

# ARTICLE 7 – SIGN REGULATIONS

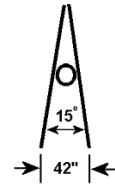
## 7.1 Intent and Application

- A. Intent.** This Article shall hereinafter be known and cited as the “Sign Regulations.” The *Sign Regulations* are intended to:
1. Ensure that *Signs* may be used to exercise the constitutional right to free speech;
  2. Encourage *Signs* that are integrated with and harmonious with their environment;
  3. Eliminate *Signs* that are excessive, cluttered, and confusing;
  4. Eliminate *Signs* that are hazardous to motorists and pedestrians;
  5. Support land use objectives of the Town of Plainfield;
  6. Preserve and improve the aesthetic appearance of, property values within, and public and private economic investment in the Town of Plainfield; and
  7. Otherwise protect and promote the public health, safety, morals, and general welfare of the visitors and residents of the Town of Plainfield.
  8. The *Sign Regulations* apply to the location, installation, and maintenance of *Signs* in any zoning *District* regulated by this Ordinance.
- B. Examples Shown.** Examples shown in the ordinance are only an illustration of type, not an exhaustive list. They are meant to convey a concept and may not be fully compliant with the ordinance.

## 7.2 General *Sign* Regulations

- A. *Sign Package.*** All *Signs* shall be designed to create a unified and consistent *Sign* package for a development. Elements of a unified and consistent *Sign* package include:
1. Type of *Sign* – A *Sign* package shall specify the *Ground Signs* proposed, and the type of *Building Signs* proposed (e.g., individual letters, raceway mount, box, painted, etc.);
  2. Materials (e.g., limestone base with bronze letters, routed aluminum cabinet with plexiglass face, etc.);
  3. Size and Proportion of *Signs* (e.g., maximum height, maximum width, maximum *Sign Surface Area*, etc.);
  4. Style and Color (e.g., style and color palette for letter colors, background colors, and text font); and,
  5. Illumination (e.g., internally illuminated, or external illumination with similar type outdoor light fixture).
- B. Maintenance of *Signs* and Areas Around *Signs***
1. Maintenance of *Signs*. Nothing contained in this Ordinance shall be construed to prevent the maintenance, repainting or posting of legally established *Signs*. Maintenance may include the replacement of *Sign Surfaces* within a *Sign Structure* provided that the *Sign Structure* is not removed or changed in any dimension.
  2. Maintenance of Areas around *Signs*. No person, for the purpose of increasing or enhancing the visibility of any *Sign*, shall damage, trim, destroy, or remove any tree, shrub or other vegetation located in any area where such trees or shrubs are required to remain under a permit issued under this *Ordinance*.
- C. Calculation of Height and *Sign Surface Area***

1. *Ground Sign.* See Article 7.5.A
2. *Building Sign.* See Article 7.6.B
3. **Multi-Faced Signs.** The *Sign Surface Area* of a *Sign* with more than one (1) face shall be computed by adding together the *Sign Surface Area* of all *Sign* faces visible from any one point. When two (2) *Sign* faces are placed back to back, or at no greater than fifteen (15) degrees from one another, so that both faces cannot be viewed from any point at the same time, and when such *Sign* faces are part of the same *Sign Structure* and are not more than forty-two (42) inches apart, the *Sign Surface Area* shall be computed by the measurement of one (1) of the *Sign* faces.



**D. Illuminated Signs.**

1. *Signs* within six hundred (600) feet of and visible from a residential *District* shall not exceed a light output of 100 nits during nighttime hours. *Signs* shall have a functioning ambient light monitor and automatic dimming equipment.
2. Lighting directed towards a *Sign* shall be shielded so that it illuminates only the *Sign Surface* and does not shine on, cause glare to, or otherwise impair the vision of the driver of a motor vehicle or any residence

**E. Changeable Copy Signs.** *Changeable Copy Signs* shall be permitted as part of an otherwise permitted *Sign*, provided that:

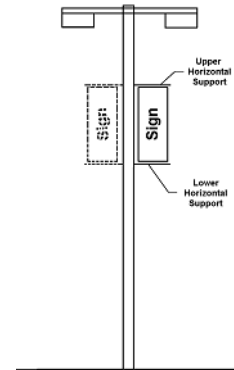
1. On a Single Use Site, a maximum of one (1) *Changeable Copy Sign* shall be permitted as a part of a *Ground Sign*.
2. In an *Integrated Center*, one (1) *Changeable Copy Sign* shall be permitted as part of a *Ground Sign*.
3. The *Changeable Copy Sign* shall not exceed forty (40) percent of the *Sign Surface Area* of the permitted *Sign*.
4. Must follow the provisions of Article 7.4.G.

**7.3 Exempt Signs.** Unless otherwise stated, the following items are exempt from the Sign Regulations and all other Articles of this Ordinance, with the exception of Article 4.14.

- A. Public Health, Safety, and Welfare Signs.** *Signs* authorized by a government or governmental unit which give traffic, directional, or warning information; *Signs* of public service companies indicating danger; and *Signs* erected by, or on the order of, a public officer in the performance of their public duty which aid service or safety.
- B. Private Signs for the Public.** *Signs* containing two (2) square feet or less in Sign Surface Area.
- C. Interior Signs.** *Signs* located within the interior of any *Building* (i.e., an inner or outer lobby, court or entrance), which are not viewable or intended to be viewable from the Public *Right-of-Way* and do not qualify as *Window Signs*.
- D. Window Signs.** *Window Signs*, provided that they shall not exceed twenty-five (25) percent of the surface area of the window on which such *Signs* are placed or through which such *Signs* are viewed, provided, in the case of multi-pane windows, the surface area of the window shall be the combined surface area of the individual panes or, in the case of a glass curtain wall, the surface area of the window shall be the combined surface area of the individual glass panels. Any portion of a *Window Sign* that exceeds twenty-five (25) percent shall count against the permitted building sign allowance.

- E. **Commemorative and Monumental Signs on Buildings.** Signs which are carved into stone, concrete, or similar material or are made of bronze or aluminum and are made an integral part of the *Building*.
- F. **Architectural Features of Buildings.** Integral, decorative, or architectural features of *Buildings* which do not contain letters, logos, lighting, or trademarks.
- G. **Tombstones, Headstones, and Gravestones.** Tombstones, headstones, and gravestones so long as they are located in an authorized *District*.
- H. **Symbols of a Nation, State or Political Subdivision.** *Flags, pennants*, emblems, and insignia of a nation, state, or political subdivision. These *flags, pennants*, emblems, and insignia must comply with the setback requirements for *Signs*. There is no height limit for flagpoles so long as the distance from the nearest property line exceeds the height of the flagpole.
- I. **Signs on Light Poles.** Light poles which serve to illuminate an Off-Street Parking Area may be permitted to have *Gonfalon Signs* in the GC: General Commercial and REL: Religious *Districts*, provided that they comply with the following regulations:

1. Type. *Signs* on light poles shall be limited to *Gonfalon Signs* which are mounted on light poles located on a Lot and which are mounted to the light poles with upper and lower horizontal supports.
2. Number. Each light pole may contain two (2) *Gonfalon Signs*, provided the light pole which supports these light pole *signs* may not be closer than forty-feet (40) feet to any building or property line.
3. Maximum *Sign Surface Area*. *Signs* on light poles shall not exceed the maximum dimensions of three and one-half feet in width by eight feet in height (3 ½ ft. X 8 ft.).
4. Configuration and Placement on Light Poles – All individual light pole *Gonfalon Signs* placed on a Lot:
  - a. shall be of the same dimensions; and,
  - b. shall be placed at the same relative height and location on all light poles;



J. **Temporary Signs, subject to the requirements below.**

Type of Sign	Allowed	Maximum Sign Surface Area (Square Feet)		Maximum Height (Feet)
Ground Sign				
TC	Yes	6		6
Residential <sup>(1)</sup>	Yes	6		6
Commercial/Industrial <sup>(2)</sup>	Yes <sup>(5)</sup>	Property Size	Maximum Sign Surface Area	Maximum Height
		One (1) acre or less	8	6
		Between one (1) and five (5) acres	16	6
		More than five (5) acres	32	6
Sidewalk Signs	Allowed	Maximum Sign Surface Area (Square Feet)		Maximum Height (Feet)
TC	Yes <sup>(3)</sup>	8 <sup>(4)</sup>		5
Residential <sup>(1)</sup>	No	N/A		N/A
Commercial/Industrial <sup>(2)</sup>	No	<sup>(4)</sup> <sup>(6)</sup>		<sup>(6)</sup> 5

(1) RR, R-1, R-2, R-3, R-4, R-5, R-6, RU, P, S, REL, , G, IG, RI  
 (2) NR, OD, GC, I-1, I-2, I-3, I-4, AG, AC, CI, HB  
 (3) See Special Regulations below for additional requirements for *Sidewalk Signs*  
 (4) Shall not exceed two (2) feet in width  
 (5) Maximum *Sign Surface Area* based upon property size  
 (6) Not within the public rights-of-way

N/A Not applicable

1. Number of *Signs*
  - a. General. Two (2) *Temporary Signs* shall be permitted per *Lot*. However, no more than one (1) *Ground Sign* shall be permitted per *Street Frontage* of a *Lot* and temporary ground signs must not be within one hundred (100) feet of each other.
  - b. *Sidewalk Sign*. One (1) *Sidewalk Sign* is permitted per business use on a property.
2. Minimum *Setback From Proposed Right-of-Way. Temporary Signs*:
  - a. May not interfere with a Vision Clearance Area as specified in Article 4.14; and,
  - b. Must be set back from the *Proposed Right-of-Way* a distance equivalent to the height above grade.
3. Special Regulations
  - a. All *Temporary Signs*. No *Temporary Sign* shall be permitted on any *Lot* without the prior authorization of the owner of that *Lot*.
  - b. *Sidewalk Signs*.
    - 1) Type.: Only *A-Frame Signs* are permitted.
    - 2) Location. *Sidewalk Signs* may be located outside the main entrance of the business for which they are established provided that:
      - a) They are located within ten (10) feet of the main entrance of the business;
      - b) They are placed so that they leave at least a five (5) foot wide walking aisle on the sidewalk between the business and the *Street* and parallel to the *Street*;
      - c) The separation between *Sidewalk Signs* along the same *Street* is at least ten (10) feet; and
      - d) They do not interfere with pedestrian movement or create a public safety hazard.
    - 3) *Sidewalk Signs* must be removed from the *Public Right-of-Way* at the close of business.

## 7.4 Prohibited Signs

A. Signs which interfere, obstruct, or cause confusion in connection with any:

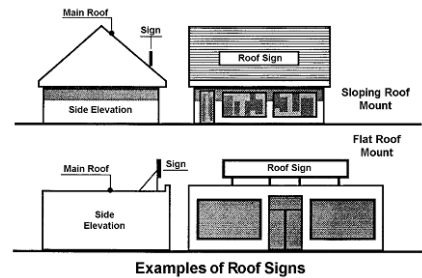
1. Authorized traffic signal, device, or Sign;
2. Signs listed in Article 7.3, A.;
3. Vision Clearance Areas as specified in Article 4.14.

B. Signs located on, in, or above the *Right-of-Way* of any Street or Alley (except for *Projecting Signs* as permitted by Article 7.7).

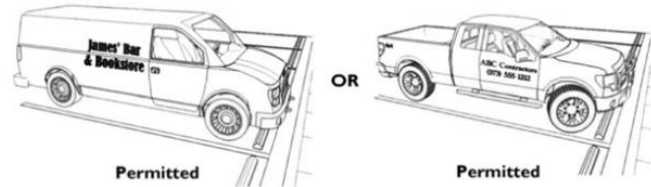
C. Signs erected on or wholly constructed upon a roof of any Building and supported solely on the roof Structure.

D. *Portable Signs*, including but not limited to the following types of Signs, without regard to their content:

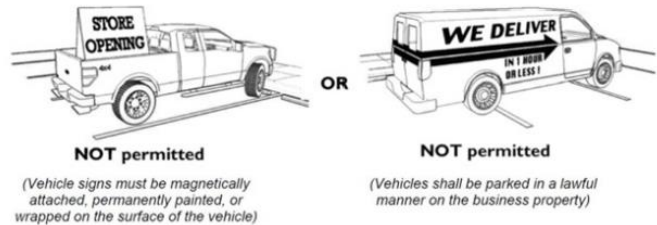
1. trailer frame Signs;
2. menu and sandwich board Signs except as in Article 7.3.J.3.b;
3. *Balloon Signs*
4. Signs attached to or painted on a *vehicle* or *truck* parked and visible from the Public *Right-of-Way*, except as detailed below.



a. No Sign shall be erected or attached on any *vehicle* or *truck* except for signs that are magnetically attached to, permanently painted, or wrapped on the side of a vehicle.



b. The primary use of such *vehicles* or *trucks* shall be in the operation of the business (e.g. transporting goods or providing services) and not in displaying a sign.



c. *Vehicles* or *trucks* shall be operable and properly licensed.




d. When not in use, the *vehicle* or *truck* must be parked in a lawful manner on the business property.

E. *Wind Signs*, *Banner Signs*, *Banners*, pennants, and streamers.

F. Signs or any portion thereof which contains intermittent light, flashing light, light of changing degrees of intensity, rotating beams, search lights, video or logo projection, laser show, or beacons. Outline lighting of open sales areas and *Lot Lines* is also prohibited.

G. Signs or any portion thereof which moves or assumes any motion or gives the illusion of moving, including *Changeable Copy Signs* on which the message changes more than once every ten (10) seconds.

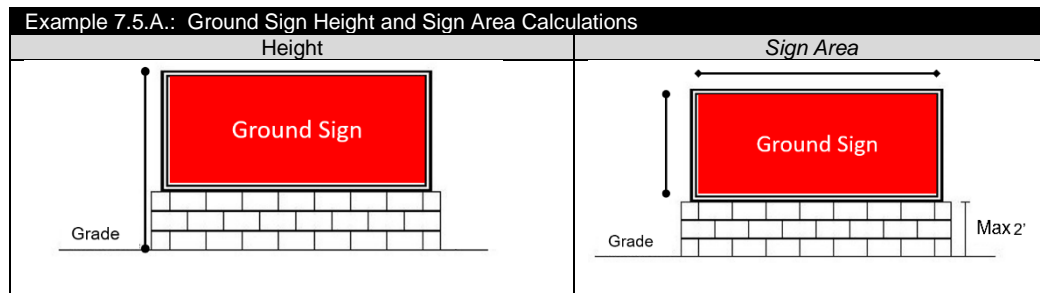
- H. *Signs* that bear or contain statements, words or pictures of an obscene, pornographic, immoral character, or which contain advertising matter which is untruthful or will offend public morals or decency.
- I. *Signs* on certain canopies. For the purpose of the sign code, the following are examples of canopies upon which signage is not permitted. The examples shown below are only an illustration of type, not an exhaustive list. Excepting signs listing height restriction and access information less than two (2) square feet).

Example 7.4.I. Examples of Canopies on which signage is not permitted		
		
Bank Canopy	Fueling Station Canopy	Drive Through

## 7.5 Ground Signs

**A. Calculation of Height and Sign Surface Area.** If a *ground sign* sits on an ornamental or decorative base of brick, stone or other similar material, that base shall not exceed two (2) feet in height above grade.

1. *Sign Height.* The height of a ground sign shall be measured from grade, which shall include the finished surface of the ground five (5) feet from the base of the *sign*, to the highest point of the *sign*. See Example 7.5.A., below.
2. *Sign Area.* The *sign surface area* of a *ground sign* shall be the smallest rectangle that can encompass all items of information or the sign face, outside of support structures, whichever is applicable. The *sign* base shall not be included in the overall calculation of *Sign Surface Area*, provided that no lettering, logo, text or other display of any kind shall be allowed on such base (except for information placed in compliance with Fire Code requirements). See Example 7.5.A., below.



## B. Number, Dimensional Standards, Setbacks, and Size of Signs.

**Table 7.5.B: Number, Dimensional Standards, Setbacks, and Size of Signs**

Site Type	Number of Signs	Height (feet)	Sign Surface Area (square feet)	Setbacks (in feet)		
				Front Yard	Front Bufferyard	Side or Rear Yard
Single Use Site (Commercial/Industrial except TC)	One (1) <i>Ground Sign</i> shall be permitted for each <i>Street Frontage</i> of a <i>Lot</i> . <sup>(4)</sup>	6	48	10	20	(6)
Single Use Site (TC) <sup>(1)</sup>		6	48	See 7.5.C.1-3		
Outlots of <i>Integrated Center</i>		6	48	10	20	(6)
<i>Integrated Center</i> smaller than 60,000 square feet		8	72	10	20	(6)
<i>Integrated Center</i> larger than 60,000 square feet		10	96	10	20	(6)
Recorded, platted Residential <i>Subdivisions</i> <sup>(3)</sup>	Two per subdivision entrance <sup>(5)</sup>	6	48	See 7.5.C.1-3		
Multifamily Dwelling Developments <sup>(3)</sup>	One per street entrance <sup>(4)</sup>	6	48	10	10	(6)
Business Permitted in Residential <i>Districts</i> by Special Exception <sup>(2)</sup>	One	4	24	10	10	(7)

(1) *Ground Signs* are not permitted on the following *Lots* in the TC *District*: any *Lot* abutting Main Street (US 40) between East Street and Mill Street; any *Lot* abutting East Street or Mill Street; and any *Lot* located between East Street and Mill Street.

(2) Provided they are constructed of a material(s) which blend in with the residential character of the neighborhood (such as but not limited to, wood or stone). Approval by the Board of Zoning Appeals with the Special Exception is required.

(3) Provided the *Signs* are constructed of ornamental metal, stone masonry, or other permanent material. Requires approval by the Plan Commission through the approval of the subdivision.

(4) When a *Lot* has more than one (1) *Street Frontage*, one (1) *Ground Sign* shall be permitted for each *Street Frontage* of the *Lot*, provided that the separation between *Ground Signs* on the *Lot*, regardless of the orientation of the *Ground Signs*, is at least one hundred (100) feet.

(5) Only one per side of intersection.

- (6) The *Minimum Side Setback* and *Minimum Rear Setback* for *Ground Sign* shall be the same as required for any *Building* or *Structure* in the applicable zoning *District*.
- (7) The *Minimum Side Setback* and *Minimum Rear Setback* for *Ground Sign* shall be consistent with the requirements for an *Accessory Structure* in the *District* to which the real estate is zoned.

**C. Reserved.**

**D. Minimum Setback in Feet From Proposed Right-of-Way**

1. *Signs* located within easements to the *Town of Plainfield* must obtain an Easement Encroachment approval from the *Technical Advisory Committee* prior to permit issuance.
2. *Ground Signs* must not interfere with a Vision Clearance Area as specified in Article 4.14.

**E. Off Premise Ground Signs.**

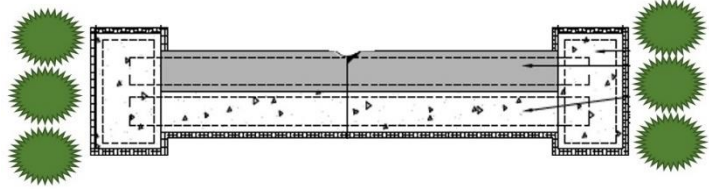
1. Location. *Off Premise Signs* may be allowed in the following *Districts*:
  - a. GC: General Commercial *Districts* that are not within 600 feet of a *Gateway Corridor* or Residential *District*;
  - b. I4: Heavy Manufacturing *Districts* that are not within 600 feet of a *Gateway Corridor* or Residential *District*.
2. Maximum *Sign Surface Area* and Height.
  - a. *Sign surface area*. Shall not exceed ninety-six (96) square feet in *sign surface area*.
  - b. The maximum height is ten (10) feet.
3. Spacing Between *Signs*. The minimum distance between *signs* shall be as specified below.
  - a. Linear Spacing. The minimum distance between signs described by this Article 7.5.E located along and oriented towards the same side of a Public *Street* shall be two thousand five hundred (2,500) linear feet subject to the following:
    - 1) The spacing requirement shall be applied equally to both sides of the *Street* at the same time regardless of whether the *signs* described by this Article 7.5.E are on the same side of the *Street*;
    - 2) The spacing requirement shall be applied continuously along a *Street* to all *signs* described by this Article 7.5.E oriented towards that *Street* in either direction whether the *signs* described by this Article 7.5.E are in the same *block* or are in different blocks separated by an intersecting *Street*;
    - 3) For purposes of applying the spacing requirement *Signs* described by this Article 7.5.E shall be treated the same, whether double-faced or single-faced; and
  - b. Measurement of Linear Spacing. The method of measurement of the spacing between *signs* described by this Article 7.5.E oriented towards the same *Street* shall be along the centerline of the *Street* to which the sign described by this Article 7.5.E is oriented from the point in the *Street's* centerline closest to the leading edge of the *sign* described by this Article 7.5.E.
  - c. Radial Spacing - In no event shall a *sign* described by this Article 7.5.E be closer than one thousand (1,000) feet from any other *sign* described by this Article 7.5.E regardless of location or orientation.
4. Minimum *Front, Side, and Rear Yard Setback*.
  - a. *Front yard setback*. The *minimum front yard setback* shall be 60 feet from the proposed *right-of-way*.
  - b. *Side and rear yard setback*. Maximum height of up to four feet above grade when located at the minimum required *side* or *rear yard setback*. The maximum height may be increased by one foot in height for each additional one foot of *setback* from the

minimum required *side* or *rear yard* until the maximum height allowed for *sign* described by this Article 7.5.E is reached.

5. Construction. The supports, uprights, bracing and framework of ground sign described by this Article 7.5.E shall be of steel construction.

**F. Landscaping of Ground Signs.** The intent of *ground sign* landscaping is to shield from view any electrical or other mechanical panels, as well as to accentuate or compliment the sign.

1. All *Ground Signs* shall require evergreen shrubs sufficient to block any electrical panels or other mechanical panels.

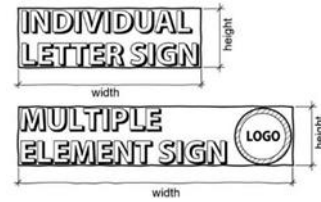


2. Landscaping may include any size or variety of annuals, perennials, ornamental grasses, Hedge Plants, or trees.
3. Plant materials used to satisfy this provision shall not be used to satisfy the calculation of *Plant Unit Value* required by any other provision of this Ordinance.

**G. Ground Signs are Accessory Structures.**

## 7.6 Building Signs

- A. Calculation of *Sign Surface Area*.** The *sign surface area* of a *building sign* shall be the smallest rectangle that can encompass all items of information or the sign face, outside of support structures, whichever is applicable.
- B. Type of *Signs*.** The following *signs* are permitted by *district* type.



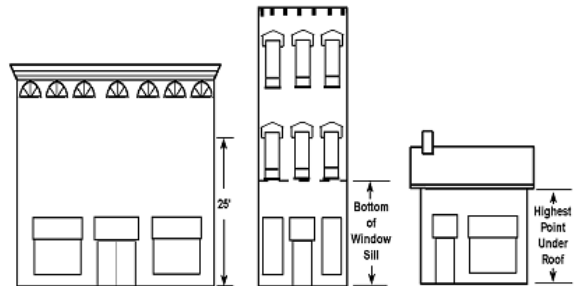
<i>District Type</i>	<i>Building</i>	<i>Suspended</i>	<i>Projecting</i>	<i>Awning</i>	<i>Marquee</i>
Residential	X				
Commercial	X	X <sup>(1) (2)</sup>	X <sup>(1) (2)</sup>	X <sup>(1) (2)</sup>	X <sup>(1) (2)</sup>
Industrial	X				
TC	X	X <sup>(1)</sup>	X <sup>(1)</sup>	X <sup>(1)</sup>	X <sup>(1)</sup>

- <sup>(1)</sup> See additional regulations in Section 7.6.E, below.  
<sup>(2)</sup> As approved in a *Development Plan Sign Package*.

- C. Number of *Signs*.** There shall be no limit to the number of *Building Signs* per facade, provided that the total *Sign Surface Area* of all *Building Signs* located on each *Building* facade shall not exceed the maximum *Sign Surface Area* (see Table 7.6.D) for the *Building* facade upon which such *Signs* are located.
- D. Maximum *Sign Surface Area* for *Building Signs*.** The following sign area percentages and maximum *Sign Surface Areas* shall apply as shown in Table 7.6.D.:
- The maximum permitted area of a *Building Sign* for an individual tenant unit or *building* facade shall be equal to a percentage of the square footage of the respective tenant unit or building face.
  - For multi-tenant *buildings* with a common entrance, this percentage applies to the allowable *Building signs* per facade for the *structure* as a whole.

<b>Commercial / Industrial</b>			
<i>Tenant Unit Façade Area</i> (in square feet)	<i>Percent of Tenant Unit Façade</i> <i>Allowed for Signage</i>	<i>Maximum Sign Surface Area</i> (in square feet)	<i>Maximum Façade</i> <i>Width (%)</i>
0 — 1,000	7.50%	72	80
1,001 — 2,500	7.25%	150	80
2,501 — 5000	6.00%	250	80
5,001 +	5.00%	350	80
<b>Non-Commercial / Industrial</b>			
<i>Type</i>	<i>Percent of Tenant Unit Façade</i> <i>Allowed for Signage</i>	<i>Maximum Sign Surface Area</i> (in square feet)	<i>Maximum Façade</i> <i>Width (%)</i>
Residential	5	N/A	80
TC	10 <sup>(1)</sup>	N/A	80

- <sup>(1)</sup> percent of the total area of the lesser of the following calculations:
- the first twenty-five (25) feet of actual *Building* height;
  - the height of the *Building* from *Grade* to the bottom of the window sills on the second story, if any; or
  - the highest part of the *Building* under a roof or cornice line.



**E. Suspended, Projecting, Awning, and Marquee Signs**

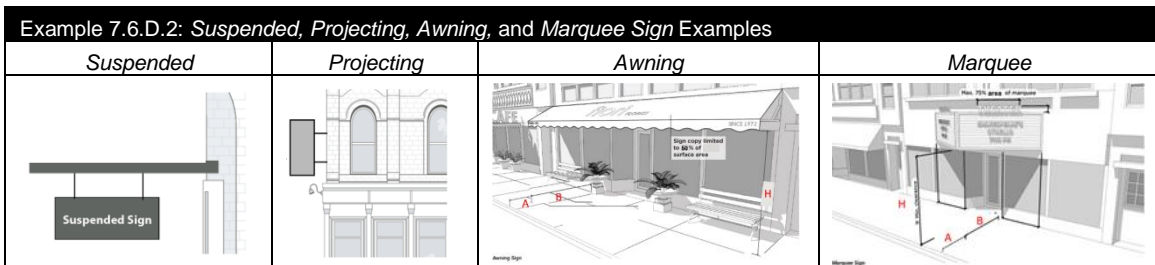
1. General Regulations

- a. *Sign Structures* for *Suspended Signs*, *Projecting Signs*, *Awning Signs*, and *Marquee Signs* shall not extend above the roof line of their supporting *Building*;
- b. *Suspended Signs* shall be permitted on any *Building* containing two or more individual, non-related, and separately operated uses
- c. Dimensional Regulations as shown in Table 7.6.D.1.c, below:

<b>Table 7.6.D.1.c: Dimensional Regulations by Type of Sign</b>				
Maximum Sign Number and Maximum Area	<i>Suspended</i>	<i>Projecting</i>	<i>Awning</i>	<i>Marquee</i>
Number of <i>Signs</i>	1 <sup>(1)</sup>	1 <sup>(3)</sup>	1 <sup>(3)</sup>	1 <sup>(3)</sup>
<i>Sign Surface Area</i> (square feet)	5	See Table 7.6.C <sup>(4)</sup>		
Percent of <i>Marquee</i> or <i>Awning</i> that includes a sign surface	N/A	N/A	50	75
Clearance to <i>Grade</i> (in feet)	<i>Suspended</i>	<i>Projecting</i>	<i>Awning</i>	<i>Marquee</i>
Rigid construction	8	10	8	9
Non-rigid construction	N/A	N/A	7	N/A
<i>Drive, Interior Access Drive, or Alley</i>	15			
Horizontal Extension (in feet)	<i>Suspended</i>	<i>Projecting</i>	<i>Awning</i>	<i>Marquee</i>
Maximum Projection from <i>Building</i>	<sup>(2)</sup>	8 <sup>(2)</sup>	8 <sup>(2)</sup>	8 <sup>(2)</sup>
Minimum Distance from vertical plane of <i>Street</i> pavement line, curb or outside edge of <i>sidewalk</i>	<sup>(2)</sup>	3 <sup>(2)</sup>	3 <sup>(2)</sup>	3 <sup>(2)</sup>

- (1) Per entrance for *grade level* tenant
- (2) *Signs* in compliance with the above regulations may project into the air rights of a *Public Right of Way* if approval for such encroachment into the air rights of a *Public Right of Way* is obtained from the governmental authority having jurisdiction prior to the placement of the *Sign*.
- (3) Per *frontage*
- (4) Minus applicable *building* signage.

- 2. Examples. For the purpose of the sign code, the following are examples of *Suspended*, *Projecting*, *Awning*, and *Marquee* signs. The examples shown below are only an illustration of type, not an exhaustive list.



**F. Design Requirements.** To create a unified and consistent treatment, new *Building Signs* shall be erected in accordance with the following regulations:

- 1. Sign Hierarchy. The order of ranking of the various types of *Building Signs*, from the highest to the lowest, shall be (a), (b), (c), (d), and (e) as outlined below:
  - a. An Individual Letter *Sign* (including but not limited to: internally illuminated channel letters, logos or script; illuminated or non-illuminated pin-mounted letters, logos or script; or, a plaque with raised or routed letters, logos or script).
  - b. A *Channel Box* or *Cloud Sign*
  - c. A *Raceway Mounted Sign* (including but not limited to: channel letters, logos or script).
  - d. A *Box Sign*.
  - e. A *Painted Board Sign* or a *Sign* painted directly on a wall of a *Building*.
- 2. Incorporation of Lower Ranked Sign Hierarchy Elements. A sign package may use lower ranked sign hierarchical elements as a portion of the sign. Examples of such usage may include, but are not limited to, logos or taglines.

Table 7.6.F.2: Incorporation of Lower Ranked Sign Hierarchy Elements	Hierarchical Steps Below Required			
	1 step	2 steps	3 steps	4 steps
Percent of Sign allowed to be lower hierarchy elements	25%	20%	15%	10%

3. Construction Type
  - a. New Construction / Major *Building Additions* – *Building Signs* for new construction projects and major *Building* addition projects shall be an individual letter signage unless an alternative *sign* package was approved by the *Plan Commission*.
  - b. Alternatives Hierarchy Existing Integrated Centers – Any new *Building Sign* on an existing *Integrated Center* shall be of an equivalent type or higher rated type than the predominant type of *Building Signs* existing throughout the *Integrated Center*.
  - c. Existing Single Use Sites – Any new *Building Sign* on an existing Single Use Site shall be the greater of either an equivalent type or higher rated type *Building Sign* than:
    - 1) the previously existing *Building Sign*; or,
    - 2) the predominant type of *Building Signs* existing on the subject *Lot* and any immediately adjacent Single Use Sites located within the same Block Face.
3. Illuminated *Building Signs* & *Bufferyards*. Illuminated *Building Signs*, whether internally or externally illuminated, shall not be permitted on a Building façade oriented to a Side *Bufferyard* or Rear *Bufferyard*.

## 7.7 Incidental Signs

### A. Type of Signs

Table 7.7.A	Ground	Building	Suspended
Commercial/Industrial	X <sup>(1)</sup>	X <sup>(1)</sup>	X <sup>(1)</sup>
TC	X	X	X
Residential	X	X	

<sup>(1)</sup> See 7.7.B.4-5 below for more restrictions

### B. Number of Signs

1. If a *Lot* or *Integrated Center* has one (1) Driveway, two (2) *Incidental Signs* shall be permitted at the Driveway entrance or exit.
2. If a *Lot* or *Integrated Center* has more than one (1) Driveway, one (1) *Incidental Sign* shall be permitted for each Driveway.
3. One (1) *Incidental Sign* shall be permitted at each critical turning point when required to safely direct pedestrian or vehicular traffic
4. If a *Lot* is occupied by a use which includes a drive through facility, two (2) menu boards shall be permitted adjacent to the drive through facility as *Incidental Signs*.
5. If a *Lot* is occupied by a use which includes a drive through facility, up to two (2) *Suspended Signs* may be permitted along the drive through facility as *Incidental Signs*.

### C. Maximum Sign Surface Area and Height

Table 7.7.C	Maximum	
Commercial (NR, OD, AC, HB, and GC)	Height of Sign (Feet)	Size of Sign (Square Feet)
General Incidental Sign	4	6
<i>Incidental Sign</i> adjacent to a drive through	7	48
<i>Suspended Sign</i>	<sup>(1)</sup>	2.5
Industrial (I1, I2, I3, I4)	Height of Sign (Feet)	Size of Sign (Square Feet)
Incidental Sign	7	6
Incidental Parking/Loading Sign	7	48
TC	Height of Sign (Feet)	Size of Sign (Square Feet)
<i>Incidental Sign</i>	4	6
Residential	Height of Sign (Feet)	Size of Sign (Square Feet)
<i>Incidental Sign</i>	4	2

<sup>(1)</sup> Minimum clearance from grade must be eight (8) feet

### D. Minimum Setback in Feet From Proposed Right-of-Way

Table 7.7.D	Front (from Proposed Right-of-Way)	Side/Rear
Commercial/Industrial	3	<sup>(1)</sup>
TC/	No required <i>setback</i> for Incidental <i>Ground Signs</i> , however, such <i>Signs</i> may not encroach into a Public <i>Right-of-Way</i> and may not interfere with a <i>Vision Clearance Area</i> .	
Residential	3	<sup>(2)</sup>

<sup>(1)</sup> Same as required for any Building or Structure in the applicable zoning District.

<sup>(2)</sup> Same as required for an *Accessory Structure* in the applicable Zoning District.

## 7.8 Signs in a Master Plan District. (P: Park, IG: Institutional (Government), S: School, REL: Religious, G: Golf, and RF: Residential Flex, Districts.)

- Signs.** The regulations contained in Article 7.5, for “Business and Other Uses permitted in the Residential Districts” shall apply to the *Master Plan Districts*, provided, however, notwithstanding anything in the Article 7 to the contrary.
- Sign Program.** Other permanent Signs or *Temporary Signs* included in an overall *Sign* program (which includes the general number, size, type and location of *Signs*) and which is approved by the *Plan Commission* as part of an approved *Master Plan*.