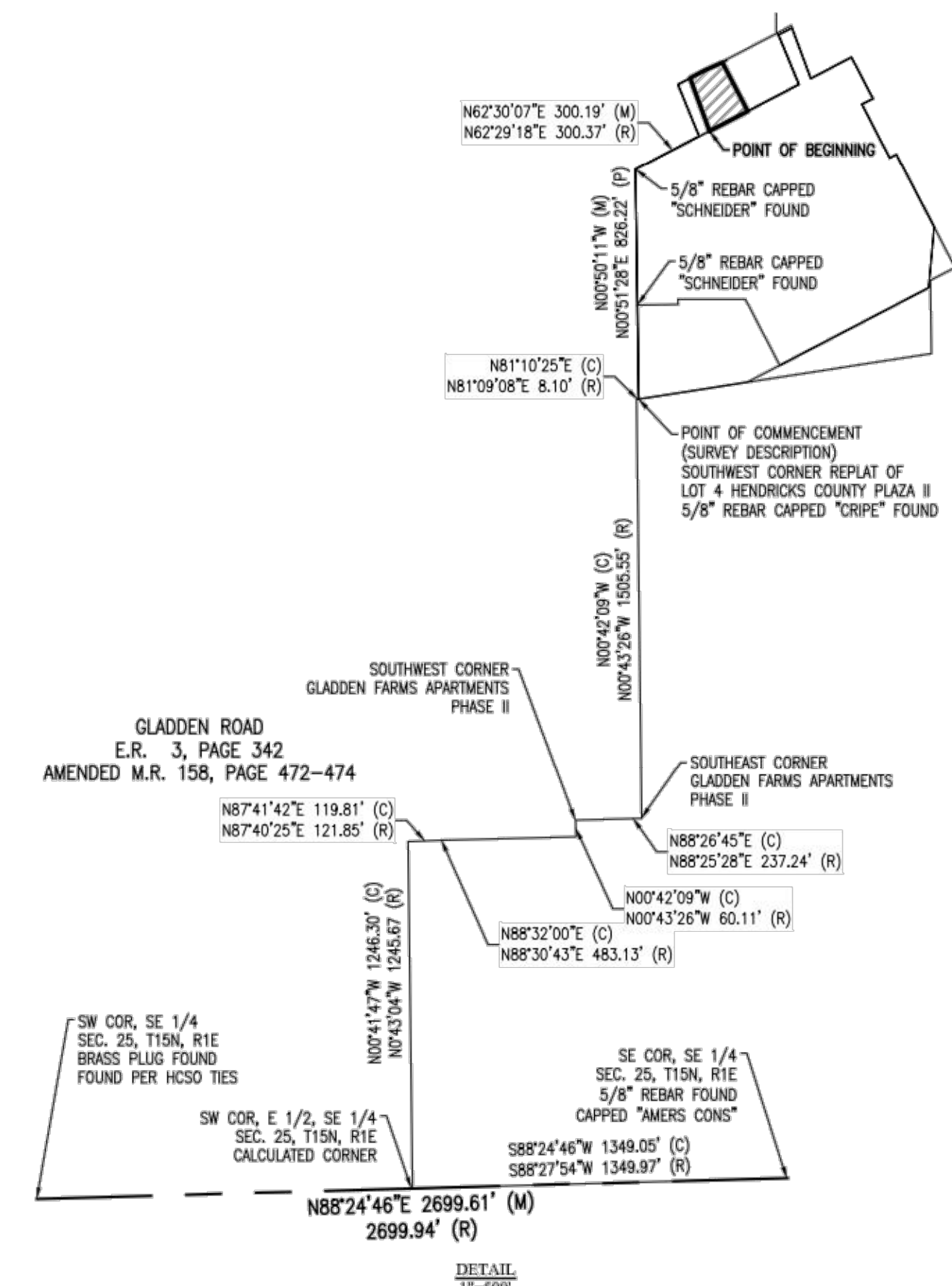
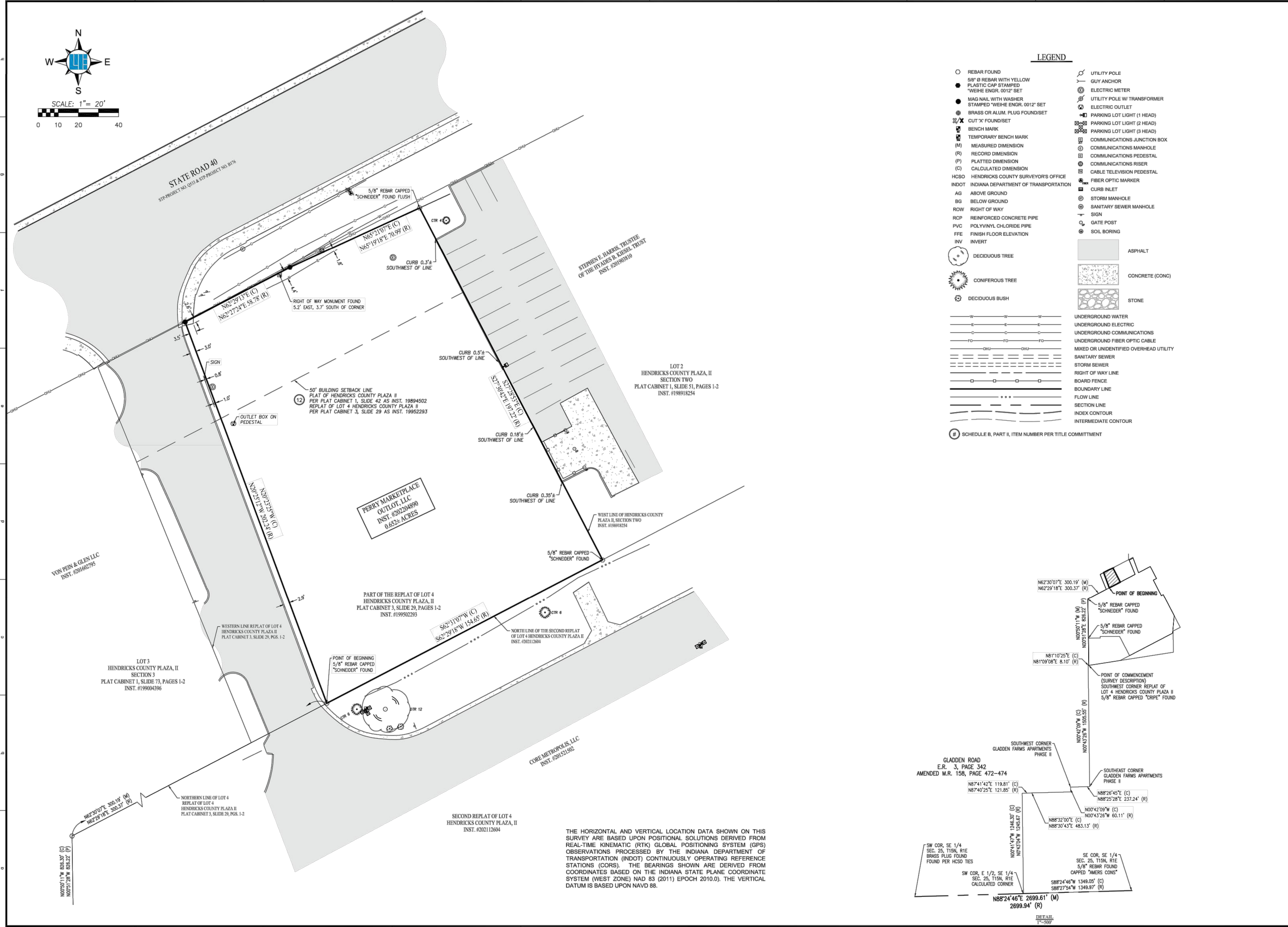


LEGEND

- REBAR FOUND
- 5/8" Ø REBAR WITH YELLOW PLASTIC CAP STAMPED "WEIHE ENGR. 0012" SET
- MAG NAIL WITH WASHER STAMPED "WEIHE ENGR. 0012" SET
- BRASS OR ALUM. PLUG FOUND/SET
- ✕ CUT "X" FOUND/SET
- BENCH MARK
- TEMPORARY BENCH MARK
- (M) MEASURED DIMENSION
- (R) RECORD DIMENSION
- (P) PLATTED DIMENSION
- (C) CALCULATED DIMENSION
- HCSO HENDRICKS COUNTY SURVEYOR'S OFFICE
- INDOT INDIANA DEPARTMENT OF TRANSPORTATION
- AG ABOVE GROUND
- BG BELOW GROUND
- ROW RIGHT OF WAY
- RCP REINFORCED CONCRETE PIPE
- PVC POLYVINYL CHLORIDE PIPE
- FFE FINISH FLOOR ELEVATION
- INV INVERT
- DECIDUOUS TREE
- CONIFEROUS TREE
- DECIDUOUS BUSH
- UTILITY POLE
- GUY ANCHOR
- ELECTRIC METER
- UTILITY POLE W/ TRANSFORMER
- ELECTRIC OUTLET
- PARKING LOT LIGHT (1 HEAD)
- PARKING LOT LIGHT (2 HEAD)
- PARKING LOT LIGHT (3 HEAD)
- COMMUNICATIONS JUNCTION BOX
- COMMUNICATIONS MANHOLE
- COMMUNICATIONS PEDESTAL
- COMMUNICATIONS RISER
- CABLE TELEVISION PEDESTAL
- FIBER OPTIC MARKER
- CURB INLET
- STORM MANHOLE
- SANITARY SEWER MANHOLE
- SIGN
- GATE POST
- SOIL BORING
- ASPHALT
- CONCRETE (CONC)
- STONE
- UNDERGROUND WATER
- UNDERGROUND ELECTRIC
- UNDERGROUND COMMUNICATIONS
- UNDERGROUND FIBER OPTIC CABLE
- MIXED OR UNIDENTIFIED OVERHEAD UTILITY
- SANITARY SEWER
- STORM SEWER
- RIGHT OF WAY LINE
- BOARD FENCE
- BOUNDARY LINE
- FLOW LINE
- SECTION LINE
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- ⑧ SCHEDULE B, PART II, ITEM NUMBER PER TITLE COMMITMENT



THE HORIZONTAL AND VERTICAL LOCATION DATA SHOWN ON THIS SURVEY ARE BASED UPON POSITIONAL SOLUTIONS DERIVED FROM REAL-TIME KINEMATIC (RTK) GLOBAL POSITIONING SYSTEM (GPS) OBSERVATIONS PROCESSED BY THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS). THE BEARINGS SHOWN ARE DERIVED FROM COORDINATES BASED ON THE INDIANA STATE PLANE COORDINATE SYSTEM (WEST ZONE) NAD 83 (2011) EPOCH 2010.0. THE VERTICAL DATUM IS BASED UPON NAVD 88.

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Indianapolis, Indiana 46280
weihe.net
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PREPARED FOR:
SURVEY 7 BREW
2601 E MAIN STREET, PLAINFIELD, INDIANA
ALTA/NSPS LAND TITLE SURVEY WITH TOPOGRAPHY

SECTION 25, TOWNSHIP 1 NORTH, RANGE 1 EAST, GUILFORD TOWNSHIP, HENDRICKS COUNTY, INDIANA
C1
PROJECT NO.
W220033
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TO: TMG CONSTRUCTION MANAGEMENT

THE PURPOSE OF THIS SURVEY IS TO RETRACE THE DEED LINES OF THE SURVEYED PROPERTY ON THE GROUND AND TO REPORT THE AVAILABILITY AND CONDITION OF REFERENCE MONUMENTS, CLARIFY AND/OR AMBIGUITY OF THE RECORD DESCRIPTION(S) AS WELL AS THE DESCRIPTIONS OF ADJOINING LANDS AND THEIR RELATIONSHIPS TO OCCUPATION OR POSSESSION LINES. THE SURVEY WILL ALSO MEET THE MINIMUM STANDARD REQUIREMENTS FOR AN ALTA/NSPS LAND TITLE SURVEY (EFFECTIVE FEBRUARY 23, 2021) AS WELL AS THE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYS IN INDIANA PER 865 IAC 12.1.

CURRENT OWNER OF RECORD: GENERAL WARRANTY DEED PERRY MARKETPLACE OUTLOT, LLC INSTRUMENT NO. 202204990

DESCRIPTION (PER TITLE COMMITMENT)

A PART OF THE REPLAT OF LOT 4 IN HENDRICKS COUNTY PLAZA, II, RECORDED IN PLAT CABINET 3, SLIDE 29, PAGE 1 & 2, IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 5/8 INCH REBAR IN CONCRETE AT THE SOUTHEAST CORNER OF SECTION 25 (BEING ALSO THE SOUTHWEST CORNER OF SAID SECTION 30); THENCE SOUTH 88 DEGREES 24 MINUTES 57 SECONDS WEST (THE BASIS FOR BEARINGS IS PER THE INDIANA STATE PLANE COORDINATE SYSTEM - WEST ZONE) ALONG THE SOUTH LINE OF SAID SECTION 25 A DISTANCE OF 1349.97 FEET TO THE SOUTHWEST CORNER OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SAID SECTION; THENCE NORTH 00 DEGREES 43 MINUTES 04 SECONDS WEST ALONG THE WEST LINE OF SAID HALF QUARTER A DISTANCE OF 1245.67 FEET TO THE SOUTH RIGHT OF WAY LINE OF GLADDEN ROAD AS RECORDED IN EASEMENT RECORD 3, PAGE 342 AND AMENDED IN MISCELLANEOUS RECORD 158, PAGES 472-474 IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA; (THE FOLLOWING 3 COURSES ARE ALONG THE SOUTH AND EAST LINES OF SAID RIGHT OF WAY), (1) NORTH 87 DEGREES 40 MINUTES 25 SECONDS EAST A DISTANCE OF 121.85 FEET; (2) NORTH 88 DEGREES 30 MINUTES 43 SECONDS EAST A DISTANCE OF 483.13 FEET; (3) NORTH 00 DEGREES 43 MINUTES 26 SECONDS WEST A DISTANCE OF 60.11 FEET TO THE SOUTHWEST CORNER OF GLADDEN FARMS APARTMENTS, PHASE II, RECORDED IN PLAT CABINET 4, SLIDE 39, PAGE 2 IN SAID RECORDER'S OFFICE; THENCE NORTH 88 DEGREES 25 MINUTES 28 SECONDS EAST ALONG THE SOUTH LINE OF SAID PLAT A DISTANCE OF 237.24 FEET TO THE SOUTHWEST CORNER THEREOF; THENCE NORTH 00 DEGREES 43 MINUTES 26 SECONDS WEST ALONG THE EAST LINE OF SAID PLAT AND THE NORTHERLY PROLONGATION THEREOF A DISTANCE OF 1505.55 FEET TO A POINT ON THE SOUTHWESTERLY PROLONGATION OF THE SOUTH LINE OF THE AFORESAID REPLAT OF LOT 4 IN HENDRICKS COUNTY PLAZA II; THENCE NORTH 81 DEGREES 09 MINUTES 08 SECONDS EAST ALONG SAID PROLONGATION A DISTANCE OF 8.10 FEET TO THE SOUTHWEST CORNER OF SAID REPLAT LOT 4 HENDRICKS COUNTY PLAZA II; THENCE NORTH 00 DEGREES 51 MINUTES 28 SECONDS WEST ALONG THE WEST LINE OF SAID REPLAT A DISTANCE OF 826.22 FEET; THENCE NORTH 62 DEGREES 29 MINUTES 18 SECONDS EAST A DISTANCE OF 300.37 FEET TO THE POINT OF BEGINNING; THENCE NORTH 20 DEGREES 25 MINUTES 12 SECONDS WEST A DISTANCE OF 202.24 FEET TO THE SOUTH RIGHT OF WAY LINE OF U.S. HIGHWAY 40 PER INDIANA STATE HIGHWAY PLANS STP-PROJECT Q533 AND STP-PROJECT B176 DATED 1997; THENCE NORTH 62 DEGREES 27 MINUTES 24 SECONDS EAST ALONG SAID SOUTH LINE A DISTANCE OF 58.78 FEET; THENCE NORTH 65 DEGREES 19 MINUTES 18 SECONDS EAST ALONG SAID SOUTH LINE A DISTANCE OF 70.99 FEET TO THE WEST LINE OF LOT 2 IN HENDRICKS COUNTY PLAZA II, SECTION TWO, RECORDED IN PLAT CABINET 1, SLIDE 51, PAGES 1 & 2 IN SAID RECORDER'S OFFICE; THENCE SOUTH 27 DEGREES 30 MINUTES 42 SECONDS EAST ALONG SAID WEST LINE A DISTANCE OF 197.22 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2; THENCE SOUTH 62 DEGREES 29 MINUTES 18 SECONDS WEST ALONG A NORTH LINE OF AFORESAID REPLAT A DISTANCE OF 154.65 FEET TO THE POINT OF BEGINNING, CONTAINING 0.65 ACRES, MORE OR LESS.

EXCEPTING THE OIL, GAS AND OTHER MINERALS UNDERLYING THE LAND AND ALL RIGHTS AND EASEMENTS IN FAVOR OF THE ESTATE OF SAID OIL, GAS AND OTHER MINERALS.

PARCEL II (EASEMENT):

NON-EXCLUSIVE EASEMENT FOR VEHICULAR AND PEDESTRIAN ACCESS FOR THE BENEFIT OF PARCEL 1 AS SET FORTH IN DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS RECORDED JULY 28, 1989 IN BOOK 118 AT PAGE 212 AS INSTRUMENT NUMBER 1576.

DESCRIPTION (AS SURVEYED)

PARCEL I (FEE)

A PART OF THE REPLAT OF LOT 4 IN HENDRICKS COUNTY PLAZA, II, RECORDED IN PLAT CABINET 3, SLIDE 29, PAGE 1 AND 2 IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA, BEING THAT 0.652 ACRE TRACT DESCRIBED BY KAREN SUTTON, PS #LS21200013 ON FEBRUARY 25, 2022 IN WEIHE ENGINEERS JOB NUMBER W220033, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE REPLAT OF LOT 4 HENDRICKS COUNTY PLAZA II, BEING MARKED BY A 5/8" REBAR CAPPED CRUPE; THENCE ALONG THE WEST LINE OF SAID REPLAT NORTH 00 DEGREES 50 MINUTES 11 SECONDS WEST 826.22 FEET TO THE NORTH LINE OF SAID REPLAT, BEING MARKED BY A 5/8" REBAR CAPPED SCHNEIDER; THENCE ALONG THE NORTH LINE OF SAID REPLAT NORTH 62 DEGREES 30 MINUTES 07 SECONDS EAST 300.19 FEET TO THE POINT OF BEGINNING; THENCE NORTH 20 DEGREES 23 MINUTES 25 SECONDS WEST 202.24 FEET TO THE SOUTH RIGHT OF WAY LINE OF U.S. HIGHWAY 40 PER INDIANA STATE HIGHWAY PLANS STP-PROJECT Q533 AND STP-PROJECT B176 DATED 1997 BEING WITNESSED BY A MAG NAIL IN THE SIDEWALK; THENCE ALONG SAID SOUTH RIGHT OF WAY THE FOLLOWING TWO (2) COURSES: (1) NORTH 62 DEGREES 29 MINUTES 13 SECONDS EAST 58.78 FEET; (2) NORTH 65 DEGREES 21 MINUTES 07 SECONDS EAST 70.99 FEET TO THE WEST LINE OF LOT 2 IN HENDRICKS COUNTY PLAZA II, SECTION TWO, RECORDED IN PLAT CABINET 1, SLIDE 51, PAGES 1 AND 2 IN SAID RECORDER'S OFFICE, BEING WITNESSED BY A 5/8" REBAR CAPPED SCHNEIDER; THENCE ALONG THE WEST LINE OF LOT 2, SOUTH 27 DEGREES 28 MINUTES 53 SECONDS EAST 197.22 FEET TO THE SOUTHWEST CORNER OF LOT 2, ALSO BEING THE NORTH LINE OF THE SECOND REPLAT OF 4 IN HENDRICKS COUNTY PLAZA, II AS INSTRUMENT NO. 202112604 IN SAID RECORDER'S OFFICE, BOTH BEING MARKED BY A 5/8" REBAR CAPPED SCHNEIDER; THENCE ALONG THE NORTH LINE OF THE SECOND REPLAT OF LOT 4, SOUTH 62 DEGREES 31 MINUTES 07 SECONDS WEST 154.65 FEET TO THE POINT OF BEGINNING, CONTAINING 0.652 ACRES, MORE OR LESS.

PARCEL II (EASEMENT)

NON-EXCLUSIVE EASEMENT FOR VEHICULAR AND PEDESTRIAN ACCESS FOR THE BENEFIT OF PARCEL 1 AS SET FORTH IN DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS RECORDED JULY 28, 1989 IN BOOK 118 AT PAGE 212 AS INSTRUMENT NUMBER 1576.

SURVEYOR'S REPORT

THE TOPOGRAPHIC DATA WAS GATHERED USING SURVEY GRADE GPS AND STANDARD RADIAL SURVEYING TECHNIQUES WITH AN ELECTRONIC INSTRUMENT WITH DATA COLLECTOR. ELEVATIONS ON HARD SURFACES OR STRUCTURES ARE ACCURATE TO WITHIN 0.05 FEET; ELEVATIONS ON NATURAL SURFACES ARE ACCURATE TO WITHIN 0.1 FEET ON THE DATE ON WHICH THE ELEVATIONS WERE OBTAINED; HOWEVER, CHANGES IN ELEVATIONS CAN OCCUR DUE TO SOILS SWELL AND SUBSIDENCE, FREEZE THAW CYCLES, AND WIND AND WATER EROSION. THE MAGNITUDE OF THESE CHANGES DEPENDS UPON SOILS TYPES, SEASONAL CHANGES, AND THE FREQUENCY AND INTENSITY OF WIND, RAIN, AND SNOW EVENTS. IT IS RECOMMENDED THAT IF THE TOPOGRAPHIC DATA IS TO BE USED FOR PLANNING OR DESIGN PURPOSES THAT A CHECK OF ELEVATIONS BE PERFORMED PRIOR TO ANY CONSTRUCTION ACTIVITY. CONTOURS ARE PLOTTED BASED UPON INTERPOLATION OF THE SPOT ELEVATIONS SHOWN HEREON AND ARE GENERALLY ACCURATE TO WITHIN ONE-HALF OF THE CONTOUR INTERVAL DEPICTED. THE FOLLOWING PARAGRAPHS ARE OBSERVATIONS AND OPINIONS REGARDING THE UNCERTAINTIES IN THE LOCATIONS OF MONUMENTS BOTH FOUND AND SET, RECORD DOCUMENTS AND THE DEED LINES AS ESTABLISHED OR REESTABLISHED BY THIS SURVEY, AND AS INTRODUCED BY PROBABLE RANDOM ERRORS IN THE MEASUREMENTS MADE DUE TO THE INSTRUMENTATION AND TECHNIQUES EMPLOYED (RELATIVE POSITIONAL ACCURACY). THE SURVEY MAY SHOW DIFFERENCES BETWEEN THE DEED (D) OR PLAT (P) DIMENSIONS AND THE MEASURED (M) DIMENSIONS ALONG THE DEED LINES. THERE MAY BE DIFFERENCES BETWEEN LINES OF OCCUPATION (POSSESSION) AND THE DEED LINES AS SHOWN ON THIS SURVEY.

MONUMENTS

MONUMENTS WERE SET OR FOUND DURING THE COURSE OF THIS SURVEY, THOSE SET IN THE GROUND ARE 5/8" REBAR WITH YELLOW PLASTIC CAPS STAMPED "WEIHE ENGR 0012", UNLESS OTHERWISE NOTED. MONUMENTS SET IN HARD SURFACED AREAS, SUCH AS ASPHALT, ARE AS INDICATED ON THE DRAWING AND HAVE A WASHER STAMPED "WEIHE ENGR 0012" WHERE POSSIBLE. THERE MAY BE 5/8" REBAR WITH RED PLASTIC CAPS STAMPED "TRAVESER", WOODEN STAKES, OR SPIKE NAILS FOUND ON OR NEAR THE SUBJECT REAL ESTATE. THESE ARE WORKING POINTS AND SHOULD NOT BE CONFUSED WITH MONUMENTS MARKING THE BOUNDARIES OF THE SUBJECT PROPERTY. MONUMENTS FOUND AT OR NEAR THE DEED CORNERS, OR ALONG THE DEED LINES OF THE SUBJECT REAL ESTATE ARE INDICATED ON THE DRAWING. BECAUSE THE DIFFERENCE IS DEEMED INSIGNIFICANT, MONUMENTS WERE NOT SET IN THOSE CASES WHERE A FOUND MONUMENT WAS NOT IN EXACT AGREEMENT WITH THIS SURVEY, BUT WITHIN THE

TOLERANCES REQUIRED FOR A CERTAIN CLASS OF SURVEY. THE DIFFERENCE MAY BE SHOWN ON THE SURVEY TO ACCENTUATE THE UNCERTAINTY OF THAT MONUMENT. IN THOSE CASES WHERE THE DIFFERENCE IS GREATER THAN THE RELATIVE POSITIONAL ACCURACY OR UNCERTAINTY IN CONTROLLING MONUMENTS, CAUTION SHOULD BE EXERCISED BEFORE MAKING ANY IMPROVEMENTS ALONG THE LINES AFFECTED. THOSE UNCERTAINTIES CONSIDERED TO BE SIGNIFICANT ARE DISCUSSED BELOW. THE MONUMENTS ESTABLISHED AT THE CORNERS OF THE SUBJECT REAL ESTATE ARE WITHIN THE ACCEPTABLE RELATIVE POSITIONAL SPECIFICATIONS FOR AN URBAN SURVEY, 0.07 FEET + 50 PPM AS DEFINED IN 865 IAC 1-12-7.

THE FOLLOWING ARE THE MONUMENTS FOUND OR RE-ESTABLISHED MARKING THE CORNERS COMMON TO THE SOUTHEAST CORNER OF SECTION 25, TOWNSHIP 15 NORTH, RANGE 1 EAST.

SOUTHWEST CORNER - A BRASS PLUG FLUSH PER HENDRICKS COUNTY SURVEYOR'S OFFICE SECTION CORNER RECORD

SOUTHEAST CORNER - A 5/8" REBAR CAPPED "AMERS CON'S" WAS FOUND AT THE CORNER. THE HENDRICKS COUNTY SECTION CORNER RECORD, DATED OCTOBER 2, 1995, CALLS FOR A REBAR IN A CONCRETE MONUMENT. A SURVEY BY SCHNEIDER AS PROJECT NO. 1019.074A, AND CERTIFIED ON MARCH 7, 2012, SHOWS A RECOVERY OF A 5/8" REBAR IN A CONCRETE MONUMENT. HOWEVER, IT IS APPARENT THAT THE AREA SURROUNDING THE SECTION CORNER HAS BEEN EXCAVATED. THE TIES WERE NOT PRESENT AND THE CONCRETE MONUMENT MAY HAVE BEEN OBLITERATED. THE 1995 SECTION CORNER RECORD CITES THE DISTANCE FROM THIS SECTION CORNER TO THE SOUTHWEST CORNER OF SAID QUARTER SECTION AS BEING 2699.94 FEET. THE SOUTHWEST CORNER WAS RECOVERED PER THE HENDRICKS COUNTY SECTION CORNER RECORD DATED JULY 20, 2011. THE MEASURED DISTANCE BETWEEN THESE FOUND MONUMENTS WAS 2699.61 FEET, BEING 0.29' SHORT OF RECORD DISTANCE. THE 5/8" REBAR FOUND MAY BE A TITLE CORNER, NOT NECESSARILY INDICATING THE LOCATION OF THE CORNER.

OTHER ALIQUOT CORNERS - OTHER ALIQUOT SUBDIVISIONS OF THE OVERALL SECTION WERE PERFORMED, AS NEEDED, BY MATHEMATICAL SOLUTIONS BASED UPON THE LOCATIONS OF THE MONUMENTS FOUND OR REESTABLISHED AS DISCUSSED ABOVE.

THEORY OF LOCATION

THE SUBJECT REAL ESTATE IS DESCRIBED BY METES AND BOUNDS. THESE TYPES OF DESCRIPTIONS MAKE "CALLS", WHICH ARE REFERENCES TO RECORD, NATURAL, OR ARTIFICIAL MONUMENTS AT THE CORNERS; AND RECORD, NATURAL OR CULTURAL BOUNDARY LINES. THE MOST COMMON METHOD IS TO RECITE THE DIRECTION AND LENGTH OF EACH LINE AS ONE WOULD WALK AROUND THE PERIMETER OF THE PROPERTY. THE FOLLOWING PARAGRAPHS ARE OBSERVATIONS RELATIVE TO THOSE CONTROLLING MONUMENTS AND CALLS AS REFERENCED IN THE DESCRIPTION.

5/8" REBARS CAPPED "SCHNEIDER" WERE FOUND AT THE NORTHEAST, SOUTHEAST, AND SOUTHWEST CORNERS OF THE SURVEYED REAL ESTATE. THE EAST AND SOUTH LINES WERE RETRACED BETWEEN FOUND MONUMENTS, UTILIZING RECORD INTERIOR ANGULAR GEOMETRY AND RECORD DIMENSIONS. THE NORTH LINE WAS RETRACED ALONG THE SOUTH RIGHT OF WAY OF STATE ROAD 40 PER INDIANA STATE HIGHWAY PLANS FOR STP-PROJECT Q533 AND STP-PROJECT B176. THE WEST LINE WAS RETRACED UTILIZING RECORD INTERIOR ANGULAR GEOMETRY AND RECORD DIMENSIONS.

THE SURVEYED DESCRIPTION IS BASED ON FOUND MONUMENTATION AND PLATTED DIMENSIONS. AS THE SURVEYED REAL ESTATE IS PART OF THE REPLAT OF LOT 4 IN HENDRICKS COUNTY PLAZA II, CALLING TO THE PERIMETER OF SAID SUBDIVISION, THE DESCRIPTION WAS ABBREVIATED COMMENCING FROM THE SOUTHWEST CORNER OF SAID SUBDIVISION. TWO 5/8" REBARS CAPPED "SCHNEIDER" AND A 5/8" REBAR CAPPED "CRUPE" WERE FOUND ALONG THE WESTERN LINE OF SAID SUBDIVISION.

COMMON TITLE LINES

INFORMATION REGARDING THE OWNERSHIP OF THE SUBJECT REAL ESTATE OR ADJOINING PARCELS IS THAT AS SHOWN IN LOCAL GOVERNMENT RECORDS, OR AS FURNISHED BY OTHERS. A COMPARISON WAS MADE BETWEEN THE DEED CALLS OF THE SUBJECT REAL ESTATE AND THOSE ADJOINING PARCELS WITH COMMON LINES WITH THE SURVEYED PARCEL AND NO DISCREPANCIES WERE FOUND.

THE REPLAT OF LOT 4 OF HENDRICKS COUNTY PLAZA II, PLAT CABINET 3, SLIDE 29, INSTRUMENT NO. 199502293 WAS UTILIZED AS REFERENCE FOR THIS SURVEY. THIS PLAT DOES NOT AGREE WITH THE DEED OF THE SURVEYED PARCEL, INSTRUMENT 201911396. ALONG THE NORTH LINE OF THE SURVEYED PARCEL, THE PLAT CALLS FOR A SINGLE COURSE. HOWEVER, THE DEED CALLS FOR TWO COURSES ALONG THE SOUTH RIGHT OF WAY OF HIGHWAY 40 PER INDIANA STATE HIGHWAY PLANS STP-PROJECT Q533 AND STP-PROJECT B176 DATED 1997. THIS PRESENTS AN UNCERTAINTY OF 0.74 FEET AT THE NORTHWEST CORNER AND 2.84 FEET AT NORTHEAST CORNER OF THE SURVEYED REAL ESTATE. A SURVEY BY SCHNEIDER AS PROJECT NO. 1019.074A, AND CERTIFIED ON MARCH 7, 2012, NOTES SIMILAR DIMENSIONAL DISCREPANCIES.

A 50 FOOT BUILDING SETBACK LINE IS SHOWN ON THE SUBDIVISION PLAT. IT WAS CALCULATED BASED ON THE PLATTED LOCATION OF THE NORTH LINE OF THE SUBDIVISION.

ALTHOUGH THE SURVEYED REAL ESTATE IS A PART OF A LOT WITHIN A SUBDIVISION, THE RECORD DESCRIPTION COMMENCES FROM SECTION CORNERS OUTSIDE OF THE SUBDIVISION. USING THE PHYSICAL EVIDENCE FOUND WITHIN THE SUBDIVISION, THE RECORD COMMENCING DIMENSIONS AND COURSES DO NOT AGREE WITH THE FOUND LOCATION OF THE SECTION CORNERS. SEVERAL COMMENCING COURSES WERE CALCULATED TO MATCH THE FOUND EVIDENCE AND ARE AS SHOWN IN THE DETAIL ON THE FACE OF THE SURVEY.

OCCUPATION ALONG DEED LINES

OCCUPATION MEANS SOME OBSERVABLE IMPROVEMENT EITHER MAN MADE OR A NATURAL BARRIER MANIPULATED BY MAN TO DELINEATE THE PROPERTY LINE. IT SHOULD BE NOTED THAT NOT ALL FENCES ARE ERRECTED TO DEFINE PROPERTY LINES AND CAUTION IS WARRANTED BEFORE ACCEPTING THIS TYPE OF BARRIER AS SUCH. ONE SHOULD ALSO BE AWARE THAT WHEN THESE TYPES OF OCCUPATION ARE NOT IN AGREEMENT WITH DEED LINES CERTAIN UNWRITTEN RIGHTS MAY EXIST OVER THE LAND BETWEEN THEM. THOSE PARTIES RELYING ON THE SURVEY SHOULD ASSUME THAT THE UNCERTAINTY OF OWNERSHIP OF THESE AREAS WHERE OCCUPATION LINES AND DEED LINES ARE NOT IN COINCIDENCE IS, AT LEAST, EQUAL TO THE MAGNITUDE OF THE DIFFERENCE. UNLESS OTHERWISE NOTED OR SHOWN ON THE SURVEY, THERE IS NO VISIBLE EVIDENCE OF OCCUPATION (POSSESSION) ALONG THE DEED LINES OF THE SUBJECT REAL ESTATE.

THE NORTH LINE RUNS GENERALLY ALONG THE IMPROVEMENTS OF STATE ROAD 40. THE EAST LINE RUNS GENERALLY ALONG THE CURB LINE. THE SOUTH LINE RUNS GENERALLY THE DITCH. THE WEST LINE RUNS GENERALLY ALONG THE IMPROVEMENTS OF THE DRIVE.

CERTIFICATE OF SURVEY ALTA/NSPS LAND TITLE SURVEY

TO: GMC REAL ESTATE ACQUISITIONS, A DELAWARE LLC; CHICAGO TITLE INSURANCE COMPANY; THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(A), 7(B) (1), 8, 9, AND 13 OF TABLE A THEREOF. I FURTHER CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE HEREIN SURVEY MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS AS SET FORTH IN 865 IAC 1-12-7, AND THE WITHIN PLAT AND REPORT REPRESENTS THE RESULTS OF AN URBAN SURVEY, AS DEFINED THEREIN. THE FIELDWORK WAS COMPLETED UNDER MY DIRECT SUPERVISION ON FEBRUARY 10, 2022.

Karen Sutton

KAREN SUTTON, P.S. PROFESSIONAL SURVEYOR #21200013 MARCH 24, 2022



SURVEYOR NOTES

1. AS USED IN THIS SURVEY, CERTIFY MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION OF CONDITIONS REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESS OR IMPLIED. INTERPRETATIONS ARE NOT A PART OF ANY CERTIFICATION.

NO WARRANTY, EITHER EXPRESS OR IMPLIED, IS MADE AS TO THE ACCURACY OR COMPLETENESS OF INFORMATION PROVIDED BY GOVERNMENTAL AUTHORITIES AND / OR THIRD PARTIES, OR AS TO ITS FITNESS FOR ANY PARTICULAR PURPOSE OR USE, INCLUDING BUT NOT LIMITED TO INFORMATION

PRESENTED ON UNDERGROUND UTILITIES, FLOOD HAZARD ZONES, FLOODWAY ZONES, WETLANDS, RECORDING INFORMATION, ZONING, AND REGULATED DRAINS. IN NO EVENT WILL WEIHE ENGINEERS, INC., ITS EMPLOYEES, AGENTS, AND/OR ASSIGNS BE LIABLE FOR ANY DAMAGES ARISING OUT OF THE FURNISHING AND/OR USE OF SUCH INFORMATION

2. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR IN THE STATE OF INDIANA, THE RELATIVE POSITION OF ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

3. THIS SURVEY WAS PREPARED UTILIZING INFORMATION CONTAINED IN CHICAGO TITLE INSURANCE COMPANY COMMITMENT #CTIN2201742, DATED MARCH 1, 2022. SOME OF THE ITEMS DISCLOSED IN SCHEDULE B(I) OF SAID COMMITMENT HAVE BEEN SHOWN ON THE SURVEY, IF POSSIBLE, AND ARE IDENTIFIED BY THEIR RECORD INFORMATION. IF THERE IS A NEED FOR ADDITIONAL ITEMS TO BE SHOWN ON THE SURVEY, PLEASE ADVISE ME AND PROVIDE THE APPROPRIATE INFORMATION.

4. A COMBINATION OF GPS COLLECTION AND ROBOTIC TOTAL STATION WAS UTILIZED IN COMPLETING THIS SURVEY. ALL EQUIPMENT USED WERE TRIMBLE GPS ROVERS, TOTAL STATIONS, AND DATA COLLECTORS.

5. BASIS OF BEARINGS: THE BEARINGS SHOWN ON THIS SURVEY ARE BASED ON THE INDIANA STATE PLANE COORDINATE SYSTEM FOR THE WEST ZONE, NAD83 (2011.00). SAID BEARINGS ORIGINATED FROM A FIELD TRAVERSE WHICH WAS TIED (REFERENCED) TO SAID COORDINATE SYSTEM BY GPS OBSERVATIONS USING INDIANA'S INCORS RTX NETWORK.

6. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND/OR MARKS MADE UPON THE GROUND BY OTHER) AND/OR EXISTING DRAWINGS AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION OF PLANNED IMPROVEMENTS ON OR NEAR THE PROPERTY. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN ON THIS SURVEY COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR INACTIVE.

7. ANY BUILDING DIMENSIONS SHOWN ON THIS SURVEY ARE AS COLLECTED IN THE FIELD. BUILDINGS MAY NOT BE CLOSED FIGURES DUE TO THE TYPES OF CONSTRUCTION MATERIALS USED AND PLUMBNESS OF WALLS MEASURED.

ALTA/NSPS TABLE "A" ITEMS

ITEM 1. MONUMENTS PLACED (OR A REFERENCE MONUMENT OR WITNESS TO THE CORNER) AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE PROPERTY, UNLESS ALREADY MARKED OR REFERENCED BY EXISTING MONUMENTS OR WITNESSES IN CLOSE PROXIMITY TO THE CORNER. AS SHOWN ON THE FACE OF THE SURVEY

ITEM 2. ADDRESS(ES) OF THE SURVEYED PROPERTY IF DISCLOSED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR OR OBSERVED WHILE CONDUCTING THE FIELDWORK. 2501 E MAIN STREET, PLAINFIELD, INDIANA

ITEM 3. THE ACCURACY OF THE FLOOD HAZARD DATA SHOWN ON THIS REPORT IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF PLAINFIELD, INDIANA, COMMUNITY #180089, MAP #18063C02780 DATED SEPTEMBER 25, 2009, THE DESCRIBED REAL ESTATE LIES WITHIN THE UNSHADED ZONE "X", WHICH ARE AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

ITEM 4. GROSS LAND AREA (AND OTHER AREAS IF SPECIFIED BY THE CLIENT). 0.652± ACRES

ITEM 5. VERTICAL RELIEF WITH THE SOURCE OF INFORMATION (E.G., GROUND SURVEY, AERIAL MAP), CONTOUR INTERVAL, DATUM, AND ORIGINATING BENCHMARK IDENTIFIED. NAVD 88 DATUM AS OBSERVED WITH GPS OCCUPATION USING THE INDOT INCORS VRS NETWORK.

PROJECT BM BM C-46 0.1 MILE SOUTH OF US-40 ON 267, SOUTHWEST CORNER OF BRIDGE. PUBLISHED ELEVATION: 761.71 (NO DATUM GIVEN) MEASURED ELEVATION: 762.57 (NAVD 88) BENCHMARK ELEVATION COLLECTED 02/09/22 AND 03/03/2022

TBM 1 CUT SQUARE IN THE BASE OF LIGHT SOUTHEAST OF THE SURVEYED PARCEL. ELEV: 775.88 (NAVD 88)

TBM 2 CUT SQUARE IN THE BASE OF LIGHT POLE SOUTH OF THE SOUTHWEST CORNER OF THE SURVEYED PARCEL. ELEV: 776.72 (NAVD 88)

ITEM 7(A). EXTERIOR DIMENSIONS OF ALL BUILDINGS AT GROUND LEVEL. AS THE SITE IS VACANT, NO BUILDINGS WERE PRESENT AT THE TIME OF THE SURVEY.

ITEM 7(B). SQUARE FOOTAGE OF EXTERIOR FOOTPRINT OF ALL BUILDINGS AT GROUND LEVEL. OTHER AREAS AS SPECIFIED BY THE CLIENT. AS THE SITE IS VACANT, NO BUILDINGS WERE PRESENT AT THE TIME OF THE SURVEY.

ITEM 8. SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK (IN ADDITION TO THE IMPROVEMENTS AND FEATURES REQUIRED PURSUANT TO SECTION 5 ABOVE) (E.G., PARKING LOTS, BILLBOARDS, SIGNS, SWIMMING POOLS, LANDSCAPED AREAS, SUBSTANTIAL AREAS OF REFUSE). AS SHOWN ON THE FACE OF THE SURVEY.

ITEM 9. NUMBER AND TYPE (E.G., DISABLED, MOTORCYCLE, REGULAR AND OTHER MARKED SPECIALIZED TYPES) OF CLEARLY IDENTIFIABLE PARKING SPACES ON SURFACE PARKING AREAS, LOTS AND IN PARKING STRUCTURES. STRIPINGS OF CLEARLY IDENTIFIABLE PARKING SPACES ON SURFACE PARKING AREAS AND LOTS. AS SHOWN ON THE FACE OF THE SURVEY.

ITEM 11. LOCATION OF UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY AS DETERMINED BY: (A) PLANS AND/OR REPORTS PROVIDED BY CLIENT (WITH REFERENCE AS TO THE SOURCES OF INFORMATION) (B) MARKINGS COORDINATED BY THE SURVEYOR PURSUANT TO A PRIVATE UTILITY LOCATE REQUEST. NOTE TO THE CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11, INFORMATION FROM SOURCES CHECKED ABOVE WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.IV. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE. IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY. AT THE TIME OF THE SURVEY, THE AREA HAD BEEN AFFECTED BY SEVERAL SNOW STORMS. UTILITY MARKINGS THAT WERE LOCATED BY 811 BEFORE OR DURING THESE EVENTS COULD HAVE BEEN DISTURBED. UTILITIES WERE LOCATED AS MARKED AND ARE SHOWN ON THE FACE OF THE SURVEY.

ITEM 13. NAMES OF ADJOINING OWNERS ACCORDING TO CURRENT TAX RECORDS. IF MORE THAN ONE OWNER, IDENTIFY THE FIRST OWNER'S NAME LISTED IN THE TAX RECORDS FOLLOWED BY "ET AL." AS SHOWN ON THE FACE OF THE SURVEY.

TITLE COMMITMENT/EASEMENTS

ITEMS 1-2, 5-11, 15-18 WERE NOT FOUND TO CURRENTLY BE SURVEY RELATED.

ITEM 3. EASEMENTS, OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORDS. NO UNRECORDED EASEMENTS WERE PROVIDED TO THE SURVEYOR.

ITEM 4. ANY ENCRICHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE

AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND. POSSIBLE ENCRICHMENTS ARE AS SHOWN ON THE FACE OF THE SURVEY. THE OTHER ITEMS ARE NOT SURVEY MATTERS.

ITEM 12. COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS AND BUILDING LINES SET OUT ON THE PLAT OF HENDRICKS COUNTY PLAZA II, RECORDED SEPTEMBER 26, 1989 IN PLAT CABINET 1, SLIDE 42 AS INSTRUMENT NO. 19894502 AND REPLAT OF LOT 4 HENDRICKS COUNTY PLAZA II, RECORDED FEBRUARY 13, 1995 IN PLAT CABINET 3, SLIDE 29 AS INSTRUMENT NO. 19952293.

OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILY STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW.

EASEMENTS AND BUILDING LINES ARE AS SHOWN ON THE FACE OF THE SURVEY. ALL OTHER ITEMS ARE NOT SURVEY MATTERS.

ITEM 13. COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS SET OUT IN DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS, RECORDED JULY 28, 1989 IN BOOK 118, PAGES 212-221 AS INSTRUMENT NO. 1576.

AMENDED AND ASSIGNED IN ASSIGNMENT AND ASSUMPTION OF AGREEMENTS BY AND BETWEEN TABANI T INVESTMENTS (ASSIGNOR) AND RHUA PROPERTIES, L.C. (ASSIGNEE), RECORDED JUNE 10, 2019 AS INSTRUMENT NO. 201911396.

OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILY STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW.

INSTRUMENT NO. 1576 INCLUDES AN ACCESS EASEMENT. THE ACCESS IS OVER AND UPON ALL ROADS, DRIVEWAYS, AND PARKING AREAS THAT ARE A PART OF THE SHOPPING CENTER TRACT, THE OUTPARCEL TRACTS AND/OR ADDITIONAL PROPERTY. THE SURVEYED PROPERTY IS A PART OF THE SHOPPING CENTER PARCEL DESCRIBED IN EXHIBIT "B" IN BOOK 118, PAGES 212-221. THE ACCESS EASEMENT BENEFITS AND BURDENS THE SURVEYED REAL ESTATE.

THIS DOCUMENT ALSO INCLUDES A RECIPROCAL AND NON-EXCLUSIVE EASEMENTS FOR UTILITY FACILITIES THAT BENEFITS AND BURDENS THE SURVEYED REAL ESTATE.

THE AGREEMENTS IN INSTRUMENT 201911396 CITE SEVERAL OTHER INCLUDES SEVERAL OTHER INSTRUMENTS. AS DISCLOSED BELOW.

- 1. DECLARATION OF RESTRICTIONS RECORDED DECEMBER 20, 1989 NOT A SURVEY MATTER. 2. GRANT OF PERPETUAL EASEMENTS FOR INGRESS AND EGRESS AND FOR DRAINAGE PURPOSES RECORDED MAY 18, 1980, BOOK 121, PAGE 734, AS INSTRUMENT NO. 4660. THESE EASEMENTS DO NOT PLOT ON THE SURVEYED REAL ESTATE. 3. DECLARATION OF EASEMENTS AND COVENANTS RECORDED SEPTEMBER 27, 1994 IN BOOK 143, PAGE 762 AS INSTRUMENT NO. 960009072, AND SECOND AMENDMENT RECORD DECEMBER 27, 2004 AS INSTRUMENT NO. 200400039820. THIS DOCUMENT INCLUDES AN ACCESS EASEMENT. THE ACCESS IS OVER AND UPON ALL ROADS, DRIVEWAYS, AND PARKING AREAS THAT ARE A PART OF THE WAL-MART CENTER AND THE ADJACENT PROPERTY. ROADS, DRIVEWAYS, AND PARKING AREAS ARE AS SHOWN ON THE FACE OF THE SURVEY. THE ACCESS EASEMENT BENEFITS THE SURVEYED REAL ESTATE. THE FIRST AMENDMENT NOTES THAT THE GRANTORS FURTHER GRANT A RECIPROCAL AND NON-EXCLUSIVE UTILITY EASEMENT ON, THROUGH, AND ACROSS THE WAL-MART CENTER AND ADJACENT PROPERTY AT LOCATIONS APPROVED BY THE GRANTORS. THIS BENEFITS THE SURVEYED REAL ESTATE. THE SECOND AMENDMENT DOES NOT PLOT ON THE SURVEYED REAL ESTATE. 4. DECLARATION OF EASEMENTS, COVENANTS, AND RESTRICTIONS RECORDED JULY 28, 1989 IN BOOK 118, PAGE 212 AS INSTRUMENT NO. 1576. AS DISCUSSED ABOVE.

WEIHE ENGINEERS logo and contact information: 10505 N. College Avenue Indianapolis, Indiana 46280. Phone: 317 | 846 - 6611, 800 | 452 - 6408, 317 | 843 - 0546 fax. Website: www.weihe.net. License: LS21200013. Founding member: ALLAN H. WEIHE, P.E., L.S., FOUNDER.

PROJECT NO. W220033

DATE: 03/27/22

BY: PROJECT MANAGER: WJZ/DBH

BY: PROJECT MANAGER: WJZ/DBH

BY: PROJECT MANAGER: WJZ/DBH

BY: PROJECT MANAGER: WJZ/DBH

BY: PROJECT MANAGER: WJZ/DBH

BY: PROJECT MANAGER: WJZ/DBH

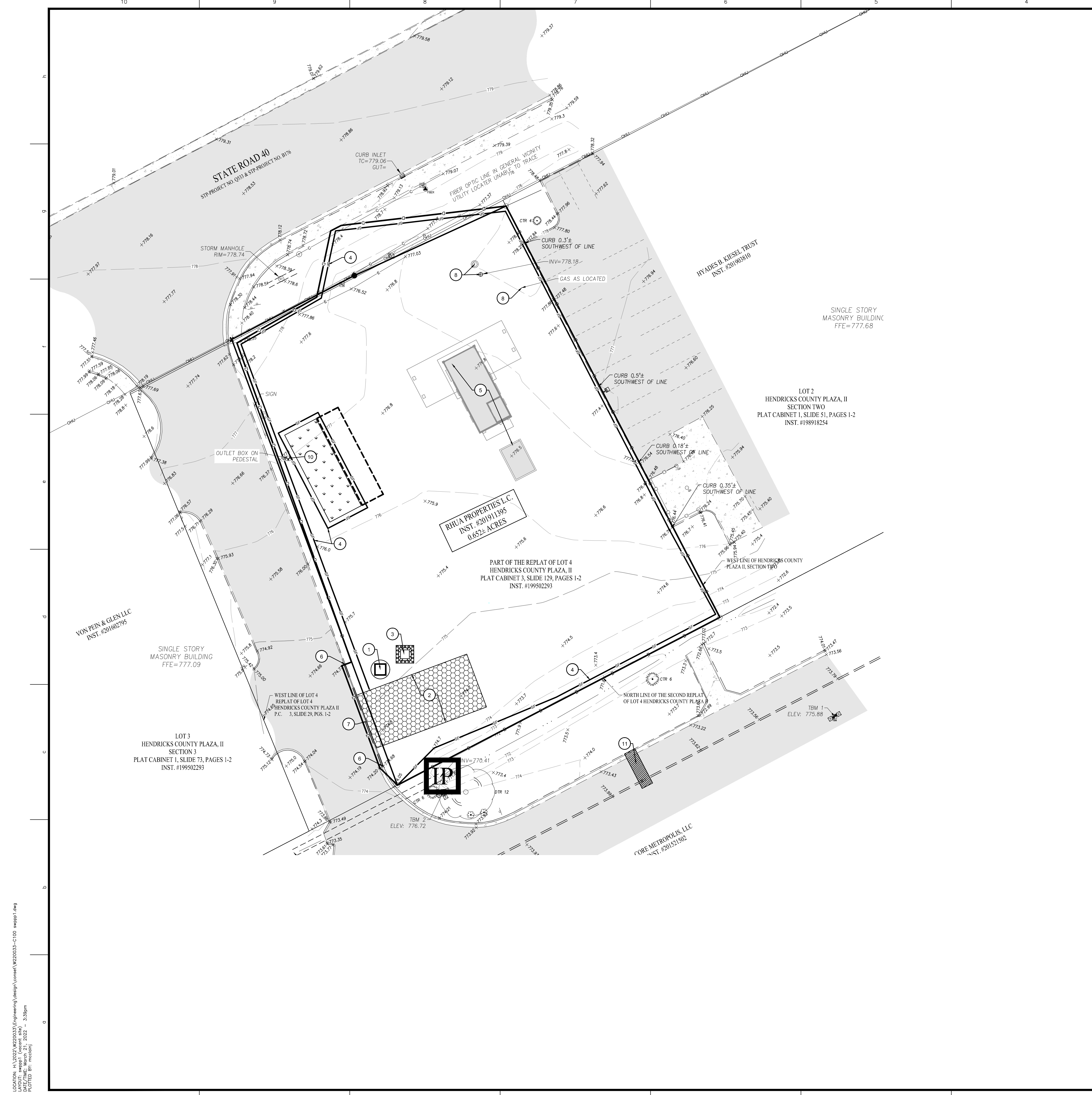
BY: PROJECT MANAGER: WJZ/DBH

BY: PROJECT MANAGER: WJZ/DBH

BY: PROJECT MANAGER: WJZ/DBH

BY: PROJECT MANAGER: WJZ/DBH

BY: PROJECT MANAGER: WJZ/



SITE PREPARATION / SWPPP PHASE 1 NOTES

1. INSTALL PERMIT POSTING AREA. 4" PVC TUBE WITH END CAPS ATTACHED TO PROJECT CONSTRUCTION SIGN TO CONTAIN APPROVED CONSTRUCTION DRAWINGS AND PERMITS FOR INSPECTORS.
2. INSTALL CONSTRUCTION ENTRANCE.
3. INSTALL CONCRETE WASHOUT.
4. INSTALL SILT FENCE.
5. LIMITS OF PROPOSED BUILDING
6. SAWCUT EXISTING CURB
7. REMOVE EXISTING CURB
8. DISCONNECT, ABANDON/REMOVE AND RELOCATE UTILITIES AS REQUIRED.
9. STAGING AREA. PROVIDE CONSTRUCTION DUMPSTER, FUELING AREA, AND PORT-O-LET AS NEEDED.
10. EXISTING UTILITY STRUCTURE TO REMAIN AND BE PROTECTED
11. OPEN CUT FOR SANITARY LATERAL CONNECTION

GENERAL NOTES

1. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY WITH THE OWNER DURING BIDDING AND DURING CONSTRUCTION ACTIVITIES ALL ITEMS TO BE REMOVED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ANY MATERIALS AND/OR STRUCTURES NOT LOCATED ON THIS SURVEY FOR THE INSTALLATION OF THE NEW WORK.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING UTILITIES PERTAINING TO THEIR PHASE OF WORK, AND TO VERIFY WHICH UTILITIES WILL BE REMOVED BY UTILITY COMPANY. ANY AND ALL UTILITIES NOT REMOVED BY THE UTILITY COMPANY SHALL BE REMOVED BY THE CONTRACTOR.
3. UTILITIES ARE SHOWN TO BE APPROXIMATE AND SHALL BE RELOCATED AND/OR CAPPED AND ABANDONED BEFORE CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
4. ALL DEMOLITION MATERIAL AND SALVAGEABLE MATERIAL IS THE PROPERTY OF THE DEMOLITION CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF THE SITE.
5. SLABS ON GRADE MUST BE REMOVED COMPLETELY AND TAKEN OFF THE SITE.
6. ALL UTILITIES MUST REMAIN ACTIVE FOR AREA TENANTS THAT ARE REMAINING. NO UTILITY SERVICE SHALL BE INTERRUPTED DURING THE CONSTRUCTION PROCESS.
7. BEARINGS, DIMENSIONS, AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS AND PLATS FOR EXACT INFORMATION.
8. ANY EXISTING TREE(S) THAT MAY REQUIRE REMOVAL BUT ARE NOT SHOWN ON THE PLAN AS BEING REMOVED MAY BE DONE SO, AS LONG AS THE TREE(S) ARE RELOCATED TO AN APPROVED ALTERNATE LOCATION ON SITE.
9. IF THERE ARE ANY QUESTIONS CONCERNING THIS DEMOLITION PLAN, PLEASE CONTACT THE ENGINEER BEFORE CONTINUING WORK.

EROSION CONTROL NOTES

1. ALL DISTURBED AREAS SHALL BE SODDED OR SEEDED, EXCEPT BUILDING PAD AND LANDSCAPE BEDS. SEE LANDSCAPE PLANS FOR LOCATION OF LANDSCAPE BEDS.
2. INSTALL SILT FENCE ALONG ALL DOWNSTREAM SLOPES. SILT FENCE TO FOLLOW CONTOUR.
3. THERE SHALL BE NO DIRT, DEBRIS OR STORAGE OF MATERIAL IN THE STREET.

EROSION CONTROL SPECIFICATIONS

1. THIS PLAN IS DESIGNED AS AN ATTEMPT TO PREVENT ANY AND ALL SEDIMENT FROM LEAVING THE CONSTRUCTION SITE BY WAY OF EROSION. IF EROSION OR SEDIMENT FROM THE SITE IS TAKING PLACE, THE CONTRACTOR AND/OR OWNER SHALL TAKE PREVENTATIVE ACTION IMMEDIATELY. THE ENGINEER SHALL BE CONSULTED IN THE EVENT THIS HAPPENS.
2. TEMPORARY SEEDING IS TO BE APPLIED TO ANY DISTURBED AREA THAT WILL REMAIN UNALTERED IN EXCESS OF 15 DAYS.
3. PERMANENT SEEDING IS TO BE APPLIED IMMEDIATELY TO AREAS THAT HAVE ACHIEVED FINAL AND FINISHED GRADE.
4. PRESERVE EXISTING VEGETATION ON THE SITE WHENEVER AND WHEREVER POSSIBLE TO PREVENT TOPSOIL EROSION.
5. ALL SEDIMENT CAPTURING MEASURES SHALL BE IMPLEMENTED PRIOR TO THE DISTURBANCE OF THE CONSTRUCTION AREA THEY ARE INTENDED TO SERVICE. ALL EROSION CONTROL MEASURES PROPOSED ARE TO BE PROPERLY MAINTAINED TO CONTINUE THEIR EFFECTIVENESS.
6. IF GRADING OCCURS DURING THE MONTHS OF DECEMBER, JANUARY OR FEBRUARY DORMANT SEEDING PROCEDURES SHALL BE USED.
7. DURING DRY WEATHER, KEEP LAWNS WATERED WITH SPRINKLERS OR OTHER APPROVED METHODS. RESEED ANY AREAS NOT GERMINATING OR DAMAGED AT INTERVALS AS MAY BE REQUIRED ACCORDING TO SEASONAL CONDITION AND/OR CONSTRUCTION ACTIVITY. WATER GRASS AND EXECUTE NECESSARY WEEDING UNTIL FULL STAND OF GRASS HAS BEEN OBTAINED.
8. THE IMPLEMENTATION AND MAINTENANCE OF THE EROSION CONTROL IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER.
9. IT SHALL BE THE CONTRACTOR'S AND/OR OWNER'S RESPONSIBILITY TO MINIMIZE SEDIMENTATION (FROM ON-SITE CONSTRUCTION ACTIVITIES) FROM BEING DEPOSITED ONTO ADJACENT PROPERTIES AND RECEIVING STREAMS/DITCHES IN STRICT COMPLIANCE WITH "RULE 5" (327 IAC 15-5. CONSTRUCTION ACTIVITY STORM WATER RUNOFF CONTROL). IT SHALL ALSO BE THE CONTRACTOR'S AND/OR OWNER'S RESPONSIBILITY TO OBTAIN ANY APPROVALS REQUIRED FROM THE LOCAL AUTHORITY AND TO SUBMIT A COMPLETE NOTICE OF INTENT LETTER TO THE OFFICE OF WATER MANAGEMENT, INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT PRIOR TO ANY CONSTRUCTION ACTIVITY.
10. FOR SEASONAL VARIATIONS - SEE SEASONAL SOIL PROTECTION CHART IN THESE PLANS.
11. PORTABLE TOILETS MUST BE ANCHORED.

SWPPP PHASE 1 LEGEND

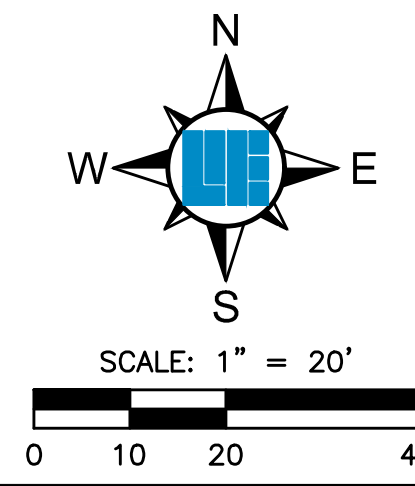
- INLET PROTECTION - USE SUBSURFACE INLET PROTECTION WITH OVERFLOW CAPABILITY (DANDY SAC)
- CONSTRUCTION ENTRANCE
- STAGING AREA
- POSTING AREA - 4" PVC TUBE WITH END CAPS ATTACHED TO PROJECT CONSTRUCTION SIGN TO CONTAIN APPROVED CONSTRUCTION DRAWINGS AND PERMITS FOR INSPECTORS.
- INSTALL STRAW WATTLES (GRASS AREA) OR SILT DIKES (PAVEMENT AREA) AS SHOWN. CONTRACTOR TO ADD ADDITIONAL MEASURES AS CONSTRUCTION PHASING AND SITE CONDITIONS DICTATE
- CONCRETE WASHOUT
- STOCKPILE AREA (TEMPORARY SEEDING REQUIRED)
- SILT FENCE
- TREE PROTECTION
- ROCK CHECK DAM
- LIMITS OF DISTURBANCE

HATCH LEGEND

- OPEN CUT PAVEMENT FOR UTILITY TAPS

EXISTING AREAS

- TOTAL SITE = 0.652 AC.
- DISTURBED = 0.609 AC.
- PERVIOUS = 0.652 AC.
- IMPERVIOUS = 0.000 AC.

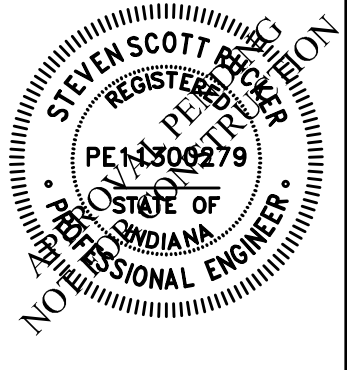


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WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

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Indianapolis, Indiana 46280
w@einc.net
317.846.6611
800.345.6408
317.843.0546 fax
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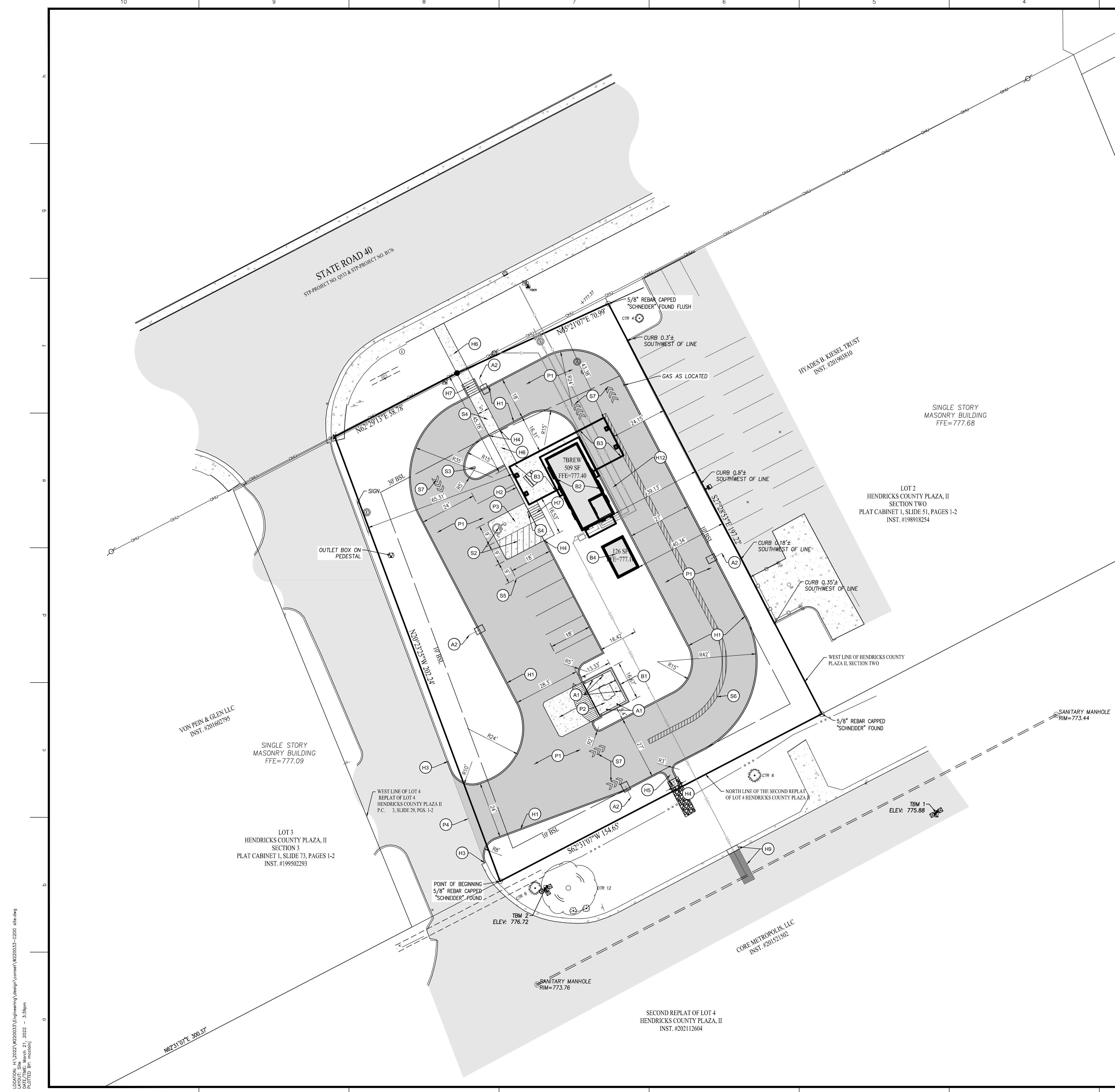
PROJECT NO.:	W22.0033
DWG. NAME:	SWPPP PHASE 1
DESIGNED BY:	JM
DRAWN BY:	JM
CHECKED BY:	WT
DATE:	02.23.2022



STEVEN SCOTT RUCKER P.E. 13309279

PREPARED FOR: 7-BREW
2501 E. MAIN STREET, PLAINFIELD, INDIANA
SWPPP1
SHEET NO. C2
PROJECT NO. W22.0033

LOCATION: H:\2022\W220033\Engineering\Design\W220033-C100_swpp1.dwg
DATE/TIME: March 21, 2022 3:39pm
PLOTTER: B7 (mcdm)



SITE PLAN NOTES

PAVEMENT

- (P1) STANDARD DUTY ASPHALT PAVING
- (P2) HEAVY DUTY CONCRETE WITH 1" CHAMFERED CORNERS
- (P3) STANDARD DUTY CONCRETE WITH 1" CHAMFERED CORNERS
- (P4) MATCH EXISTING PAVEMENT

HARDSCAPE

- (H1) 6" STRAIGHT CURB
- (H2) INTEGRAL WALK AND CURB
- (H3) MATCH EXISTING CURB
- (H4) TAPER CURB WITHIN 3 FEET
- (H5) CURB TURN OUT
- (H6) CONCRETE SIDEWALK
- (H7) ACCESSIBLE RAMP
- (H8) TRANSFORMER PAD LOCATION
- (H9) PATCH PAVEMENT FROM OPEN CUT

BUILDING ACCESSORIES

- (B1) DUMPSTER ENCLOSURE
- (B2) MAIN BUILDING
- (B3) CANOPY/PORTE COCHERE/AWNING
- (B4) COOLER

ACCESSORIES

- (A1) BOLLARD
- (A2) LIGHT POLE AND BASE

SIGNAGE & MARKINGS

- (S1) SIGN (SEE SIGN VENDOR FOR PERMITTING & LOCATION)
- (S2) ACCESSIBLE PARKING SPACE AND AISLE PAINTED BLUE
- (S3) DO NOT ENTER SIGN
- (S4) ACCESSIBLE PARKING SIGN
- (S5) 4" PAINTED WHITE SOLID LINES (TYP)
- (S6) 4" PAINTED WHITE SOLID LINE ISLAND
- (S7) PAINTED WHITE DIRECTIONAL TRAFFIC ARROWS

SITE PLAN GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
2. ALL QUANTITIES GIVEN ON THESE PRINTS, VERBALLY OR IN THE SCOPE OF WORK SECTION ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTORS.
3. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS: FINAL RULE 29 CFR PART 1926, SUBPART PP APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. IN ADDITION, EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
4. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND CONTRACTOR TO MAINTAIN QUALITY CONTROL THROUGHOUT THIS PROJECT.
5. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
6. BEARINGS, DIMENSIONS, AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS AND PLATS FOR EXACT INFORMATION.
7. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT.
8. ALL DIMENSIONS ARE BASED ON FACE OF CURB OR BACK OF ROLL CURB OR FACE OF BUILDING.
9. SEE ARCHITECTURAL PLANS FOR DETAILS OF BUILDING, BUILDING DIMENSIONS AND SIGNAGE SPECIFICATIONS. DO NOT STAKE BUILDING FROM THESE PLANS.
10. COORDINATE CONSTRUCTION ACTIVITIES WITH ADJOINING WORK IF APPLICABLE. VERIFY EXTENT OF ADJOINING WORK AND COORDINATE AS REQUIRED.
11. FIELD VERIFY EXISTING CURBS AND TAPER PROPOSED VERTICAL CURBS TO MATCH WITHIN A MIN. OF THREE (3) FEET.
12. ± DIMENSIONS INDICATE FIELD DIMENSION ADJUSTMENT AREA BASED ON ACTUAL FIELD LAYOUT COORDINATES.
13. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
14. PROVIDE SMOOTH TRANSITION FROM NEWLY PAVED AREAS TO EXISTING AREAS AS NECESSARY. ALL AREAS WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE FREE OF ALL LOOSE DEBRIS. THE EDGE OF EXISTING ASPHALT PAVEMENT SHALL BE PROPERLY SEALED WITH A TACK COAT MATERIAL IN ALL AREAS WHERE NEW ASPHALT PAVEMENT IS INDICATED TO JOIN EXISTING.
15. RESURFACE OR RECONSTRUCT AT LEAST TO ORIGINAL CONDITIONS ALL AREAS WHERE THE EXISTING PAVEMENT OR LAWNS ARE DAMAGED DURING CONSTRUCTION FROM TRAFFIC BY CONTRACTORS, SUBCONTRACTORS, OR SUPPLIERS AFTER CONSTRUCTION WORK IS COMPLETE.
16. THE CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
17. REFER TO ARCHITECTURAL PLANS FOR BUILDING ACCESSORY DETAILS.
18. REFER TO SHEET C201 FOR SITE PLAN DETAILS UNLESS OTHERWISE NOTED.

SITE DATA

SITE AREA = 0.652 AC
 BUILDING AREA = 509 SF
 PERCENT IMPERVIOUS = 55%
 ZONING = GC - GENERAL COMMERCIAL
 FRONT YARD BSL REQUIRED = 30 FT
 REAR YARD BSL REQUIRED = 10 FT
 SIDE YARD BSL REQUIRED = 10 FT
 PARKING REQUIRED:
 PARKING REQUIREMENT: 1 PER GROSS 100 SF (4 MINIMUM) OR 1 PER 5 SEATS (5 MINIMUM)
 PARKING PROVIDED = 5 SPACES
 PARKING DIMENSIONS = 9' x 18'
 PARKING PROVIDED:
 8 - STANDARD SPACES
 1 - ADA SPACES
 9 - TOTAL SPACES

SITE PLAN LEGEND

PAVEMENT

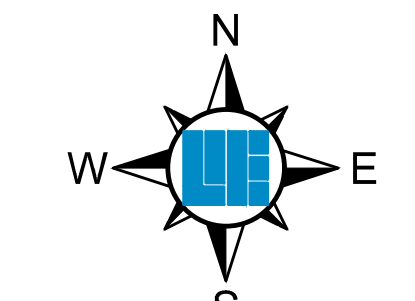
- [Symbol] STANDARD DUTY ASPHALT
- [Symbol] NEW ROW ASPHALT
- [Symbol] CONCRETE PAVEMENT
- [Symbol] RIPRAP

LINE TYPES

- [Symbol] RIGHT OF WAY LINE
- [Symbol] FENCE
- [Symbol] GUARD RAIL
- [Symbol] BUILDING SETBACK LINE
- [Symbol] BOUNDARY LINE
- [Symbol] SECTION LINE

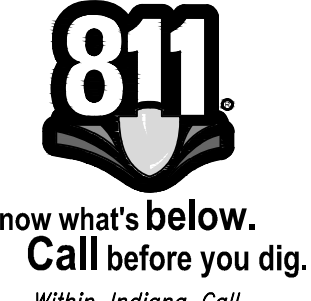
ABBREVIATIONS

- ROW RIGHT OF WAY
- BSL BUILDING SETBACK LINE
- ESMT EASEMENT
- D&U.E. DRAINAGE AND UTILITY EASEMENT
- FFE FINISH FLOOR ELEVATION



SCALE: 1" = 20'

0 10 20 40



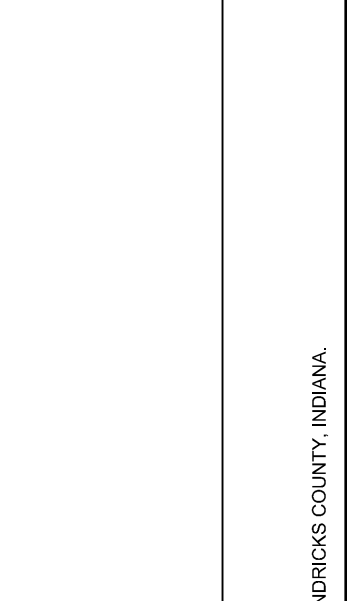
Within Indiana Call 811 or 800-382-5544 24 hours a day, 7 days a week.
 PER INDIANA STATE LAW IC 8-1-26, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE. TWO (2) WORKING DAYS BEFORE COMMENCING WORK.

10505 N. College Avenue
 Indianapolis, Indiana 46280
 w@weihe.net
 317 | 846 - 6611
 800 | 452 - 6408
 317 | 843 - 0546 fax
 ALLAN H. WEIHE, P.E., L.S. - FOUNDER

WEIHE ENGINEERS
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PROJECT NO.	DATE	BY	REVISIONS AND ISSUES
W22.0033			
DWG NAME: W220033-C201-08			
DESIGNED BY: JM			
DRAWN BY: JM			
CHECKED BY: WT			
DATE: 02.23.2022			

STEVEN SCOTT RUCKER P.E. 11300279

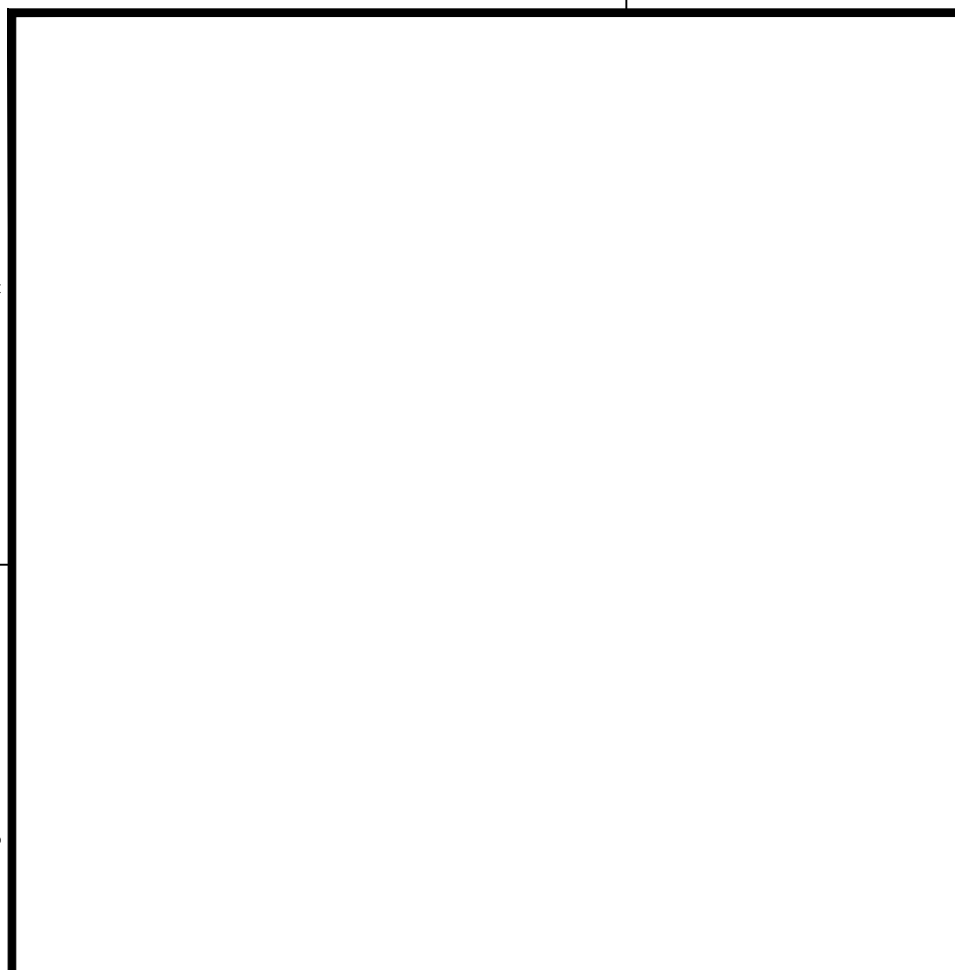


PREPARED FOR:
7-BREW
 2501 E MAIN STREET, PLAINFIELD, INDIANA
SITE PLAN
 SECTION 25, TOWNSHIP 15 NORTH, RANGE 1 EAST, GULFORD TOWNSHIP, HENDRICKS COUNTY, INDIANA.

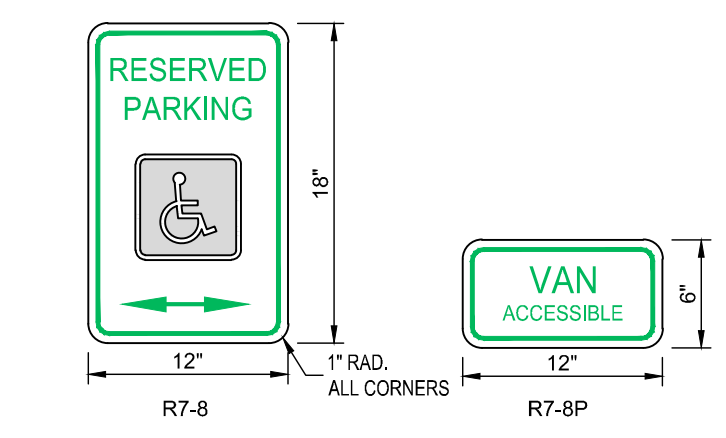
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PROJECT NO. **W22.0033**

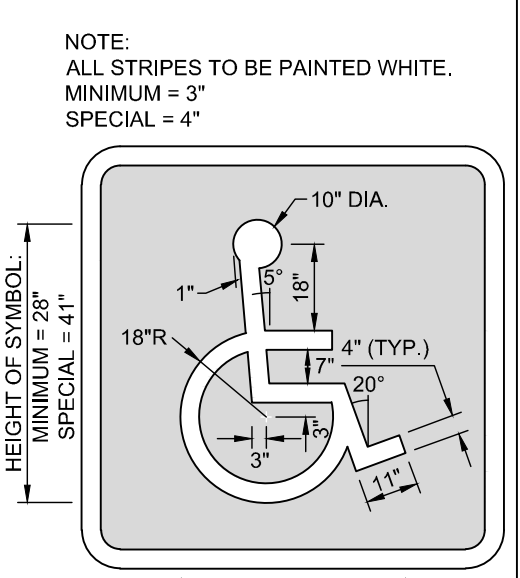
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 DATE/TIME: March 21, 2022 - 3:39pm
 PLOTTED BY: mcdm



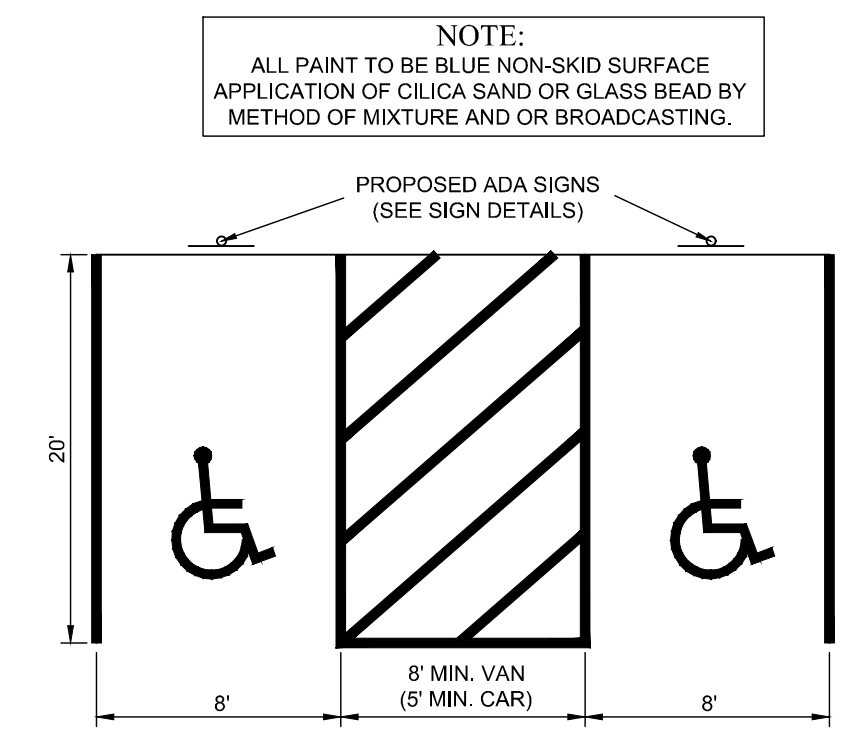
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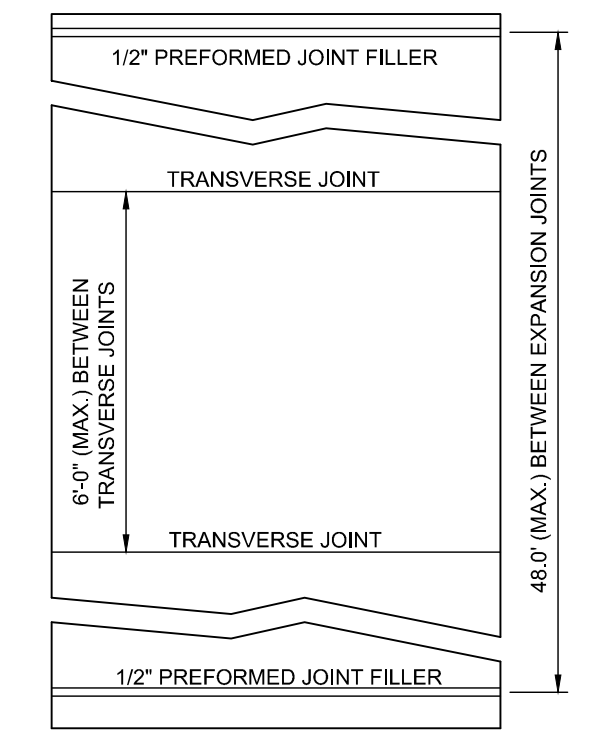
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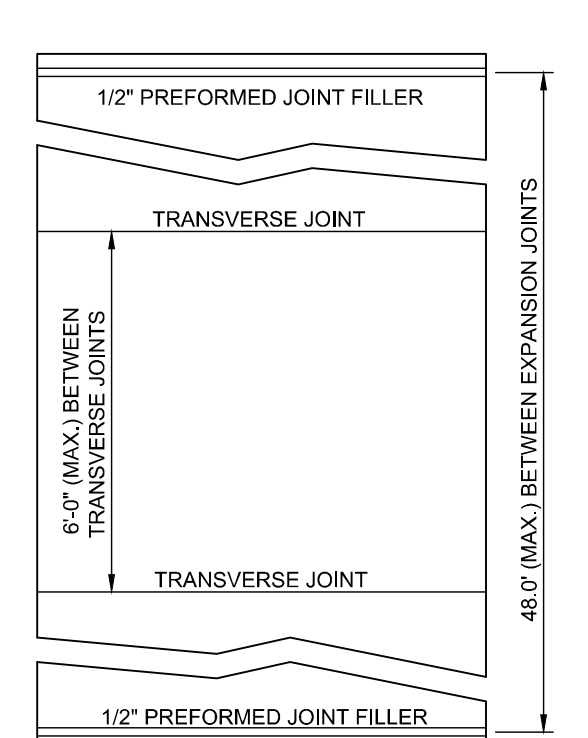
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(NO SCALE)



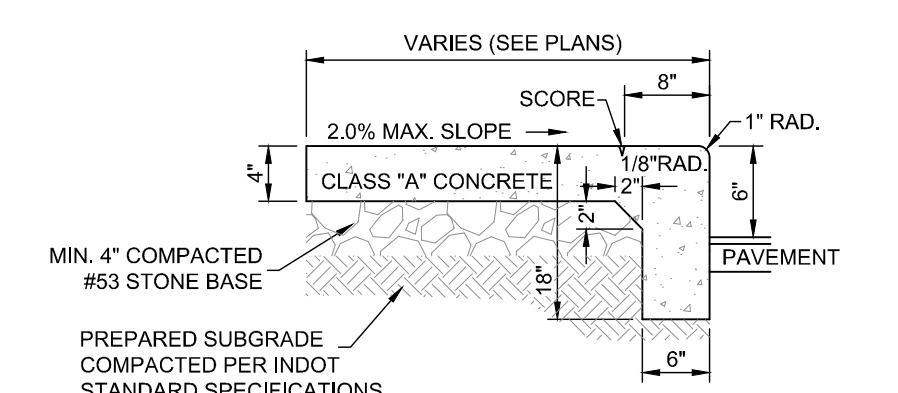
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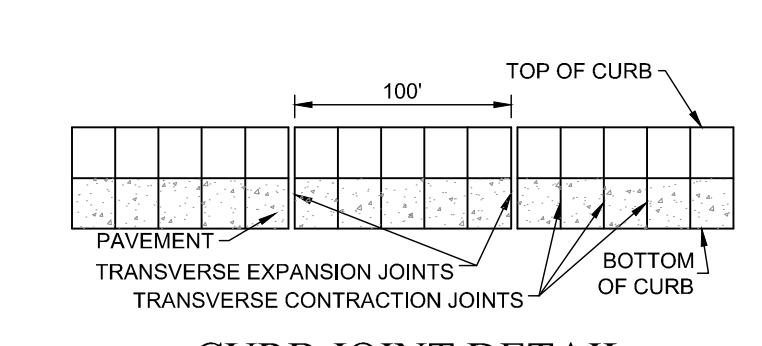
SIDEWALK SECTION - DRIVEWAY CROSSING
(NO SCALE)



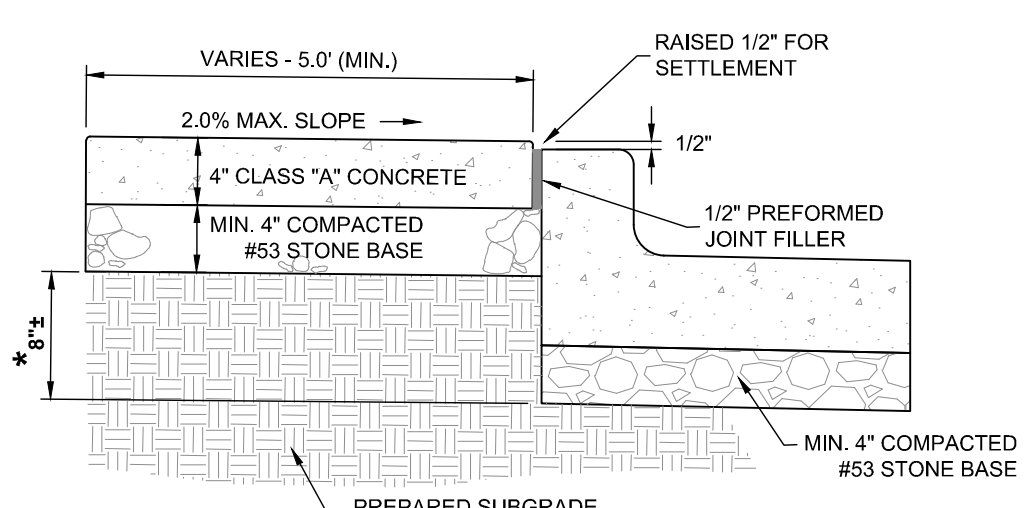
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INTEGRAL WALK AND CURB DETAIL
(NO SCALE)



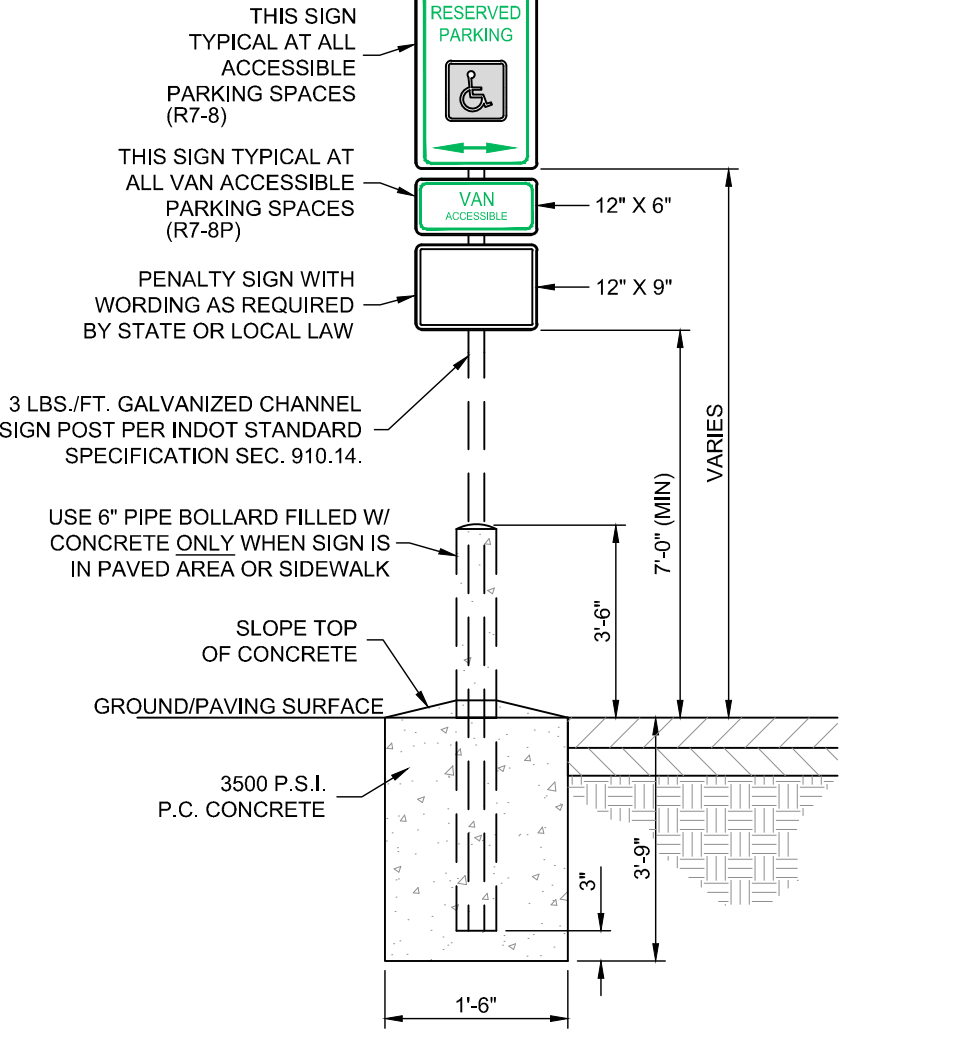
CURB JOINT DETAIL
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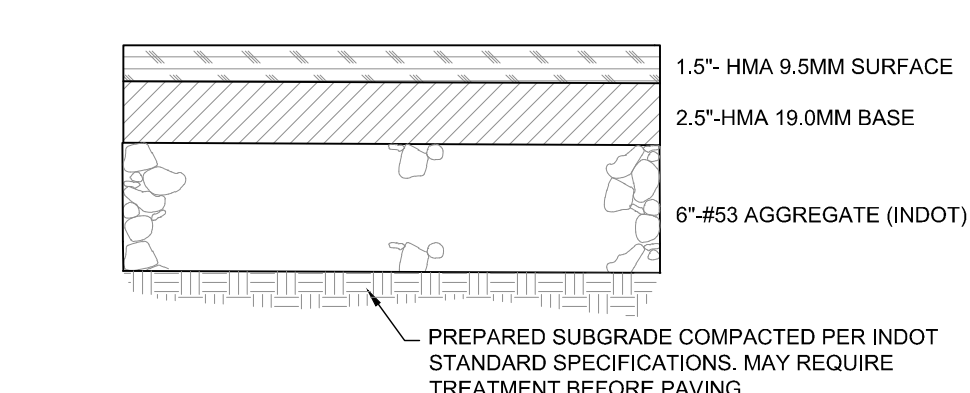
SIDEWALK ADJACENT TO CURB
(NO SCALE)

NOTE: ALL PAINT TO BE BLUE NON-SKID SURFACE APPLICATION OF SILICA SAND OR GLASS BEAD BY METHOD OF MIXTURE AND OR BROADCASTING.

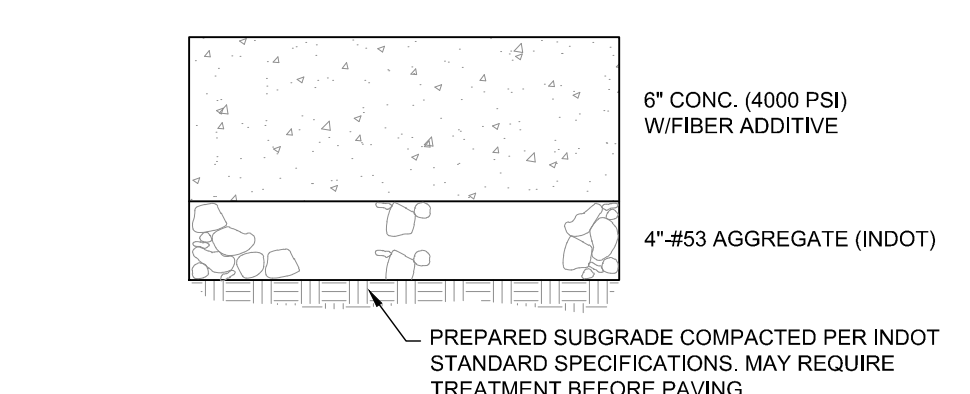
PROPOSED ADA SIGNS (SEE SIGN DETAILS)



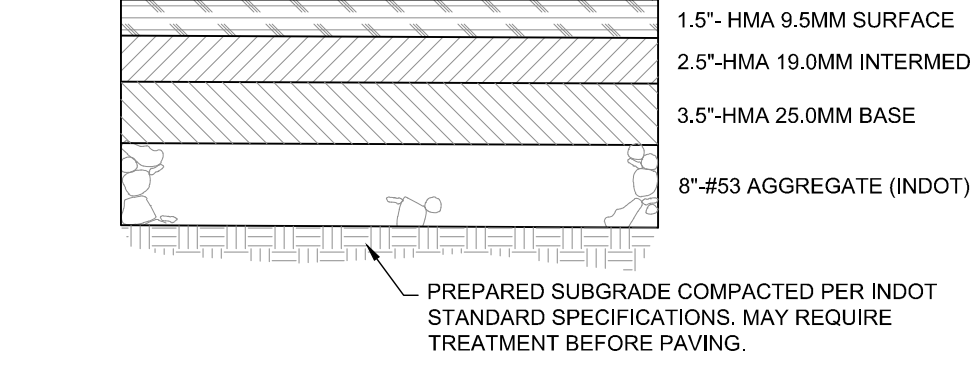
ACCESSIBLE SIGN BOLLARD MOUNT DETAIL
(NO SCALE)



STANDARD DUTY ASPHALT PAVING SECTION
(NO SCALE)



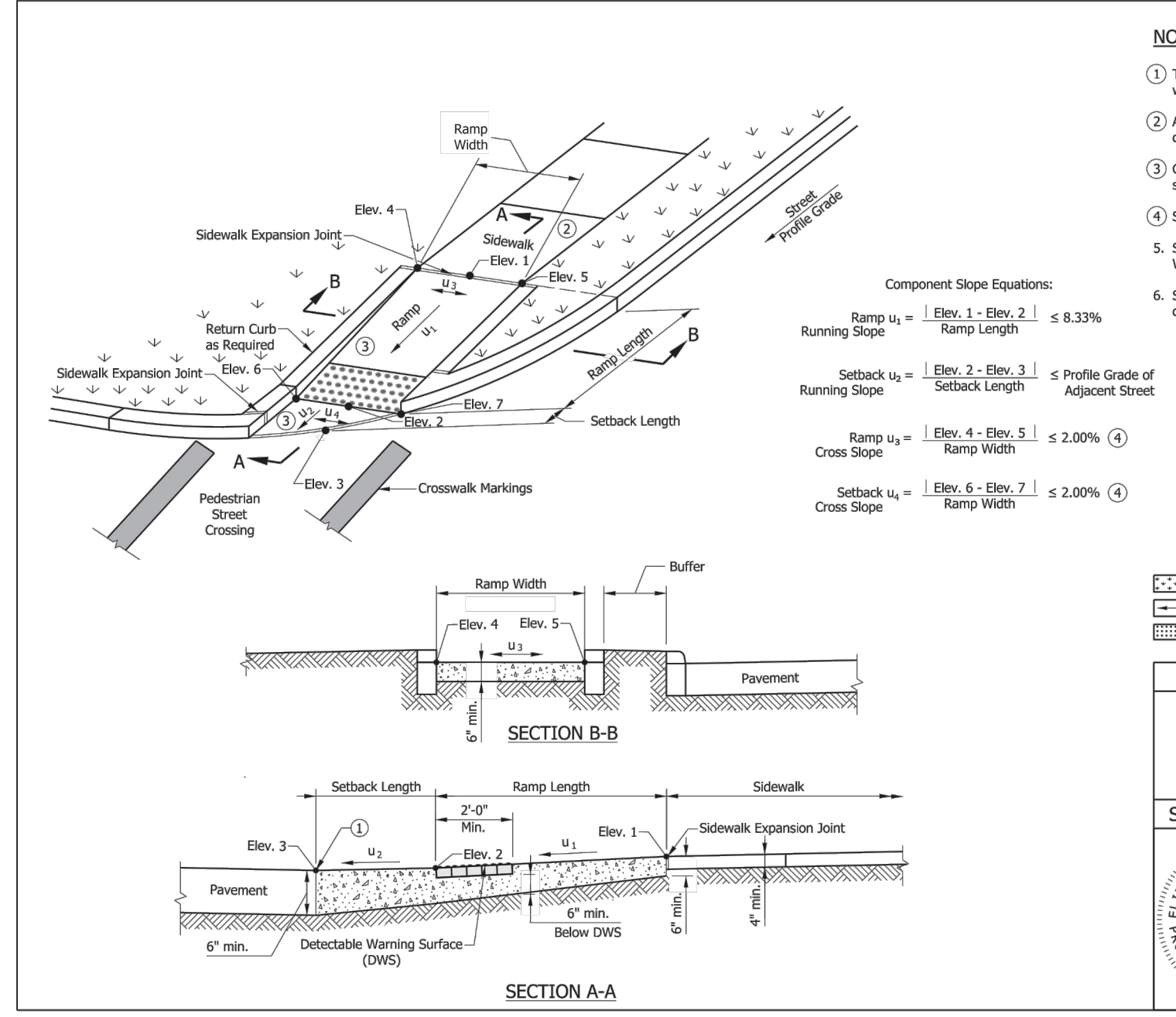
STANDARD DUTY CONCRETE PAVING SECTION
(NO SCALE)



HEAVY DUTY ASPHALT PAVING SECTION
(NO SCALE)

NOTE: PAVING SECTIONS PROVIDED WITHOUT BENEFIT OF A GEOTECHNICAL REPORT. IT IS RECOMMENDED THAT A GEOTECHNICAL REPORT BE FURNISHED WITH PAVING SECTION RECOMMENDATIONS. ADJUST ABOVE SECTIONS AS REQUIRED TO MATCH GEOTECHNICAL RECOMMENDATIONS.

NOTE: THE AGGREGATE BASE COURSE SHOULD CONTAIN NO MORE THAN 10 PERCENT (%) FINES, AND BE WELL-GRADED.



NOTES:

- The bottom edge of the ramp or setback and top of curb shall be flush with the edge of adjacent pavement and gutter line.
- A turning space is not required at the top of the ramp for a one-way directional perpendicular curb ramp.
- Curb ramp surface shall be coarse broomed transverse to the running slope.
- See Standard Drawing E 604-SWCR-01 for cross slope exceptions.
- See Standard Drawing E 604-SWCR-12, -13, and -14 for Detectable Warning Surface placement, configuration, and details.
- See Standard Drawing E 604-CCS3-01 for sidewalk expansion joint details.

LEGEND:

- Buffer or Other Non-Walkable Surface
- Ramp
- Detectable Warning Surface

INDIANA DEPARTMENT OF TRANSPORTATION

ONE-WAY DIRECTIONAL PERPENDICULAR CURB RAMP COMPONENT DETAILS

SEPTEMBER 2018

STANDARD DRAWING NO. E 604-SWCR-06

STATE OF INDIANA

10200124

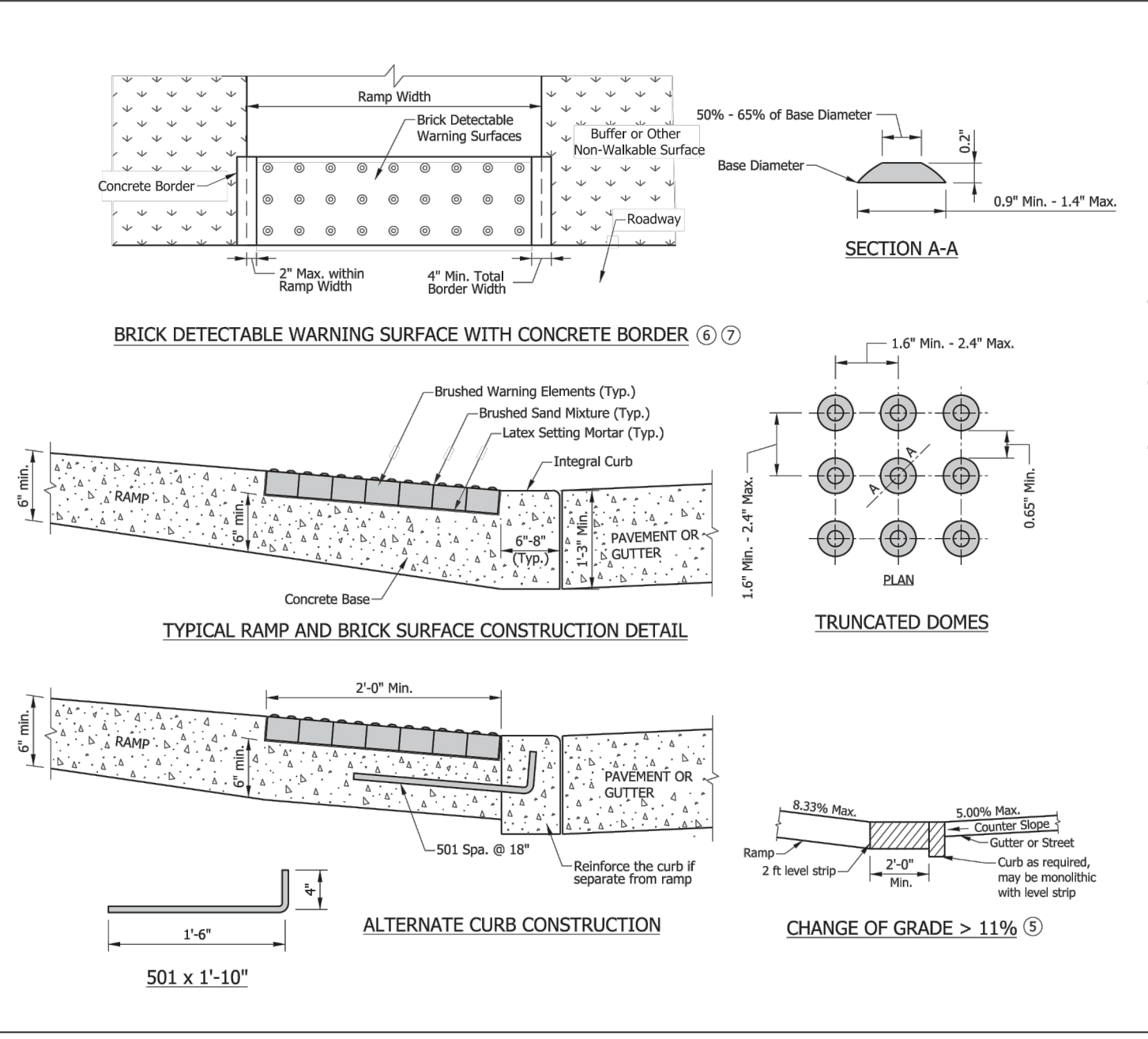
DESIGN STANDARDS ENGINEER

03/29/18

DATE

04/25/18

DATE



NOTES:

- Detectable warning surface shall consist of truncated domes. Domes shall be aligned in a square or radial grid pattern with diameter and center-to-center spacing within the ranges specified.
- The detectable warning surface may be field cut. Truncated dome spacing between adjacent panels shall be within the ranges specified.
- The detectable warning surface shall contrast visually with adjacent surfaces, either light-on-dark or dark-on-light.
- The detectable warning surface shall extend a minimum of 2 ft in the direction of pedestrian travel and extend the full width as shown. The detectable warning surface shall not be placed across a grade break.
- The maximum counter slope of the gutter or street at the bottom of the ramp shall be 5.00%. Where the algebraic difference between the running slope and the counter slope exceeds 11%, a 2-ft minimum level strip should be provided at the bottom of the ramp.
- Where a concrete border is used for forming, the border shall be cast monolithically with the curb ramp concrete. The concrete border shall not reduce the ramp width by more than 2 in. on each side.
- Where forming other than a concrete border is used, the edge restraint shall not encroach upon the ramp width.

LEGEND:

- Buffer or Other Non-Walkable Surface
- Ramp
- Detectable Warning Surface

INDIANA DEPARTMENT OF TRANSPORTATION

DETECTABLE WARNING SURFACE DETAILS

SEPTEMBER 2018

STANDARD DRAWING NO. E 604-SWCR-14

STATE OF INDIANA

10200124

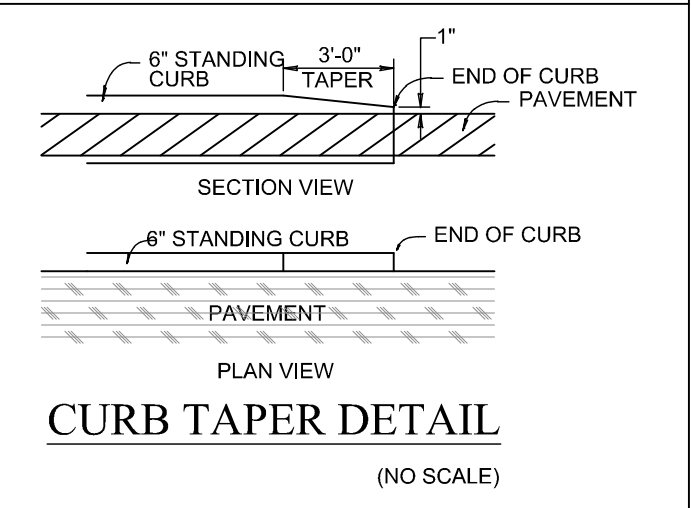
DESIGN STANDARDS ENGINEER

03/29/18

DATE

04/25/18

DATE

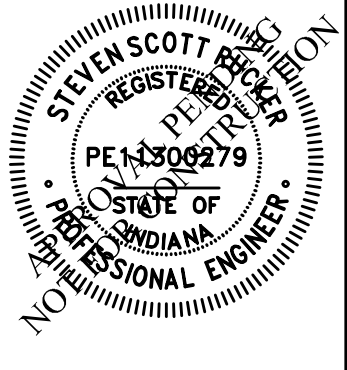


CURB TAPER DETAIL
(NO SCALE)

10505 N. College Avenue
Indianapolis, Indiana 46280
w@weh.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 fax

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PROJECT NO.:	W22.0033
DWG. NAME:	W220033-CCS3-01 Site Plan
DESIGNER:	John Cackie
DRAWN BY:	John Cackie
CHECKED BY:	John Cackie
DATE:	02/23/2022



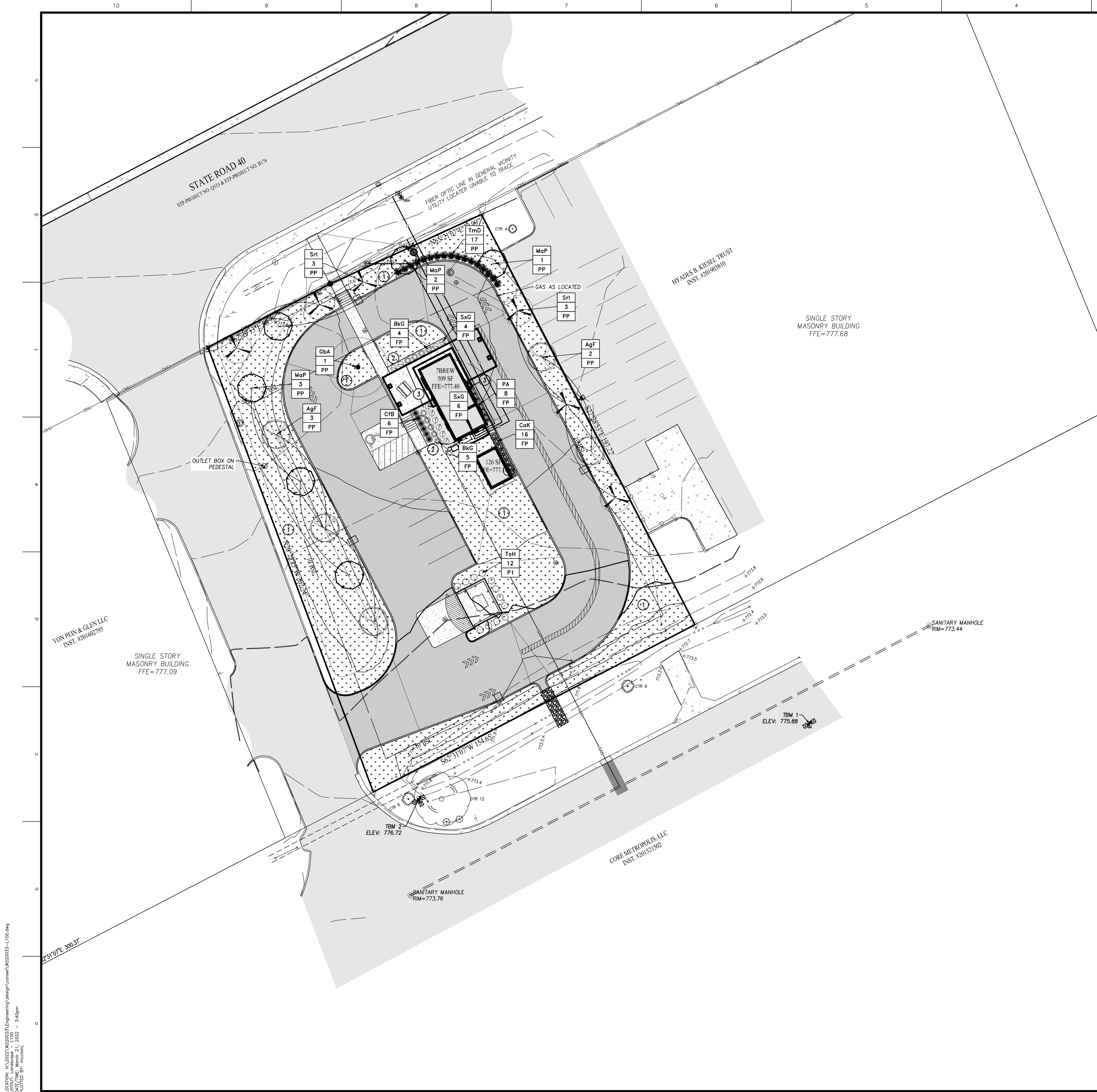
STEVEN SCOTT RUCKER, P.E.
1300279

SECTION 25, TOWNSHIP 15 NORTH, RANGE 1 EAST, GULFORD TOWNSHIP, HENRIK COUNTY, INDIANA.

7-BREW
2501 E. MAIN STREET, PLAINFIELD, INDIANA

SITE DETAILS

PREPARED FOR:
C4
PROJECT NO.
W22.0033



GENERAL NOTES

- IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE. IF IN QUESTION, CONTACT THE LANDSCAPE ARCHITECT.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING UTILITIES PERTAINING TO THEIR PHASE OF WORK. UTILITIES ARE SHOWN TO BE APPROXIMATE. CALL UTILITY LOCATE PRIOR TO ANY PLACEMENT OF PLANT MATERIAL OR OTHER LANDSCAPE MATERIAL.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES THAT MAY BE REQUIRED FOR HIS PORTION OF WORK.
- ANY EXISTING TREE(S) AND/OR PLANTINGS THAT MAY REQUIRE REMOVAL BUT ARE NOT SHOWN ON THE PLAN AS BEING REMOVED SHALL BE PROTECTED AND BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT TO DETERMINE IF TREE(S) AND/OR PLANTINGS SHOULD BE 1) REMOVED, 2) SAVED AND INTEGRATED INTO THE LANDSCAPE DESIGN, OR 3) RELOCATED.
- CONTRACTOR TO REVIEW THE SWPPP SERIES PLANS FOR STABILIZATION (SEEDING/SOD/MULCH) REQUIREMENTS.
- PLANTING BEDS AND PLANT MATERIAL SHALL BE LOCATED AS INDICATED ON LANDSCAPE PLAN. IN THE EVENT FIELD CHANGES OR CONDITIONS REQUIRE MODIFICATION TO THE LANDSCAPE DESIGN, THE CONTRACTOR SHALL CONSULT LANDSCAPE ARCHITECT AS TO PROPOSED MODIFICATIONS PRIOR TO PLANTING. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANT LOCATIONS ON SITE IF NECESSARY.
- ALL PLANTS ARE TO MEET OR EXCEED AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION, AS SET FORTH BY AMERICAN ASSOCIATION OF NURSERYMEN.
- PLANTS SHALL BEAR A TAG SHOWING GENUS, SPECIES AND VARIETY. REMOVE AT TIME OF FINAL ACCEPTANCE.
- PLANTS SHALL BE CERTIFIED BY THE STATE OF INDIANA DEPARTMENT OF NATURAL RESOURCES AND FREE FROM DISEASE OR HAZARDOUS INSECTS.
- LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IN WRITING PRIOR TO BID DATE OF ANY PLANTS THAT HE FEELS MAY NOT SURVIVE IN LOCATIONS NOTED.
- NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE ALLOWED WITHOUT APPROVAL OF THE JURISDICTION HAVING AUTHORITY AND THE LANDSCAPE ARCHITECT. IF PLANTS ARE SHOWN TO BE UNAVAILABLE, THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT PRIOR TO BID DATE IN WRITING. THE CONTRACTOR SHALL COMPENSATE THE LANDSCAPE ARCHITECT FOR THE TIME REQUIRED FOR REVIEW AND INSPECTION OF PROPOSED PLANT SUBSTITUTIONS BID AWARD.
- ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY. SUBMIT COLOR PHOTOGRAPHS OF PROPOSED PLANT MATERIAL TAKEN IN THE NURSERY WHERE THEY ARE GROWING. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT PLANT MATERIALS AT NURSERY OR CONTRACTOR YARD PRIOR TO DELIVERY TO THE SITE. THE LANDSCAPE ARCHITECT MAY ALSO INSPECT AND APPROVED OR REJECTED PLANT MATERIAL ON THE JOB SITE. IN THE EVENT PLANT MATERIAL IS NOT THE SPECIFIED SIZE OR QUALITY, PLANTS WILL BE REMOVED AND REPLACED AT THE CONTRACTORS EXPENSE.
- PLANTS AND OTHER LANDSCAPE MATERIALS TO BE STORED ON SITE WILL BE PLACED WHERE THEY WILL BE PROTECTED AND NOT CONFLICT WITH CONSTRUCTION OPERATIONS.
- COMPOST SHALL BE A WELL DECOMPOSED, STABLE, WEED FREE ORGANIC MATTER SOURCE. IT SHALL BE DERIVED FROM AGRICULTURAL, FOOD, OR INDUSTRIAL RESIDUALS, BIOSOLIDS (TREATED SEWAGE SLUDGE), YARD TRIMMINGS, SOURCE-SEPARATED OR MIXED SOLID WASTE. THE PRODUCT SHALL CONTAIN NO SUBSTANCES TOXIC TO PLANTS AND SHALL BE REASONABLY FREE (< 1% BY DRY WEIGHT) OF MAN-MADE FOREIGN MATTER. THE COMPOST WILL POSSESS NO OBJECTIONABLE ODORS AND SHALL NOT RESEMBLE THE RAW MATERIAL FROM WHICH IT WAS DERIVED.
- SHRUB AND PERENNIAL BEDS SHALL BE PREPARED BY PLACING 3" OF APPROVED COMPOST OVER PULVERIZED TOPSOIL AND ROTOTILLING TO A DEPTH OF 6".
- PRE-EMERGENT HERBICIDE SHALL BE APPLIED IN ALL PLANTING AND GROUND COVER BEDS PRIOR TO MULCHING AT RATES SPECIFIED BY MANUFACTURER FOR EACH VARIETY OF PLANT. PRE-EMERGENT HERBICIDE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO APPLICATION.
- ALL TREE AND SHRUB PLANTING AREAS TO BE COVERED WITH 3" THICK LAYER OF SHREDDED HARDWOOD BARK MULCH. ALL GROUND COVER BEDS SHALL BE COVERED WITH 1" SHREDDED HARDWOOD BARK MULCH. BARK MULCH SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND SHALL BE UNIFORM IN TEXTURE AND COLOR AND SHALL BE FREE OF STICKS, LEAVES, SOIL AND FOREIGN MATERIAL. NO UTILITY MULCH OR PROCESSED TREE TRIMMINGS WILL BE ALLOWED.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS AND PLANT MATERIAL UNTIL ALL PUNCH LIST WORK HAS BEEN COMPLETED AND WRITTEN FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS INSTALLED AND SHALL INCLUDE BUT NOT LIMITED TO, WATERING, WEEDING, PRUNING, DISEASE AND INSECT CONTROL, MOVING, RESETTling OF PLANTS TO PROPER GRADES OR UPRIGHT POSITION, AND ANY OTHER PROCEDURE CONSISTENT WITH GOOD HORTICULTURAL PRACTICES.
- ALL NEW LANDSCAPE PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING FINAL ACCEPTANCE AS DETERMINED BY LANDSCAPE ARCHITECT OR OWNER. AT THE END OF THIS PERIOD, PLANT MATERIAL DETERMINED TO BE DEAD OR UNSATISFACTORY BY LANDSCAPE ARCHITECT OR OWNER SHALL BE REPLACED AT NO ADDITIONAL CHARGE BY THE CONTRACTOR.

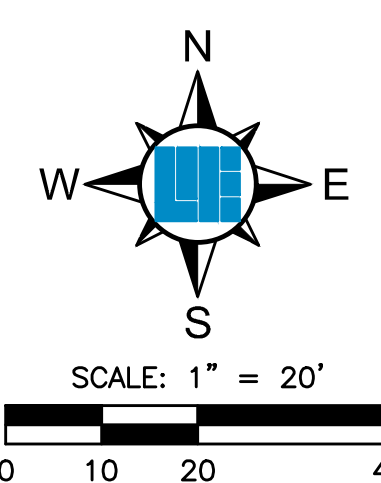
LANDSCAPE ORDINANCE REQUIREMENTS

REQUIREMENT:	REQUIRED:	PROVIDED:
ARTICLE 4.7 - FOUNDATION PLANTING AREAS REQUIRED (FP) -REQUIRED ALONG THE FRONT AND SIDE OF BUILDING -REQUIRED SF IS 2X LENGTH OF BUILDING FACADE. MINIMUM WIDTH DIMENSION SHALL BE 1.0 PLANT UNIT VALUE.	15' OF FRONT FACADE 30 SF OF PLANTING SPACE 0.15 PLANT UNIT (6 HEDGE PLANT 18") 34' SIDE FACADE 68 SF OF PLANTING SPACE 0.34 PLANT UNIT (14 HEDGE PLANTS 18")	15' OF FRONT FACADE 68 SF OF PLANTING SPACE 0.2 PLANT UNIT (8 HEDGE PLANT 18") 34' SIDE FACADE (EAST) 68 SF OF PLANTING SPACE 0.4 PLANT UNIT (16 HEDGE PLANTS 18") 34' SIDE FACADE (WEST) 210 SF OF PLANTING SPACE 0.426 PLANT UNIT (17 HEDGE PLANTS 18")
ARTICLE 4.7 - PARKING LOT LANDSCAPING (PP) - 1 INTERIOR LANDSCAPE ISLAND FOR EVERY 15 PARKING SPACES. REQUIRED ONE TREE. - PARKING PERIMETER REQUIRES A COMPACT HEDGE OR UPRIGHT POSITION, AND ANY OTHER PROCEDURE CONSISTENT WITH GOOD HORTICULTURAL PRACTICES. 1.5.	1 PARKING ISLAND 1 TREE NORTH EAST PARKING PERIMETER 3' O.C. HEDGE or 113' WEST AND EAST PERIMETER MOUND WITH 1.895 PLANT UNIT 79' NORTH PERIMETER MOUND WITH 1.185 PLANT UNIT	1 PARKING ISLAND 1 TREE NORTH EAST PARKING PERIMETER 3' O.C. HEDGE 113' WEST AND EAST PERIMETER MOUND WITH 6 ORNAMENTAL TREE (3 PLANT UNIT) 79' NORTH 1.5'-2' MOUND WITH 5 ORNAMENTAL TREE (2.5 PLANT UNIT)

PLANT SCHEDULE							
PLAN KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	ROOT BALL SIZE	MATURE SIZE	SPECIAL INSTRUCTIONS
CANOPY DECIDUOUS TREES							
GbA	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO	2 1/2"	1	X	48" x 30" W	X
ORNAMENTAL UNDERSTORY TREES							
AgF	ACER GINNALA 'FLAME'	AMUR MAPLE	6' HT.	5	X	18" x 15W	MULTI-STEM
Sh	SYRINGA RETICULATA 'VORY SILK'	JAPANESE TREE LILAC	6' HT.	6	X	20" x 15W	X
MaP	MALUS 'PRAIRIE FIRE'	'PRAIRIE FIRE' CRABAPPLE	1 1/2"	4	X	15" x 15" W	X
DECIDUOUS SHRUBS							
SxG	SPIRAEA X 'GOLD MOUND'	GOLD MOUND SPIREA	#3	6	X	27" x 35"	X
EVERGREEN SHRUBS							
Bk	BUXUS X KOREANA 'GREEN VELVET'	GREEN VELVET BOXWOOD	#3	9	X	3' x 3' W	X
ToH	THUJA OCCIDENTALIS 'HOLMSTRUP'	HOLMSTRUP EASTERN ARBORITAE	#5	12	X	8' x 4' W	X
TmD	TAXUS X MEDIA 'DENSIFORMIS'	DENSE JAPANESE YEW	#5	17	X	37" x 4W	X
ORNAMENTAL GRASSES							
CbB	CAREX FLACCA 'BLUE ZINGER'	BLUE ZINGER SEDGE	#1	6	X	11" x 15W	18" O.C.
CaK	CALAMAGROSTIS X AUTILIFLORA 'KARL FORSTER'	KARL FORSTER FEATHE REED GRASS	#3	16	X	4' x 2' W	24" O.C.
PA	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	#3	8	X	2.5' x 5W	36" O.C.

LANDSCAPE PLAN NOTES

- SEED / SOD (ALTERNATE) - FOR SEED, REFER TO PERMANENT SEEDING CHART ON SHEET L201 LANDSCAPE DETAIL SHEET. SOD SHALL BE CERTIFIED GRADE CULTIVATED GRASS SOD OF "ADVENTURE BLEND" TURF TYPE TALL FESCUE (BY GENERAL CONTRACTOR).
- LANDSCAPE BED EDGE (TYP.)
- MULCH



10505 N. College Avenue
Indianapolis, Indiana 46280
weihe.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

WEIHE ENGINEERS
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PROJECT NO.:	BY:	DATE:
W22.0033		
DWG NAME:	DESIGNED BY:	DRAWN BY:
W220033.L00		JM
CHECKED BY:	DATE:	
	02/23/2022	

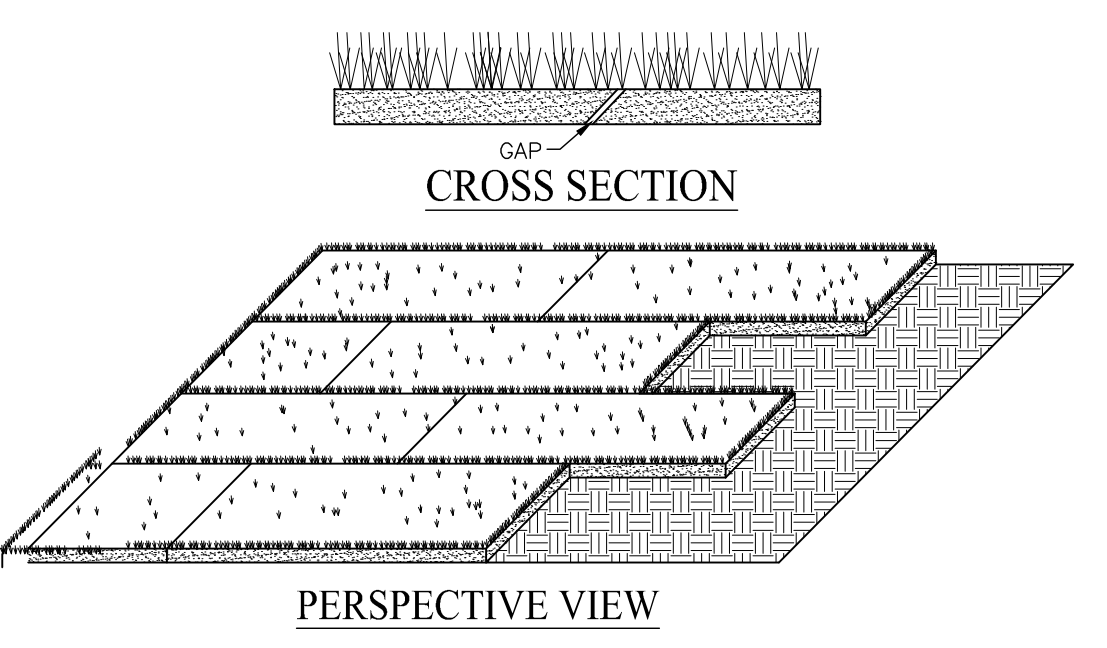


ERIC A. CARTER RLA 20300131

PREPARED FOR:
7-BREW
2501 E MAIN STREET, PLAINFIELD, INDIANA
LANDSCAPE PLAN
SECTION 26, TOWNSHIP 16-NORTH, RANGE 1 EAST, GULFORD TOWNSHIP, HENDRICKS COUNTY, INDIANA.

SHEET NO.
C7
PROJECT NO.
W22.0033

LOCATION: H:\2022\W220033\Engineering\Design\Layout\W220033-L100.dwg
DATE/TIME: March 21, 2022 3:40pm
PLOTED BY: melish



SPECIFICATIONS

SITE PREPARATION

GRADE THE SITE TO ACHIEVE POSITIVE DRAINAGE.
PREPARE A SMOOTH, FIRM SOIL SURFACE AND APPLY SOIL AMENDMENTS, IRRIGATION IRRIGATE AS NEEDED TO ENSURE ROOTING OF SOD.

MATERIALS

SOIL AMENDMENTS - SELECT MATERIALS AND RATES AS DETERMINED BY A SOIL TEST (CONTACT YOUR COUNTY SOIL AND WATER CONSERVATION DISTRICT OR COOPERATIVE EXTENSION OFFICE FOR ASSISTANCE AND SOIL INFORMATION, INCLUDING AVAILABLE SOIL TESTING SERVICES.) OR 400 TO 600 POUNDS OF 12-12-12 ANALYSIS FERTILIZER, OR EQUIVALENT.
SOD - SELECT A HIGH QUALITY, HEALTHY, VIGOROUS VARIETY WELL ADAPTED TO THE REGION AND COMPATIBLE WITH THE INTENDED USE.

INSTALLATION

SOD SHOULD NOT BE INSTALLED DURING HOT WEATHER, ON DRY SOIL, FROZEN SOIL, COMPACTED CLAY, LOOSE SAND OR GRAVELLY SUBSTRATE SOILS, AGGREGATE, OR PESTICIDE TREATED SOIL. THE IDEAL TIME TO LAY SOD IS MAY 1 TO JUNE 4 OR SEPTEMBER 1 TO SEPTEMBER 30, ALTHOUGH IT CAN BE INSTALLED AS EARLY AS MARCH 15 IF AVAILABLE OR JUNE 1 TO SEPTEMBER 1 IF IRRIGATED.

SITE PREPARATION

1. APPLY TOPSOIL IF EXISTING SOIL CONDITIONS ARE UNSUITABLE FOR ESTABLISHING VEGETATION.
2. GRADE THE SITE TO ACHIEVE POSITIVE DRAINAGE AND CREATE A SMOOTH, FIRM SOIL SURFACE.
3. WHERE APPLICABLE, USE A CHISEL PLOW, DISK, HARROW, OR RAKE TO BREAK UP COMPACTED SOILS AND CREATE A FAVORABLE ROOTING DEPTH OF SIX TO EIGHT INCHES.

SOD BED PREPARATION

1. TEST SOIL TO DETERMINE PH AND NUTRIENT LEVELS.
2. IF SOIL PH IS TOO ACIDIC FOR THE GRASS SOD TO BE INSTALLED, APPLY LIME ACCORDING TO SOIL TEST RESULTS OR AT THE RATE RECOMMENDED BY THE SOD SUPPLIER.
3. APPLY FERTILIZER AS RECOMMENDED BY THE SOIL TEST. IF TESTING WAS NOT DONE, APPLY 400 TO 600 POUNDS PER ACRE OF 12-12-12 ANALYSIS FERTILIZER, OR EQUIVALENT.
4. WORK THE SOIL AMENDMENTS INTO THE UPPER TWO TO FOUR INCHES OF SOIL WITH A DISK OR RAKE OPERATED ACROSS THE SLOPE.
5. RAKE OR HARROW THE AREA TO ACHIEVE A SMOOTH FINAL GRADE AND THEN ROLL OR CULPACK THE SOIL SURFACE TO CREATE A FIRM SURFACE ON WHICH TO LAY THE SOD.

LAYING THE SOD

1. INSTALL SOD WITHIN THIRTY-SIX HOURS OF ITS CUTTING.
2. STORE THE SOD IN A SHADED LOCATION DURING INSTALLATION.
3. IMMEDIATELY BEFORE LAYING THE SOD, RAKE THE SOIL SURFACE TO BREAK ANY CRUST. (IF THE WEATHER IS HOT, LIGHTLY IRRIGATE THE SOIL SURFACE PRIOR TO LAYING THE SOD.)
4. LAY SOD STRIPS IN A BRICK-LIKE PATTERN.
5. BUTT ALL JOINTS TIGHTLY AGAINST EACH OTHER (DO NOT STRETCH OR OVERLAP THEM), USING A KNIFE OR MASON'S TROWEL TO TRIM AND FIT SOD INTO IRREGULARLY SHAPED AREAS.
6. ROLL THE SOD LIGHTLY AFTER INSTALLATION TO ENSURE FIRM CONTACT BETWEEN THE SOD AND SOIL.
7. IRRIGATE NEWLY SODDED AREAS UNTIL THE UNDERLYING SOIL IS WET TO A DEPTH OF FOUR INCHES, AND THEN KEEP MOIST UNTIL THE GRASS TAKES ROOT.

SLOPE APPLICATION

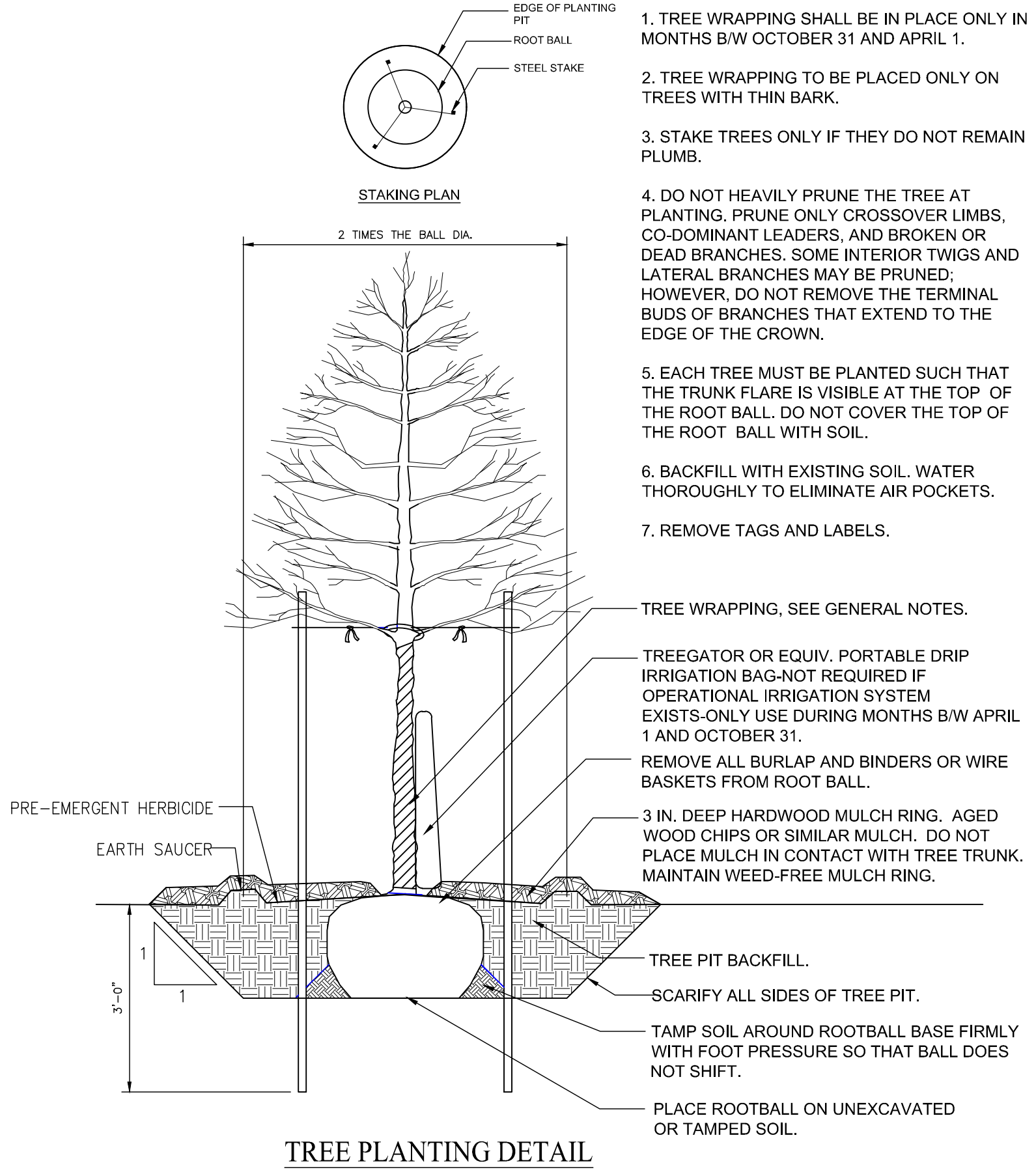
1. INSTALL THE SOD STRIPS WITH THE LONGEST DIMENSION PERPENDICULAR TO THE SLOPE.
2. WHERE SLOPES EXCEED A RATIO OF 3:1, STAPLE OR STAKE EACH STRIP AT THE CORNERS AND IN THE MIDDLE.

CHANNEL APPLICATION

(SOODING PROVIDES QUICKER PROTECTION THAN SEEDING AND MAY REDUCE THE RISK OF EARLY WASHOUT.)
1. EXCAVATE THE CHANNEL, ALLOWING FOR THE FULL THICKNESS OF THE SOD.
2. LAY THE SOD STRIPS WITH THE LONGEST DIMENSION PERPENDICULAR TO CHANNEL FLOW.
3. STAPLE OR STAKE EACH STRIP OF SOD AT THE CORNERS AND IN THE MIDDLE.
4. STAPLE JUTE OR BIODEGRADABLE POLYPROPYLENE NETTING OVER THE SODDED AREA TO MINIMIZE THE POTENTIAL FOR WASHOUT DURING ESTABLISHMENT.

MAINTENANCE

INSPECT WITHIN 24 HOURS OF EACH RAIN EVENT AND AT LEAST ONCE EVERY SEVEN CALENDAR DAYS UNTIL SOD IS WELL ROOTED.
KEEP SOD MOIST UNTIL FULLY ROOTED.
AFTER SOD IS WELL-ROOTED (TWO TO THREE WEEKS), MAINTAIN A PLANT HEIGHT OF TWO TO THREE INCHES. TIME MOWING TO AVOID RUTS IN TURF.
FERTILIZE TURF AREAS ANNUALLY. APPLY FERTILIZER IN A SPLIT APPLICATION. FOR COOL SEASON GRASSES, APPLY ONE-HALF OF THE FERTILIZER IN LATE SPRING AND ONE-HALF IN EARLY FALL. FOR WARM-SEASON GRASSES, APPLY ONE-THIRD IN EARLY SPRING, ONE-THIRD IN LATE SPRING AND ONE-THIRD IN MID-SUMMER.
REFERENCE IN CHAPTER 7 PAGES 47-50 IN THE INDIANA STORM WATER QUALITY MANUAL.



GENERAL NOTES:

- TREE WRAPPING SHALL BE IN PLACE ONLY IN MONTHS B/W OCTOBER 31 AND APRIL 1.
- TREE WRAPPING TO BE PLACED ONLY ON TREES WITH THIN BARK.
- STAKE TREES ONLY IF THEY DO NOT REMAIN PLUMBS.
- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
- BACKFILL WITH EXISTING SOIL. WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
- REMOVE TAGS AND LABELS.

OPEN LOW-MAINTENANCE AREAS (REMAINING IDLE MORE THAN SIX MONTHS)

SEED MIXTURES	RATE PER ACRE PURE LIVE SEED	OPTIMUM SOIL PH
1. PERENNIAL RYEGRASS - WHITE CLOVER	70 LBS. 2 LBS.	5.6 TO 7.0
2. PERENNIAL RYEGRASS - TALL FESCUE	70 LBS. 50 LBS.	5.6 TO 7.0
3. TALL FESCUE - WHITE CLOVER	70 LBS. 2 LBS.	5.5 TO 7.5

STEEP BANKS AND CUTS, LOW-MAINTENANCE AREAS (NOT MOWED)

SEED MIXTURES	RATE PER ACRE PURE LIVE SEED	OPTIMUM SOIL PH
1. SMOOTH BROME GRASS - RED CLOVER	35 LBS. 20 LBS.	5.5 TO 7.0
2. TALL FESCUE - WHITE CLOVER	50 LBS. 2 LBS.	5.5 TO 7.5
3. TALL FESCUE - RED CLOVER	50 LBS. 20 LBS.	5.5 TO 7.5
4. ORCHARD GRASS - RED CLOVER - WHITE CLOVER	30 LBS. 20 LBS. 2 LBS.	5.6 TO 7.0
5. CROWN VETCH - TALL FESCUE	12 LBS. 30 LBS.	5.6 TO 7.0

LAWNS AND HIGH-MAINTENANCE AREAS

SEED MIXTURES	RATE PER ACRE PURE LIVE SEED	OPTIMUM SOIL PH
1. BLUEGRASS	140 LBS.	5.5 TO 7.0
2. PERENNIAL RYEGRASS (TURF TYPE)	60 LBS. 90 LBS.	5.6 TO 7.0
3. TALL FESCUE (TURF TYPE) - BLUEGRASS	170 LBS. 30 LBS.	5.6 TO 7.5

CHANNELS AND AREAS OF CONCENTRATED FLOW

SEED MIXTURES	RATE PER ACRE PURE LIVE SEED	OPTIMUM SOIL PH
1. PERENNIAL RYEGRASS - WHITE	150 LBS. 2 LBS.	5.5 TO 7.0
2. KENTUCKY BLUEGRASS - SMOOTH BROMEGRASS - SWITCHGRASS - TIMOTHY - PERENNIAL RYEGRASS - WHITE CLOVER	20 LBS. 10 LBS. 3 LBS. 4 LBS. 10 LBS. 2 LBS.	5.5 TO 7.5
3. TALL FESCUE - WHITE CLOVER	150 LBS. 2 LBS.	5.5 TO 7.5
4. TALL FESCUE - PERENNIAL RYEGRASS - KENTUCKY BLUEGRASS	150 LBS. 20 LBS. 20 LBS.	5.5 TO 7.5

NOTES

- AN OAT OR WHEAT COMPANION OR NURSE CROP MAY BE USED WITH ANY OF THE ABOVE PERMANENT SEEDING MIXTURES, AT THE FOLLOWING RATES:
(A) SPRING OATS - ONE-FOURTH TO THREE-FOURTHS BUSHEL PER ACRE
(B) WHEAT - NO MORE THAN ONE-HALF BUSHEL PER ACRE
- A HIGH POTENTIAL FOR FERTILIZER, SEED, AND MULCH TO WASH EXISTS ON STEEP BANKS, CUTS, AND CHANNELS AND AREAS OF CONCENTRATED FLOW.

INSTALLATION

- GRADE THE SITE TO ACHIEVE POSITIVE DRAINAGE.
- ADD TOPSOIL OR COMPOST MULCH TO ACHIEVE THE NEEDED DEPTH FOR ESTABLISHMENT OF VEGETATION. (COMPOST MATERIAL MAY BE ADDED TO IMPROVE SOIL MOISTURE HOLDING CAPACITY, SOIL FRIABILITY, AND NUTRIENT AVAILABILITY.)

SEEDBED PREPARATION

- TEST SOIL TO DETERMINE PH AND NUTRIENT LEVELS.
- APPLY SOIL AMENDMENTS AS RECOMMENDED BY THE SOIL TEST AND WORK INTO THE UPPER TWO TO FOUR INCHES OF SOIL. IF TESTING IS NOT DONE, APPLY 400 TO 600 POUNDS PER ACRE OF 12-12-12 ANALYSIS FERTILIZER, OR EQUIVALENT.
- TILL THE SOIL TO OBTAIN A UNIFORM SEEDBED. USE A DISK OR RAKE, OPERATED ACROSS THE SLOPE, TO WORK THE SOIL AMENDMENTS INTO THE UPPER TWO TO FOUR INCHES OF THE SOIL.

SEEDING

OPTIMUM SEEDING DATES ARE MARCH 1 TO MAY 10 AND AUGUST 10 TO SEPTEMBER 30. PERMANENT SEEDING DONE BETWEEN MAY 10 AND AUGUST 10 MAY NEED TO BE IRRIGATED. SEEDING OUTSIDE OR BEYOND OPTIMUM SEEDING DATES IS STILL POSSIBLE WITH THE UNDERSTANDING THAT RESEEDING OR OVERSEEDING MAY BE REQUIRED IF ADEQUATE SURFACE COVER IS NOT ACHIEVED. RESEEDING OR OVERSEEDING CAN BE EASILY ACCOMPLISHED IF THE SOIL SURFACE REMAINS WELL PROTECTED WITH MULCH.

- SELECT A SEEDING MIXTURE AND RATE FROM TABLE 1. SELECT SEED MIXTURE BASED ON SITE CONDITIONS, SOIL PH, INTENDED LAND USE, AND EXPECTED LEVEL OF MAINTENANCE.
- APPLY SEED UNIFORMLY WITH A DRILL OR CULPACKER SEEDER OR BY BROADCASTING. PLANT OR COVER THE SEED TO A DEPTH OF ONE-FOURTH TO ONE-HALF INCH. IF DRILLING OR BROADCASTING THE SEED, ENSURE GOOD SEED-TO-SOIL CONTACT BY FIRING THE SEEDBED WITH A ROLLER OR CULPACKER AFTER COMPLETING SEEDING OPERATIONS. (IF SEEDING IS DONE WITH A HYDROSEEDER, FERTILIZER AND MULCH CAN BE APPLIED WITH THE SEED IN A SLURRY MIXTURE.)
- MULCH ALL SEEDED AREAS AND USE APPROPRIATE METHODS TO ANCHOR THE MULCH IN PLACE. CONSIDER USING EROSION CONTROL BLANKETS ON SLOPING AREAS AND CONVEYANCE CHANNELS.

MAINTENANCE

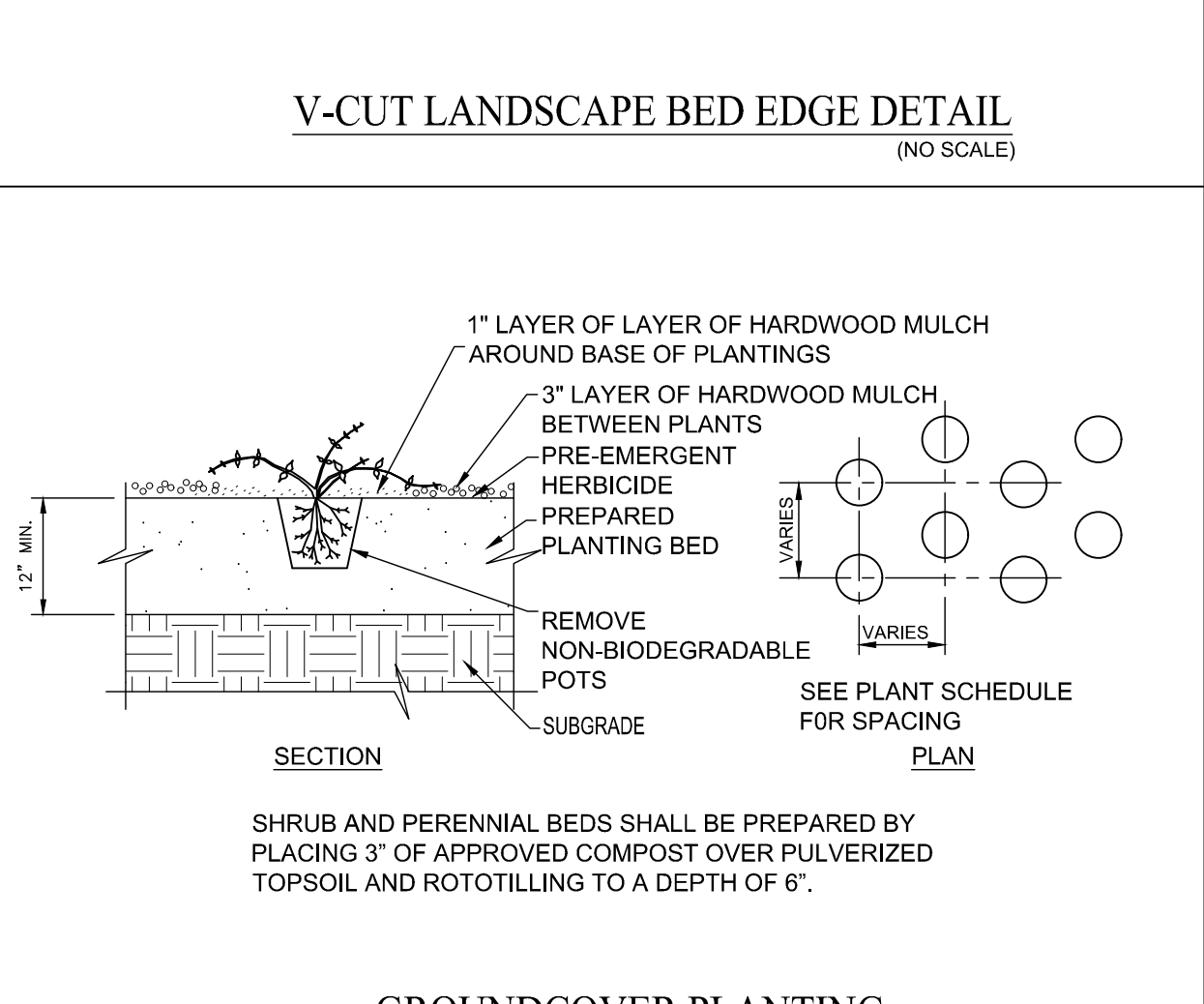
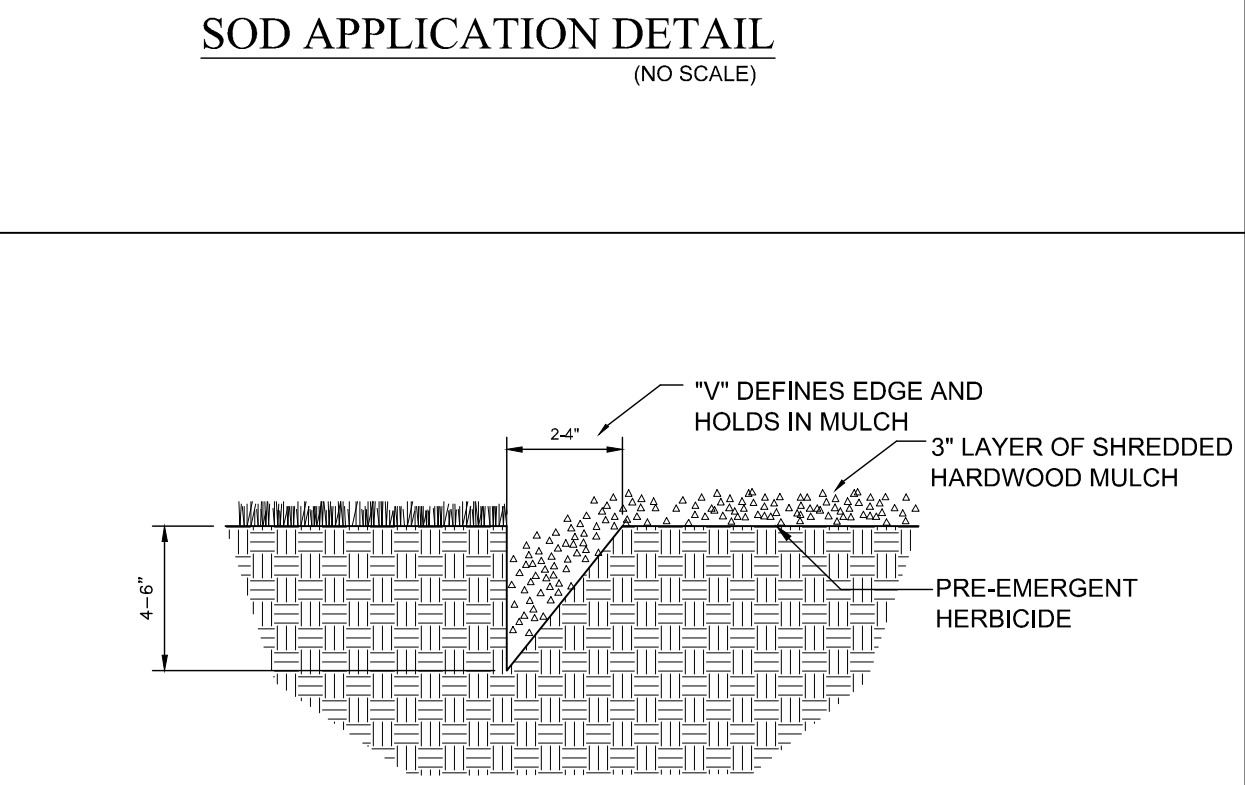
- INSPECT WITHIN 24 HOURS OF EACH RAIN EVENT AND AT LEAST ONCE EVERY SEVEN CALENDAR DAYS UNTIL THE VEGETATION IS SUCCESSFULLY ESTABLISHED.
- CHARACTERISTICS OF A SUCCESSFUL STAND INCLUDE VIGOROUS DARK GREEN OR BLuishGREEN SEEDLINGS WITH A UNIFORM VEGETATIVE COVER DENSITY OF 90 PERCENT OR MORE.
- CHECK FOR EROSION OR MOVEMENT OF MULCH.
- REPAIR DAMAGED, BARE, GULLIED, OR SPARSLEY VEGETATED AREAS AND THEN FERTILIZE, RESEED, AND APPLY AND ANCHOR MULCH.
- IF PLANT COVER IS SPARSE OR PATCHY, EVALUATE THE PLANT MATERIALS CHOSEN, SOIL FERTILITY, MOISTURE CONDITION, AND MULCH APPLICATION; REPAIR AFFECTED AREAS EITHER BY OVERSEEDING OR PREPARING A NEW SEEDBED AND RESEEDING. APPLY AND ANCHOR MULCH ON THE NEWLY SEEDED AREAS.
- IF VEGETATION FAILS TO GROW, CONSIDER SOIL TESTING TO DETERMINE SOIL PH OR NUTRIENT DEFICIENCY PROBLEMS. (CONTACT YOUR SOIL AND WATER CONSERVATION DISTRICT OR COOPERATIVE EXTENSION OFFICE FOR ASSISTANCE.)
- IF ADDITIONAL FERTILIZATION IS NEEDED TO GET A SATISFACTORY STAND, DO SO ACCORDING TO SOIL TEST RECOMMENDATIONS.
- ADD FERTILIZER THE FOLLOWING GROWING SEASON. FERTILIZE ACCORDING TO SOIL TEST RECOMMENDATIONS.
- FERTILIZE TURF AREAS ANNUALLY. APPLY FERTILIZER IN A SPLIT APPLICATION. FOR COOL-SEASON GRASSES, APPLY ONE-HALF OF THE FERTILIZER IN LATE SPRING AND ONE-HALF IN EARLY FALL. FOR WARM-SEASON GRASSES, APPLY ONE-THIRD IN EARLY SPRING, ONE-THIRD IN LATE SPRING, AND THE REMAINING ONE-THIRD IN MIDDLE SUMMER.

TABLE 1. PERMANENT SEEDING RECOMMENDATIONS

THIS TABLE PROVIDES SEVERAL SEED MIXTURE OPTIONS. ADDITIONAL SEED MIXTURES ARE AVAILABLE COMMERCIALY. WHEN SELECTING A MIXTURE, CONSIDER INTENDED LAND USE AND SITE CONDITIONS, INCLUDING SOIL PROPERTIES (E.G., SOIL PH AND DRAINAGE), SLOPE ASPECT, AND THE TOLERANCE OF EACH SPECIES TO SHADE AND DROUGHT.

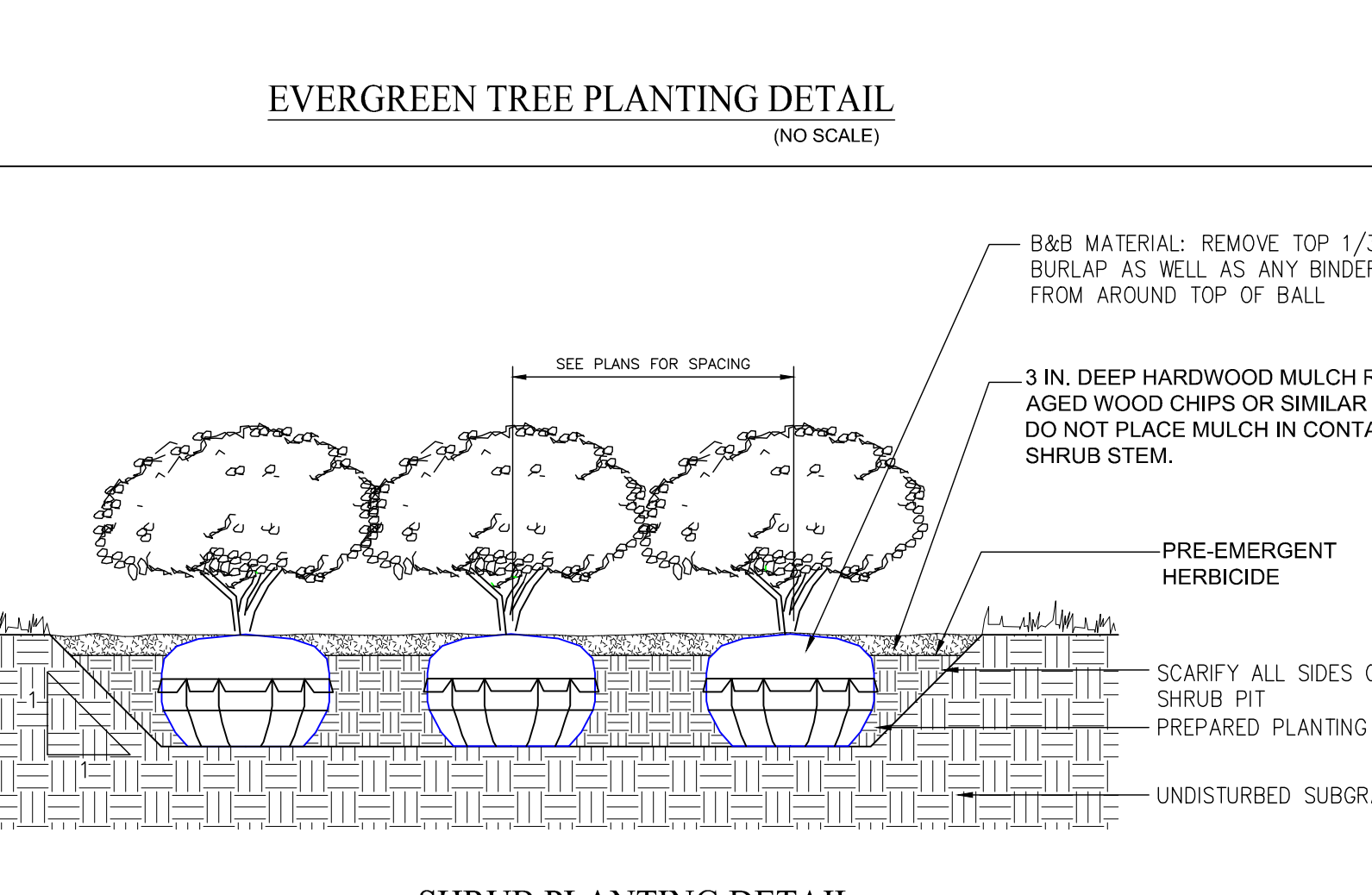
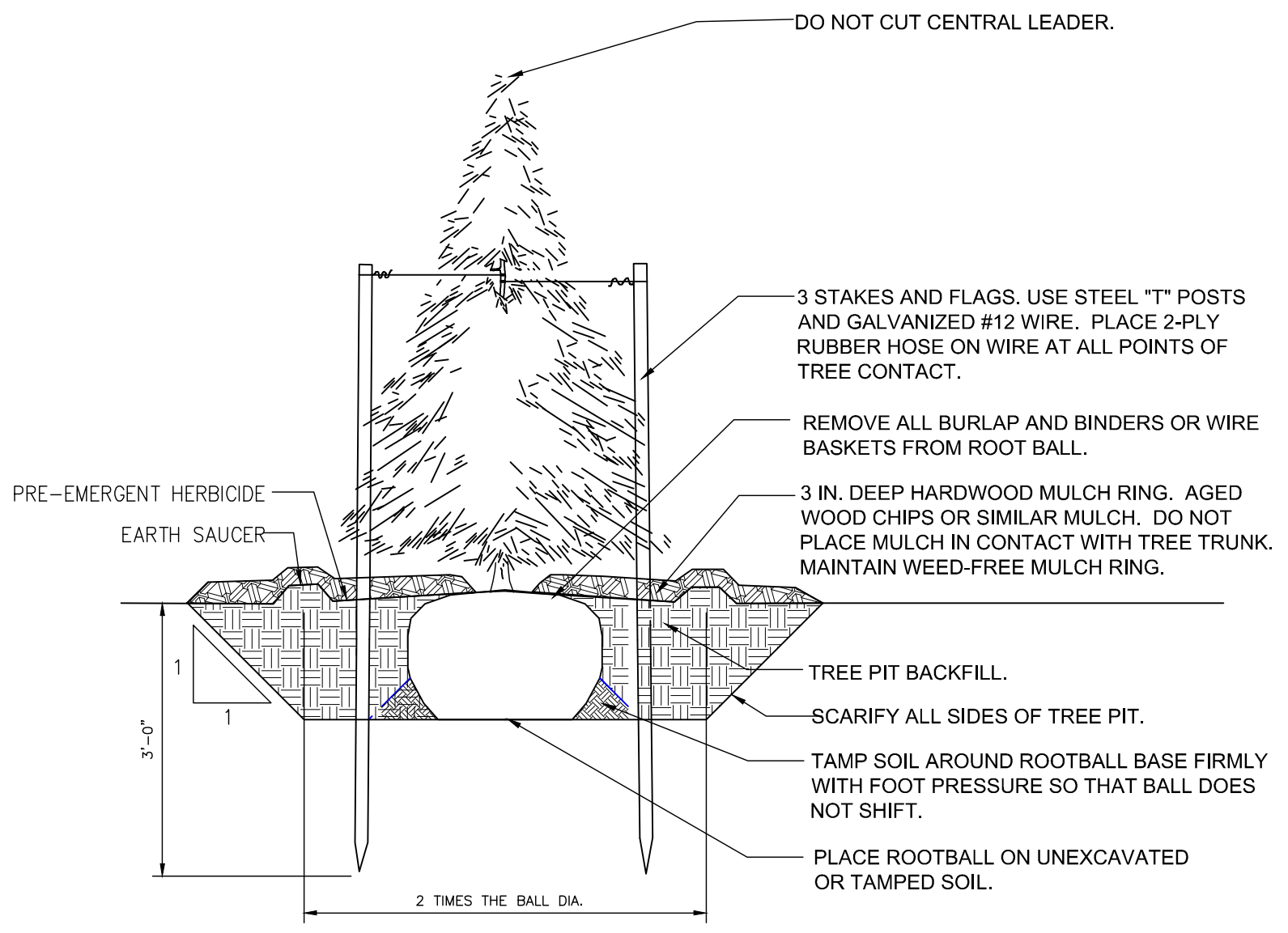
REFERENCE IN CHAPTER 7 PAGES 35-40 IN THE INDIANA STORM WATER QUALITY MANUAL.

PERMANENT SEED



GROUND COVER PLANTING (NO SCALE)

SHRUB AND PERENNIAL BEDS SHALL BE PREPARED BY PLACING 3" OF APPROVED COMPOST OVER PULVERIZED TOPSOIL AND ROTOTILLING TO A DEPTH OF 6".



SHRUB PLANTING DETAIL (NO SCALE)

10505 N. College Avenue
Indianapolis, Indiana 46280
weihe.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

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DRAWN BY:	JM
CHECKED BY:	WT
DATE:	02.23.2022

REVISIONS AND ISSUES	DATE	BY



ERIC A. CARTER, RLA 20300131

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7-BREW
2801 E MAIN STREET, PLAINFIELD, INDIANA
LANDSCAPE DETAILS
SECTION 26, TOWNSHIP 16 NORTH, RANGE 1 EAST, GULFORD TOWNSHIP, HENDRICKS COUNTY, INDIANA.

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PROJECT NO.
W22.0033