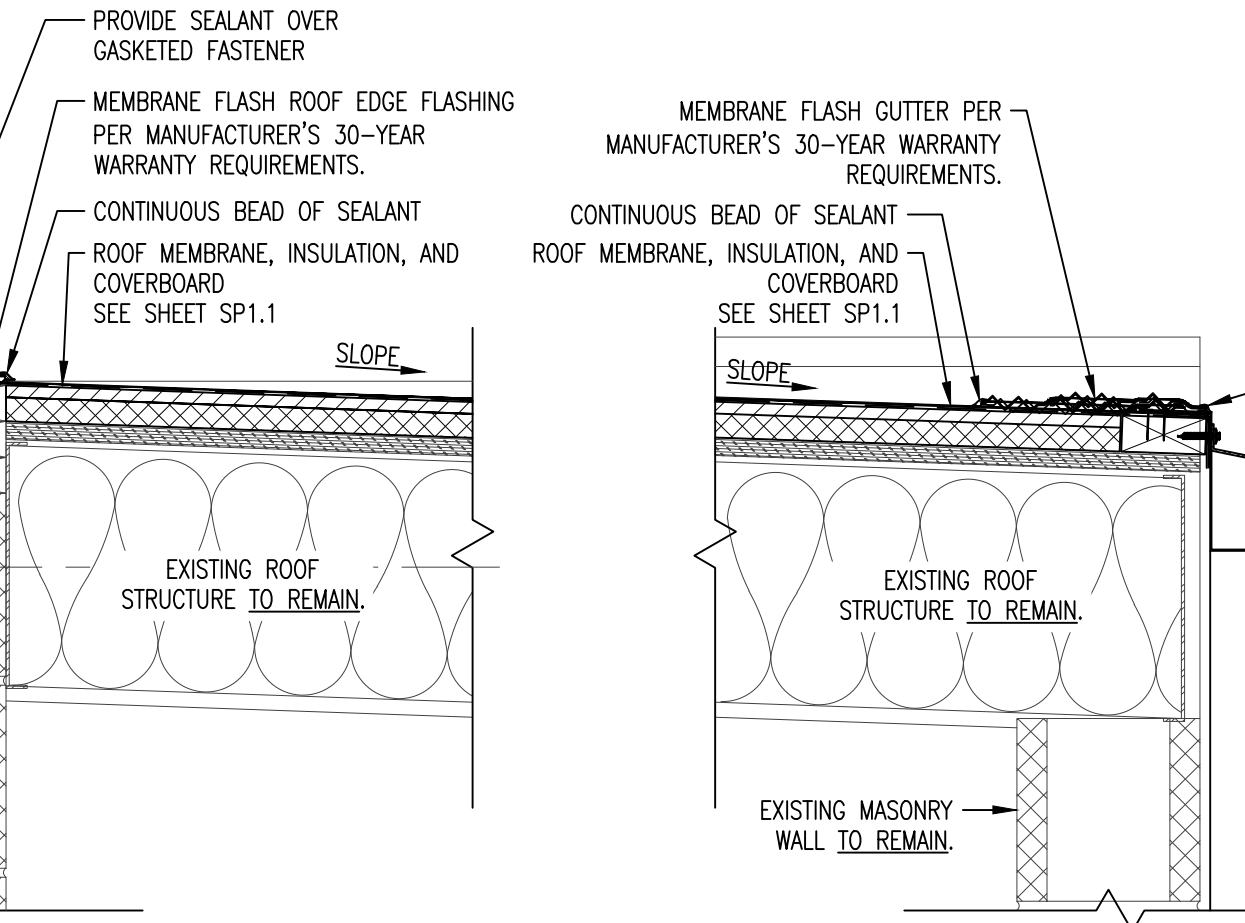
8 SECTION DETAIL - ROOF EDGE DETAIL @ LOCKER ROOMS (HIGH SIDE)
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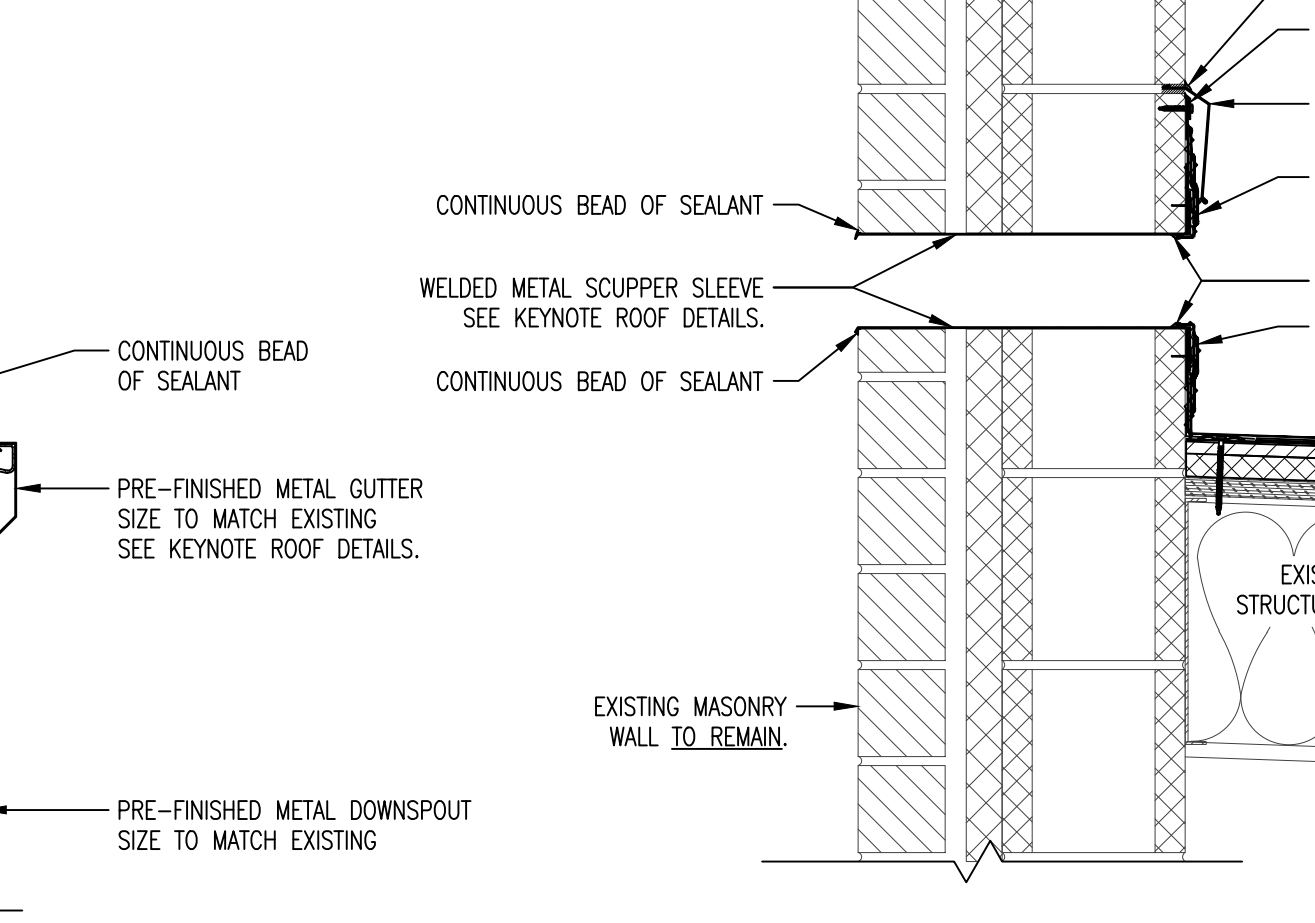
9 SECTION DETAIL - ROOF EDGE DETAIL @ LOCKER ROOMS (LOW SIDE)
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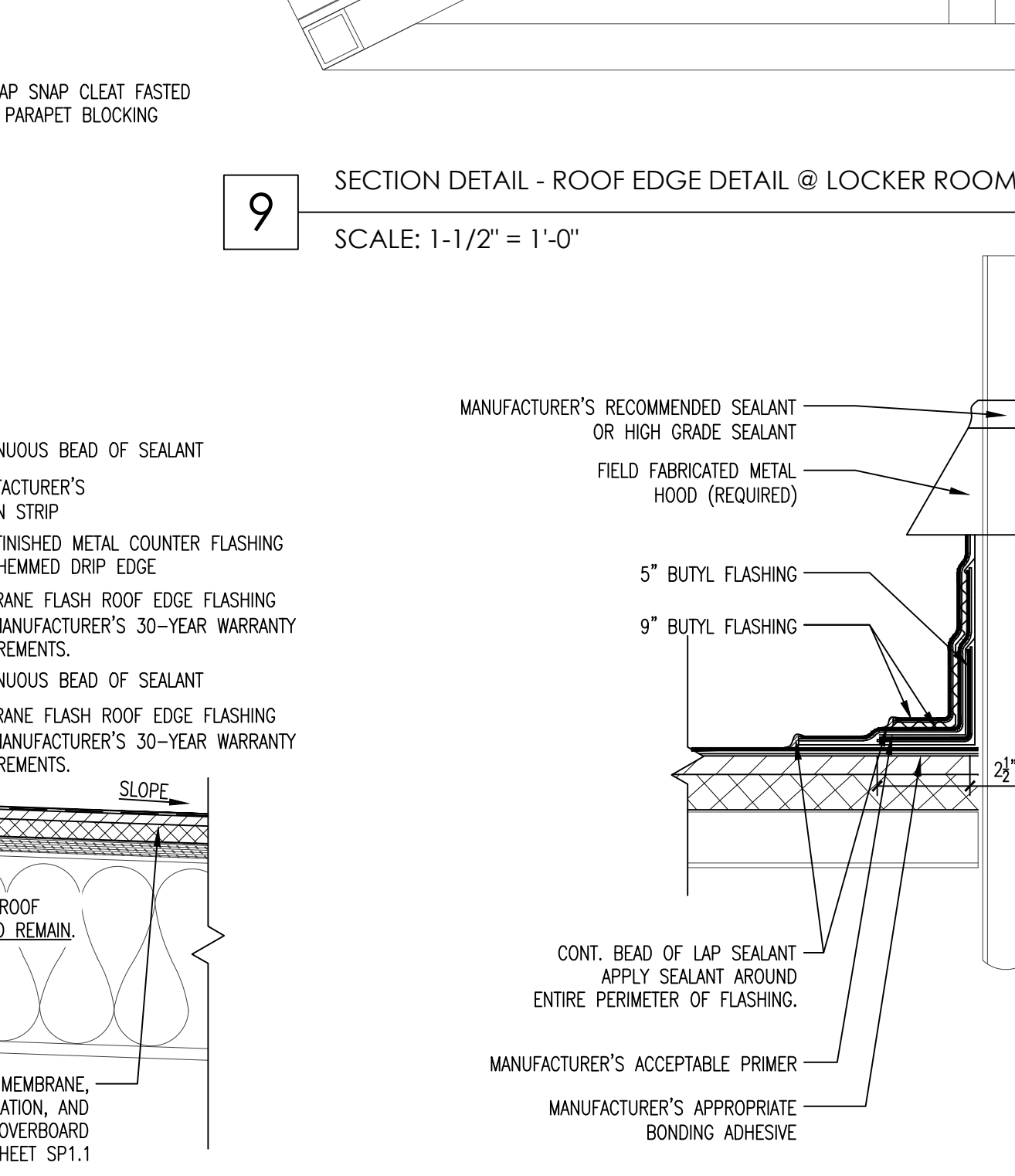
1 SECTION DETAIL - SCREEN WALL, TYP.
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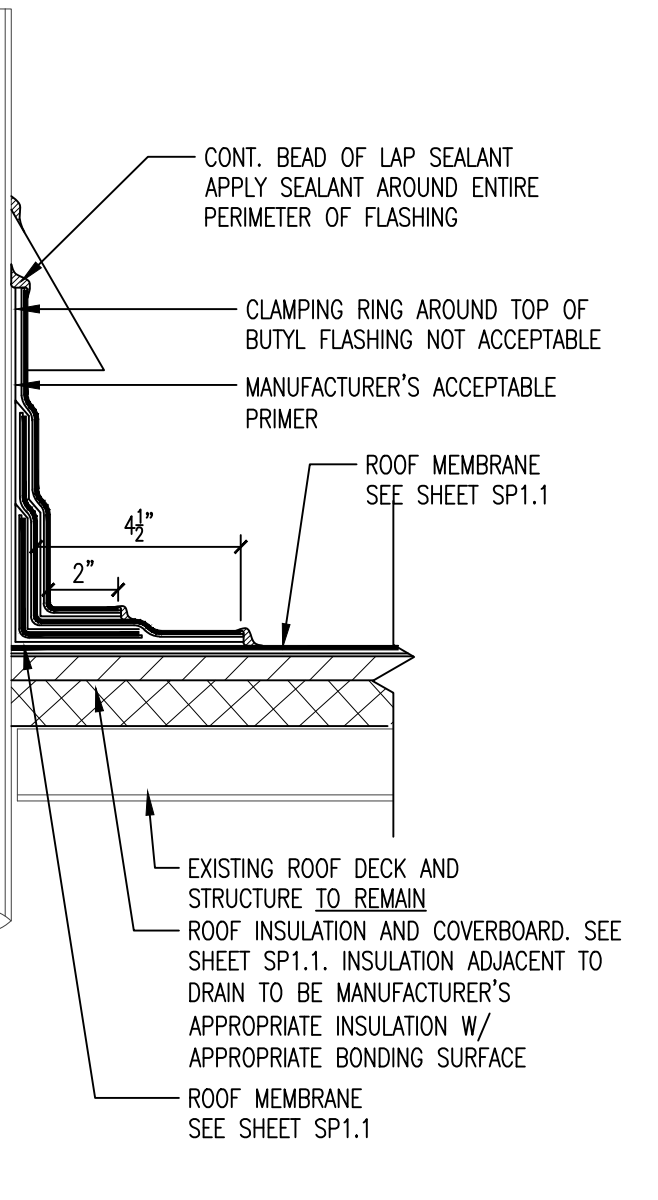
2 SECTION DETAIL - ROOF EDGE FLASHING
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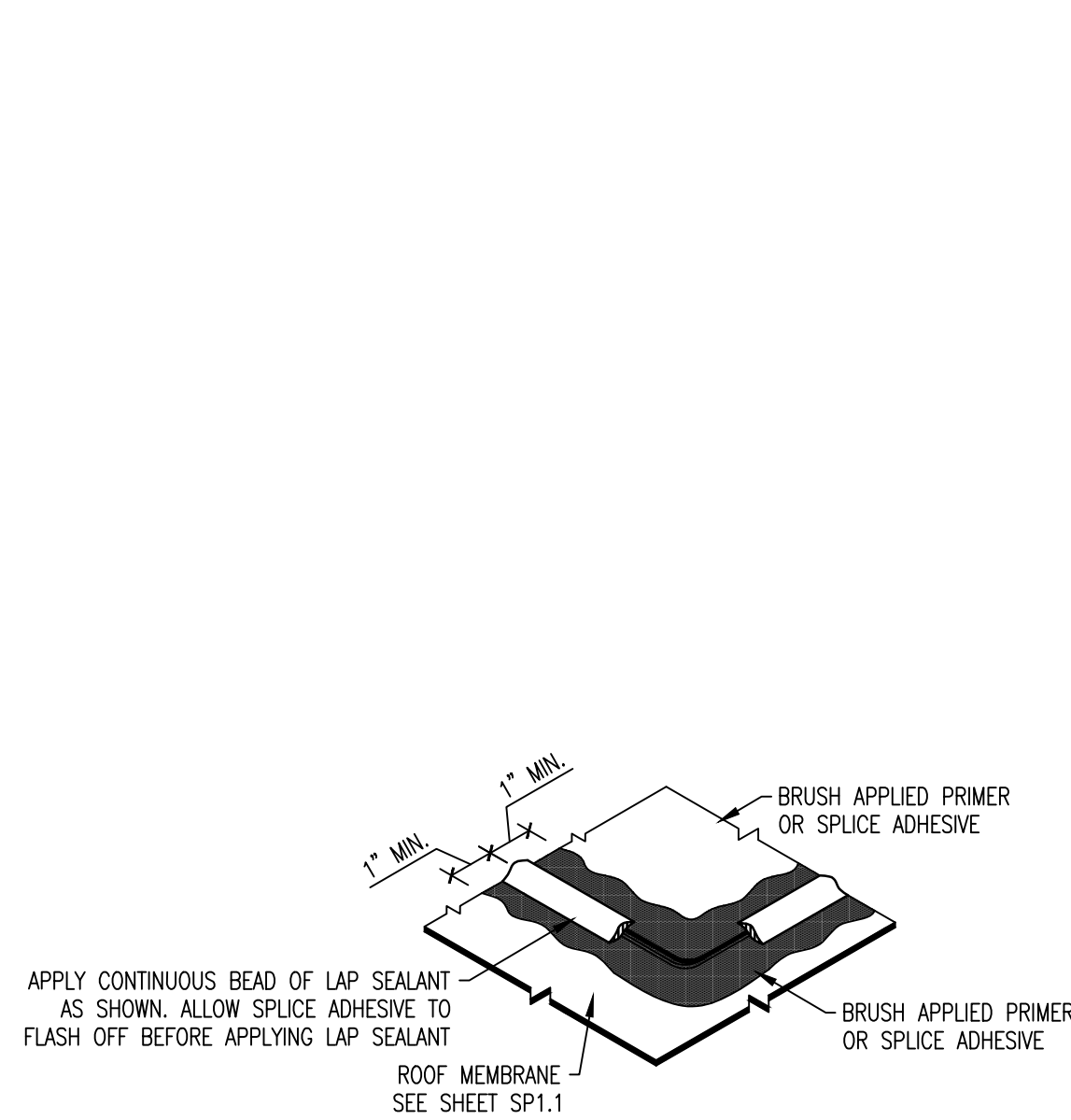
3 SECTION DETAIL - ROOF EDGE W/ DOWNSPOUT
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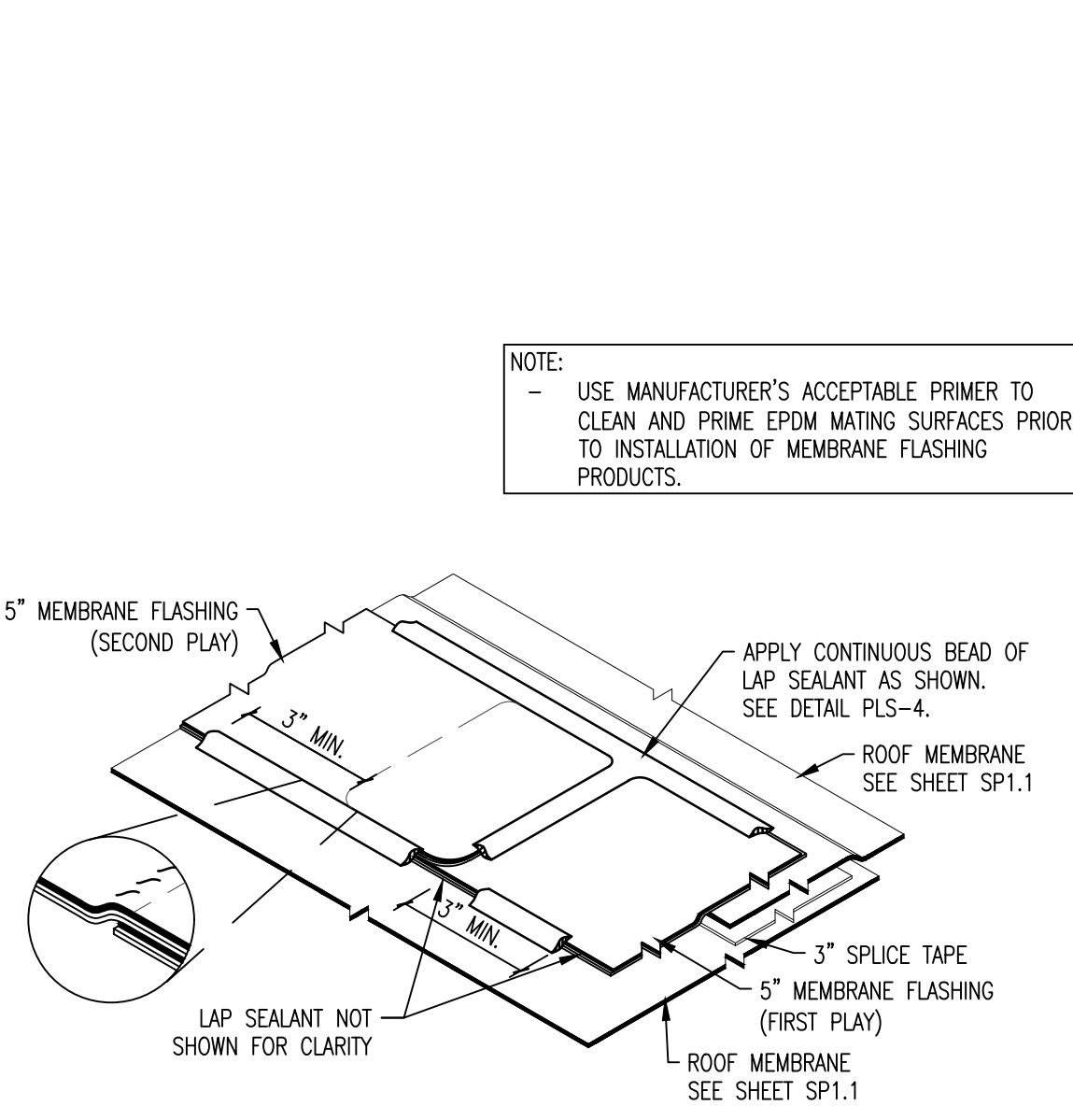
4 SECTION DETAIL - COPING CAP FLASHING @ MACHINE ROOM
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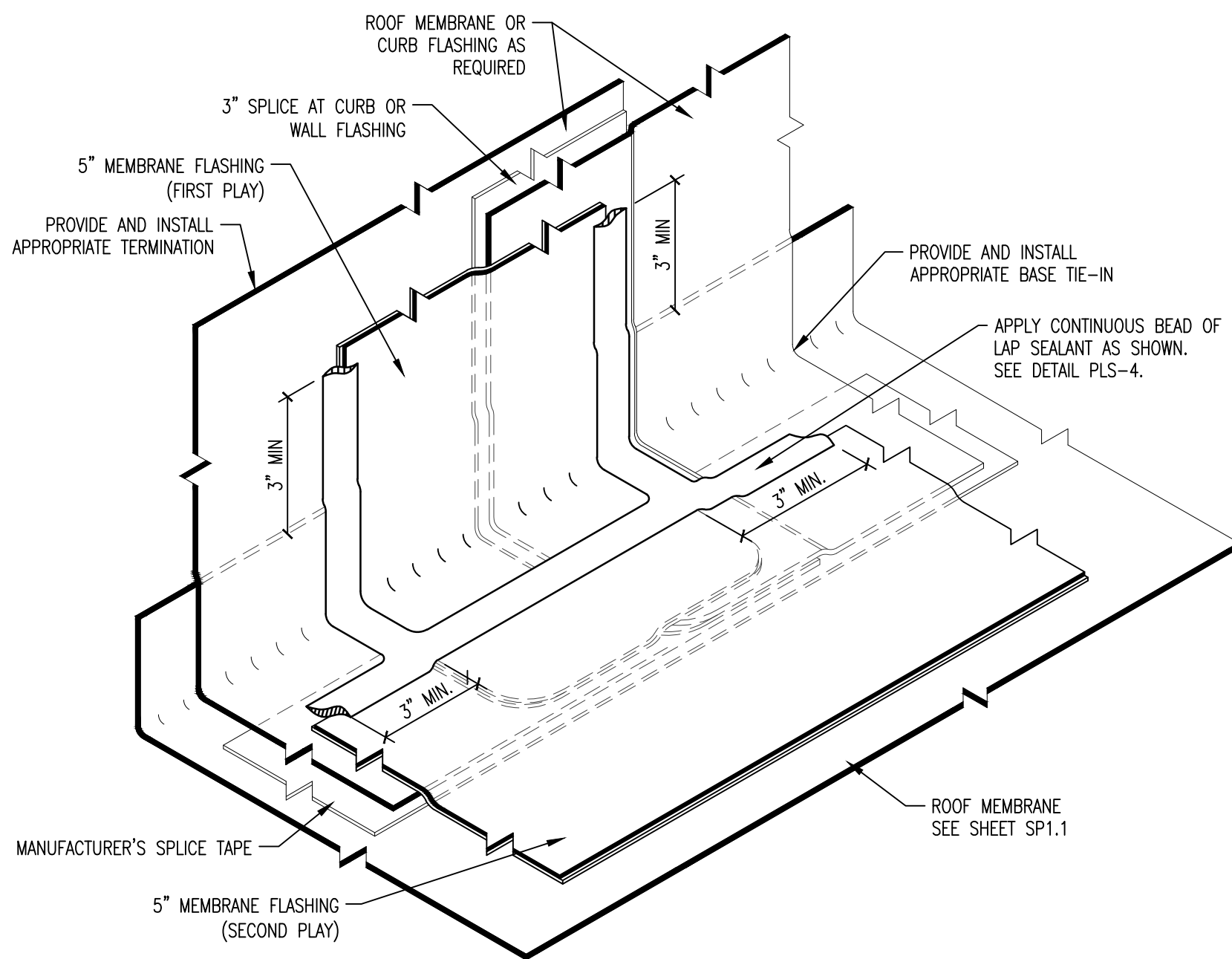
5 SECTION DETAIL - ROOF VENT, TYPICAL
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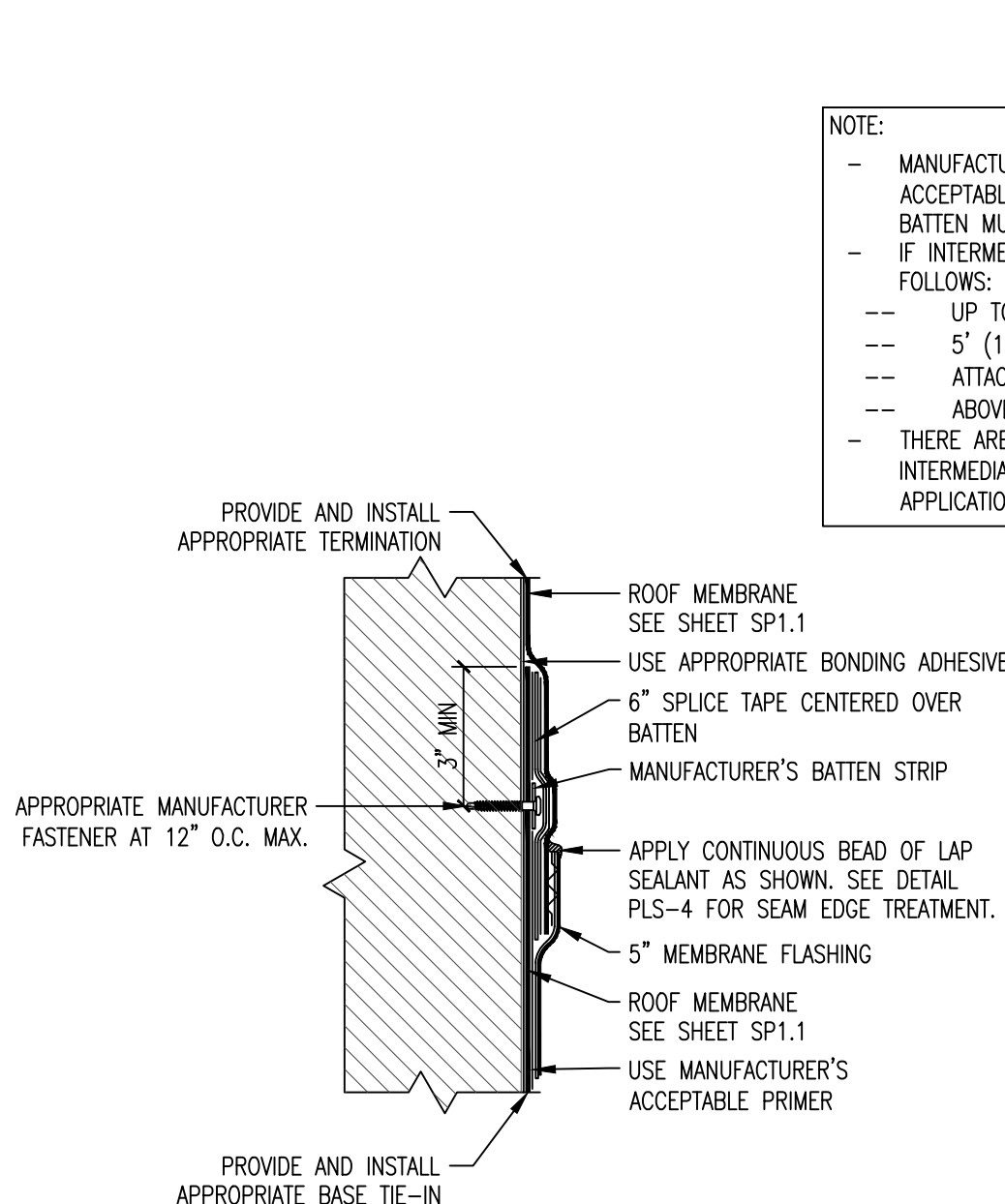
STANDARD DETAILS **PLS-4**
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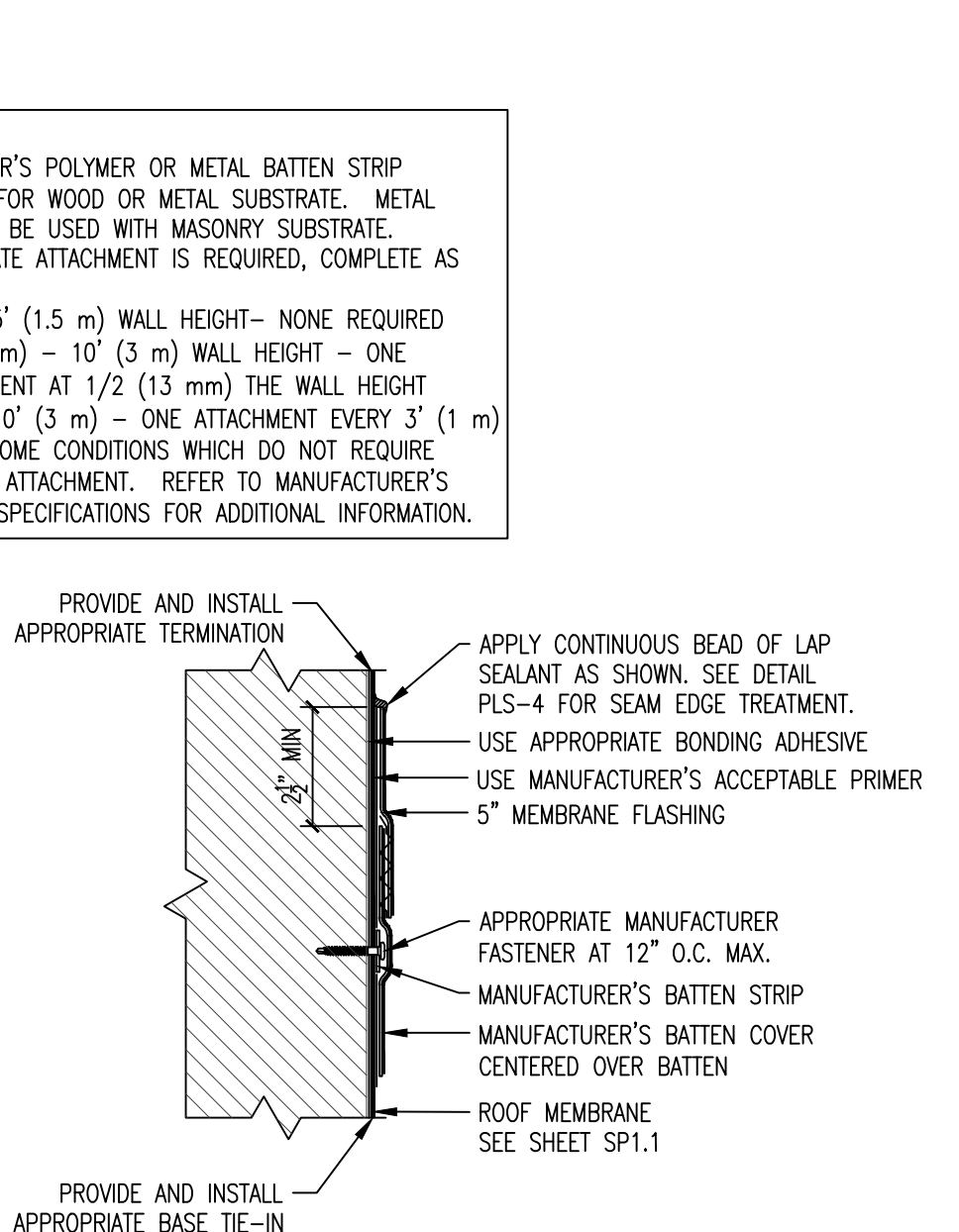
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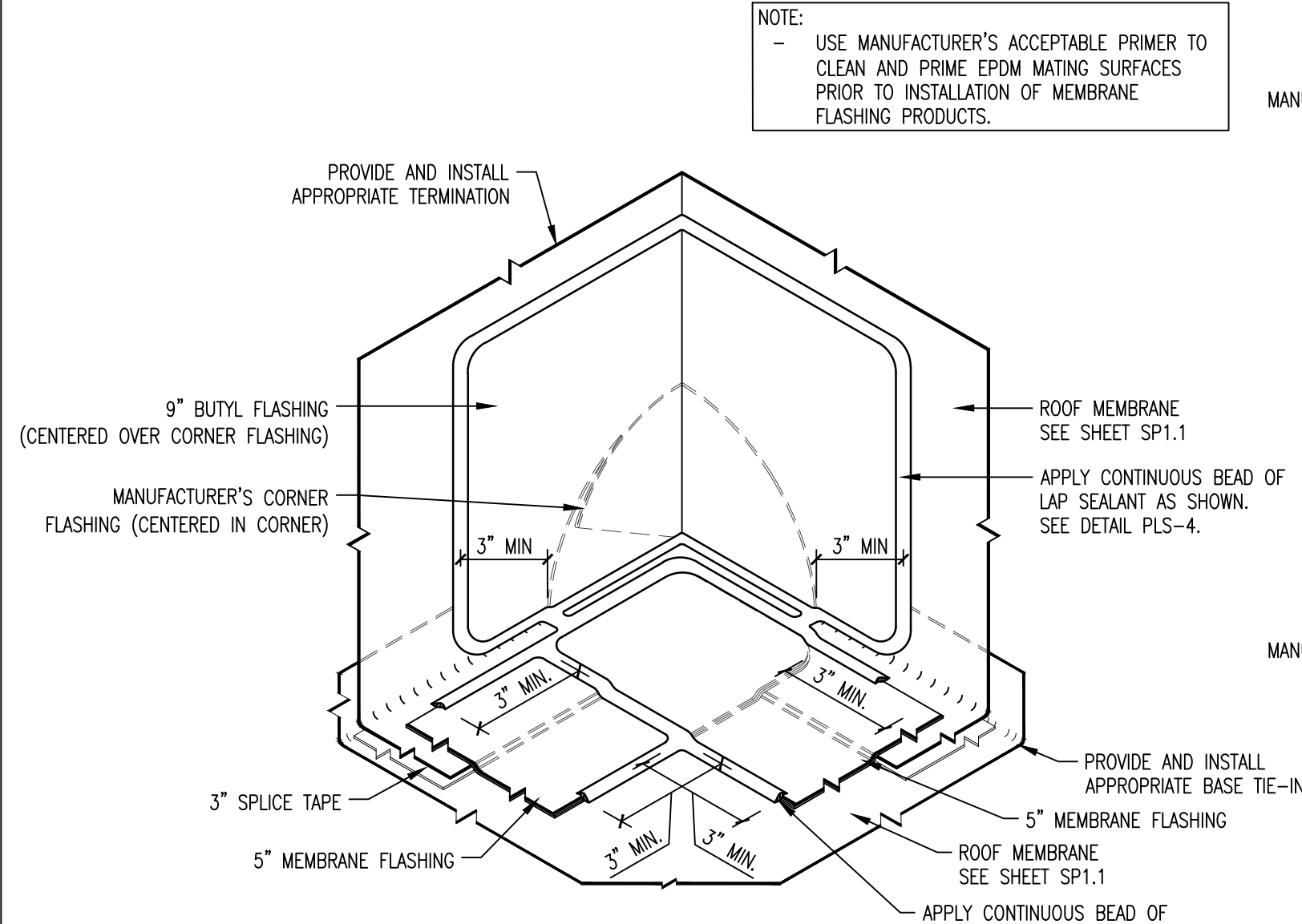
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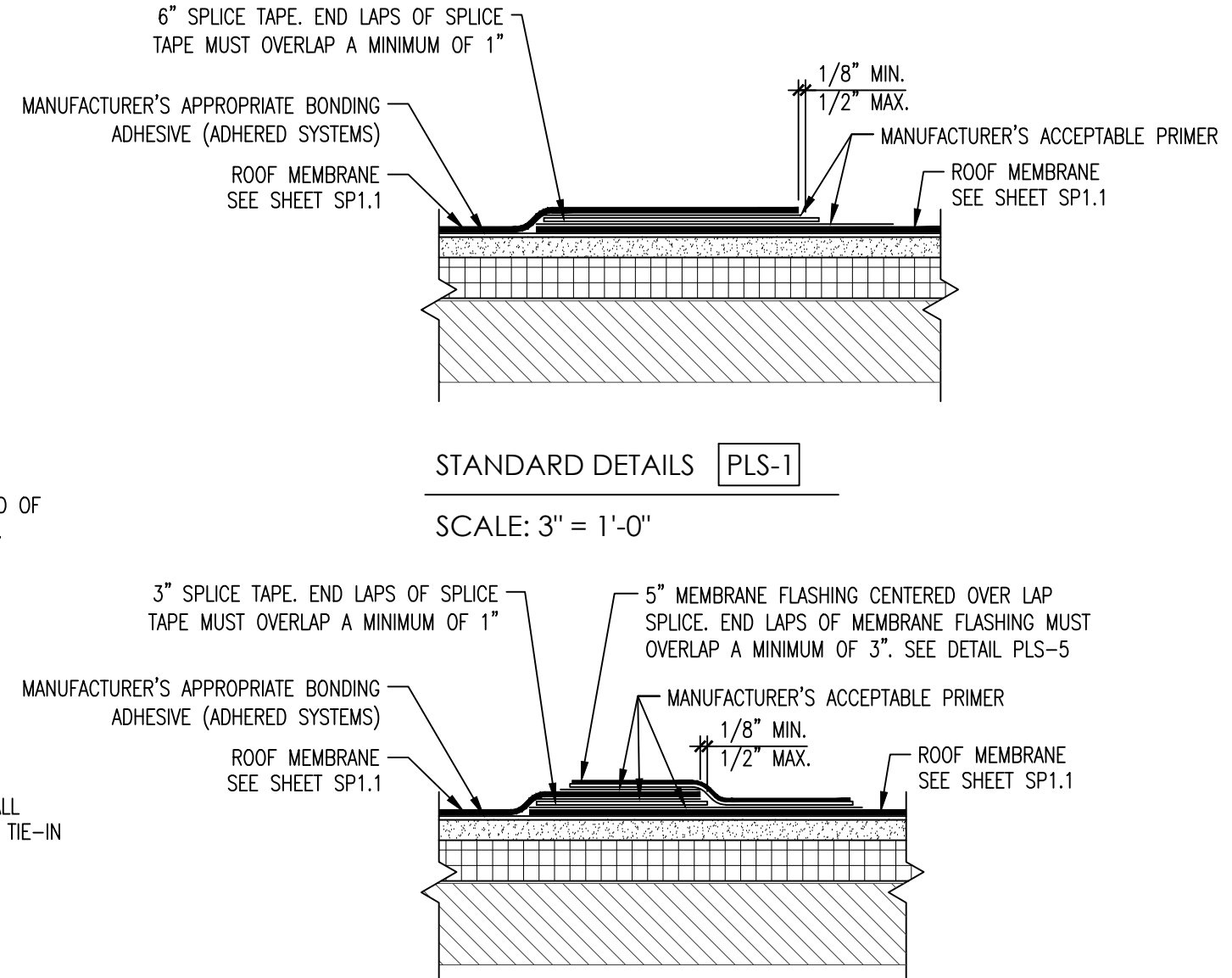
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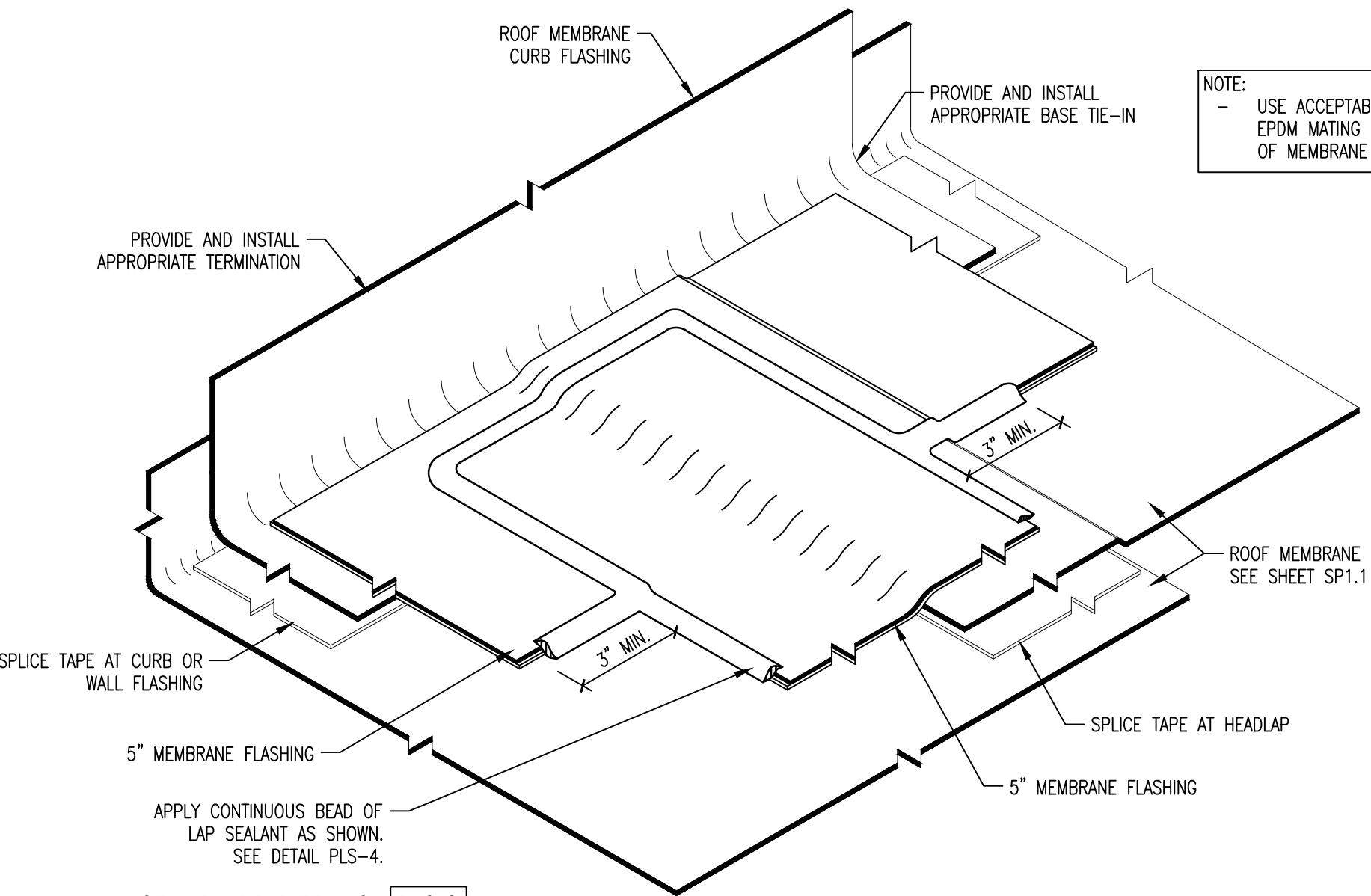
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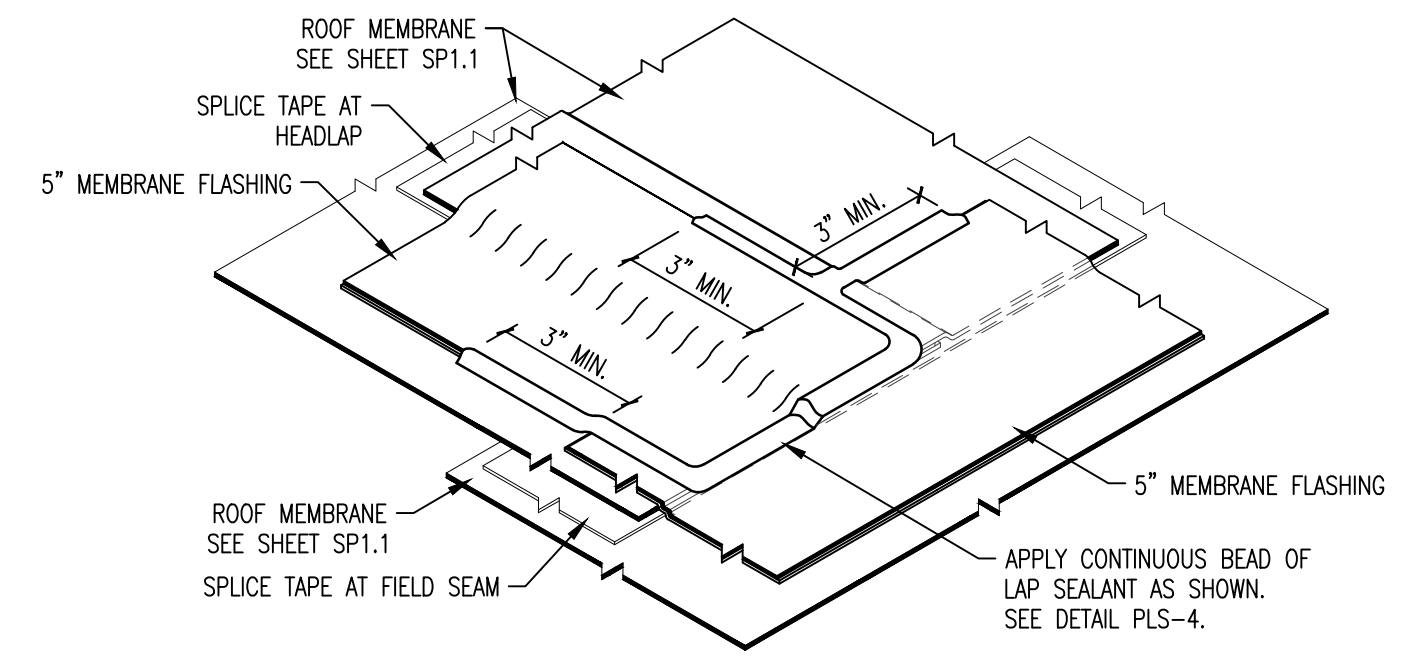
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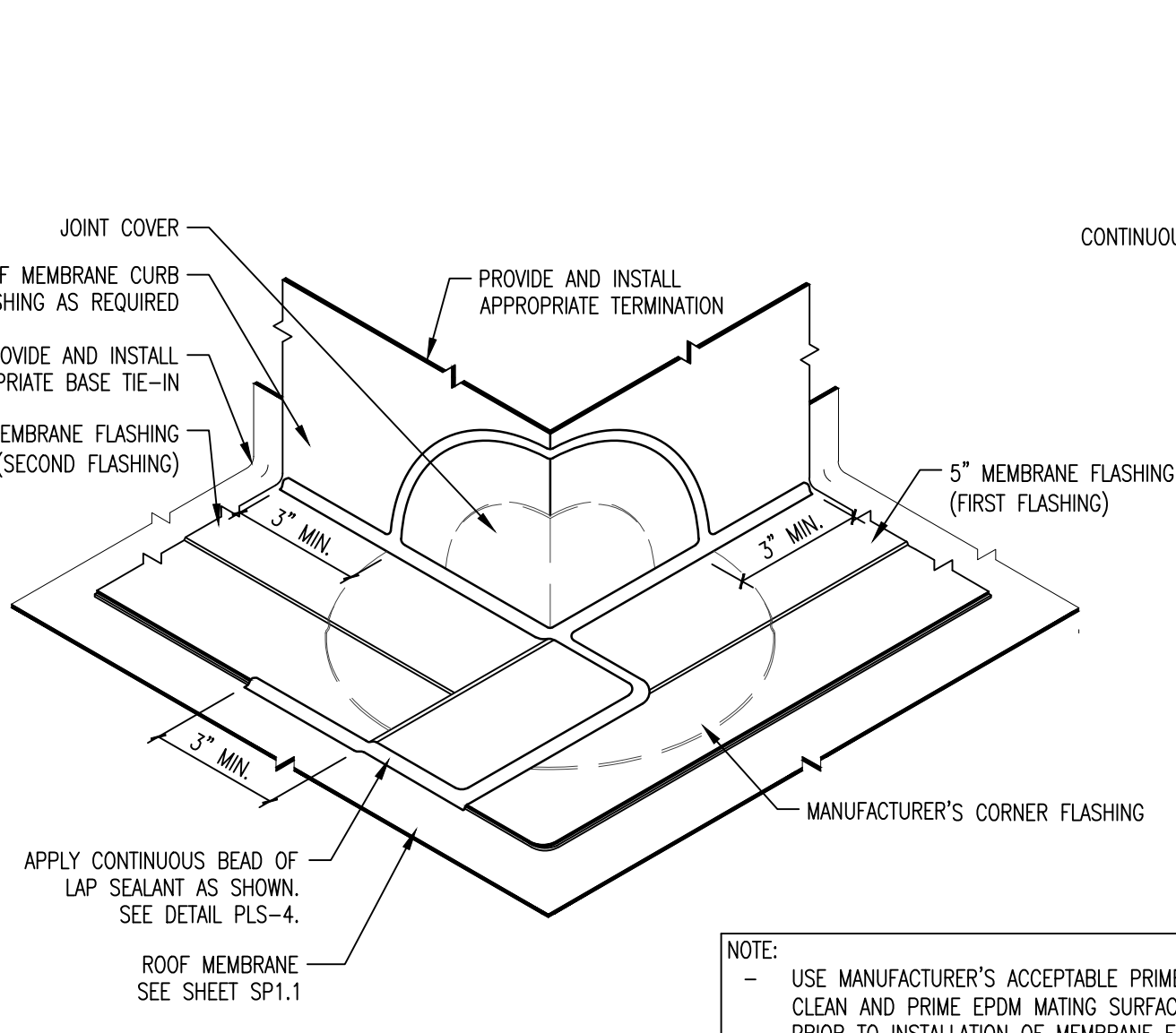
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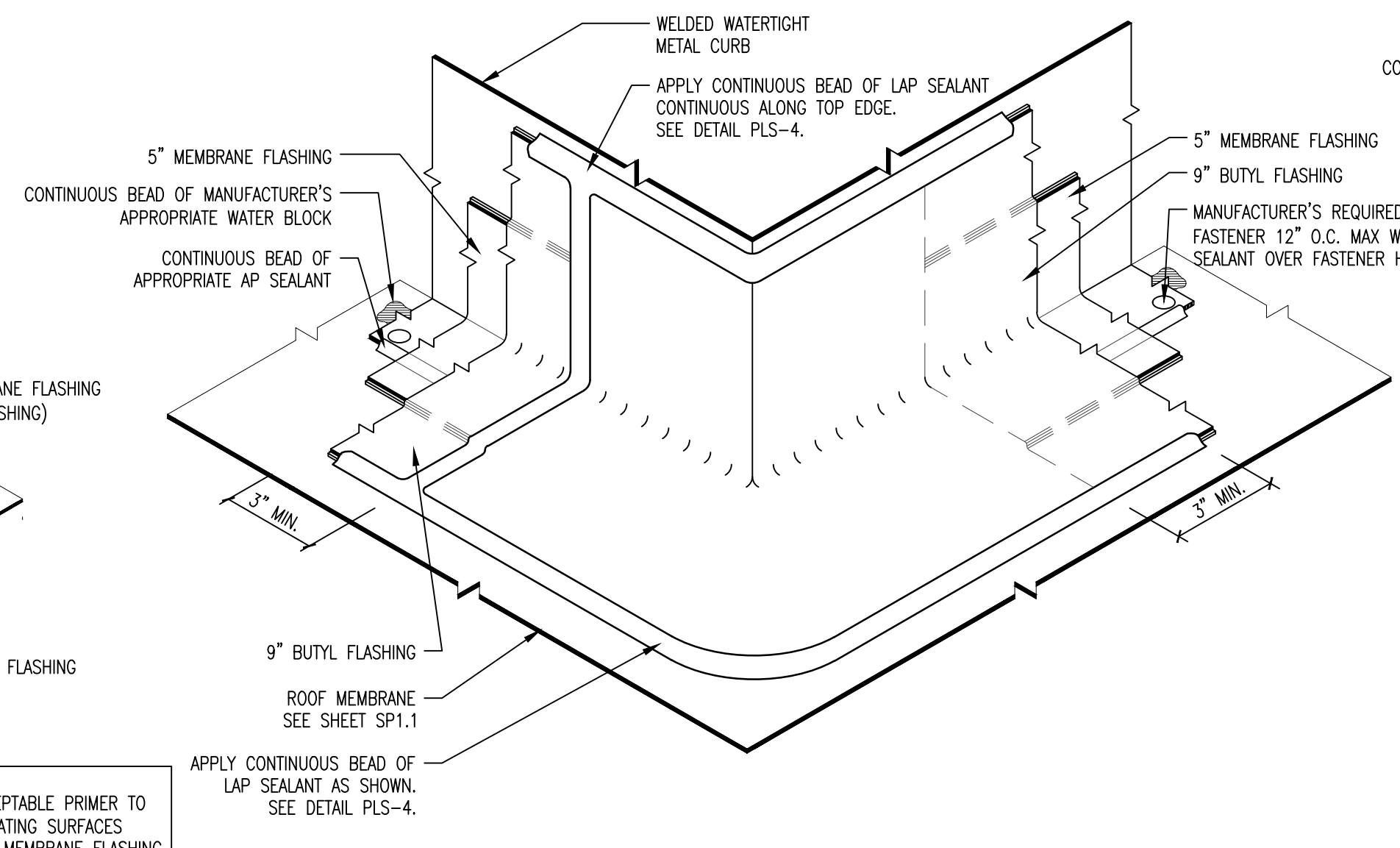
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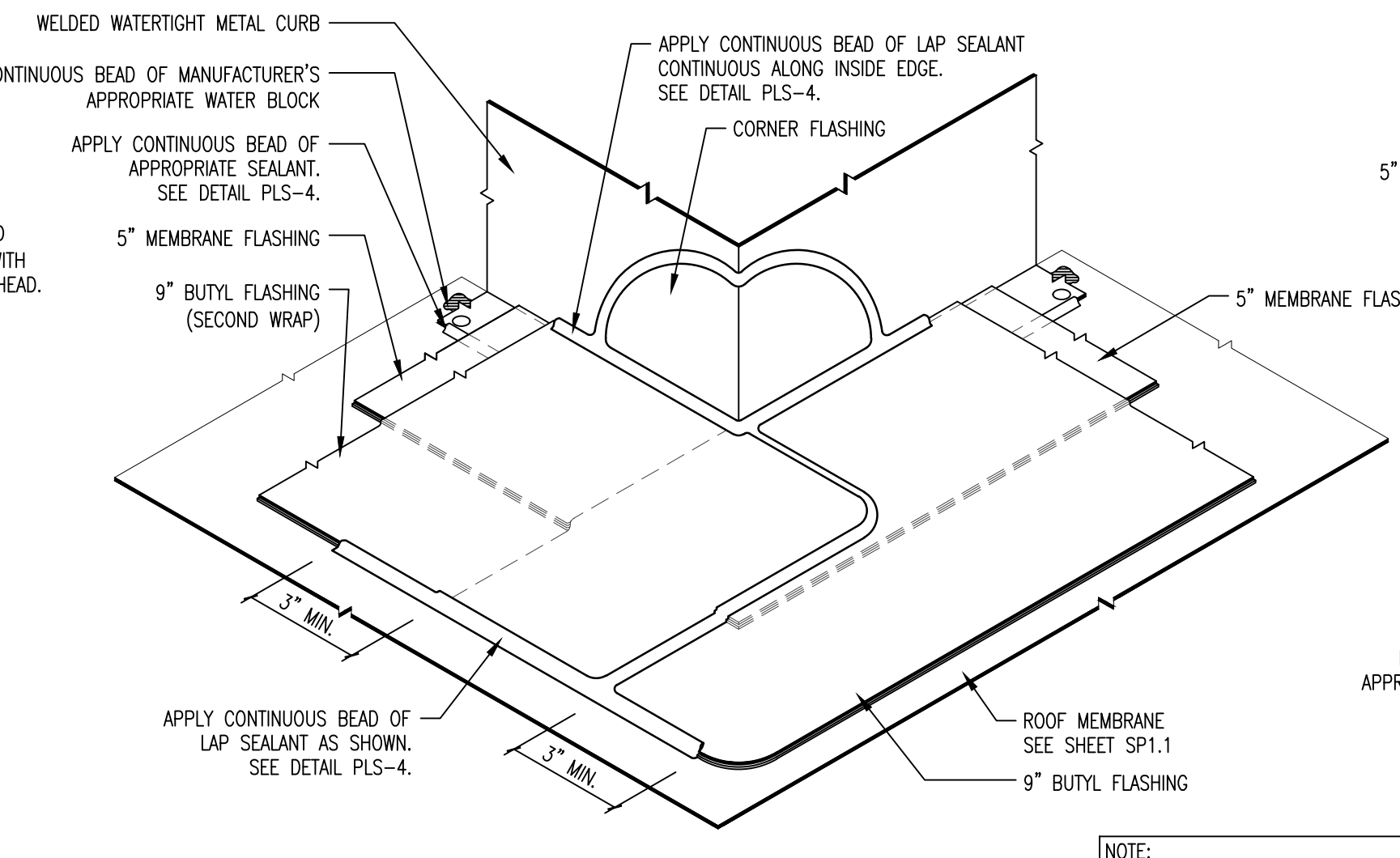
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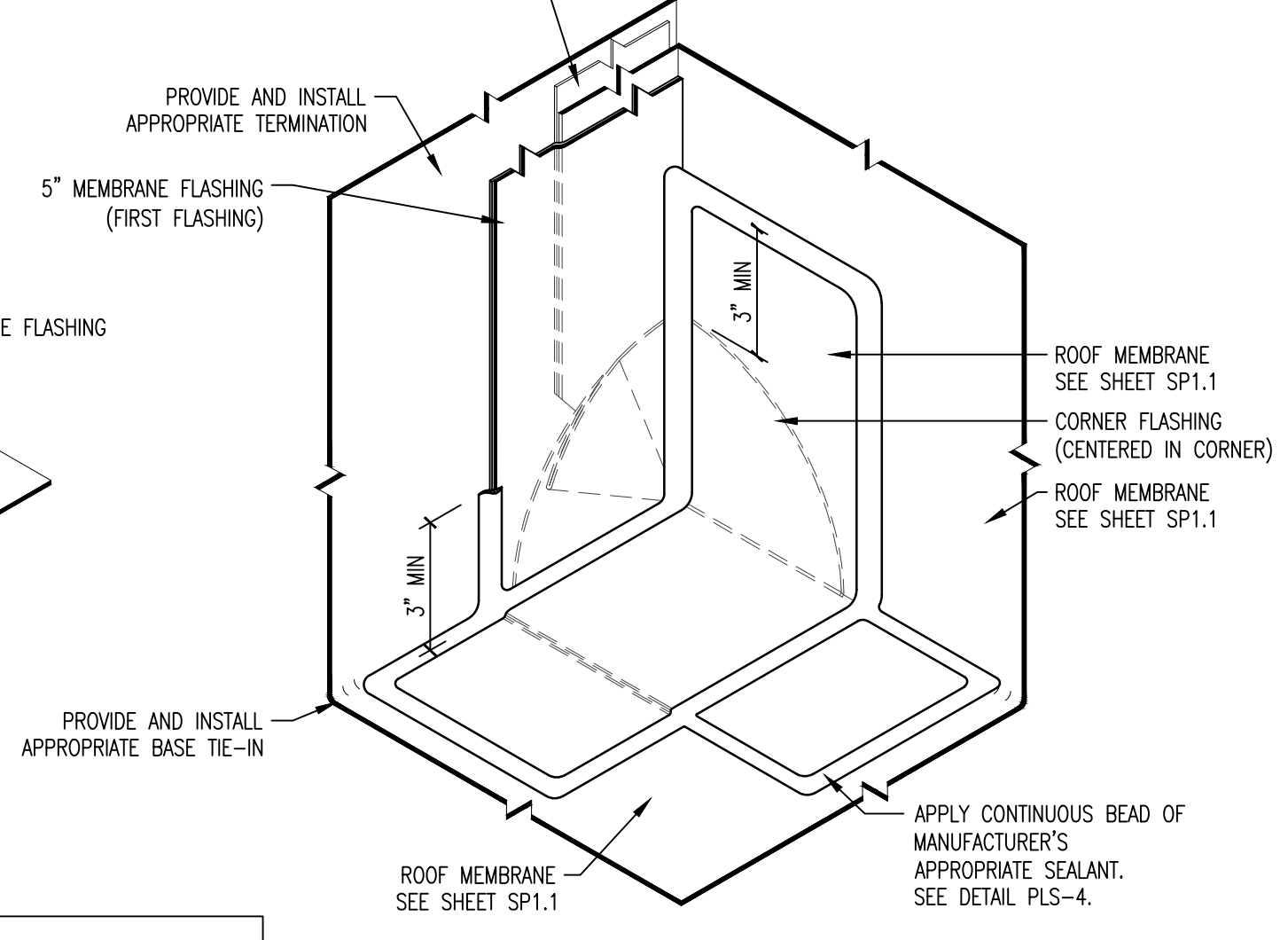
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STANDARD DETAILS **PC-2**
SCALE: 3" = 1'-0"



STANDARD DETAILS **PC-3**
SCALE: 3" = 1'-0"



STANDARD DETAILS **PC-4**
SCALE: 3" = 1'-0"

NOTE:
- MANUFACTURER'S POLYMER OR METAL BATTEN STRIP ACCEPTABLE FOR WOOD OR METAL SUBSTRATE. METAL BATTEN MUST BE USED WITH MASONRY SUBSTRATE.
- IF INTERMEDIATE ATTACHMENT IS REQUIRED, COMPLETE AS FOLLOWS:
-- UP TO 5' (1.5 m) WALL HEIGHT- NONE REQUIRED
-- 5' (1.5 m) - 10' (3 m) WALL HEIGHT - ONE
-- ATTACHMENT AT 1/2 (13 mm) THE WALL HEIGHT
-- ABOVE 10' (3 m) - ONE ATTACHMENT EVERY 3' (1 m)
- THERE ARE SOME CONDITIONS WHICH DO NOT REQUIRE INTERMEDIATE ATTACHMENT. REFER TO MANUFACTURER'S APPLICATION SPECIFICATIONS FOR ADDITIONAL INFORMATION.

NOTE:
- USE ACCEPTABLE PRIMER TO CLEAN AND PRIME EPDM MATING SURFACES PRIOR TO INSTALLATION OF MEMBRANE FLASHING PRODUCTS.

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- USE MANUFACTURER'S ACCEPTABLE PRIMER TO CLEAN AND PRIME EPDM MATING SURFACES PRIOR TO INSTALLATION OF MEMBRANE FLASHING PRODUCTS.

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- USE MANUFACTURER'S ACCEPTABLE PRIMER TO CLEAN AND PRIME EPDM MATING SURFACES PRIOR TO INSTALLATION OF MEMBRANE FLASHING PRODUCTS.

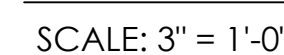
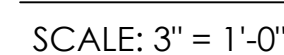
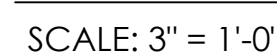
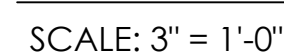
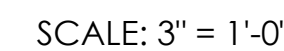
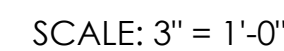
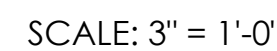
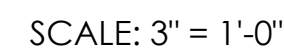
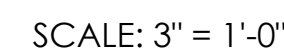
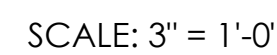
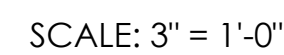
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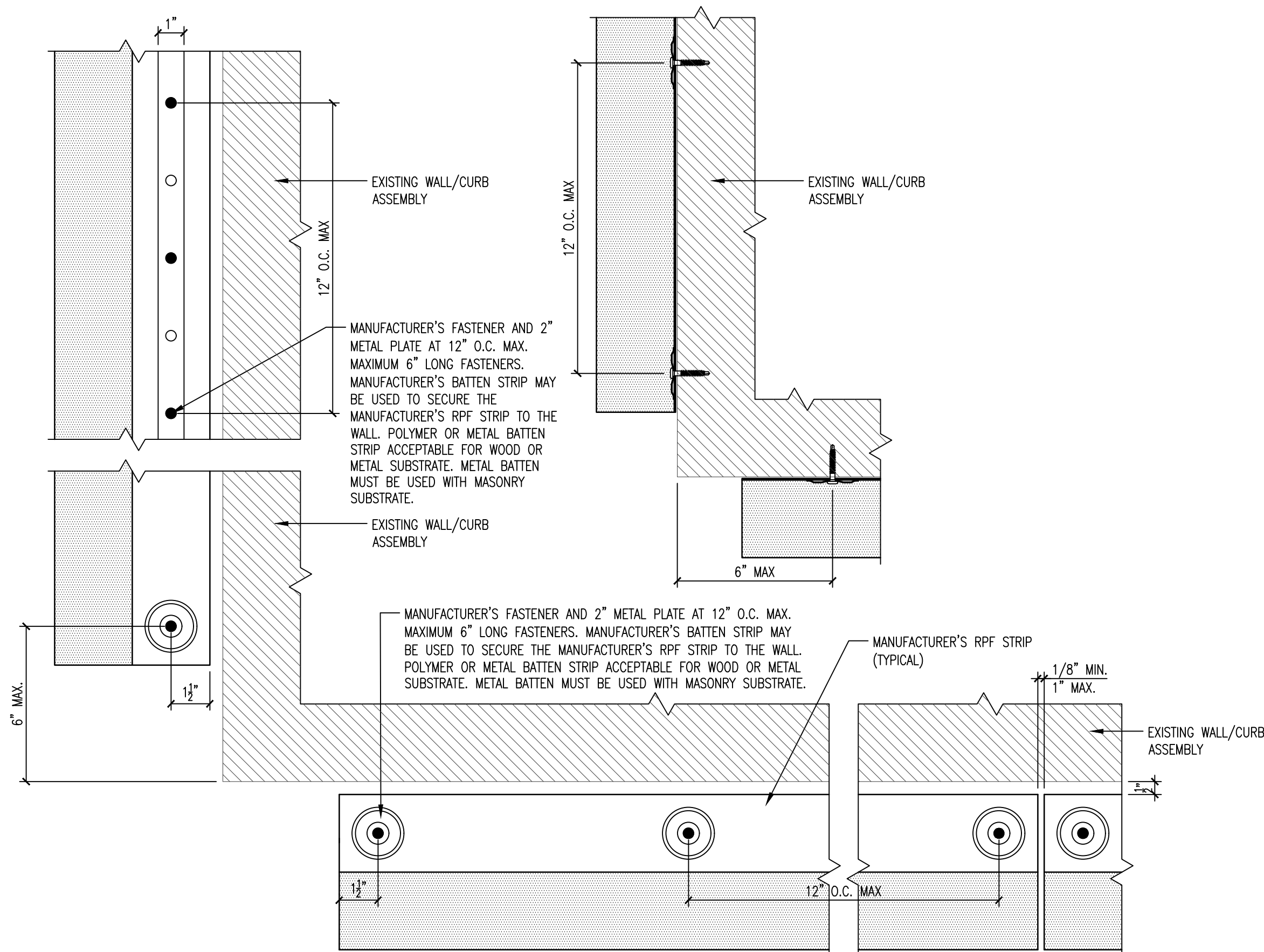
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V A L L E Y S T A D I U M

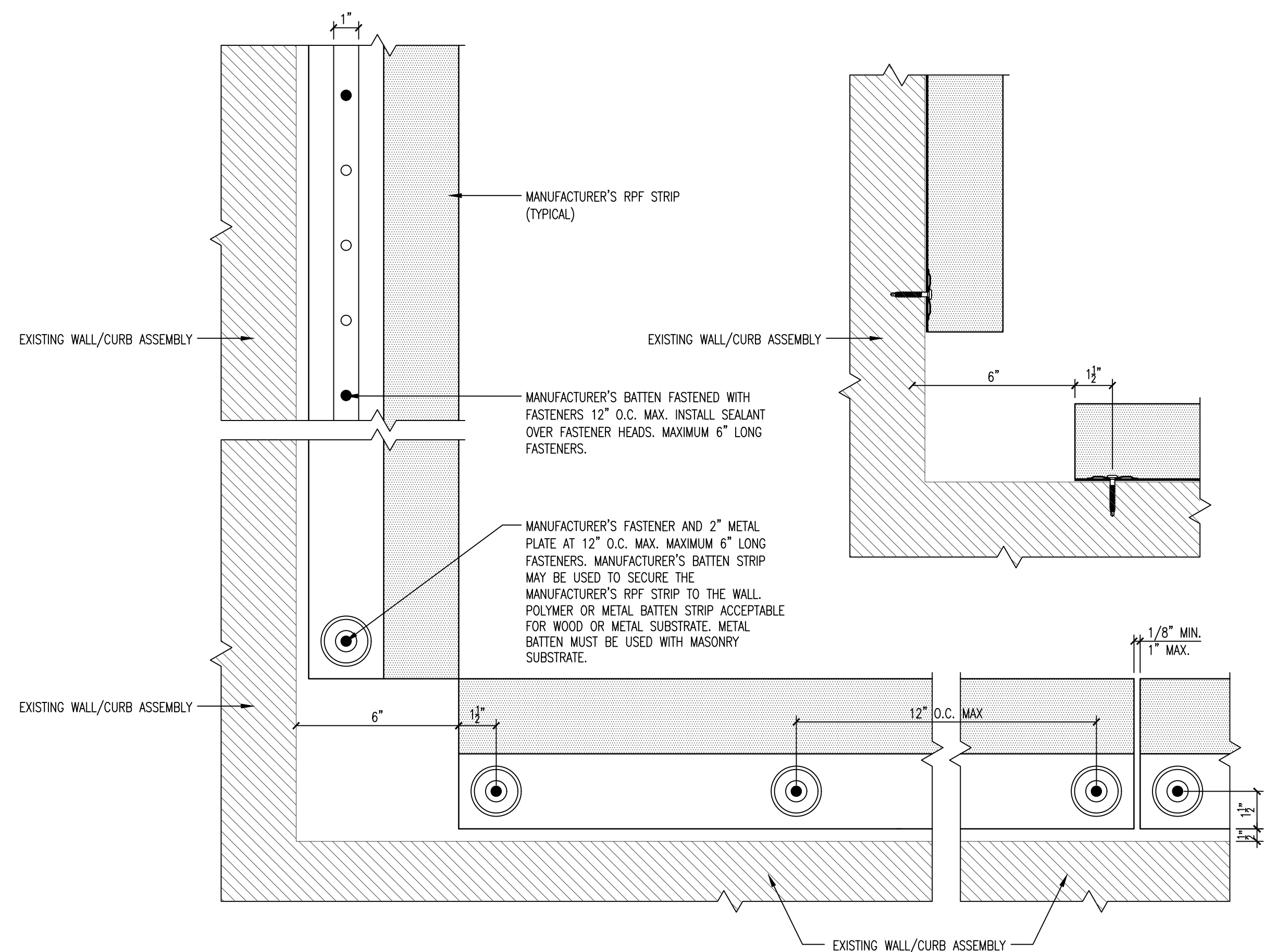
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VSTA-A5.1

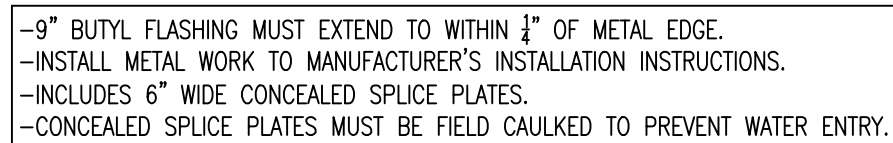




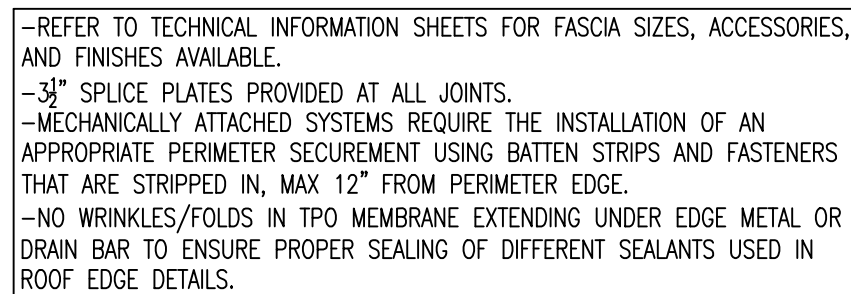
STANDARD DETAILS **PBT-12**
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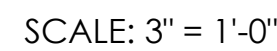
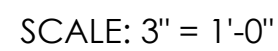
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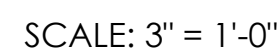
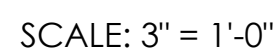
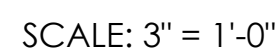
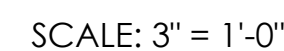
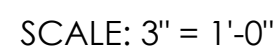
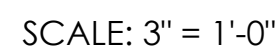
SCALE: 3" = 1'-0"



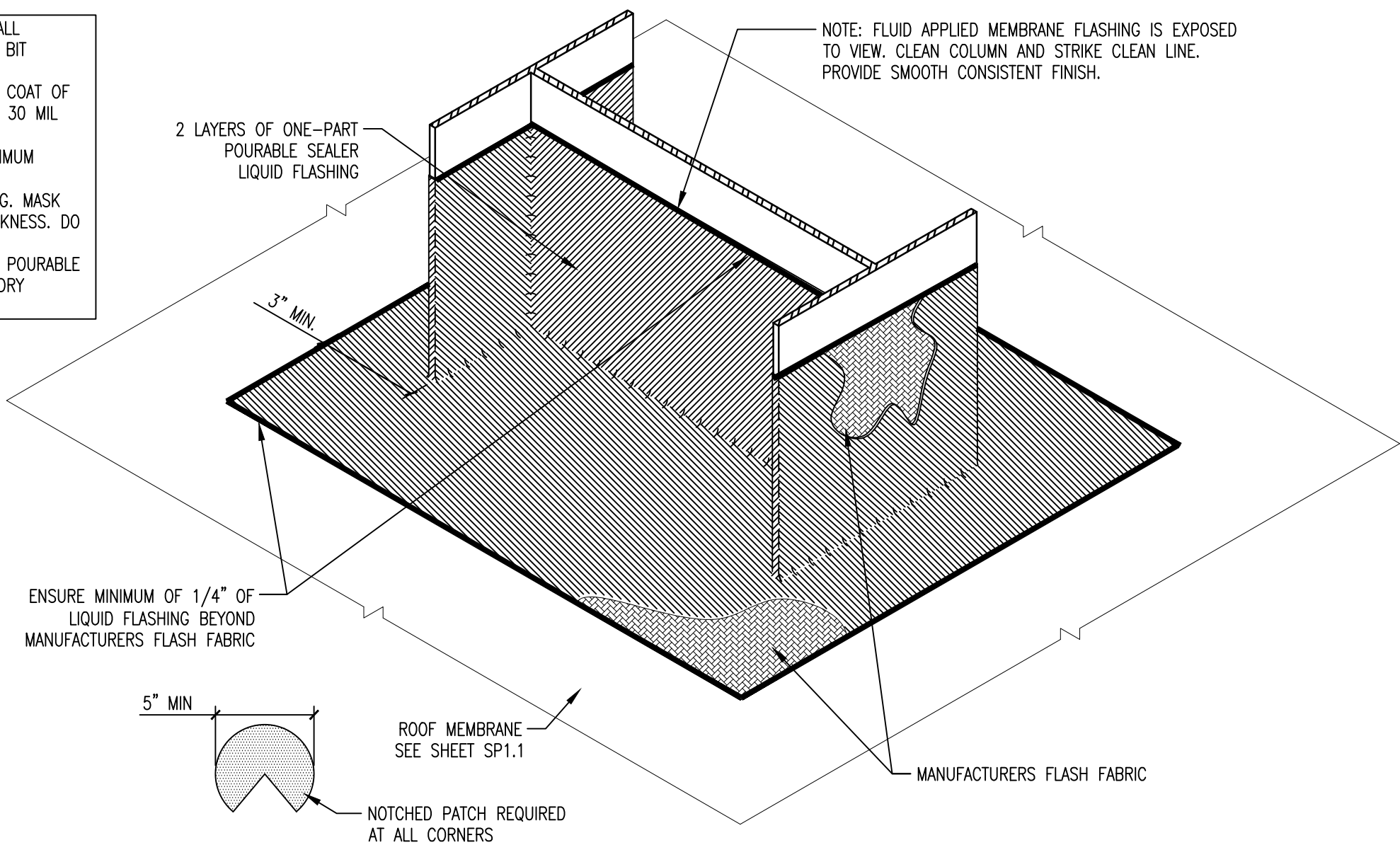
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SCALE: 3" = 1'-0"

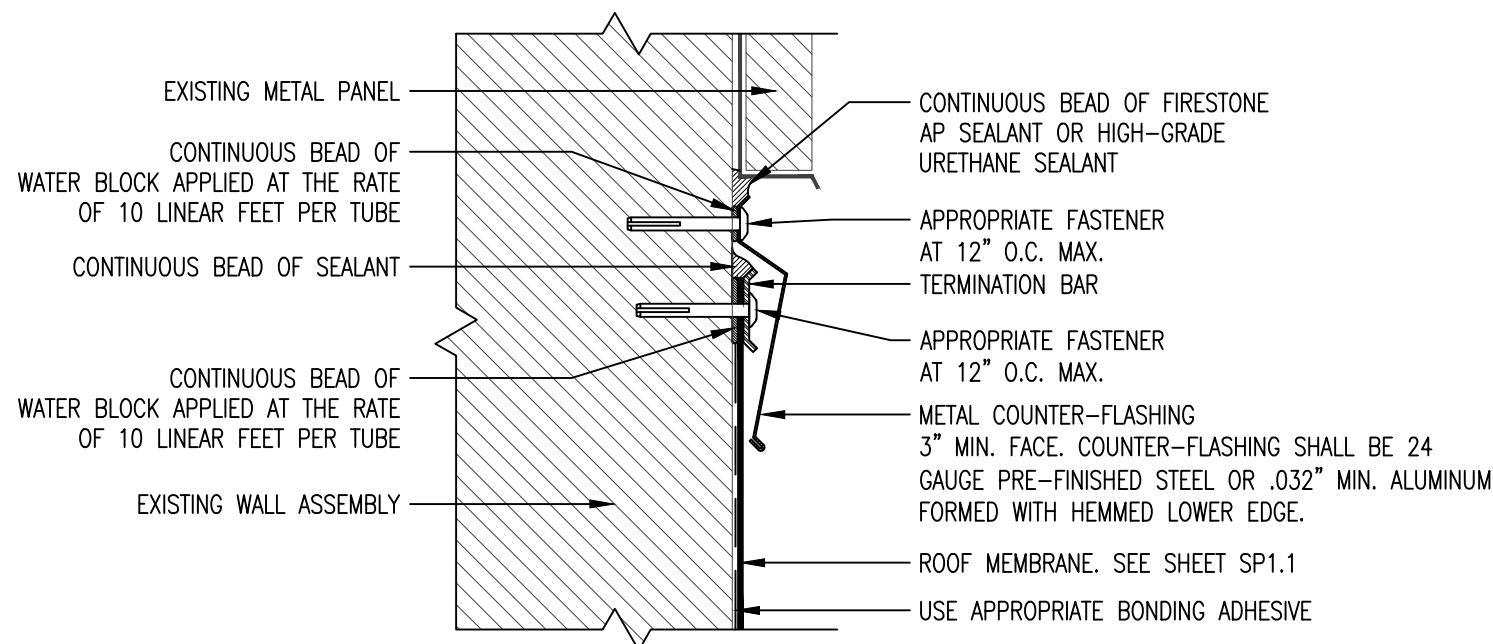


- APPLY SINGLE-PLY MANUFACTURER'S PRIMER TO ALL SINGLE-PLY SURFACES. APPLY PRIMER TO ALL MOD BIT SURFACES.
- APPLY LIQUID FLASHING WITH A MINIMUM BOTTOM COAT OF 30 MIL WET THICKNESS AND MINIMUM TOP COAT OF 30 MIL WET THICKNESS.
- DETAIL (INCLUDING FABRIC) MUST EXTEND 3" MINIMUM BEYOND THE EDGE OF MECHANICAL ATTACHMENT.
- FULLY ENCAPSULATE FABRIC WITH LIQUID FLASHING. MASK LIQUID FLASHING PERIMETER EDGE TO MAINTAIN THICKNESS. DO NOT FEATHER EDGE OF LIQUID FLASHING.
- ALL SURFACES MUST BE COATED WITH ONE PART POURABLE SEALER PRIOR TO THE NEXT OVERLAPPING FABRIC. DRY LAPPING OF FABRIC IS NOT ALLOWED.



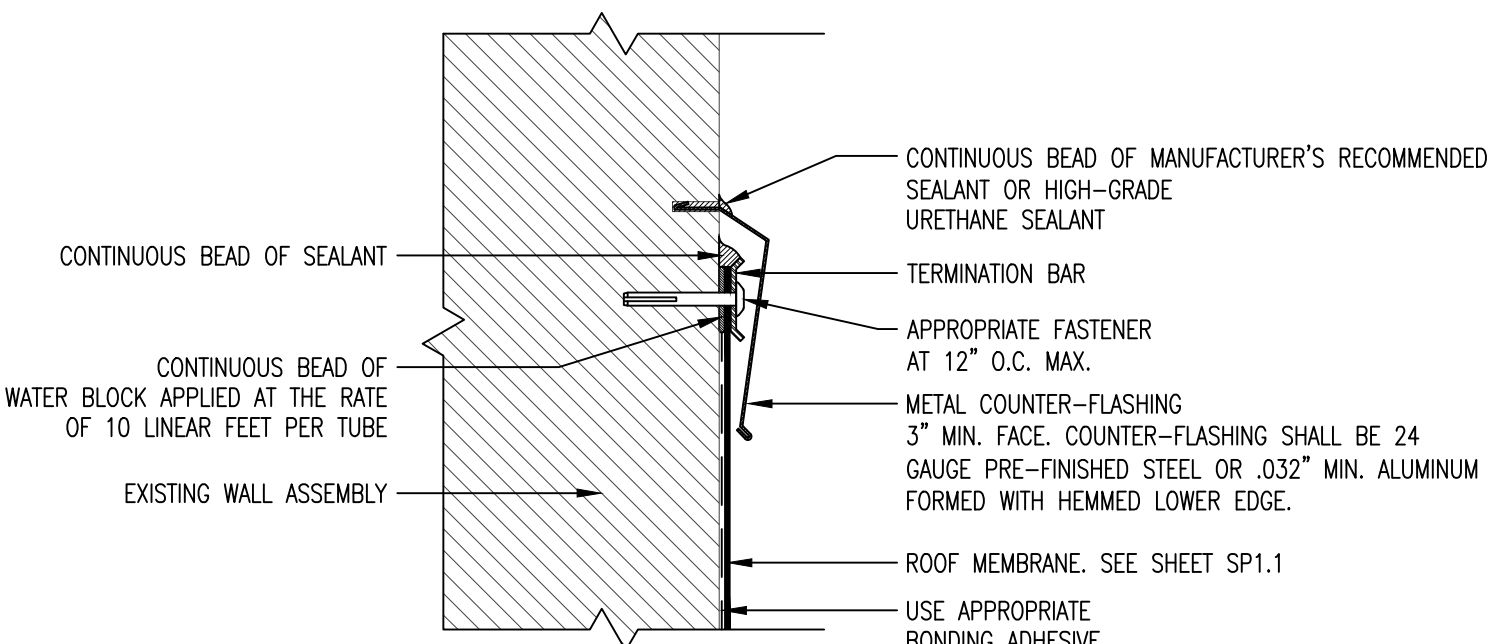
KEYNOTE DETAIL 14
SCALE: 3" = 1'-0"

-INSTALL TERMINATION BAR WITH 1/4" GAP BETWEEN ADJOINING SECTIONS.
-TERMINATION BAR MUST BE CUT AT INSIDE AND OUTSIDE CORNER. DO NOT BEND AROUND CORNERS. TERMINATION BAR MUST BE FASTENED WITHIN 1" OF ALL SECTION ENDS.
-INSTALL METAL WORK IN ACCORDANCE WITH CURRENT SMACNA RECOMMENDATIONS.

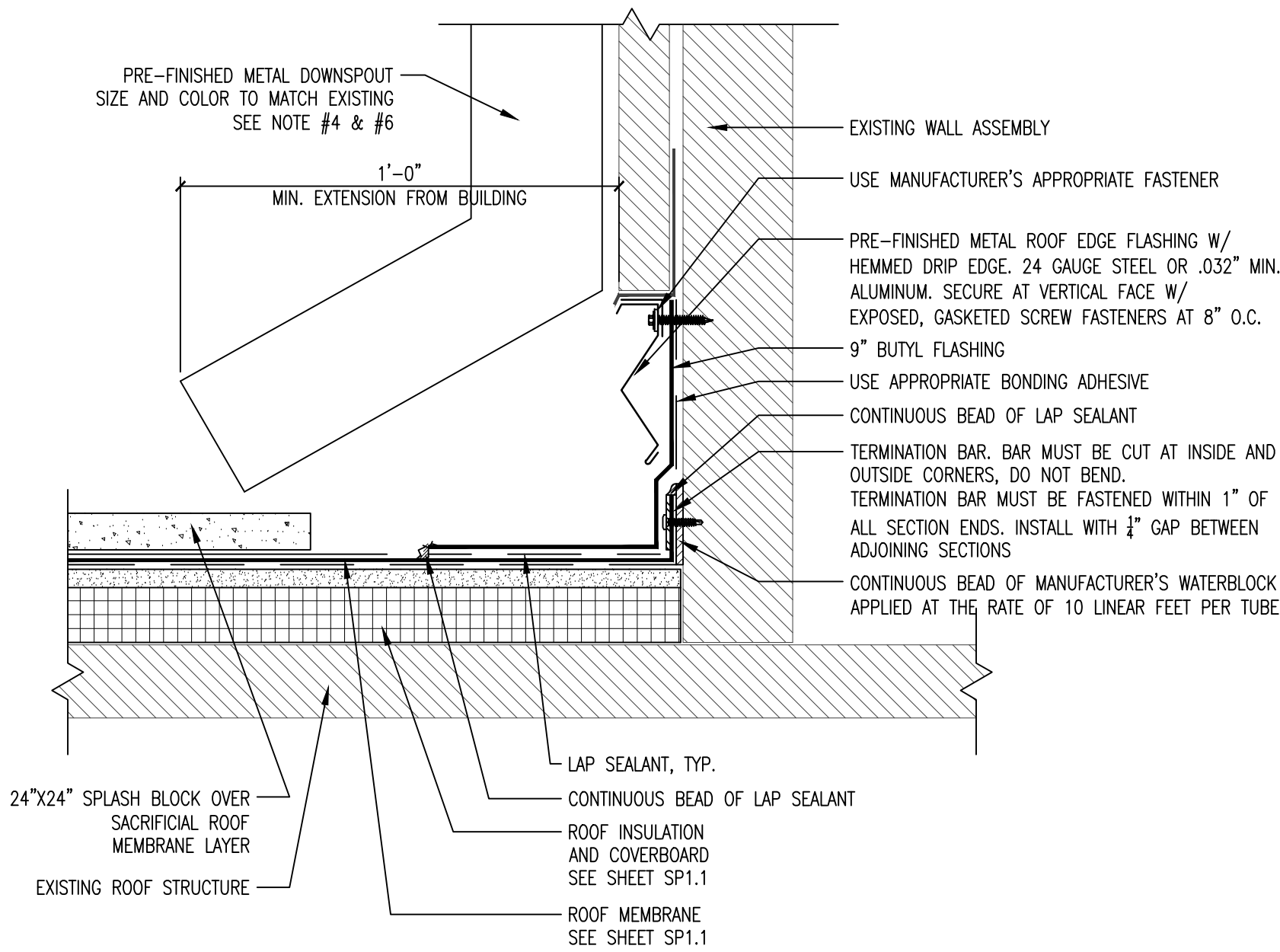


KEYNOTE DETAIL 9
SCALE: 3" = 1'-0"

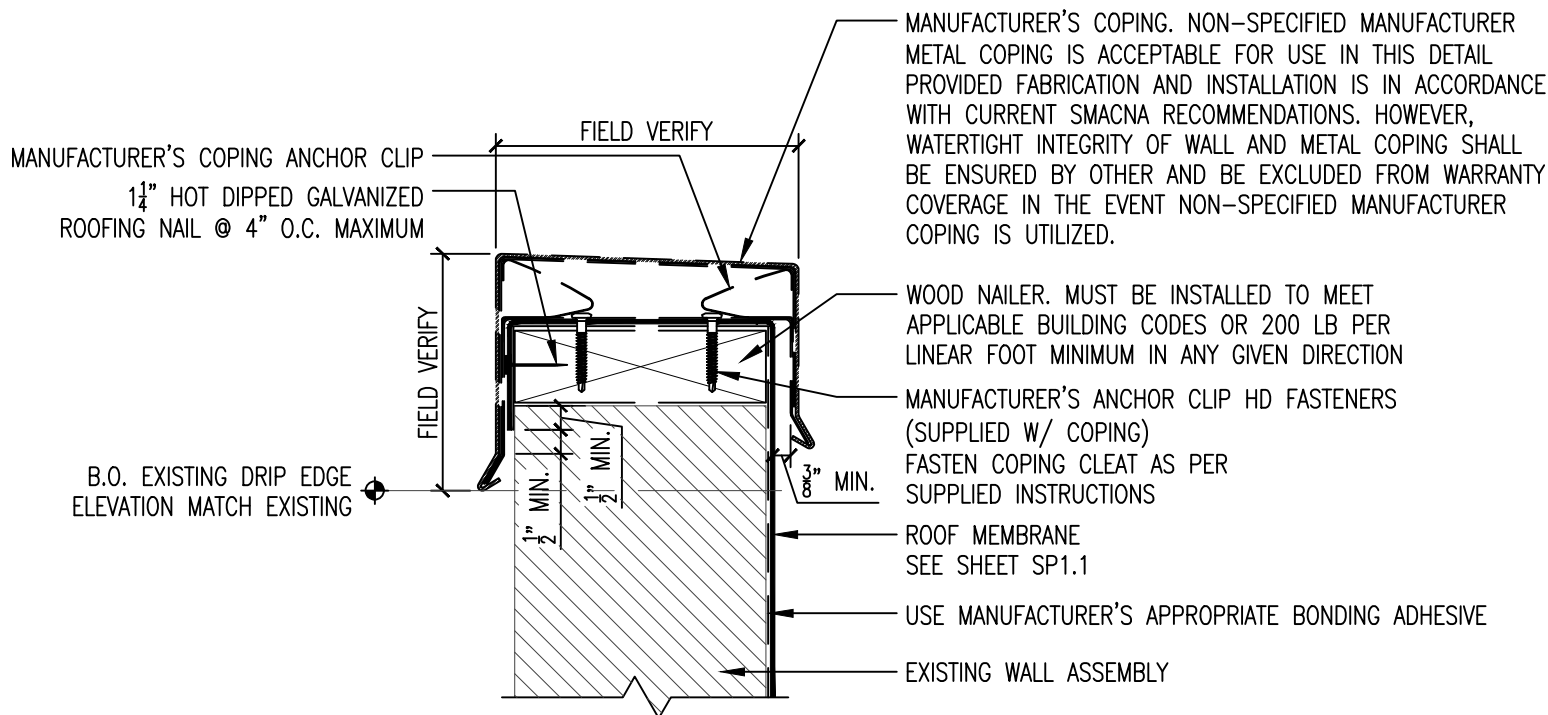
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-INSTALL METAL WORK IN ACCORDANCE WITH CURRENT SMACNA RECOMMENDATIONS.



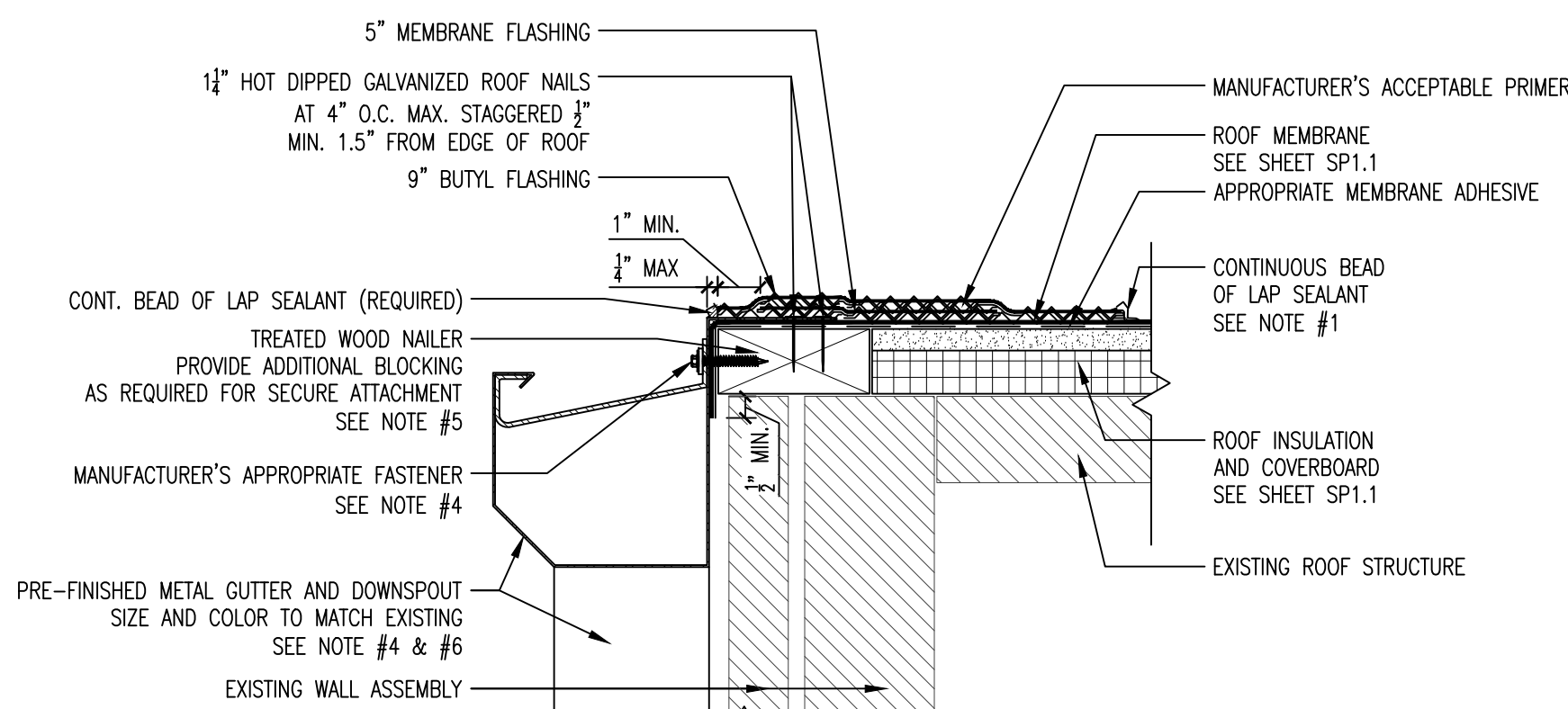
KEYNOTE DETAIL 9
SCALE: 3" = 1'-0"



KEYNOTE DETAIL 11
SCALE: 3" = 1'-0"

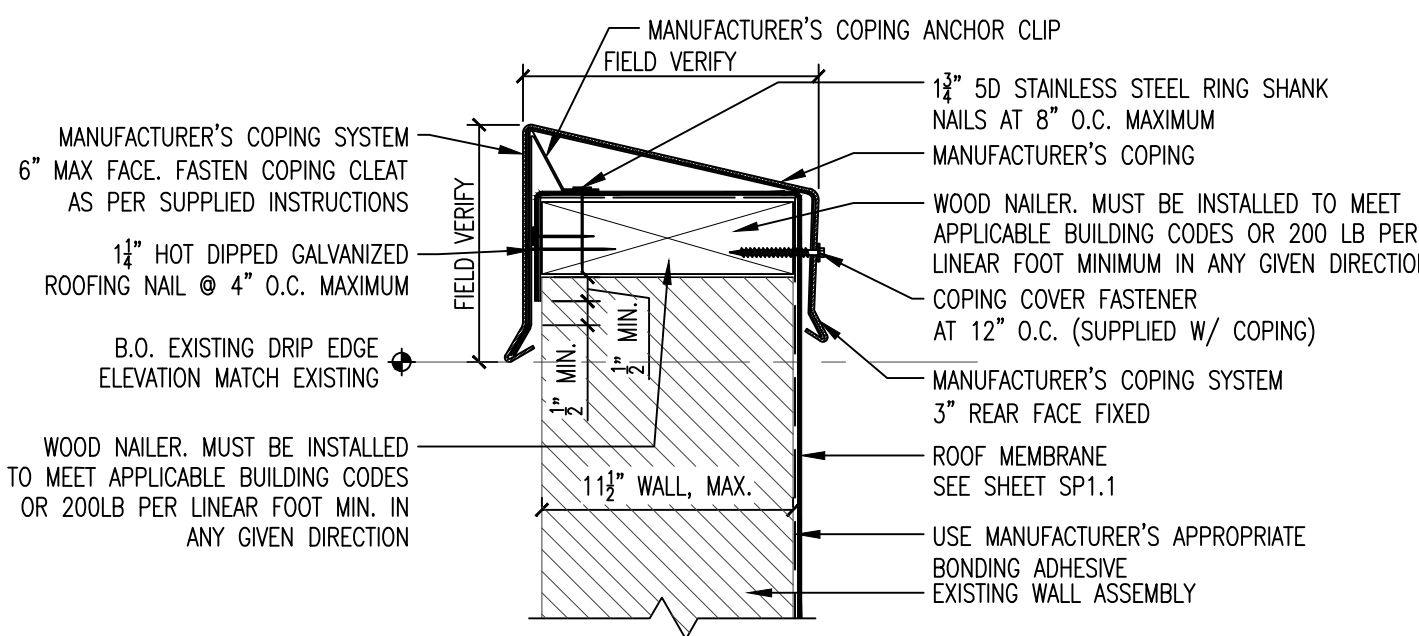


KEYNOTE DETAIL 7
SCALE: 3" = 1'-0"



- NOTE:
- LAP SEALANT IS REQUIRED ALONG UPSLOPE EDGE OF MEMBRANE FLASHING WHEN ROOF SLOPE IS 1" PER FOOT OR GREATER. REFER TO PL5-4 FOR SEAM EDGE TREATMENT.
 - ROUND ALL METAL CORNERS AND PLACE BACK OF GUTTER STRAP 1/4" BELOW TOP OF WOOD NAILER.
 - DO NOT PRE-NAIL MEMBRANE TO THE FACE OF THE WOOD NAILER.
 - CONSTRUCT AND ANCHOR GUTTER IN ACCORDANCE WITH SMACNA RECOMMENDATIONS.
 - WOOD NAILER MUST BE INSTALLED TO MEET APPLICABLE BUILDING CODES OR 200 LB PER LINEAR FOOT MINIMUM IN ANY GIVEN DIRECTION.
 - FLANGE OF METAL GUTTER MUST BE FULLY SUPPORTED BY WOOD AND TERMINATED AT LEAST 1/2" FROM EDGE OF WOOD.

KEYNOTE DETAIL 10
SCALE: 3" = 1'-0"



KEYNOTE DETAIL 7
SCALE: 3" = 1'-0"

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PRINT DATE: SEPTEMBER, 9TH 2025
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