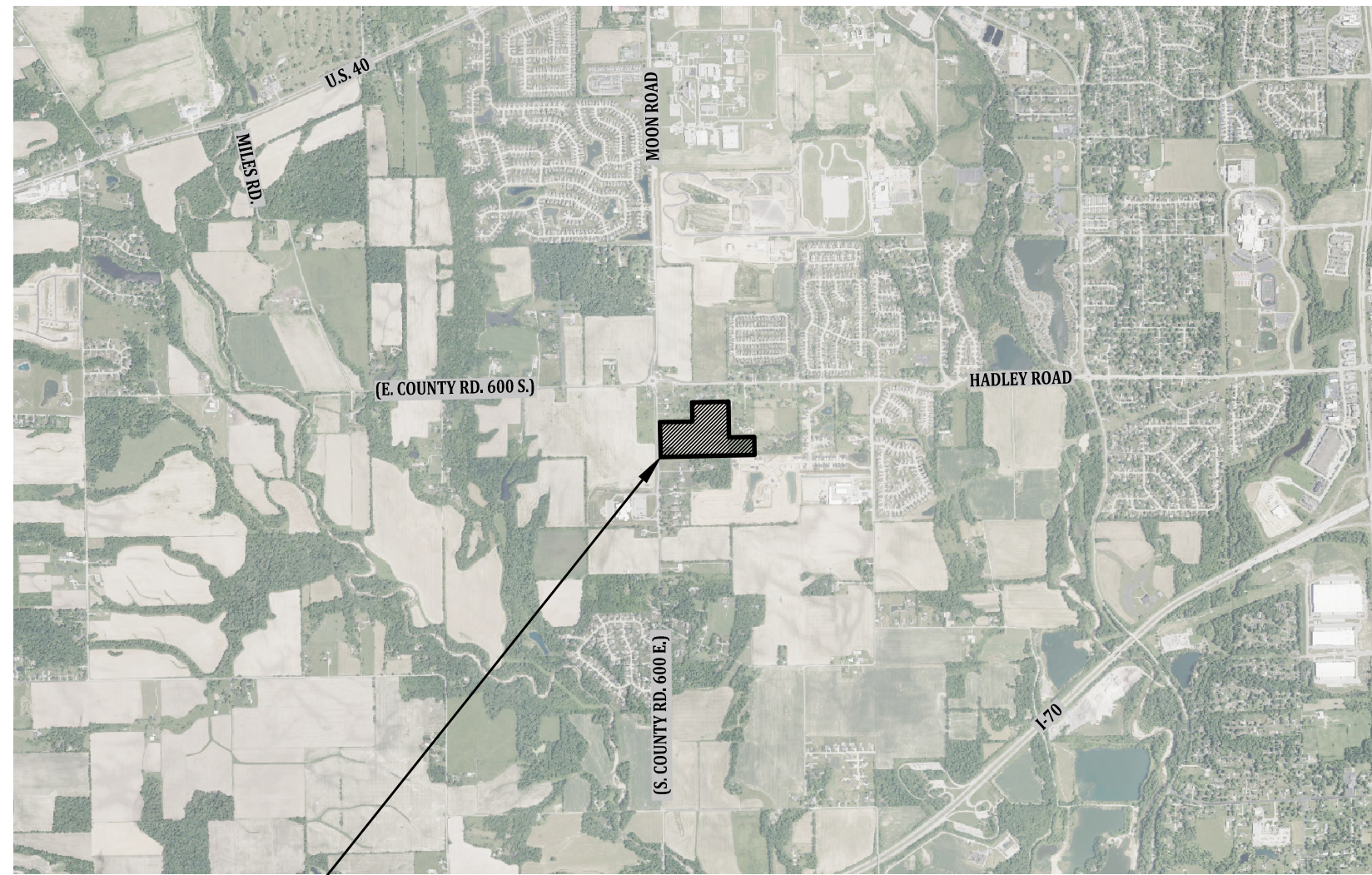
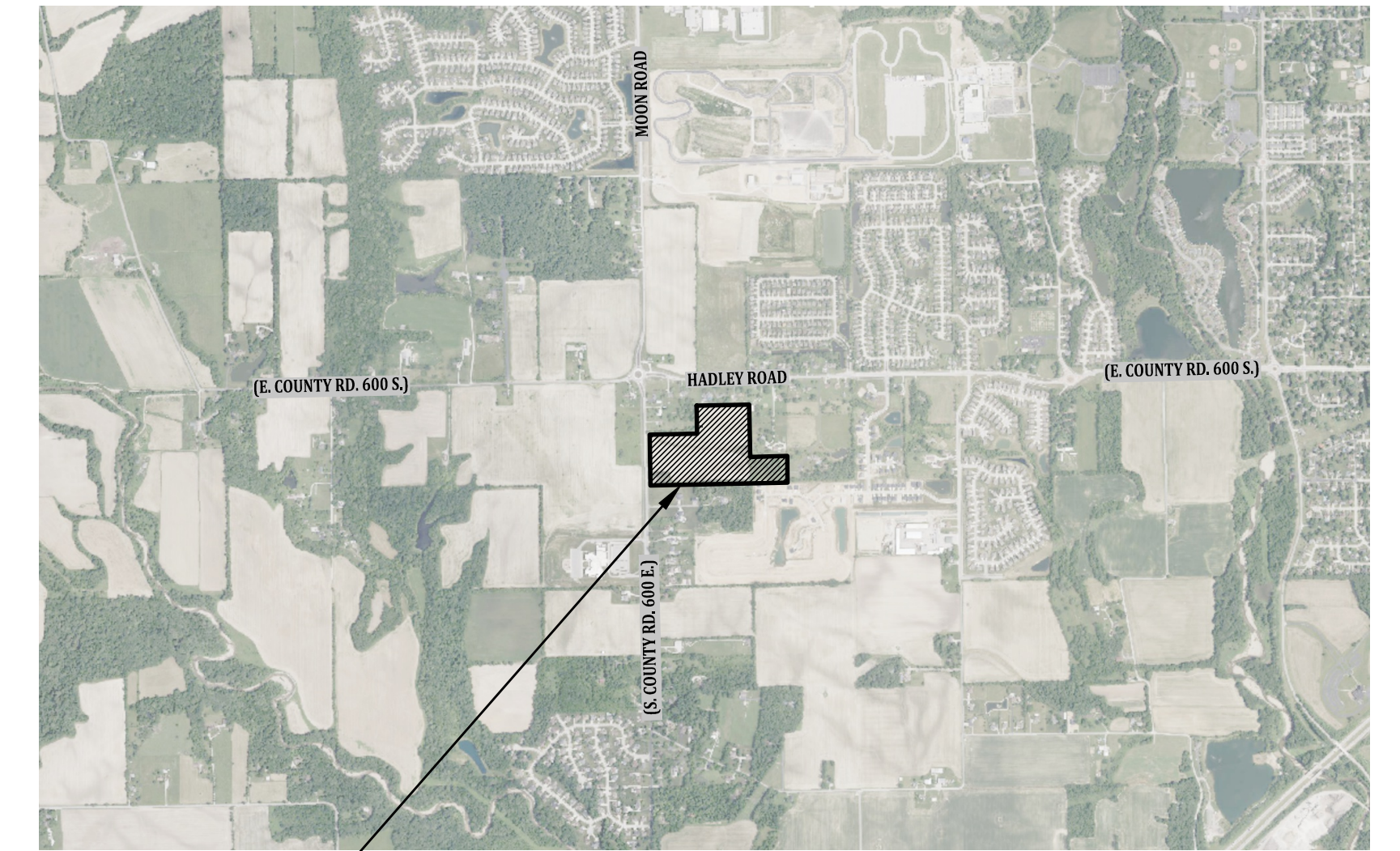


OXFORD SQUARE - PRIMARY PLAT

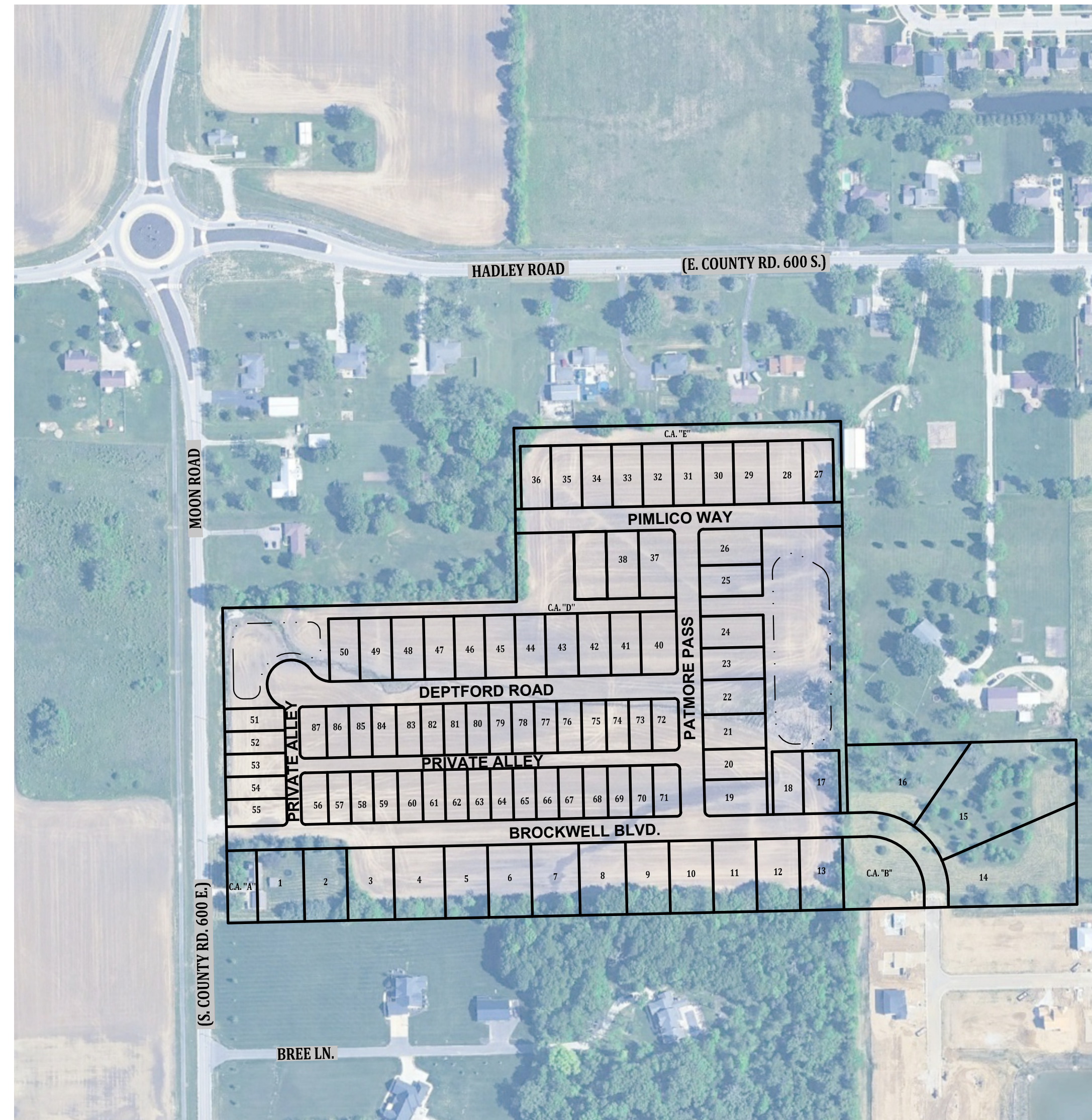
ZONING: PROPOSED RF
 S. COUNTY RD. 600 E.
 PART OF SECTION 10, TOWNSHIP 14N, RANGE 1E, GUILFORD TOWNSHIP
 TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA



PROJECT LOCATION
 VICINITY MAP
 NO SCALE



PROJECT LOCATION
 LOCATION MAP
 NO SCALE



SITE MAP
 SCALE: 1"=200'

OPERATING AUTHORITIES

GAS Centerpoint Energy (South) 1800 W. 26th St. Muncie, IN 47302 765-287-2119	CABLE TV, FIBER OPTIC Charter Communications Marion 1392 Trade Centre Traverse City, MI 49696 231-941-3819	WATER Plainfield DPW 986 S. Center Street Plainfield, IN, 46168 317-839-3490
ELECTRIC Hendricks Power Cooperative 88 North CR 500 East PO Box 309 Danville, IN 46122 317-745-5473	STORM Town of Plainfield 986 S. Center St. Plainfield, IN, 46168 317-839-3490	TELEPHONE AT&T 240 North Meridian Street Indianapolis, IN, 46204 317-722-2299
SANITARY Plainfield DPW 986 S. Center St. Plainfield, IN, 46168 317-839-3490	FIRE DEPARTMENT Plainfield Fire Department 4010 Clarks Creek Rd. Plainfield, IN, 46168 317-839-6939	SCHOOL DISTRICT Plainfield Community School Corp. 985 S. Longfellow Ln. Plainfield, IN, 46168 317-839-2578
TRANSMISSION LINES (Lines along Hadley Road) Duke Energy 1000 E. Main St. Plainfield, IN 46168 800-428-4337	TRANSMISSION LINES (Big Towers / Lines) Indianapolis Power & Light 1230 West Morris Street Indianapolis, IN 46221 317-261-4980	FIBER OPTIC Hendricks Power Cooperative, Fiber 88 North CR 500 East PO Box 309 Danville, IN 46122 317-745-5473

NOTE:

USERS OF THE EXISTING TOPOGRAPHY PLAN ARE CAUTIONED TO CONSIDER THAT ALL NATURAL SURFACES ARE SUBJECT TO DISPLACEMENT DUE TO THE EFFECTS OF ENVIRONMENTAL AND MECHANICAL FACTORS ON SOIL PROPERTIES. THE INTERPOLATED CONTOUR LINES DEPICTED HEREON ARE REPRESENTATIVE OF THE SURFACE OF THE SITE ON THE DATE(S) THE FIELD SURVEY WAS PERFORMED. CHANGES IN SURFACE ELEVATIONS VARYING UP TO 0.5 FEET AFTER THE DATE OF THE SURVEY MAY BE POSSIBLE WITHOUT ANY OBVIOUS VISIBLE INDICATIONS. THEREFORE, IT IS RECOMMENDED THAT THE SURFACE ELEVATIONS OF THIS SITE BE VERIFIED PRIOR TO CONSTRUCTION AND THAT ANY SIGNIFICANT DISCREPANCIES BE REPORTED TO THE ENGINEER FOR EVALUATION. THE SURVEYOR IS NOT RESPONSIBLE FOR ESTIMATING OR ACCOUNTING FOR ANY VERTICAL VARIANCE CAUSED BY SUCH ENVIRONMENTAL OR MECHANICAL INFLUENCES.

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JONES/LUEBBERT/WADE PARCELS

CURRENT ZONING: RF
 TOTAL AREA: 28.60± ACRES
 TOTAL NUMBER OF LOTS: 87± LOTS
 TOTAL COMMON AREA: 4.84± ACRES
 LENGTH OF PATH/TRAILS: 0.36± MILES

PLANS PREPARED FOR:

LENNAR
 ATTN.: SEAN BLACKBURN
 ENTITLEMENTS MANAGER
 11555 NORTH MERIDIAN STREET, SUITE 400
 CARMEL, IN 46032
 PH.: 317-601-0179
 EMAIL: sean.blackburn@lennar.com

CONSTRUCTION DOCUMENTS

PROJECT MANAGER: _____ DATE: _____

THESE PLANS ARE NOT TO BE CONSIDERED FINAL OR TO BE UTILIZED FOR CONSTRUCTION UNLESS SIGNED AND DATED BY THE APPROPRIATE BANNING ENGINEERING PROJECT MANAGER.

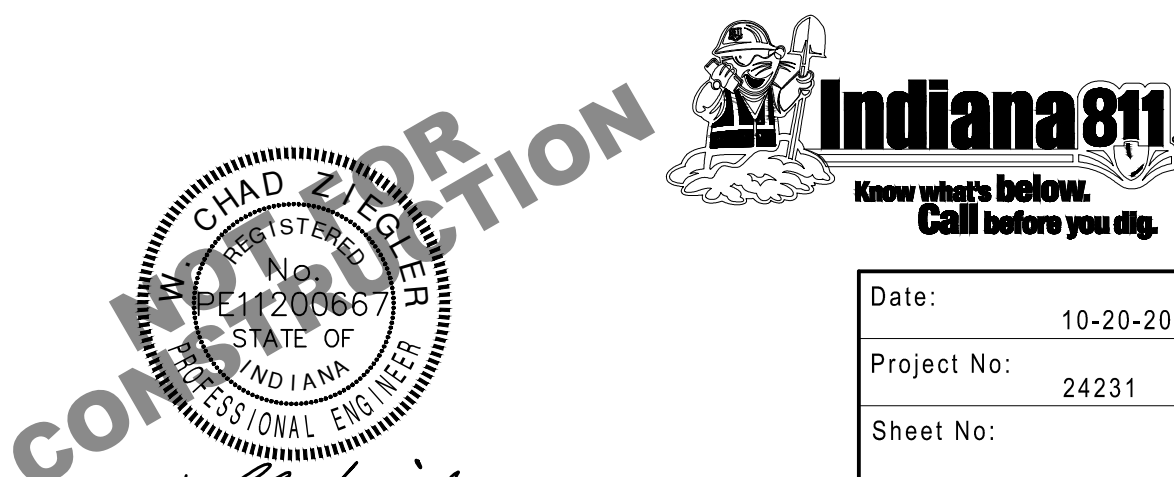
THESE PLANS ARE NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR ORIGINAL BOUNDARY SURVEY, A ROUTE SURVEY, OR A SURVEYOR LOCATION REPORT.

PLANS PREPARED BY:

BANNING ENGINEERING
 853 COLUMBIA ROAD, SUITE #101
 PLAINFIELD, IN 46168
 BUS: (317) 707-3700, FAX: (317) 707-3800
 E-MAIL: Banning@BanningEngineering.com
 WEB: www.BanningEngineering.com

CONTACT: STEVE BREHOB

CERTIFIED BY: _____



Date: 10-20-2025
 Project No: 24231
 Sheet No: _____

C100

SHEET INDEX

SHEET NO	DESCRIPTION
C100	TITLE SHEET
C101	EXISTING CONDITIONS PLAN
C102 - C103	DEMOLITION / CLEARING PLAN
C104 - C105	PRIMARY PLAT
C106 - C107	SIDEWALK AND SIGNAGE PLAN
C200	PRELIMINARY UTILITY PLAN
C220	MOON ROAD ENTRY PLAN
C300 - C301	PRELIMINARY EROSION CONTROL PLAN
C320 - C321	DRAINAGE AND DETENTION PLAN

REVISIONS

NUMBER	DESCRIPTION	DATE
1.	REVISED TEXT FOR PRIVATE ALLEY	12/23/25

Project Benchmark

The elevations shown hereon were derived from GPS observation using NAVD 88 Datum from the VRS (Virtual Reference Station) Control Network established by Seiler Company. The elevations were established for this network by continuously streaming data through fixed reference stations ((CORS)-Continuously Operating Reference Station) distributed throughout the network area to a central server running Trimble GPSNet and RTKNet software. Through previous survey work, the elevations derived from GPS observations are relatively accurate to published benchmarks (usually within +/- 0.2 feet). Control point #150 was used as the benchmark and levels were run through the temporary benchmarks shown below.
C.P. #150 Elev = 764.71' (NAVD 88)

Site Benchmark

TBM #50

Benchmark set 1 foot above grade in the north side of power pole number G150L128N38 located on the east side of Moon Road about 1200 feet south of Hadley Road, at the northwest corner of 6245 Moon Road.
Elev. = 764.94' (NAVD 88)

TBM #51

Benchmark set 1 foot above grade in northwest side of power pole number G150L-128-N-40 located on the east side of Moon Road about 700 south of Hadley Road, at the southwest corner of 6105 Moon Road.
Elev. = 764.91' (NAVD 88)

TBM #52

Benchmark set 1 foot above grade in the south side of power pole number 8921044 located on the north side of Hadley Road about 1000 feet east of Moon Road across from 6175 Hadley Road.
Elev. = 757.37' (NAVD 88)

Notes:

Per 865 IAC 1-12-12 this drawing is not intended to be represented as a retracement or original boundary survey, a route survey, or a Surveyor Location Report.

The horizontal data shown on this exhibit is based upon standard radial survey techniques and by global positioning equipment, utilizing the VRS Network, a real-time kinematic (RTK) correction service over the internet. The coordinate values shown are in Indiana State Plane West Zone on the 1983 North American Datum.

All bearings, distances and coordinates are referenced to the Indiana State Plane West Zone (NAD 83) Coordinate System. The Combined Scale Factor for this project is 1.000000. Distances shown hereon are GRID distances (US Survey feet).

The topographic information shown hereon was obtained in the field during March 2025. The topographic data was gathered using a robotic total station and data collector applying standard radial surveying techniques and by global positioning equipment, utilizing the VRS Network, a real-time kinematic (RTK) correction service over the internet.

Elevations on hard surfaces or structures are accurate to within 0.05 feet, elevations on natural surfaces are accurate to within 0.15 feet. The contours shown hereon were plotted based upon interpolation of spot elevations and other topographic information and are accurate to within one half of the contour interval.

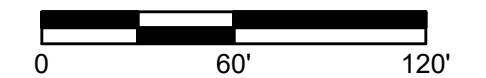
This survey reflects above ground indications of utilities and information available from utility companies. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated, although they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities.

Underground utilities shown per Indiana 811 ticket numbers 2502132503 and 2502132835 and private utility locates were provided internally via Banning Engineering's Utilities Coordinator.

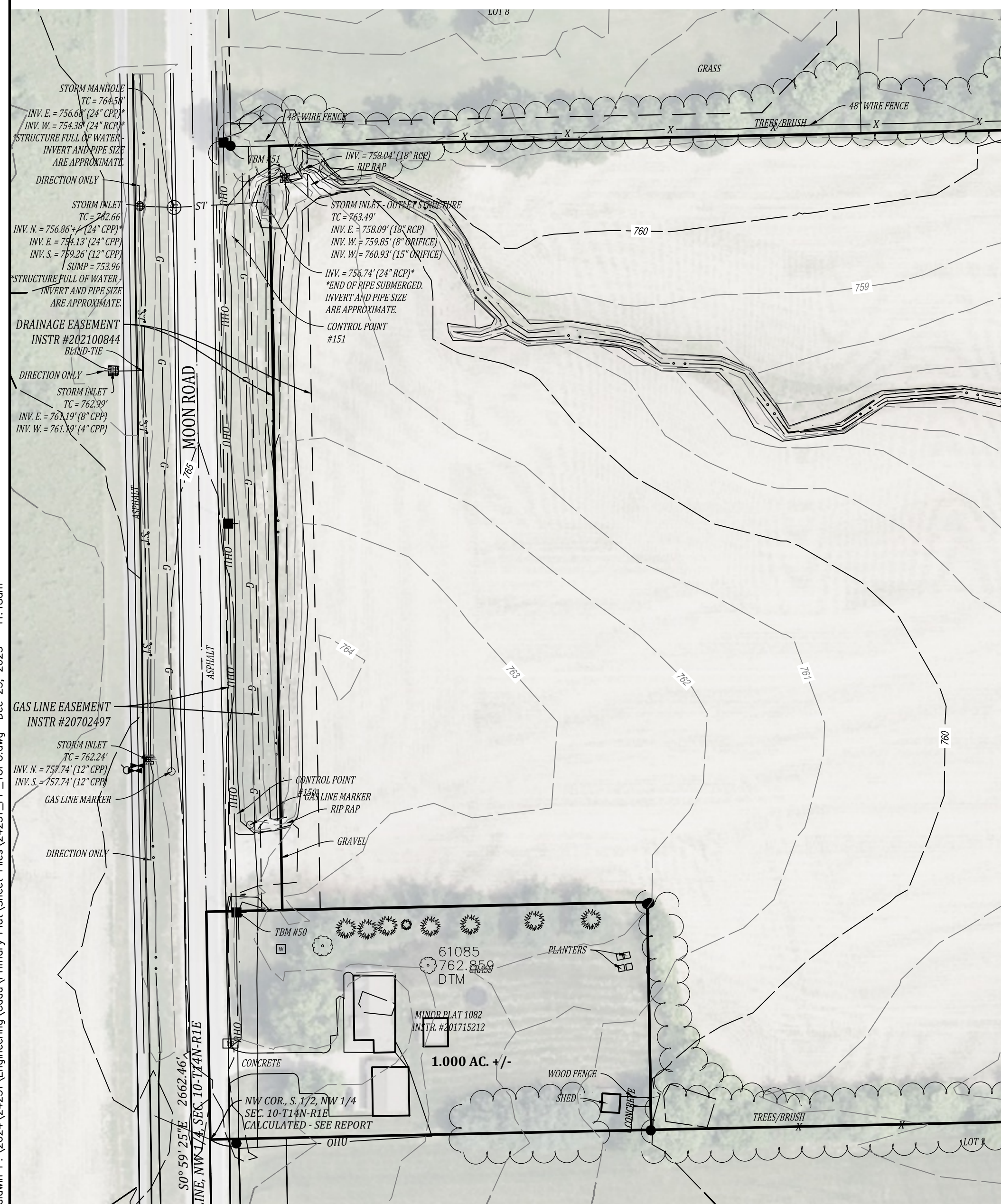
FLOOD STATEMENT

The surveyed property appears to be located in Zone "X" (areas determined to be outside the 0.2% annual chance floodplain) per the Flood Insurance Rate Map (FIRM) for Hendricks County, Indiana, community panel 18063C0266D, dated September 25, 2009, Federal Emergency Management Agency, National Flood Insurance Program. Per said FIRM, this parcel does not lie within the boundary of a Special Flood Hazard Area. The accuracy of any flood hazard statement is subject to map scale uncertainty.

Control Point Table				
Pt. #	Northing	Easting	Elev.	Description
150	1611637.989	3139988.901	764.71	5/8" rebar w/"Banning Engineering Control Point" cap
151	1612018.102	3139985.695	763.52	5/8" rebar w/"Banning Engineering Control Point" cap
152	1612802.714	3140871.252	756.13	5/8" rebar w/"Banning Engineering Control Point" cap
153	1612797.576	3140635.434	758.60	5/8" rebar w/"Banning Engineering Control Point" cap
154	1611446.000	3141517.303	752.68	5/8" rebar w/"Banning Engineering Control Point" cap



- LEGEND**
- OHU OVERHEAD UTILITY LINE
 - G GAS LINE
 - T UNDERGROUND TELEPHONE
 - E UNDERGROUND ELECTRIC LINE
 - F FLOW LINE
 - S SANITARY SEWER LINE
 - ST STORM SEWER LINE
 - F FENCE
 - TL TREE LINE
 - SS SANITARY SEWER STRUCTURE
 - SES STORM SEWER STRUCTURE
 - EM ELECTRIC METER
 - ESB ELECTRIC SPlice BOX
 - ETR ELECTRIC TRANSFORMER
 - FH FIRE HYDRANT
 - GM GAS METER
 - LP LIGHT POLE
 - MB MAIL BOX
 - UP UTILITY POLE
 - W WELL
 - SIGN SIGN
 - TSP TELEPHONE SPlice BOX
 - WV WATER VALVE
 - SCO SEWER CLEAN-OUT
 - AIR AIR CONDITIONING UNIT
 - TREE TREE



Date: 12/23/2025

Revisions: 1 REVISED TEXT FOR PRIVATE ALLEY

Designed: SAB

Drawn: SAB

Checked: SAB

Scale: 1" = 60'

Date: 10-20-2025

EXISTING CONDITIONS PLAN
OXFORD SQUARE - PRIMARY PLAT
SOUTHEAST OF S. CR 600 E. & E. CR 600 S.
PLAINFIELD, INDIANA

BANNING ENGINEERING
863 COLUMBIA ROAD, SUITE #101
PLAINFIELD, IN 46168
BUS: (317) 707-3700 FAX: (317) 707-3800
E-MAIL: Banning@BanningEngineering.com
WEB: www.BanningEngineering.com

Project No: 24231
Sheet No: C101

Baldwin, P., 2025A, 24231 Engineering Cadd Primary Plat Sheet File 24231_PP_TOPO.dwg Dec 23, 2025 - 11:18am

LEGEND

OHU	OVERHEAD UTILITY LINE
G	GAS LINE
T	UNDERGROUND TELEPHONE
E	UNDERGROUND ELECTRIC LINE
F	FLOW LINE
S	SANITARY SEWER LINE
ST	STORM SEWER LINE
X	FENCE
○	TREE LINE
□	SANITARY SEWER STRUCTURE
□	STORM SEWER STRUCTURE
□	ELECTRIC METER
□	ELECTRIC SPLICE BOX
□	ELECTRIC TRANSFORMER
□	FIRE HYDRANT
□	GAS METER
□	LIGHT POLE
□	MAIL BOX
□	UTILITY POLE
□	WELL
□	SIGN
□	TELEPHONE SPLICE BOX
□	WATER VALVE
□	SEWER CLEAN-OUT
□	AIR CONDITIONING UNIT
□	TREE

DEMOLITION LEGEND

OHU	OVERHEAD UTILITY LINES
X	LIGHT POLE
X	WIRE AND BRUSH REMOVAL
X	ELECTRIC METER
X	ELECTRIC TRANSFORMER
X	TELEPHONE SPLICE BOX
X	FIRE HYDRANT
X	WATER CONSTRUCTION LIMITS
X	FIRE HYDRANT

NO TREES WITHIN THE CONSTRUCTION LIMIT ARE TO BE DISTURBED UNLESS NOTED WITHIN THESE PLANS OR APPROVED BY THE DEVELOPER.

DEMOLITION NOTES:

EXISTING STRUCTURES, ASPHALT, CONCRETE, VEGETATION AND ALL OTHER IMPROVEMENTS TO BE REMOVED PROPERLY.

EXISTING CONNECTING UTILITIES TO BE REMOVED ACCORDING TO THE REQUIREMENTS OF THE UTILITY PROVIDER. EXISTING WATER WELL TO BE ABANDONED BY A LICENSED WATER WELL DRILLER OR PUMP INSTALLER IN ACCORDANCE WITH 312IAC 13, RULE 10. SEPTIC FIELD, TANK AND COMPONENTS TO BE REMOVED ACCORDING TO THE PROTOCOL FOR ON-SITE SEWAGE SYSTEM ABANDONMENT FROM THE INDIANA STATE DEPARTMENT OF HEALTH.

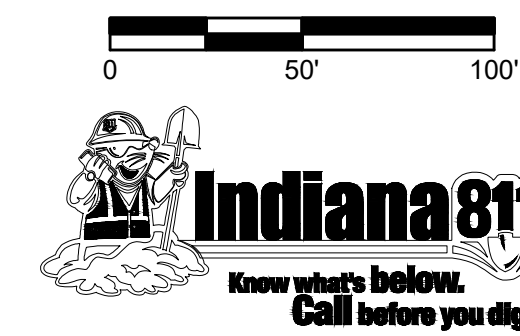
COORDINATE WITH THE PROPER UTILITY COMPANIES CONCERNING THE REMOVAL OF OVERHEAD LINES, POLES, AND EQUIPMENT WHILE MAINTAINING SERVICE TO SURROUNDING PROPERTIES.

NO TREES WITHIN THE CONSTRUCTION LIMITS ARE TO BE DISTURBED UNLESS NOTED WITHIN THESE PLANS OR APPROVED BY THE DEVELOPER.

NOTE:

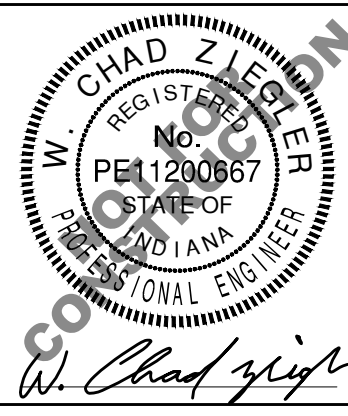
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SEE SHEET C103 FOR CONTINUATION

DEMOLITION / CLEARING PLAN
OXFORD SQUARE - PRIMARY PLAT
SOUTHEAST OF S. CR 600 E. & E. CR 600 S.
PLAINFIELD, INDIANA



BANNING ENGINEERING
 853 COLUMBIA ROAD, SUITE #101
 PLAINFIELD, IN 46166
 BUS: (317) 707-3700 FAX: (317) 707-3800
 E-MAIL: Banning@BanningEngineering.com
 WEB: www.BanningEngineering.com

Date	12/23/2025
Revisions	1 REVISED TEXT FOR PRIVATE ALLEY
Sym.	SAB
Designed	SAB
Drawn	SAB
Checked	SAB
Scale	1" = 50'
Date	10-20-2025

LEGEND

OHU	OVERHEAD UTILITY LINE
G	GAS LINE
T	UNDERGROUND TELEPHONE
E	UNDERGROUND ELECTRIC LINE
F	FLOW LINE
S	SANITARY SEWER LINE
ST	STORM SEWER LINE
X	FENCE
(Tree symbol)	TREE LINE
(Structure symbol)	SANITARY SEWER STRUCTURE
(Structure symbol)	STORM SEWER STRUCTURE
(Box symbol)	ELECTRIC METER
(Box symbol)	ELECTRIC SPLICE BOX
(Box symbol)	ELECTRIC TRANSFORMER
(Circle symbol)	FIRE HYDRANT
(Circle symbol)	GAS METER
(Pole symbol)	LIGHT POLE
(Box symbol)	MAIL BOX
(Pole symbol)	UTILITY POLE
(Well symbol)	WELL
(Sign symbol)	SIGN
(Box symbol)	TELEPHONE SPLICE BOX
(Valve symbol)	WATER VALVE
(Clean-out symbol)	SEWER CLEAN-OUT
(Unit symbol)	AIR CONDITIONING UNIT
(Tree symbol)	TREE

DEMOLITION LEGEND

(X symbol)	LIGHT POLE
(Hatched box)	WIRE AND BRUSH REMOVAL
(Hatched box)	ELECTRIC METER
(Hatched box)	EXISTING BUILDING, UNDERGROUND CONDUIT, RIP-RAP & ETC.
(Box symbol)	TELEPHONE SPLICE BOX
(Line symbol)	WATER CONSTRUCTION LIMITS
(Circle symbol)	FIRE HYDRANT

NO TREES WITHIN THE CONSTRUCTION LIMIT ARE TO BE DISTURBED UNLESS NOTED WITHIN THESE PLANS OR APPROVED BY THE DEVELOPER.

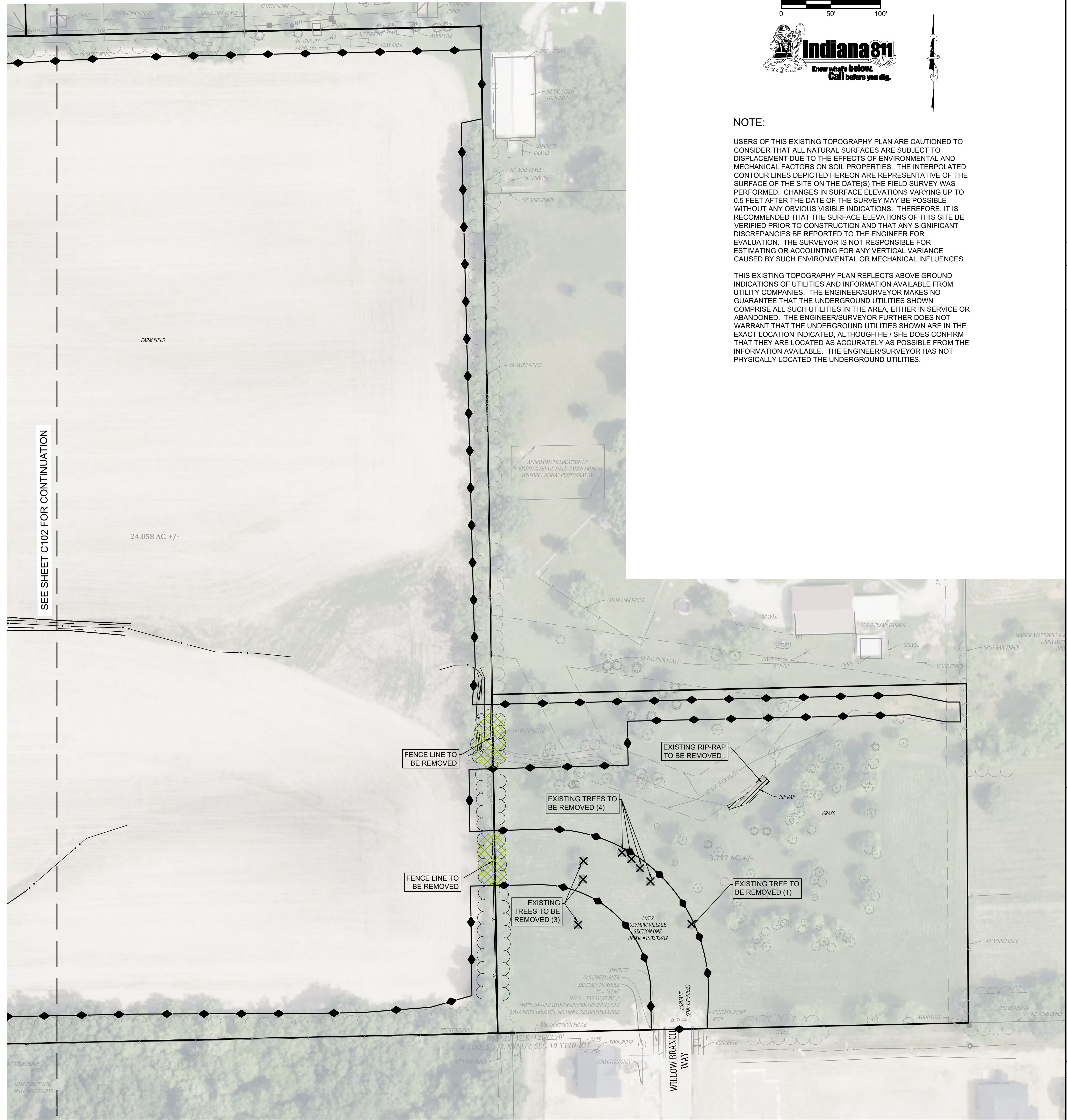
DEMOLITION NOTES:

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COORDINATE WITH THE PROPER UTILITY COMPANIES CONCERNING THE REMOVAL OF OVERHEAD LINES, POLES, AND EQUIPMENT WHILE MAINTAINING SERVICE TO SURROUNDING PROPERTIES.

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NOTE:

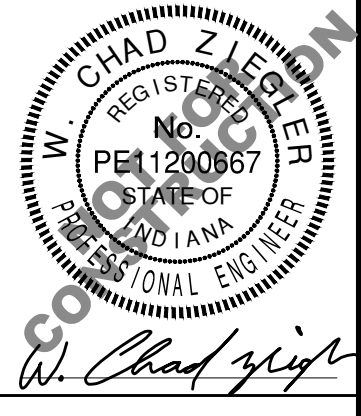
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SEE SHEET C102 FOR CONTINUATION

Date	12/23/2025
Revisions	
Sym.	1
Designated	SAB
Drawn	SAB
Checked	SAB
Scale	1" = 50'
Date	10-20-2025

DEMOLITION / CLEARING PLAN
OXFORD SQUARE - PRIMARY PLAT
SOUTHEAST OF S. CR 600 E. & E. CR 600 S.
PLAINFIELD, INDIANA



BANNING ENGINEERING
 853 COLUMBIA ROAD, SUITE #101
 PLAINFIELD, IN 46165
 BUS: (317) 707-3700 FAX: (317) 707-3800
 E-MAIL: Banning@BanningEngineering.com
 WEB: www.BanningEngineering.com

NOTES:

- SIDEWALKS WILL BE LOCATED ON ALL STREETS THROUGHOUT THIS SUBDIVISION. SEE SHEET C107 FOR TYPICAL CROSS SECTION
- ALL BACK OF CURB RADII AT INTERSECTIONS TO HAVE A RADIUS OF 25 FEET UNLESS OTHERWISE NOTED.
- ALL AREAS AND DIMENSIONS SHOWN ON THIS PLAN ARE APPROXIMATE UNTIL CONSTRUCTION PLANS AND PLAT ARE COMPLETE.

LEGEND

- D. - DRAINAGE
- U. - UTILITY
- L.S. - LANDSCAPE
- E. - EASEMENT
- VAR. - VARIABLE
- R/W - RIGHT OF WAY
- B.S.L. - BUILDING SETBACK LINE
- sq. ft. - SQUARE FEET
- T.P.E. - TREE PRESERVATION EASEMENT

PARCEL / LOT SUMMARY (RF):	
TOTAL AREA:	28.59 Ac. ±
TOTAL COMMON AREA:	4.84 Ac. ± 16.93% ±
TOTAL LOT AREA:	18.46 Ac. ± 64.56% ±
RIGHT-OF-WAY:	5.30 Ac. ± 18.51% ±
NUMBER OF LOTS:	87
MINIMUM LOT WIDTH:	60'
FULL INTERIOR R/W WIDTH:	50' (LOCAL)
MINIMUM LOT AREA:	6,000 sq. ft.
FRONT YARD SETBACK:	30'
SIDE YARD SETBACK:	8'
REAR YARD SETBACK:	20'

LEGAL DESCRIPTION

Source of Title:

Damon N. Jones Revocable Trust - Instrument Number 201920668
 Parcel ID: 32-15-10-100-001.000-011
 Josh & Beth Wade Instrument Number 202137480
 Parcel ID: 32-15-10-100-003.000-011
 Jim & Sara Luebbert - Instrument Number 201820182
 Parcel ID: 32-15-10-125-001.000-011

Part of Lot 2 of Olympic Village Section One per plat thereof recorded as Instrument Number 19820432 in the Office of the Recorder of Hendricks County and a Part of the North Half of the Northwest Quarter of Section 10, Township 14 North, Range 1 East of the Second Principal Meridian in Hendricks County, Indiana described as follows:

Beginning at the southwest corner of said Lot 2; thence South 88 degrees 43 minutes 57 seconds West along the south line of the northwest quarter of said Section 10 a distance of 1336.95 feet to the southwest corner of said north half also being the southwest corner of the land of Josh and Beth Wade recorded as Instrument Number 202137480 in the Office of the Recorder of Hendricks County; thence North 00 degrees 59 minutes 25 seconds West along the west line of said north half 150.00 feet to the northwest corner of said land of Josh and Beth Wade; thence North 88 degrees 43 minutes 57 seconds East along the north line of said land of Josh and Beth Wade 50.00 feet to the southeast corner of the land of the Town of Plainfield recorded as Instrument Number 202100843 in said recorder's office; thence North 00 degrees 59 minutes 25 seconds West along said east line 503.20 feet to the north of the land of Damon N. Jones Revocable Trust recorded as Instrument Number 201920668 is said recorder's office (the following three (3) calls follow along the westerly lines of said land of Damon N. Jones Revocable Trust); 1) thence North 88 degrees 46 minutes 20 seconds East 609.81 feet; 2) thence North 00 degrees 57 minutes 39 seconds West 359.99; 3) thence North 88 degrees 46 minutes 44 seconds East along said north line 677.50 feet to the east line of the northwest quarter of said Section 10; thence South 00 degrees 57 minutes 33 seconds East along said east line 671.65 feet; thence North 88 degrees 41 minutes 35 seconds East 477.00 feet to the east line of said Lot 2; thence South 00 degrees 20 minutes 30 seconds East along said east line 340.94 feet to the southeast corner of said Lot 2; thence South 88 degrees 43 minutes 57 seconds West along the south line of said Lot 2 a distance of 473.32 feet to the POINT OF BEGINNING, containing 28.775 acres, more or less.

Curve Table						
Curve #	Length	Radius	Delta	Tangent	Chord Bearing	Chord Distance
C1	15.70'	10.00'	089°57'14"	9.99'	S46°14'40"E	14.14'
C2	15.72'	10.00'	090°02'46"	10.01'	N43°45'20"E	14.15'
C3	15.71'	10.00'	090°00'00"	10.00'	S43°43'57"W	14.14'
C4	12.57'	8.00'	090°00'00"	8.00'	N46°16'03"W	11.31'
C5	15.71'	10.00'	090°00'00"	10.00'	N43°43'57"E	14.14'
C6	15.71'	10.00'	090°00'00"	10.00'	S46°16'03"E	14.14'
C7	12.57'	8.00'	090°00'00"	8.00'	S43°43'57"W	11.31'
C8	15.71'	10.00'	090°00'00"	10.00'	N46°16'03"W	14.14'
C9	50.02'	50.00'	057°18'59"	27.33'	N62°36'33"W	47.96'
C10	11.41'	10.00'	065°22'32"	6.42'	N33°57'19"W	10.80'
C11	12.57'	8.00'	090°00'00"	8.00'	S43°43'57"W	11.31'
C12	15.71'	10.00'	090°00'00"	10.00'	S46°16'03"E	14.14'
C13	15.71'	10.00'	090°00'00"	10.00'	N43°43'57"E	14.14'
C14	15.71'	10.00'	090°00'00"	10.00'	S43°43'57"W	14.14'
C15	12.57'	8.00'	090°00'00"	8.00'	N46°16'03"W	11.31'
C16	181.20'	115.00'	090°16'38"	115.56'	S46°07'44"E	163.03'
C17	220.59'	140.00'	090°16'38"	140.68'	S46°07'44"E	198.47'
C18	259.98'	165.00'	090°16'38"	165.80'	S46°07'44"E	233.91'



Date: 12/23/2025

Revisions:

Sym.	1	2	3	4	5	6	7	8	9	10
Designated:	SAB	SAB	SAB	SAB	SAB	SAB	SAB	SAB	SAB	SAB
Drawn:	SAB	SAB	SAB	SAB	SAB	SAB	SAB	SAB	SAB	SAB
Checked:	SAB	SAB	SAB	SAB	SAB	SAB	SAB	SAB	SAB	SAB
Scale:	1" = 50'									
Date:	10-20-2025									

REVISED TEXT FOR PRIVATE ALLEY

PRIMARY PLAT
 OXFORD SQUARE - PRIMARY PLAT
 SOUTHEAST OF S. CR 600 E. & E. CR 600 S.
 PLAINFIELD, INDIANA

Chad Ziegler
 Professional Engineer
 State of Indiana

BANNING ENGINEERING
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 WEB: www.BanningEngineering.com

Project No: 24231
 Sheet No: C104

NOTES:

- SIDEWALKS WILL BE LOCATED ON ALL STREETS THROUGHOUT THIS SUBDIVISION. SEE SHEET C107 FOR TYPICAL CROSS SECTION
- ALL BACK OF CURB RADII AT INTERSECTIONS TO HAVE A RADIUS OF 25 FEET UNLESS OTHERWISE NOTED.
- ALL AREAS AND DIMENSIONS SHOWN ON THIS PLAN ARE APPROXIMATE UNTIL CONSTRUCTION PLANS AND PLAT ARE COMPLETE.

LEGEND

- D. - DRAINAGE
- U. - UTILITY
- L.S. - LANDSCAPE
- E. - EASEMENT
- VAR. - VARIABLE
- R/W - RIGHT OF WAY
- B.S.L. - BUILDING SETBACK LINE
- sq. ft. - SQUARE FEET
- T.P.E. - TREE PRESERVATION EASEMENT

PARCEL / LOT SUMMARY (R4 ZONING):
 TOTAL AREA: 28.59 Ac. ±
 TOTAL COMMON AREA: 4.84 Ac. ± 16.93% ±
 TOTAL LOT AREA: 18.46 Ac. ± 64.56% ±
 RIGHT-OF-WAY: 5.30 Ac. ± 18.51% ±

NUMBER OF LOTS: 87
 MINIMUM LOT WIDTH: 60'
 FULL INTERIOR R/W WIDTH: 50' (LOCAL)
 MINIMUM LOT AREA: 6,000 sq. ft.
 FRONT YARD SETBACK: 30'
 SIDE YARD SETBACK: 8'
 REAR YARD SETBACK: 20'

LEGAL DESCRIPTION

Source of Title:

Damon N. Jones Revocable Trust - Instrument Number 201920668

Parcel ID: 32-15-10-100-001.000-011

Josh & Beth Wade Instrument Number 202137480

Parcel ID: 32-15-10-100-003.000-011

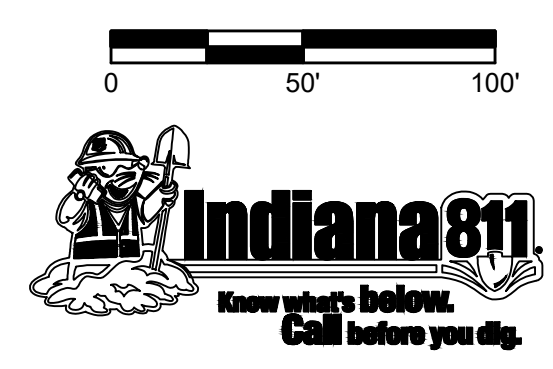
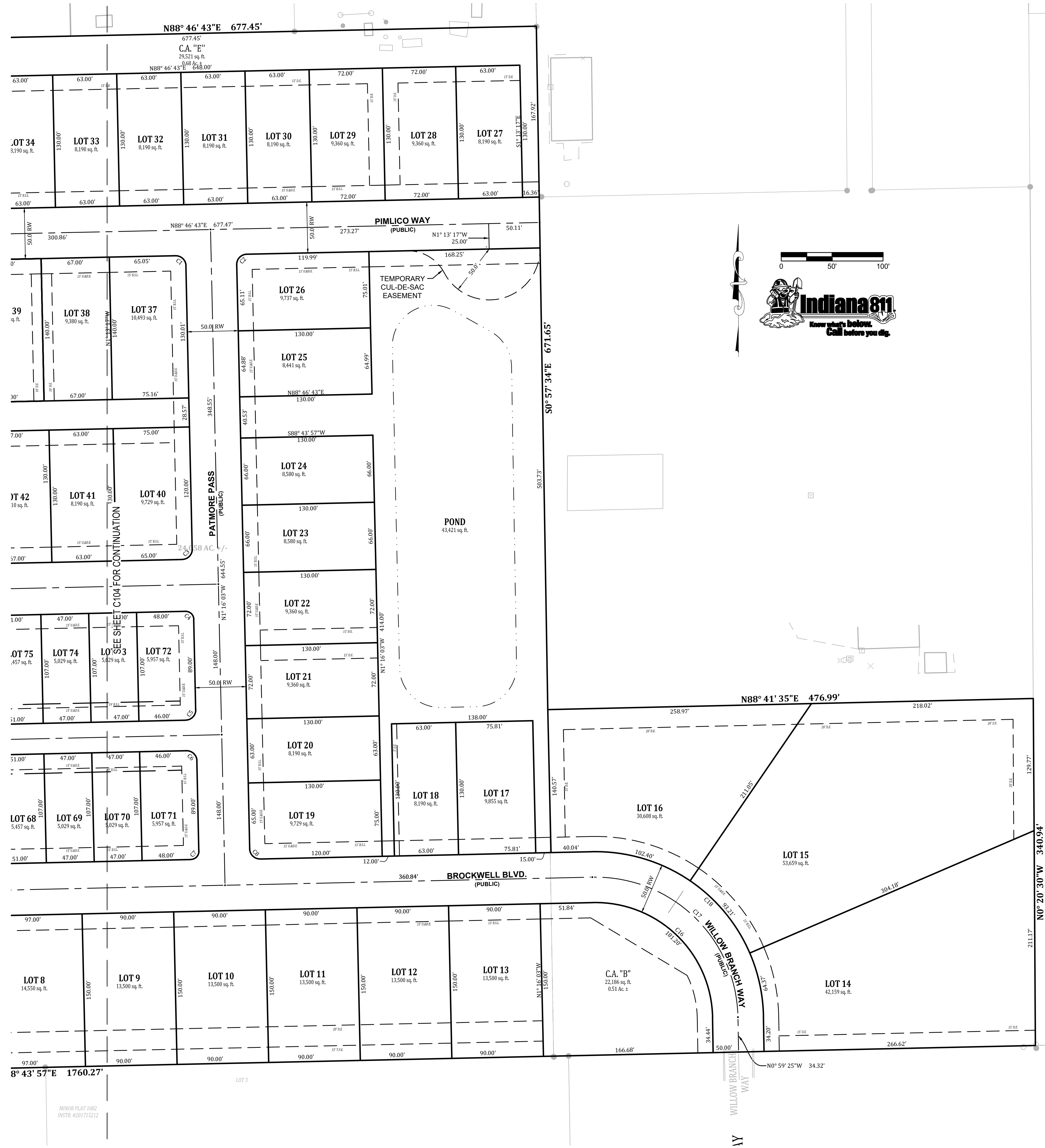
Jim & Sara Luebbert - Instrument Number 201820182

Parcel ID: 32-15-10-125-001.000-011

Part of Lot 2 of Olympic Village Section One per plat thereof recorded as Instrument Number 19820432 in the Office of the Recorder of Hendricks County and a Part of the North Half of the Northwest Quarter of Section 10, Township 14 North, Range 1 East of the Second Principal Meridian in Hendricks County, Indiana described as follows:

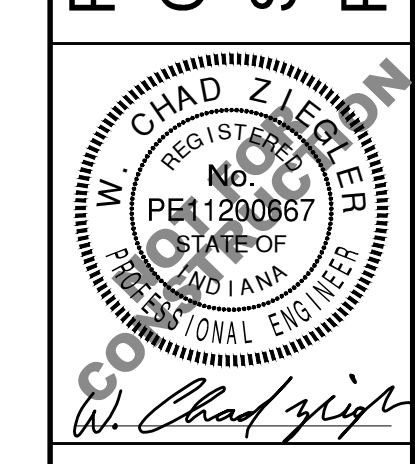
Beginning at the southwest corner of said Lot 2; thence South 88 degrees 43 minutes 57 seconds West along the south line of the northwest quarter of said Section 10 a distance of 1336.95 feet to the southwest corner of said north half also being the southwest corner of the land of Josh and Beth Wade recorded as Instrument Number 202137480 in the Office of the Recorder of Hendricks County; thence North 00 degrees 59 minutes 25 seconds West along the west line of said north half 150.00 feet to the northwest corner of said land of Josh and Beth Wade; thence North 88 degrees 43 minutes 57 seconds East along the north line of said land of Josh and Beth Wade 50.00 feet to the southeast corner of the land of the Town of Plainfield recorded as Instrument Number 202100843 in said recorder's office; thence North 00 degrees 59 minutes 25 seconds West along said east line 503.20 feet to the north of the land of Damon N. Jones Revocable Trust recorded as Instrument Number 201920668 is said recorder's office (the following three (3) calls follow along the westerly lines of said land of Damon N. Jones Revocable Trust); 1) thence North 88 degrees 46 minutes 20 seconds East 609.81 feet; 2) thence North 00 degrees 57 minutes 39 seconds West 359.99; 3) thence North 88 degrees 46 minutes 44 seconds East along said north line 677.50 feet to the east line of the northwest quarter of said Section 10; thence South 00 degrees 57 minutes 33 seconds East along said east line 671.65 feet; thence North 88 degrees 41 minutes 35 seconds East 477.00 feet to the east line of said Lot 2; thence South 00 degrees 20 minutes 30 seconds East along said east line 340.94 feet to the southeast corner of said Lot 2; thence South 88 degrees 43 minutes 57 seconds West along the south line of said Lot 2 a distance of 473.32 feet to the POINT OF BEGINNING, containing 28.775 acres, more or less.

Curve Table						
Curve #	Length	Radius	Delta	Tangent	Chord Bearing	Chord Distance
C1	15.70'	10.00'	089°57'14"	9.99'	S46°14'40"E	14.14'
C2	15.72'	10.00'	090°02'46"	10.01'	N43°45'20"E	14.15'
C3	15.71'	10.00'	090°00'00"	10.00'	S43°43'57"W	14.14'
C4	12.57'	8.00'	090°00'00"	8.00'	N46°16'03"W	11.31'
C5	15.71'	10.00'	090°00'00"	10.00'	N43°43'57"E	14.14'
C6	15.71'	10.00'	090°00'00"	10.00'	S46°16'03"E	14.14'
C7	12.57'	8.00'	090°00'00"	8.00'	S43°43'57"W	11.31'
C8	15.71'	10.00'	090°00'00"	10.00'	N46°16'03"W	14.14'
C9	50.02'	50.00'	057°18'59"	27.33'	N62°36'33"W	47.96'
C10	11.41'	10.00'	065°22'32"	6.42'	N33°57'19"W	10.80'
C11	12.57'	8.00'	090°00'00"	8.00'	S43°43'57"W	11.31'
C12	15.71'	10.00'	090°00'00"	10.00'	S46°16'03"E	14.14'
C13	15.71'	10.00'	090°00'00"	10.00'	N43°43'57"E	14.14'
C14	15.71'	10.00'	090°00'00"	10.00'	S43°43'57"W	14.14'
C15	12.57'	8.00'	090°00'00"	8.00'	N46°16'03"W	11.31'
C16	181.20'	115.00'	090°16'38"	115.56'	S46°07'44"E	163.03'
C17	220.59'	140.00'	090°16'38"	140.68'	S46°07'44"E	198.47'
C18	259.98'	165.00'	090°16'38"	165.80'	S46°07'44"E	233.91'



Designed:	SAB	12/23/2025
Drawn:	SAB	
Checked:	SAB	
Scale:	1" = 50'	
Date:	10-20-2025	

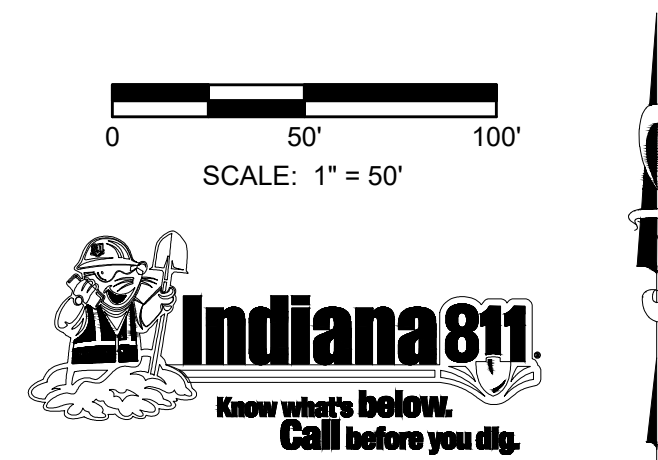
PRIMARY PLAT
OXFORD SQUARE - PRIMARY PLAT
SOUTHEAST OF S. CR 600 E. & E. CR 600 S.
PLAINFIELD, INDIANA



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Project No: 24231
 Sheet No:

C105

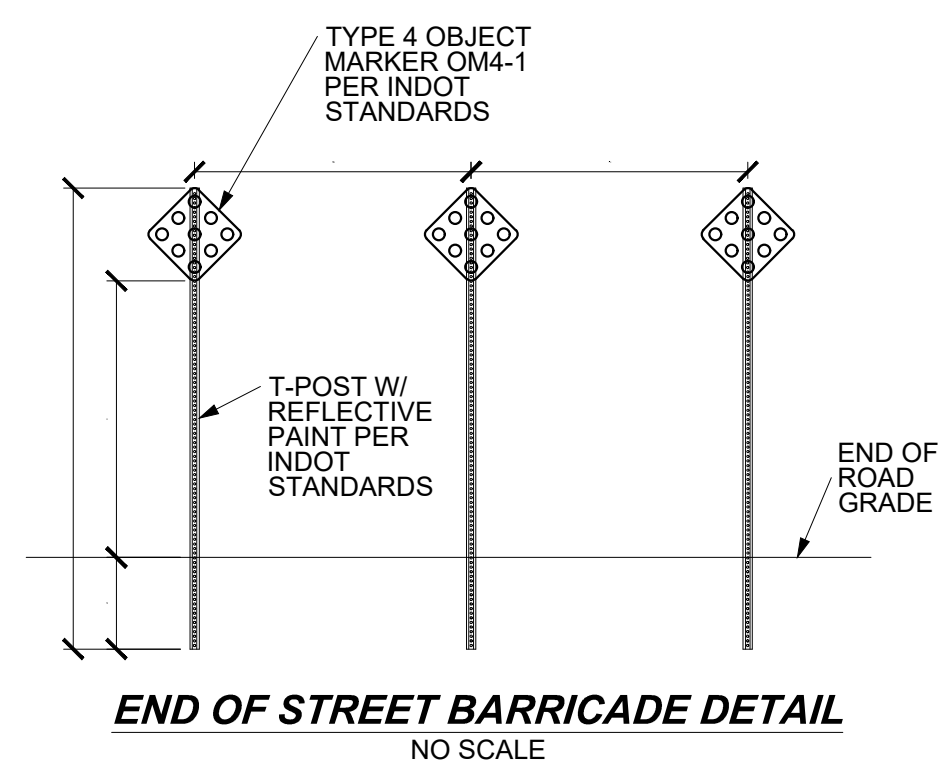


LEGEND

- SPEED LIMIT SIGN (25 MPH)
- STOP AND STREET NAME SIGN
- STOP SIGN
- STOP BAR - SEE TOWN OF PLAINFIELD STANDARDS
- CURB RAMP LOCATION (SEE TOWN OF PLAINFIELD STANDARDS FOR TACTILE STRIP DETAIL)
- CROSSWALK - SEE TOWN OF PLAINFIELD STANDARDS
- END OF STREET BARRICADE - SEE TOWN DETAIL DS-R11
- FIRE HYDRANT
- LIGHT POLE
- INFORMATIONAL SIGN (AS NOTED)
- T.O.P.S. TOWN OF PLAINFIELD STANDARDS

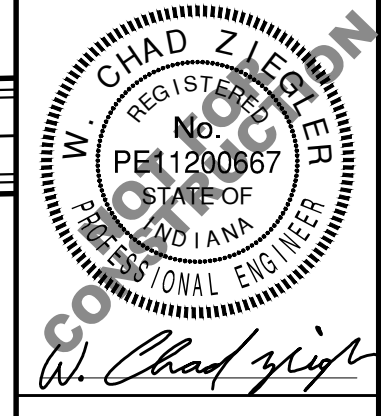
NOTES:

1. ALL SIDEWALKS IN FRONT OF LOTS TO BE CONCRETE AND 5' IN WIDTH UNLESS OTHERWISE NOTED.
2. SEE TOWN OF PLAINFIELD FOR STANDARDS FOR STANDARD SIGNAGE AND ASSOCIATED STRIPING SPECIFICATIONS.
3. CONTRACTOR TO INSTALL ALL ASPHALT PATHS AND CONCRETE WALKS WITHIN AND ADJACENT TO COMMON AREAS.
4. REGULATORY / WARNING SIGNS AND PAVEMENT SHALL BE PER TOWN OF PLAINFIELD STANDARDS, DETAIL DS-R03.
5. ANY TREE REMOVAL SHALL BE APPROVED BY DEVELOPER PRIOR TO CONSTRUCTION.
6. SIGNS, LIGHT POLES, WALKS, PATHS, AND HANDICAP RAMPS SHALL BE PER TOWN OF PLAINFIELD STANDARDS.
7. SYMBOLS ARE LARGER THAN ACTUAL SIZE FOR LOCATION CLARIFICATION.



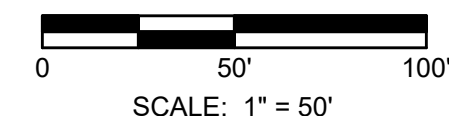
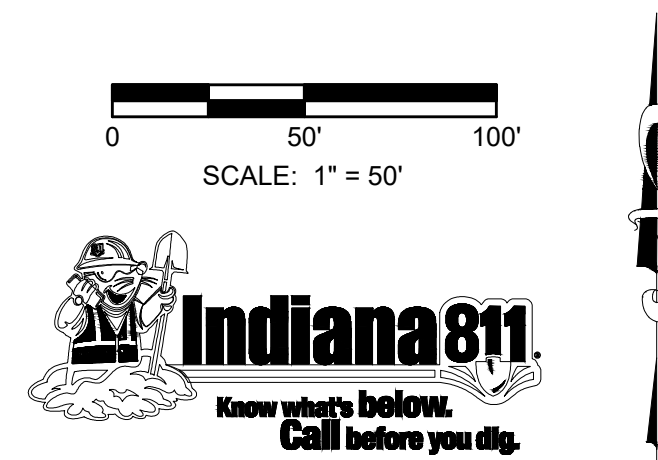
Revisions	Date
1	12/23/2025

Project No: 24231
 Sheet No:
SIDEWALK, SIGNAGE, AND LIGHT PLAN
OXFORD SQUARE - PRIMARY PLAT
SOUTHEAST OF S. CR 600 E. & E. CR 600 S.
PLAINFIELD, INDIANA



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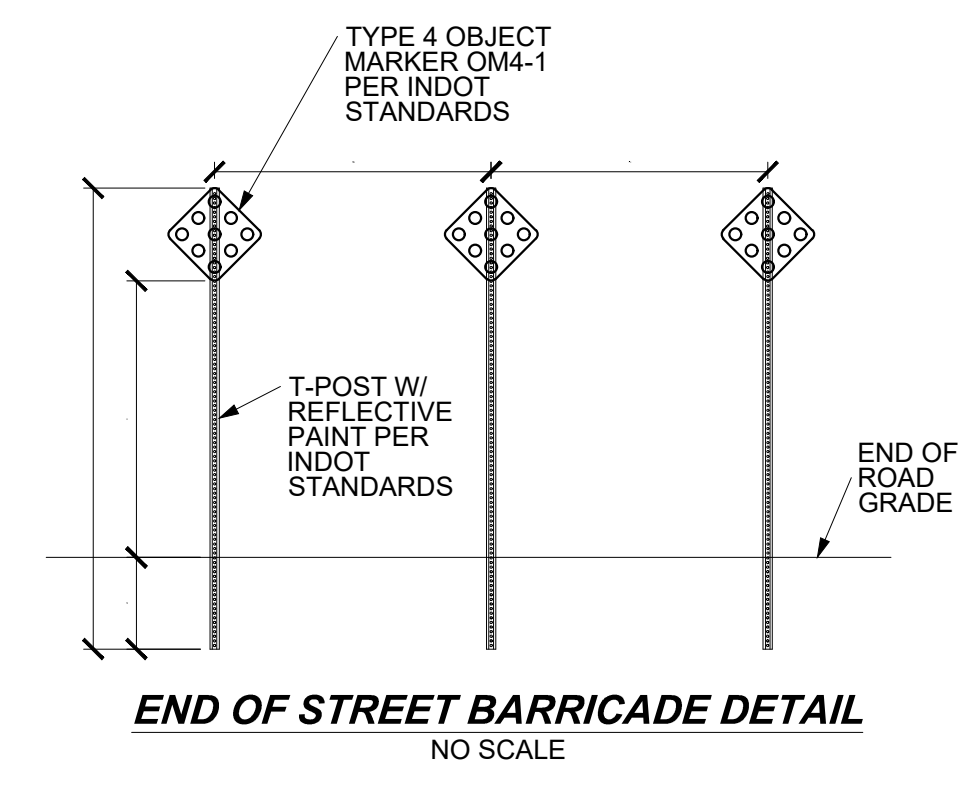


LEGEND

- SPEED LIMIT SIGN (25 MPH)
- STOP AND STREET NAME SIGN
- STOP SIGN
- STOP BAR - SEE TOWN OF PLAINFIELD STANDARDS
- CURB RAMP LOCATION (SEE TOWN OF PLAINFIELD STANDARDS FOR TACTILE STRIP DETAIL)
- CROSSWALK - SEE TOWN OF PLAINFIELD STANDARDS
- END OF STREET BARRICADE - SEE TOWN DETAIL DS-R11
- FIRE HYDRANT
- LIGHT POLE
- INFORMATIONAL SIGN (AS NOTED)
- T.O.P.S. TOWN OF PLAINFIELD STANDARDS

NOTES:

1. ALL SIDEWALKS IN FRONT OF LOTS TO BE CONCRETE AND 5' IN WIDTH UNLESS OTHERWISE NOTED.
2. SEE TOWN OF PLAINFIELD FOR STANDARDS FOR STANDARD SIGNAGE AND ASSOCIATED STRIPING SPECIFICATIONS.
3. CONTRACTOR TO INSTALL ALL ASPHALT PATHS AND CONCRETE WALKS WITHIN AND ADJACENT TO COMMON AREAS.
4. REGULATORY / WARNING SIGNS AND PAVEMENT SHALL BE PER TOWN OF PLAINFIELD STANDARDS, DETAIL DS-R03.
5. ANY TREE REMOVAL SHALL BE APPROVED BY DEVELOPER PRIOR TO CONSTRUCTION.
6. SIGNS, LIGHT POLES, WALKS, PATHS, AND HANDICAP RAMPS SHALL BE PER TOWN OF PLAINFIELD STANDARDS.
7. SYMBOLS ARE LARGER THAN ACTUAL SIZE FOR LOCATION CLARIFICATION.

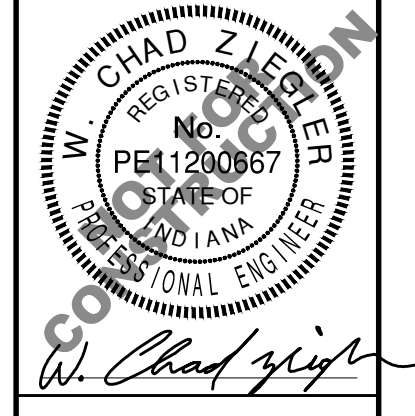


SUPPLEMENTARY SIGN "ALL WAY" (R1-3P)
NOTE: SEE TOWN OF PLAINFIELD STANDARDS.



Date	12/23/2025
Revisions	REVISED TEXT FOR PRIVATE ALLEY
Designated	SAB
Drawn	SAB
Checked	SAB
Scale	1" = 50'
Date	10-20-2025

SIDEWALK, SIGNAGE, AND LIGHT PLAN
OXFORD SQUARE - PRIMARY PLAT
SOUTHEAST OF S. CR 600 E. & E. CR 600 S.
PLAINFIELD, INDIANA



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Project No: 24231
Sheet No:

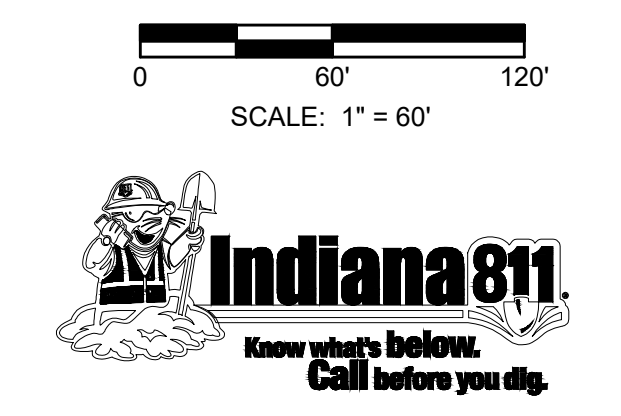
Baldwin, P., 2024A, 24231 Engineering Code Primary Plat Sheet, Files, 24231_PP_UTILITY.dwg, Dec 23, 2025 - 12:19pm

LEGEND

— OHU —	OVERHEAD UTILITY LINE
— G —	GAS LINE
— T —	UNDERGROUND TELEPHONE
— E —	UNDERGROUND ELECTRIC LINE
— FL —	FLOW LINE
— SS —	SANITARY SEWER LINE
— ST —	STORM SEWER LINE
— F —	FENCE
— TL —	TREE LINE
— SWS —	SANITARY SEWER STRUCTURE
— SSS —	STORM SEWER STRUCTURE
— EM —	ELECTRIC METER
— ES —	ELECTRIC SPLICE BOX
— ET —	ELECTRIC TRANSFORMER
— FH —	FIRE HYDRANT
— GM —	GAS METER
— LP —	LIGHT POLE
— MB —	MAIL BOX
— UP —	UTILITY POLE
— W —	WELL
— S —	SIGN
— TSS —	TELEPHONE SPLICE BOX
— WV —	WATER VALVE
— SCS —	SEWER CLEAN-OUT
— ACU —	AIR CONDITIONING UNIT
— T —	TREE

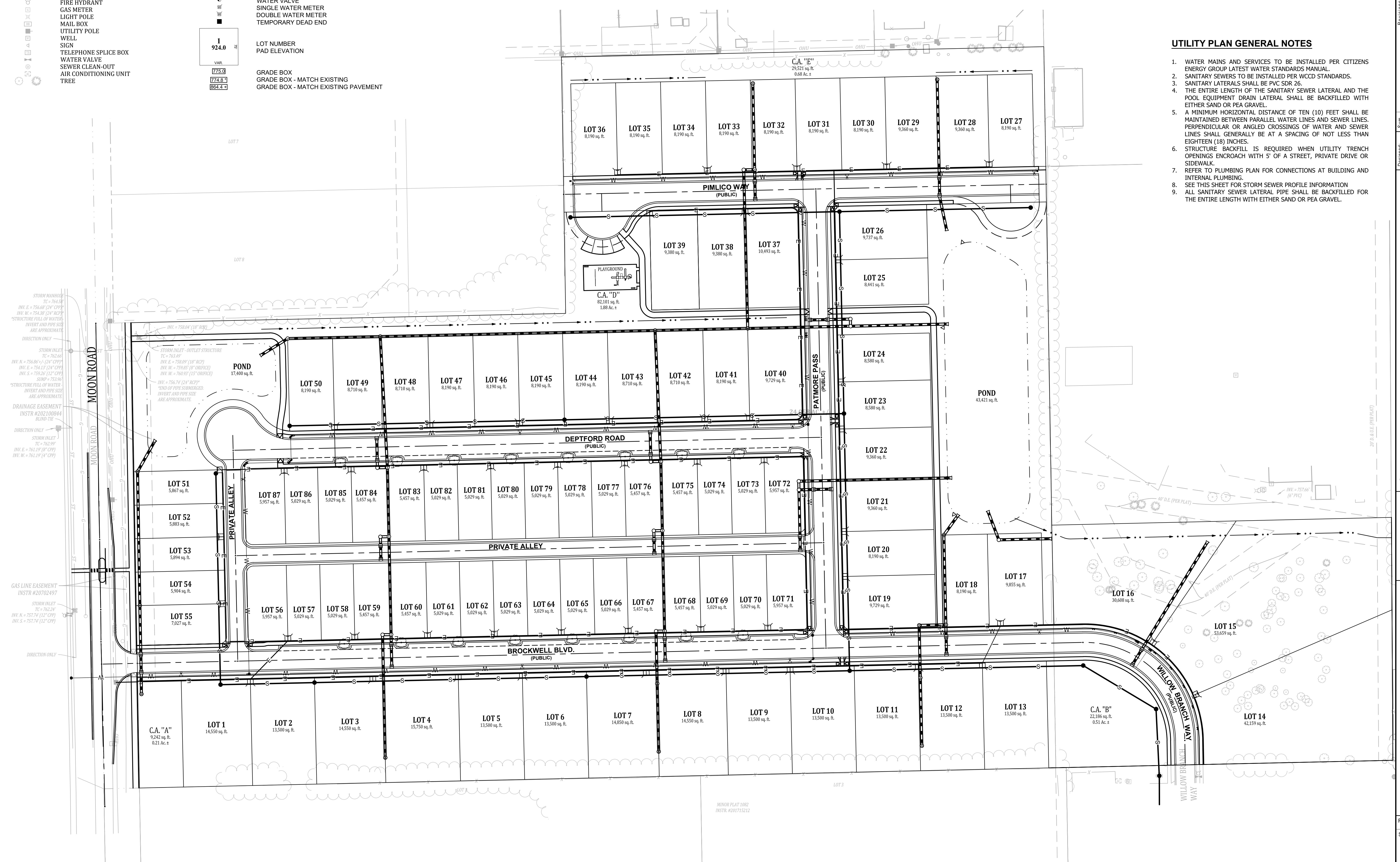
PROPOSED LEGEND

— C —	CURB W/UNDERDRAIN
— S —	STORM SEWER PIPE
— S —	STORM SEWER MANHOLE
— S —	STORM SEWER INLETS
— S —	STORM SEWER CURB INLET
— S —	STORM SEWER END-SECTION
— SD —	SUBSURFACE DRAIN
— S —	SSD LATERAL
— S —	SANITARY FORCEMAIN
— S —	SANITARY SEWER PIPE
— S —	SANITARY SEWER MANHOLE
— W —	WATER MAIN
— S —	FIRE HYDRANT WITH 6" VALVE
— S —	WATER VALVE
— S —	SINGLE WATER METER
— S —	DOUBLE WATER METER
— S —	TEMPORARY DEAD END
— 1 —	LOT NUMBER
— 924.0 —	PAD ELEVATION
— 775.0 —	GRADE BOX
— 774.8 —	GRADE BOX - MATCH EXISTING
— 884.4 —	GRADE BOX - MATCH EXISTING PAVEMENT



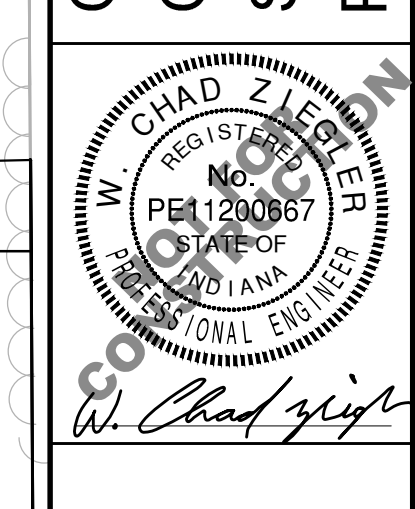
UTILITY PLAN GENERAL NOTES

1. WATER MAINS AND SERVICES TO BE INSTALLED PER CITIZENS ENERGY GROUP LATEST WATER STANDARDS MANUAL.
2. SANITARY SEWERS TO BE INSTALLED PER WCCD STANDARDS.
3. SANITARY LATERALS SHALL BE PVC SDR 26.
4. THE ENTIRE LENGTH OF THE SANITARY SEWER LATERAL AND THE POOL EQUIPMENT DRAIN LATERAL SHALL BE BACKFILLED WITH EITHER SAND OR PEA GRAVEL.
5. A MINIMUM HORIZONTAL DISTANCE OF TEN (10) FEET SHALL BE MAINTAINED BETWEEN PARALLEL WATER LINES AND SEWER LINES. PERPENDICULAR OR ANGLED CROSSINGS OF WATER AND SEWER LINES SHALL GENERALLY BE AT A SPACING OF NOT LESS THAN EIGHTEEN (18) INCHES.
6. STRUCTURE BACKFILL IS REQUIRED WHEN UTILITY TRENCH OPENINGS ENCR OACH WITH 5' OF A STREET, PRIVATE DRIVE OR SIDEWALK.
7. REFER TO PLUMBING PLAN FOR CONNECTIONS AT BUILDING AND INTERNAL PLUMBING.
8. SEE THIS SHEET FOR STORM SEWER PROFILE INFORMATION.
9. ALL SANITARY SEWER LATERAL PIPE SHALL BE BACKFILLED FOR THE ENTIRE LENGTH WITH EITHER SAND OR PEA GRAVEL.



Date	12/23/2025
Revisions	
Sym.	REVISED TEXT FOR PRIVATE ALLEY
Designed:	SAB
Drawn:	SAB
Checked:	SAB
Scale:	1" = 60'
Date:	10-20-2025

OVER ALL UTILITY PLAN
OXFORD SQUARE - PRIMARY PLAT
SOUTHEAST OF S. CR 600 E. & E. CR 600 S.
PLAINFIELD, INDIANA



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Project No: 24231
 Sheet No:
C200

PROPOSED LEGEND

	CURB UNDERDRAIN
	STORM SEWER PIPE
	STORM SEWER MANHOLE
	STORM SEWER INLETS
	STORM SEWER CURB INLET
	STORM SEWER END-SECTION
	SUBSURFACE DRAIN
	SSD LATERAL
	SANITARY FORCE MAIN
	SANITARY SEWER PIPE
	SANITARY SEWER MANHOLE
	WATER MAIN
	FIRE HYDRANT WITH 6" VALVE
	WATER VALVE
	SINGLE WATER METER
	DOUBLE WATER METER
	TEMPORARY DEAD END
	LOT NUMBER PAD ELEVATION
	GRADE BOX
	GRADE BOX - MATCH EXISTING
	GRADE BOX - MATCH EXISTING PAVEMENT

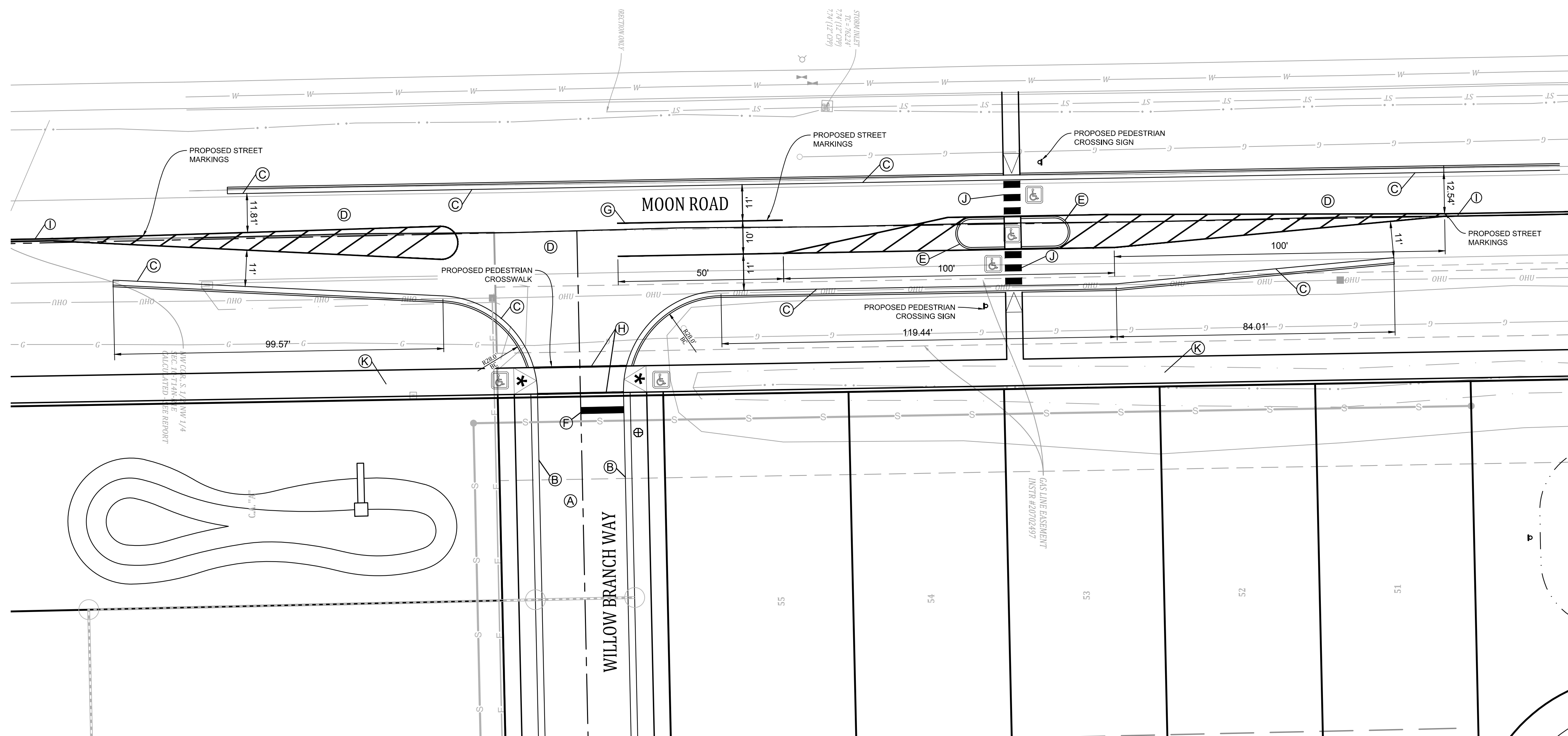
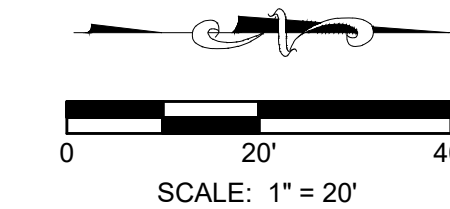
PLAN NOTES:

- (A) RESIDENTIAL STREET PAVEMENT SECTION. SEE TOWN OF PLAINFIELD STANDARD DETAILS SHEET 3 OF 27.
- (B) SUBDIVISION 2' CONCRETE ROLL CURB AND GUTTER SEE TOWN OF PLAINFIELD STANDARD DETAILS SHEET 3 OF 27.
- (C) 2' COMBINED CONCRETE CURB & GUTTER. SEE TOWN OF PLAINFIELD STANDARD DETAILS SHEET 3 OF 27.
- (D) RESIDENTIAL COLLECTOR (d=12") SEE TOWN OF PLAINFIELD STANDARD DETAILS SHEET 3 OF 27.
- (E) 6" CONCRETE STANDING CURB ISLAND PER TOWN OF PLAINFIELD STANDARDS.
- (F) CURB RAMP. SEE TOWN OF PLAINFIELD STANDARD DETAILS (DS-R03) ON SHEET 4 OF 27.

- (G) PAINTED 2' WIDE WHITE STOP BAR
- (H) 4" WHITE THERMOPLASTIC LINE
- (I) 4" YELLOW THERMOPLASTIC LINE
- (J) 4" DOUBLE YELLOW THERMOPLASTIC LINE
- (K) "CONTINENTAL" CROSSWALK IN THERMOPLASTIC 24" WIDE SPACED 4' APART
- (L) 8" ASPHALT TRAIL

NOTES:

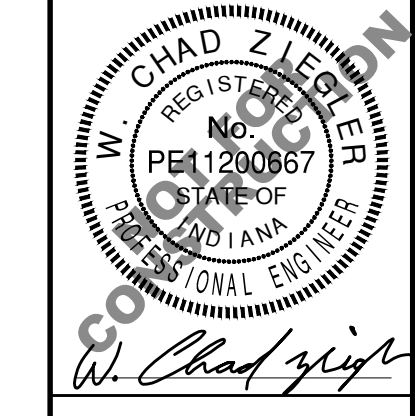
1. ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
2. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY ALL UTILITIES BEFORE CONSTRUCTION BEGINS.
3. FOR 28' WIDE STREET (BC-BC) THE BACK OF CURB GRADE IS .05' HIGHER THAN THE PROFILE GRADE.
4. SLOPES ACROSS CURB RAMPS SHALL BE LESS THAN 2%.



MOON ROAD ENTRANCE DETAIL

Project No:	24231
Sheet No:	C220
Designated:	SAB
Drawn:	SAB
Checked:	SAB
Scale:	1" = 20'
Date:	10-20-2025
Sym:	1
Revisions:	REVISED TEXT FOR PRIVATE ALLEY
Date:	12/23/2025

MOON ROAD ENTRY PLAN
OXFORD SQUARE - PRIMARY PLAT
SOUTHEAST OF S. CR 600 E. & E. CR 600 S.
PLAINFIELD, INDIANA



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EROSION CONTROL PLAN LEGEND

- SILT FENCE AND LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED
- CONSTRUCTION LIMITS
- SILT FENCE ON SHEET C500 - C501
- TEMPORARY ROCK DAM

NOTE: SHADED SYMBOLS INDICATE EXISTING MEASURES SPECIFIED WITH PREVIOUS SECTIONS AND THEY NEED TO BE MAINTAINED.

NOTE:

USERS OF THE EXISTING TOPOGRAPHY PLAN ARE CAUTIONED TO CONSIDER THAT ALL NATURAL SURFACES ARE SUBJECT TO DISPLACEMENT DUE TO THE EFFECTS OF ENVIRONMENTAL AND MECHANICAL FACTORS ON SOIL PROPERTIES. THE INTERPOLATED CONTOUR LINES DEPICTED HEREON ARE REPRESENTATIVE OF THE SURFACE OF THE SITE ON THE DATE(S) THE FIELD SURVEY WAS PERFORMED. CHANGES IN SURFACE ELEVATIONS VARYING UP TO 0.5 FEET AFTER THE DATE OF THE SURVEY MAY BE POSSIBLE WITHOUT ANY OBVIOUS VISIBLE INDICATIONS. THEREFORE, IT IS RECOMMENDED THAT THE SURFACE ELEVATIONS OF THIS SITE BE VERIFIED PRIOR TO CONSTRUCTION AND THAT ANY SIGNIFICANT DISCREPANCIES BE REPORTED TO THE ENGINEER FOR EVALUATION. THE SURVEYOR IS NOT RESPONSIBLE FOR ESTIMATING OR ACCOUNTING FOR ANY VERTICAL VARIANCE CAUSED BY SUCH ENVIRONMENTAL OR MECHANICAL INFLUENCES.

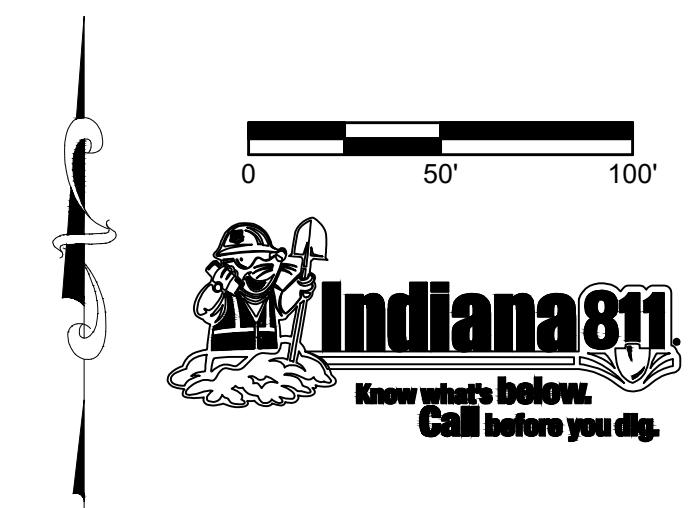
THIS EXISTING TOPOGRAPHY PLAN REFLECTS ABOVE GROUND INDICATIONS OF UTILITIES AND INFORMATION AVAILABLE FROM UTILITY COMPANIES. THE ENGINEER/SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE ENGINEER/SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE / SHE DOES CONFIRM THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE ENGINEER/SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

EXISTING LEGEND

- EXISTING CONTOUR: MAJOR
- EXISTING CONTOUR: MINOR
- OVERHEAD UTILITY LINES
- BURIED ELECTRIC LINE
- POWER POLE
- LIGHT POLE
- GUY WIRE
- ELECTRIC TRANSFORMER
- ELECTRIC BREAKER BOX
- BURIED FIBER OPTIC LINE
- BURIED CABLE TV LINE
- BURIED TELEPHONE LINE
- TELEPHONE SPLICE BOX
- WATER LINE
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- HIGH PRESSURE GAS LINE
- GAS LINE
- GAS VALVE
- GAS METER
- SANITARY FORCE MAIN
- SANITARY SEWER LINE
- SANITARY SEWER MANHOLE
- CLEAN-OUT
- STORM PIPE
- STORM MANHOLE
- STORM INLETS
- FLOWLINE
- FENCELINE
- SIGN
- MAILBOX
- TREELINE / EDGE OF WOODS
- BOULDER
- BUSH
- TREE
- APPROXIMATE CREEK CHANNELS PER DELINEATION REPORT
- APPROXIMATE WETLAND LOCATION PER DELINEATION REPORT

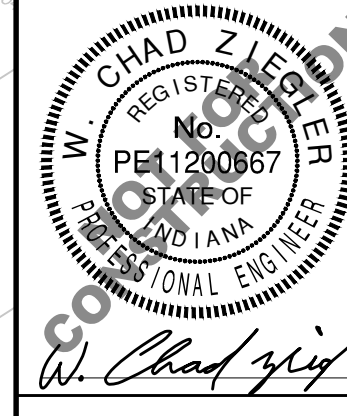
EROSION CONTROL GENERAL NOTES

1. PLEASE REFER TO THE STORMWATER POLLUTION PREVENTION PLAN FOUND ON SHEET C420 FOR THE FOLLOWING:
 - 1.1. IMPLEMENTATION REQUIREMENTS
 - 1.2. STABILIZATION REQUIREMENTS
 - 1.3. MONITORING AND PROJECT MANAGEMENT REQUIREMENTS
 - 1.4. STORMWATER POLLUTION PREVENTION PLAN
2. ALL EROSION CONTROL MEASURES SHALL MEET THE CONSTRUCTION STORMWATER GENERAL PERMIT REQUIREMENTS.
3. REFER TO THE "INDIANA STORM WATER QUALITY MANUAL", "THE URBAN DEVELOPMENT PLANNING GUIDE", AND MANUFACTURES RECOMMENDATIONS FOR INSTALLATION FOR ALL REQUIRED MEASURES.
4. CONTRACTOR TO PROVIDE TEMPORARY SIGNAGE NEAR THE ENTRANCE OF THE PROJECT IDENTIFYING THE RESPONSIBLE PARTIES AND OTHER INFORMATION ABOUT THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY SIGN PERMITS FOR THIS.
5. CONTRACTOR SHALL IMPLEMENT DESIGN CONCEPTS AND STORM WATER QUALITY MEASURES, WHICH ARE SHOWN ON THIS PLAN, TO REDUCE POST CONSTRUCTION POLLUTANTS DISCHARGING FROM THE SITE.
6. ALL PROPOSED EROSION AND SEDIMENT CONTROL SHALL BE IN CONFORMANCE WITH THE TOWN OF AVON. DISCREPANCIES BETWEEN THE PLANS AND THE MANUAL SHALL NOT ALLEVIATE THE CONTRACTOR FROM ADHERING TO THE REQUIREMENTS SET FORTH IN THE MANUAL.
7. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED BY IDEM, AND/OR THE TOWN INSPECTOR.
8. ONLY THOSE AREAS WITHIN THE DESIGNATED CONSTRUCTION LIMITS ARE TO BE DISTURBED DURING CONSTRUCTION.
9. CONTRACTOR TO PROVIDE TEMPORARY SURFACE STABILIZATION OF ANY AREA SCHEDULED OR LIKELY TO REMAIN INACTIVE FOR A PERIOD OF 7 DAYS OR MORE.
10. INSPECTION AND REPAIR OF EROSION CONTROL MEASURES SHALL BE DONE WEEKLY AND AFTER EACH 1/2" RAINFALL EVENT.



Date	12/23/2025
Revisions	
Sym.	1
Designated	SAB
Drawn	SAB
Checked	SAB
Scale	1" = 50'
Date	10-20-2025

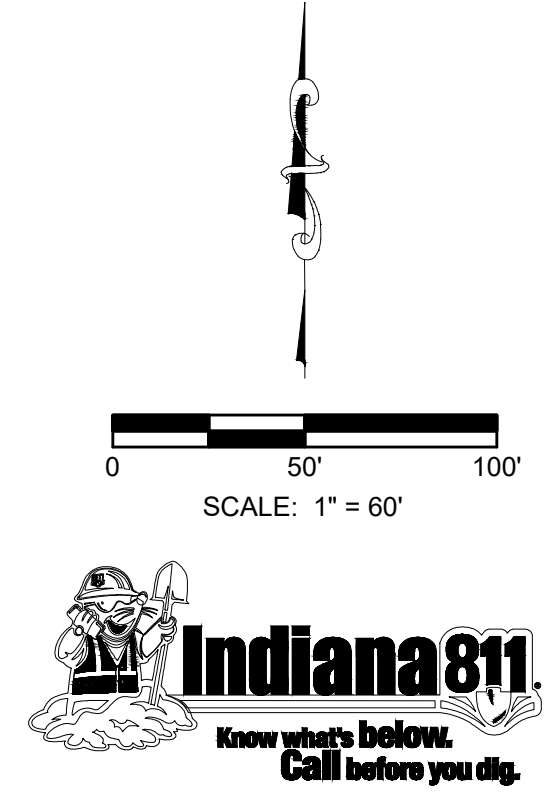
PRELIMINARY EROSION CONTROL PLAN
OXFORD SQUARE - PRIMARY PLAT
 SOUTHEAST OF S. CR 600 E. & E. CR 600 S.
 PLAINFIELD, INDIANA



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- LEGEND**
- OHU OVERHEAD UTILITY LINE
 - G GAS LINE
 - T UNDERGROUND TELEPHONE
 - E UNDERGROUND ELECTRIC LINE
 - F FLOW LINE
 - S SANITARY SEWER LINE
 - ST STORM SEWER LINE
 - W FENCE
 - Y TREE LINE
 - SS SANITARY SEWER STRUCTURE
 - SSS STORM SEWER STRUCTURE
 - EM ELECTRIC METER
 - ESB ELECTRIC SPlice BOX
 - ET ELECTRIC TRANSFORMER
 - FH FIRE HYDRANT
 - GM GAS METER
 - LP LIGHT POLE
 - MB MAIL BOX
 - UP UTILITY POLE
 - WELL WELL
 - SG SIGN
 - TSP TELEPHONE SPlice BOX
 - WV WATER VALVE
 - SCO SEWER CLEAN-OUT
 - AUC AIR CONDITIONING UNIT
 - TREE TREE

- PROPOSED LEGEND**
- CD CURB W/UNDERDRAIN
 - SP STORM SEWER PIPE
 - SM STORM SEWER MANHOLE
 - SI STORM SEWER INLETS
 - SC STORM SEWER CURB INLET
 - SE STORM SEWER END-SECTION
 - SD SUBSURFACE DRAIN
 - SL SSD LATERAL
 - SF SANITARY FORCEMAIN
 - SP SANITARY SEWER PIPE
 - SM SANITARY SEWER MANHOLE
 - W WATER MAIN
 - WH FIRE HYDRANT WITH 6" VALVE
 - WV WATER VALVE
 - WM SINGLE WATER METER
 - DM DOUBLE WATER METER
 - TD TEMPORARY DEAD END
 - FL FLOW LINE
- 924.0 LOT NUMBER
 VAR. PAD ELEVATION
 775.3 GRADE BOX
 774.8 GRADE BOX - MATCH EXISTING
 864.4 GRADE BOX - MATCH EXISTING PAVEMENT
 → EMERGENCY FLOOD ROUTE



Date: 12/23/2025

Revisions:

Sym.	1	REVISED TEXT FOR PRIVATE ALLEY
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Designed: SAB
 Drawn: SAB
 Checked: SAB
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 Date: 10-20-2025

DRAINAGE AND DETENTION PLAN

OXFORD SQUARE - PRIMARY PLAT

SOUTHEAST OF S. CR 600 E. & E. CR 600 S.

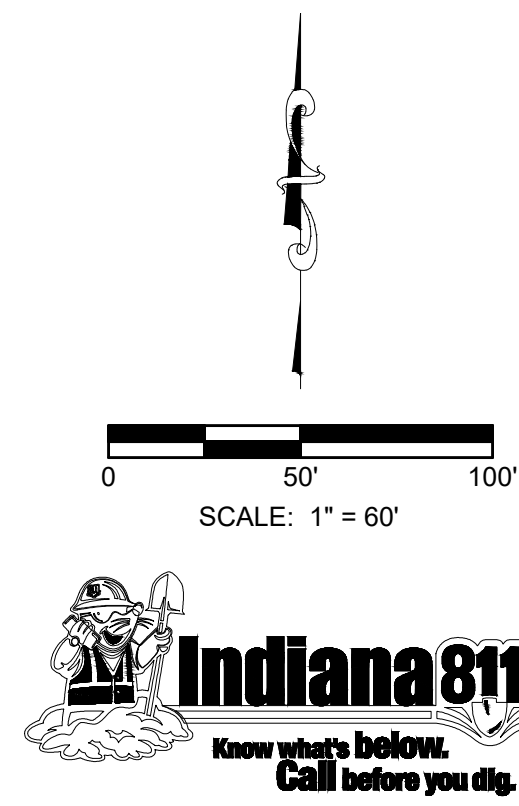
PLAINFIELD, INDIANA

Chad Ziegler

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Project No: 24231
 Sheet No: C320



LEGEND

OHU	OVERHEAD UTILITY LINE
G	GAS LINE
T	UNDERGROUND TELEPHONE
E	UNDERGROUND ELECTRIC LINE
FL	FLOW LINE
S	SANITARY SEWER LINE
ST	STORM SEWER LINE
F	FENCE
TL	TREE LINE
SS	SANITARY SEWER STRUCTURE
SS	STORM SEWER STRUCTURE
EM	ELECTRIC METER
ESB	ELECTRIC SPLICE BOX
ETB	ELECTRIC TRANSFORMER
FH	FIRE HYDRANT
GM	GAS METER
LP	LIGHT POLE
MB	MAIL BOX
UP	UTILITY POLE
W	WELL
S	SIGN
TSSB	TELEPHONE SPLICE BOX
WV	WATER VALVE
SC	SEWER CLEAN-OUT
ACU	AIR CONDITIONING UNIT
T	TREE

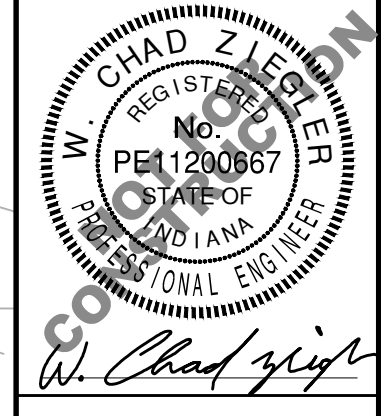
PROPOSED LEGEND

	CURB WUNDERDRAIN
	STORM SEWER PIPE
	STORM SEWER MANHOLE
	STORM SEWER INLETS
	STORM SEWER CURB INLET
	STORM SEWER END-SECTION
	SUBSURFACE DRAIN
	SSD LATERAL
	SANITARY FORCEMAIN
	SANITARY SEWER PIPE
	SANITARY SEWER MANHOLE
	WATER MAIN
	FIRE HYDRANT WITH 6" VALVE
	WATER VALVE
	SINGLE WATER METER
	DOUBLE WATER METER
	TEMPORARY DEAD END
	FLOW LINE
	LOT NUMBER PAD ELEVATION
	GRADE BOX
	GRADE BOX - MATCH EXISTING
	GRADE BOX - MATCH EXISTING PAVEMENT
	EMERGENCY FLOOD ROUTE



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DRAINAGE AND DETENTION PLAN
OXFORD SQUARE - PRIMARY PLAT
 SOUTHEAST OF S. CR 600 E. & E. CR 600 S.
 PLAINFIELD, INDIANA



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