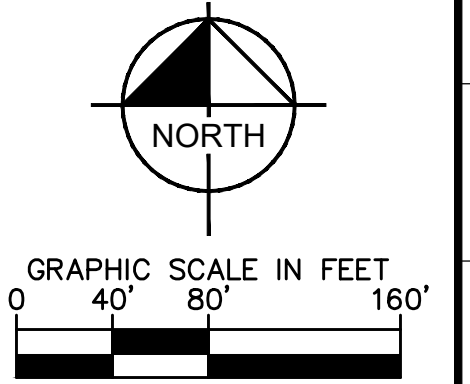


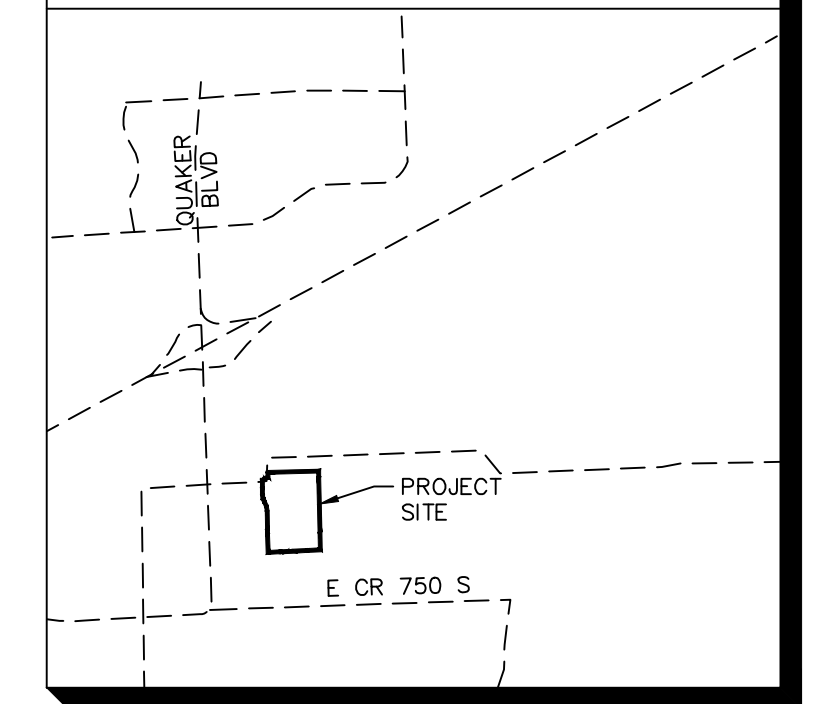
PRIMARY PLAT PLAINFIELD INNOVATION PARK BUILDINGS 3 AND 4



PROPOSED LEGEND

C.A.E.	CROSS ACCESS EASEMENT
D.&U.E.	DRAINAGE & UTILITY EASEMENT
T.A.E.	TEMPORARY ACCESS EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
V.W.	VARIABLE WIDTH
B.S.L.	BUILDING SETBACK LINE
FY	FRONT YARD SETBACK
RY	REAR YARD SETBACK
SY	SIDE YARD SETBACK
ROW	RIGHT OF WAY
INST. #	INSTRUMENT NUMBER
	POND
	PROPERTY BOUNDARY
	PROPOSED EASEMENT
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED WATER MAIN
	VACATION AREA OF EXISTING CAMBY ROAD R/W

VICINITY MAP



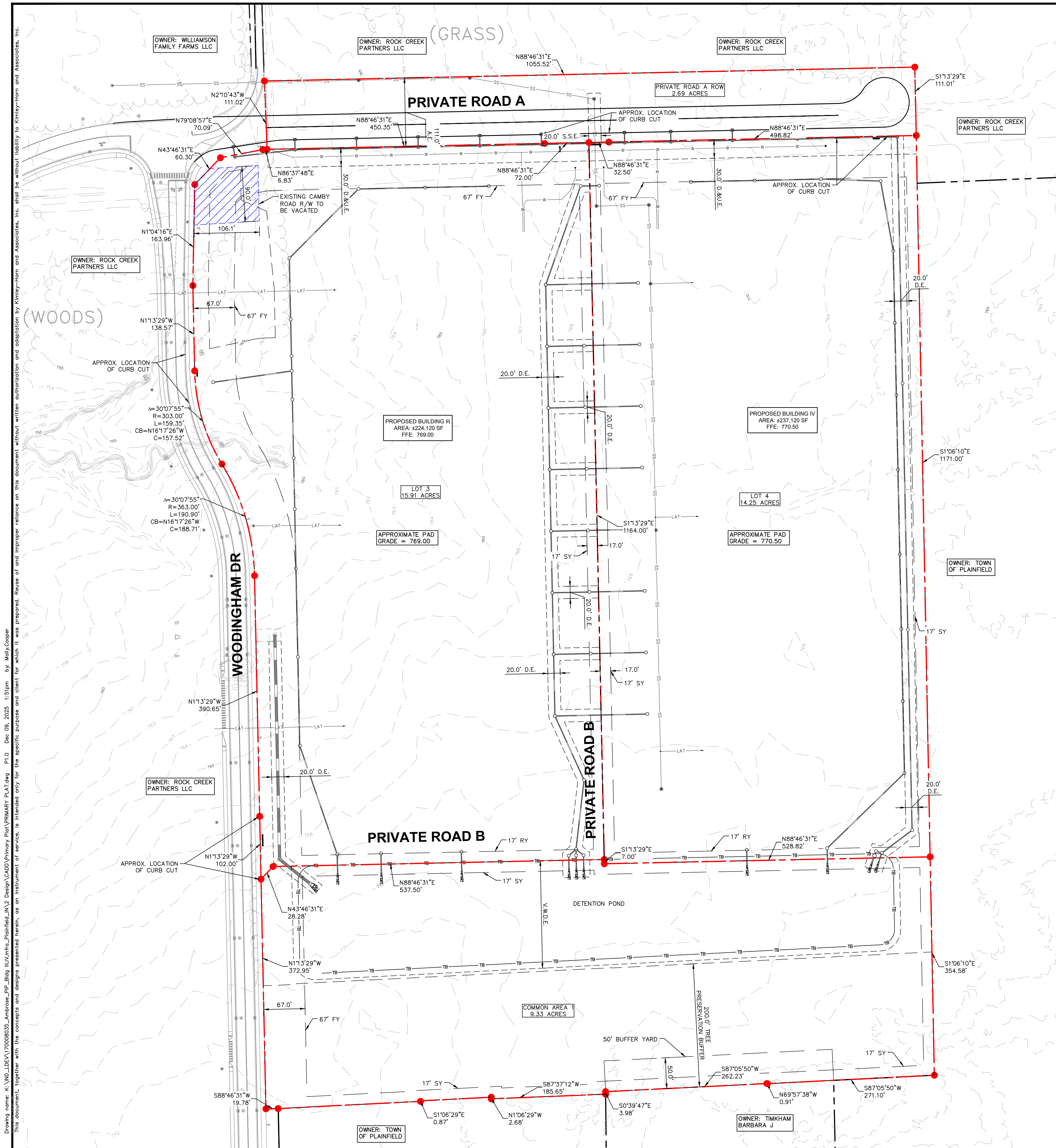
PLAT INFORMATION

OWNER:
ROCK CREEK PARTNERS, LLC
8888 KEYSTONE CROSSING, SUITE 1150
INDIANAPOLIS, IN 46240
317-490-0384

DEVELOPER:
AMBROSE PROPERTY GROUP
8888 KEYSTONE CROSSING, SUITE 1150
INDIANAPOLIS, IN 46240
317-490-0384

CIVIL ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
500 EAST 96TH STREET, SUITE 300
INDIANAPOLIS, IN 46240
317-218-9560

OVERALL SITE AREA: 442.18 ACRES
NUMBER OF PROPOSED LOTS: 2
NUMBER OF PROPOSED BLOCKS: 1
NUMBER OF COMMON AREAS: 1



Drawing name: K:\IND_DEV\170008035_Ambrose_Plat_Bldg III\Intra_Planfield_IN2_Design\CAD\Primary Plat\PRIMARY PLAT.dwg PLO Dec 09, 2025 1:53pm by: Molly Cooper
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

<p>©2025 KIMLEY-HORN AND ASSOCIATES, INC. 500 EAST 96TH STREET, SUITE 300, INDIANAPOLIS, IN 46240 WWW.KIMLEY-HORN.COM</p>	<p>SCALE: AS NOTED DESIGNED BY: CAN DRAWN BY: MRC CHECKED BY: CSM</p>						
	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	No.	DATE	BY			
No.	DATE	BY					
<p>AMBROSE</p>	<p>PRIMARY PLAT</p>						
<p>PLAINFIELD INNOVATION PARK PRIMARY PLAT PLAINFIELD, IN</p>	<p>ORIGINAL ISSUE: 10/23/2025 KHA PROJECT NO. 170008035 SHEET NUMBER 1 of 1</p>						