

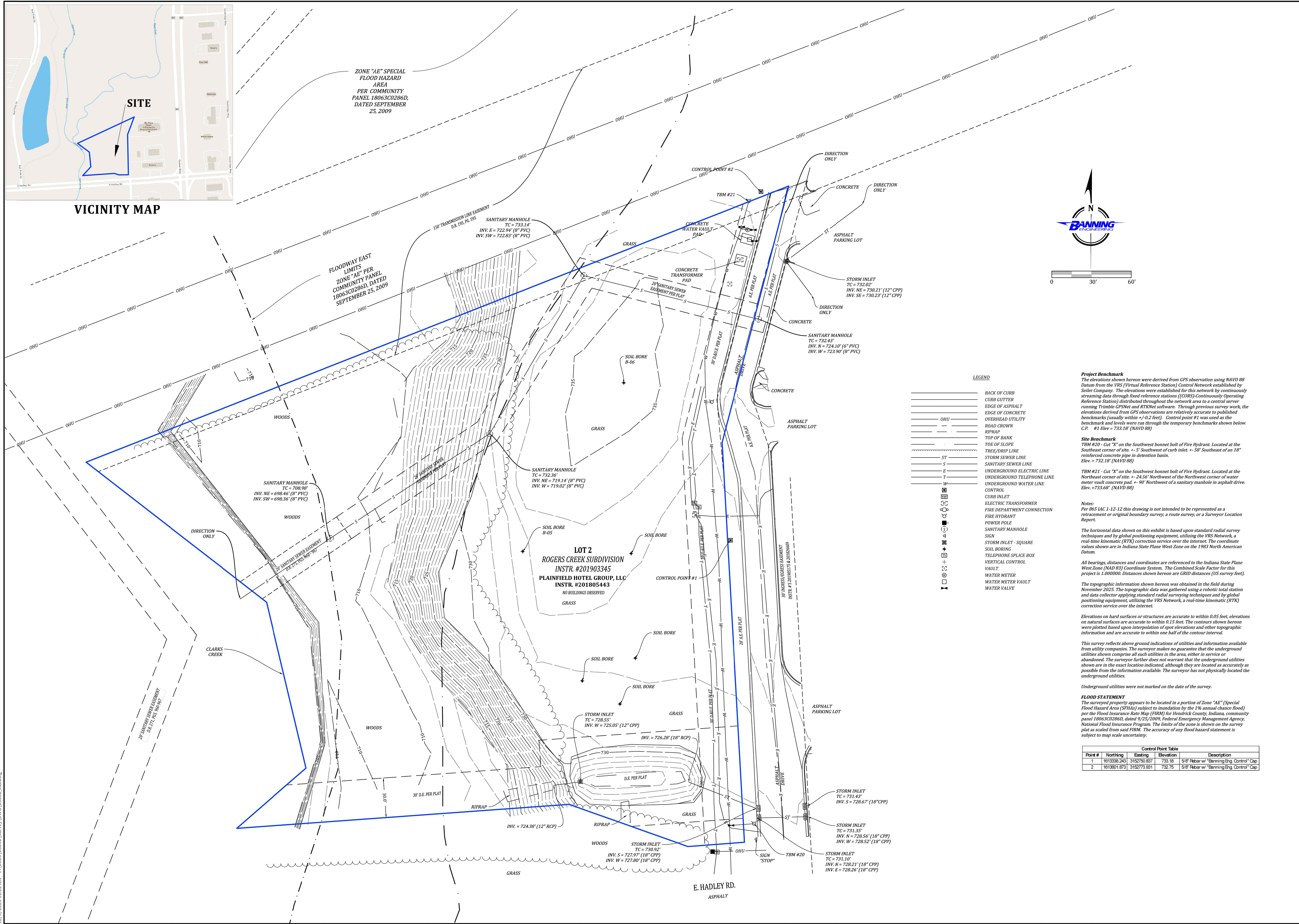




VICINITY MAP

ZONE "AE" SPECIAL FLOOD HAZARD AREA PER COMMUNITY PANEL 18063C0286D, DATED SEPTEMBER 25, 2009

FLOODWAY EAST LIMITS ZONE "AE" PER COMMUNITY PANEL 18063C0286D, DATED SEPTEMBER 25, 2009



**LEGEND**

---	BACK OF CURB
---	CURB GUTTER
---	EDGE OF ASPHALT
---	EDGE OF CONCRETE
---	OVERHEAD UTILITY
---	ROAD CROWN
---	TOP OF BANK
---	TOE OF SLOPE
---	TREE/DRIPLINE
---	STORM SEWER LINE
---	SANITARY SEWER LINE
---	UNDERGROUND ELECTRIC LINE
---	UNDERGROUND TELEPHONE LINE
---	UNDERGROUND WATER LINE
---	CONTROL
---	CURB INLET
---	ELECTRIC TRANSFORMER
---	FIRE DEPARTMENT CONNECTION
---	FIRE HYDRANT
---	POWER POLE
---	SANITARY MANHOLE
---	SIGN
---	STORM INLET - SQUARE
---	SOIL BORING
---	TELEPHONE SPLICE BOX
---	VERTICAL CONTROL
---	VAULT
---	WATER METER
---	WATER METER VAULT
---	WATER VALVE

**Project Benchmark**  
The elevations shown hereon were derived from GPS observation using NAVD 88 Datum from the VRS (Virtual Reference Station) Control Network established by Seiler Company. The elevations were established for this network by continuously streaming data through fixed reference stations (CORS) Continuously Operating Reference Station) distributed throughout the network area to a central server running Trimble GSN and RTKNet software. Through previous survey work, the elevations derived from GPS observations are relatively accurate to published benchmarks (usually within +/-0.2 feet). Control point #1 was used as the benchmark and levels were run through the temporary benchmarks shown below. C.P. #1 Elev = 733.18' (NAVD 88)

**Site Benchmark**  
TBM #20 - Cut "X" on the Southwest bonnet bolt of Fire Hydrant. Located at the Northeast corner of site. + 24.56' Northwest of the Northwest corner of water meter vault concrete pad. + 58' Southeast of an 18" reinforced concrete pipe in detention basin. Elev = 732.18' (NAVD 88)

TBM #21 - Cut "X" on the Southwest bonnet bolt of Fire Hydrant. Located at the Southeast corner of site. + 5' Southwest of curb inlet + 58' Southeast of an 18" reinforced concrete pipe in detention basin. Elev = 733.68' (NAVD 88)

**Notes:**  
For 865 IAC 1-12-12 this drawing is not intended to be represented as a retracement or original boundary survey, a route survey, or a Surveyor Location Report.

The horizontal data shown on this exhibit is based upon standard radial survey techniques and by global positioning equipment, utilizing the VRS Network, a real-time kinematic (RTK) correction service over the internet. The coordinate values shown are in Indiana State Plane West Zone on the 1983 North American Datum.

All bearings, distances and coordinates are referenced to the Indiana State Plane West Zone (NAD 83) Coordinate System. The Combined Scale Factor for this project is 1.000006. Distances shown hereon are GRID distances (US survey feet).

The topographic information shown hereon was obtained in the field during November 2025. The topographic data was gathered using a robotic total station and data collector applying standard radial surveying techniques and by global positioning equipment, utilizing the VRS Network, a real-time kinematic (RTK) correction service over the internet.

Elevations on hard surfaces or structures are accurate to within 0.05 feet, elevations on natural surfaces are accurate to within 0.15 feet. The contours shown hereon were plotted based upon interpolation of spot elevations and other topographic information and are accurate to within one half of the contour interval.

This survey reflects above ground indications of utilities and information available from utility companies. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated, although they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities.

Underground utilities were not marked on the date of the survey.

**FLOOD STATEMENT**  
The surveyed property appears to be located in a portion of Zone "AE" (Special Flood Hazard Area (SFHA) subject to inundation by the 1% annual chance flood) per the Flood Insurance Rate Map (FIRM) for Hendricks County, Indiana, community panel 18063C0286D, dated 9/25/2009, Federal Emergency Management Agency, National Flood Insurance Program. The limits of the zone is shown on the survey plot as scaled from said FIRM. The accuracy of any flood hazard statement is subject to map scale uncertainty.

Point #	Northing	Easting	Elevation	Description
1	1613338.243	3152790.837	733.18	5" B' Rebar w/ "Banning Eng. Control" Cap
2	1613301.873	3152773.931	732.75	5" B' Rebar w/ "Banning Eng. Control" Cap

**TOPOGRAPHIC SURVEY**  
PREPARED FOR: KIMLEY-HORN  
LOT 2 IN ROGERS CREEK SUBDIVISION  
PLAINFIELD, HENDRICKS COUNTY, INDIANA

**BANNING ENGINEERING**  
865 COLUMBIA ROAD, SUITE #101  
PLAINFIELD, IN 46168  
BUS: (317) 707-3700; FAX: (317) 707-3800  
E-MAIL: Banning@BanningEngineering.com  
WEB: www.BanningEngineering.com

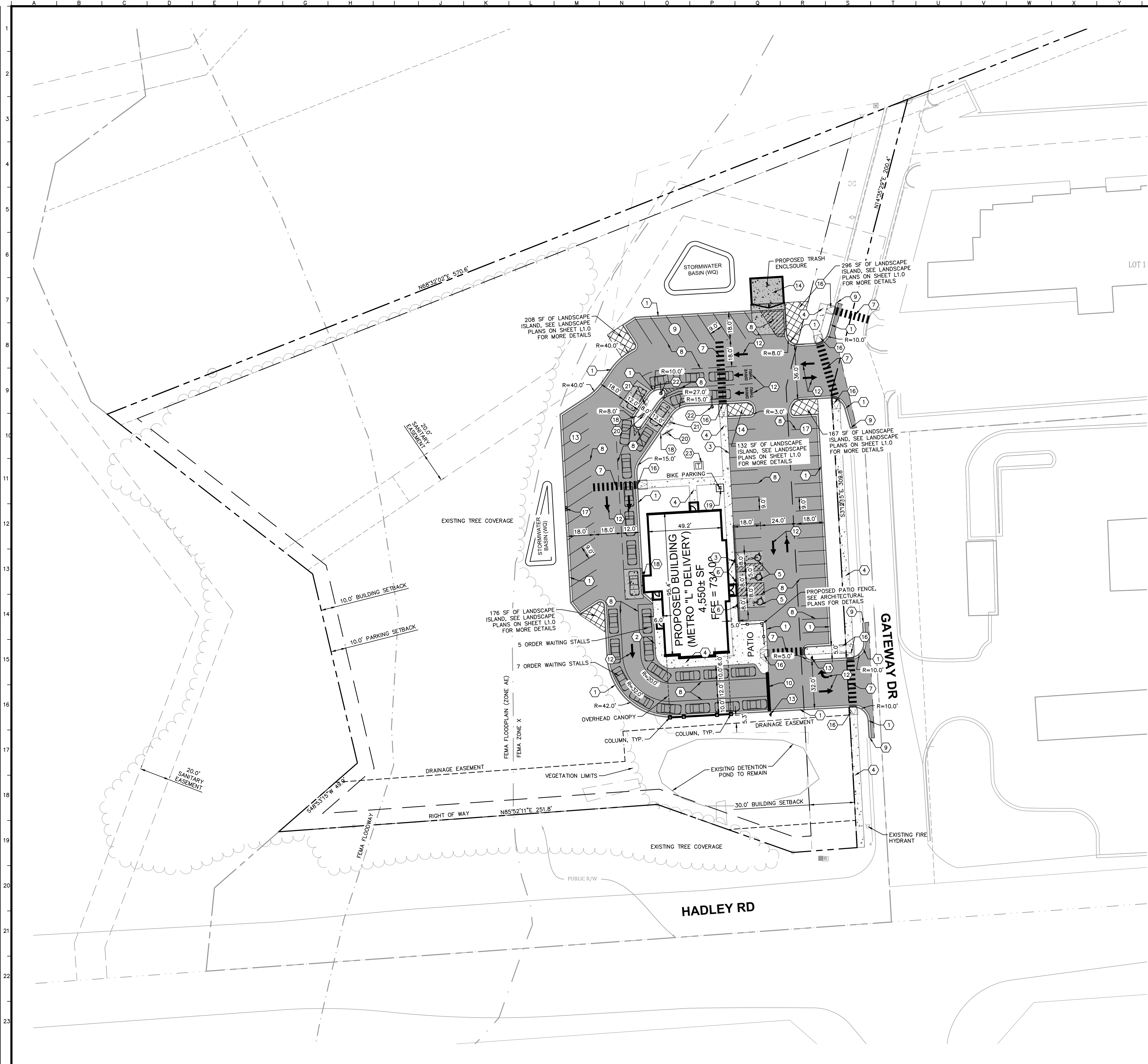
Project No: 25262  
Sheet No:

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Drawing name: K:\CHL\DEV\168974043\_Plainfield\_MV\_Design\CAD\PlanSheets\03.0 - SITE PLAN.dwg C3.0 - Jan 14, 2025 1:22pm by Brett Hickey  
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NORTH

GRAPHIC SCALE IN FEET

**SAFETY IS IN YOUR HANDS.  
EVERY DIG. EVERY TIME.**

- ### GENERAL NOTES
1. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  2. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
  3. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
  4. RADI ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3'-FEET, TYPICAL.
  5. REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
  6. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

- ### KEY NOTES
- 1 6-INCH CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS)
  - 2 CURB FLUSH WITH ADJACENT PAVEMENT
  - 3 INTEGRAL CURB AND WALK (AROUND BUILDING, SEE DETAILS)
  - 4 CONCRETE SIDEWALK, TYP. (SEE DETAILS)
  - 5 ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
  - 6 ACCESSIBLE PARKING SIGN, TYP. (MUTCD R7-8, SEE DETAILS)
  - 7 5-FT WIDE PAINTED CROSSWALK (SEE DETAILS)
  - 8 4" WIDE PAINTED SOLID LINE, TYP.
  - 9 CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
  - 10 24" WIDE STOP BAR, TYP. (SEE DETAILS)
  - 11 STOP SIGN, TYP. (MUTCD R1-1, SEE DETAILS)
  - 12 SITE DIRECTIONAL MARKINGS
  - 13 "DO NOT ENTER" SIGN (SEE SIGNAGE PLANS FOR DETAILS)
  - 14 TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS)
  - 15 MONUMENT OR PYLON SIGN (SEE ARCHITECTURAL PLANS FOR DETAILS)
  - 16 ACCESSIBLE RAMP (SEE DETAILS)
  - 17 3-FT CURB CUT (SEE DETAILS)
  - 18 6" BOLLARD, TYP. (SEE DETAILS)
  - 19 BIKE RACK (SEE DETAILS)
  - 20 PROPOSED MENU BOARD (SEE SIGNAGE PLANS FOR DETAILS)
  - 21 PROPOSED ORDER CONFIRMATION SYSTEM (OCS, SEE SIGNAGE PLANS FOR DETAILS)
  - 22 VEHICULAR HEIGHT DETECTOR (VHD, SEE SIGNAGE PLANS FOR DETAILS)
  - 23 TRANSFORMER PAD (FOR REFERENCE ONLY)
  - 24 LIGHT POLES SHOWN FOR COORDINATION ONLY (SEE SITE LIGHTING PLANS)

### SITE LEGEND

	CONCRETE SIDEWALK SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	STANDARD DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY CONCRETE PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	LANDSCAPE ISLAND
	STANDARD PITCH CONCRETE CURB AND GUTTER
	REVERSE PITCH CONCRETE CURB AND GUTTER
	CONCRETE DEPRESSED CURB AND GUTTER
	SAWCUT LINE

### SITE DATA TABLE

PROPERTY INFORMATION	
PIN:	32-15-01-381-002.000-012
ADDRESS:	5074 GATEWAY DR, PLAINFIELD, IN 46168
TOTAL AREA:	3.46 ACRES
PARKING SUMMARY:	
PARKING SPACES REQUIRED*	= TBD
BASED ON TOWN OF PLAINFIELD REVIEW	
PROPOSED STANDARD PARKING SPACES PROVIDED	= 50 SPACES
PROPOSED ACCESSIBLE PARKING SPACES PROVIDED	= 3 SPACES
TOTAL PARKING SPACES PROVIDED	= 53 SPACES
PROPOSED DRIVE-THRU STACKING SPACES PROVIDED	= 14 SPACES
PROPOSED ORDER WAITING SPACES PROVIDED	= 14 SPACES
REQUIRED INTERIOR LANDSCAPE ISLANDS	= 4 (576-SF)
PROVIDED INTERIOR LANDSCAPE ISLANDS	= 5 (979-SF)

### FEMA NOTE

PER FLOOD INSURANCE RATE MAP PANEL NO. 18063C0286D, THE SITE OR A PORTION OF THE SITE IS LOCATED IN ZONE AE, AREAS OF 100-YEAR FLOODING WITH A BASE FLOOD ELEVATION OF 713 FEET.

 <small>© 2025 KIMLEY-HORN AND ASSOCIATES, INC. 111 WEST JACKSON BOULEVARD, STE 1320 PHONE: 317-728-9445 WWW.KIMLEY-HORN.COM</small>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">           SCALE:            DESIGNED BY: JTW            DRAWN BY: JEA            CHECKED BY: BMH         </td> <td style="width: 50%; text-align: center;">           REVISIONS            No.    BY    DATE         </td> </tr> </table>	SCALE: DESIGNED BY: JTW DRAWN BY: JEA CHECKED BY: BMH	REVISIONS No.    BY    DATE
SCALE: DESIGNED BY: JTW DRAWN BY: JEA CHECKED BY: BMH	REVISIONS No.    BY    DATE		
	<b>SITE PLAN</b>		
<b>CULVER'S</b> 5074 GATEWAY DR PLAINFIELD, IN 46168	ORIGINAL ISSUE: 12/11/2025 KHA PROJECT NO. 168974043 SHEET NUMBER <b>C3.0</b>		





Drawing name: K:\CH\LDV\16897404\_Culver's\_Plainfield\_INV\_Design\CAD\PlanSheets\A2.2 - SWPPP.dwg  
C4.2 Jan 14, 2026 1:22pm by Brett Hickey  
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GENERAL PROJECT INFORMATION	THE EXISTING TOPOGRAPHY WITHIN THE PROJECT SITE IS SHOWN ON SHEET C2.0 - EXISTING CONDITIONS AND DEMOLITION PLAN.	DISTURBED AREAS SO THAT THEY ARE LESS LIKELY TO BE CARRIED OFFSITE BY STORMWATER RUNOFF OR WIND WITHIN 14 DAYS AFTER CONSTRUCTION ACTIVITY CESSATION ON ANY PARTICULAR AREA, ALL DISTURBED GROUND WHERE THERE WILL NOT BE CONSTRUCTION FOR LONGER THAN 14 DAYS MUST BE SEEDED WITH FAST-GERMINATING TEMPORARY SEED AND PROTECTED WITH MULCH. IN THE EVENT OF SNOW COVER, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE THEREAFTER. REFER TO PLANTING PLAN OR SEED CHART FOR RECOMMENDED SEED MIXTURE.	4.1. VERIFY ADEQUATE STONE COVERAGE 4.2. VERIFY CONSTRUCTION ACTIVITIES ARE NOT TRACKING SITE SOIL OUT ONTO ADJACENT ROADWAYS	
<b>SITE NAME</b> THE AREA SCHEDULED FOR CONSTRUCTION IS KNOWN AS "CULVER'S" (HEREINAFTER REFERRED TO AS THE "PROJECT").	<b>A23 PROPOSED FINAL TOPOGRAPHY AT AN INTERVAL APPROPRIATE TO INDICATE DRAINAGE PATTERNS</b> THE PROPOSED TOPOGRAPHY WITHIN THE PROJECT SITE IS SHOWN ON SHEETS C5.0 - GRADING AND DRAINAGE PLAN.	1.2. ANNUAL RYEGRASS SHALL BE USED FROM MARCH THROUGH NOVEMBER. MIXTURE SHALL BE APPLIED AT THE RATE OF 40 LB/ACRE. 1.3. SPRING MIX SHALL BE USED FROM MARCH THROUGH MAY. THIS MIXTURE SHALL BE APPLIED AT THE RATE OF 150 LB/ACRE. THIS MIX SHALL CONSIST OF OATS. 1.4. FALL MIX SHALL BE USED FROM SEPTEMBER THROUGH NOVEMBER. THIS MIXTURE SHALL BE APPLIED AT A RATE OF 150 LB/ACRE. THIS MIX SHALL CONSIST OF WINTER WHEAT.	5. MATERIAL STORAGE 5.1. VERIFY MATERIAL STORAGE AREAS ARE PROTECTED FROM RAINFALL 5.2. VERIFY FLUID IS NOT LEAKING FROM THE AREA 5.3. OFFSITE STORAGE AREAS ARE TO BE CONSIDERED PART OF THE PROJECT	
<b>PROJECT LOCATION</b> THE PROJECT IS LOCATED IN THE TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA. ADDRESS: 5074 GATEWAY DR, PLAINFIELD, INDIANA 46168 LATITUDE: 39°40'32.4"N LONGITUDE: 86°22'23.4"W	<b>SWPPP - CONSTRUCTION - SECTION B</b> <b>B1 DESCRIPTION OF POTENTIAL POLLUTANT SOURCES ASSOCIATED WITH CONSTRUCTION ACTIVITIES</b> THE FOLLOWING POTENTIAL POLLUTANT SOURCES MAY BE ASSOCIATED WITH CONSTRUCTION ACTIVITIES AT THE PROJECT SITE: 1. SIGNIFICANT MATERIAL INVENTORY 1.1. THE VEHICLES USED BY THE FACILITY POSE A THREAT TO STORMWATER RUNOFF. STORMWATER IN THE AREA COULD BE CONTAMINATED BY AUTOMOBILE FLUIDS CONTAINING HEAVY METALS, OIL, GREASE, AND ALCOHOLS. FUELING OF VEHICLES SHOULD OCCUR ONLY IN MAINTENANCE GARAGES, OR OTHER APPROVED LOCATIONS. CONCRETE PAVEMENT SHOULD BE LAID IN FUELING AREAS, AND APPROPRIATE DRAIN COLLECTION SYSTEMS (INDEPENDENT OF STORM SEWER SYSTEMS) SHALL BE INSTALLED. THE VEHICLES SHOULD BE MAINTAINED REGULARLY TO AVOID LEAKAGE. 1.2. THE BITUMINOUS ASPHALT THAT IS BEING LAID ALSO POSES A POTENTIAL POLLUTION RISK. WHEN THE ASPHALT COMES IN CONTACT WITH RAINWATER, PETROLEUM SURFACTANTS CAN BE LIFTED FROM THE ASPHALT AND TRANSPORTED INTO THE STORM SEWER. THESE POLLUTANTS CAN BE HARMFUL TO ANIMALS. 2. POTENTIAL POLLUTANTS 2.1. SOLID WASTE DISPOSAL - NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS ARE ALLOWED TO BE DISCHARGED FROM THE SITE VIA STORMWATER. ALL SOLID WASTE, INCLUDING DISPOSABLE MATERIALS INCIDENTAL TO THE MAJOR CONSTRUCTION ACTIVITIES, MUST BE COLLECTED AND PLACED IN CONTAINERS. ALL CONTAINERS (DUMPSTERS) MUST BE COVERED. INDIANA'S SOLID WASTE REGULATIONS REQUIRE THAT CONSTRUCTION AND DEMOLITION WASTE BE TAKEN TO A PERMITTED SANITARY LANDFILL. NO LIQUIDS OR HAZARDOUS WASTE WILL BE ACCEPTED. THE CONTRACTOR SHALL CONTACT THE NEAREST IDEM FIELD OFFICE TO DETERMINE THE NEAREST PERMITTED SANITARY LANDFILL. NO RUBBLE MAY BE PLACED WITHIN WATERWAYS, FLOODPLAINS, OR WETLANDS WITHOUT IDEM OR JURISDICTION APPROVAL. 2.2. SANITARY FACILITIES - ALL PERSONNEL INVOLVED WITH CONSTRUCTION ACTIVITIES MUST COMPLY WITH STATE AND LOCAL SANITARY OR SEPTIC SYSTEM REGULATIONS. TEMPORARY SANITARY FACILITIES WILL BE PROVIDED AT THE SITE THROUGHOUT THE CONSTRUCTION PHASE. THEY MUST BE UTILIZED BY ALL CONSTRUCTION PERSONNEL AND WILL BE SERVICED BY A COMMERCIAL OPERATOR. 2.3. HAUL MATERIALS - ALL MATERIALS HAULED TO OR FROM THE SITE SHOULD BE SECURED TO PREVENT SPILLING AND ANY SPILLS MUST BE CLEANED UP IMMEDIATELY. 2.4. CONCRETE/MASONRY - A CONCRETE/MASONRY WASHOUT SHALL BE PRESENT ONSITE. CONTRACTOR SHALL NOT USE UNLINED EARTHEN PITS BUT SHALL ENSURE THAT THE WASHOUT IS AN APPROPRIATE SIZE AND INCLUDES A LINING AND SOMETHING TO PREVENT THE POLLUTANTS FROM REACHING THE STORM SEWER SYSTEM AND THE SOILS ONSITE. A PREFABRICATED WASHOUT IS RECOMMENDED TO PROLONG THE LIFE OF THE PREFABRICATED WASHOUTS. SCRAPINGS MAY BE STOCKPILED NEXT TO THE WASHOUT, PROVIDED THE WASHOUT AND STOCKPILE ARE REGULARLY MAINTAINED, LEGIBLY SIGNED WITH USE INSTRUCTIONS, AND THE AREA RESTORED TO PREVIOUS CONDITIONS WHEN FINISHED. 2.5. LITTER - THE CONSTRUCTION SITE SHALL BE KEPT CLEAN AT ALL TIMES. MISCELLANEOUS LITTER POSES A THREAT TO SURROUNDING WATERWAYS AND IS AN AESTHETIC NUISANCE. 2.6. SEDIMENT/ EXPOSED SOIL - ALL EXPOSED SOILS ARE TO BE TEMPORARILY SEEDED OR MULCHED SO AS TO NOT BE LEFT UNEXPOSED FOR MORE THAN 7 DAYS. PROJECT SITE IS TO HAVE SILT FENCE AND INLET PROTECTION FOR SEDIMENT CONTROL.	<b>B12 PERMANENT SURFACE STABILIZATION SPECIFICATIONS</b> THE PURPOSE OF SOIL STABILIZATION IS TO PREVENT SOIL FROM LEAVING THE SITE. IN THE NATURAL CONDITION, SOIL STABILIZED BY NATIVE VEGETATION IS THE PREFERRED TECHNIQUE TO USE AT THIS SITE FOR STABILIZING SITE SOIL WILL BE TO PROVIDE A PROTECTIVE COVER OF TURF GRASS, PAVEMENT, OR BUILDING. 1. STEPS IN INSTALLING AND MAINTAINING PERMANENT SURFACE STABILIZATION MEASURES. 1.1. SOIL PREPARATION - LOOSEN SOIL TO A DEPTH OF 6 INCHES. IF SOIL AMENDMENTS / FERTILIZERS ARE REQUIRED, APPLY AT MANUFACTURER'S RECOMMENDED APPLICATION RATE. 1.2. FERTILIZER FOR LAWNS - PROVIDE A FAST-RELEASE FERTILIZER FOR LAWN APPLICATIONS. 1.3. FERTILIZER FOR TREES / SHRUBS - PROVIDE A SLOW-RELEASE GRANULAR FERTILIZER FOR TREE / SHRUB APPLICATIONS. 1.4. REMOVE TRASH, DEBRIS, STONES LARGER THAN 1 INCH IN DIAMETER, AND OTHER OBJECTS THAT MAY INTERFERE WITH PLANT ESTABLISHMENT. FINE GRADE SOIL SURFACE TO A SMOOTH FINISH. APPLY SEED USING A SPREADER OR SEEDING MACHINE AND DO NOT SEED WHEN WIND VELOCITIES ARE IN EXCESS OF 5 MPH. WHEN SOWING, APPLY IN TWO DIRECTIONS THAT ARE PERPENDICULAR TO EACH OTHER. 1.5. RAKE SEED LIGHTLY INTO THE TOP 1/8 INCH OF SOIL, ROLL LIGHTLY, AND WATER WITH A FINE SPRAY. 1.6. PROTECT FRESHLY SOWN SEED BY INSTALLING A LAYER OF CLEAN, SEED-FREE STRAW MULCH UNIFORMLY TO PROVIDE A BLANKET NOT LESS THAN 1 1/2 INCHES THICK. 1.7. GENTLY WATER AREA TO KEEP STRAW MOIST UNTIL THE SEEDS HAVE ESTABLISHED.	6. SOIL STABILIZATION 6.1. VERIFY THAT SEEDED AREAS EXHIBIT HEALTHY PLANT ESTABLISHMENT 6.2. THE SITE HAS ACHIEVED FINAL STABILIZATION ONCE ALL AREAS ARE EITHER COVERED BY PAVEMENT OR HAVE REACHED 70% OF THE VEGETATION DENSITY. THIS VEGETATION DENSITY MUST BE MAINTAINED IN ORDER TO REMAIN CATEGORIZED AS FINAL STABILIZATION. MEASURES MUST BE TAKEN TO REACH THIS LEVEL IF STANDARD PROCEDURES DO NOT YIELD ADEQUATE PLANT ESTABLISHMENT. 7. EROSION AND SEDIMENT CONTROL INSPECTIONS - THE FOLLOWING IS A LIST OF INSPECTION / MAINTENANCE PRACTICES THAT SHOULD BE CONDUCTED FOR EACH CONTROL MEASURE: 8. GEOTEXTILES/EROSION CONTROL MATS - MISSING / LOOSE MATS SHALL BE REPLACED AND REINSTALLED PER MANUFACTURER'S RECOMMENDATION. 8.1. INLET PROTECTION - INLET PROTECTION MEASURES SHALL BE ROUTINELY INSPECTED AND ACCUMULATED SEDIMENT SHALL BE REMOVED TO ENSURE PROPER OPERATION. 8.2. DIVERSION SWALES - REMOVE ACCUMULATED DEBRIS THAT REDUCES THE HYDRAULIC CAPACITY OF THE SWALE. 8.3. MULCHING - APPLY ADDITIONAL MULCH TO SPARSE OR BARE SPOTS. 8.4. SEDIMENT TRAP - REMOVE ACCUMULATED SEDIMENT TO ENSURE PROPER OPERATION. 8.5. SEDIMENT BASIN - REMOVE ACCUMULATED SEDIMENT TO ENSURE PROPER OPERATION. 8.6. SILT FENCE - REMOVE ACCUMULATED SEDIMENT THAT POSES A THREAT TO THE STABILITY OF THE FENCE (1/3 HEIGHT OF FENCE). 8.7. CONSTRUCTION ENTRANCE - REDRESS ENTRANCE WITH ADDITIONAL STONE PERIODICALLY TO MAINTAIN FUNCTIONALITY. 8.8. VEGETATION - ENSURE NEWLY SEEDD AREAS ARE PROTECTED FROM EROSION. 8.9. GOOD HOUSEKEEPING - VERIFY THAT LITTER, MISCELLANEOUS CONSTRUCTION DEBRIS, CONSTRUCTION RELATED CHEMICALS, AND OTHER POTENTIALLY HARMFUL MATERIALS ARE PROPERLY STORED, COVERED, AND/OR DO NOT HAVE THE POTENTIAL TO ENTER THE STORM SEWER SYSTEM. 9. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, DOWNSTREAM SEDIMENT MUST BE REMOVED IMMEDIATELY TO REDUCE THE RISK OF ADVERSE IMPACTS. 10. BASED ON THE ACTUAL CONDITIONS OBSERVED ONSITE, ANY NECESSARY MODIFICATIONS TO THE PROJECT SWPPP SHALL BE IMPLEMENTED WITHIN 7 CALENDAR DAYS OF THE INSPECTION. ALL MODIFICATIONS TO THE SWPPP SHALL BE RECORDED BY THE CONTRACTOR AND SHALL BE PROVIDED UPON REQUEST. 11. IT IS THE OPERATOR'S SOLE RESPONSIBILITY TO ENSURE THE EROSION AND SEDIMENT CONTROL MEASURES ONSITE ARE SUFFICIENT TO MEET THE REQUIREMENTS OF THE EPA NPDES STORM WATER DISCHARGE PERMIT. IF ADDITIONAL MEASURES ARE REQUIRED, THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING SUCH MEASURES. NOTICE OF TERMINATION (NOT) 12. COMPLIANCE WITH THE GENERAL CONSTRUCTION PERMIT IS THE RESPONSIBILITY OF THE OPERATOR / PERMITTEE WHO SUBMITTED THE NOI UNTIL A NOTICE OF TERMINATION (NOT) HAS BEEN PROCESSED. THE PERMITTEE'S AUTHORIZATION TO DISCHARGE UNDER THE GENERAL CONSTRUCTION PERMIT TERMINATES AT MIDNIGHT OF THE DAY THE NOT IS SIGNED. 13. ALL PERMITTEES MUST SUBMIT AN NOI WITHIN 30 DAYS AFTER ONE OR MORE OF THE FOLLOWING CONDITIONS HAVE BEEN MET: 13.1. FINAL STABILIZATION HAS BEEN ACHIEVED ONSITE 13.2. ANOTHER OPERATOR / PERMITTEE HAS ASSUMED CONTROL OVER THE AREAS OF THE SITE THAT HAVE YET TO ACHIEVE FINAL STABILIZATION 13.3. IN RESIDENTIAL CONSTRUCTION OPERATIONS, TEMPORARY STABILIZATION HAS BEEN COMPLETED AND THE RESIDENCE HAS BEEN TRANSFERRED TO THE HOMEOWNER.	
<b>OWNER'S INFORMATION</b> NAME: MCOON BUILDING CORPORATION ADDRESS: 1509 CIRCLE DRIVE, HIGHLAND, WI REPRESENTATIVE: CHRIS MCGUIRE TELEPHONE: (608) 287-4545				
<b>DEVELOPER'S INFORMATION</b> NAME: MCOON BUILDING CORPORATION ADDRESS: 1509 CIRCLE DRIVE, HIGHLAND, WI REPRESENTATIVE: CHRIS MCGUIRE TELEPHONE: (608) 287-4545				
<b>ASSESSMENT OF CONSTRUCTION PLAN ELEMENTS - SECTION A</b> <b>A1 INDEX SHOWING LOCATIONS OF REQUIRED PLAN ELEMENTS</b> REFER TO THE FOLLOWING LIST FOR LOCATIONS OF REQUIRED PLAN ELEMENTS • C0.0 (TITLE SHEET): A4, A5 • C2.0 (DEMOLITION PLAN): A10, A17, A22 • C3.0 (SITE PLAN): A2, A6 • C4.0-C4.1 (EROSION CONTROL PLAN): A6, A16, A18, A21 • C5.0-C5.1 (GRADING PLAN & DRAINAGE PLAN): A6, A23 • C6.0 (UTILITY PLAN): A6, A9, A19				
<b>A2 11"x17" PLAT</b> REFER TO SHEET C3.0 - OVERALL SITE PLAN.				
<b>A3 PROJECT DESCRIPTION</b> PROJECT CONSISTS OF THE CLEARING OF THE SITE AND CONSTRUCTION OF AN APPROXIMATE 4,550 SF BUILDING WITH ASSOCIATED PARKING, DRIVES, ROADWAY, AND LANDSCAPING IMPROVEMENTS.				
<b>A4 VICINITY MAP</b> REFER TO SHEET C0.0-COVER SHEET.				
<b>A5 LEGAL DESCRIPTION OF THE PROJECT SITE</b> REFER TO SHEET C0.0-COVER SHEET.				
<b>A6 LOCATION OF ALL LOTS AND PROPOSED SITE IMPROVEMENTS</b> REFER TO SHEET C3.0-OVERALL SITE PLAN.				
<b>A7 HYDROLOGIC UNIT CODE (14-DIGIT)</b> 04050001240050				
<b>A8 STATE / FEDERAL WATER QUALITY PERMITS</b> A STATE CONSTRUCTION STORMWATER GENERAL PERMIT WILL BE REQUIRED FOR THIS PROJECT AS PERMITTED BY THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (IDEM).				
<b>A9 SPECIFIC POINTS WHERE STORMWATER DISCHARGE WILL LEAVE THE PROJECT SITE</b> EXISTING STORMWATER DISCHARGE - THE EXISTING SITE IS CURRENTLY A VACATED LOT. THE LOT HAS A STORMWATER BASIN USED BY THE CITY OF THE SOUTHERN SIDE OF THE PROPERTY WHICH CONTAINS 2 STORMWATER STRUCTURES THAT HELP CONTROL DISCHARGE FROM THIS PROPERTY, THE ROAD, AND THE SITE EAST OF THE PROPERTY. POST CONSTRUCTION STORMWATER DISCHARGE - STORMWATER RUNOFF FOR THE PROPOSED 14,933 SF BUILDING WILL BE CAPTURED BY A SERIES OF PROPOSED DRAINAGE INLETS AND DISCHARGED INTO A PROPOSED DRY DETENTION POND JUST EAST OF THE PROPOSED BUILDING. AN OUTLET CONTROL STRUCTURE, LOCATED SOUTH OF THE BASIN, WILL BE UTILIZED TO CONTROL THE ULTIMATE DISCHARGING RATES OF STORMWATER FROM PROPOSED DETENTION POND. THE DETENTION POND WILL DISCHARGE STORMWATER TO AN EXISTING STORM MANHOLE WHICH DIRECTS FLOWS TOWARDS THE EXISTING DETENTION POND WITHIN THE SHARED STORMWATER EASEMENT, LOCATED SOUTH OF THE PROPERTY.				
<b>A10 LOCATION AND NAME OF ALL WETLANDS, LAKES AND WATER COURSES ON AND ADJACENT TO THE PROJECT SITE</b> N/A				
<b>A11 IDENTIFICATION OF RECEIVING WATERS</b> THE PROJECT SITE DISCHARGE ULTIMATELY DISCHARGES TO JUDAY CREEK.				
<b>A12 IDENTIFICATION OF POTENTIAL DISCHARGES TO GROUND WATER</b> RUNOFF WILL NOT BE DISCHARGED TO GROUND WATER.				
<b>A13 100-YEAR FLOODPLAINS, FLOODWAYS, AND FLOODWAY FRINGES</b> PER FLOOD INSURANCE RATE MAP PANEL NO. 18141C0206D & 18141C0208D, DATED 01/06/2011, THE SITE IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.				
<b>A14 PRE-CONSTRUCTION AND POST CONSTRUCTION ESTIMATE OF PEAK DISCHARGE (10-YEAR STORM EVENT)</b> EXISTING CONDITIONS PEAK Q = ±0.89 CFS PROPOSED CONDITIONS PEAK Q = ±0.76 CFS				
<b>A15 ADJACENT LANDUSE INCLUDING UPSTREAM WATERSHED</b> NORTH: RECREATIONAL SOUTH: NATURAL LAND COVERAGE EAST: COMMERCIAL WEST: COMMERCIAL				
<b>A16 LOCATIONS AND APPROXIMATE BOUNDARIES OF ALL DISTURBED AREAS</b> REFER TO EROSION CONTROL PLAN SHEETS FOR APPROXIMATE LIMITS OF DISTURBANCE.				
<b>A17 IDENTIFICATION OF EXISTING VEGETATIVE COVER</b> THE PROJECT SITE IS CURRENTLY BEING MASS GRADED. THE MAJORITY OF THE GROUND COVER IS CURRENTLY TEMPORARY SEEDD VEGETATIVE COVER.				
<b>A18 SOILS MAP INCLUDING SOIL DESCRIPTIONS AND LIMITATIONS</b> THE UNITED STATES DEPARTMENT OF AGRICULTURE (USDA) NATURAL RESOURCES CONSERVATION SERVICE (NRCS) WEB SOIL SURVEY OF JOSEPH COUNTY, INDIANA, INDICATES THAT URBAN LAND-TYNER COMPLEX, 0 TO 1 PERCENT SLOPES (Ugva), AND URBAN LAND-TYNER COMPLEX, 5 TO 10 PERCENT SLOPES (Ugvc) SOILS ARE THE PREDOMINANT SOILS WITHIN THE PROJECT SITE.				
<b>A19 LOCATIONS, SIZE AND DIMENSIONS OF PROPOSED STORMWATER SYSTEMS</b> REFER TO THE UTILITY PLAN FOR INFORMATION ON THE PROPOSED STORM SEWER SYSTEM.				
<b>A20 PLANS FOR ANY OFF-SITE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT</b> NO OFF-SITE CONSTRUCTION ACTIVITIES ARE ANTICIPATED FOR THIS PROJECT.				
<b>A21 LOCATIONS OF PROPOSED SOIL STOCKPILES AND/OR BORROW/DISPOSAL AREAS</b> PROPOSED STOCKPILE LOCATIONS WILL BE SHOWN ON THE EROSION CONTROL PLAN SHEET C4.0.				
<b>A22 EXISTING SITE TOPOGRAPHY AT AN INTERVAL APPROPRIATE TO INDICATE DRAINAGE PATTERNS</b> 1. TEMPORARY SEEDING 1.1. TEMPORARY SEEDING IS THE PLANTING OF FAST-GROWING GRASSES TO HOLD DOWN THE SOILS IN	<b>B3 STABLE CONSTRUCTION ENTRANCE LOCATIONS AND SPECIFICATIONS (AT ALL POINTS OF INGRESS AND EGRESS)</b> REFER TO SHEETS C4.0-C4.1 - EROSION CONTROL PLAN FOR THE PROPOSED LOCATION OF THE CONSTRUCTION ENTRANCE. ENTRANCE SHALL BE INSTALLED PRIOR TO ANY SITE WORK. <b>B4 SEDIMENT CONTROL MEASURES FOR SHEET FLOW AREAS</b> REFER TO SHEETS C4.0-C4.1 - EROSION CONTROL PLAN FOR SHEET FLOW AREAS TO BE PROTECTED BY SEEDING, MULCHING, OR HYDROSEEDING. IF CONCENTRATED FLOW IS EXPERIENCED DUE TO INTERM GRADING DURING CONSTRUCTION, THE CONTRACTOR SHALL UTILIZE EROSION CONTROL BLANKETS AND ROCK DONUTS AT INLET LOCATIONS TO SLOW RUNOFF AND REDUCE THE POTENTIAL FOR EROSION AND SEDIMENTATION. SILT FENCES AND STRAW BALES ARE NOT AN ACCEPTABLE MEASURES FOR CONCENTRATED FLOW PROTECTION. <b>B5 SEDIMENT CONTROL MEASURES FOR CONCENTRATED FLOW AREAS</b> DIVERSION SWALES, EROSION CONTROL BLANKET, ROCK DONUTS AND CHECK DAMS, AND TEMPORARY SEDIMENT BASINS WILL BE USED TO CONTROL SEDIMENT IN CONCENTRATED FLOW AREAS. SEE EROSION CONTROL PLANS SHEETS C4.0-C4.1 FOR LOCATIONS OF THESE MEASURES. EROSION CONTROL MEASURES ARE TO BE INSPECTED AFTER EVERY MAJOR RAINFALL AND A MINIMUM OF ONCE A WEEK. WATER REMOVED FROM TRAPS, BASINS, AND OTHER HOLDING DEPRESSIONS OR EXCAVATIONS MUST FIRST PASS THROUGH A SEDIMENT CONTROL AND/OR FILTRATION DEVICE. WHEN DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. <b>B6 STORM SEWER INLET PROTECTION MEASURE LOCATIONS AND SPECIFICATIONS</b> REFER TO SHEETS C4.0-C4.1 - EROSION CONTROL PLAN FOR INLET PROTECTION MEASURES AT EXISTING/ PROPOSED STORM SEWER INLETS. STRAW BALES WILL NOT BE ALLOWED AS INLET PROTECTION MEASURES. <b>B7 RUNOFF CONTROL MEASURES</b> REFER TO SHEETS C4.0-C4.1 - EROSION CONTROL PLAN FOR RUNOFF CONTROL MEASURES. AREAS OF CONCENTRATED FLOW WILL BE PROTECTED WITH PERMANENT RIP RAP AT PIPE OUTLETS AND EROSION CONTROL BLANKET IN SWALES. <b>B8 STORM WATER OUTLET PROTECTION SPECIFICATIONS</b> PERMANENT RIP RAP WILL BE PROVIDED AT THE PROPOSED STORM WATER OUTLETS AS SHOWN ON SHEETS C4.0-C4.1 - EROSION CONTROL PLAN SHEETS. <b>B9 GRADE STABILIZATION STRUCTURE LOCATIONS AND SPECIFICATIONS</b> RIP RAP AND TEMPORARY EROSION CONTROL BLANKET WILL BE UTILIZED TO PREVENT GRADE DESTABILIZATION. REFER TO SHEET C4.0 - EROSION CONTROL PLAN FOR LOCATIONS AND SHEET C4.1 - EROSION CONTROL DETAILS SHEET FOR DETAILS.	<b>B10 LOCATION, DIMENSIONS, SPECIFICATIONS, AND CONSTRUCTION DETAILS OF EACH STORMWATER QUALITY MEASURE</b> REFER TO SHEETS C4.0 - EROSION CONTROL PLAN SHEET FOR LOCATIONS AND SHEET C4.1 - EROSION CONTROL DETAILS SHEET FOR DETAILS OF CONSTRUCTION PHASE STORMWATER QUALITY MEASURES. <b>B11 TEMPORARY SURFACE STABILIZATION METHODS APPROPRIATE FOR EACH SEASON</b> 1. TEMPORARY SEEDING 1.1. TEMPORARY SEEDING IS THE PLANTING OF FAST-GROWING GRASSES TO HOLD DOWN THE SOILS IN	<b>B13 MATERIAL HANDLING AND SPILL PREVENTION PLAN</b> 1. SOIL TRACKING 1.1. CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE AT THE STABILIZED CONSTRUCTION ENTRANCE AND UTILIZE THE WHEEL WASH PRIOR TO LEAVING THE SITE. THE PURPOSE IS TO TRAP DUST AND MUD THAT WOULD OTHERWISE BE CARRIED OFF-SITE BY CONSTRUCTION TRAFFIC. ALL DIRT TRACKED ONTO PUBLIC AND PRIVATE STREETS SHALL BE CLEANED. 2. DUST CONTROL 2.1. WATER TRUCKS WILL BE USED AS NEEDED DURING CONSTRUCTION TO REDUCE DUST GENERATED ON THE SITE. DUST SUPPLY SHALL BE PROVIDED BY THE GENERAL CONTRACTOR TO A DEGREE THAT IT COMPLIES WITH APPLICABLE LOCAL AND STATE SILT CONTROL REGULATIONS. AFTER CONSTRUCTION, THE SITE WILL BE STABILIZED (AS DESCRIBED ELSEWHERE), WHICH WILL REDUCE THE POTENTIAL FOR DUST GENERATION. 3. WATER SOURCE 3.1. NON-STORMWATER COMPONENTS OF SITE DISCHARGE MUST BE CLEAN WATER. WATER USED FOR CONSTRUCTION, WHICH DISCHARGES FROM THE SITE MUST ORIGINATE FROM A PUBLIC WATER SUPPLY OR PRIVATE WELL APPROVED BY THE STATE HEALTH DEPARTMENT. WATER USED FOR CONSTRUCTION THAT DOES NOT ORIGINATE FROM AN APPROVED PUBLIC SUPPLY MUST NOT DISCHARGE FROM THE SITE. IT CAN BE RETAINED IN THE PONDS UNTIL IT INFILTRATES AND EVAPORATES. 4. CONCRETE WASTE FROM CONCRETE READY-MIX TRUCKS 4.1. DISCHARGE OF EXCESS OR WASTE CONCRETE AND/OR WASH WATER FROM CONCRETE TRUCKS WILL BE ALLOWED ON THE CONSTRUCTION SITE, BUT ONLY IN SPECIFICALLY DESIGNATED DIKED AREAS THAT HAVE BEEN PREPARED TO PREVENT CONTACT BETWEEN THE CONCRETE AND/OR WASH WATER AND STORMWATER THAT WILL BE DISCHARGED FROM THE SITE OR IN LOCATIONS WHERE WASTE CONCRETE CAN BE PLACED INTO FORMS TO MAKE RIPRAP OR OTHER USEFUL CONCRETE PRODUCTS. THE CURED RESIDUE FROM THE CONCRETE WASHOUT DIKED AREAS SHALL BE DISPOSED IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL REGULATIONS. THE JOBSITE SUPERINTENDENT IS RESPONSIBLE FOR ASSURING THAT THESE PROCEDURES ARE FOLLOWED. 5. FUEL TANKS 5.1. TEMPORARY ON-SITE FUEL TANKS FOR CONSTRUCTION VEHICLES SHALL MEET ALL STATE AND FEDERAL REGULATIONS. TANKS SHALL HAVE APPROVED SPILL CONTAINMENT WITH THE CAPACITY REQUIRED BY THE APPLICABLE REGULATIONS. THE TANK SHALL BE IN SOUND CONDITION FREE OF RUST OR OTHER DAMAGE WHICH MIGHT COMPROMISE CONTAINMENT. HOSES, VALVES, FITTINGS, CAPS, FILLER NOZZLES, AND ASSOCIATED HARDWARE SHALL BE MAINTAINED IN PROPER WORKING CONDITION AT ALL TIMES. 6. MASONRY WASTES 6.1. CLEANING MASONRY TOOLS AND EQUIPMENT GENERATE A VARIETY OF WASTES. EXCESS CEMENT AND RINSE WATER ARE TWO EXAMPLES. SWEEP STREETS, GUTTERS, ALLEYS, AND SIDEWALKS RATHER THAN HOISING, REUSE AND RECYCLE MATERIALS IF POSSIBLE AND COLLECT AND PROPERLY DISPOSE OF WASTE. 7. SANITARY FACILITIES 7.1. ALL PERSONNEL INVOLVED WITH CONSTRUCTION ACTIVITIES MUST COMPLY WITH STATE AND LOCAL SANITARY OR SEPTIC SYSTEM REGULATIONS. TEMPORARY SANITARY FACILITIES WILL BE PROVIDED AT THE SITE THROUGHOUT THE CONSTRUCTION PHASE. THEY MUST BE UTILIZED BY ALL CONSTRUCTION PERSONNEL AND WILL BE SERVICED BY A COMMERCIAL OPERATOR. 8. DUMPSTERS (LIDS AND LEAKS) 8.1. WHEN WATER ENTERS THE DUMPSTER, IT CAN PICK UP POLLUTANTS FROM THE WASTE AND LEAK OUT AND EVENTUALLY ENTER THE STORM SEWER SYSTEM. TO PREVENT THIS, DUMPSTER LIDS MUST REMAIN CLOSED AT ALL TIMES AND DUMPSTERS MUST BE INSPECTED FOR LEAKS. NEVER PLACE HAZARDOUS WASTES IN A DUMPSTER OR TRASH BIN. DO NOT HOSE OUT THE DUMPSTER INTERIOR OR LOADING DOCKS. APPLY ABSORBENT OVER ANY FLUIDS SPILLED IN THE DUMPSTER. CHECK LOADING AND UNLOADING EQUIPMENT REGULARLY FOR LEAKS. 9. VEHICLE AND EQUIPMENT LEAKS 9.1. VEHICLES AND CONSTRUCTION EQUIPMENT CONTAIN VARIOUS LIQUID POLLUTANTS THAT MAY LEAK AND ENTER THE STORM SEWER SYSTEM. TO PREVENT THIS, LOOK FOR AND REPORT LEAKS ON VEHICLES WHEN ADDING FUEL. USE SECONDARY CONTAINMENT WHEN TRANSFERRING FUEL FROM THE TANK TRUCK TO THE FUEL TANK. COVER STORM DRAINS IN THE VICINITY DURING THE TRANSFER. CLEAN UP SMALL SPILLS WITH ABSORBENT MATERIALS RATHER THAN HOISING DOWN THE AREA. REMOVE THE ABSORBENT MATERIALS PROMPTLY AND DISPOSE OF IN TRASH. 10. EQUIPMENT MAINTENANCE 10.1. EQUIPMENT REQUIRES MAINTENANCE METHODS THAT CAN PRODUCE POLLUTANTS THAT WILL ENTER THE STORM SEWER SYSTEM IF NOT PROPERLY CLEANED. KEEP ACCURATE MAINTENANCE LOGS AND UP TO DATE INVENTORY OF MATERIALS. PERFORM MAINTENANCE IN COVERED, DESIGNATED SERVICE BAYS WHERE SPILLS AND LEAKS CAN BE PROPERLY CONTAINED. RECYCLE SPENT FLUIDS - DO NOT DUMP DOWN THE DRAIN OR IN THE TRASH. AVOID HOISING DOWN WORK AREAS - USE RAGS FOR SMALL SPILLS, A DAMP MOP FOR GENERAL CLEANUP, AND DRY ABSORBENT FOR LARGER SPILLS. 11. CHEMICALS USED IN CONSTRUCTION 11.1. THE CONSTRUCTION PROCESS REQUIRES THE USE OF MANY CHEMICALS INCLUDING PAINT, SOLVENTS, AND FERTILIZERS. IT IS IMPORTANT TO HANDLE THESE CHEMICALS APPROPRIATELY TO PREVENT CONTAMINATION OF STORM SEWER SYSTEMS AND STORMWATER. STORE STORAGE CONTAINERS WITH SECONDARY CONTAINMENT STRUCTURES TO CONTAIN SPILLED MATERIALS. IT IS PREFERABLE TO STORE MATERIALS INDOORS BUT IF THERE IS ONLY AN OUTDOOR STORAGE AREA AVAILABLE, KEEP MATERIALS COVERED TO PREVENT RAIN FROM CONTACTING THE MATERIAL COVER AND/OR CONTAIN STOCKPILES OR RAW MATERIALS (I.E. SALT, SOIL) TO PREVENT POLLUTED STORMWATER RUNOFF. 12. SPILL CLEANUP PROCEDURES 12.1. IF A SPILL OCCURS, NOTIFY THE KEY SPILL RESPONSE PERSONNEL. IF THE MATERIAL IS HAZARDOUS, CONTACT THE LOCAL FIRE DEPARTMENT. NEVER WASH A SPILL INTO THE STORM DRAIN OR LEAVE IT WITHOUT CLEANING IT UP. CONTAIN SPILLS AND BLOCK THE NEARBY STORM DRAIN. CLEAN UP NON-HAZARDOUS SPILLS BY USING A RAG, DAMP CLOTH, OR ABSORBENT MATERIALS. 12.2. IN CASE OF HAZARDOUS MATERIAL SPILLS, CONTACT THE CORRESPONDING AGENCY, THE INDIANA DEPARTMENT OF ENVIRONMENTAL SPILL RESPONSE LINE CAN BE CONTACTED 24 HOURS-A-DAY, 7 DAYS-A-WEEK AT (317) 233-7745, OR CALL 911. <b>B14 MONITORING AND MAINTENANCE GUIDELINES FOR EACH PROPOSED STORMWATER QUALITY MEASURE</b> INSPECTION SCHEDULE / REPORTING 1. ALL DISTURBED AREAS WITHIN THE PROJECT SITE, INCLUDING ALL EROSION AND SEDIMENT CONTROL DEVICES, SHALL BE INSPECTED EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT TOTALING 1/8" OF RAIN OR MORE. 2. INSPECTIONS AND WRITTEN REPORTS SHALL BE PREPARED BY A QUALIFIED PERSON WHO IS FAMILIAR WITH THIS SWPPP, THE PROJECT, AND THE EPA NPDES STORM WATER GENERAL PERMIT. PAPER COPIES OF INSPECTIONS SHALL BE KEPT ON-SITE FOR INSPECTION BY LOCAL AND STATE OFFICIALS. 3. INSPECTION REPORTS SHALL INCLUDE: 3.1. TYPE OF INSPECTION 3.2. FIELD OBSERVATIONS 3.3. ACTIONS TAKEN AS A RESULT OF INSPECTION RESULTS 3.4. OVERALL ASSESSMENT OF SWPPP COMPLIANCE 3.5. THE CONTRACTOR SHALL KEEP A COPY OF THE REPORTS ONSITE AND PERMANENTLY FOR A PERIOD OF 2 YEARS FOR DOWING CONSTRUCTION. 4. CONSTRUCTION ENTRANCE	<b>B15 EROSION &amp; SEDIMENT CONTROL SPECIFICATIONS FOR INDIVIDUAL BUILDING LOTS</b> SINCE THE ENTIRE PROJECT SITE IS UNDER THE SAME OWNER, THERE ARE NOT ANY INDIVIDUAL BUILDING LOTS. <b>SWPPP - POST CONSTRUCTION - SECTION C</b> <b>C1 DESCRIPTION OF POLLUTANTS AND THEIR SOURCES ASSOCIATED WITH THE PROPOSED LAND USE</b> POTENTIAL POLLUTANTS GENERATED DUE TO THIS PROJECT INCLUDE: 1. LITTER FROM USERS. 2. AUTOMOBILE FLUIDS FROM VEHICLES. <b>C2 SEQUENCE DESCRIBING STORMWATER QUALITY MEASURE IMPLEMENTATION</b> THE PROPOSED DETENTION PONDS WILL BE INSTALLED INITIALLY IN CONJUNCTION WITH STORM INFRASTRUCTURE, FOLLOWED BY GRASS SWALES LOCATED UPSTREAM OF PONDS, WHICH WILL BE INSTALLED IN ACCORDANCE WITH LATER UTILITY INSTALLATION AND GRADING. <b>C3 DESCRIPTION OF PROPOSED POST-CONSTRUCTION STORMWATER QUALITY MEASURES</b> PROPOSED DETENTION POND: - DETENTION PONDS DETAIN STORM WATER RUNOFF LONG ENOUGH FOR CONTAMINATED SEDIMENTS TO SETTLE AND REMAIN IN THE POND AND ALLOW THE WATER IN THE POND TO BE DISPLACED BY THE NEXT RAIN EVENT. THE SEDIMENTATION PROCESS REMOVES PARTICULATE, ORGANIC MATTER, AND METALS FROM THE WATER WHILE NUTRIENTS ARE REMOVED THROUGH BIOLOGICAL UPTAKE, BY CAPTURING AND RETAINING RUNOFF. PONDS CONTROL BOTH STORM WATER QUALITY AND QUANTITY. GOOD HOUSEKEEPING MEASURES: - GOOD HOUSEKEEPING MEASURES SUCH AS REGULAR STREET SWEEPING AND, INSTALLATION OF TRASH RECEPTACLES, AND REDUCTION IN FERTILIZER OVERSPRAY CAN BE INCORPORATED BY THE OWNER AND/OR OCCUPANT. <b>C4 LOCATION, DIMENSIONS, SPECIFICATIONS, AND CONSTRUCTION DETAILS OF EACH STORMWATER QUALITY MEASURE</b> THE FOLLOWING ITEMS ARE STORMWATER QUALITY MEASURES THAT WILL BE INSTALLED DURING CONSTRUCTION. THESE ITEMS WILL REMAIN IN PLACE AFTER CONSTRUCTION IS COMPLETED AND ARE CONSIDERED TO SERVE AN INCIDENTAL FUNCTION AS POST-CONSTRUCTION STORMWATER QUALITY BMPS. DETENTION POND: - THE PROPOSED DETENTION PONDS WILL BE VARYING LENGTHS AND SIZES. ALL POND LOCATIONS CAN BE FOUND ON SHEETS C4.0-C4.1. <b>C5 DESCRIPTION OF MAINTENANCE GUIDELINES FOR POST-CONSTRUCTION STORMWATER QUALITY MEASURES</b> MAINTENANCE REQUIREMENTS FOR THE STORMWATER QUALITY MEASURES WHICH REMAIN IN PLACE AFTER CONSTRUCTION IS COMPLETE, ARE DESCRIBED BELOW. REFER TO THE BMP OPERATIONS AND MAINTENANCE MANUAL FOR MORE DETAILED MAINTENANCE REQUIREMENTS. DETENTION PONDS - INSPECT PERIODICALLY AS NEEDED OR AT LEAST EVERY SIX MONTHS. SEDIMENT SHALL BE DISPOSED OFFSITE IN ACCORDANCE WITH ALL APPLICABLE LAWS. AREAS THAT SHOW SIGN OF EROSION SHALL BE STABILIZED WITH EROSION CONTROL BLANKET AND/OR SEED AS NECESSARY.
			<b>REVISIONS</b> No. DATE BY	
			SCALE: AS NOTED DESIGNED BY: JTH DRAWN BY: JEA CHECKED BY: BMH	
			<b>Kimley»Horn</b> © 2024 KIMLEY-HORN AND ASSOCIATES, INC. 111 WEST JACKSON BOULEVARD, STE 1320 PHONE: 317-728-9445 WWW.KIMLEY-HORN.COM	
			<b>Culverb</b> THE PROPOSED DETENTION PONDS WILL BE INSTALLED INITIALLY IN CONJUNCTION WITH STORM INFRASTRUCTURE, FOLLOWED BY GRASS SWALES LOCATED UPSTREAM OF PONDS, WHICH WILL BE INSTALLED IN ACCORDANCE WITH LATER UTILITY INSTALLATION AND GRADING.	
			<b>SWPPP</b> 5074 GATEWAY DR PLAINFIELD, IN 46168	
			ORIGINAL ISSUE: 12/11/2025 KHA PROJECT NO. 168974043 SHEET NUMBER C4.2	





Drawing name: K:\CHL\_DEV\168974043\_Culver's\_Planfield\_INV.dwg Date: 08.0 Jan 14, 2026 1:23pm By: Brett.Hickey  
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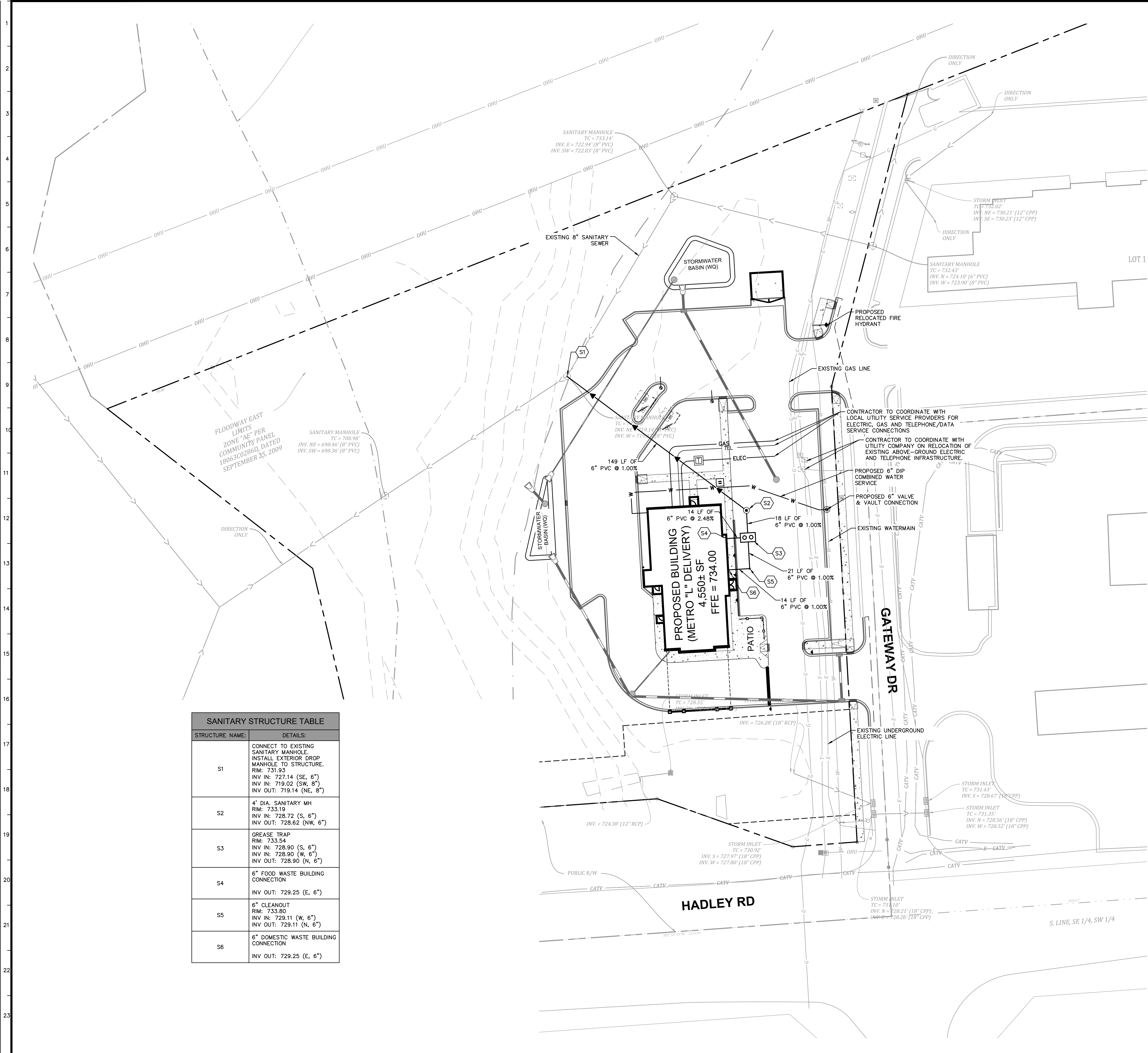
**INDIANA 811**  
 SAFETY IS IN YOUR HANDS.  
 EVERY DIG. EVERY TIME.

- ### UTILITY NOTES
- ALL WATER LINES  $\geq 3"$  SHALL BE DUCTILE IRON PIPE, CLASS 52.
  - ALL SANITARY SEWER LINES SHALL BE PVC MEETING, ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN, THIS PIPE SHALL BE ANNA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER.
  - CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
  - ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
  - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
  - CONTRACTOR TO CALL "INDIANA 811" (1-800-382-5544) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
  - PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED CHANGES FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE TOWN OF PLAINFIELD SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
  - CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
  - CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
  - ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
  - SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
  - LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE SITE LIGHTING PLANS BY OTHERS FOR MORE INFORMATION.
  - SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE CURB LINE.
  - STORMWATER FACILITIES MUST BE FUNCTIONAL BEFORE BUILDING CONSTRUCTION BEGINS IF REQUIRED BY AUTHORITY HAVING JURISDICTION.

### UTILITY LEGEND

	EX. WATER LINE
	EX. HYDRANT
	EX. WATER VALVE
	EX. SANITARY SEWER LINE
	EX. SANITARY SEWER MANHOLE
	EX. SANITARY SEWER CLEANOUT
	EX. STORM DRAIN LINE
	EX. STORM MANHOLE
	EX. STORM STRUCTURE/INLET
	EX. GAS LINE
	EX. GAS METER
	EX. UNDERGROUND ELECTRIC LINE
	EX. UNDERGROUND TELEPHONE LINE
	EX. LIGHT POLE
	PROPOSED UNDERGROUND ELECTRIC LINE
	GAS LINE (BY GAS COMPANY)
	PROPOSED PHONE LINE
	PROPOSED STORM SEWER LINE
	PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NEENAH R-2540) (GRASS USE NEENAH R-4340-B BEEHIVE)
	PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEENAH R-1713) (GRASS USE NEENAH R-1786)
	PROPOSED COMBINATION CURB INLET (B6.12 C&G USE NEENAH R-3281-A)
	PROPOSED FLARED END SECTION
	PROPOSED SANITARY SEWER LINE
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM/SANITARY CLEANOUT
	PROPOSED WATER LINE
	PROPOSED VALVE VAULT
	PROPOSED VALVE BOX
	PROPOSED FIRE HYDRANT
	PROPOSED LIGHT POLE
	PROPOSED TRANSFORMER PAD (FOR REFERENCE ONLY)
	RIP RAP (SEE DETAILS)

SANITARY STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
S1	CONNECT TO EXISTING SANITARY MANHOLE. INSTALL EXTERIOR DROP MANHOLE TO STRUCTURE. RIM: 731.93 INV IN: 727.14 (SE, 6") INV IN: 719.02 (SW, 8") INV OUT: 719.14 (NE, 8")
S2	4' DIA. SANITARY MH RIM: 733.19 INV IN: 728.72 (S, 6") INV OUT: 728.62 (NW, 6")
S3	GREASE TRAP RIM: 733.54 INV IN: 728.90 (S, 6") INV IN: 728.90 (W, 6") INV OUT: 728.90 (N, 6")
S4	6" FOOD WASTE BUILDING CONNECTION INV OUT: 729.25 (E, 6")
S5	6" CLEANOUT RIM: 733.80 INV IN: 729.11 (W, 6") INV OUT: 729.11 (N, 6")
S6	6" DOMESTIC WASTE BUILDING CONNECTION INV OUT: 729.25 (E, 6")



REVISIONS: \_\_\_\_\_  
 No. \_\_\_\_\_ DATE \_\_\_\_\_  
 BY \_\_\_\_\_

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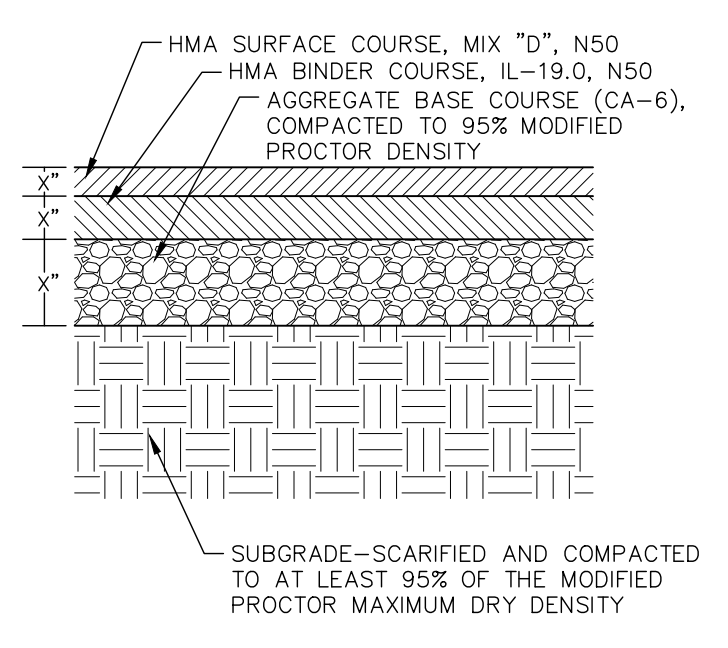
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**Culver's**  
**UTILITY PLAN**

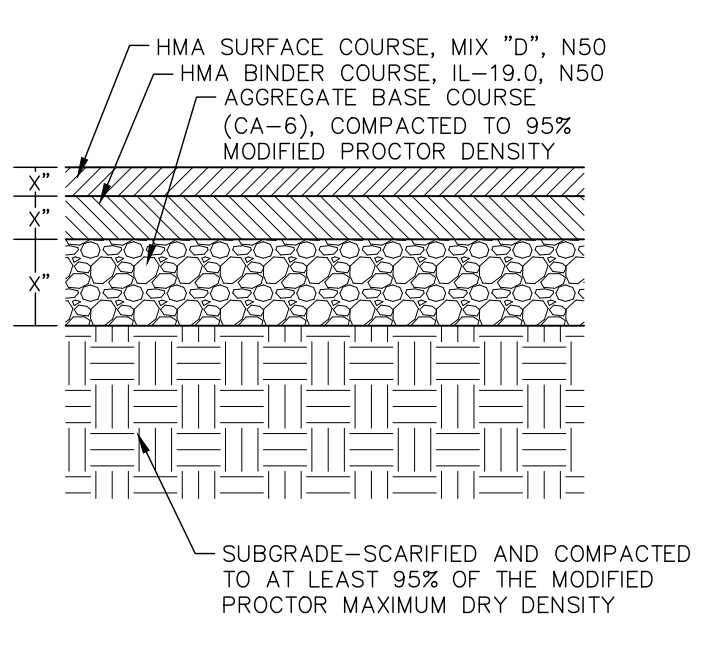
**CULVER'S**  
 5074 GATEWAY DR  
 PLAINFIELD, IN 46168

ORIGINAL ISSUE:  
 12/11/2025  
 KHA PROJECT NO.  
 168974043  
 SHEET NUMBER  
**C6.0**

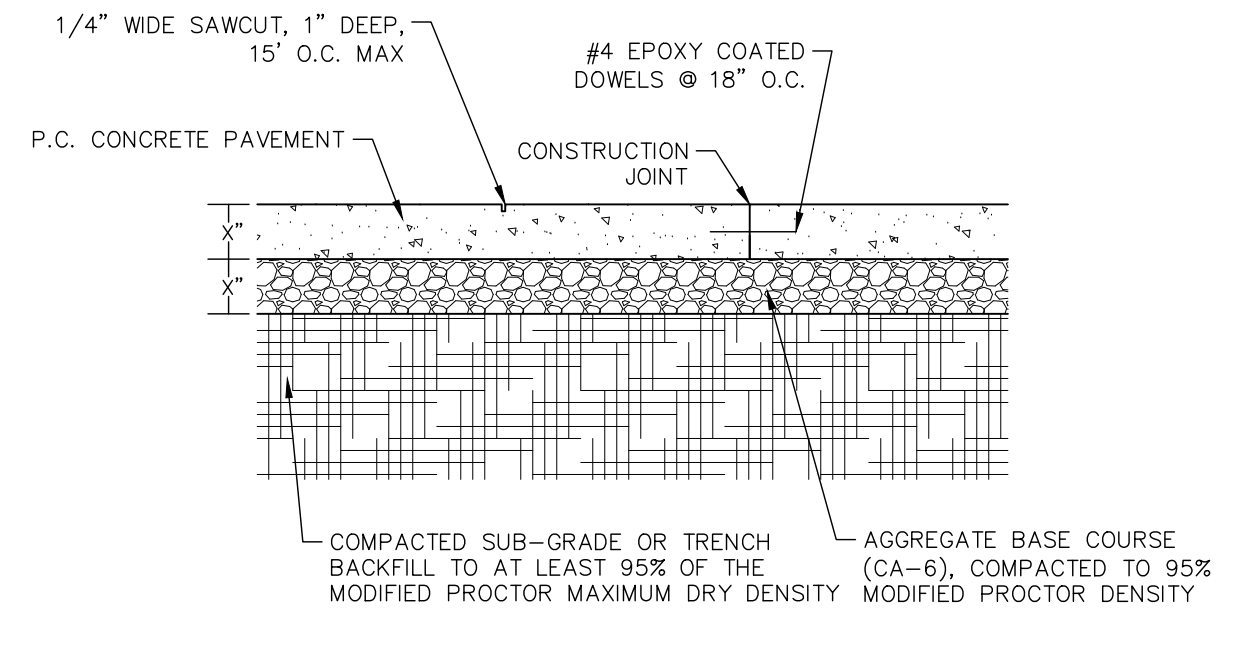
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 C70 Jan 14, 2026 1:23pm by Brett/Kimley-Horn  
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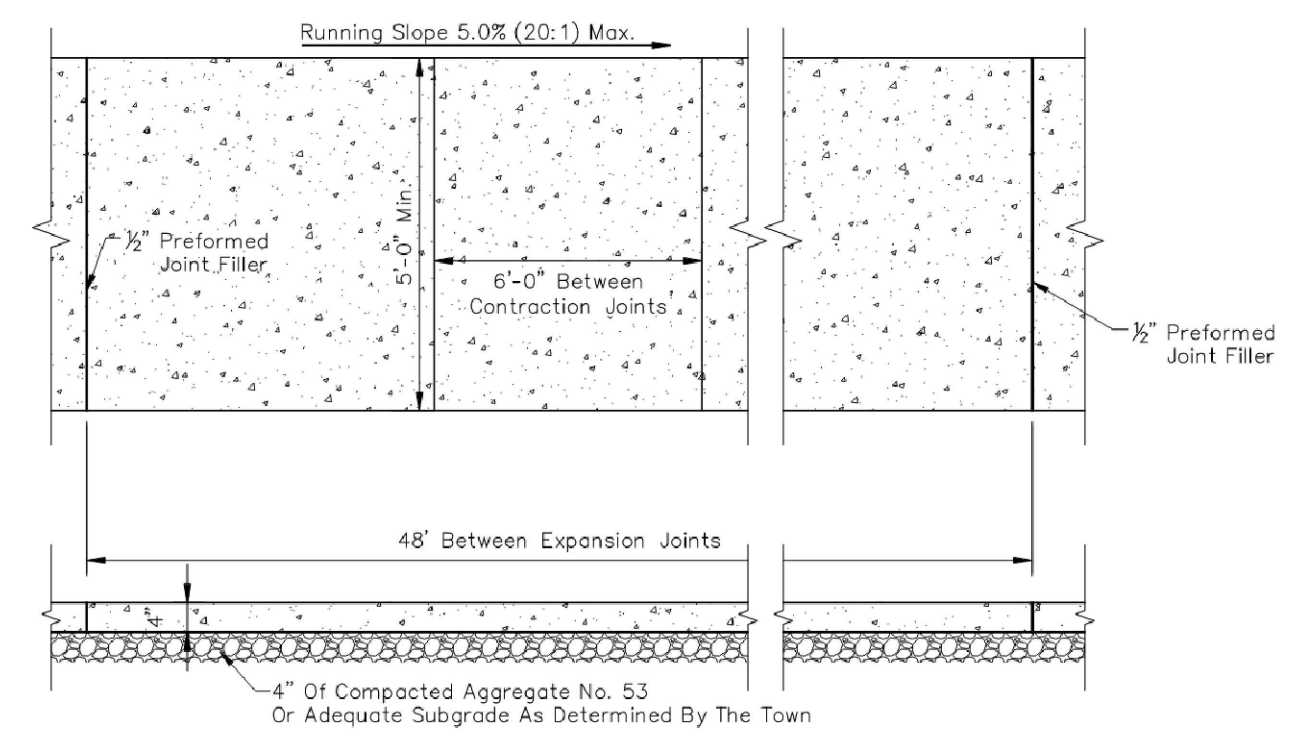
**STANDARD DUTY ASPHALT PAVEMENT SECTION**  
N.T.S. 10/19/20



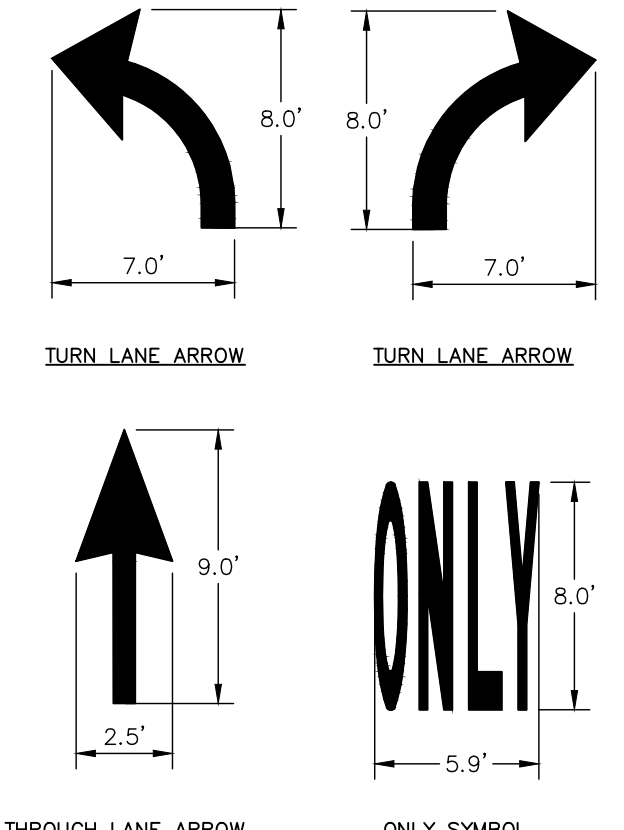
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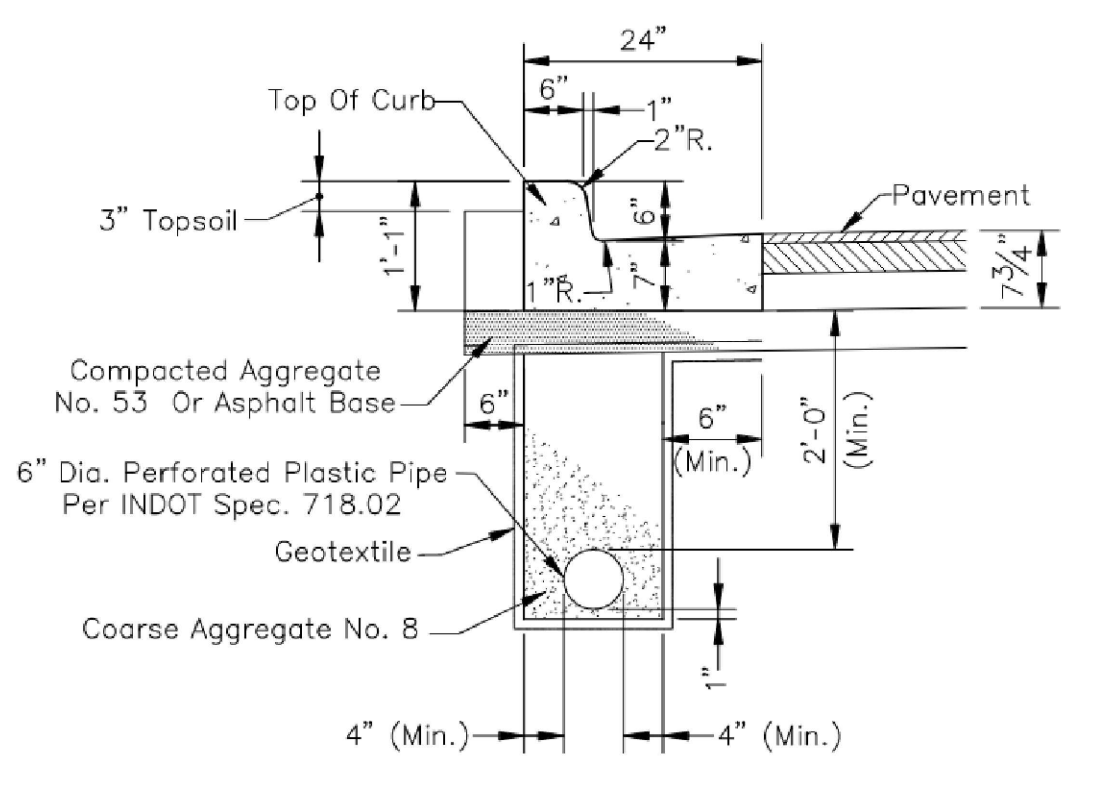
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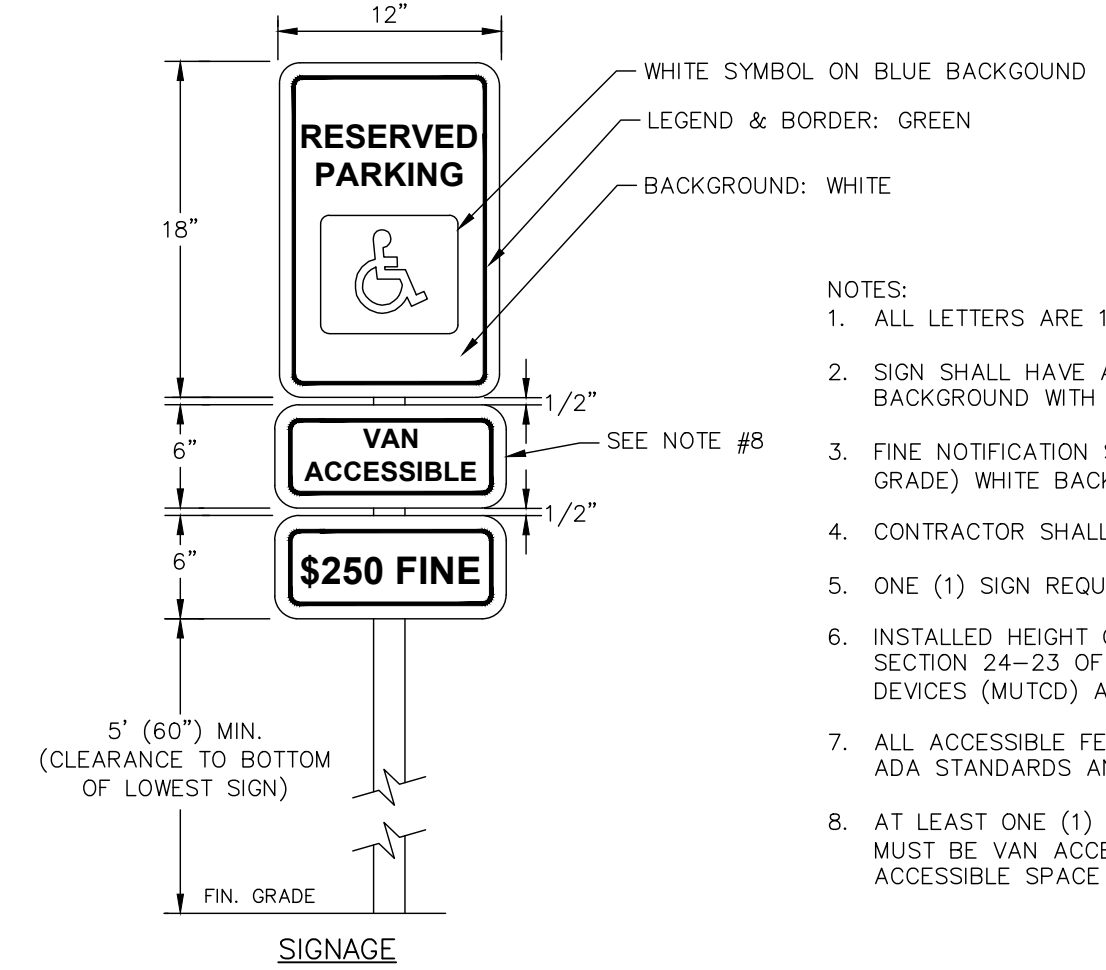
**TYPICAL SIDEWALK DETAIL**  
Not To Scale



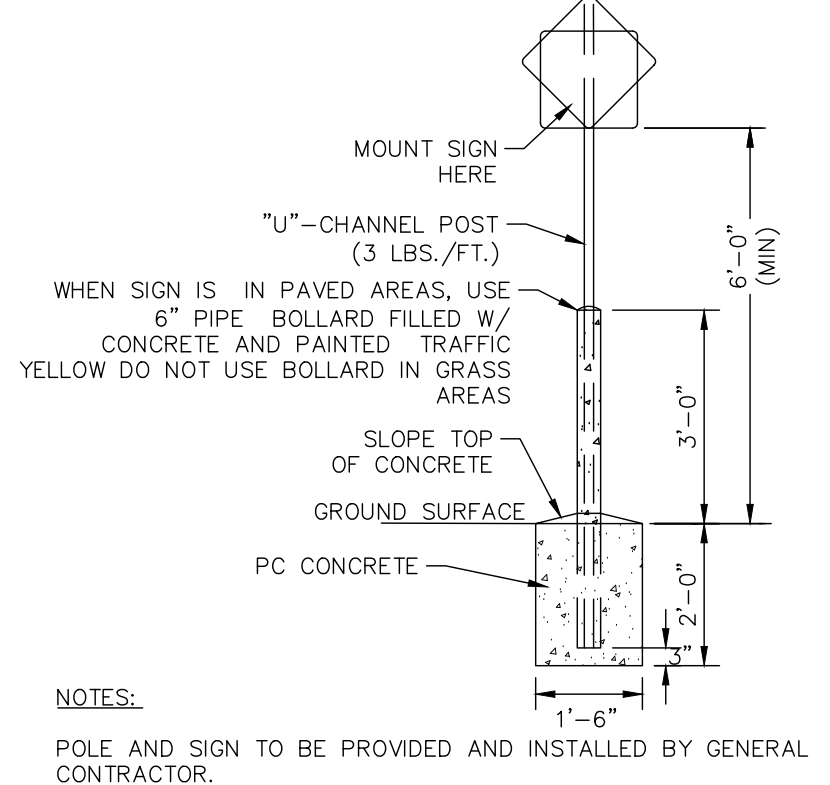
**TRAFFIC FLOW ARROW**  
N.T.S.



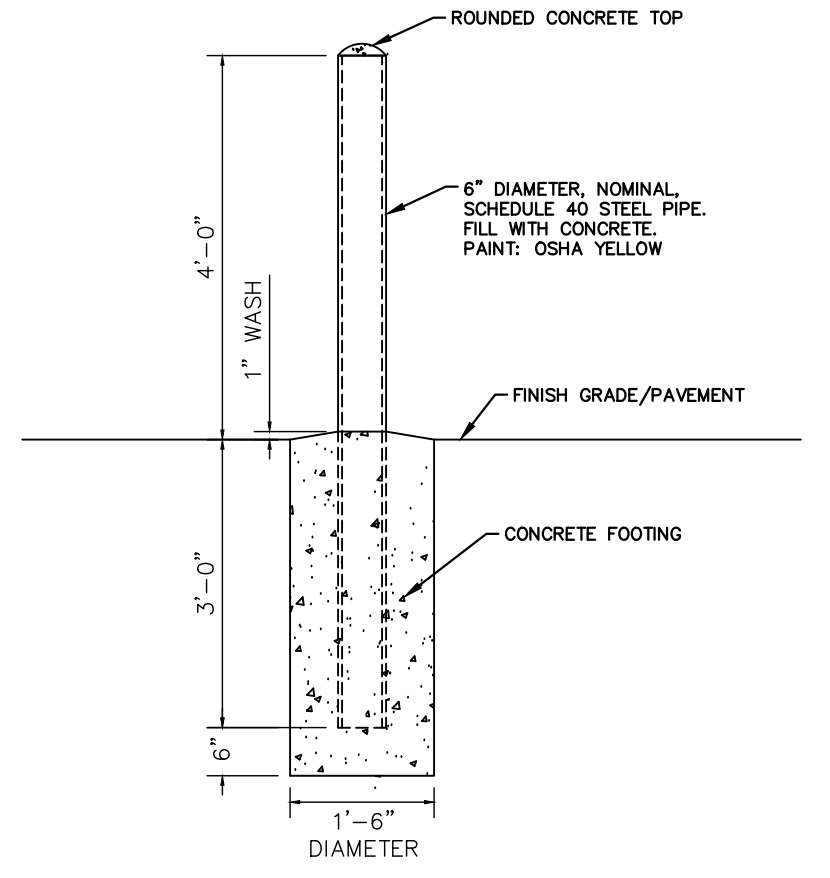
**2' COMBINED CONCRETE CURB & GUTTER**  
Scale: 3/4"=1'-0"



**ACCESSIBLE PARKING SIGNAGE**  
N.T.S.



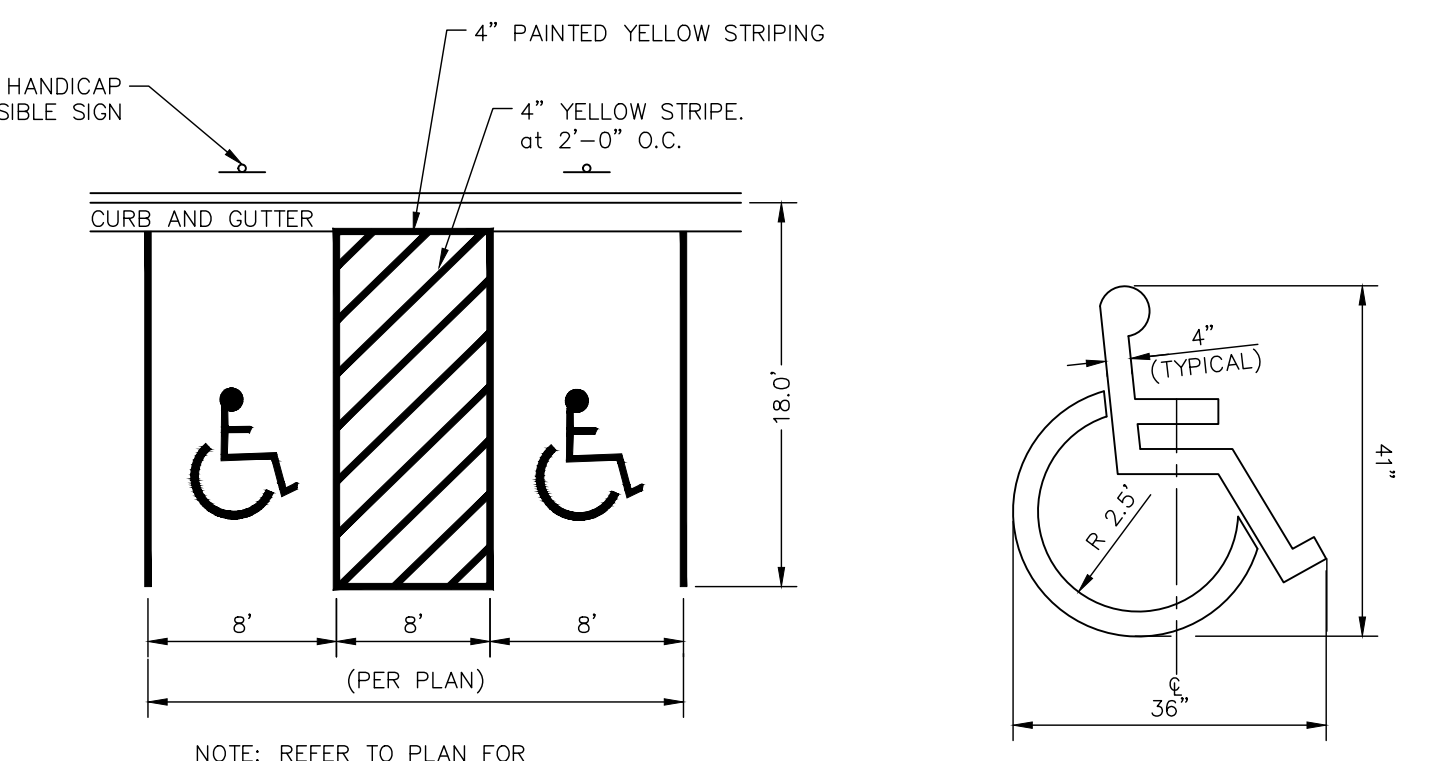
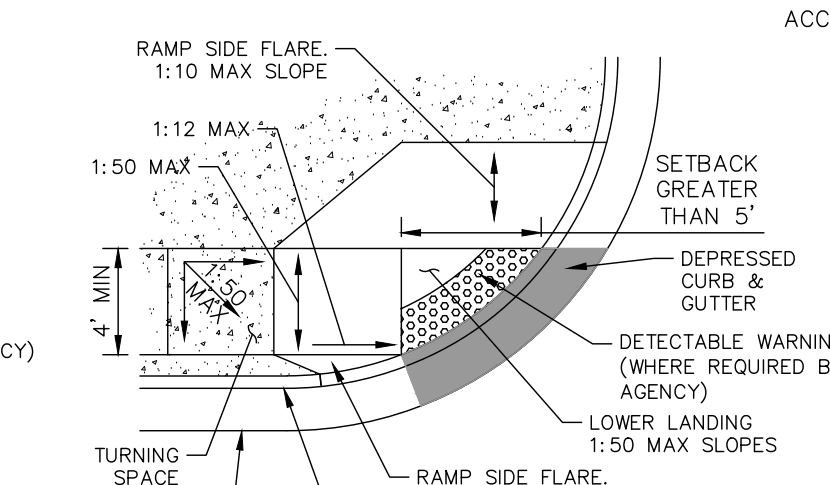
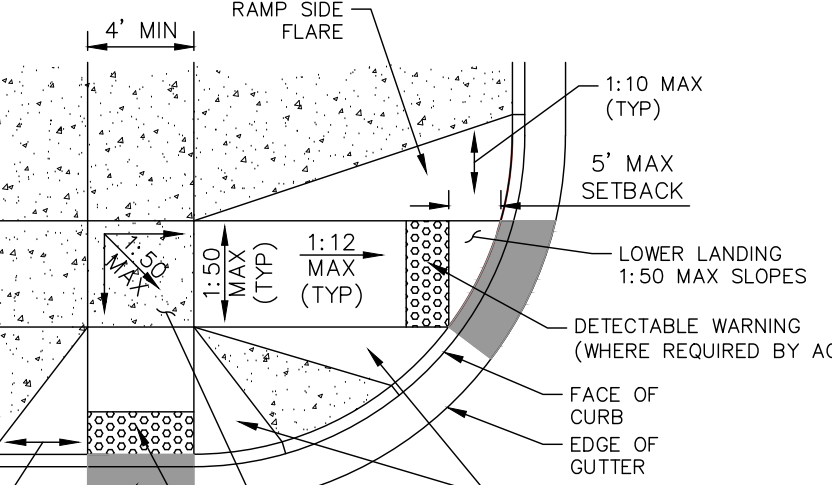
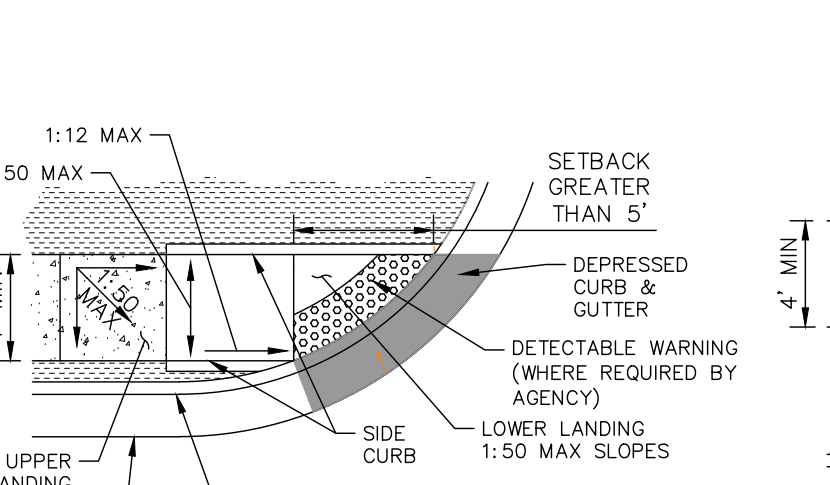
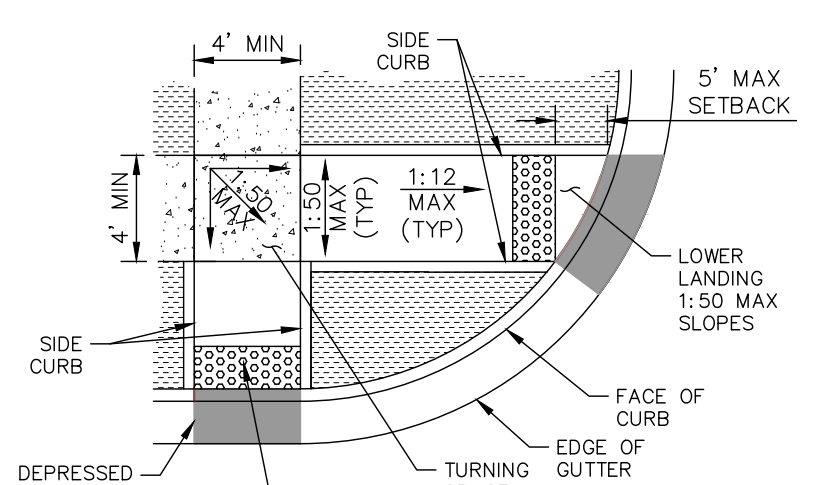
**STANDARD SIGN BASE**  
N.T.S.



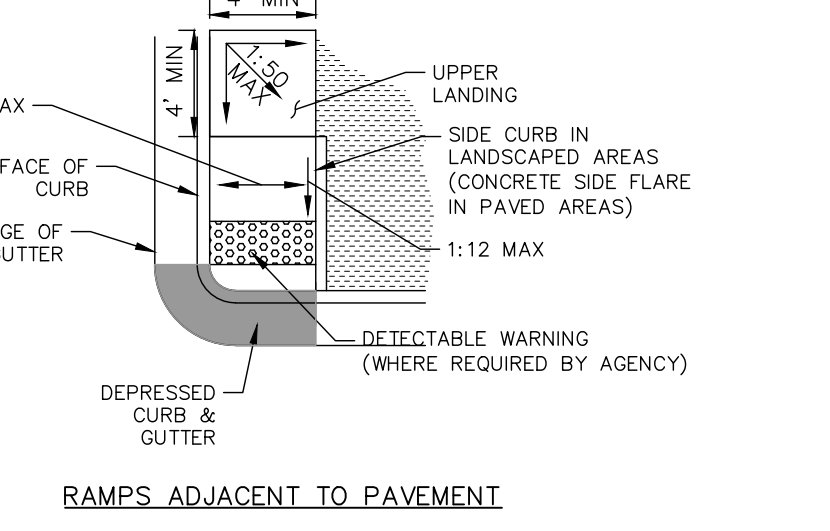
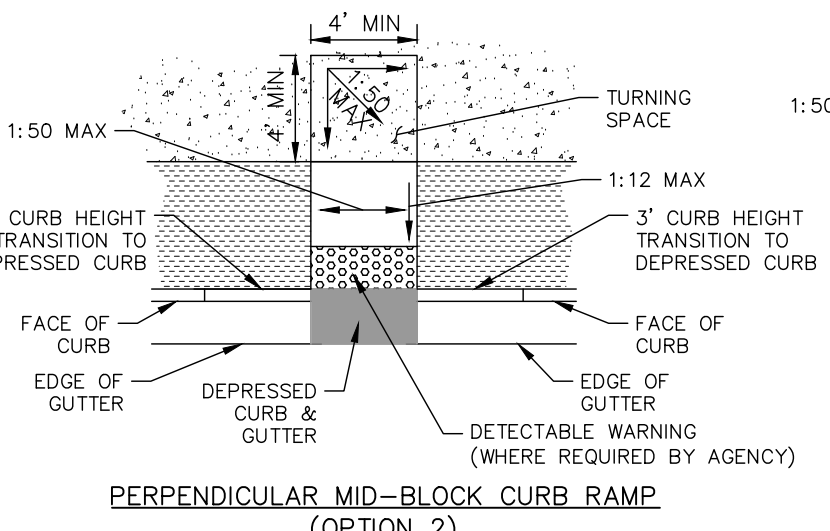
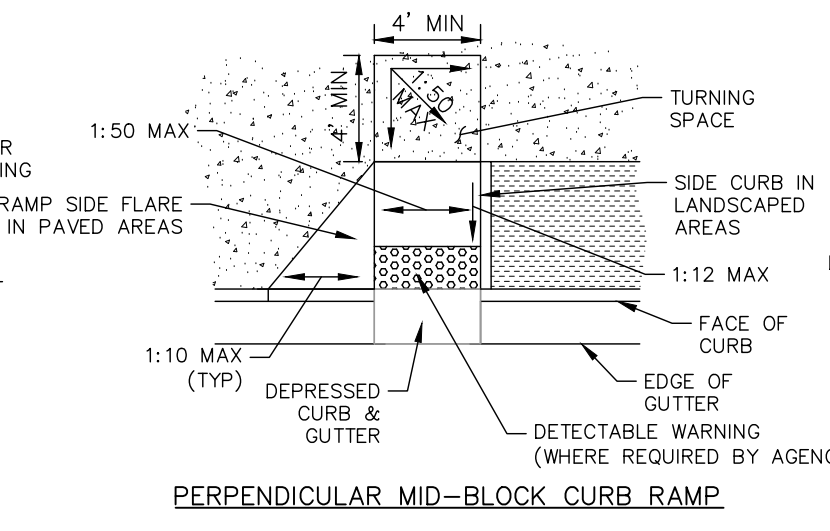
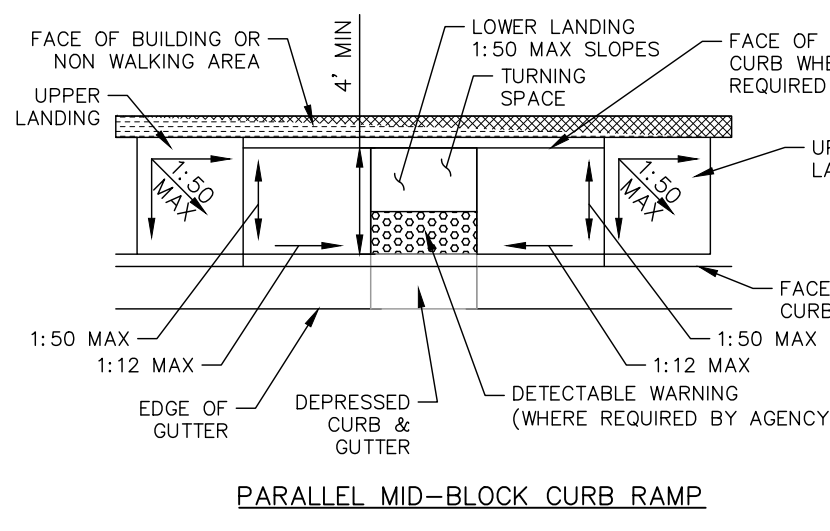
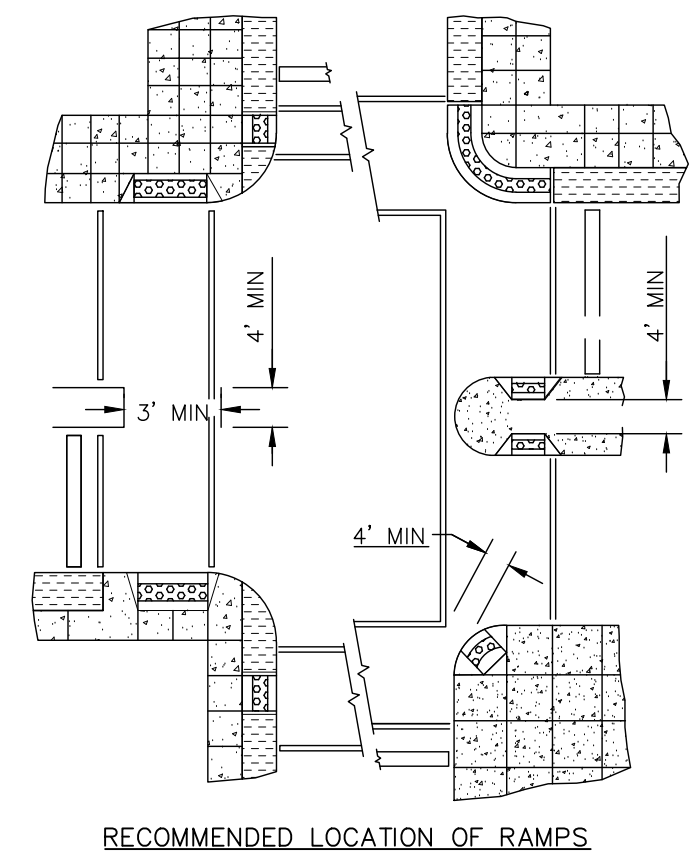
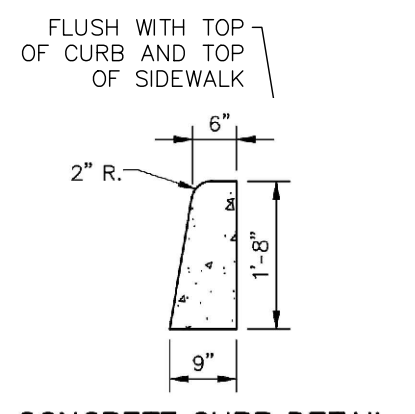
**6" BOLLARD DETAIL**  
N.T.S.

- GENERAL NOTES:**
- THE MAXIMUM SLOPE OF THE SIDE FLARE FOR TYPE B RAMPS SHALL BE 1:10; HOWEVER, IF THE WIDTH OF THE LANDING AREA BETWEEN THE TOP OF THE RAMP AND AN OBSTRUCTION IS LESS THAN (4'-0") THEN THE MAXIMUM SLOPE SHALL BE 1:12.
  - ALL SLOPE RATIOS ARE EXPRESSED AS UNITS OF VERTICAL DISPLACEMENT TO UNITS OF HORIZONTAL DISPLACEMENT (V:H).
  - ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SHOWN.
  - RAMPS DETAILS TO BE COORDINATED PER VILLAGE REQUIREMENTS.
  - DETECTABLE WARNINGS SHALL CONSIST OF TRUNCATED DOMES WHICH CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.
  - CONTRACTOR TO SELECT ADA DETECTABLE WARNING PERMEABLE PAVERS OR CONCRETE WITH ADA DETECTABLE WARNING DOMES FOR RAMPS.

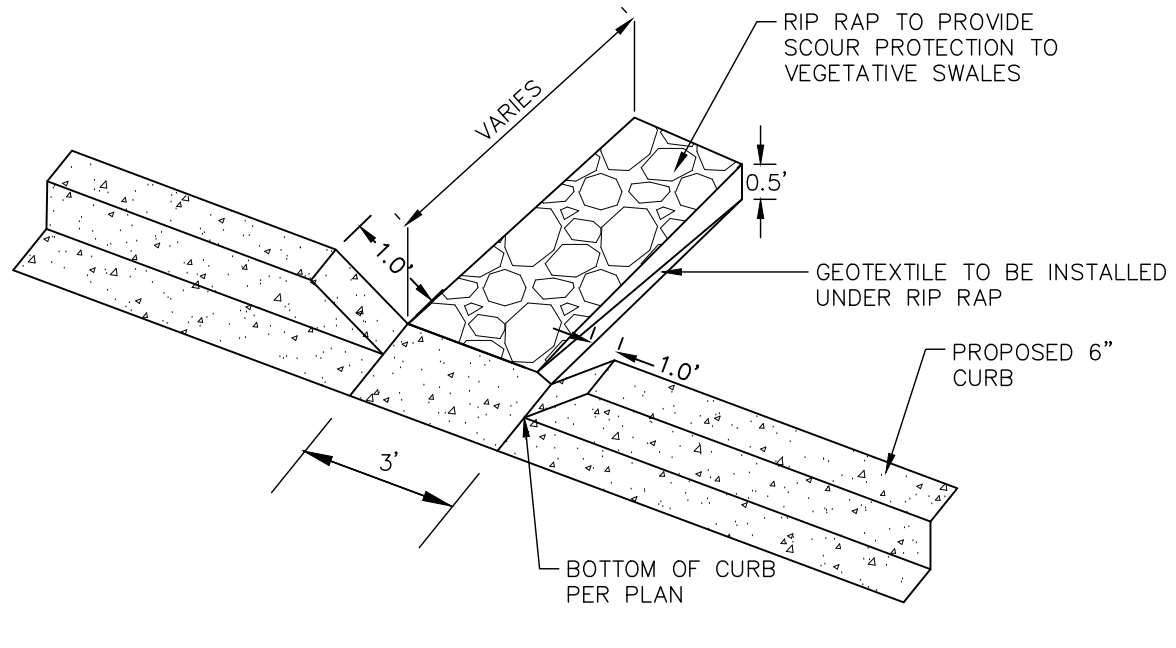
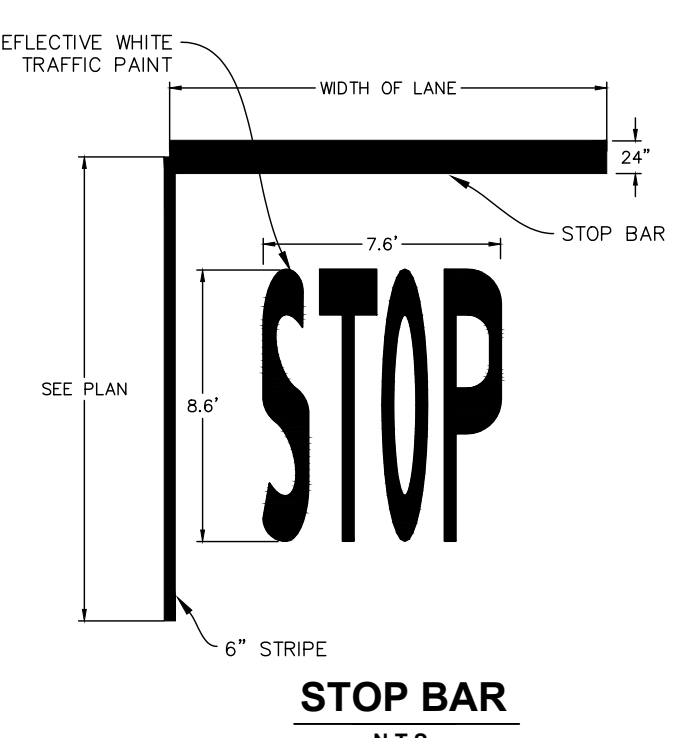
- LEGEND**
- SIDEWALK
  - RAMP
  - DETECTABLE WARNINGS
  - NON WALKING AREA
  - FACE OF BUILDING



**ACCESSIBLE PARKING SYMBOL**  
N.T.S.



**SIDEWALK AND SIDEWALK RAMPS**  
N.T.S.



- NOTES:**
- THE FILTER FABRIC SHALL MEET THE REQUIREMENTS IN MATERIAL SPECIFICATIONS 592 GEOTEXTILE TABLE 1 OR 2, CLASS I, II, OR III.
  - THE RIPRAP SHALL BE PLACED ACCORDING TO CONSTRUCTION SPECIFICATION 61 LOOSE ROCK RIPRAP. THE ROCK MAY BE EQUIPMENT PLACED.

**CURB CUT**  
N.T.S.

NO.	REVISIONS	DATE	BY

**Kimley-Horn**  
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 111 WEST JACOBSON BOULEVARD, STE 1320  
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 SCALE: AS NOTED  
 DESIGNED BY: JTW  
 DRAWN BY: JEA  
 CHECKED BY: BMH



**CONSTRUCTION DETAILS**

**CULVER'S**  
 5074 GATEWAY DR  
 PLAINFIELD, IN 46168

ORIGINAL ISSUE:  
 12/11/2025  
 KHA PROJECT NO.  
 168974043

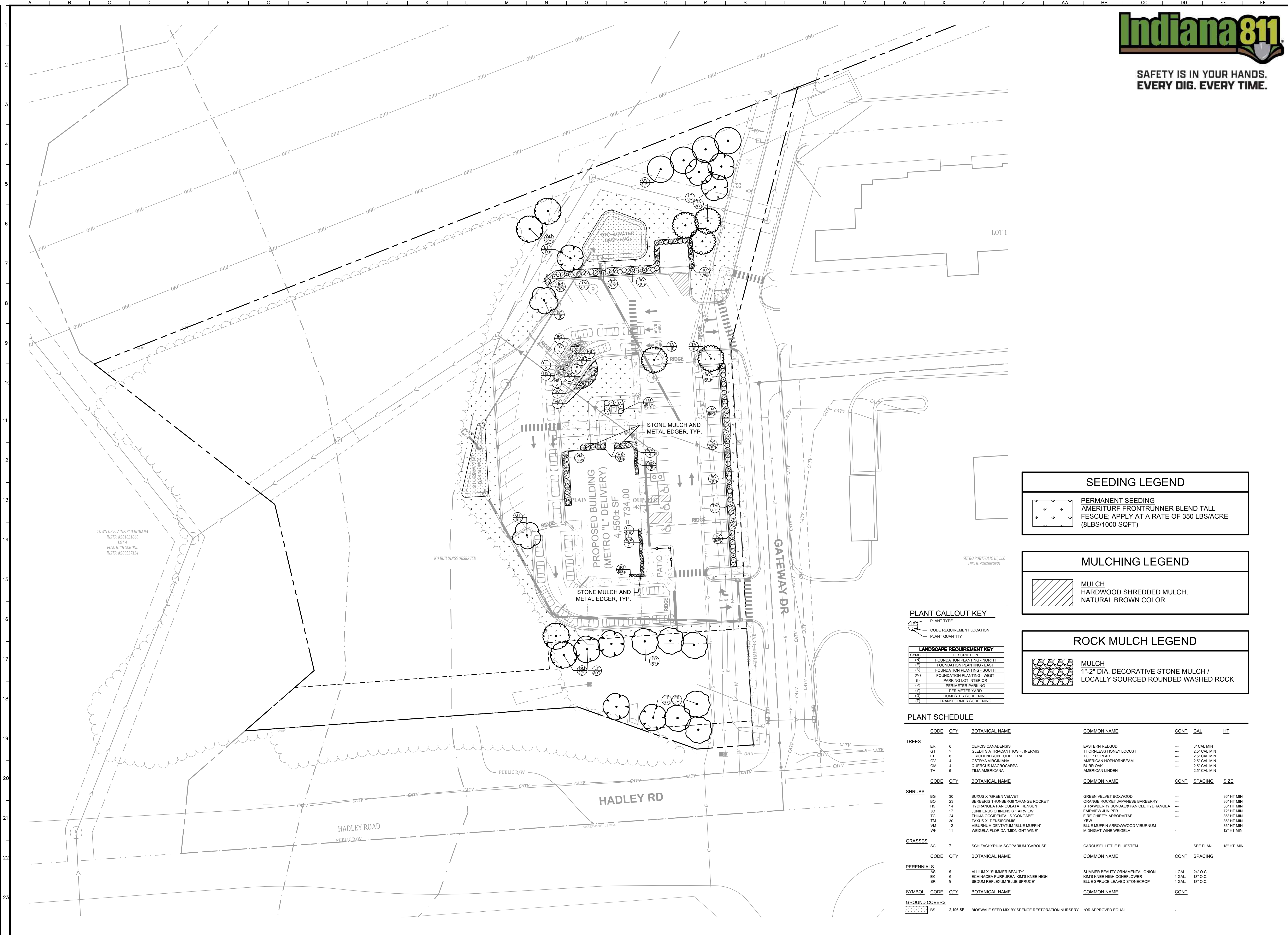
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Drawing name: K:\CHL\DEV\16897404\Culver's\_PlanSheet\_V1.0 - LANDSCAPE PLAN.dwg L1.0 Jan 14, 2026 1:23pm by Brett Hickey  
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### SEEDING LEGEND

**PERMANENT SEEDING**  
 AMERITURF FRONTRUNNER BLEND TALL FESCUE; APPLY AT A RATE OF 350 LBS/ACRE (8LBS/1000 SQFT)

### MULCHING LEGEND

**MULCH**  
 HARDWOOD SHREDDED MULCH, NATURAL BROWN COLOR

### ROCK MULCH LEGEND

**MULCH**  
 1"-2" DIA. DECORATIVE STONE MULCH / LOCALLY SOURCED ROUNDED WASHED ROCK

**PLANT CALLOUT KEY**

- PLANT TYPE
- CODE REQUIREMENT LOCATION
- PLANT QUANTITY

**LANDSCAPE REQUIREMENT KEY**

SYMBOL	DESCRIPTION
(N)	FOUNDATION PLANTING - NORTH
(E)	FOUNDATION PLANTING - EAST
(S)	FOUNDATION PLANTING - SOUTH
(W)	FOUNDATION PLANTING - WEST
(I)	PARKING LOT INTERIOR
(P)	PERIMETER PARKING
(Y)	PERIMETER YARD
(D)	DUMPSTER SCREENING
(T)	TRANSFORMER SCREENING

**PLANT SCHEDULE**

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT
<b>TREES</b>						
ER	6	CERIS CANADENSIS	EASTERN REDBUD	-	-	3" CAL MIN
ST	2	GLEITSIA TRICANTHOS F. INERMIS	THORNLESS HONEY LOCUST	-	-	2.5" CAL MIN
LT	8	LIRIODENDRON TULIPIFERA	TULIP POPLAR	-	-	2.5" CAL MIN
OV	4	OSTRYA VIRGINIANA	AMERICAN HOPHORNBEAM	-	-	2.5" CAL MIN
QM	4	QUERCUS MACROCARPA	BURR OAK	-	-	2.5" CAL MIN
TA	5	TILIA AMERICANA	AMERICAN LINDEN	-	-	2.5" CAL MIN
<b>SHRUBS</b>						
BO	30	BUXUS X GREEN VELVET	GREEN VELVET BOXWOOD	-	-	36" HT MIN
BO	23	BERBERIS THUNBERGII 'ORANGE ROCKET'	ORANGE ROCKET JAPANESE BARBERRY	-	-	36" HT MIN
HS	14	HYDRANGEA PANICULATA 'RENSUN'	STRAWBERRY SUNDIA® PANICLE HYDRANGEA	-	-	36" HT MIN
JC	17	JUNIPERUS CHINENSIS 'FAIRVIEW'	FAIRVIEW JUNIPER	-	-	72" HT MIN
TC	24	THUJA OCCIDENTALIS 'CONGARE'	FIRE CHEE™ ARBORVITAE	-	-	36" HT MIN
TM	30	TAXUS X DENSIFORMIS	YEW	-	-	36" HT MIN
VM	12	VIBURNUM DENTATUM 'BLUE HUFFIN'	BLUE HUFFIN ARROWWOOD VIBURNUM	-	-	36" HT MIN
WF	11	WEIGELA FLORIDA 'MIDNIGHT WINE'	MIDNIGHT WINE WEIGELA	-	-	12" HT MIN
<b>GRASSES</b>						
SC	7	SCHIZACHYRIUM SCOPARIUM 'CAROUSEL'	CAROUSEL LITTLE BLUESTEM	-	SEE PLAN	18" HT. MIN.
<b>PERENNIALS</b>						
AS	6	ALLIUM X 'SUMMER BEAUTY'	SUMMER BEAUTY ORNAMENTAL ONION	1 GAL.	-	24" O.C.
EK	6	ECHINACEA PURPUREA 'KIM'S KNEE HIGH'	KIM'S KNEE HIGH CONEFLOWER	1 GAL.	-	18" O.C.
SR	9	SEDUM REFLEXUM 'BLUE SPRUCE'	BLUE SPRUCE-LEAVED STONECROP	1 GAL.	-	18" O.C.
<b>GROUND COVERS</b>						
BS	2,196 SF	BIOSWALE SEED MIX BY SPENCE RESTORATION NURSERY	*OR APPROVED EQUAL	-	-	-

No. \_\_\_\_\_ DATE \_\_\_\_\_  
 REVISIONS \_\_\_\_\_  
 BY \_\_\_\_\_

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SCALE: AS NOTED  
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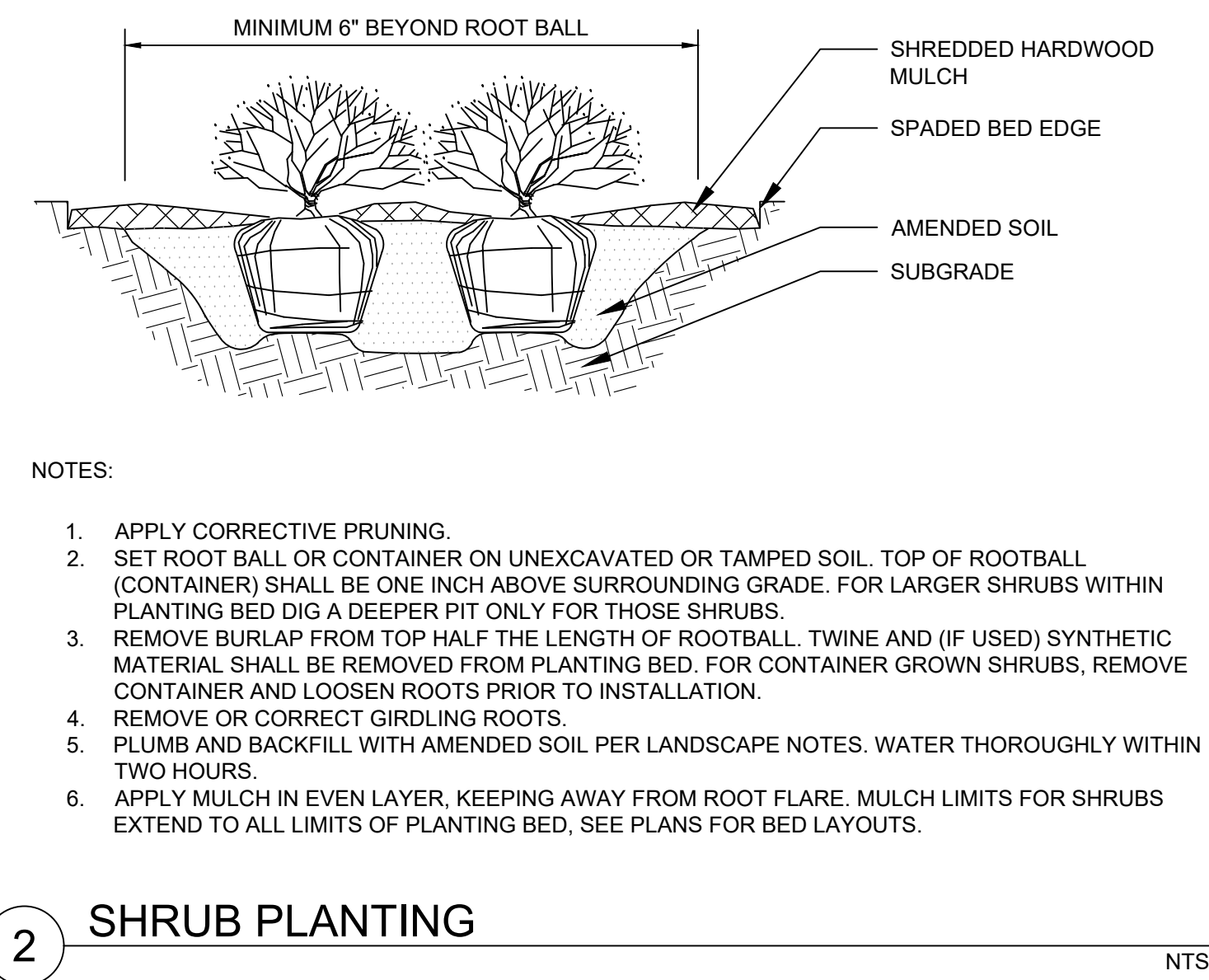
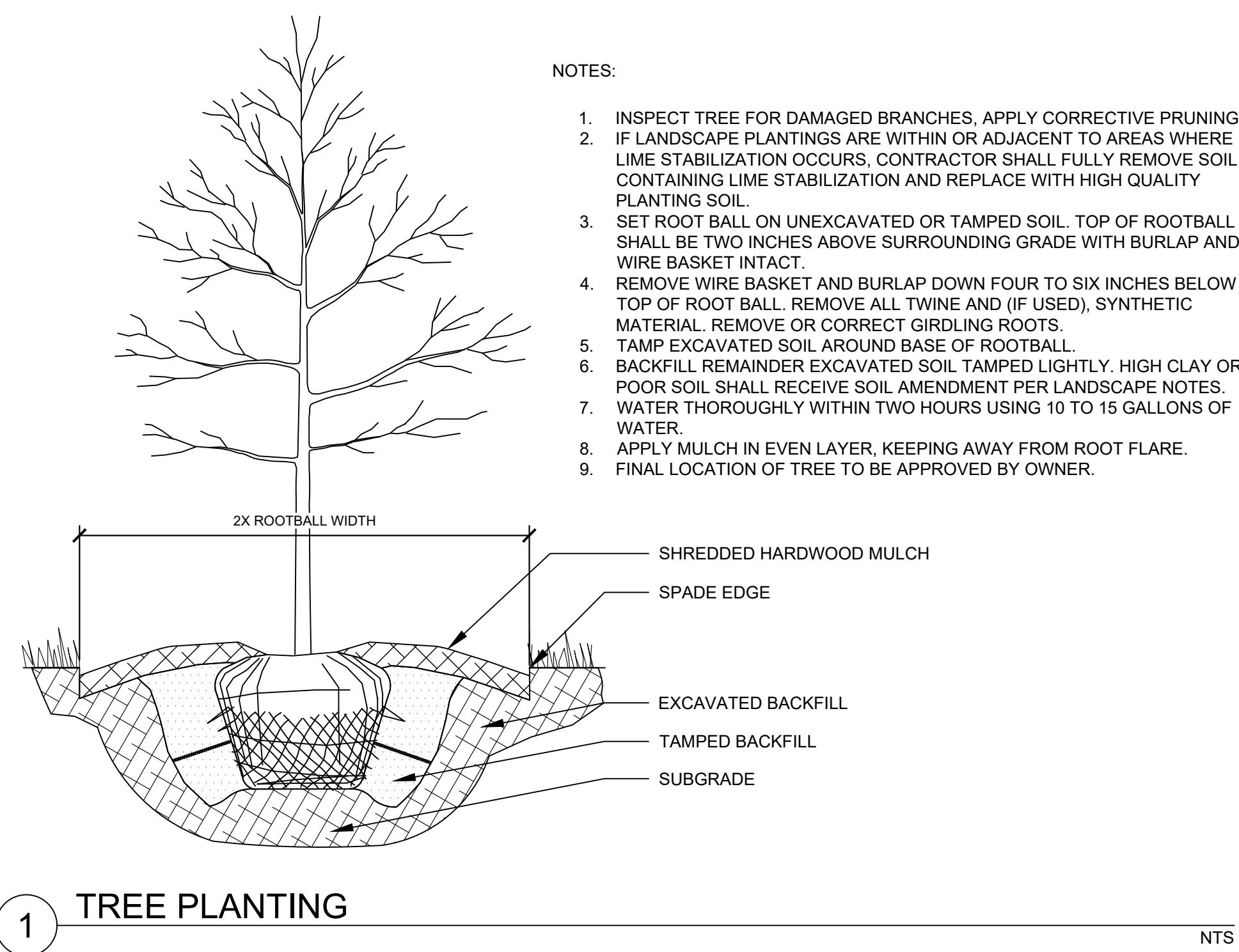
**LANDSCAPE PLAN**

**CULVER'S**  
 5074 GATEWAY DR  
 PLAINFIELD, IN 46168

ORIGINAL ISSUE:  
 12/11/2025  
 KHA PROJECT NO.  
 168974043  
 SHEET NUMBER  
**L1.0**

**LANDSCAPE NOTES**

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
2. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
4. ALL NURSERY STOCK SHALL BE WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. DECIDUOUS TREES SHALL BE FREE OF FRESH SCARS. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS A PART OF THIS CONTRACT.
5. ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
6. PLANTING AREA SOIL SHALL BE TOPSOIL FOR ALL SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS. AMENDED TURF AREA SOIL SHALL BE STANDARD TOPSOIL.
7. SEED/SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED/SOD ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED/SOD MIXES.
8. CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL, AND GROUND COVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
9. WEED FABRIC SHALL BE APPLIED UNDER MULCH.
10. INSTALLATION OF TREES WITHIN PARKWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 5' FROM UNDERGROUND UTILITY LINES AND NO CLOSER THAN 10' FROM UTILITY STRUCTURES.
11. DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
12. PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
13. THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
14. THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED BY CONTRACTOR IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.
15. SEE PROJECT MANUAL TECHNICAL SPECIFICATIONS FOR COMPLETE LANDSCAPE PLANTING & PLANTING SOIL PREPARATIONS.
16. ALL PLANTING AREAS SHALL RECEIVE 3" DEPTH OF SHREDDED HARDWOOD MULCH, FREE OF CORN COBS, WOOD CHIPS, GRAVEL AND CRUSHED STONE.
17. MULCH SHALL NOT BE HELD IN PLACE BY PLASTIC NET, OR SPRAYING OF ANY BINDER MATERIAL OR ASPHALT EMULSION.
18. PLANTS SHALL BE WATERED BY THE CONTRACTOR AFTER INSTALLATION PER PROJECT WATERING SCHEDULE. LOSSES DUE TO LACK OF WATER DURING WARRANTY PERIOD BECOME LIABILITY OF CONTRACTOR.
19. WEEDING, LANDSCAPE MAINTENANCE AND WATERING TO BE THE CONTRACTOR'S RESPONSIBILITY DURING CONSTRUCTION.
20. TOPSOIL SHALL CONFORM TO TECHNICAL SPECIFICATIONS FREE OF HEAVY CLAY, ROCKS AND DIRT CLODS OVER 1 INCH IN DIAMETER AS WELL AS CONTAIN 3%-5% ORGANIC MATTER.
21. CONTRACTOR SHALL STAKE INDIVIDUAL TREE AND SHRUB LOCATIONS AND OUTLINE AREAS FOR MULTIPLE HERBACEOUS PLANTINGS, ADJUST LOCATIONS WHEN REQUESTED AND OBTAIN PROJECT LANDSCAPE ARCHITECT'S ACCEPTANCE PRIOR TO PLANTING.
22. ALL PLANT ID TAGS SHALL BE REMOVED AFTER INSTALLATION.



**ORDINANCE CHART**

ZONING: GERNERAL COMMERCIAL		
REQUIREMENT	REQUIRED	PROVIDED
<b>FOUNDATION PLANTINGS</b>		
<ul style="list-style-type: none"> <li>In the case of a Single Use Site located in a Commercial District, foundation planting areas are required along the front and each side of the Building.</li> <li>Foundation planting areas shall have a total sf of not less than 2x the length of the wall to which the planting is oriented</li> <li>Foundation planting areas shall be landscaped in compliance with requirements for Level 1 planting</li> </ul>	North Foundation Length: 50' • 50' / 100' = 0.5 • 0.5 / 0.1 = 5 shrubs required at 36" East Foundation Length: 95' • 95' / 100' = 0.95 • 0.95 / 0.1 = 10 shrubs required at 36" South Foundation Length: 50' • 50' / 100' = 0.5 • 0.5 / 0.1 = 5 shrubs required at 36" West Foundation Length: 50' • 95' / 100' = 0.95 • 0.95 / 0.1 = 10 shrubs required at 36"	<ul style="list-style-type: none"> <li>North Foundation Length: 9 shrubs provided</li> <li>East Foundation Length: 22 shrubs provided</li> <li>South Foundation Length: 5 shrubs provided</li> <li>West Foundation Length: 10 shrubs provided</li> </ul>
<b>PARKING LOT INTERIOR</b>		
<ul style="list-style-type: none"> <li>1 interior landscape island / 15 parking spaces.</li> <li>Each interior landscape island shall contain at least one Deciduous Shade (Overstory) Tree, or Deciduous Ornamental (Understory) Tree, or evergreen tree</li> </ul>	• 51 parking spaces / 15 = 4 interior landscape islands required • 4 interior landscape islands * 1 tree = 4 trees	• 4 trees provided
<b>PERIMETER PARKING</b>		
<ul style="list-style-type: none"> <li>A compact hedge row planted 3' o.c. and between 24-30" in height at the time of planting</li> </ul>	• 223' / 3' = 74 shrubs required	• 74 shrubs provided
<b>PERIMETER YARD</b>		
<ul style="list-style-type: none"> <li>All required Yards and all required Bufferyards shall be landscaped in compliance with the requirements in Table 4.7.B, Table 4.7.C-1, and Table 4.7.C-2.</li> <li>level 1 planting</li> </ul>	• 1,835' / 100' = 18.35 • 18.35 / 0.75 = 25 trees at 2.5" caliper	• 25 trees provided



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Drawing name: K:\CHILDEV\688974043\_Culver's\_Plainfield\_MV\_Design\CAD\PlanSheets\L1.1 - LANDSCAPE PLAN.dwg L1.1 Jan 14, 2026 11:23pm by Brett Hickey  
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