

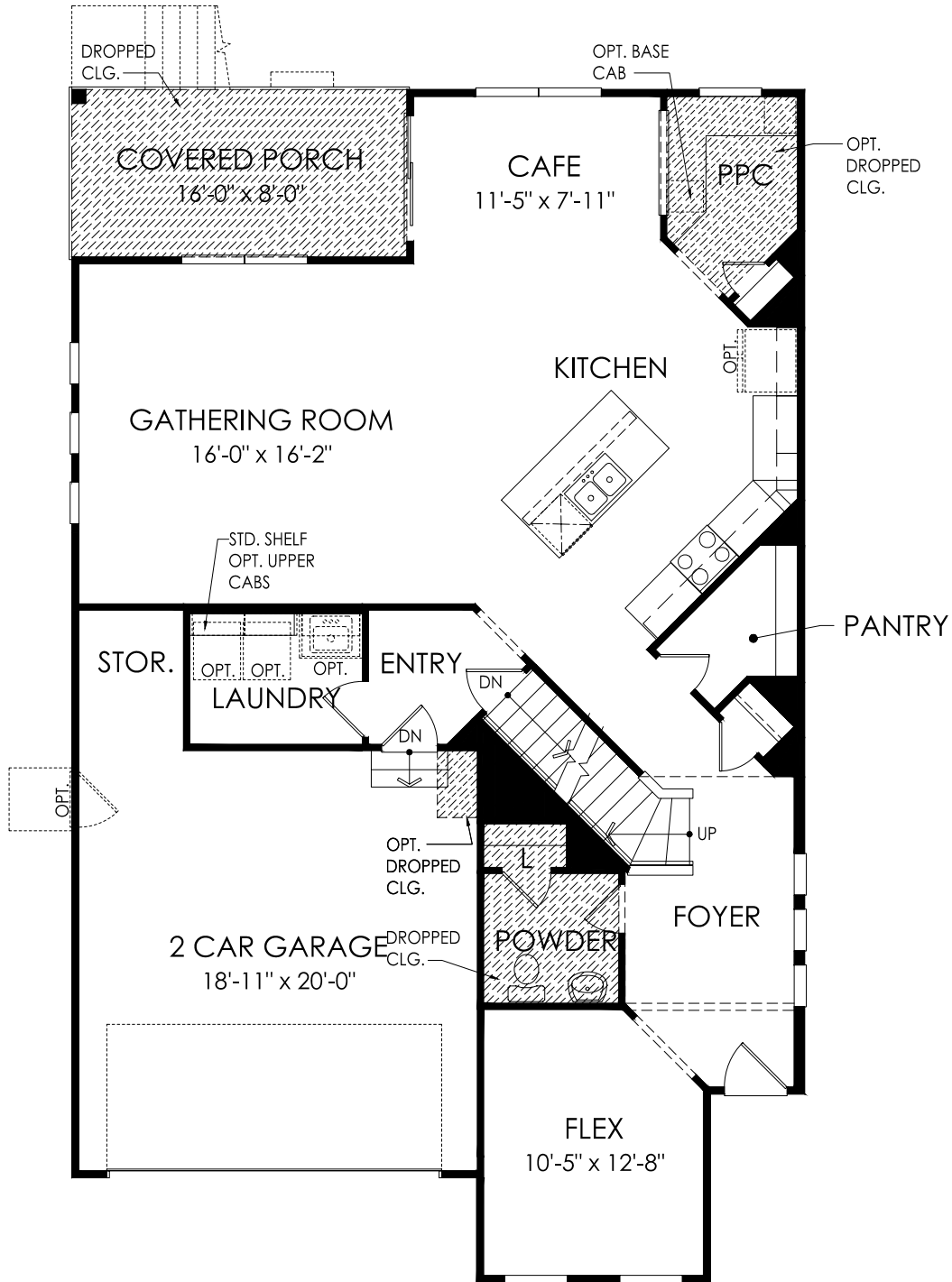
PARK PLACE

4-5 Bedrooms | 2.5-3 Bathrooms | 2,746+ sq. ft.
Open Gathering Room | Two-Story Foyer | Large, Second-Floor Loft



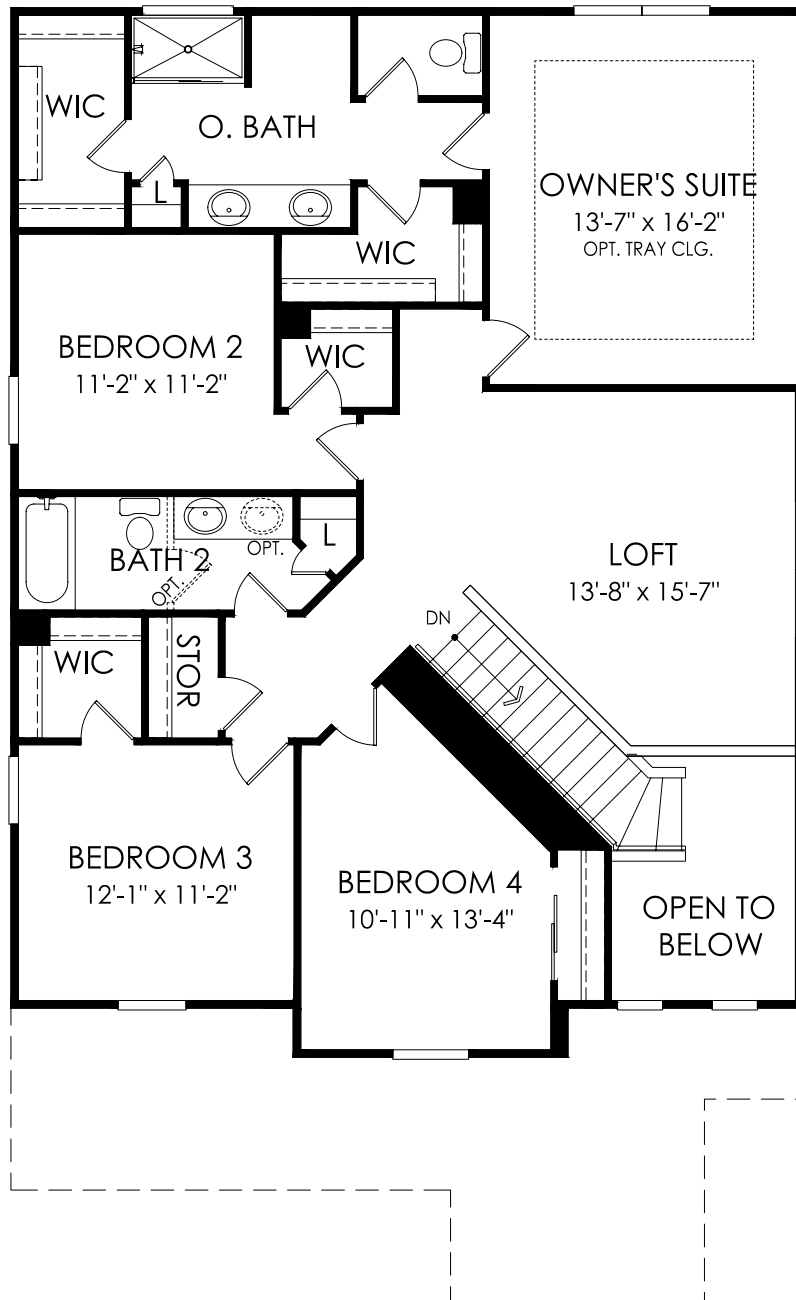
Park Place Home Exteriors





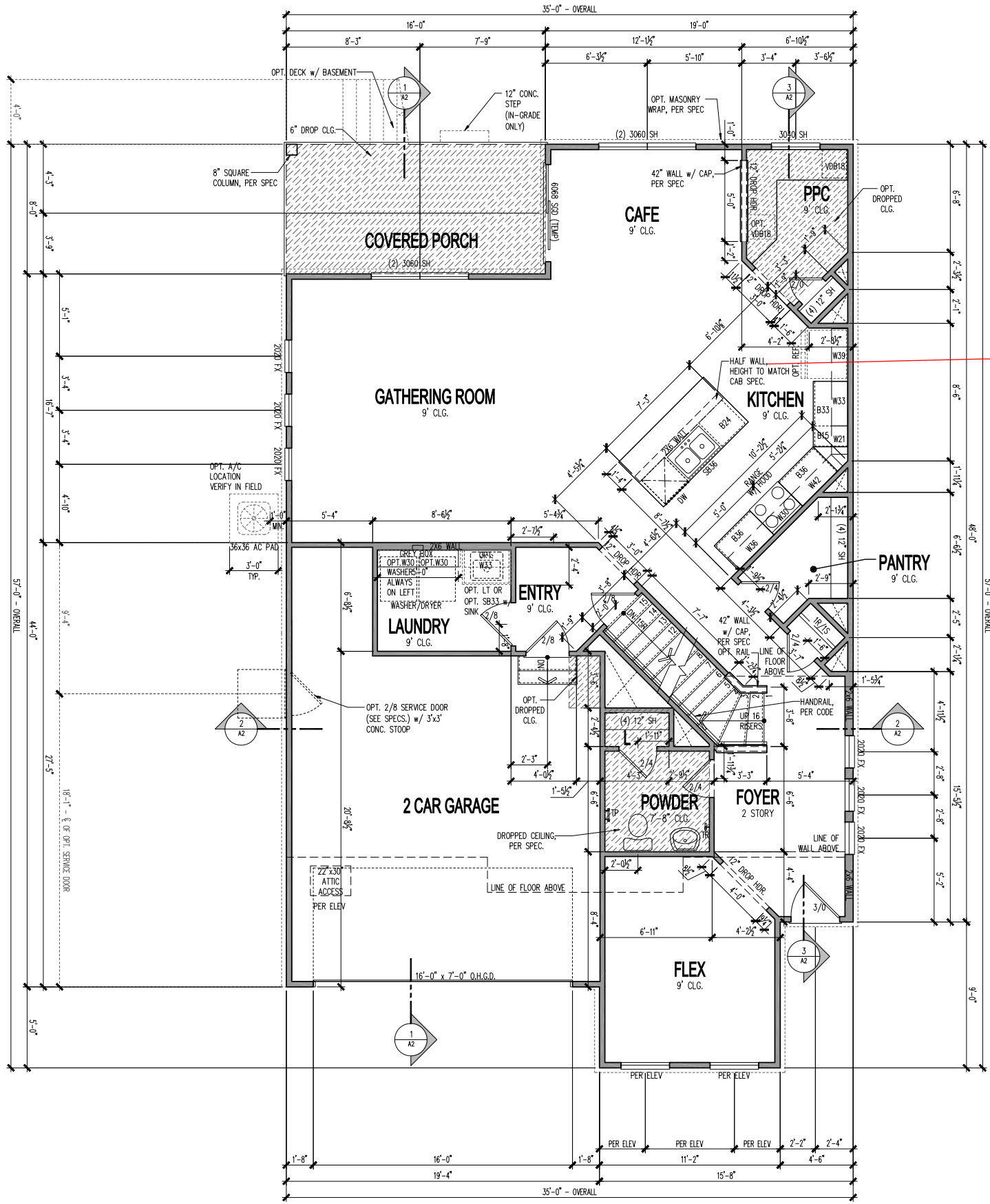
AVAILABLE OPTIONS

Speak with a sales consultant to review all options available for this home design at your community. Interactive floorplans are available on Pulte.com.



FLOORPLAN NOTES

- GENERAL SPECIFICATIONS**
- ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE
 - ALL NON-BEARING WALLS TO BE 2x4 STUDS AT 24" O.C. KITCHEN AND PULTE PLANNING CENTER WALLS, WHERE CABINETS ARE TO BE HUNG, SHALL BE FRAMED AT 16" O.C.
 - PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
 - PROVIDE FIRE SEPARATION BETWEEN DWELLING AND GARAGE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
 - PROVIDE 1/2" DRYWALL AT WALLS, CEILING AND UNDERSIDE OF STAIR ASSEMBLY ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
 - ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED BY THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE SHALL HAVE A PERMANENT DESIGNATION OR LABEL AFFIXED TO EACH PANE OF GLAZING BEARING THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OTHER THAN TEMPERED GLASS, LABELS MAY BE OMITTED PROVIDED THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDAVIT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
 - ALL BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT NOT LESS THAN 72" ABOVE THE FLOOR PER THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
 - PROVIDE 1/2" MAX. SHEATHING WITH TAPED JOINTS AS DRAFT STOP WITH BATT INSULATION FILLING ALL CAVITIES AT EXTERIOR WALLS ADJACENT TO TUBS AND SHOWERS.
 - ALL REQUIRED GUARDRAILS AND GUARDWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. GUARDS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE AND NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJUNS THE TREAD NOSINGS.
 - ALL REQUIRED HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34" OR MORE THAN 38" AS MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJUNS THE TREAD NOSINGS AND SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.
 - BASEMENTS, HABITABLE ATTICS AND ALL SLEEPING ROOMS MUST HAVE AT LEAST ONE EMERGENCY ESCAPE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. THE EMERGENCY ESCAPE MUST HAVE A 5:7 SFCLEAR OPENING AND A SILL HEIGHT OF NO MORE THAN 44" ABOVE FINISHED FLOOR. ESCAPE WINDOWS AT GRADE LEVEL MUST HAVE A MIN. OF 5.0 SF OF OPEN AREA. REQUIRED CLEAR OPENINGS SHALL BE A MINIMUM OF 24" HIGH AND 20" WIDE. EMERGENCY ESCAPES WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GRADE MUST HAVE A WINDOW WELL AND LADDER IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
 - FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



34-1/2" in Belle Arbor, Blue Ridge, Brownstone, Harvest Park. 35" everywhere else.

FIRST FLOOR PLAN - 4" EXTERIOR WALLS
SCALE: 1/4" = 1'-0"

PLOTTED: March 12, 2021 / Michael Urban / A1 4-1.1.DWG

Midwest Zone Office
1900 E. Golf Road, - Suite 300
Schaumburg, Illinois 60173



First Floor Plan
4" Exterior Walls

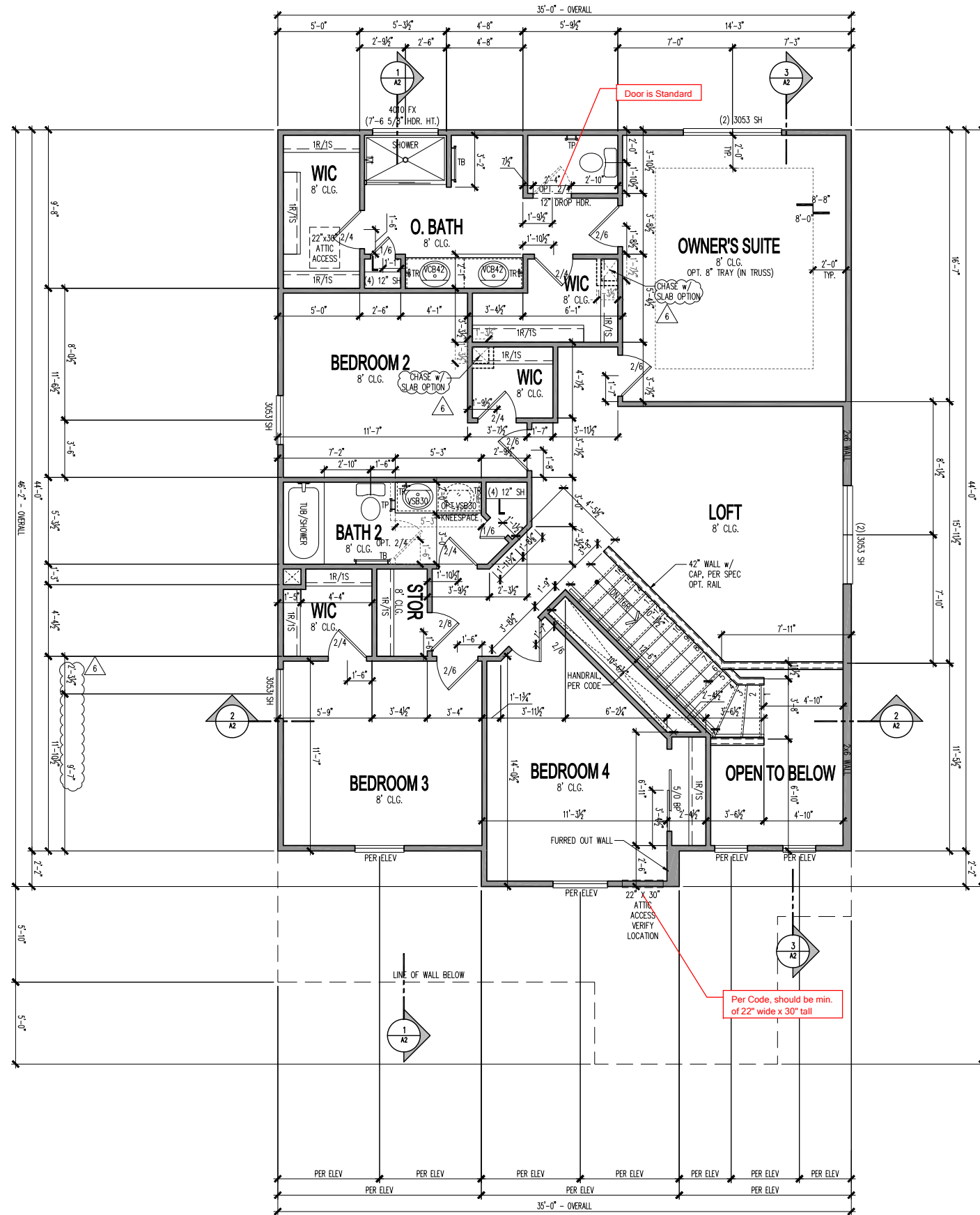
PRODUCTION MANAGER Rick Starkey INITIAL RELEASE DATE: 09/30/2014 CURRENT RELEASE DATE: 09/14/2018	
REV #	DATE / DESCRIPTION
1	12/21/2015
2	01/11/2016
3	08/19/2016
4	08/01/2017
5	09/14/18
6	09/20/2019
7	03/12/2021
8	FLEX WDW UPDATE
GARAGE HANDING LEFT	
PLAN NAME PARK PLACE NPC PLAN NUMBER 1987.300 LAWSON PLAN ID -	
SHEET A1 4-1.1	

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

FLOORPLAN NOTES

GENERAL SPECIFICATIONS

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- FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



SECOND FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

REV #	DATE	DESCRIPTION
1	12/21/2015	
2	01/11/2016	PLAN REVISIONS
3	08/19/2016	PCR REVISIONS
4	08/01/2017	PCR REVISIONS
5	09/14/18	PCR REVISIONS
6	09/20/2019	PCR REVISIONS
7	03/12/2021	FLEX WDW UPDATE

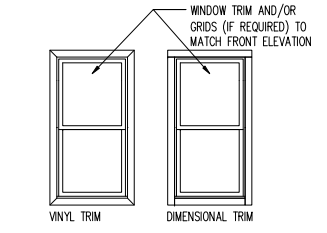
REV #	DATE	DESCRIPTION
1	12/21/2015	
2	01/11/2016	PLAN REVISIONS
3	08/19/2016	PCR REVISIONS
4	08/01/2017	PCR REVISIONS
5	09/14/18	PCR REVISIONS
6	09/20/2019	PCR REVISIONS

GARAGE HANDING
LEFT

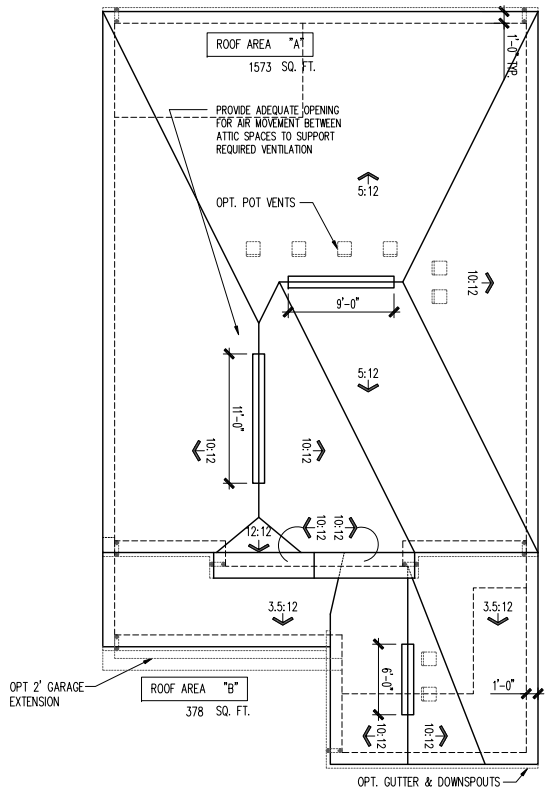
PLAN NAME
PARK PLACE
 NPC PLAN NUMBER
1957.300
 LAWSON PLAN ID

SHEET
A3-EC2G
 2FB.1

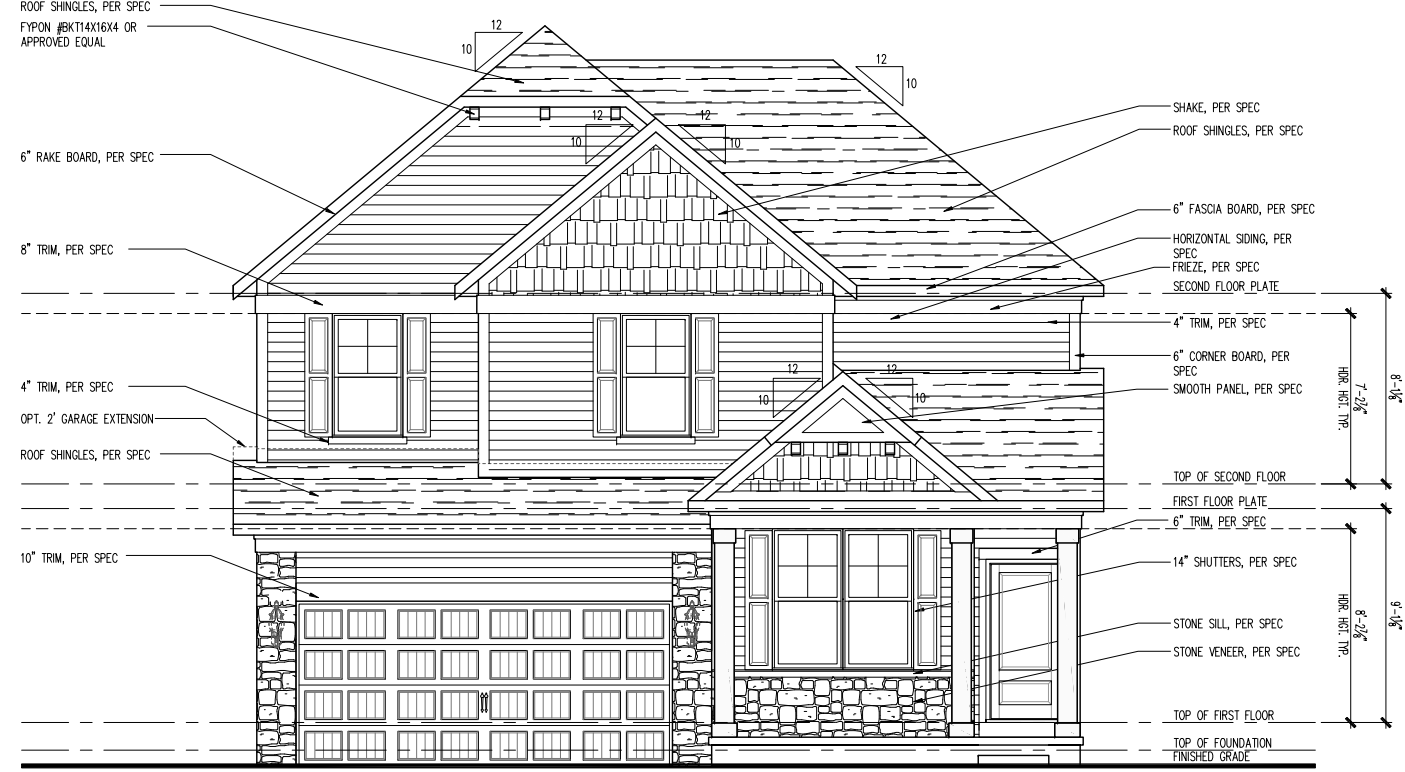
ATTIC VENT SCHEDULE											
VENTILATION REQUIRED AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE											
** CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS											
* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-62% OF TOTAL AND RIDGE AT 40-38% OF TOTAL REQUIRED VENTILATION											
Euro Country 2G											
ROOF AREA "A"			1566			AT / NEAR RIDGE			AT / NEAR EAVE		
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	POT LARGE (SQ. FT. EACH)	POT SMALL (SQ. FT. EACH)	RIDGE VENT (SQ. FT. PER FT.)	EAVE VENT (SQ. FT. EACH)	CONT. VENT (SQ. FT. PER FT.)	VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED
HIGH - POT VENTS ONLY	2.09 - 2.61	2.54	47.78	6	0		10.00	HIGH - POT VENTS ONLY	0.51 - 0.64	0.65	42.41
AT EAVE	3.13 - 2.61	2.78	82.63			0	40.00	AT EAVE	0.77 - 0.64	0.90	51.59
TOTAL	5.22	5.32	100.00					TOTAL	1.28	1.28	100.00
ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE											
ROOF AREA "B"			385			AT / NEAR RIDGE			AT / NEAR EAVE		
HIGH - POT VENTS ONLY	2.09 - 2.61	2.30	47.37	0	0	20.00	10.00	HIGH - POT VENTS ONLY	0.51 - 0.64	0.63	47.37
AT EAVE	3.13 - 2.61	2.78	82.63			0	40.00	AT EAVE	0.77 - 0.64	0.69	82.63
TOTAL	5.22	5.28	100.00					TOTAL	1.28	1.32	100.00
ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE											



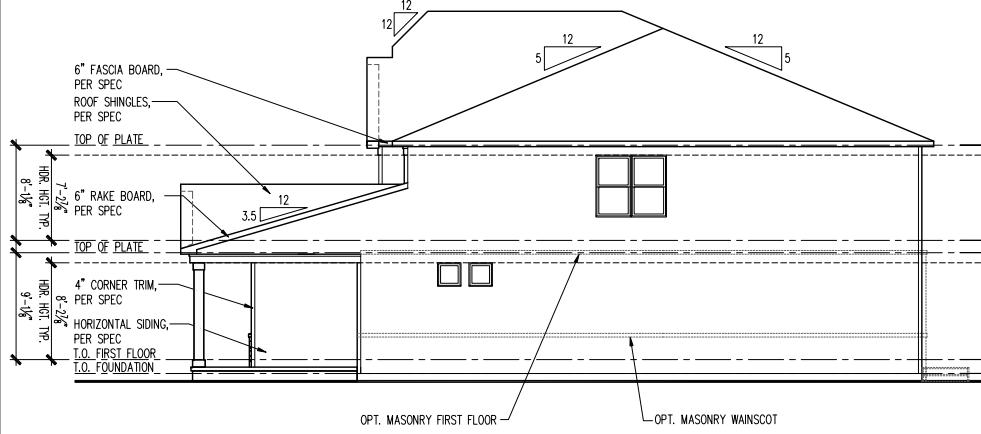
SIDE AND REAR WINDOWS PER COMMUNITY SPECS
 SCALE: 1/4" = 1'-0"



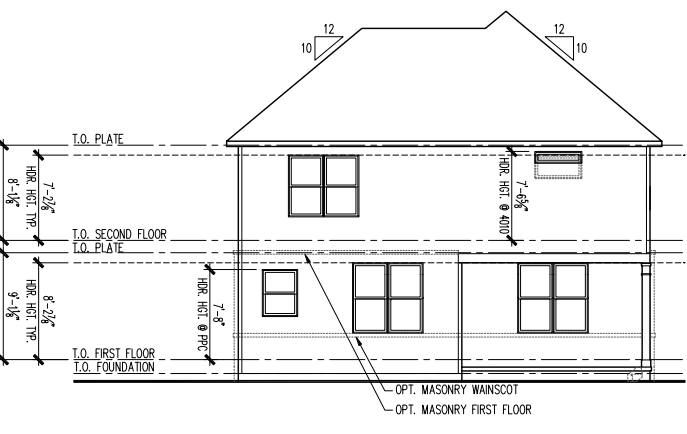
ROOF PLAN
 SCALE: 1/8" = 1'-0"



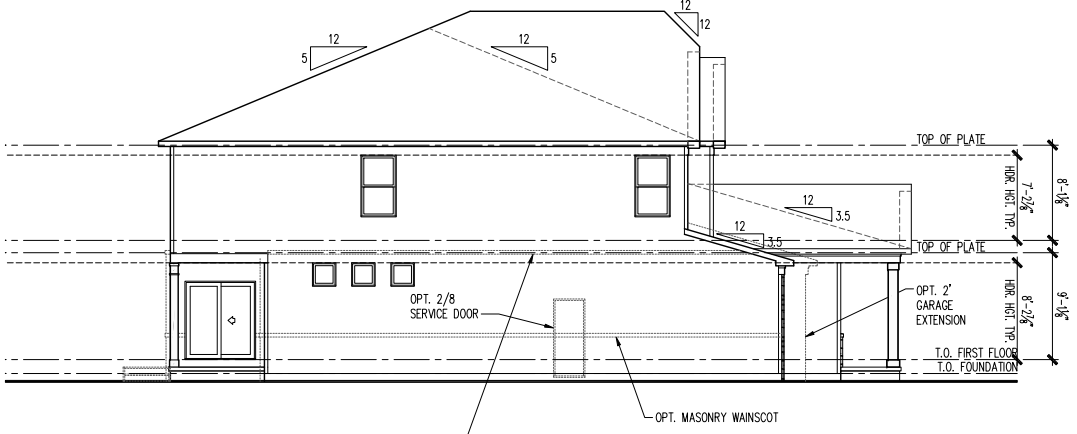
FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"



REAR ELEVATION
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION
 SCALE: 1/8" = 1'-0"

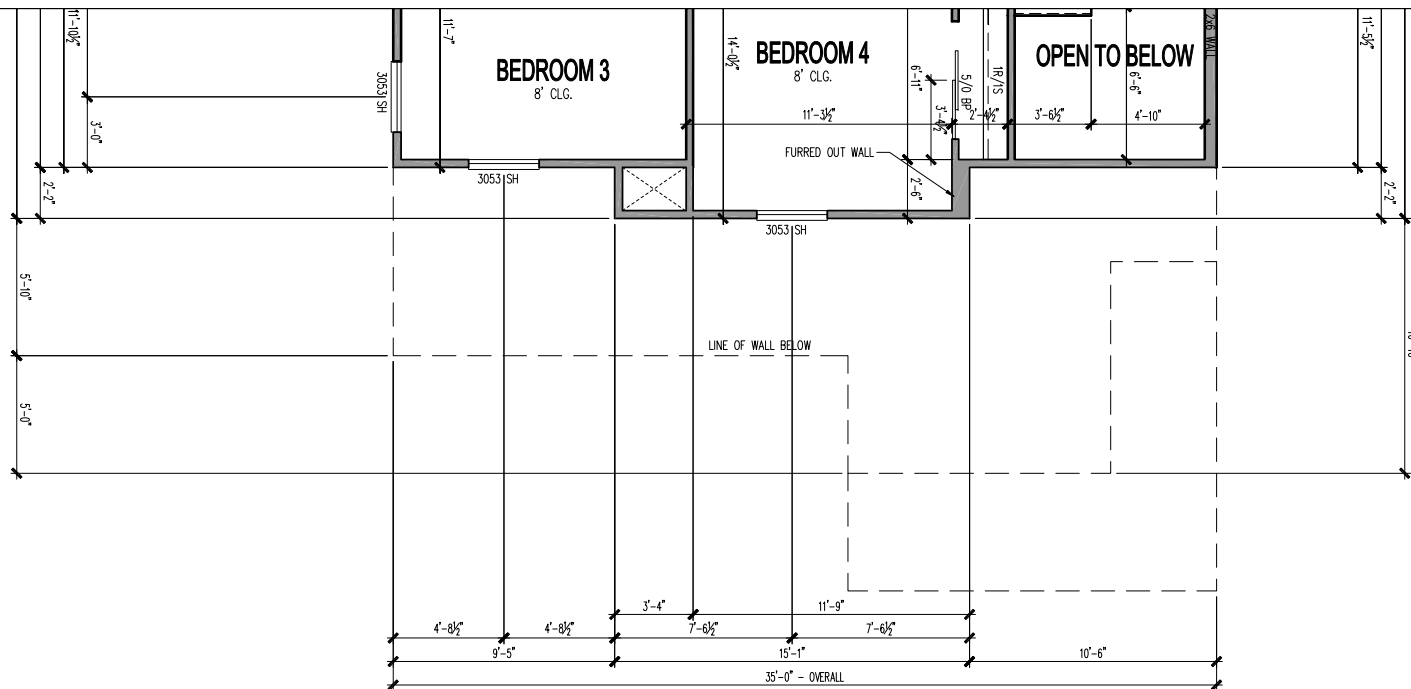
PLOTTED: September 16, 2019 / Sean Leheny / A3-EC2G 2FB.DWG

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

SCHEDULE of AREAS	
BASE HOUSE - HEATED	
FIRST FLOOR	1299
SECOND FLOOR	1457
TOTAL BASE HEATED	2756
BASE HOUSE - UNDER ROOF	
GARAGE - 2 CAR FRONT ENTRY	431
BASEMENT	1200
TOTAL BASE UNDER ROOF	1730
BASE OPTIONS - HEATED	
SUNROOM	128
MODERN FIREPLACE	18
FINISHED BASEMENT OPTIONS	
FINISHED BASEMENT	822
MECH. / STOR. W/ FINISHED BASEMENT	350
ADDITIONAL AREA W/ SUNROOM	128
BASE OPTIONS	
COVERED PORCH (w/ FIREPLACE)	128
WOOD DECK / CONCRETE PATIO	128
WOOD DECK / CONCRETE PATIO w/ SUNROOM	160
GARAGE - 3 CAR FRONT ENTRY	200

LIGHT & VENT SCHEDULE					
ROOM NAME	AREA	REQUIRED		SUPPLIED	
		LIGHT	VENT	LIGHT	VENT
BEDROOM 4	143.64	11.49	5.75	11.70	5.00

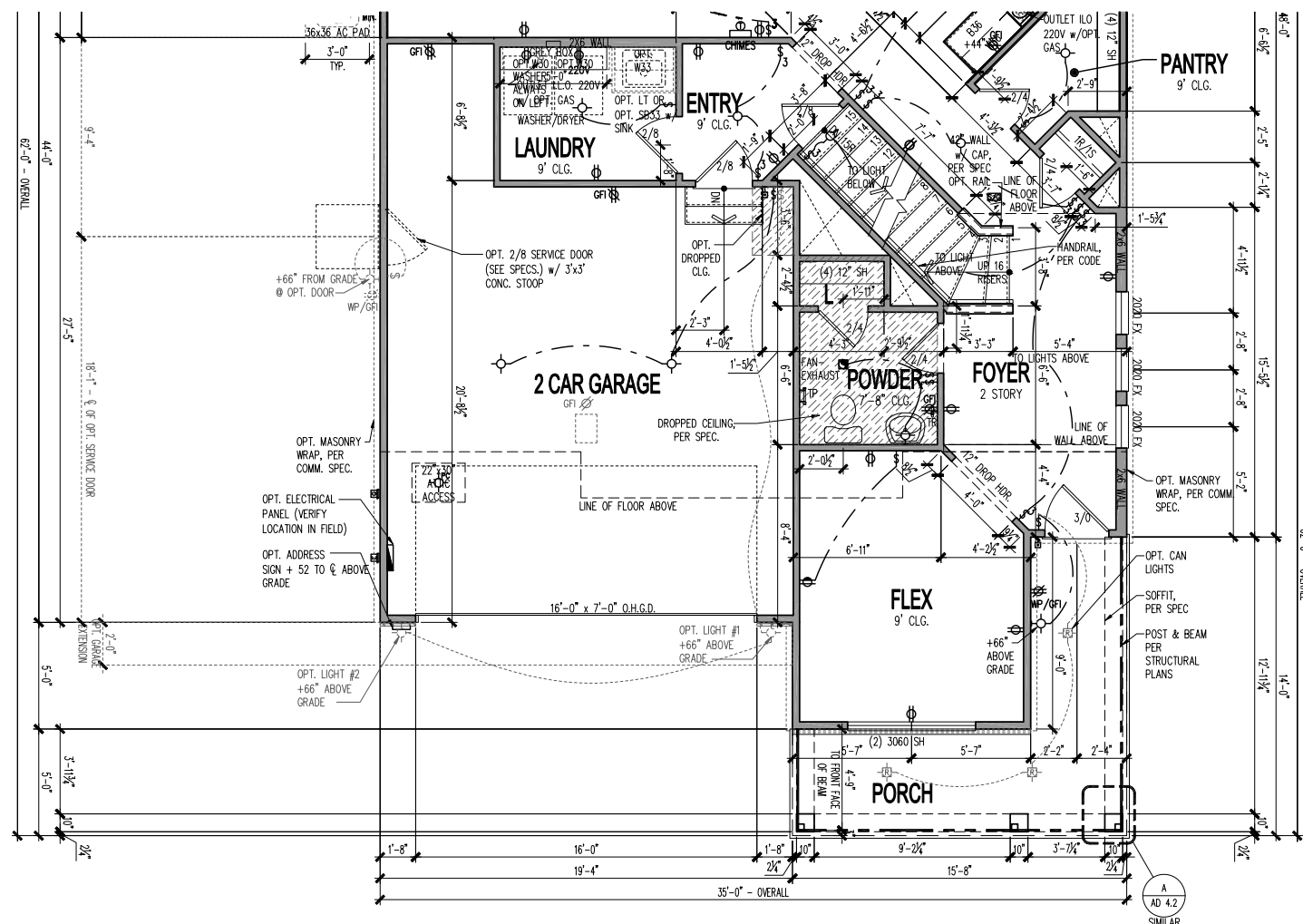
** REFER TO LIGHT & VENT SCHEDULE ON COVER SHIT. FOR INFORMATION NOT SHOWN HERE.



SECOND FLOOR PLAN - 4" WALLS

SCALE: 1/4" = 1'-0"
* SEE BASE PLANS FOR INFORMATION NOT SHOWN

ELEVATION EC2G	
ADDITIONAL 1ST FLOOR - HEATED	0
TOTAL 1ST FLOOR	1299
ADDITIONAL 2ND FLOOR - HEATED	6
TOTAL 2ND FLOOR	1463
TOTAL ELEV. HEATED	2762
ADDITIONAL GARAGE - 2 CAR FRONT	0
TOTAL GARAGE	431
ADDITIONAL HOUSE SLAB	0
TOTAL HOUSE SLAB	1200
FRONT PORCH	119
TOTAL ELEV. FOOTPRINT	1849



FIRST FLOOR PLAN - 4" WALLS

SCALE: 1/4" = 1'-0"
* SEE BASE PLANS FOR INFORMATION NOT SHOWN

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Midwest Zone Office
1900 E. Golf Road, - Suite 300
Schaumburg, Illinois 60173



Euro Country 2G
2 Car Front Entry
Partial Floor and Utility Plans - 4" Exterior Walls

PRODUCTION MANAGER
Rick Starkey
INITIAL RELEASE DATE:
09/30/2014
CURRENT RELEASE DATE:
09/14/2018

REV #	DATE	DESCRIPTION
1	12/21/2015	
2	01/11/2016	PLAN REVISIONS
3	08/19/2016	PCR REVISIONS
4	08/01/2017	PCR REVISIONS
5	09/14/18	PCR REVISIONS
6	09/20/2019	PCR REVISIONS

GARAGE HANDING
LEFT

PLAN NAME
PARK PLACE
NFC PLAN NUMBER
1957.300
LAWSON PLAN ID

SHEET
A3-EC2G
2FB4.3

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

REV #	DATE / DESCRIPTION
△	12/21/2015
△	01/11/2016
△	08/19/2016
△	08/01/2017
△	09/14/18
△	09/20/2019
△	
△	
△	

GARAGE HANDING
LEFT

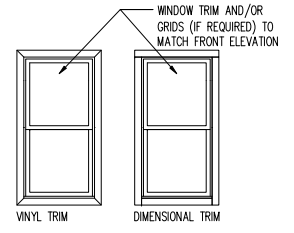
PLAN NAME
PARK PLACE
 NPS PLAN NUMBER
1957.300
 LAWSON PLAN ID

SHEET
A3-EC2M
 2FB.1

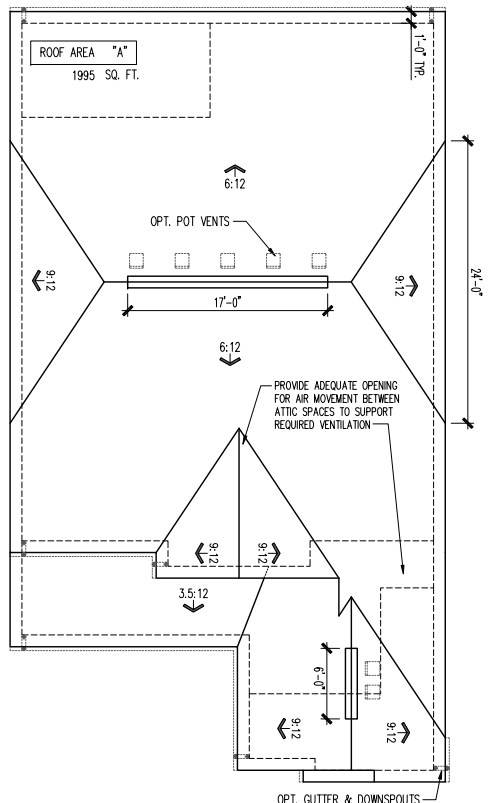
ATTIC VENT SCHEDULE

VENTILATION REQUIRED AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE
 ** CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS
 * SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-62% OF TOTAL AND RIDGE AT 40-52% OF TOTAL REQUIRED VENTILATION

Euro Country 2M									
ROOF AREA "A"	SQ. FTG	1995	AT / NEAR RIDGE			AT / NEAR EAVE			
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. FT. EACH)	POT SMALL (SQ. FT. EACH)	RIDGE VENT (SQ. FT. PER FT.)	EAVE VENT (SQ. FT. EACH)	CONT. VENT (SQ. FT. PER FT.)	
HIGH - POT VENTS ONLY	2.64 - 3.33	2.97	43.71	7	0				
AT EAVE	3.99 - 3.33	3.82	56.29			18.00	28.00	10.00	0
TOTAL	6.65	6.65	100.00						
HIGH - RIDGE VENT	2.64 - 3.33	2.88	42.95	0	0	23.00			
AT EAVE	3.99 - 3.33	3.82	57.05				28.00	10.00	0
TOTAL	6.65	6.65	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE					



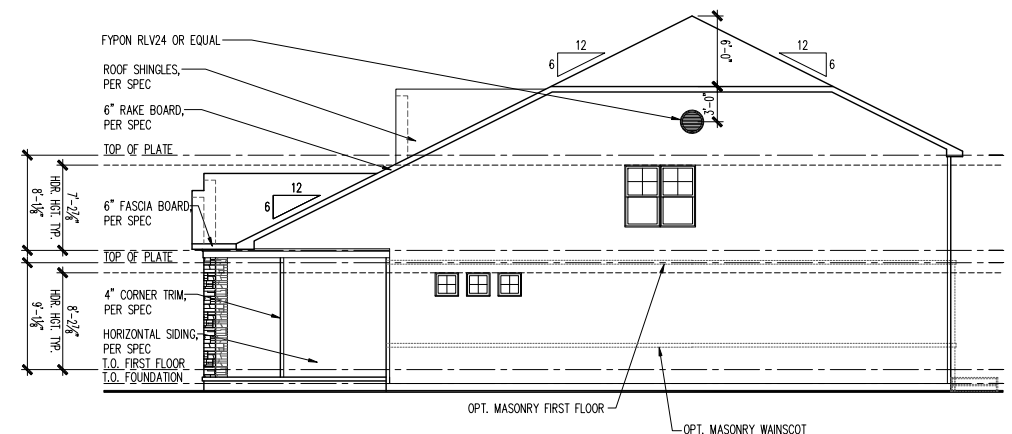
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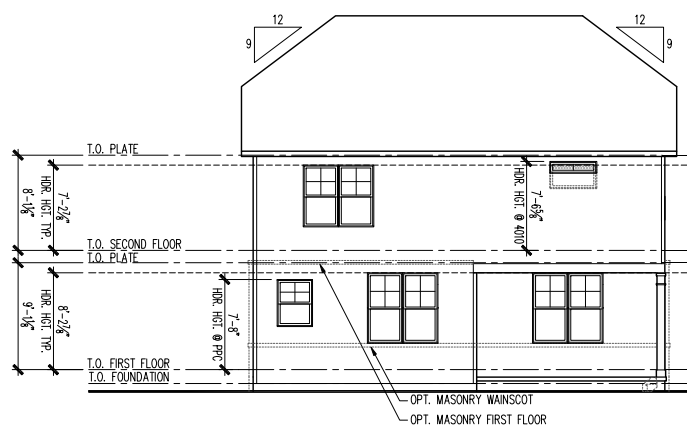
ROOF PLAN
 SCALE: 1/8" = 1'-0"



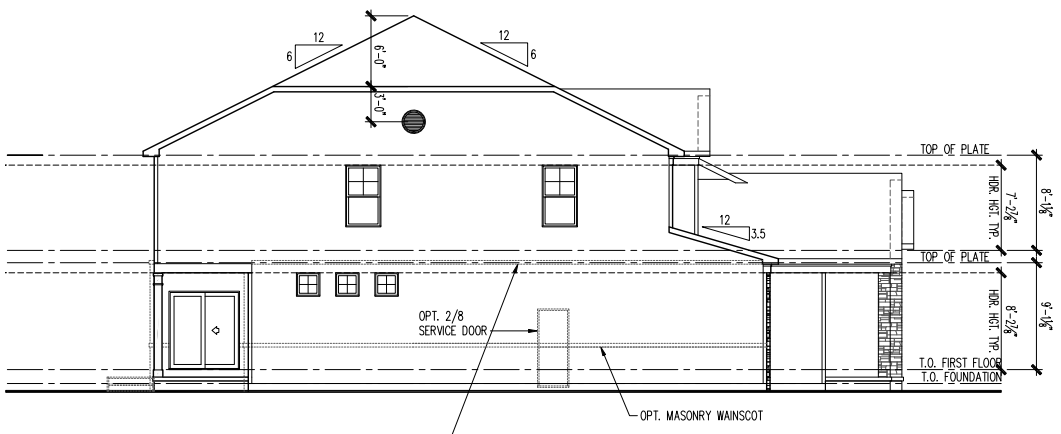
FRONT ELEVATION
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RIGHT ELEVATION
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REAR ELEVATION
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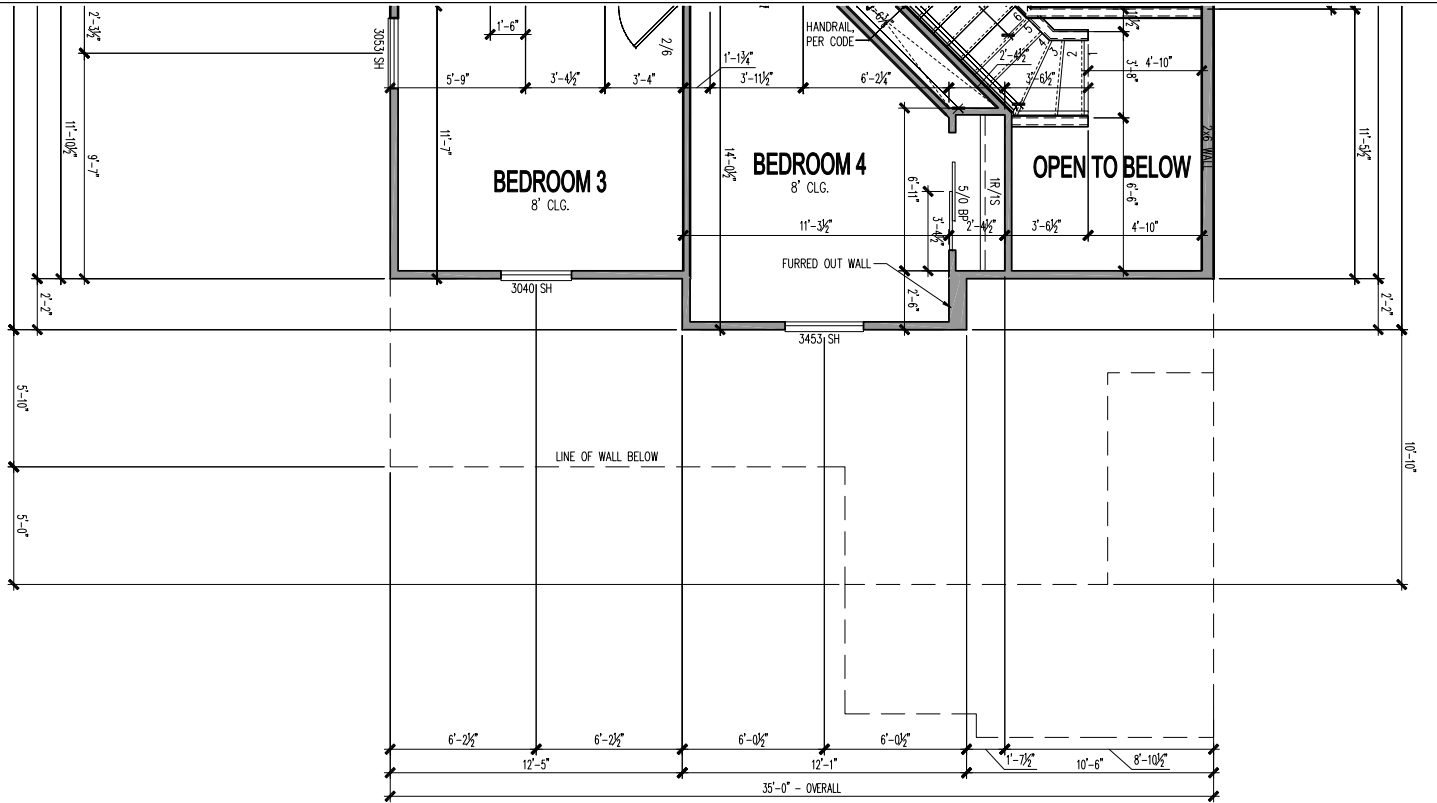
LEFT ELEVATION
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TOTAL BASE HEATED	2756
BASE HOUSE - UNDER ROOF	
GARAGE - 2 CAR FRONT ENTRY	431
BASEMENT	1200
TOTAL BASE UNDER ROOF	1730
BASE OPTIONS - HEATED	
SUNROOM	128
MODERN FIREPLACE	18
FINISHED BASEMENT OPTIONS	
FINISHED BASEMENT	822
MECH. / STOR. W/ FINISHED BASEMENT	350
ADDITIONAL AREA W/ SUNROOM	128
BASE OPTIONS	
COVERED PORCH (w/ FIREPLACE)	128
WOOD DECK / CONCRETE PATIO	128
WOOD DECK / CONCRETE PATIO w/ SUNROOM	160
GARAGE - 3 CAR FRONT ENTRY	200

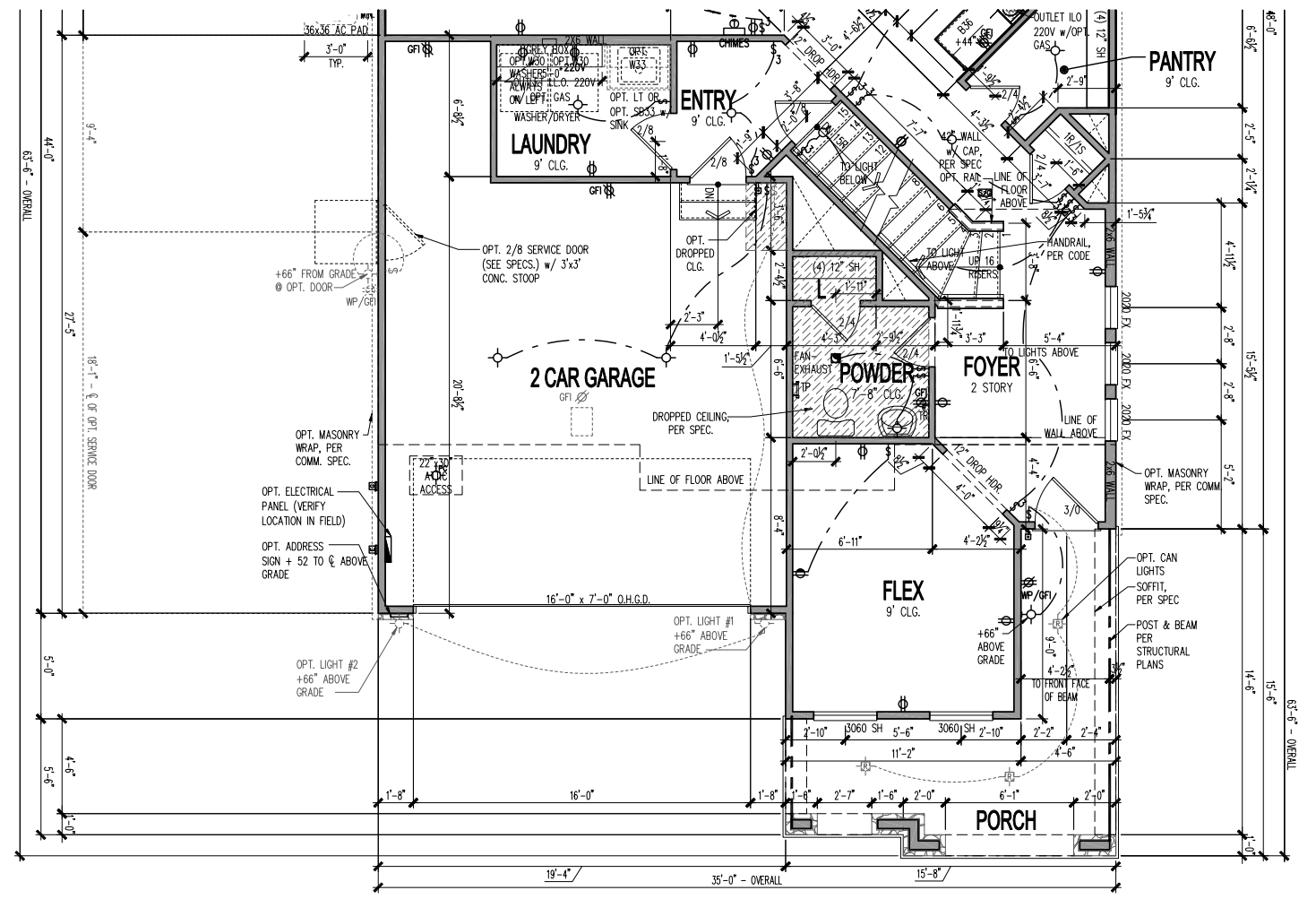
LIGHT & VENT SCHEDULE					
ROOM NAME	AREA	REQUIRED		SUPPLIED	
		LIGHT	VENT	LIGHT	VENT
BEDROOM 3	136.41	10.91	5.46	20.20	8.40

** REFER TO LIGHT & VENT SCHEDULE ON COVER SH. FOR INFORMATION NOT SHOWN HERE.

ELEVATION EC2M	
ADDITIONAL 1ST FLOOR - HEATED	0
TOTAL 1ST FLOOR	1299
ADDITIONAL 2ND FLOOR - HEATED	0
TOTAL 2ND FLOOR	1457
TOTAL ELEV. HEATED	2756
ADDITIONAL GARAGE - 2 CAR FRONT	0
TOTAL GARAGE	431
ADDITIONAL HOUSE SLAB	0
TOTAL HOUSE SLAB	1200
FRONT PORCH	137
TOTAL ELEV. FOOTPRINT	1867



SECOND FLOOR PLAN - 4" WALLS
SCALE: 1/4" = 1'-0"
* SEE BASE PLANS FOR INFORMATION NOT SHOWN



FIRST FLOOR PLAN - 4" WALLS
SCALE: 1/4" = 1'-0"
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PLOTTED: September 16, 2019 / Sean Leheny / A3-EC2M 2FB4.3.DWG

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1900 E. Golf Road, - Suite 300
Schaumburg, Illinois 60173



Euro Country 2M
2 Car Front Entry
Partial Floor and Utility Plans - 4" Exterior Walls

PRODUCTION MANAGER
Rick Starkey
INITIAL RELEASE DATE:
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6	09/20/2019	PCR REVISIONS

GARAGE HANDING
LEFT

PLAN NAME
PARK PLACE
NFC PLAN NUMBER
1957.300
LAWSON PLAN ID

SHEET
A3-EC2M
2FB4.3

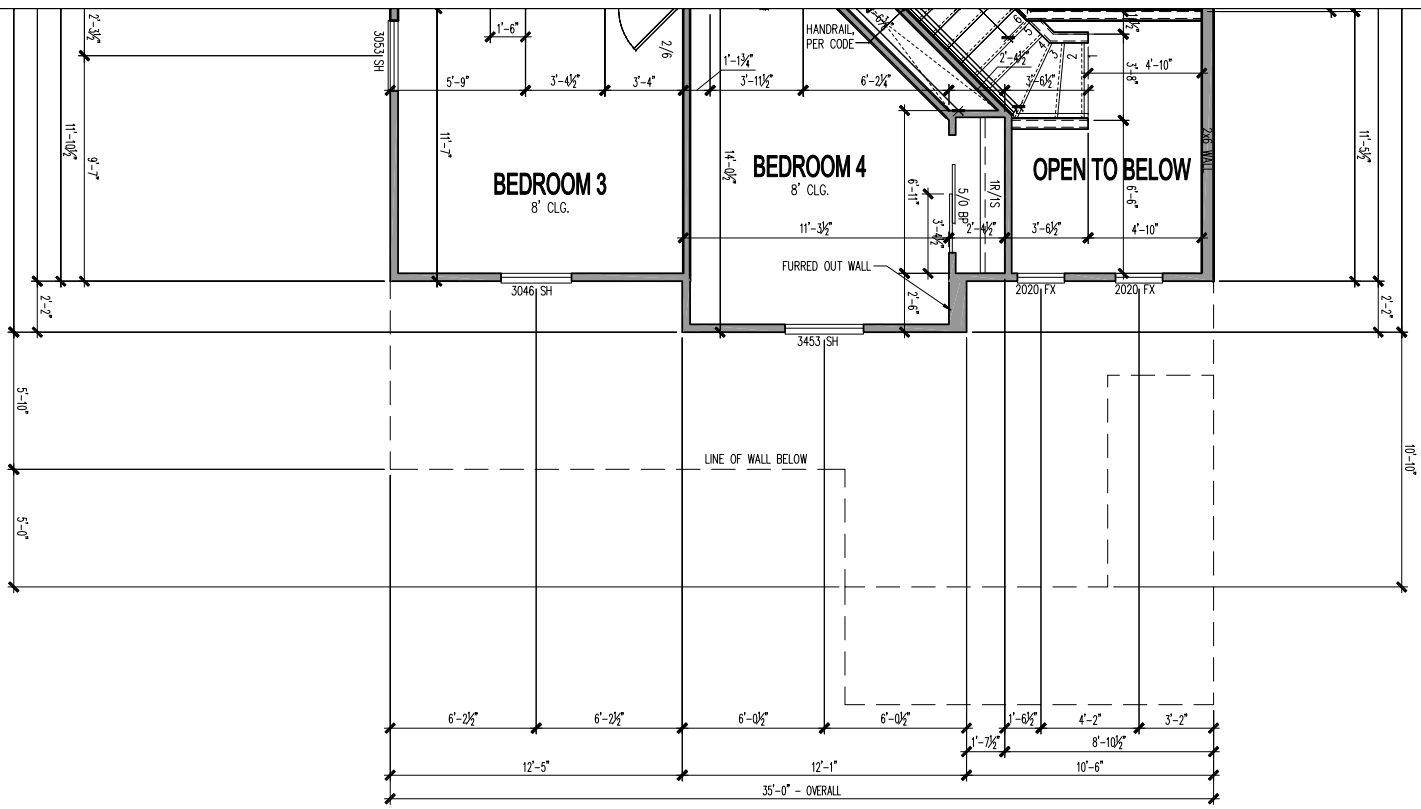
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

SCHEDULE of AREAS	
BASE HOUSE - HEATED	
FIRST FLOOR	1299
SECOND FLOOR	1457
TOTAL BASE HEATED	2756
BASE HOUSE - UNDER ROOF	
GARAGE - 2 CAR FRONT ENTRY	431
BASEMENT	1200
TOTAL BASE UNDER ROOF	1730
BASE OPTIONS - HEATED	
SUNROOM	128
MODERN FIREPLACE	18
FINISHED BASEMENT OPTIONS	
FINISHED BASEMENT	822
MECH. / STOR. W/ FINISHED BASEMENT	350
ADDITIONAL AREA W/ SUNROOM	128
BASE OPTIONS	
COVERED PORCH (w/ FIREPLACE)	128
WOOD DECK / CONCRETE PATIO	128
WOOD DECK / CONCRETE PATIO w/ SUNROOM	160
GARAGE - 3 CAR FRONT ENTRY	200

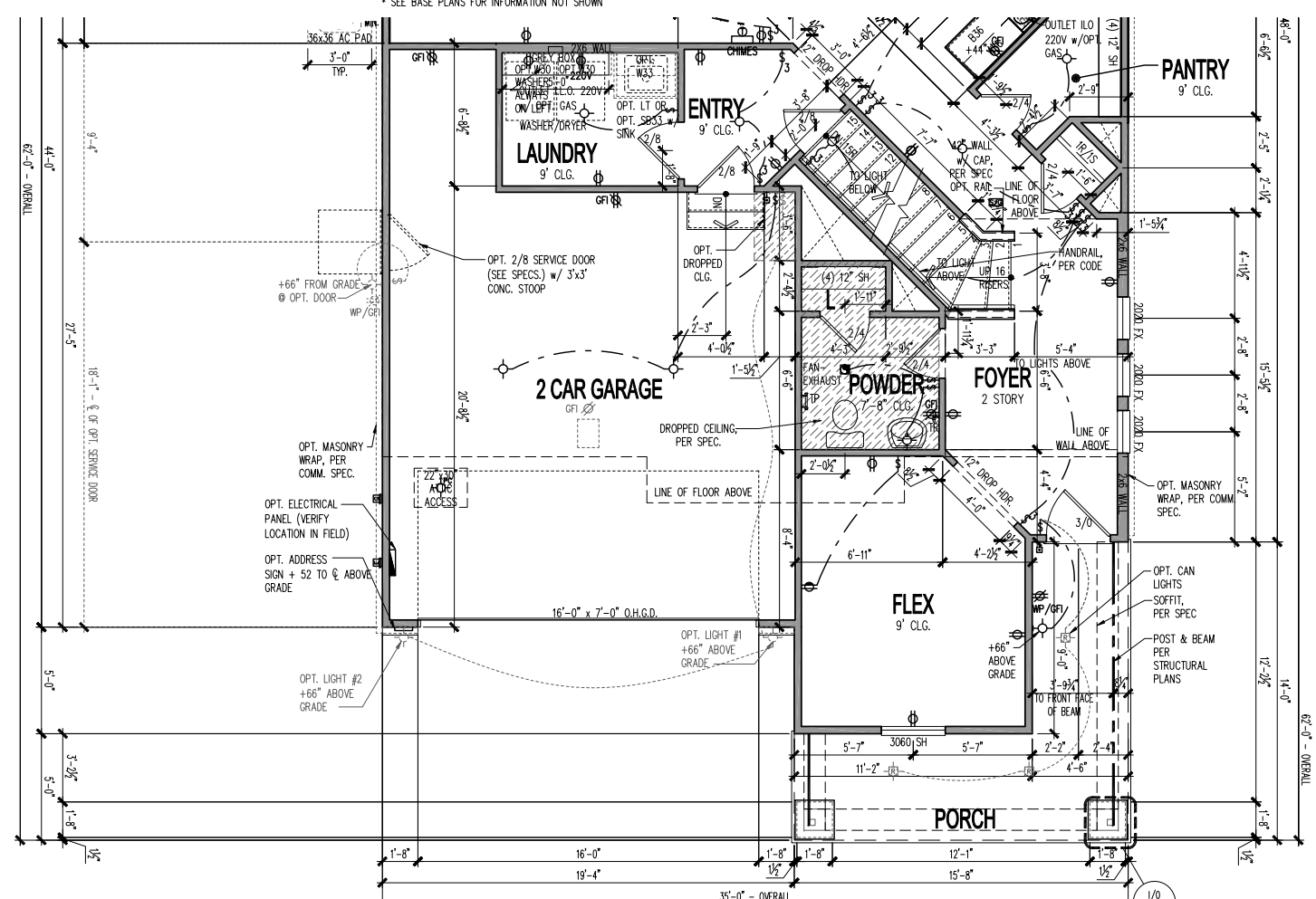
LIGHT & VENT SCHEDULE					
ROOM NAME	AREA	REQUIRED		SUPPLIED	
		LIGHT	VENT	LIGHT	VENT
BEDROOM 3	136.41	10.91	5.46	21.50	9.00
FLEX	125.95	10.08	5.04	13.70	5.90

** REFER TO LIGHT & VENT SCHEDULE ON COVER SHIT. FOR INFORMATION NOT SHOWN HERE.

ELEVATION LC2G	
ADDITIONAL 1ST FLOOR - HEATED	0
TOTAL 1ST FLOOR	1299
ADDITIONAL 2ND FLOOR - HEATED	0
TOTAL 2ND FLOOR	1457
TOTAL ELEV. HEATED	2756
ADDITIONAL GARAGE - 2 CAR FRONT	0
TOTAL GARAGE	431
ADDITIONAL HOUSE SLAB	0
TOTAL HOUSE SLAB	1200
FRONT PORCH	119
TOTAL ELEV. FOOTPRINT	1849



SECOND FLOOR PLAN - 4" WALLS
SCALE: 1/4" = 1'-0"
* SEE BASE PLANS FOR INFORMATION NOT SHOWN



FIRST FLOOR PLAN - 4" WALLS
SCALE: 1/4" = 1'-0"
* SEE BASE PLANS FOR INFORMATION NOT SHOWN

PLOTTED: September 16, 2019 / Sean Leheny / A3-LC2G 2FSB4.3.DWG

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Midwest Zone Office
1900 E. Golf Road, - Suite 300
Schaumburg, Illinois 60173



Low Country 2G
2 Car Front Entry
Partial Floor and Utility Plans - 4" Exterior Walls

PRODUCTION MANAGER Rick Starkey INITIAL RELEASE DATE: 09/30/2014 CURRENT RELEASE DATE: 09/14/2018
REV # DATE DESCRIPTION
1 12/21/2015
2 01/11/2016
3 08/19/2016
4 08/01/2017
5 09/14/18
6 09/20/2019
7
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10
11
12
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GARAGE HANDING
LEFT

PLAN NAME
PARK PLACE
NFC PLAN NUMBER
1957.300
LAWSON PLAN ID
-

SHEET
A3-LC2G
2FB4.3

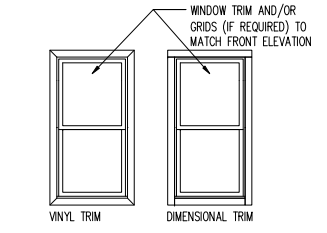
REV #	DATE	DESCRIPTION
△	12/21/2015	
△	01/11/2016	PLAN REVISIONS
△	08/19/2016	PCR REVISIONS
△	08/01/2017	PCR REVISIONS
△	09/14/18	PCR REVISIONS
△	09/20/2019	PCR REVISIONS
△		
△		
△		

GARAGE HANDING
LEFT

PLAN NAME
PARK PLACE
 NPC PLAN NUMBER
1957.300
 LAWSON PLAN ID

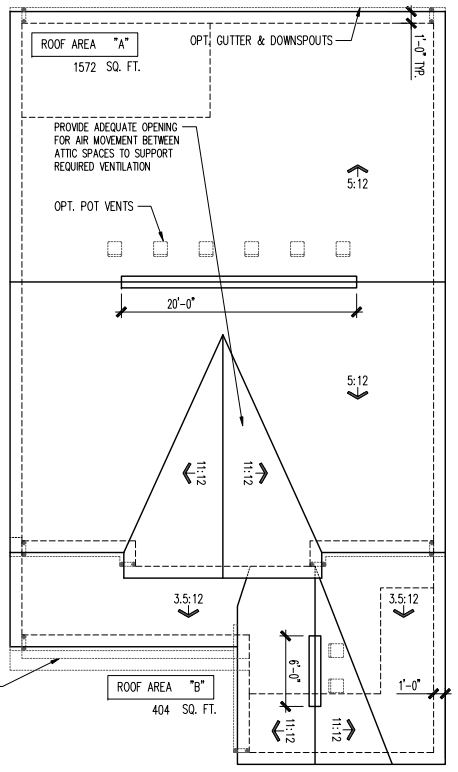
SHEET
A3-NC2G
 2FB.1

ATTIC VENT SCHEDULE														
VENTILATION REQUIRED AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE														
** CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS														
* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-62% OF TOTAL AND RIDGE AT 40-38% OF TOTAL REQUIRED VENTILATION														
Northern Craftsman 2G														
ROOF AREA "A"					ROOF AREA "B"					404				
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	AT / NEAR RIDGE	AT / NEAR EAVE	CONT. VENT (SQ. FT. PER 100)	EAWE VENT (SQ. FT. PER 100)	RIDGE VENT (SQ. FT. PER 100)	POT SMALL (SQ. FT. PER 100)	POT LARGE (SQ. FT. PER 100)	PERCENT OF TOTAL SUPPLIED	VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED
HIGH - POT VENTS ONLY	2.10 - 2.42	2.54	47.78	6	0						48.41	HIGH - POT VENTS ONLY	0.54 - 0.47	0.85
AT EAVE	3.14 - 2.42	2.78	52.22		40.00		28.00	18.00	40.00	40.00	51.59	AT EAVE	0.81 - 0.47	0.90
TOTAL	5.24	5.24	100.00								100.00	TOTAL	1.35	1.75
HIGH - RIDGE VENT	2.10 - 2.42	2.30	47.37	0	20.00						51.92	HIGH - RIDGE VENT	0.54 - 0.47	0.75
AT EAVE	3.14 - 2.42	2.78	52.63		40.00		0	28.00	40.00	40.00	48.08	AT EAVE	0.81 - 0.47	0.69
TOTAL	5.24	5.28	100.00								100.00	TOTAL	1.35	1.44



SIDE AND REAR WINDOWS PER COMMUNITY SPECS

SCALE: 1/4" = 1'-0"



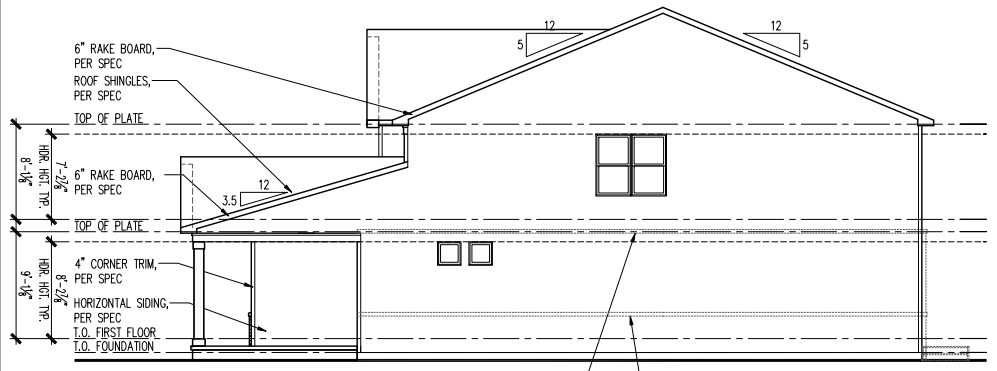
ROOF PLAN

SCALE: 1/8" = 1'-0"



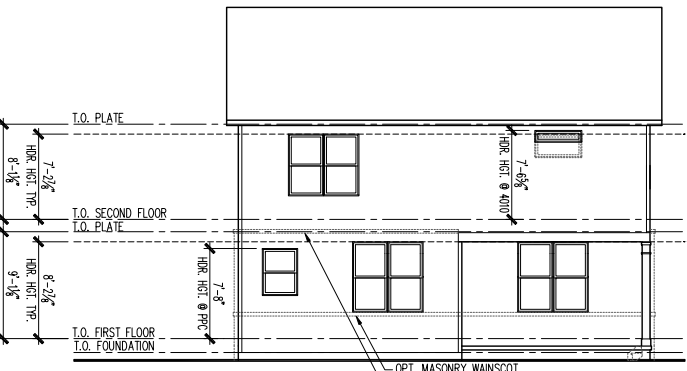
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



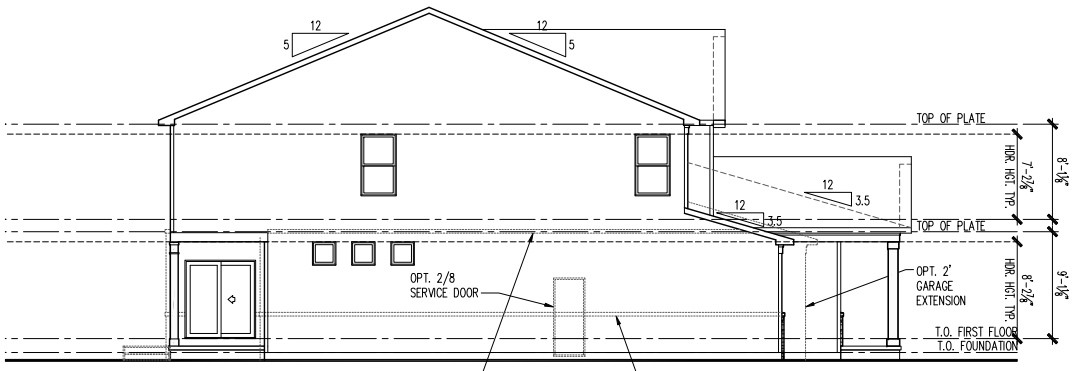
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



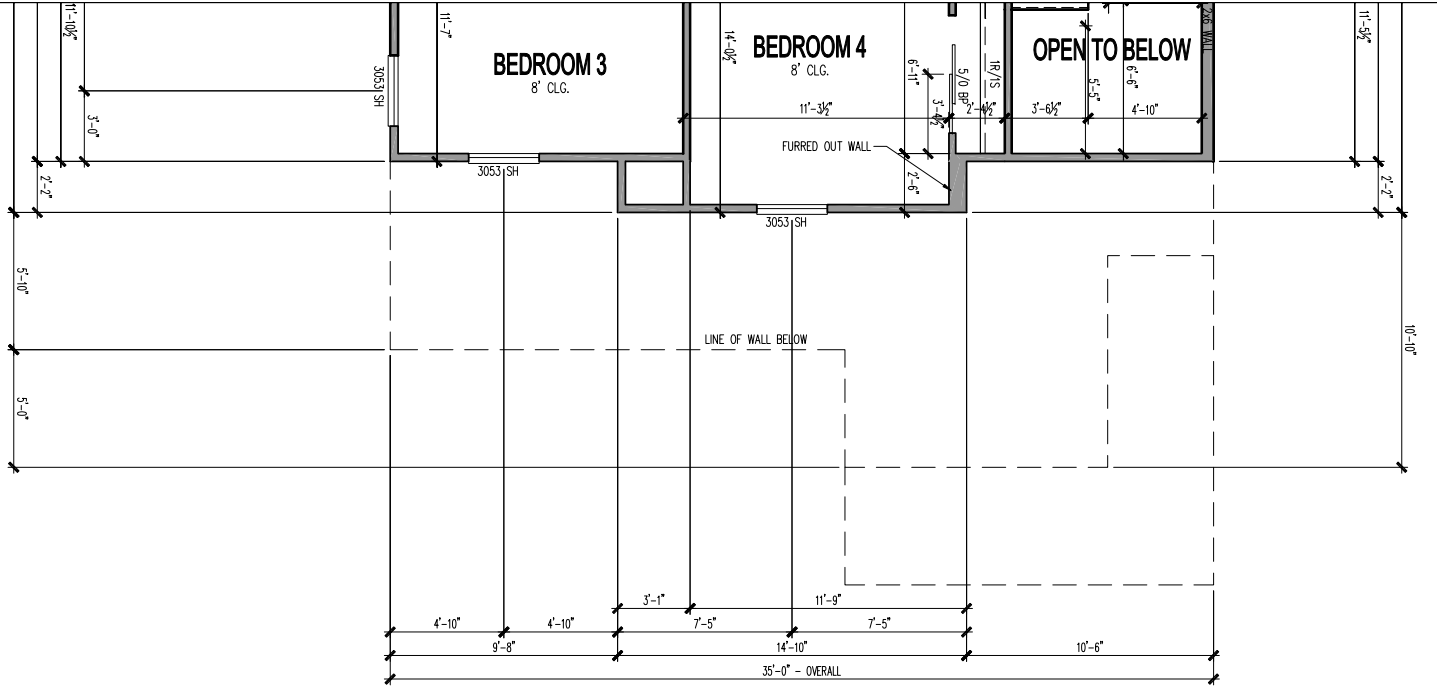
LEFT ELEVATION

SCALE: 1/8" = 1'-0"

SCHEDULE of AREAS	
BASE HOUSE - HEATED	
FIRST FLOOR	1299
SECOND FLOOR	1457
TOTAL BASE HEATED	2756
BASE HOUSE - UNDER ROOF	
GARAGE - 2 CAR FRONT ENTRY	431
BASEMENT	1200
TOTAL BASE UNDER ROOF	1730
BASE OPTIONS - HEATED	
SUNROOM	128
MODERN FIREPLACE	18
FINISHED BASEMENT OPTIONS	
FINISHED BASEMENT	822
MECH. / STOR. W/ FINISHED BASEMENT	350
ADDITIONAL AREA W/ SUNROOM	128
BASE OPTIONS	
COVERED PORCH (w/ FIREPLACE)	128
WOOD DECK / CONCRETE PATIO	128
WOOD DECK / CONCRETE PATIO w/ SUNROOM	160
GARAGE - 3 CAR FRONT ENTRY	200

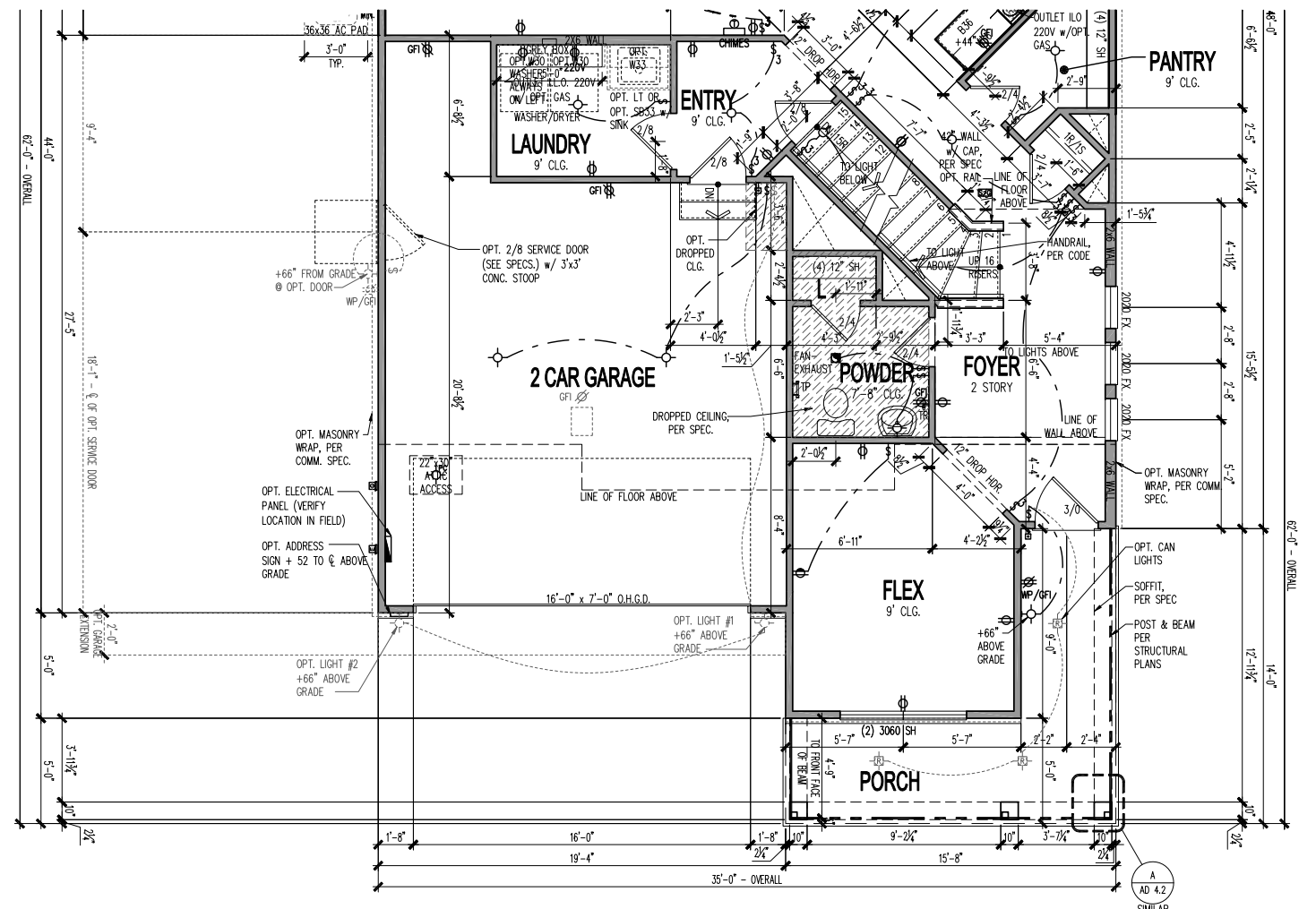
LIGHT & VENT SCHEDULE					
ROOM NAME	AREA	REQUIRED		SUPPLIED	
		LIGHT	VENT	LIGHT	VENT
BEDROOM 4	143.64	11.49	5.75	11.70	5.00

** REFER TO LIGHT & VENT SCHEDULE ON COVER SHI. FOR INFORMATION NOT SHOWN HERE.



SECOND FLOOR PLAN - 4" WALLS
SCALE: 1/4" = 1'-0"
* SEE BASE PLANS FOR INFORMATION NOT SHOWN

ELEVATION NC2G	
ADDITIONAL 1ST FLOOR - HEATED	0
TOTAL 1ST FLOOR	1299
ADDITIONAL 2ND FLOOR - HEATED	6
TOTAL 2ND FLOOR	1463
TOTAL ELEV. HEATED	2762
ADDITIONAL GARAGE - 2 CAR FRONT	0
TOTAL GARAGE	431
ADDITIONAL HOUSE SLAB	0
TOTAL HOUSE SLAB	1200
FRONT PORCH	119
TOTAL ELEV. FOOTPRINT	1849



FIRST FLOOR PLAN - 4" WALLS
SCALE: 1/4" = 1'-0"
* SEE BASE PLANS FOR INFORMATION NOT SHOWN

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Schaumburg, Illinois 60173



Northern Craftsman 2G
2 Car Front Entry
Partial Floor and Utility Plans - 4" Exterior Walls

REV #	DATE / DESCRIPTION
1	12/21/2015
2	01/11/2016
3	08/19/2016
4	08/01/2017
5	09/14/18
6	09/20/2019

GARAGE HANDING
LEFT

PLAN NAME
PARK PLACE
NFC PLAN NUMBER
1957.300
LAWSON PLAN ID

SHEET
A3-NC2G
2FB4.3

PLOTTED: September 16, 2019 / Sean Leheny / A3-NC2G 2FB4.3.DWG

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

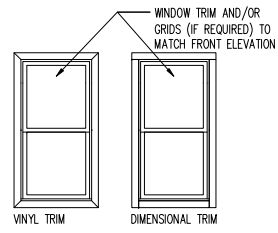
REV #	DATE	DESCRIPTION
1	12/21/2015	
2	01/11/2016	PLAN REVISIONS
3	08/19/2016	PCR REVISIONS
4	08/01/2017	PCR REVISIONS
5	09/14/18	PCR REVISIONS
6	09/20/2019	PCR REVISIONS
7	03/12/2021	FLEX NOW UPDATE

GARAGE HANDING
LEFT

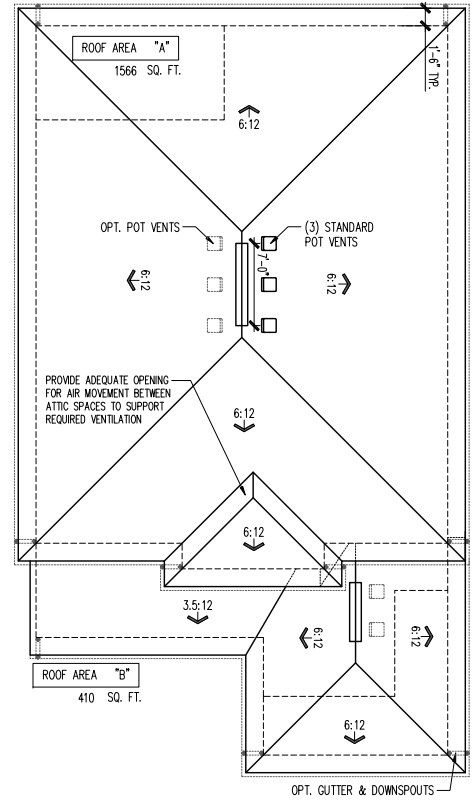
PLAN NAME
PARK PLACE
 NPC PLAN NUMBER
1957.300
 LAWSON PLAN ID
 -

SHEET
A3-PR2H
2FB.1

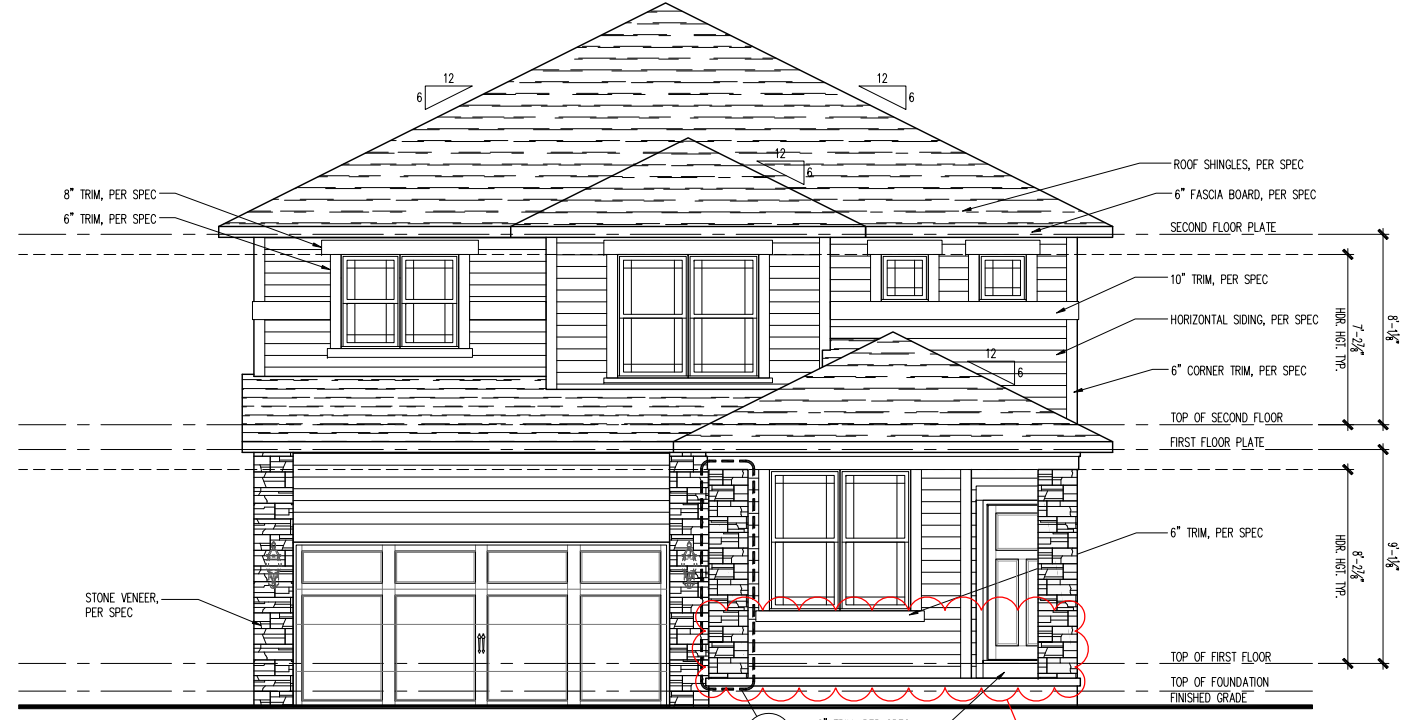
ATTIC VENT SCHEDULE																	
VENTILATION REQUIRED AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE																	
* CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS																	
** SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50.40% OF TOTAL AND RIDGE AT 45.50% OF TOTAL REQUIRED VENTILATION																	
Prairie 2H																	
ROOF AREA "A"				AT / NEAR RIDGE				AT / NEAR EAVE									
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. IN. EACH)	POT SMALL (SQ. IN. EACH)	RIDGE VENT (SQ. IN. PER FT.)	EAVE VENT (SQ. IN. EACH)	CONT. VENT (SQ. IN. PER FT.)	VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. IN. EACH)	POT SMALL (SQ. IN. EACH)	RIDGE VENT (SQ. IN. PER FT.)	EAVE VENT (SQ. IN. EACH)	CONT. VENT (SQ. IN. PER FT.)
HIGH - POT VENTS ONLY	2.09 - 2.61	2.54	49.06	6	0				HIGH - POT VENTS ONLY	0.55 - 0.68	0.85	48.41	2	0			
AT EAVE	3.13 - 2.61	2.64	50.94				0	38.00	AT EAVE	0.82 - 0.68	0.90	51.59				0	13.00
TOTAL (MIN)	5.22 - 5.22	5.18	100.00						TOTAL (MIN)	1.37 - 1.37	1.75	100.00					
HIGH - RIDGE VENT	2.09 - 2.61	2.15	44.85	3	0	7.00			HIGH - RIDGE VENT	0.55 - 0.68	0.63	47.37	0	0	5.00		
AT EAVE	3.13 - 2.61	2.64	55.15				0	38.00	AT EAVE	0.82 - 0.68	0.69	52.63				0	10.00
TOTAL (MIN)	5.22 - 5.22	4.79	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE					TOTAL (MIN)	1.37 - 1.37	1.32	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE				



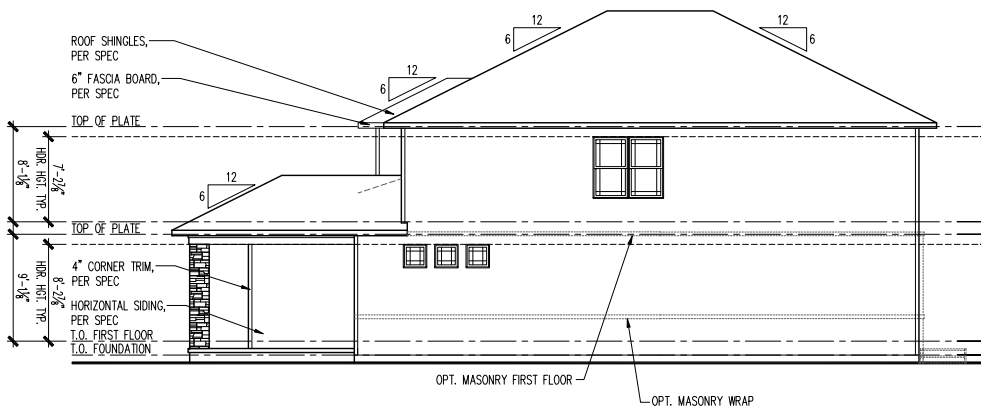
SIDE AND REAR WINDOWS PER COMMUNITY SPECS
 SCALE: 1/4" = 1'-0"



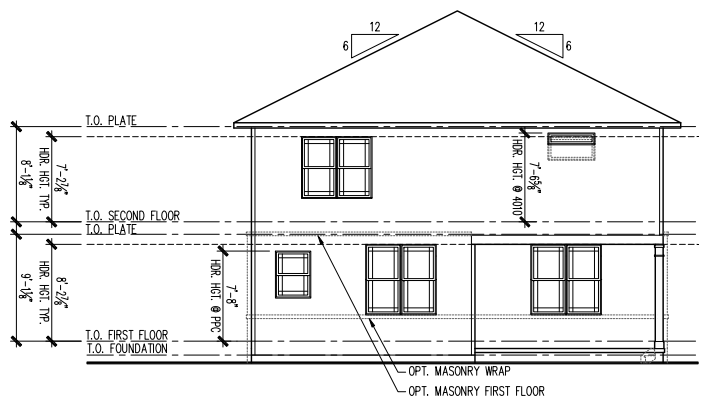
ROOF PLAN
 SCALE: 1/8" = 1'-0"



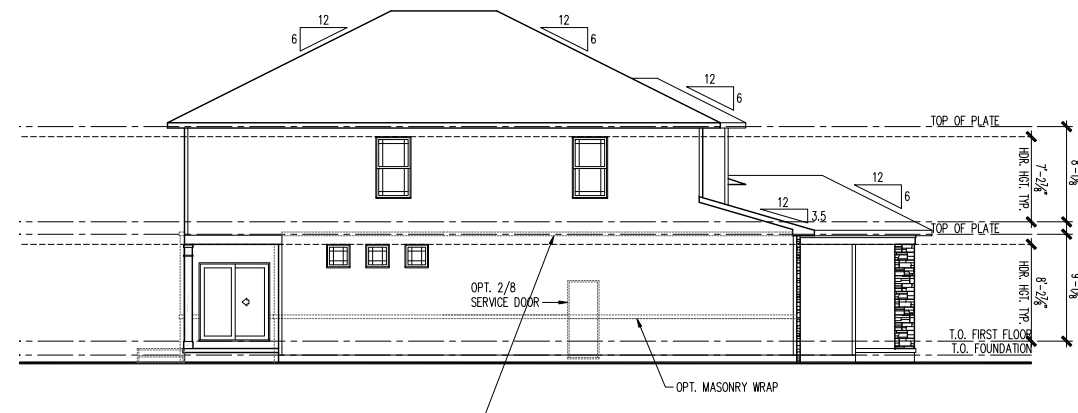
FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"



REAR ELEVATION
 SCALE: 1/8" = 1'-0"



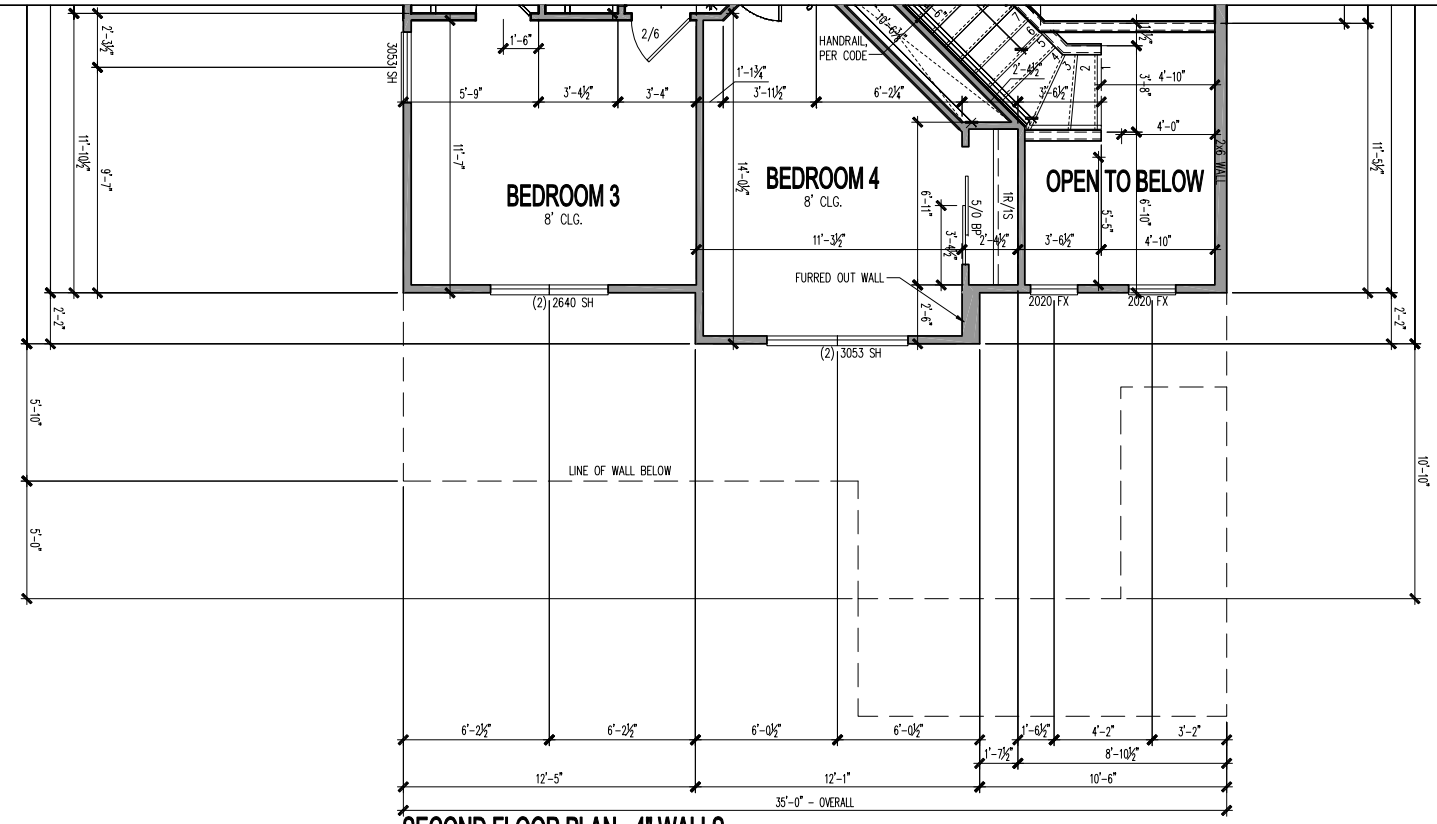
LEFT ELEVATION
 SCALE: 1/8" = 1'-0"

SCHEDULE of AREAS	
BASE HOUSE - HEATED	
FIRST FLOOR	1299
SECOND FLOOR	1457
TOTAL BASE HEATED	2756
BASE HOUSE - UNDER ROOF	
GARAGE - 2 CAR FRONT ENTRY	431
BASEMENT	1200
TOTAL BASE UNDER ROOF	1730
BASE OPTIONS - HEATED	
SUNROOM	128
MODERN FIREPLACE	18
FINISHED BASEMENT OPTIONS	
FINISHED BASEMENT	822
MECH. / STOR. W/ FINISHED BASEMENT	350
ADDITIONAL AREA W/ SUNROOM	128
BASE OPTIONS	
COVERED PORCH (w/ FIREPLACE)	128
WOOD DECK / CONCRETE PATIO	128
WOOD DECK / CONCRETE PATIO w/ SUNROOM	160
GARAGE - 3 CAR FRONT ENTRY	200

LIGHT & VENT SCHEDULE					
ROOM NAME	AREA	REQUIRED		SUPPLIED	
		LIGHT	VENT	LIGHT	VENT
FLEX	125.95	10.08	5.04	21.32	8.80
BEDROOM 3	136.41	10.91	5.46	25.04	10.00
BEDROOM 4	143.64	11.49	5.75	23.40	10.00

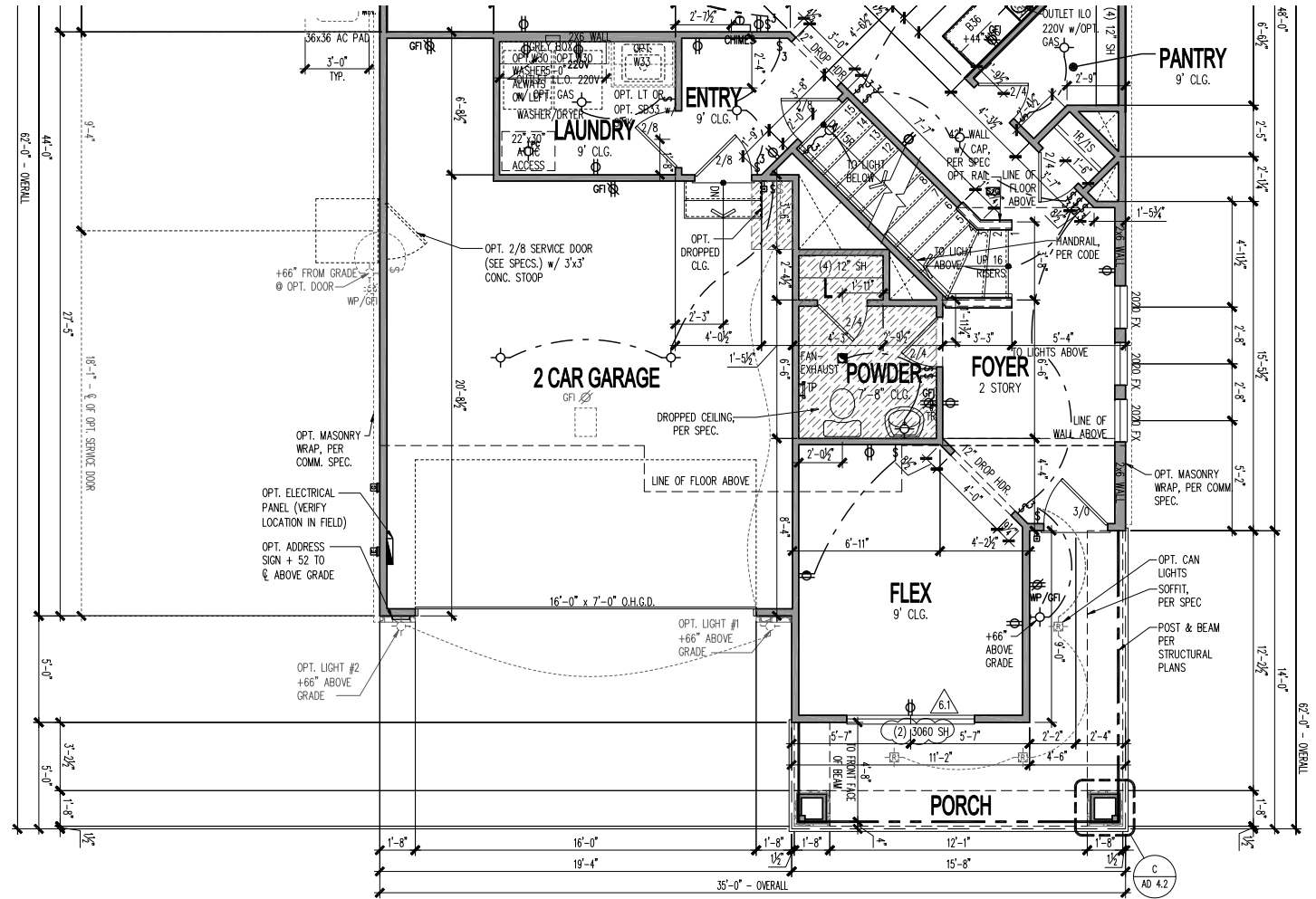
** REFER TO LIGHT & VENT SCHEDULE ON COVER SHIT. FOR INFORMATION NOT SHOWN HERE.

ELEVATION PR2H	
ADDITIONAL 1ST FLOOR - HEATED	0
TOTAL 1ST FLOOR	1299
ADDITIONAL 2ND FLOOR - HEATED	0
TOTAL 2ND FLOOR	1457
TOTAL ELEV. HEATED	2756
ADDITIONAL GARAGE - 2 CAR FRONT	0
TOTAL GARAGE	431
ADDITIONAL HOUSE SLAB	0
TOTAL HOUSE SLAB	1200
FRONT PORCH	119
TOTAL ELEV. FOOTPRINT	1849



SECOND FLOOR PLAN - 4" WALLS

SCALE: 1/4" = 1'-0"
* SEE BASE PLANS FOR INFORMATION NOT SHOWN



FIRST FLOOR PLAN - 4" WALLS

SCALE: 1/4" = 1'-0"
* SEE BASE PLANS FOR INFORMATION NOT SHOWN

PLOTTED: March 19, 2021 / Michael Urban / A3-PR2H_2FS4.3.DWG

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Schaumburg, Illinois 60173



Prairie 2H
2 Car Front Entry
Partial Floor and Utility Plans - 4" Exterior Walls

REV #	DATE / DESCRIPTION
1	12/21/2015
2	01/11/2016
3	08/19/2016
4	08/01/2017
5	09/14/18
6	09/20/2019
7	03/12/2021
8	FLEX WINDOW UPDATE

PRODUCTION MANAGER	Rich Storkew
INITIAL RELEASE DATE:	09/30/2014
CURRENT RELEASE DATE:	09/14/2018

GARAGE HANDING	LEFT
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PLAN NAME	PARK PLACE
NPC PLAN NUMBER	1957.300
LAWSON PLAN ID	

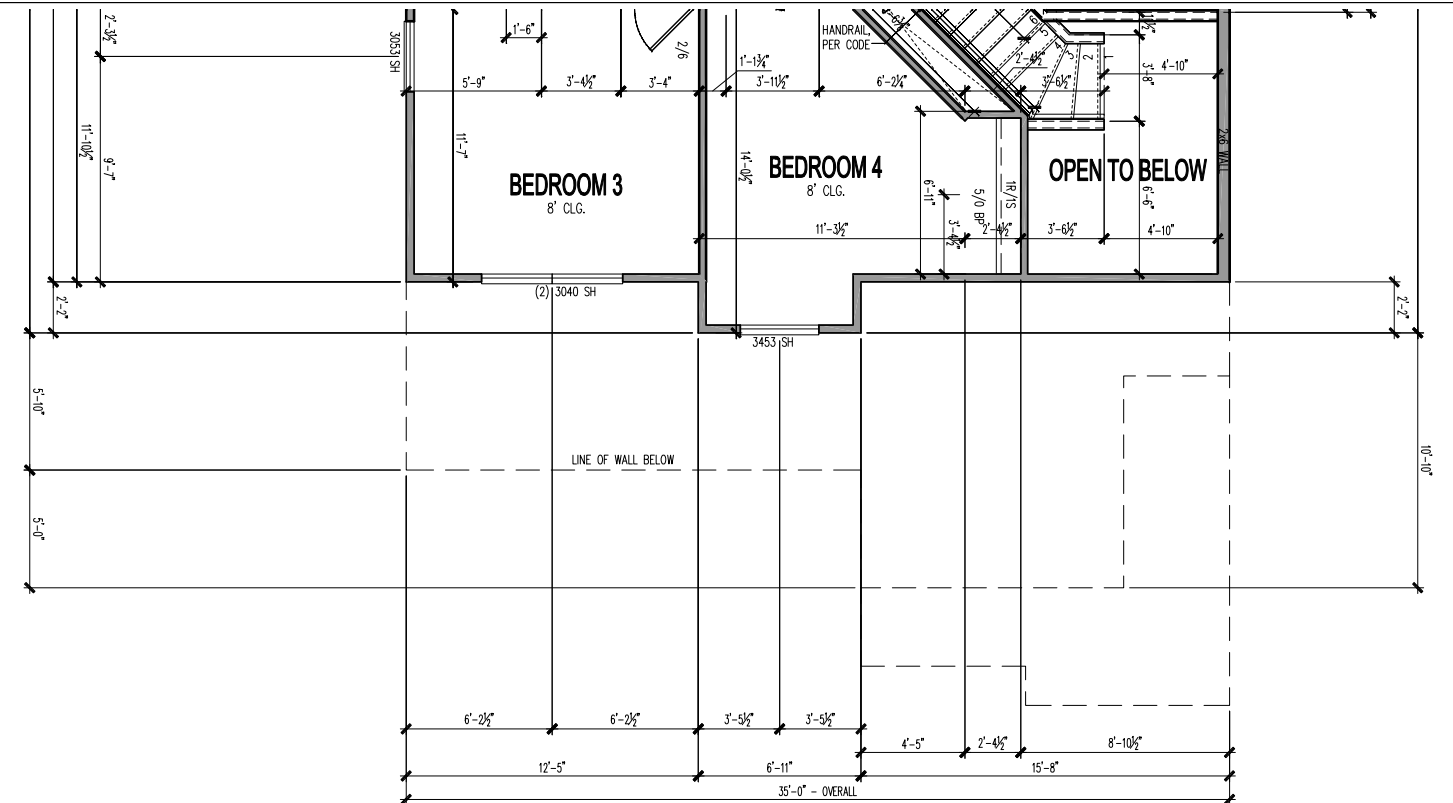
SHEET	A3-PR2H
	2FS4.3

SCHEDULE of AREAS	
BASE HOUSE - HEATED	
FIRST FLOOR	1299
SECOND FLOOR	1457
TOTAL BASE HEATED	2756
BASE HOUSE - UNDER ROOF	
GARAGE - 2 CAR FRONT ENTRY	431
BASEMENT	1200
TOTAL BASE UNDER ROOF	1730
BASE OPTIONS - HEATED	
SUNROOM	128
MODERN FIREPLACE	18
FINISHED BASEMENT OPTIONS	
FINISHED BASEMENT	822
MECH. / STOR. W/ FINISHED BASEMENT	350
ADDITIONAL AREA W/ SUNROOM	128
BASE OPTIONS	
COVERED PORCH (w/ FIREPLACE)	128
WOOD DECK / CONCRETE PATIO	128
WOOD DECK / CONCRETE PATIO w/ SUNROOM	160
GARAGE - 3 CAR FRONT ENTRY	200

LIGHT & VENT SCHEDULE					
ROOM NAME	AREA	REQUIRED		SUPPLIED	
		LIGHT	VENT	LIGHT	VENT
BEDROOM 3	136.41	10.91	5.46	28.70	11.80
BEDROOM 4	133.35	10.67	5.33	13.30	5.60

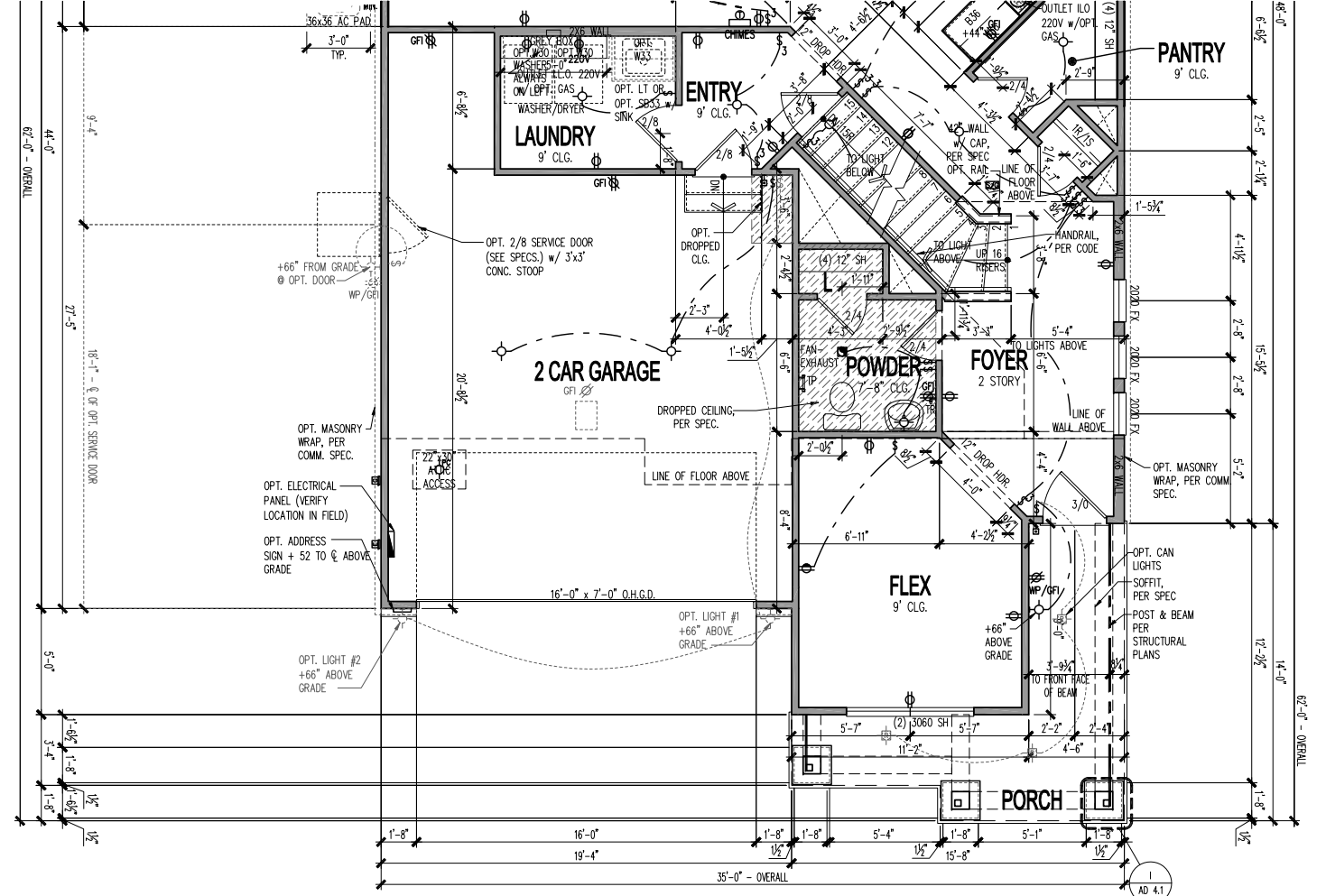
** REFER TO LIGHT & VENT SCHEDULE ON COVER SHIT. FOR INFORMATION NOT SHOWN HERE.

ELEVATION CR2H	
ADDITIONAL 1ST FLOOR - HEATED	0
TOTAL 1ST FLOOR	1299
ADDITIONAL 2ND FLOOR - HEATED	0
TOTAL 2ND FLOOR	1457
TOTAL ELEV. HEATED	2756
ADDITIONAL GARAGE - 2 CAR FRONT	0
TOTAL GARAGE	431
ADDITIONAL HOUSE SLAB	0
TOTAL HOUSE SLAB	1200
FRONT PORCH	107
TOTAL ELEV. FOOTPRINT	1837



SECOND FLOOR PLAN - 4" WALLS

SCALE: 1/4" = 1'-0"
* SEE BASE PLANS FOR INFORMATION NOT SHOWN



FIRST FLOOR PLAN - 4" WALLS

SCALE: 1/4" = 1'-0"
* SEE BASE PLANS FOR INFORMATION NOT SHOWN

PLOTTED: September 16, 2019 / Sean Leheny / A3-CR2H 2FB4.3.DWG

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Schaumburg, Illinois 60173



Craftsman 2H
2 Car Front Entry
Partial Floor and Utility Plans - 4" Exterior Walls

REV #	DATE	DESCRIPTION
1	12/21/2015	PRODUCTION MANAGER Rick Starkey INITIAL RELEASE DATE: 09/30/2014 CURRENT RELEASE DATE: 09/14/2018
2	01/11/2016	PLAN REVISIONS
3	08/19/2016	PCR REVISIONS
4	08/01/2017	PCR REVISIONS
5	09/14/18	PCR REVISIONS
6	09/20/2019	PCR REVISIONS

GARAGE HANDING
LEFT

PLAN NAME
PARK PLACE
NFC PLAN NUMBER
1957.300
LAWSON PLAN ID

SHEET
A3-CR2H
2FB4.3

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS