

# HILLTOP

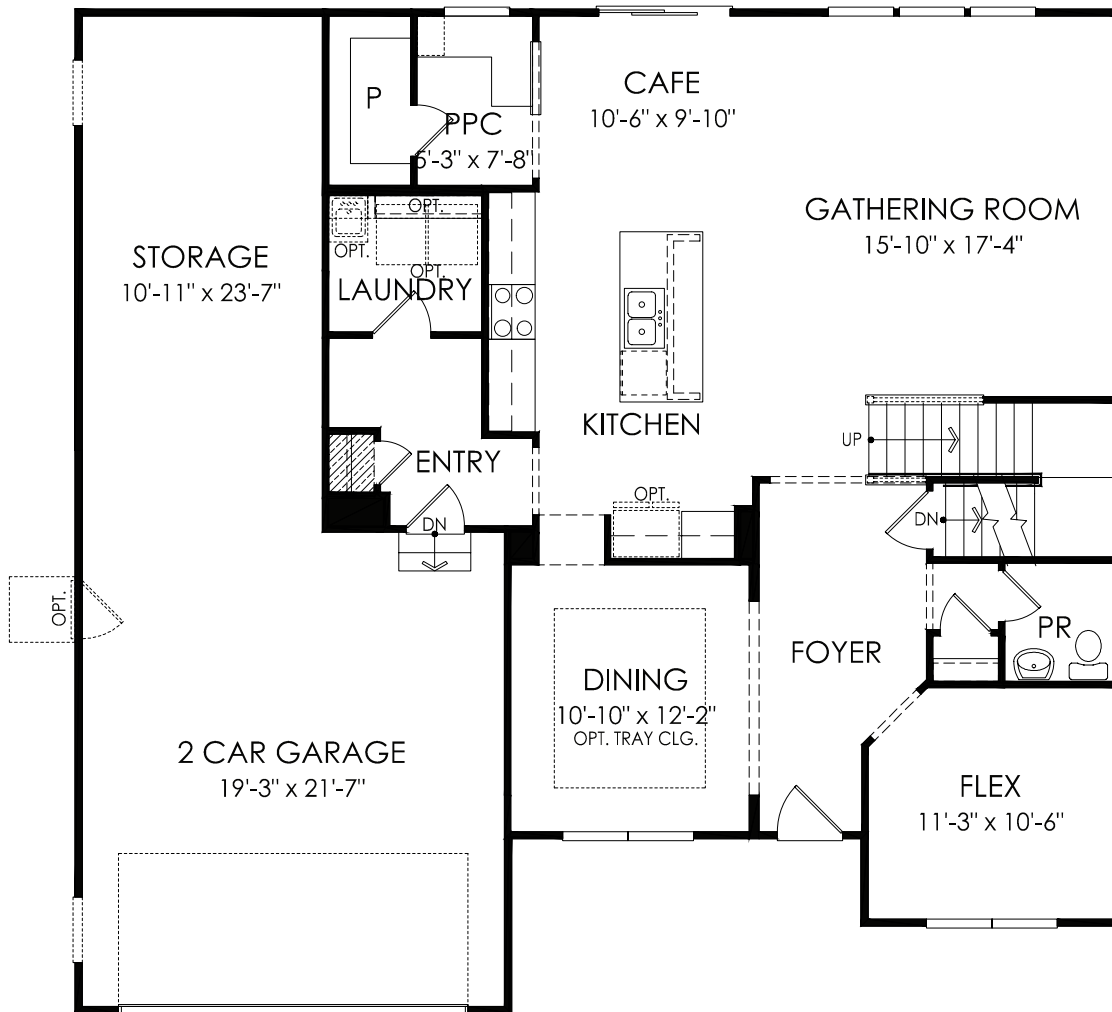
4-7 Bedrooms | 2.5-5 Bathrooms | 2,899+ sq. ft.  
Spacious, Walk-In Pantry | Everyday Entry® | Large Walk-In Closets



# Hilltop Home Exteriors

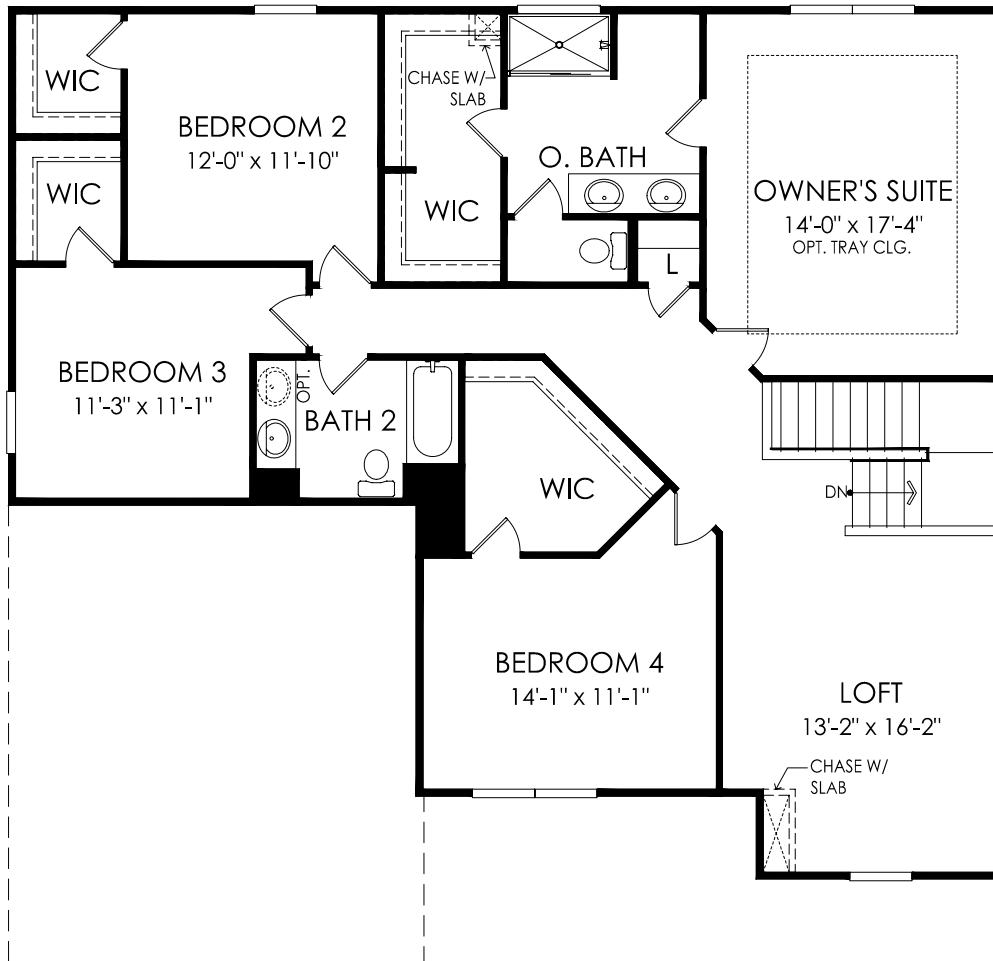
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## AVAILABLE OPTIONS

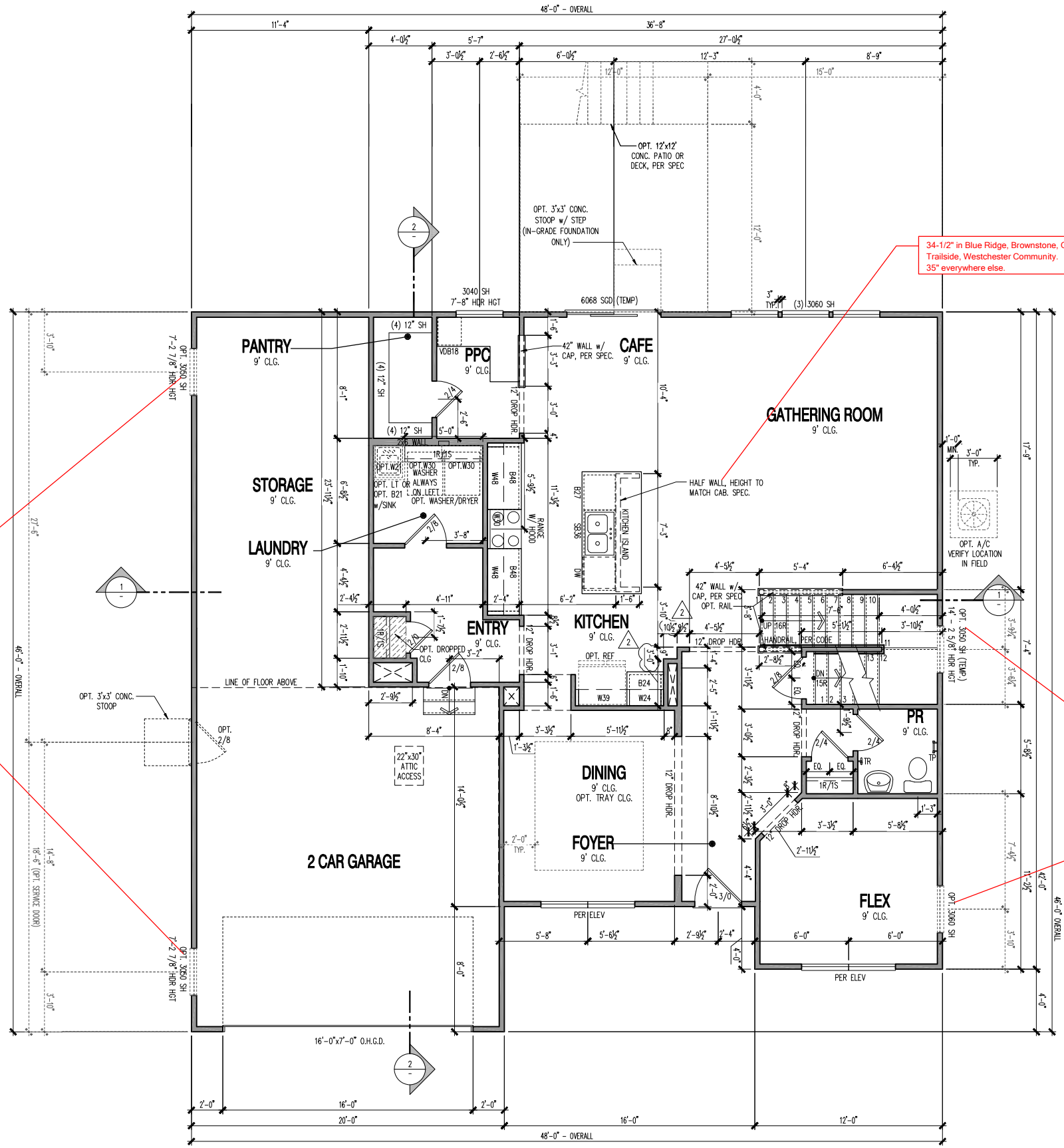
Speak with a sales consultant to review all options available for this home design at your community. Interactive floorplans are available on Pulte.com.



# FLOORPLAN NOTES

## GENERAL SPECIFICATIONS

- ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE
- ALL NON-BEARING WALLS TO BE 2x4 STUDS AT 24" O.C. KITCHEN AND PULTE PLANNING CENTER WALLS, WHERE CABINETS ARE TO BE HUNG, SHALL BE FRAMED AT 16" O.C.
- PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- PROVIDE FIRE SEPARATION BETWEEN DWELLING AND GARAGE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- PROVIDE 1/2" DRYWALL AT WALLS, CEILING AND UNDERSIDE OF STAIR ASSEMBLY ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED BY THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE SHALL HAVE A PERMANENT DESIGNATION OR LABEL AFFIXED TO EACH PANE OF GLAZING BEARING THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OTHER THAN TEMPERED GLASS, LABELS MAY BE OMITTED PROVIDED THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDAVIT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- ALL BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT NOT LESS THAN 72" ABOVE THE FLOOR PER THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- PROVIDE 1/2" MAX. SHEATHING WITH TAPED JOINTS AS DRAFT STOP WITH BATT INSULATION FILLING ALL CAVITIES AT EXTERIOR WALLS ADJACENT TO TUBS AND SHOWERS.
- ALL REQUIRED GUARDRAILS AND GUARDWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. GUARDS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE AND NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS.
- ALL REQUIRED HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34" OR MORE THAN 38" AS MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS AND SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.
- BASEMENTS, HABITABLE ATTICS AND ALL SLEEPING ROOMS MUST HAVE AT LEAST ONE EMERGENCY ESCAPE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. THE EMERGENCY ESCAPE MUST HAVE A 5.7 S' CLEAR OPENING AND A SILL HEIGHT OF NO MORE THAN 44" ABOVE FINISHED FLOOR. ESCAPE WINDOWS AT GRADE LEVEL MUST HAVE A MIN. OF 5.0 SF OF OPEN AREA. REQUIRED CLEAR OPENINGS SHALL BE A MINIMUM OF 24" HIGH AND 20" WIDE. EMERGENCY ESCAPES WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GRADE MUST HAVE A WINDOW WELL AND LADDER IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
- FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



Standard in Brownstone, Greystone, Hunters Run, Blue Ridge, Wood Hollow, Lochaven, Westchester, Westmor, Oakcrest Communities

Standard in Brownstone, Greystone, Hunters Run, Blue Ridge, Wood Hollow, Lochaven, Westchester, Westmor, Oakcrest Communities

34-1/2" in Blue Ridge, Brownstone, Greystone, Trailside, Westchester Community. 35" everywhere else.

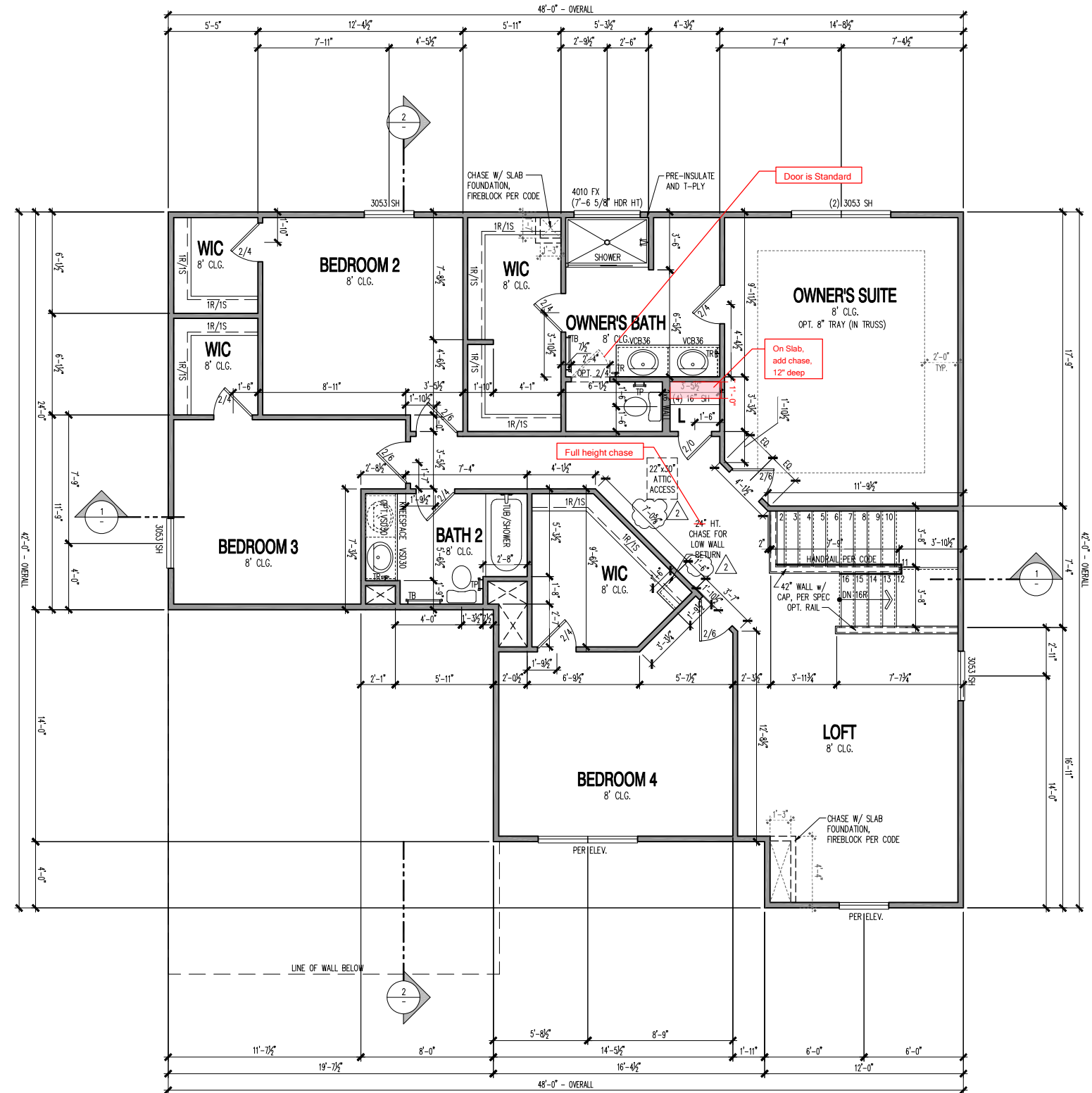
## FIRST FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

# FLOORPLAN NOTES

## GENERAL SPECIFICATIONS

- ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE.
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- FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES.



## SECOND FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

Midwest Zone Office  
1900 Golf Road - Suite 300  
Schaumburg, Illinois 60173



Second Floor Plan  
4" Exterior Walls

PRODUCT MANAGER  
Rick Starkey  
INITIAL RELEASE  
DATE: 1/18/2019

REV#	DATE/DESCRIPTION
1	1/18/2019 PLAN REVISIONS
2	2/15/2019 PLAN UPDATES
3	11/27/2019 PCR REVISIONS

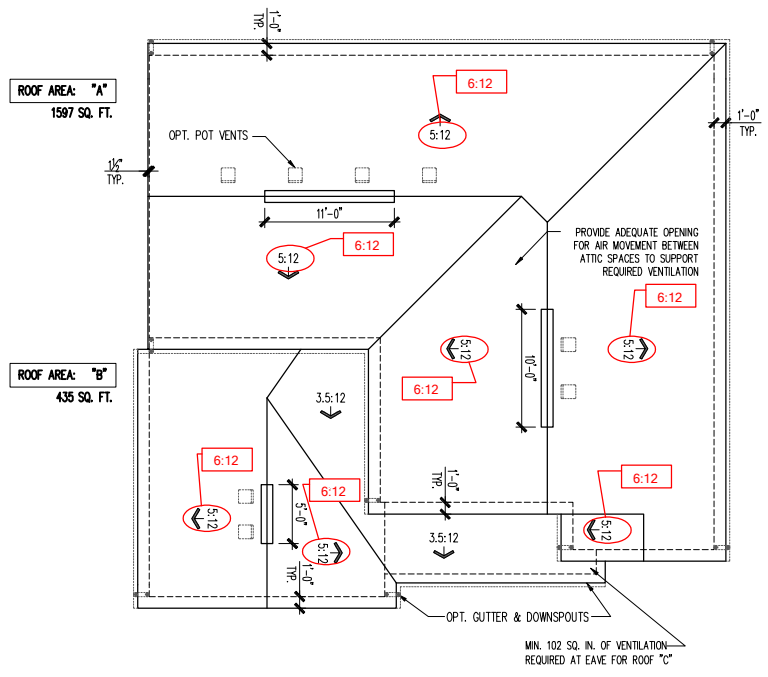
GARAGE HANDING  
Single Family

SPECIFICATION LEVEL

PLAN NAME  
Hilltop  
NPC CHILD NUMBER  
1851.302

SHEET  
A1  
4-2.1

REV#	DATE/DESCRIPTION
1	1/18/2019 PLAN REVISIONS
2	2/15/2019 PLAN UPDATES
3	11/27/2019 PCR REVISIONS

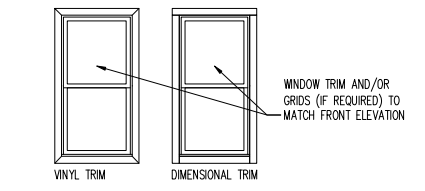


**ROOF PLAN**  
 SCALE: 1/8" = 1'-0"

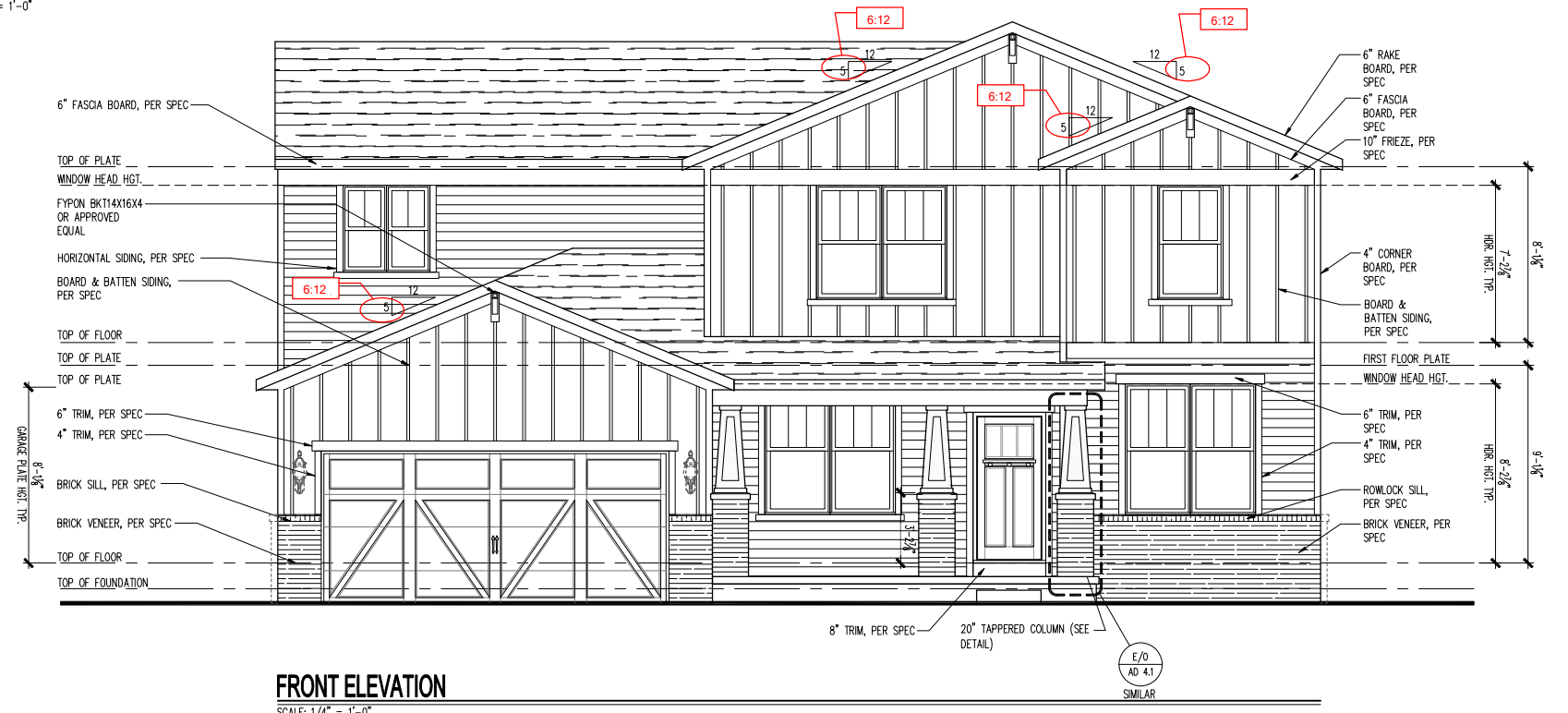
ATTIC VENT SCHEDULE									
Craftsman 2G									
ROOF AREA "A"	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POE LARGE BALANCE	POE SMALL BALANCE	RIDGE VENT BALANCE	EAVER VENT BALANCE	COOL VENT BALANCE	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE
VENT-POE	3.13	2.44	0.84	47.28	6	0			
AT VENT	3.19	2.44	0.76	48.22				0	40.00
TOTAL	6.32	4.88	77.06						
VENT-POE	3.13	2.44	0.84	48.99	0	0	0	0	40.00
AT VENT	3.19	2.44	0.76	51.41					
TOTAL	6.32	4.88	77.06						

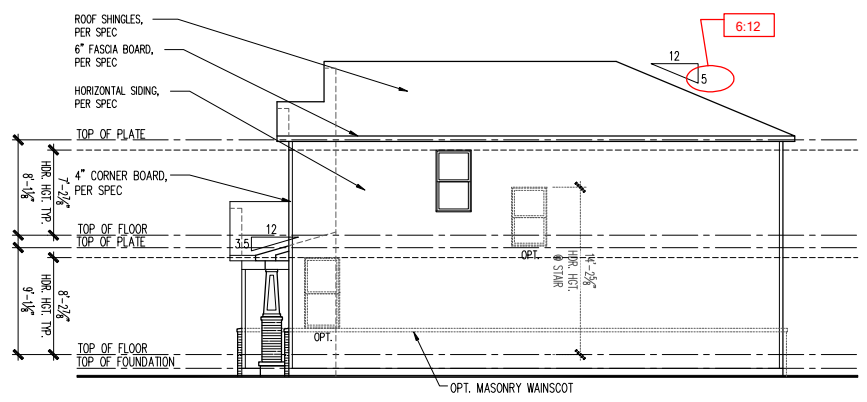
Craftsman 2G									
ROOF AREA "B"	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POE LARGE BALANCE	POE SMALL BALANCE	RIDGE VENT BALANCE	EAVER VENT BALANCE	COOL VENT BALANCE	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE
VENT-POE	0.88	0.75	0.85	48.84	2	0			
AT VENT	0.87	0.75	0.87	51.44				0	14.00
TOTAL	1.45	1.45	100.00						
VENT-POE	0.88	0.75	0.85	49.84	0	0	0.00		
AT VENT	0.87	0.75	0.85	51.14				0	12.00
TOTAL	1.45	1.45	100.00						



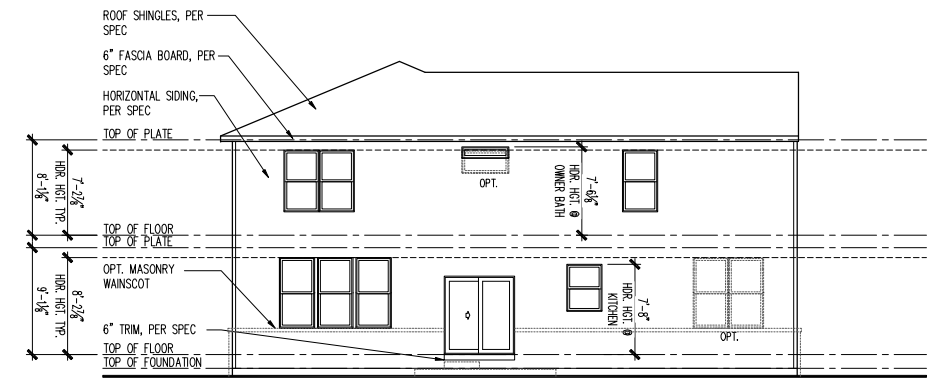
**SIDE AND REAR WINDOWS PER COMMUNITY SPECS**  
 SCALE: 1/4" = 1'-0"



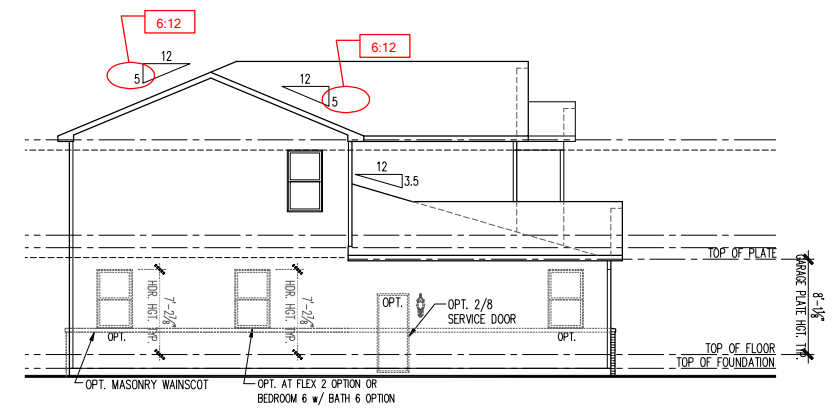
**FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
 SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
 SCALE: 1/8" = 1'-0"



**LEFT ELEVATION**  
 SCALE: 1/8" = 1'-0"

### SCHEDULE of AREAS

BASE HOUSE - HEATED	
FIRST FLOOR	1324
SECOND FLOOR	1575
<b>TOTAL BASE HEATED</b>	<b>2899</b>
BASE HOUSE - UNDER ROOF	
GARAGE - 2 CAR FRONT ENTRY	707
BASEMENT	1242
<b>TOTAL BASE UNDER ROOF</b>	<b>2031</b>
BASE OPTIONS - HEATED	
ADDITIONAL AREA W/ SUNROOM	144
ADDITIONAL AREA W/ GATHERING RM EXTENSION	63
ADDITIONAL AREA W/ SUNROOM/ GATHERING RM EXTENSION	205
FINISHED BASEMENT OPTIONS	
FINISHED BASEMENT	787
BEDROOM 7 OPTION	153
BATH 7 OPTION	45
ADDITIONAL AREA W/ SUNROOM	129
ADDITIONAL AREA W/ GATHERING RM EXTENSION	57
ADDITIONAL AREA W/ SUNROOM & GATHERING RM EXTENSION	190
MECHANICAL	69
STORAGE	346
BASE OPTIONS	
BASEMENT / SUNROOM	1386
BASEMENT / GATHERING RM EXTENSION	1304
BASEMENT / SUNROOM/ GATHERING RM EXTENSION	1447
2 CAR SIDE ENTRY GARAGE	707
3 CAR FRONT ENTRY GARAGE	910
WOOD DECK	158
CONCRETE PATIO	144

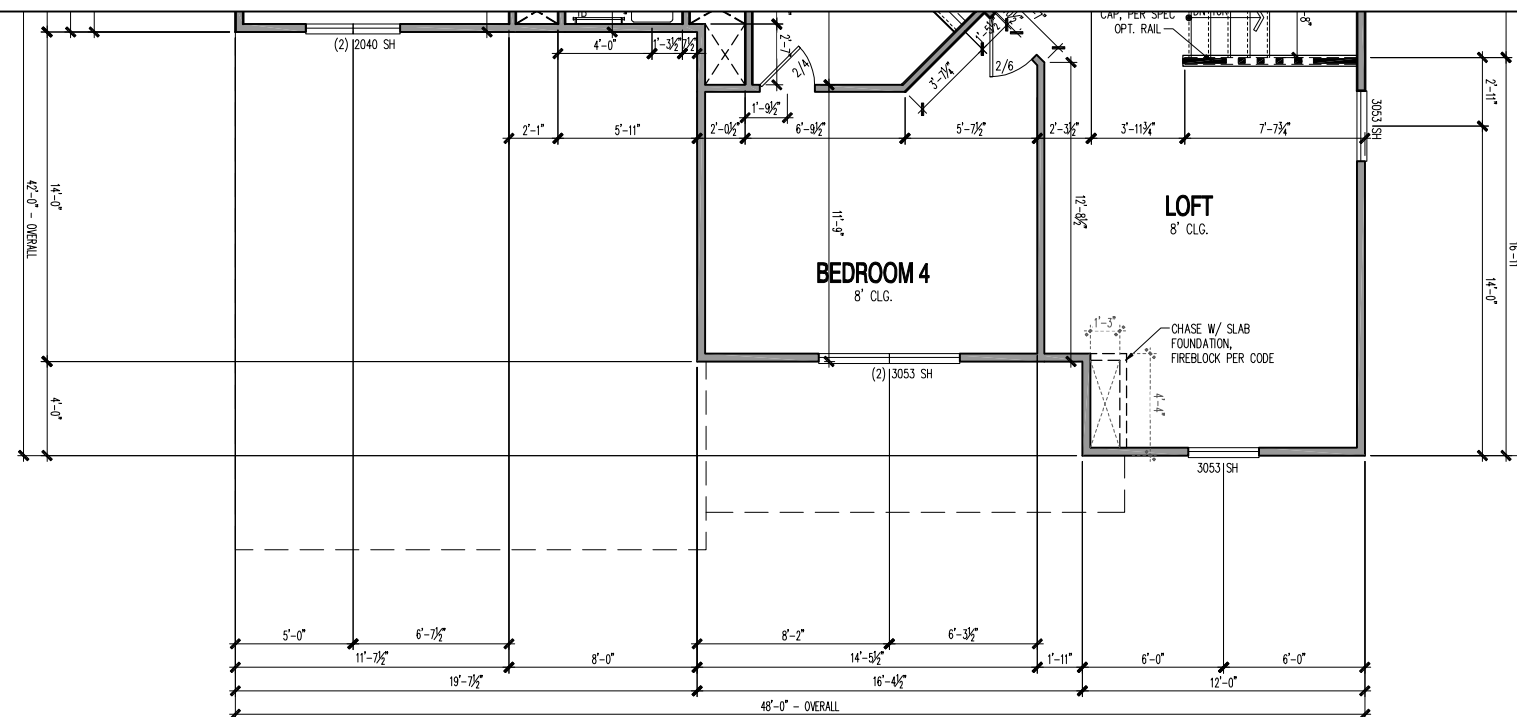
### ELEVATION CR2G

ADDITIONAL 1ST FLOOR - HEATED	0
<b>TOTAL 1ST FLOOR</b>	<b>1324</b>
ADDITIONAL 2ND FLOOR - HEATED	0
<b>TOTAL 2ND FLOOR</b>	<b>1575</b>
<b>TOTAL ELEV. HEATED</b>	<b>2899</b>
ADDITIONAL GARAGE - 2 CAR FRONT	0
<b>TOTAL GARAGE</b>	<b>707</b>
ADDITIONAL BASEMENT	0
<b>TOTAL BASEMENT</b>	<b>1242</b>
FRONT PORCH	107
<b>TOTAL ELEV. FOOTPRINT</b>	<b>2138</b>

### LIGHT & VENT SCHEDULE

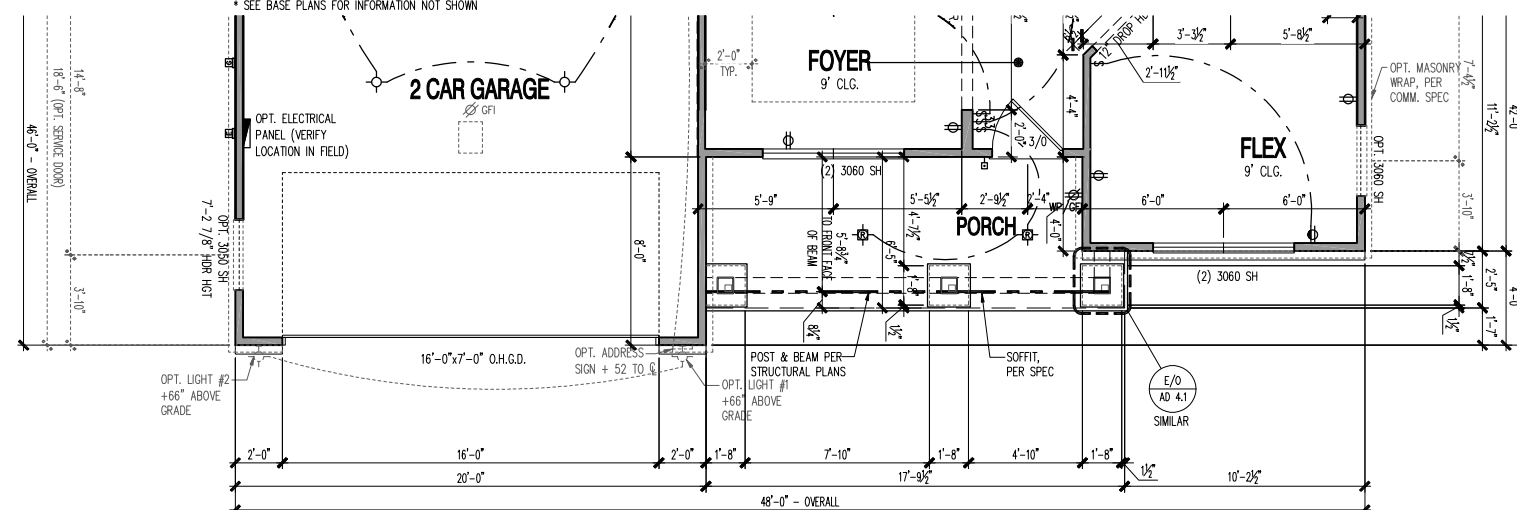
ROOM NAME	AREA	REQUIRED		SUPPLIED	
		LIGHT	VENT	LIGHT	VENT
BEDROOM 3	136.90	10.95	5.48	22.10	9.20

\*\* REFER TO LIGHT & VENT SCHEDULE ON COVER SHIT. FOR INFORMATION NOT SHOWN HERE.



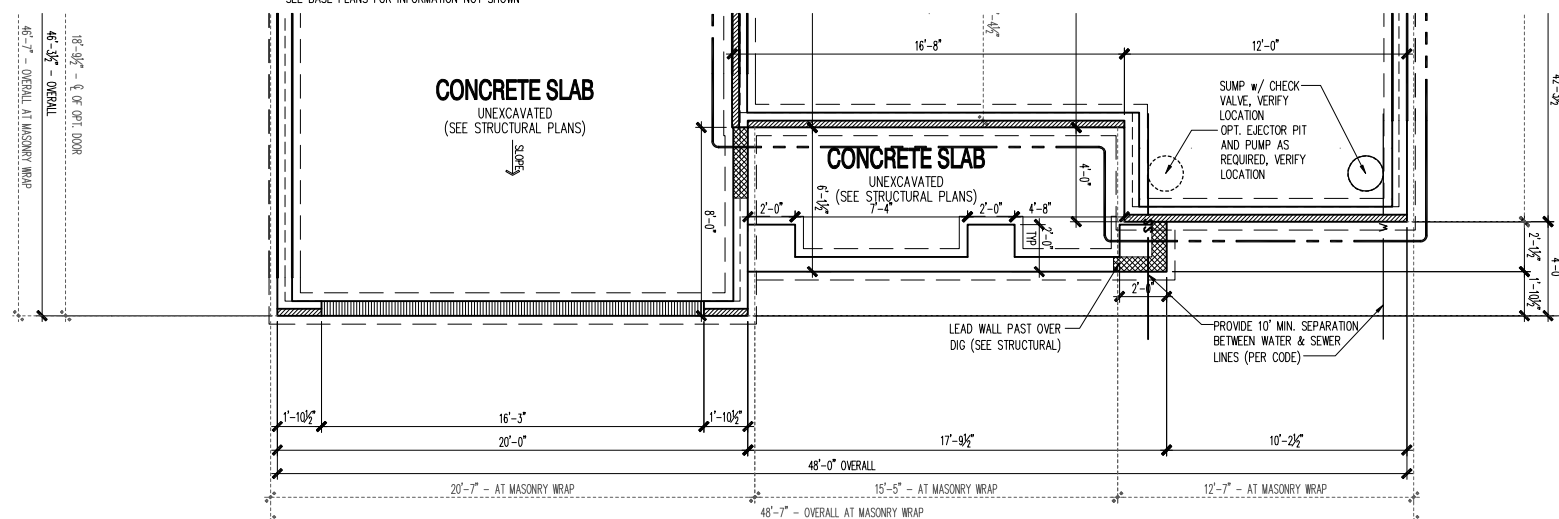
**2ND FLOOR PLAN - 4" EXTERIOR WALLS**

SCALE: 1/4" = 1'-0"  
 \* SEE BASE PLANS FOR INFORMATION NOT SHOWN



**1ST FLOOR PLAN - 4" EXTERIOR WALLS**

SCALE: 1/4" = 1'-0"  
 \* SEE BASE PLANS FOR INFORMATION NOT SHOWN



**BASEMENT FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"  
 \* SEE BASE PLANS FOR INFORMATION NOT SHOWN

Midwest Zone Office  
 1900 Golf Road - Suite 300  
 Schaumburg, Illinois 60173



Partial Plans and General Notes  
 2 Car Front Entry  
 Craftsman 2G

PRODUCT MANAGER  
 Rick Starkey  
 INITIAL RELEASE  
 DATE: 1/18/2019

REV#	DATE/DESCRIPTION
1	1/18/2019 PLAN REVISIONS
2	2/15/2019 PLAN UPDATES
3	11/27/2019 PCR REVISIONS

GARAGE HANDING  
**Single Family**

SPECIFICATION LEVEL

PLAN NAME  
**Hilltop**  
 NPC CHILD NUMBER  
**1851.302**

SHEET  
**A3-CR2G**  
**2FB4.2**

PRODUCT MANAGER  
 Rick Starkey  
 INITIAL RELEASE  
 DATE: 1/18/2019

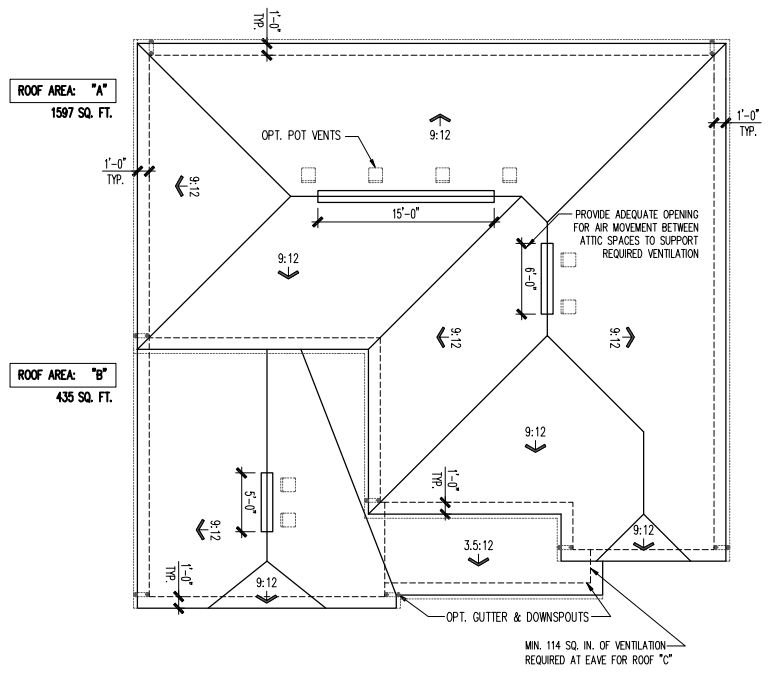
REV#	DATE/DESCRIPTION
1	1/18/2019
2	2/15/2019
3	11/27/2019

GARAGE HANDING  
**Single Family**

SPECIFICATION LEVEL

PLAN NAME  
**Hilltop**  
 NPC CHILD NUMBER  
 1851.302

SHEET  
**A3-EC2G**  
**2FB.1**



**ROOF PLAN**  
 SCALE: 1/8" = 1'-0"

**ATTIC VENT SCHEDULE**

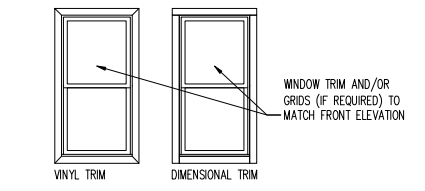
VENTILATION REQUIRED AND SUPPLIED IS BASED ON POT VENT HEIGHT AND ROOF GIRT SPACING IN TABLE ABOVE. IF CONDITIONS VARYING SIGNIFICANTLY ARE RESPONSIBLE FOR VARYING POT VENT HEIGHTS AND SUPPLY VENTILATION TO MEET CODE REQUIREMENTS A SCHEDULE HAS BEEN CALCULATED ASSUMING THE VENTILATION IS 50% OF TOTAL AND ROOF IS 40% OF TOTAL REQUIRED VENTILATION.

ROOF AREA "A"		SQ. FTG		1597		AT / NEAR RIDGE		AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	FOR LARGE SPANNERS	FOR SMALL SPANNERS	RIDGE VENT SPANNERS	EAVE VENT SPANNERS	CONC. VENT SPANNERS	CONC. VENT SPANNERS
MINI-POT VENT ONLY	3.13 - 2.44	3.14	47.78	6	0				40.00
AT VENT	3.19 - 2.44	3.78	62.22						0
<b>TOTAL #44</b>	<b>5.32 - 5.32</b>	<b>5.32</b>	<b>100.00</b>						
MINI-ROOF VENT	3.13 - 2.44	3.14	48.9	0	0	91.00			40.00
AT VENT	3.19 - 2.44	3.78	61.1						0
<b>TOTAL #44</b>	<b>5.32 - 5.32</b>	<b>5.40</b>	<b>100.00</b>						

ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT ROOF AVAILABLE

ROOF AREA "B"		SQ. FTG		435		AT / NEAR RIDGE		AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	FOR LARGE SPANNERS	FOR SMALL SPANNERS	RIDGE VENT SPANNERS	EAVE VENT SPANNERS	CONC. VENT SPANNERS	CONC. VENT SPANNERS
MINI-POT VENT ONLY	0.88 - 0.73	0.85	46.84	2	0				14.00
AT VENT	0.87 - 0.73	0.97	63.16						0
<b>TOTAL #44</b>	<b>1.45 - 1.45</b>	<b>1.82</b>	<b>100.00</b>						
MINI-ROOF VENT	0.88 - 0.73	0.85	43.84	0	0	8.00			18.00
AT VENT	0.87 - 0.73	0.89	51.16						0
<b>TOTAL #44</b>	<b>1.45 - 1.45</b>	<b>1.44</b>	<b>100.00</b>						

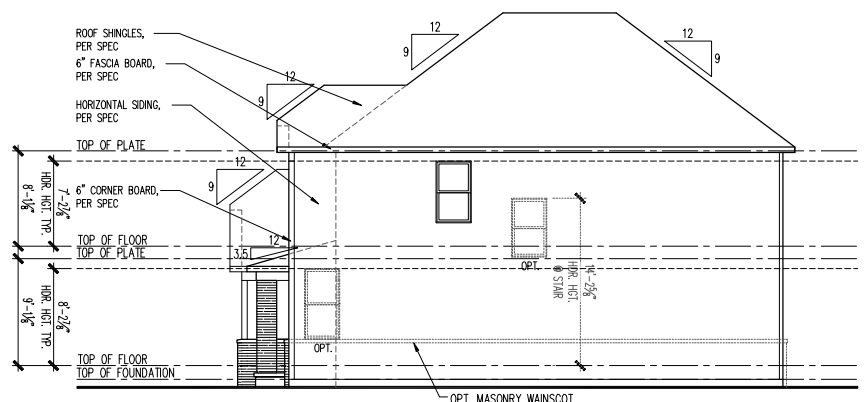
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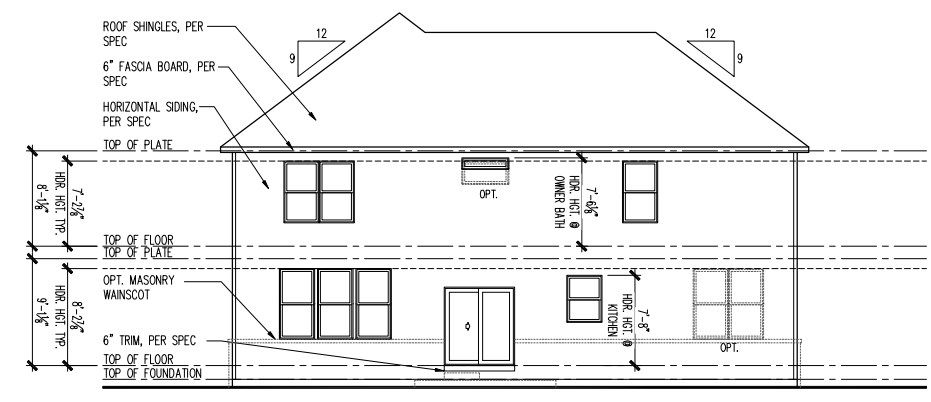
**SIDE AND REAR WINDOWS PER COMMUNITY SPECS**  
 SCALE: 1/4" = 1'-0"



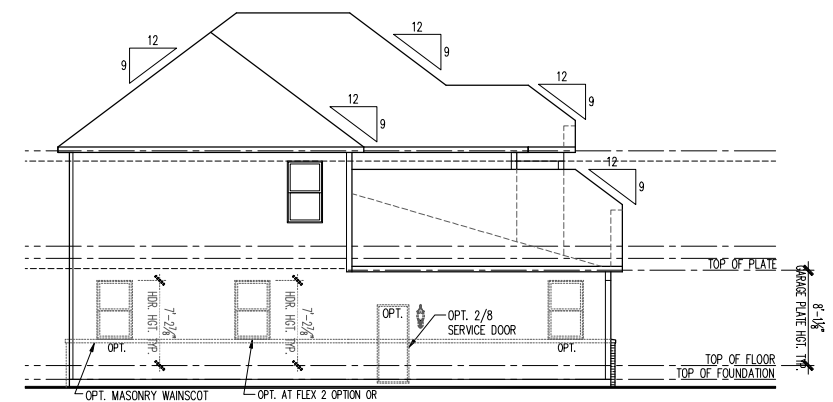
**FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
 SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
 SCALE: 1/8" = 1'-0"



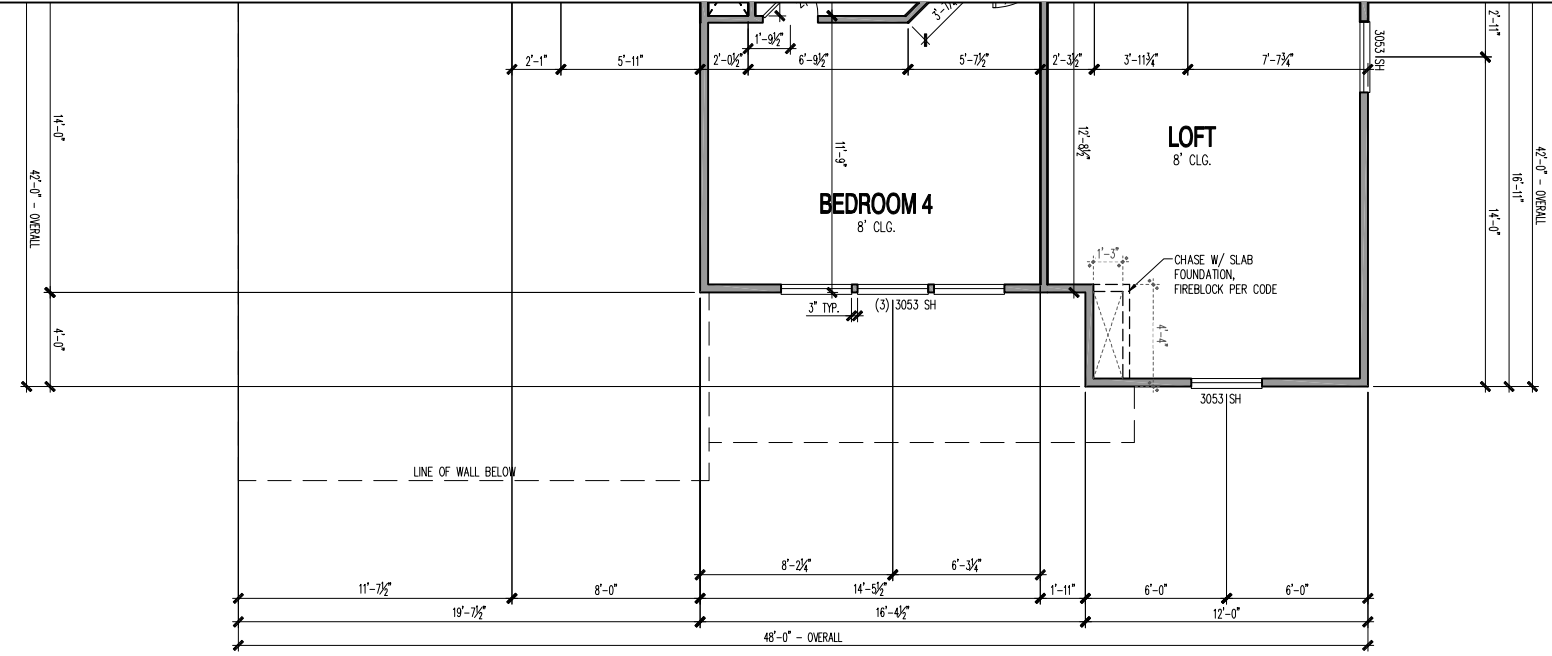
**LEFT ELEVATION**  
 SCALE: 1/8" = 1'-0"

SCHEDULE of AREAS	
<b>BASE HOUSE - HEATED</b>	
FIRST FLOOR	1324
SECOND FLOOR	1575
<b>TOTAL BASE HEATED</b>	<b>2899</b>
<b>BASE HOUSE - UNDER ROOF</b>	
GARAGE - 2 CAR FRONT ENTRY	707
BASEMENT	1242
<b>TOTAL BASE UNDER ROOF</b>	<b>2031</b>
<b>BASE OPTIONS - HEATED</b>	
ADDITIONAL AREA W/ SUNROOM	144
ADDITIONAL AREA W/ GATHERING RM EXTENSION	63
ADDITIONAL AREA W/ SUNROOM/ GATHERING RM EXTENSION	205
<b>FINISHED BASEMENT OPTIONS</b>	
FINISHED BASEMENT	787
BEDROOM 7 OPTION	153
BATH 7 OPTION	45
ADDITIONAL AREA W/ SUNROOM	129
ADDITIONAL AREA W/ GATHERING RM EXTENSION	57
ADDITIONAL AREA W/ SUNROOM & GATHERING RM EXTENSION	190
MECHANICAL	69
STORAGE	346
<b>BASE OPTIONS</b>	
BASEMENT / SUNROOM	1386
BASEMENT / GATHERING RM EXTENSION	1304
BASEMENT / SUNROOM/ GATHERING RM EXTENSION	1447
2 CAR SIDE ENTRY GARAGE	707
3 CAR FRONT ENTRY GARAGE	910
WOOD DECK	158
CONCRETE PATIO	144

ELEVATION EC2G	
ADDITIONAL 1ST FLOOR - HEATED	0
<b>TOTAL 1ST FLOOR</b>	<b>1324</b>
ADDITIONAL 2ND FLOOR - HEATED	0
<b>TOTAL 2ND FLOOR</b>	<b>1575</b>
<b>TOTAL ELEV. HEATED</b>	<b>2899</b>
ADDITIONAL GARAGE - 2 CAR FRONT	0
<b>TOTAL GARAGE</b>	<b>707</b>
ADDITIONAL BASEMENT	0
<b>TOTAL BASEMENT</b>	<b>1242</b>
FRONT PORCH	105
<b>TOTAL ELEV. FOOTPRINT</b>	<b>2136</b>

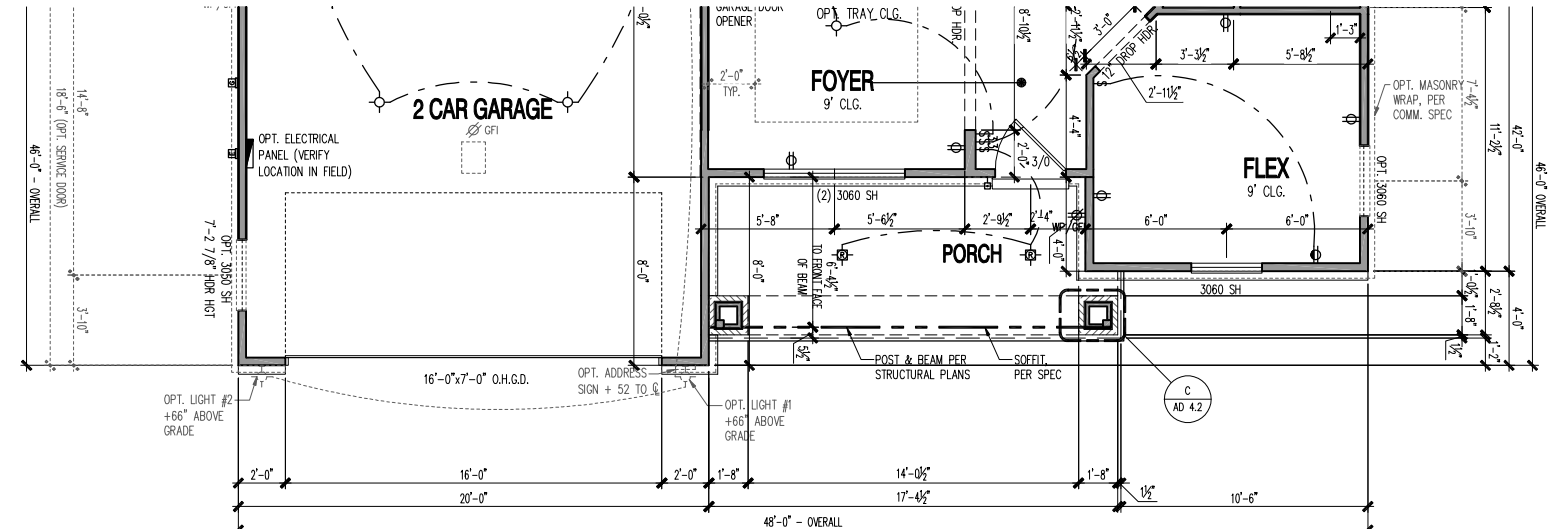
LIGHT & VENT SCHEDULE					
ROOM NAME	AREA	REQUIRED		SUPPLIED	
		LIGHT	VENT	LIGHT	VENT
FLEX	116.29	9.30	4.65	13.70	5.90
BEDROOM 4	167.91	13.43	6.72	35.10	15.00

\*\* REFER TO LIGHT & VENT SCHEDULE ON COVER SHT. FOR INFORMATION NOT SHOWN HERE.



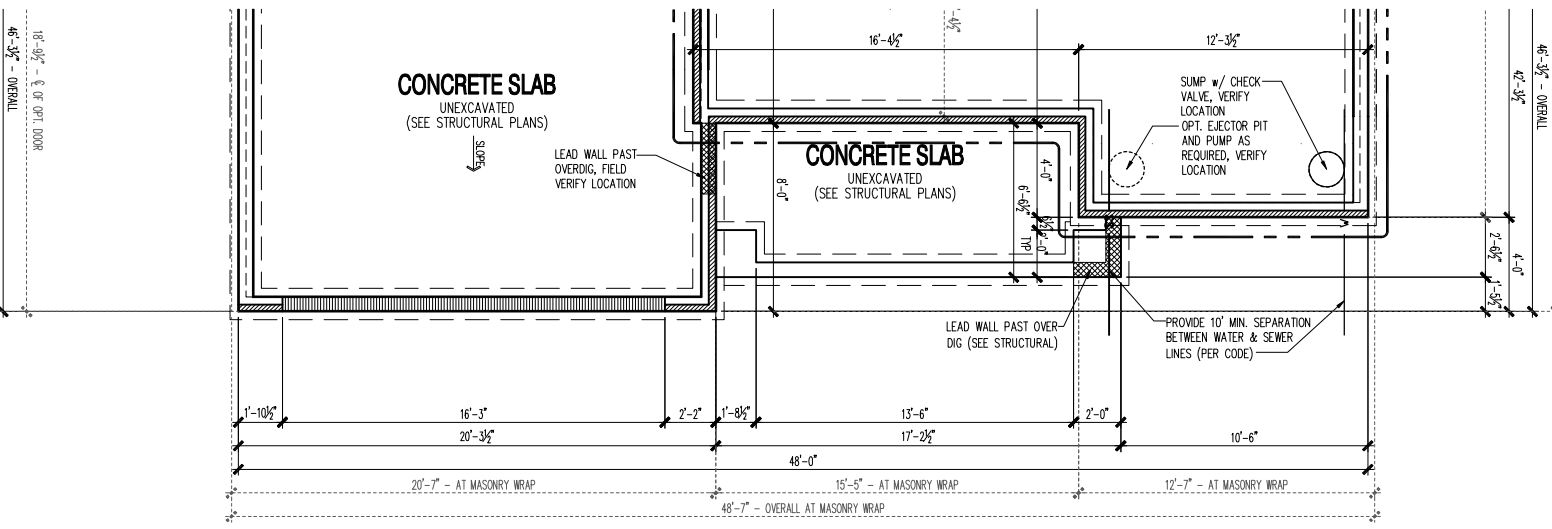
**2ND FLOOR PLAN - 4" EXTERIOR WALLS**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



**1ST FLOOR PLAN - 4" EXTERIOR WALLS**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



**BASEMENT FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN

**Midwest Zone Office**  
1900 Golf Road - Suite 300  
Schaumburg, Illinois 60173



**Partial Plans and General Notes**  
2 Car Front Entry  
Euro Country 2G

PRODUCT MANAGER  
Rick Starkey  
INITIAL RELEASE  
DATE: 1/18/2019

REV	DATE/DESCRIPTION
1	1/18/2019 PLAN REVISIONS
2	2/15/2019 PLAN UPDATES
3	11/27/2019 PCR REVISIONS

GARAGE HANDING  
**Single Family**

SPECIFICATION LEVEL

PLAN NAME  
**Hilltop**  
NPC CHILD NUMBER  
1851.302

SHEET  
**A3-EC2G**  
**2FB4.2**

PRODUCT MANAGER  
 Rick Starkey  
 INITIAL RELEASE  
 DATE: 1/18/2019

REV#	DATE/DESCRIPTION
1	1/18/2019 PLAN REVISIONS
2	2/15/2019 PLAN UPDATES
3	11/27/2019 PCR REVISIONS

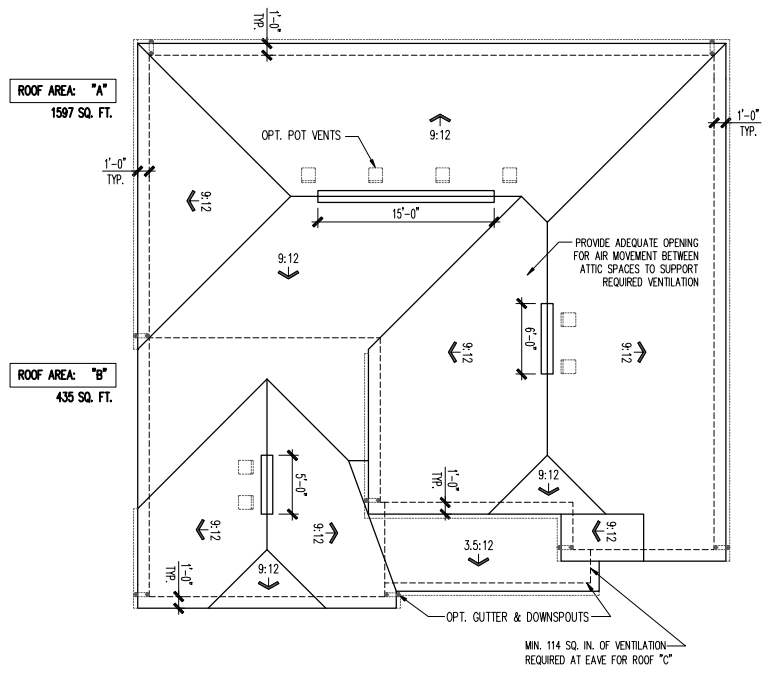
GARAGE HANDING  
 Single Family

SPECIFICATION LEVEL

PLAN NAME  
 Hilltop  
 NPC CHILD NUMBER  
 1851.302

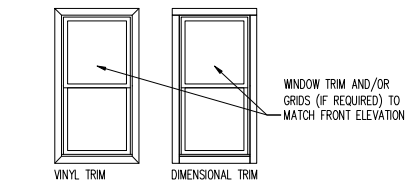
SHEET  
 A3-EC2H  
 2FB.1

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ROOF PLAN  
 SCALE: 1/8" = 1'-0"

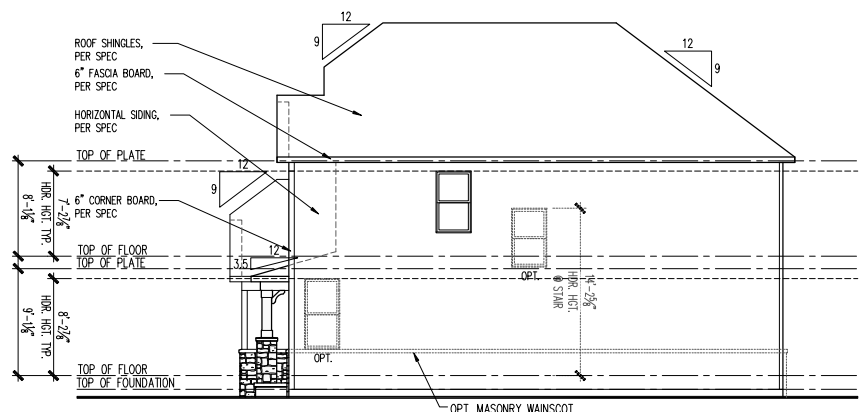
ATTIC VENT SCHEDULE									
Euro Country 2H									
ROOF AREA "A"	SQ. FTG	1597	AT / NEAR RIDGE		AT / NEAR EAVE				
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	FOR LARGE SPAN	FOR SMALL SPAN	RIDGE VENT	EAVE VENT	CONC. VENT	
MINI-POP VENT ONLY	0.13	2.44	0.14	47.8	6	0			
AT VENT	3.19	2.44	2.76	83.2				0	40.00
TOTAL #44	3.32	5.32	5.32	100.00					
MINI-POP VENT ONLY	0.13	2.44	0.14	48.9	0	0	91.00		40.00
AT VENT	3.19	2.44	2.76	81.1				0	40.00
TOTAL #44	3.32	5.32	5.40	100.00					
ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT ROOF AVAILABLE									
ROOF AREA "B"	SQ. FTG	435	AT / NEAR RIDGE		AT / NEAR EAVE				
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	FOR LARGE SPAN	FOR SMALL SPAN	RIDGE VENT	EAVE VENT	CONC. VENT	
MINI-POP VENT ONLY	0.18	0.73	0.85	46.8	2	0			
AT VENT	0.87	0.73	0.87	83.4				0	14.00
TOTAL #44	1.45	1.45	1.82	100.00					
MINI-POP VENT ONLY	0.18	0.73	0.85	46.8	0	0	8.00		18.00
AT VENT	0.87	0.73	0.88	81.4				0	18.00
TOTAL #44	1.45	1.45	1.46	100.00					
ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT ROOF AVAILABLE									



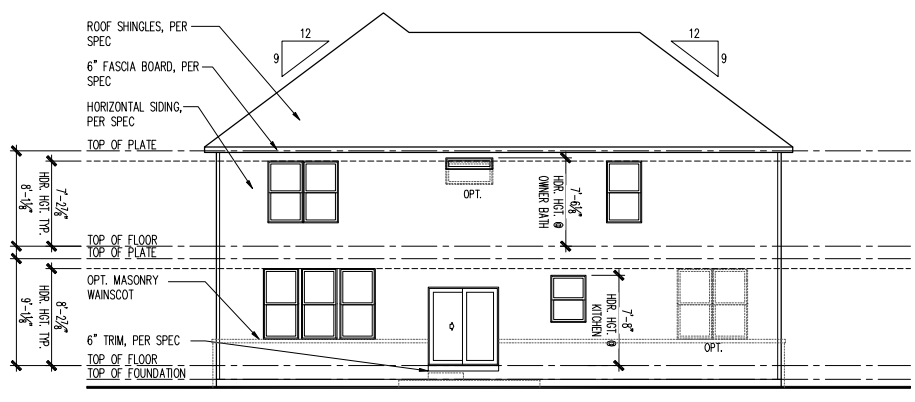
SIDE AND REAR WINDOWS PER COMMUNITY SPECS  
 SCALE: 1/4" = 1'-0"



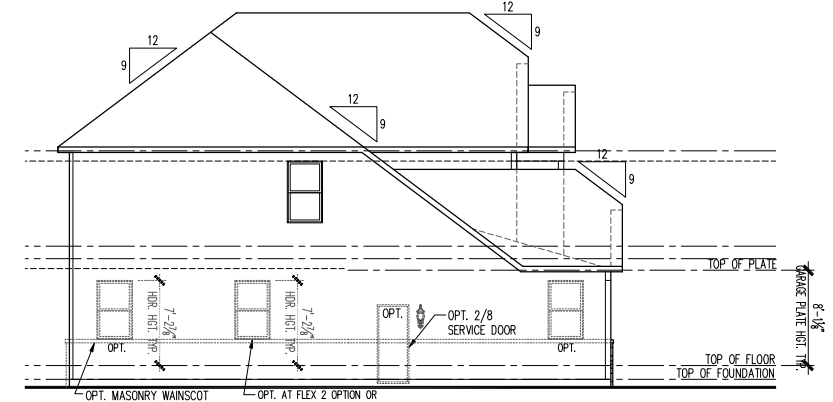
FRONT ELEVATION  
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION  
 SCALE: 1/8" = 1'-0"



REAR ELEVATION  
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION  
 SCALE: 1/8" = 1'-0"

PLOTTED: November 5, 2019 / Armit Lee / A3-EC2H\_2FB.LDWG

### SCHEDULE of AREAS

BASE HOUSE - HEATED	
FIRST FLOOR	1324
SECOND FLOOR	1575
<b>TOTAL BASE HEATED</b>	<b>2899</b>
BASE HOUSE - UNDER ROOF	
GARAGE - 2 CAR FRONT ENTRY	707
BASEMENT	1242
<b>TOTAL BASE UNDER ROOF</b>	<b>2031</b>
BASE OPTIONS - HEATED	
ADDITIONAL AREA W/ SUNROOM	144
ADDITIONAL AREA W/ GATHERING RM EXTENSION	63
ADDITIONAL AREA W/ SUNROOM/ GATHERING RM EXTENSION	205
FINISHED BASEMENT OPTIONS	
FINISHED BASEMENT	787
BEDROOM 7 OPTION	153
BATH 7 OPTION	45
ADDITIONAL AREA W/ SUNROOM	129
ADDITIONAL AREA W/ GATHERING RM EXTENSION	57
ADDITIONAL AREA W/ SUNROOM & GATHERING RM EXTENSION	190
MECHANICAL	69
STORAGE	346
BASE OPTIONS	
BASEMENT / SUNROOM	1386
BASEMENT / GATHERING RM EXTENSION	1304
BASEMENT / SUNROOM/ GATHERING RM EXTENSION	1447
2 CAR SIDE ENTRY GARAGE	707
3 CAR FRONT ENTRY GARAGE	910
WOOD DECK	158
CONCRETE PATIO	144

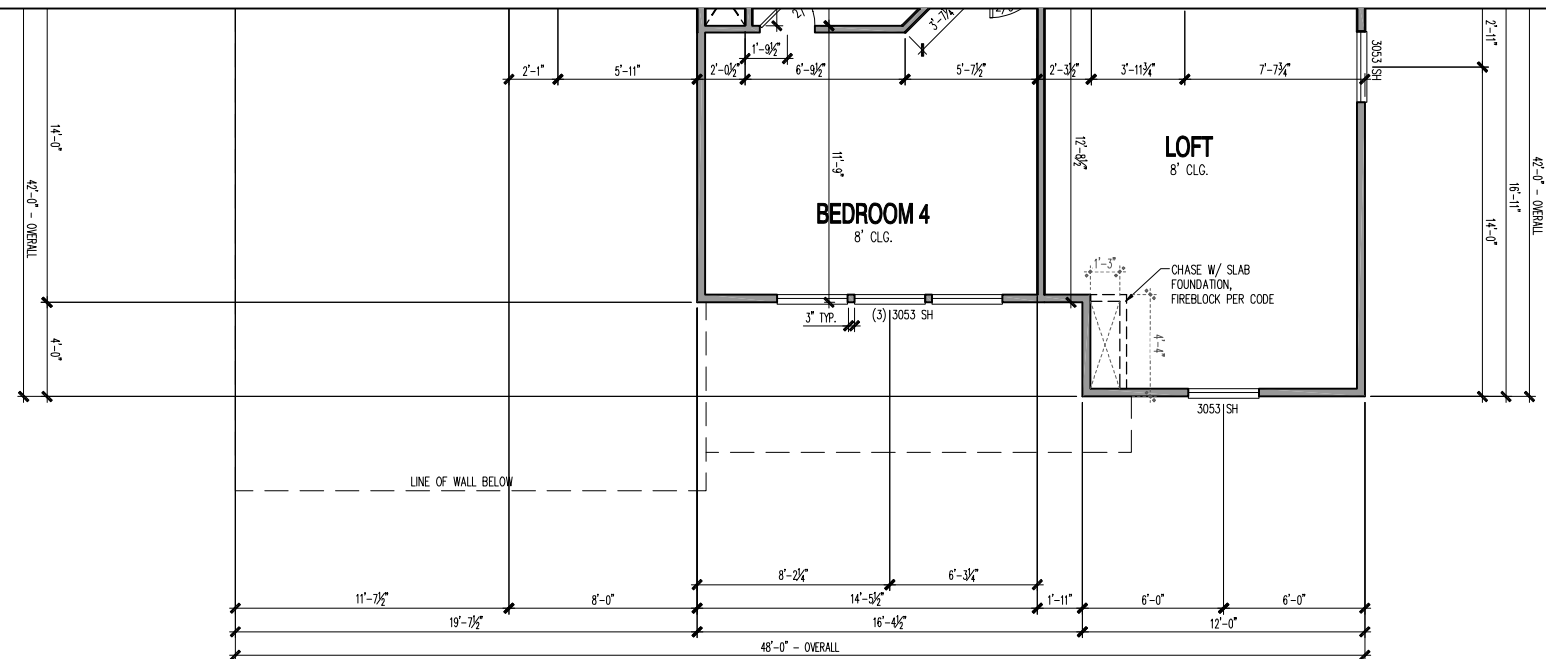
### ELEVATION EC2H

ADDITIONAL 1ST FLOOR - HEATED	0
<b>TOTAL 1ST FLOOR</b>	<b>1324</b>
ADDITIONAL 2ND FLOOR - HEATED	0
<b>TOTAL 2ND FLOOR</b>	<b>1575</b>
<b>TOTAL ELEV. HEATED</b>	<b>2899</b>
ADDITIONAL GARAGE - 2 CAR FRONT	0
<b>TOTAL GARAGE</b>	<b>707</b>
ADDITIONAL BASEMENT	0
<b>TOTAL BASEMENT</b>	<b>1242</b>
FRONT PORCH	110
<b>TOTAL ELEV. FOOTPRINT</b>	<b>2141</b>

### LIGHT & VENT SCHEDULE

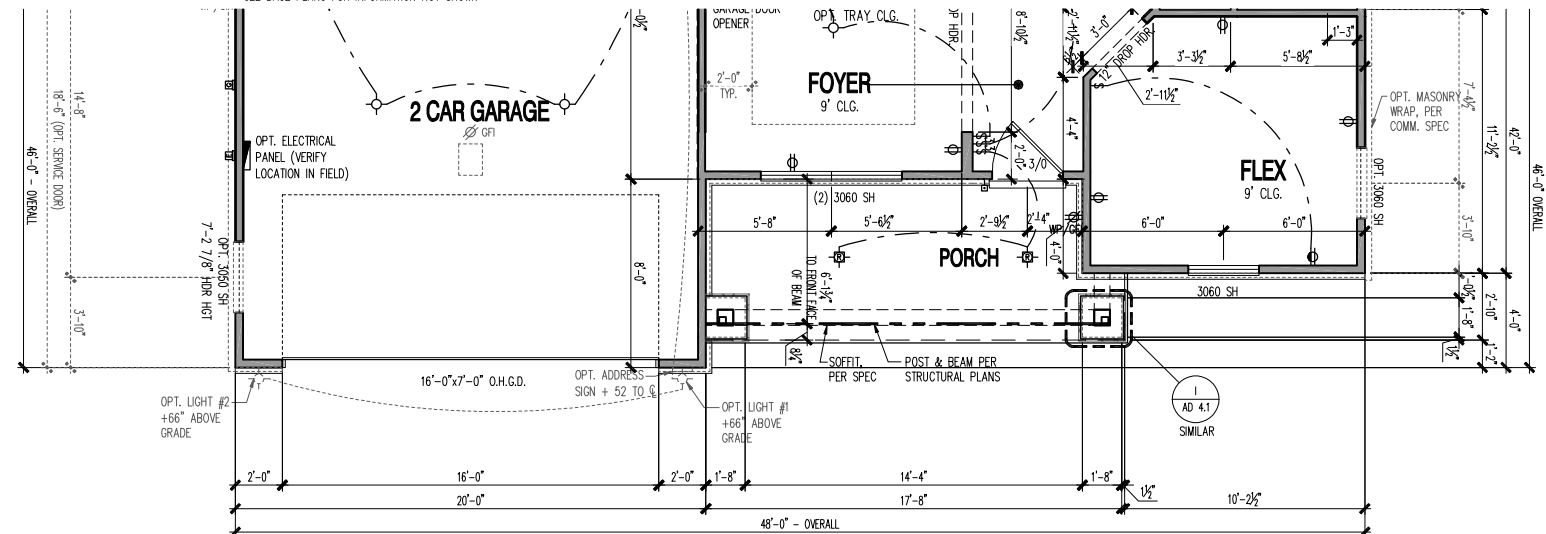
ROOM NAME	AREA	REQUIRED		SUPPLIED	
		LIGHT	VENT	LIGHT	VENT
FLEX	116.29	9.30	4.65	13.70	5.90
BEDROOM 4	167.91	13.43	6.72	35.10	15.00

\*\* REFER TO LIGHT & VENT SCHEDULE ON COVER SHT. FOR INFORMATION NOT SHOWN HERE.



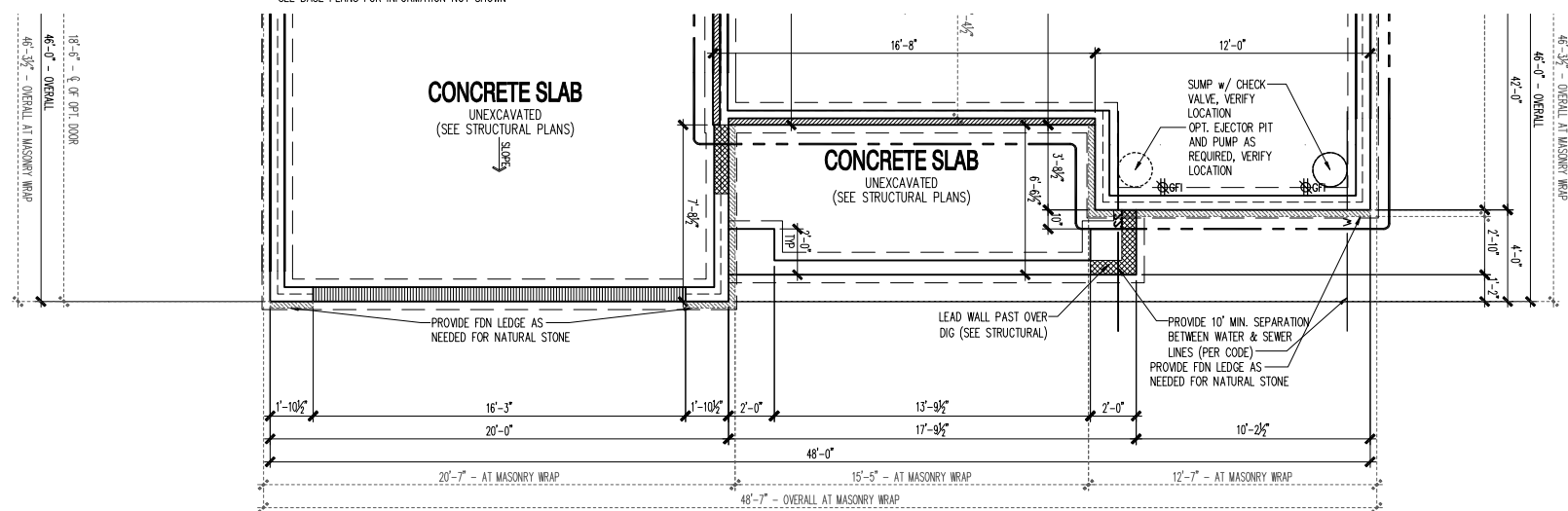
### 2ND FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



### 1ST FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



### BASEMENT FOUNDATION PLAN

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN

**Midwest Zone Office**  
1900 Golf Road - Suite 300  
Schaumburg, Illinois 60173



**Partial Plans and General Notes**  
2 Car Front Entry  
Euro Country 2H

PRODUCT MANAGER  
Rick Starkey  
INITIAL RELEASE  
DATE: 1/18/2019

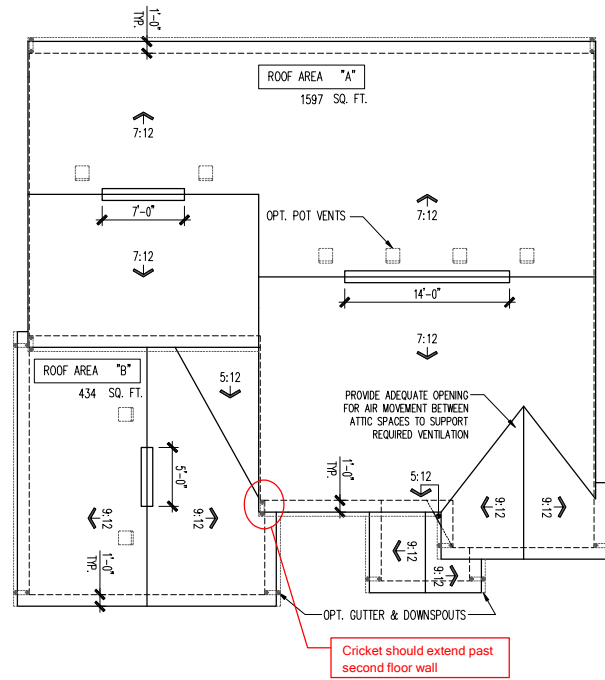
REV#	DATE/DESCRIPTION
1	1/18/2019 PLAN REVISIONS
2	2/15/2019 PLAN UPDATES
3	11/27/2019 PCR REVISIONS

GARAGE HANDING  
**Single Family**

SPECIFICATION LEVEL

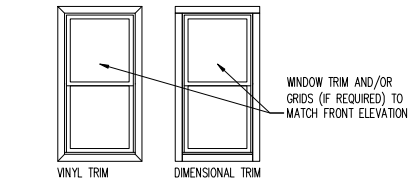
PLAN NAME  
**Hilltop**  
NPC CHILD NUMBER  
1851.302

SHEET  
**A3-EC2H**  
**2FB4.2**



**ROOF PLAN**  
SCALE: 1/8" = 1'-0"

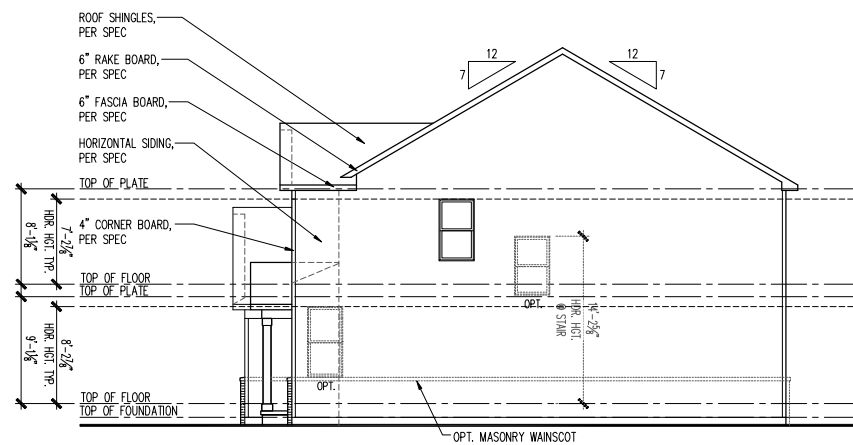
ATTIC VENT SCHEDULE									
Heartland 2G									
ROOF AREA "A"	SQ. FTG	1597	AT / NEAR RIDGE		AT / NEAR EAVE				
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	FOR LARGE BALANCE	FOR SMALL BALANCE	RIDGE VENT BALANCE	EAVE VENT BALANCE	CONC. VENT BALANCE	
MINI-POT VENT ONLY	3.13 - 2.44	3.14	47.78	6	0				
AT VENT	3.19 - 2.44	3.76	62.22					0	40.00
<b>TOTAL #44</b>	<b>5.32 - 5.32</b>	<b>5.32</b>	<b>100.00</b>						
MINI-POT VENT ONLY	3.13 - 2.44	3.14	42.89	0	0	91.00			40.00
AT VENT	3.19 - 2.44	3.76	67.11					0	40.00
<b>TOTAL #44</b>	<b>5.32 - 5.32</b>	<b>5.40</b>	<b>100.00</b>	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT ROOF AVAILABLE					
ROOF AREA "B"	SQ. FTG	434	AT / NEAR RIDGE		AT / NEAR EAVE				
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	FOR LARGE BALANCE	FOR SMALL BALANCE	RIDGE VENT BALANCE	EAVE VENT BALANCE	CONC. VENT BALANCE	
MINI-POT VENT ONLY	0.88 - 0.71	0.85	46.84	2	0				
AT VENT	0.87 - 0.71	0.97	63.16					0	14.00
<b>TOTAL #44</b>	<b>1.45 - 1.45</b>	<b>1.82</b>	<b>100.00</b>						
MINI-POT VENT ONLY	0.88 - 0.71	0.85	43.84	0	0	8.00			12.00
AT VENT	0.87 - 0.71	0.89	51.14					0	12.00
<b>TOTAL #44</b>	<b>1.45 - 1.45</b>	<b>1.46</b>	<b>100.00</b>	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT ROOF AVAILABLE					



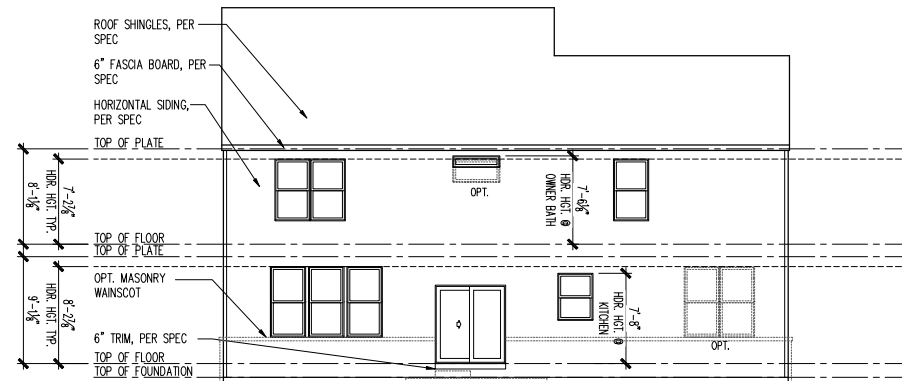
**SIDE AND REAR WINDOWS PER COMMUNITY SPECS**  
SCALE: 1/4" = 1'-0"



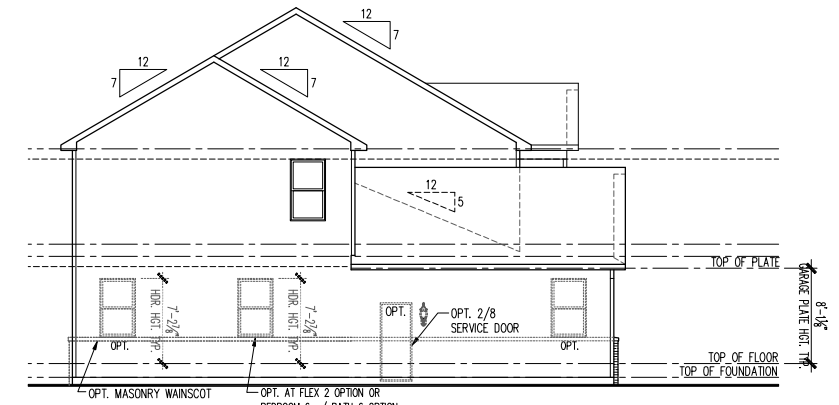
**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/8" = 1'-0"

PLOTTED: November 5, 2019 / Armit Lee / A3-HR2G 2FB.DWG

Midwest Zone Office  
1900 Golf Road - Suite 300  
Schaumburg, Illinois 60173



Front, Side and Rear Elevations  
2 Car Front Entry  
Heartland 2G

PRODUCT MANAGER	Rick Starkey
INITIAL RELEASE	
DATE:	1/18/2019
REV#	DATE/DESCRIPTION
1	1/18/2019
2	PLAN REVISIONS
3	2/15/2019
4	PLAN UPDATES
5	11/27/2019
6	PCR REVISIONS

GARAGE HANDING  
Single Family

SPECIFICATION LEVEL

PLAN NAME  
Hilltop  
NPC CHILD NUMBER  
1851.302

SHEET  
A3-HR2G  
2FB.1

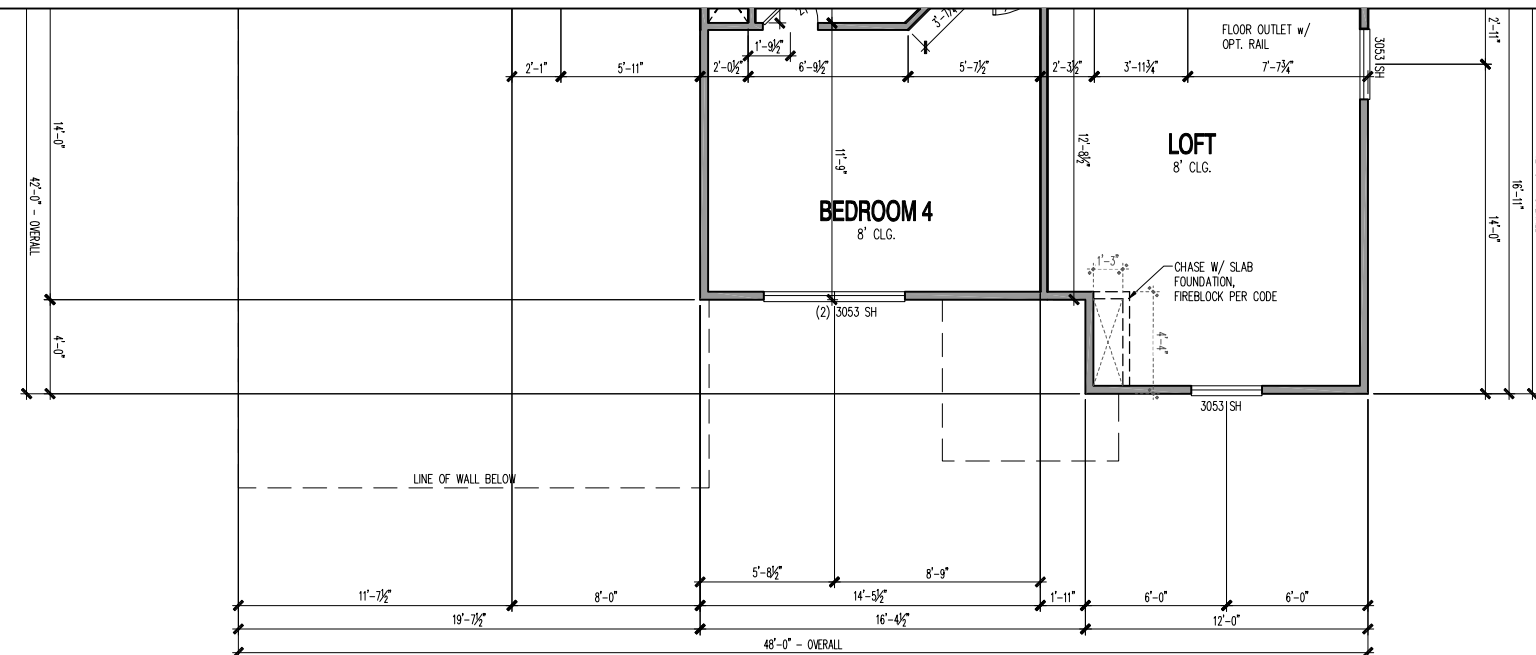
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### SCHEDULE of AREAS

BASE HOUSE - HEATED	
FIRST FLOOR	1324
SECOND FLOOR	1575
<b>TOTAL BASE HEATED</b>	<b>2899</b>
BASE HOUSE - UNDER ROOF	
GARAGE - 2 CAR FRONT ENTRY	707
BASEMENT	1242
<b>TOTAL BASE UNDER ROOF</b>	<b>2031</b>
BASE OPTIONS - HEATED	
ADDITIONAL AREA W/ SUNROOM	144
ADDITIONAL AREA W/ GATHERING RM EXTENSION	63
ADDITIONAL AREA W/ SUNROOM/ GATHERING RM EXTENSION	205
FINISHED BASEMENT OPTIONS	
FINISHED BASEMENT	787
BEDROOM 7 OPTION	153
BATH 7 OPTION	45
ADDITIONAL AREA W/ SUNROOM	129
ADDITIONAL AREA W/ GATHERING RM EXTENSION	57
ADDITIONAL AREA W/ SUNROOM & GATHERING RM EXTENSION	190
MECHANICAL	69
STORAGE	346
BASE OPTIONS	
BASEMENT / SUNROOM	1386
BASEMENT / GATHERING RM EXTENSION	1304
BASEMENT / SUNROOM/ GATHERING RM EXTENSION	1447
2 CAR SIDE ENTRY GARAGE	707
3 CAR FRONT ENTRY GARAGE	910
WOOD DECK	158
CONCRETE PATIO	144

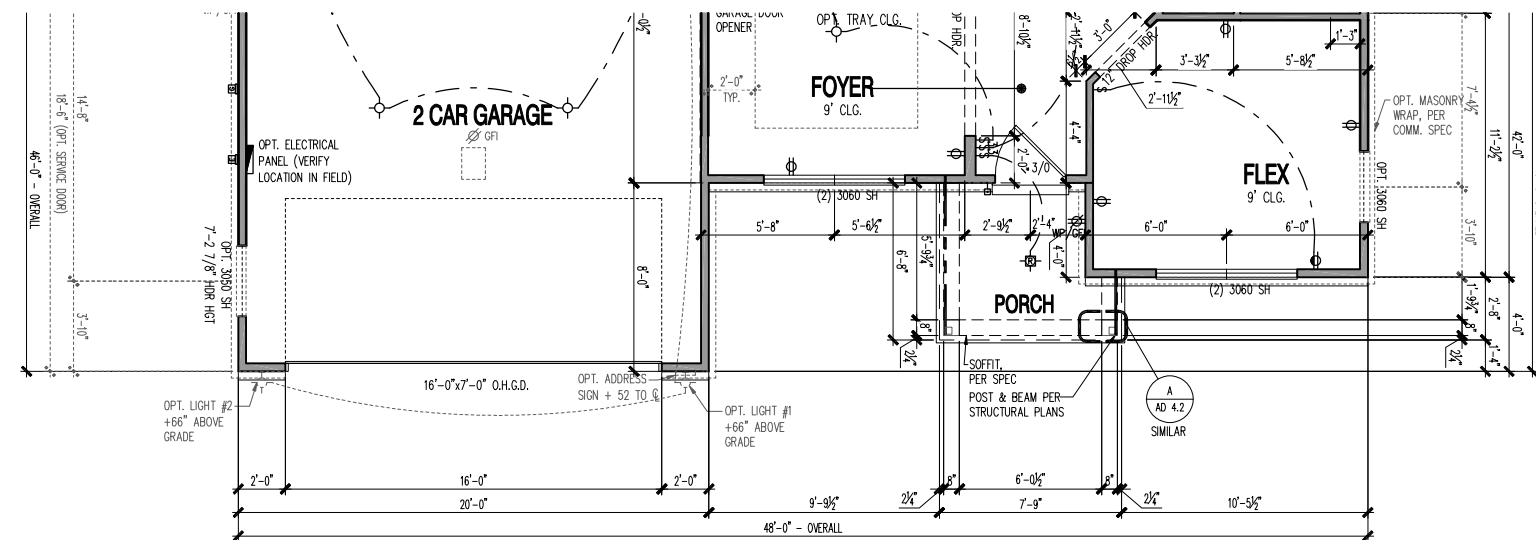
### ELEVATION HR2G

ADDITIONAL 1ST FLOOR - HEATED	0
<b>TOTAL 1ST FLOOR</b>	<b>1324</b>
ADDITIONAL 2ND FLOOR - HEATED	0
<b>TOTAL 2ND FLOOR</b>	<b>1575</b>
<b>TOTAL ELEV. HEATED</b>	<b>2899</b>
ADDITIONAL GARAGE - 2 CAR FRONT	0
<b>TOTAL GARAGE</b>	<b>707</b>
ADDITIONAL BASEMENT	0
<b>TOTAL BASEMENT</b>	<b>1242</b>
FRONT PORCH	40
<b>TOTAL ELEV. FOOTPRINT</b>	<b>2071</b>



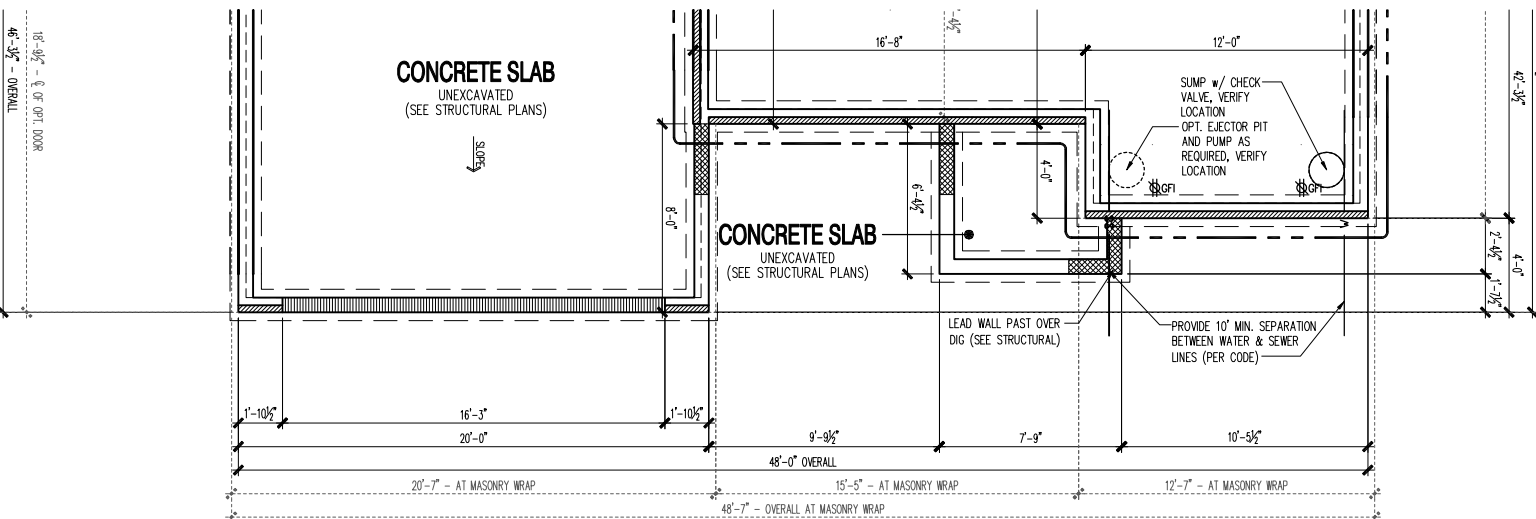
**2ND FLOOR PLAN - 4" EXTERIOR WALLS**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



**1ST FLOOR PLAN - 4" EXTERIOR WALLS**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



**BASEMENT FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN

Midwest Zone Office  
1900 Golf Road - Suite 300  
Schaumburg, Illinois 60173



Partial Plans and General Notes  
2 Car Front Entry  
Heartland 2C

PRODUCT MANAGER  
Rick Starkey  
INITIAL RELEASE  
DATE: 1/18/2019

REV#	DATE/DESCRIPTION
1	1/18/2019 PLAN REVISIONS
2	2/15/2019 PLAN UPDATES
3	11/27/2019 PCR REVISIONS
4	
5	
6	
7	

GARAGE HANDING  
**Single Family**

SPECIFICATION LEVEL

PLAN NAME  
**Hilltop**  
NPC CHILD NUMBER  
**1851.302**

SHEET  
**A3-HR2G**  
**2FB4.2**

PRODUCT MANAGER  
 Rick Starkey  
 INITIAL RELEASE  
 DATE: 1/18/2019

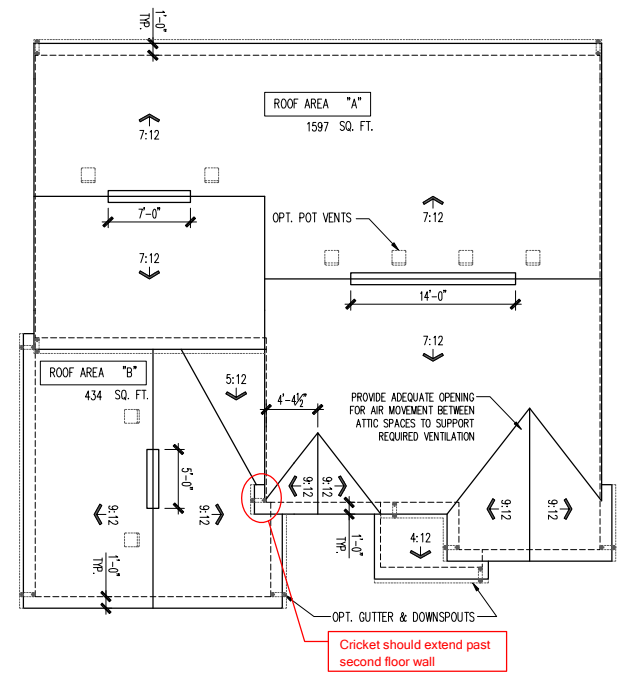
REV#	DATE/DESCRIPTION
1	1/18/2019
2	PLAN REVISIONS
3	2/15/2019
4	PLAN UPDATES
5	11/27/2019
6	PCR REVISIONS

GARAGE HANDING  
 Single Family

SPECIFICATION LEVEL

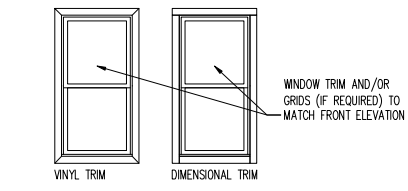
PLAN NAME  
 Hilltop  
 NPC CHILD NUMBER  
 1851.302

SHEET  
 A3-HR2H  
 2FB.1



ROOF PLAN  
 SCALE: 1/8" = 1'-0"

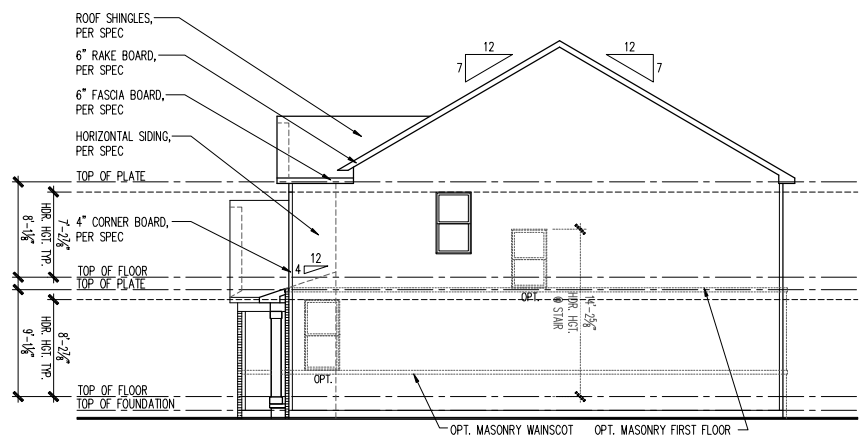
ATTIC VENT SCHEDULE									
Heartland 2H									
VENTILATION PROVIDED AND SUPPLIED IS BASED ON POT VENT HEIGHT AND ROOF LOW RIDGES SHOWN IN TABLE ABOVE. IF CONDITIONS REQUIRING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENT SIZE WILL SATISFY REQUIREMENTS TO MEET CODE REQUIREMENTS A SCHEDULE HAS BEEN CALCULATED ASSUMING THE VENTILATION IS 50'-0" OF TOTAL AND ROOF IS 40'-0" OF TOTAL REQUIRED VENTILATION.									
ROOF AREA "A"	SQ. FTG	1997	AT / NEAR RIDGE			AT / NEAR EAVE			
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	FOR LARGE RIDGES	FOR SMALL RIDGES	ROOF VENT PLACEMENT	EAVE VENT PLACEMENT	CONC. VENT PLACEMENT	
MINI-POF VENT ONLY	3.13 - 2.44	3.24	47.78	6	0				
AT VENT	3.19 - 2.44	3.78	62.22					0	40.00
TOTAL #44	5.32	5.32	100.00						
MINI-ROOF VENT	3.13 - 2.44	3.24	42.89	0	0	21.00			40.00
AT VENT	3.19 - 2.44	3.78	67.11					0	40.00
TOTAL #44	5.32	5.32	100.00						
ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT ROOF AVAILABLE									
ROOF AREA "B"	SQ. FTG	434	AT / NEAR RIDGE			AT / NEAR EAVE			
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	FOR LARGE RIDGES	FOR SMALL RIDGES	ROOF VENT PLACEMENT	EAVE VENT PLACEMENT	CONC. VENT PLACEMENT	
MINI-POF VENT ONLY	0.88 - 0.71	0.85	46.84	2	0				
AT VENT	0.87 - 0.71	0.97	63.16					0	14.00
TOTAL #44	1.45	1.45	100.00						
MINI-ROOF VENT	0.88 - 0.71	0.85	43.84	0	0	8.00			12.00
AT VENT	0.87 - 0.71	0.89	61.14					0	12.00
TOTAL #44	1.45	1.45	100.00						
ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT ROOF AVAILABLE									



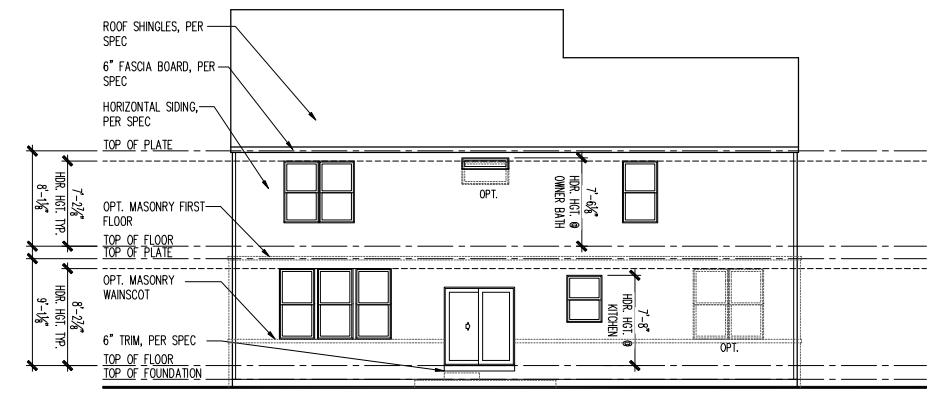
SIDE AND REAR WINDOWS PER COMMUNITY SPECS  
 SCALE: 1/4" = 1'-0"



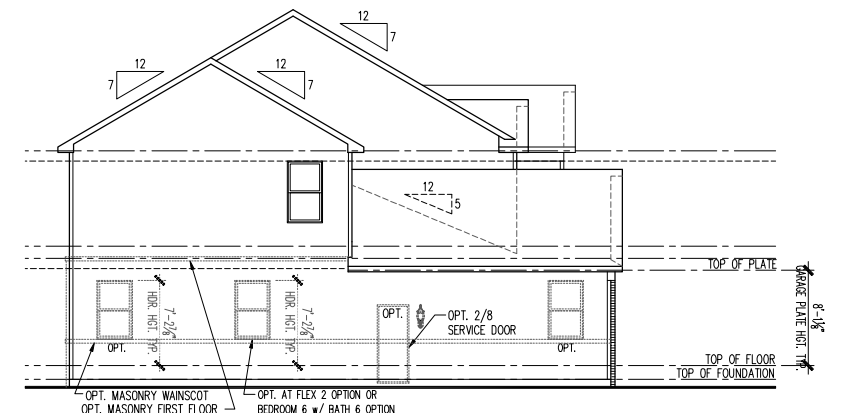
FRONT ELEVATION  
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION  
 SCALE: 1/8" = 1'-0"



REAR ELEVATION  
 SCALE: 1/8" = 1'-0"



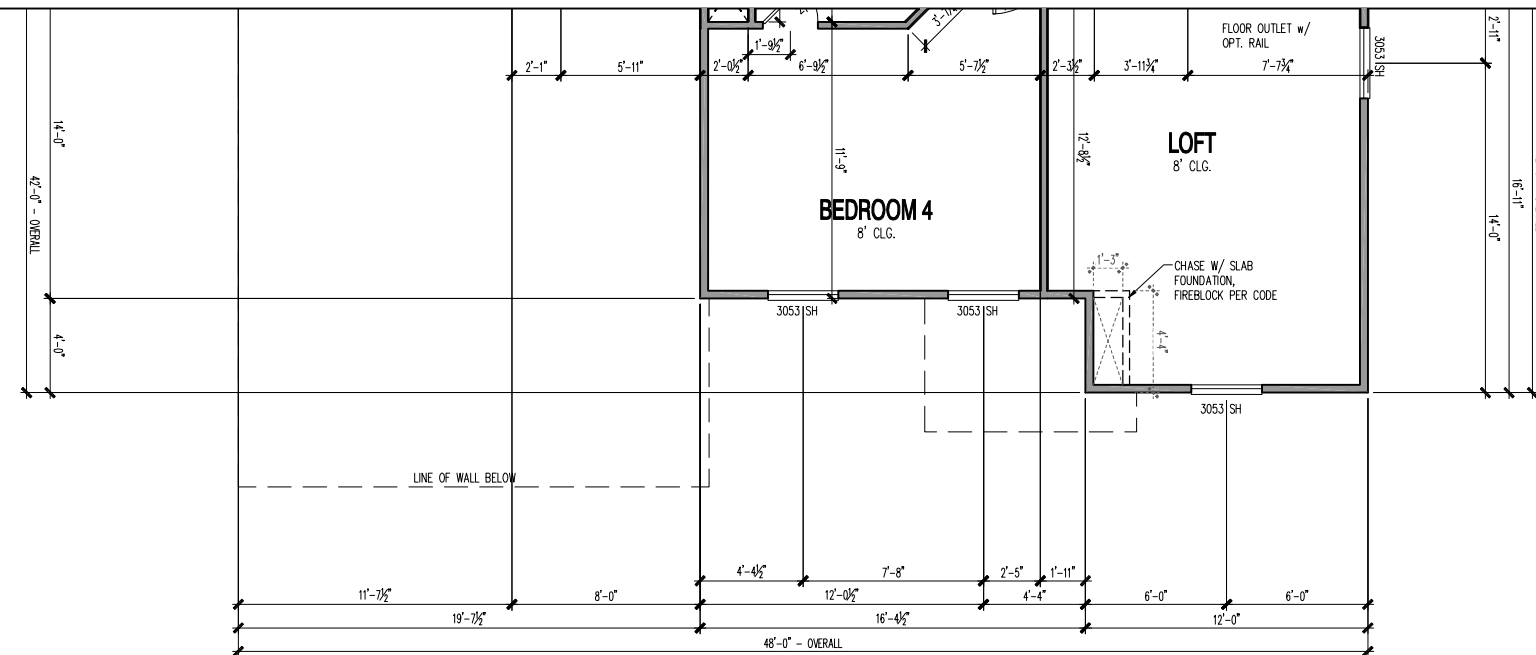
LEFT ELEVATION  
 SCALE: 1/8" = 1'-0"

## SCHEDULE of AREAS

BASE HOUSE - HEATED	
FIRST FLOOR	1324
SECOND FLOOR	1575
<b>TOTAL BASE HEATED</b>	<b>2899</b>
BASE HOUSE - UNDER ROOF	
GARAGE - 2 CAR FRONT ENTRY	707
BASEMENT	1242
<b>TOTAL BASE UNDER ROOF</b>	<b>2031</b>
BASE OPTIONS - HEATED	
ADDITIONAL AREA W/ SUNROOM	144
ADDITIONAL AREA W/ GATHERING RM EXTENSION	63
ADDITIONAL AREA W/ SUNROOM/ GATHERING RM EXTENSION	205
FINISHED BASEMENT OPTIONS	
FINISHED BASEMENT	787
BEDROOM 7 OPTION	153
BATH 7 OPTION	45
ADDITIONAL AREA W/ SUNROOM	129
ADDITIONAL AREA W/ GATHERING RM EXTENSION	57
ADDITIONAL AREA W/ SUNROOM & GATHERING RM EXTENSION	190
MECHANICAL	69
STORAGE	346
BASE OPTIONS	
BASEMENT / SUNROOM	1386
BASEMENT / GATHERING RM EXTENSION	1304
BASEMENT / SUNROOM/ GATHERING RM EXTENSION	1447
2 CAR SIDE ENTRY GARAGE	707
3 CAR FRONT ENTRY GARAGE	910
WOOD DECK	158
CONCRETE PATIO	144

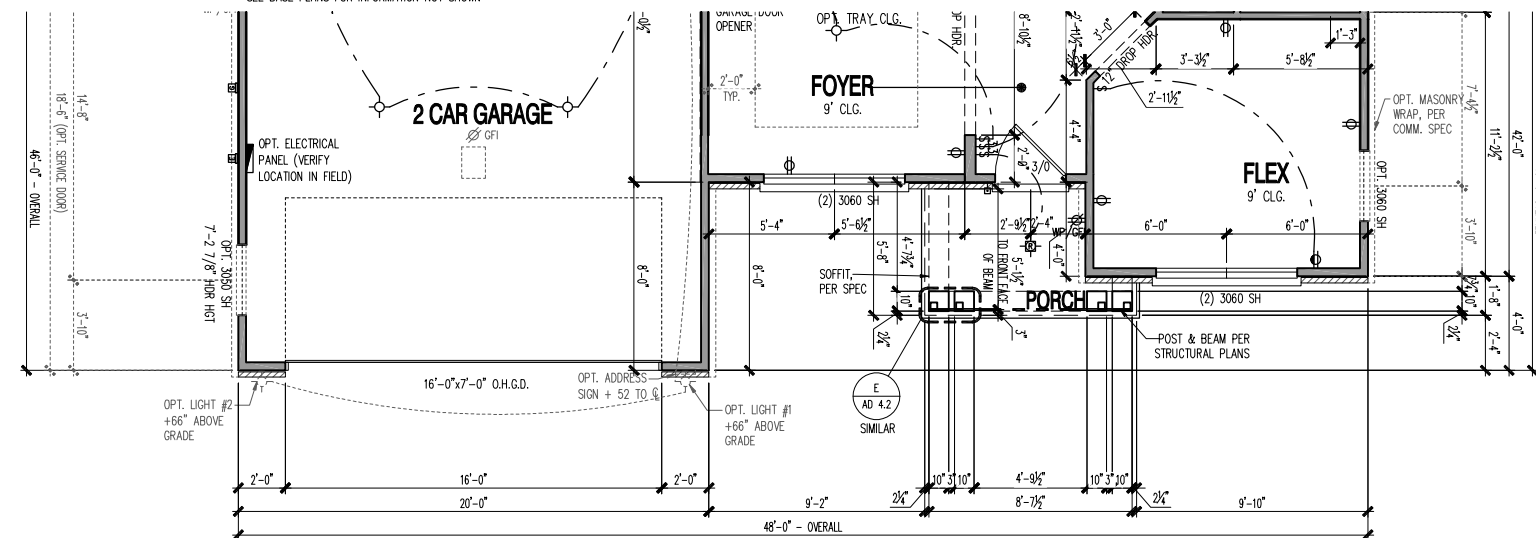
## ELEVATION HR2H

ADDITIONAL 1ST FLOOR - HEATED	0
<b>TOTAL 1ST FLOOR</b>	<b>1324</b>
ADDITIONAL 2ND FLOOR - HEATED	0
<b>TOTAL 2ND FLOOR</b>	<b>1575</b>
<b>TOTAL ELEV. HEATED</b>	<b>2899</b>
ADDITIONAL GARAGE - 2 CAR FRONT	0
<b>TOTAL GARAGE</b>	<b>707</b>
ADDITIONAL BASEMENT	0
<b>TOTAL BASEMENT</b>	<b>1242</b>
FRONT PORCH	40
<b>TOTAL ELEV. FOOTPRINT</b>	<b>2071</b>



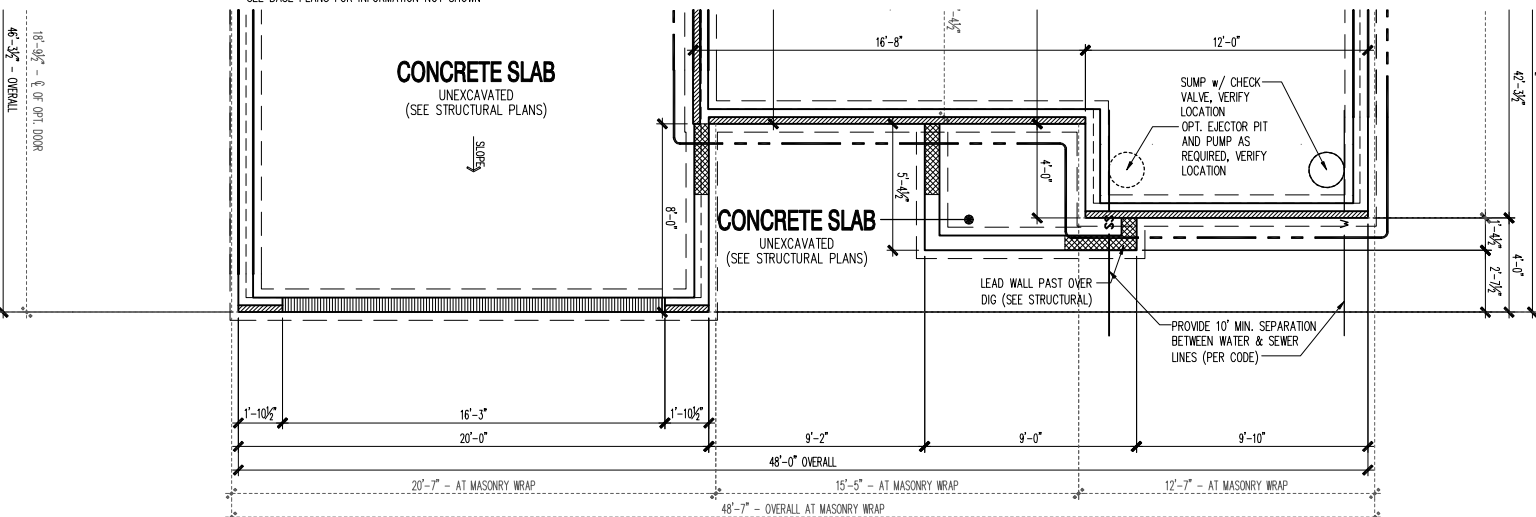
### 2ND FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



### 1ST FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



### BASEMENT FOUNDATION PLAN

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN

Midwest Zone Office  
1900 Golf Road - Suite 300  
Schaumburg, Illinois 60173



Partial Plans and General Notes  
2 Car Front Entry  
Heartland 2H

PRODUCT MANAGER  
Rick Starkey  
INITIAL RELEASE  
DATE: 1/18/2019

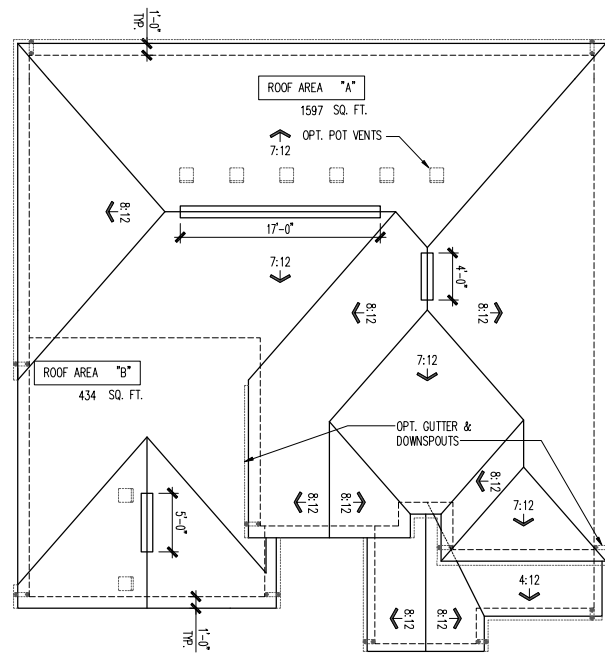
REV#	DATE/DESCRIPTION
1	1/18/2019 PLAN REVISIONS
2	2/15/2019 PLAN UPDATES
3	11/27/2019 PCR REVISIONS
4	
5	
6	
7	

GARAGE HANDING  
Single Family

SPECIFICATION LEVEL

PLAN NAME  
Hilltop  
NPC CHILD NUMBER  
1851.302

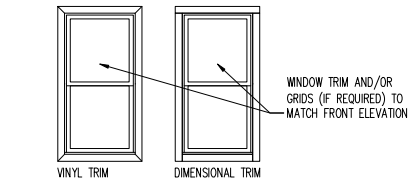
SHEET  
A3-HR2H  
2FB4.2



**ROOF PLAN**

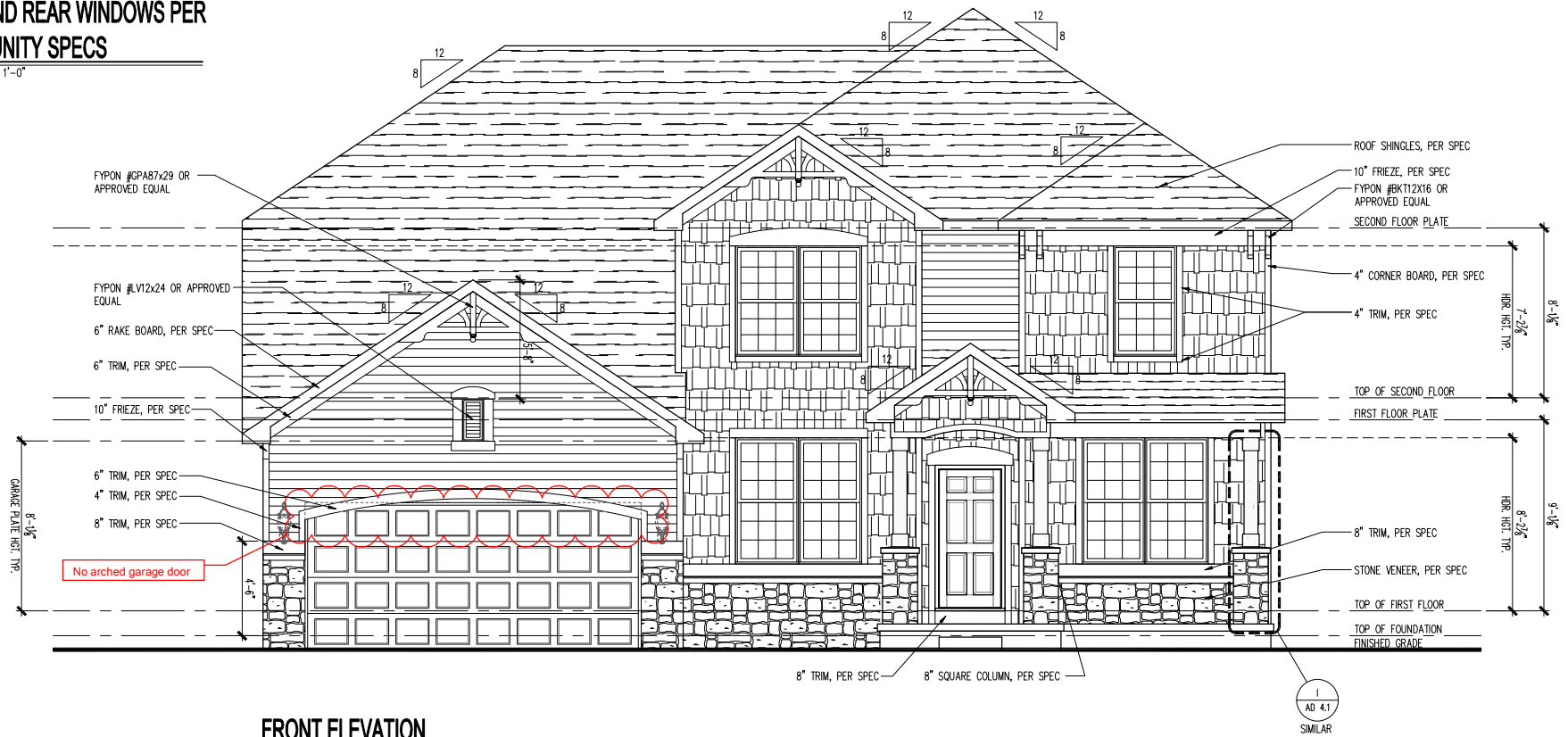
SCALE: 1/8" = 1'-0"

ATTIC VENT SCHEDULE										
Heartland 2I										
ROOF AREA "A"	SQ. FT.	1597	AT / NEAR RIDGE		AT / NEAR EAVE					
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	FOR LARGE SPANS	FOR SMALL SPANS	RIDGE VENT PER SQUARE	EAVE VENT PER SQUARE	COND. VENT PER SQUARE		
MINI-POP VENT ONLY	0.13	2.44	0.24	47.8	6	0				
AT VENT	3.19	2.44	2.76	62.2					0	40.00
<b>TOTAL #99</b>	<b>5.32</b>	<b>5.32</b>	<b>5.32</b>	<b>100.00</b>						
MINI-POP VENT ONLY	0.13	2.44	0.45	43.9	0	0	0	0	0	40.00
AT VENT	3.19	2.44	2.76	62.1					0	40.00
<b>TOTAL #99</b>	<b>5.32</b>	<b>5.32</b>	<b>5.40</b>	<b>100.00</b>	ADDITIONAL POP VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE					
ROOF AREA "B"	SQ. FT.	434	AT / NEAR RIDGE		AT / NEAR EAVE					
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	FOR LARGE SPANS	FOR SMALL SPANS	RIDGE VENT PER SQUARE	EAVE VENT PER SQUARE	COND. VENT PER SQUARE		
MINI-POP VENT ONLY	0.18	0.71	0.85	46.8	2	0				
AT VENT	0.87	0.71	0.77	63.4					0	14.00
<b>TOTAL #99</b>	<b>1.45</b>	<b>1.45</b>	<b>1.82</b>	<b>100.00</b>						
MINI-POP VENT ONLY	0.18	0.71	0.45	43.8	0	0	0.00			13.00
AT VENT	0.87	0.71	0.80	61.4					0	13.00
<b>TOTAL #99</b>	<b>1.45</b>	<b>1.45</b>	<b>1.46</b>	<b>100.00</b>	ADDITIONAL POP VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE					



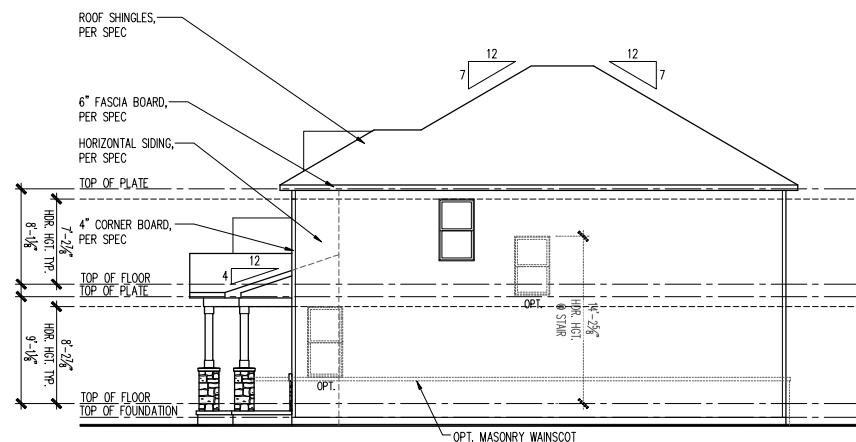
**SIDE AND REAR WINDOWS PER COMMUNITY SPECS**

SCALE: 1/4" = 1'-0"



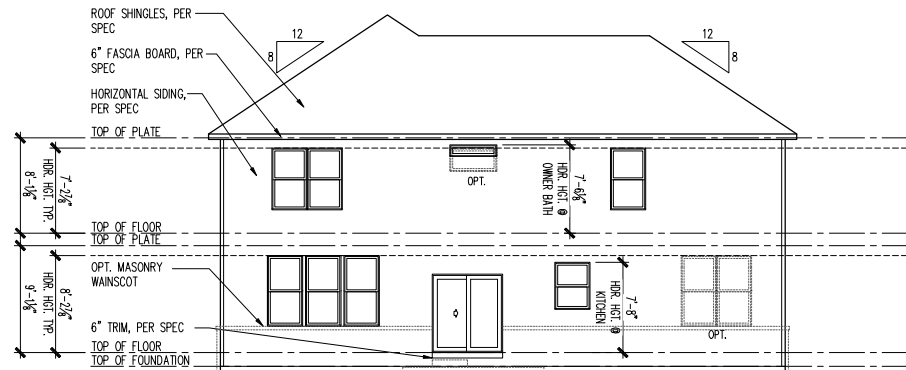
**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



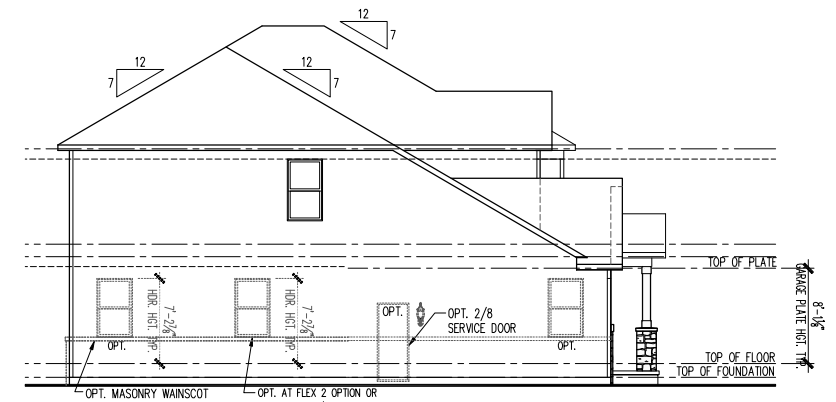
**RIGHT ELEVATION**

SCALE: 1/8" = 1'-0"



**REAR ELEVATION**

SCALE: 1/8" = 1'-0"



**LEFT ELEVATION**

SCALE: 1/8" = 1'-0"

PRODUCT MANAGER	Rick Starkey
INITIAL RELEASE	
DATE:	1/18/2019
REV#	DATE/DESCRIPTION
△	1/18/2019
△	PLAN REVISIONS
△	2/15/2019
△	PLAN UPDATES
△	11/27/2019
△	PCR REVISIONS

**GARAGE HANDING**  
Single Family

SPECIFICATION LEVEL

PLAN NAME  
NPC CHILD NUMBER  
1851.302

SHEET  
A3-HR2I  
2FB.1

### SCHEDULE of AREAS

BASE HOUSE - HEATED	
FIRST FLOOR	1324
SECOND FLOOR	1575
<b>TOTAL BASE HEATED</b>	<b>2899</b>
BASE HOUSE - UNDER ROOF	
GARAGE - 2 CAR FRONT ENTRY	707
BASEMENT	1242
<b>TOTAL BASE UNDER ROOF</b>	<b>2031</b>
BASE OPTIONS - HEATED	
ADDITIONAL AREA W/ SUNROOM	144
ADDITIONAL AREA W/ GATHERING RM EXTENSION	63
ADDITIONAL AREA W/ SUNROOM/ GATHERING RM EXTENSION	205
FINISHED BASEMENT OPTIONS	
FINISHED BASEMENT	787
BEDROOM 7 OPTION	153
BATH 7 OPTION	45
ADDITIONAL AREA W/ SUNROOM	129
ADDITIONAL AREA W/ GATHERING RM EXTENSION	57
ADDITIONAL AREA W/ SUNROOM & GATHERING RM EXTENSION	190
MECHANICAL	69
STORAGE	346
BASE OPTIONS	
BASEMENT / SUNROOM	1386
BASEMENT / GATHERING RM EXTENSION	1304
BASEMENT / SUNROOM/ GATHERING RM EXTENSION	1447
2 CAR SIDE ENTRY GARAGE	707
3 CAR FRONT ENTRY GARAGE	910
WOOD DECK	158
CONCRETE PATIO	144

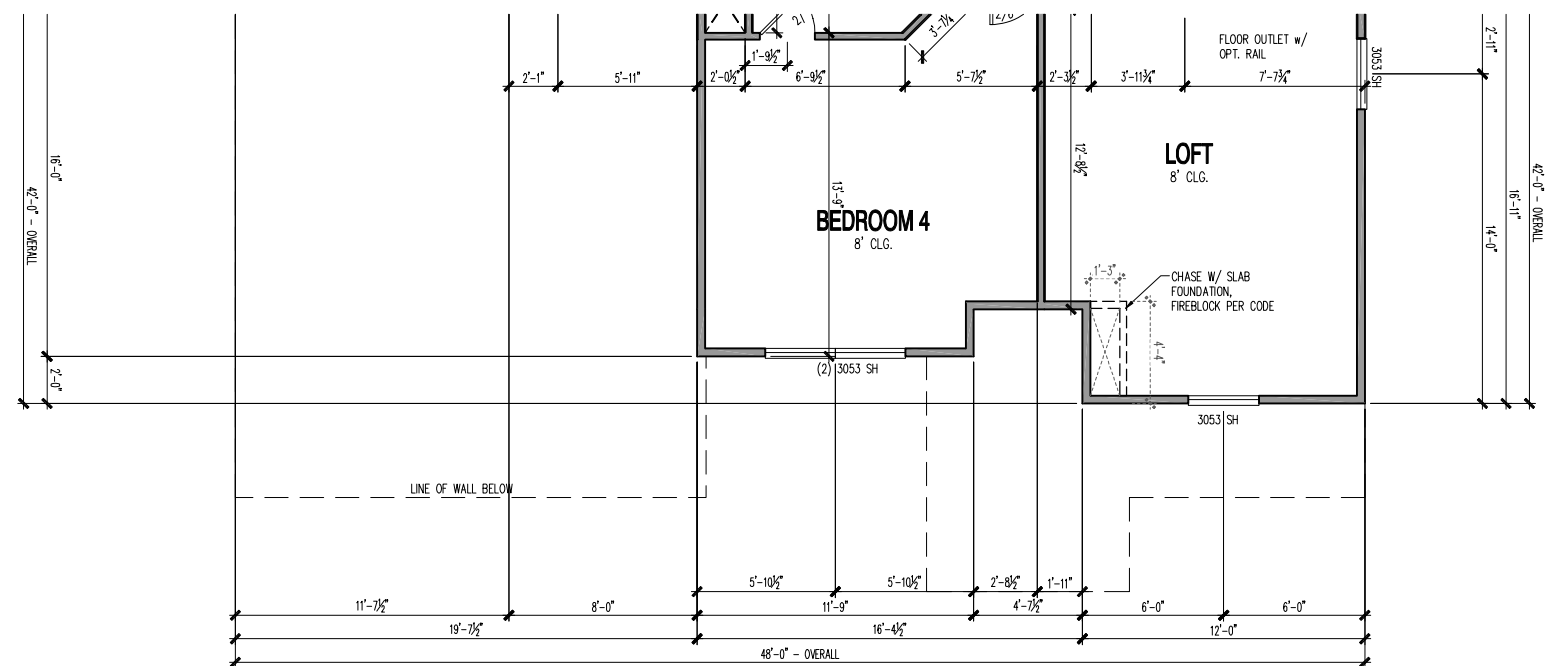
### ELEVATION HR21

ADDITIONAL 1ST FLOOR - HEATED	23
<b>TOTAL 1ST FLOOR</b>	<b>1347</b>
ADDITIONAL 2ND FLOOR - HEATED	23
<b>TOTAL 2ND FLOOR</b>	<b>1598</b>
<b>TOTAL ELEV. HEATED</b>	<b>2945</b>
ADDITIONAL GARAGE - 2 CAR FRONT	0
<b>TOTAL GARAGE</b>	<b>707</b>
ADDITIONAL BASEMENT	21
<b>TOTAL BASEMENT</b>	<b>1263</b>
FRONT PORCH	139
<b>TOTAL ELEV. FOOTPRINT</b>	<b>2193</b>

### LIGHT & VENT SCHEDULE

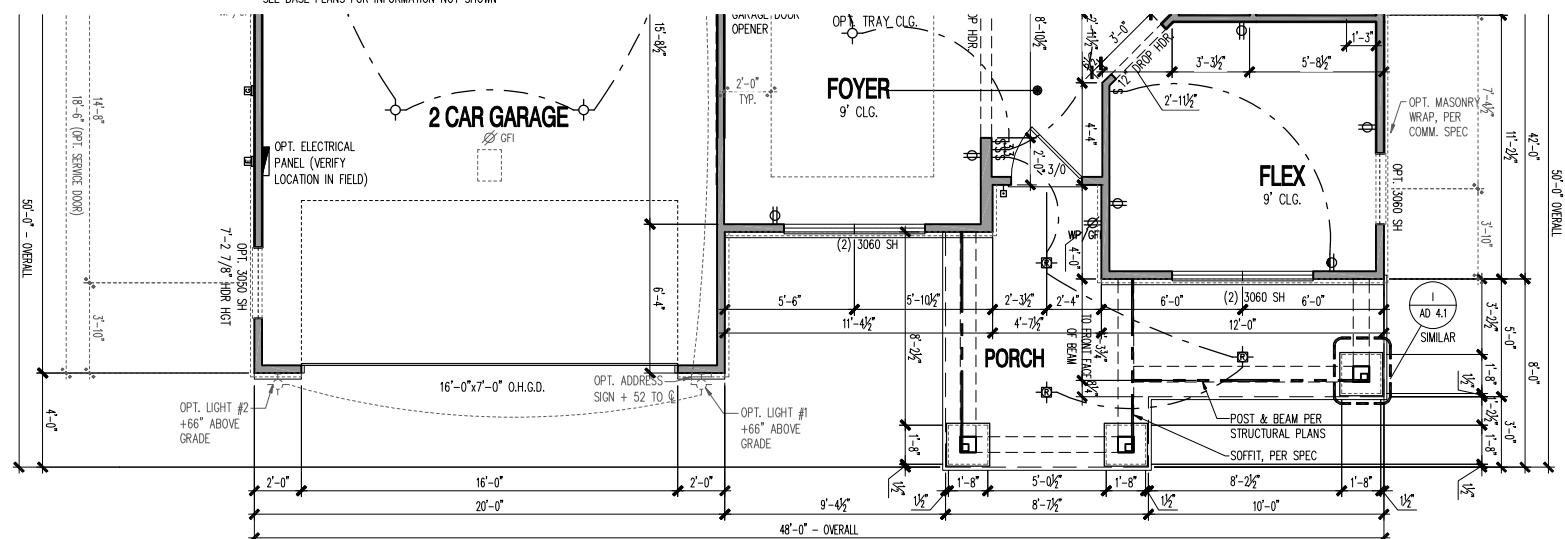
ROOM NAME	AREA	REQUIRED		SUPPLIED	
		LIGHT	VENT	LIGHT	VENT
DINING	155.11	12.41	6.20	27.40	11.80
BEDROOM 4	190.07	15.21	7.60	23.40	10.00

\*\* REFER TO LIGHT & VENT SCHEDULE ON COVER SHT. FOR INFORMATION NOT SHOWN HERE.



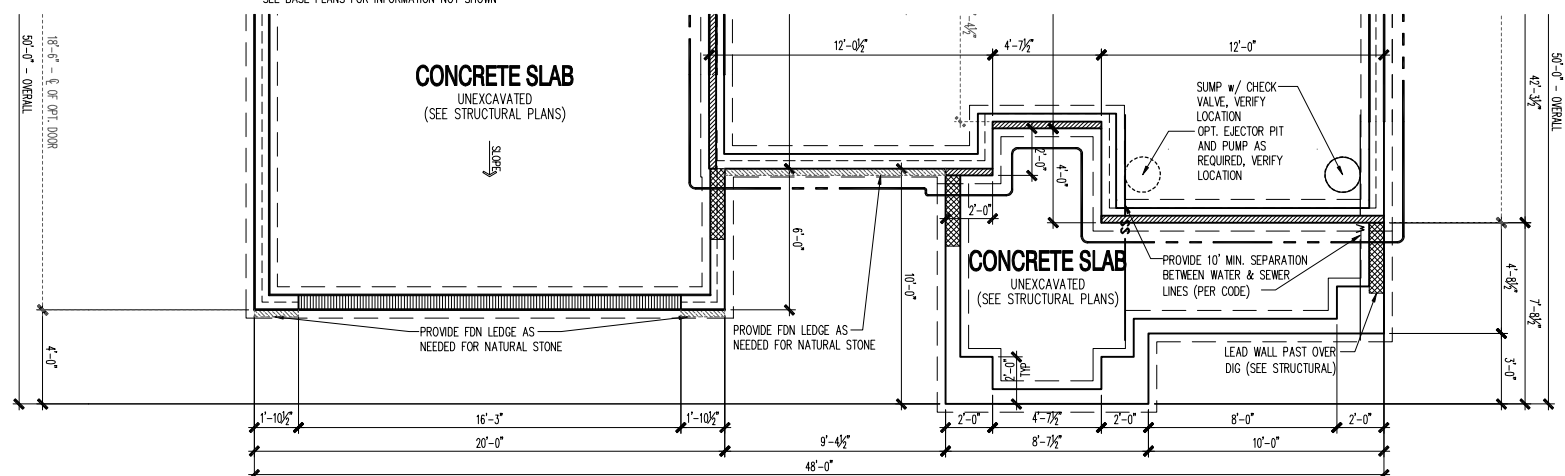
### 2ND FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



### 1ST FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



### BASEMENT FOUNDATION PLAN

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN

Midwest Zone Office  
1900 Golf Road - Suite 300  
Schaumburg, Illinois 60173



Partial Plans and General Notes  
2 Car Front Entry  
Heartland 21

PRODUCT MANAGER  
Rick Starkey  
INITIAL RELEASE  
DATE: 1/18/2019

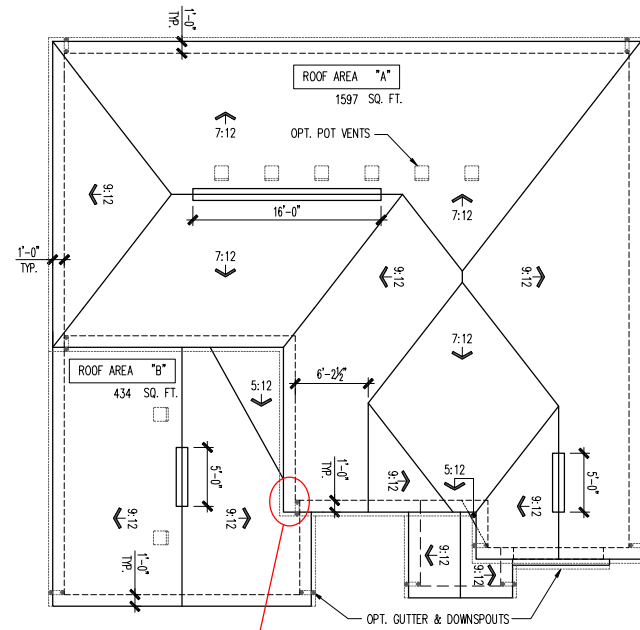
REV#	DATE/DESCRIPTION
1	1/18/2019 PLAN REVISIONS
2	2/15/2019 PLAN UPDATES
3	11/27/2019 PCR REVISIONS

GARAGE HANDING  
Single Family

SPECIFICATION LEVEL

PLAN NAME  
Hilltop  
NPC CHILD NUMBER  
1851.302

SHEET  
A3-HR21  
2FB4.2



**ROOF PLAN**

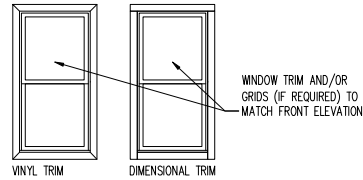
SCALE: 1/8" = 1'-0"

**ATTIC VENT SCHEDULE**

VENTILATION PROVIDED AND SUPPLIED IS BASED ON PITCH ROOF AND ROOF VENT RATES SHOWN IN TABLE ABOVE. IF CONDITIONS RELATING TO WINDSPEEDS ARE RESPONSIBLE FOR VENTING, THE VENTING DESIGN SHALL VERIFY VENTILATION TO MEET CODE REQUIREMENTS. A SCHEDULE HAS BEEN CALCULATED ASSUMING THE VENTILATION IS 50% OF TOTAL AREA AND ROOF IS 40% OF TOTAL REQUIRED VENTILATION.

Heartland 3M										
ROOF AREA "A"	SQ. FT.	1597	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	AT / NEAR RIDGE			AT / NEAR EAVE		
					FOR LARGE PANELS	FOR SMALL PANELS	ROOF VENT PANELS	EAVE VENT PANELS	COND. VENT PANELS	
MINI-DOF VENT ONLY	3.13	2.44	3.84	47.8	6	0			40.00	
AT VENT	3.19	2.44	3.76	48.3						
<b>TOTAL</b>	<b>6.32</b>	<b>5.32</b>	<b>7.60</b>	<b>100.00</b>						
MINI-DOF VENT	3.13	2.44	3.84	48.9	0	0	91.00		40.00	
AT VENT	3.19	2.44	3.76	49.1						
<b>TOTAL</b>	<b>6.32</b>	<b>5.32</b>	<b>7.60</b>	<b>100.00</b>	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT ROOF AVAILABLE					
Heartland 3M										
ROOF AREA "B"	SQ. FT.	434	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	AT / NEAR RIDGE			AT / NEAR EAVE		
					FOR LARGE PANELS	FOR SMALL PANELS	ROOF VENT PANELS	EAVE VENT PANELS	COND. VENT PANELS	
MINI-DOF VENT ONLY	0.88	0.71	0.88	46.4	2	0			14.00	
AT VENT	0.87	0.71	0.77	48.4						
<b>TOTAL</b>	<b>1.45</b>	<b>1.45</b>	<b>1.65</b>	<b>100.00</b>						
MINI-DOF VENT	0.88	0.71	0.88	48.4	0	0	8.00		18.00	
AT VENT	0.87	0.71	0.80	51.4						
<b>TOTAL</b>	<b>1.45</b>	<b>1.45</b>	<b>1.68</b>	<b>100.00</b>	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT ROOF AVAILABLE					

Cricket should extend past second floor wall



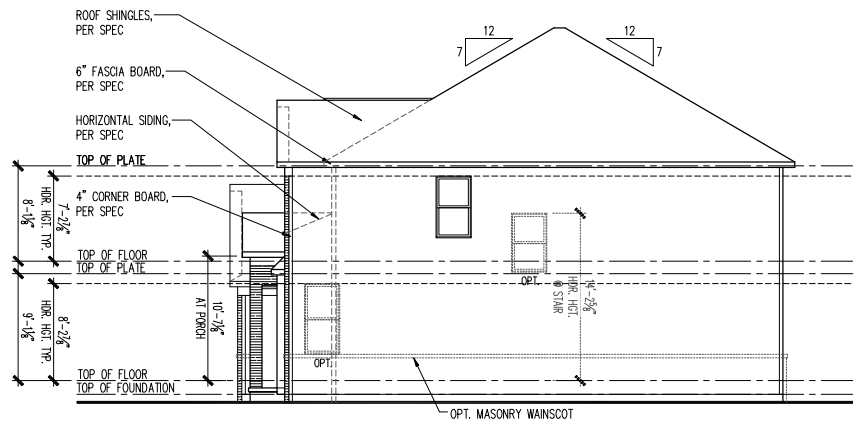
**SIDE AND REAR WINDOWS PER COMMUNITY SPECS**

SCALE: 1/4" = 1'-0"



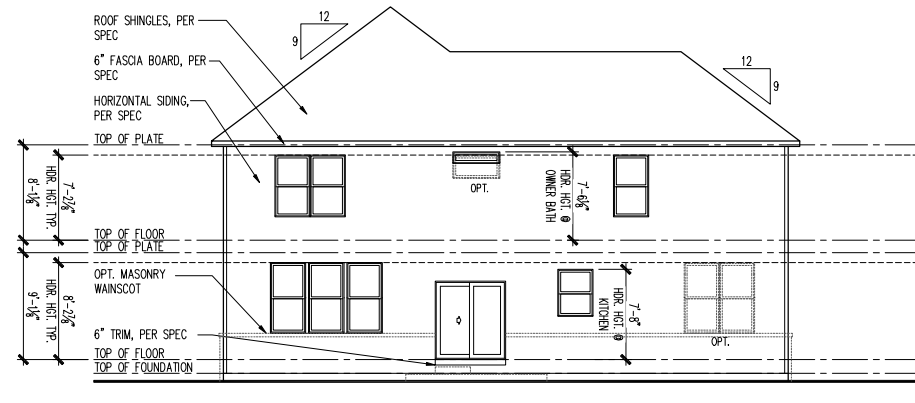
**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



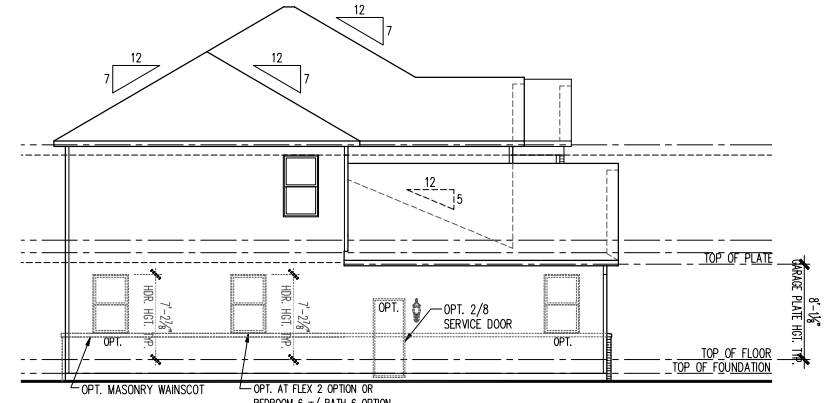
**RIGHT ELEVATION**

SCALE: 1/8" = 1'-0"



**REAR ELEVATION**

SCALE: 1/8" = 1'-0"



**LEFT ELEVATION**

SCALE: 1/8" = 1'-0"

PLOTTED: November 5, 2019 / Armit Lee / A3-HR3M\_2FB.LDWG

**Midwest Zone Office**  
1900 Golf Road - Suite 300  
Schaumburg, Illinois 60173



**Front, Side and Rear Elevations**  
2 Car Front Entry  
Heartland 3M

PRODUCT MANAGER  
Rick Starkey  
INITIAL RELEASE  
DATE: 1/18/2019

REV#	DATE/DESCRIPTION
1	1/18/2019 PLAN REVISIONS
2	2/15/2019 PLAN UPDATES
3	11/27/2019 PCR REVISIONS

**GARAGE HANDING**  
Single Family

SPECIFICATION LEVEL

PLAN NAME  
Hilltop  
NPC CHILD NUMBER  
1851.302

SHEET  
A3-HR3M  
2FB.1

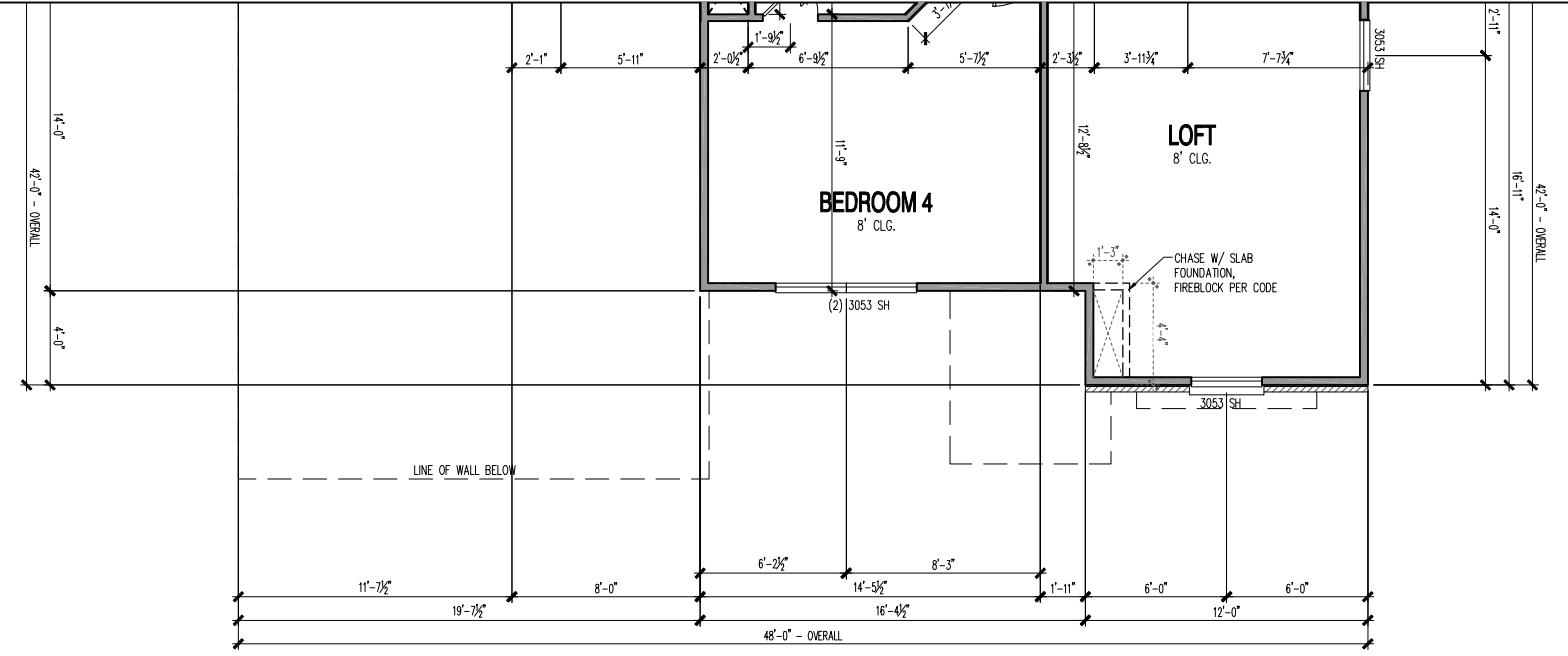
© Copyright 2019 PutteGroup, Inc.

SCHEDULE of AREAS	
<b>BASE HOUSE - HEATED</b>	
FIRST FLOOR	1324
SECOND FLOOR	1575
<b>TOTAL BASE HEATED</b>	<b>2899</b>
<b>BASE HOUSE - UNDER ROOF</b>	
GARAGE - 2 CAR FRONT ENTRY	707
BASEMENT	1242
<b>TOTAL BASE UNDER ROOF</b>	<b>2031</b>
<b>BASE OPTIONS - HEATED</b>	
ADDITIONAL AREA W/ SUNROOM	144
ADDITIONAL AREA W/ GATHERING RM EXTENSION	63
ADDITIONAL AREA W/ SUNROOM/ GATHERING RM EXTENSION	205
<b>FINISHED BASEMENT OPTIONS</b>	
FINISHED BASEMENT	787
BEDROOM 7 OPTION	153
BATH 7 OPTION	45
ADDITIONAL AREA W/ SUNROOM	129
ADDITIONAL AREA W/ GATHERING RM EXTENSION	57
ADDITIONAL AREA W/ SUNROOM & GATHERING RM EXTENSION	190
MECHANICAL	69
STORAGE	346
<b>BASE OPTIONS</b>	
BASEMENT / SUNROOM	1386
BASEMENT / GATHERING RM EXTENSION	1304
BASEMENT / SUNROOM/ GATHERING RM EXTENSION	1447
2 CAR SIDE ENTRY GARAGE	707
3 CAR FRONT ENTRY GARAGE	910
WOOD DECK	158
CONCRETE PATIO	144

ELEVATION HR3M	
ADDITIONAL 1ST FLOOR - HEATED	7
<b>TOTAL 1ST FLOOR</b>	<b>1331</b>
ADDITIONAL 2ND FLOOR - HEATED	0
<b>TOTAL 2ND FLOOR</b>	<b>1575</b>
<b>TOTAL ELEV. HEATED</b>	<b>2906</b>
ADDITIONAL GARAGE - 2 CAR FRONT	0
<b>TOTAL GARAGE</b>	<b>707</b>
ADDITIONAL BASEMENT	0
<b>TOTAL BASEMENT</b>	<b>1242</b>
FRONT PORCH	43
<b>TOTAL ELEV. FOOTPRINT</b>	<b>2081</b>

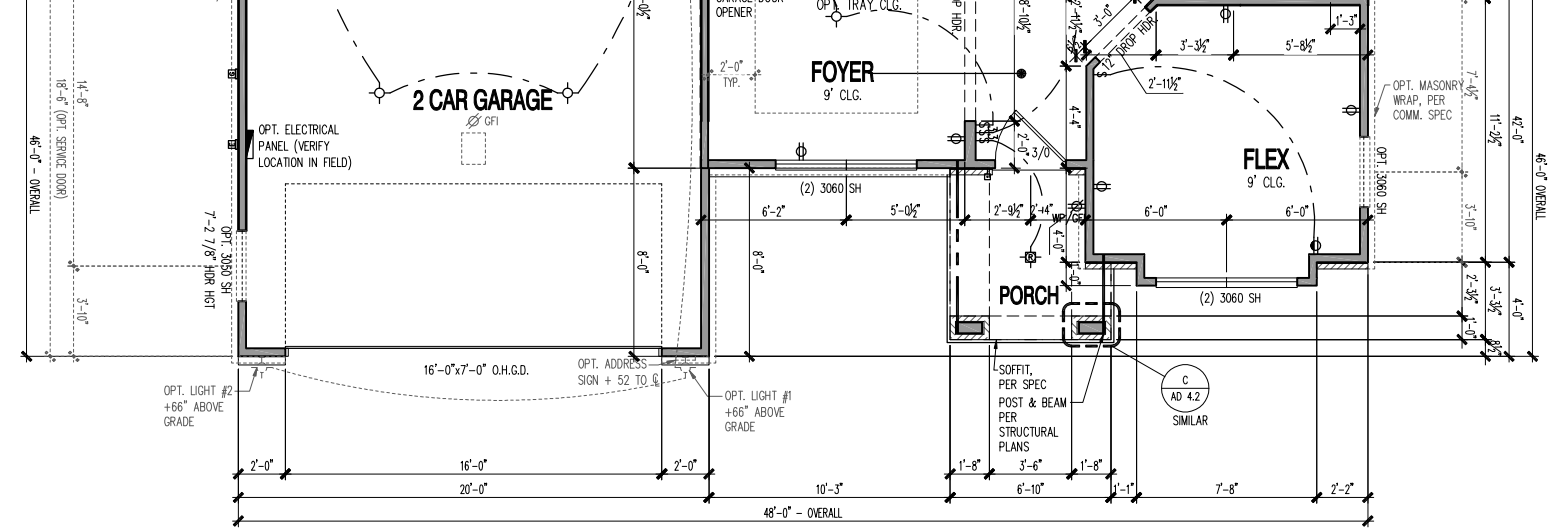
LIGHT & VENT SCHEDULE					
ROOM NAME	AREA	REQUIRED		SUPPLIED	
		LIGHT	VENT	LIGHT	VENT
FLEX	123.28	9.84	4.93	27.40	11.80

\*\* REFER TO LIGHT & VENT SCHEDULE ON COVER SH. FOR INFORMATION NOT SHOWN HERE.



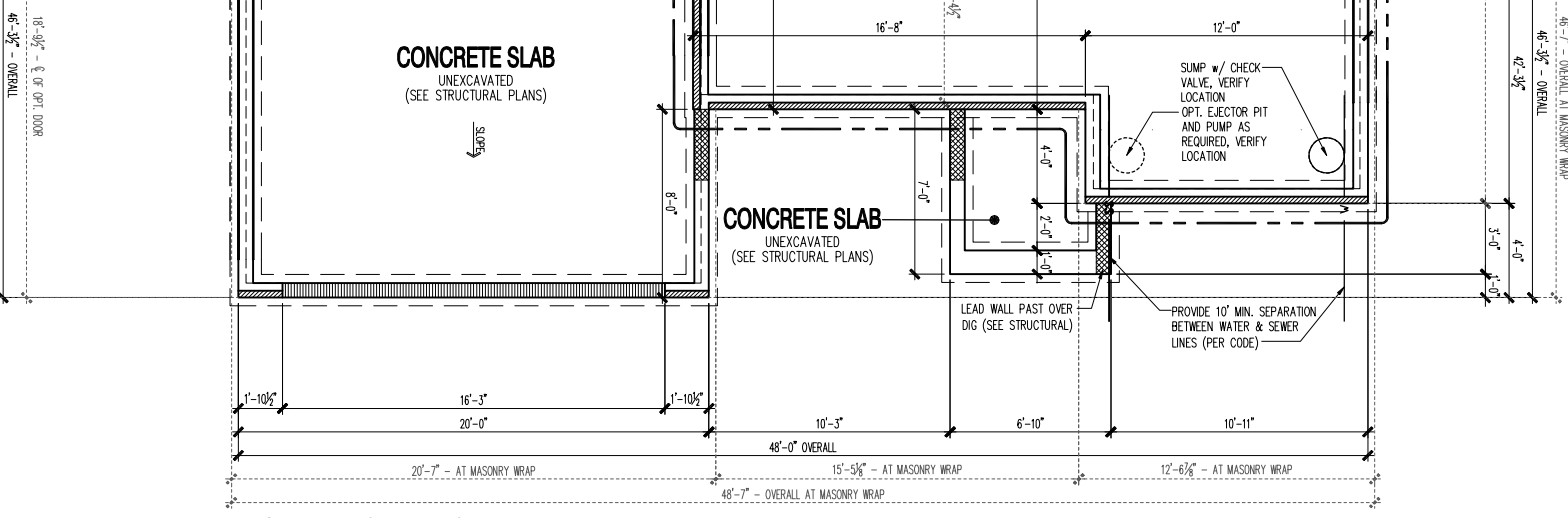
**2ND FLOOR PLAN - 4" EXTERIOR WALLS**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



**1ST FLOOR PLAN - 4" EXTERIOR WALLS**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



**BASEMENT FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN

PLOTTED: November 5, 2019 / Armit Lee / A3-HR3M\_2FB4.2.DWG

**Midwest Zone Office**  
1900 Golf Road - Suite 300  
Schaumburg, Illinois 60173



**Partial Plans and General Notes**  
2 Car Front Entry  
Heartland 3M

REV	DATE/DESCRIPTION
1	1/18/2019 PLAN REVISIONS
2	2/15/2019 PLAN UPDATES
3	11/27/2019 PCR REVISIONS

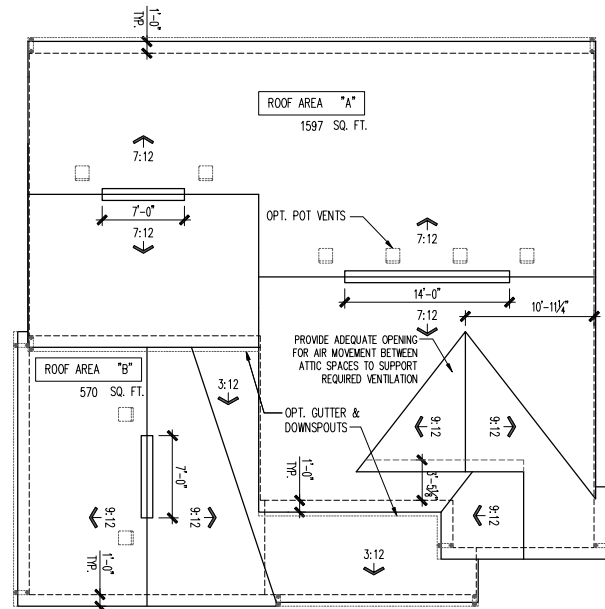
GARAGE HANDING  
**Single Family**

SPECIFICATION LEVEL

PLAN NAME  
**Hilltop**  
NPC CHILD NUMBER  
**1851.302**

SHEET  
**A3-HR3M**  
**2FB4.2**

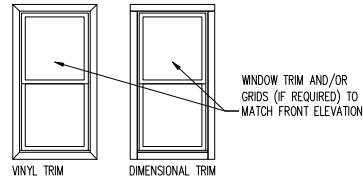
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**ROOF PLAN**

SCALE: 1/8" = 1'-0"

ATTIC VENT SCHEDULE									
Heartland 3S									
ROOF AREA "A"	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	FOR LARGE BALANCE	FOR SMALL BALANCE	RIDGE VENT BALANCE	EAVE VENT BALANCE	COMB. VENT BALANCE	
MIN. VENT ONLY	2.13	2.44	0.84	47.28	6	0			
AT VENT	3.19	2.44	2.76	62.22				0	40.00
<b>TOTAL VENT</b>	<b>5.32</b>	<b>5.32</b>	<b>5.32</b>	<b>100.00</b>					
MIN. RIDGE VENT	2.13	2.44	2.44	45.89	0	0	91.00	0	40.00
AT VENT	3.19	2.44	2.76	51.61				0	40.00
<b>TOTAL VENT</b>	<b>5.32</b>	<b>5.32</b>	<b>5.40</b>	<b>100.00</b>					
ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT ROOF AVAILABLE									
ROOF AREA "B"	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	FOR LARGE BALANCE	FOR SMALL BALANCE	RIDGE VENT BALANCE	EAVE VENT BALANCE	COMB. VENT BALANCE	
MIN. VENT ONLY	0.76	0.95	0.88	43.34	2	0			
AT VENT	1.14	0.95	1.11	64.74				0	14.00
<b>TOTAL VENT</b>	<b>1.90</b>	<b>1.90</b>	<b>1.96</b>	<b>100.00</b>					
MIN. RIDGE VENT	0.76	0.95	0.88	45.84	0	0	7.00	0	14.00
AT VENT	1.14	0.95	1.04	44.36				0	14.00
<b>TOTAL VENT</b>	<b>1.90</b>	<b>1.90</b>	<b>1.92</b>	<b>100.00</b>					
ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT ROOF AVAILABLE									



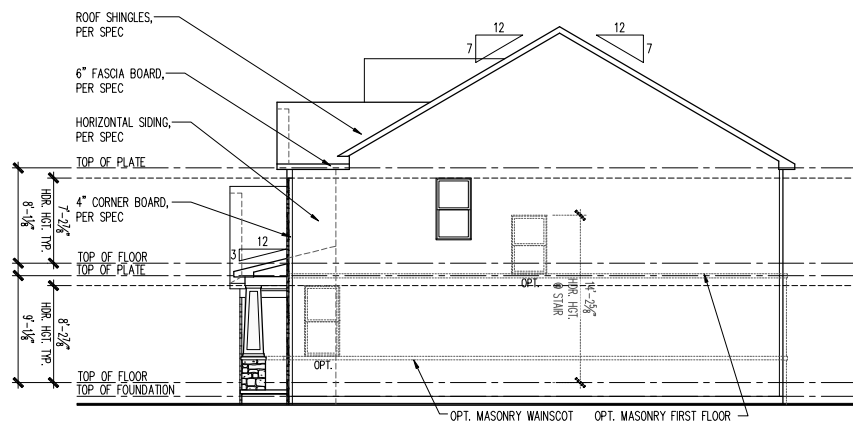
**SIDE AND REAR WINDOWS PER COMMUNITY SPECS**

SCALE: 1/4" = 1'-0"



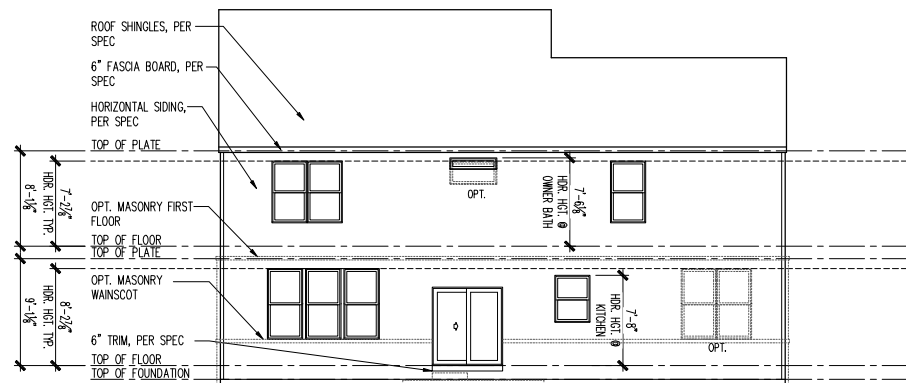
**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



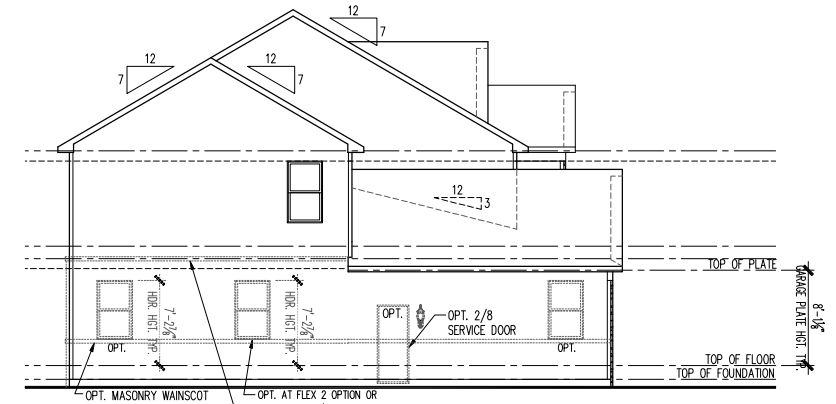
**RIGHT ELEVATION**

SCALE: 1/8" = 1'-0"



**REAR ELEVATION**

SCALE: 1/8" = 1'-0"



**LEFT ELEVATION**

SCALE: 1/8" = 1'-0"

**Midwest Zone Office**  
1900 Golf Road - Suite 300  
Schaumburg, Illinois 60173



**Front, Side and Rear Elevations**  
2 Car Front Entry  
Heartland 3S

PRODUCT MANAGER  
Rick Starkey  
INITIAL RELEASE  
DATE: 1/18/2019

REV#	DATE/DESCRIPTION
1	1/18/2019
2	PLAN REVISIONS
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4	PLAN UPDATES
5	11/27/2019
6	PCR REVISIONS

GARAGE HANDING  
**Single Family**

SPECIFICATION LEVEL

PLAN NAME  
**Hilltop**  
NPC CHILD NUMBER  
1851.302

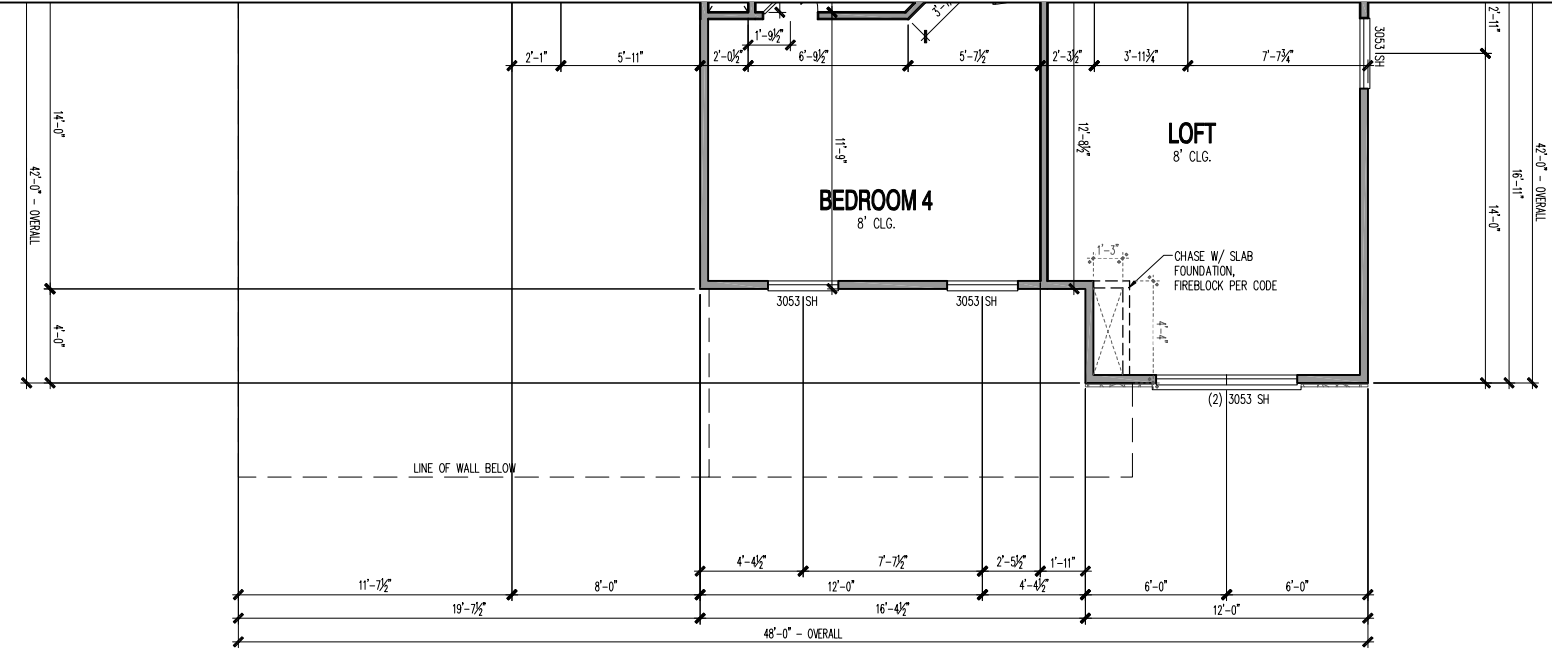
SHEET  
**A3-HR3S**  
**2FB.1**

SCHEDULE of AREAS	
<b>BASE HOUSE - HEATED</b>	
FIRST FLOOR	1324
SECOND FLOOR	1575
<b>TOTAL BASE HEATED</b>	<b>2899</b>
<b>BASE HOUSE - UNDER ROOF</b>	
GARAGE - 2 CAR FRONT ENTRY	707
BASEMENT	1242
<b>TOTAL BASE UNDER ROOF</b>	<b>2031</b>
<b>BASE OPTIONS - HEATED</b>	
ADDITIONAL AREA W/ SUNROOM	144
ADDITIONAL AREA W/ GATHERING RM EXTENSION	63
ADDITIONAL AREA W/ SUNROOM/ GATHERING RM EXTENSION	205
<b>FINISHED BASEMENT OPTIONS</b>	
FINISHED BASEMENT	787
BEDROOM 7 OPTION	153
BATH 7 OPTION	45
ADDITIONAL AREA W/ SUNROOM	129
ADDITIONAL AREA W/ GATHERING RM EXTENSION	57
ADDITIONAL AREA W/ SUNROOM & GATHERING RM EXTENSION	190
MECHANICAL	69
STORAGE	346
<b>BASE OPTIONS</b>	
BASEMENT / SUNROOM	1386
BASEMENT / GATHERING RM EXTENSION	1304
BASEMENT / SUNROOM/ GATHERING RM EXTENSION	1447
2 CAR SIDE ENTRY GARAGE	707
3 CAR FRONT ENTRY GARAGE	910
WOOD DECK	158
CONCRETE PATIO	144

ELEVATION HR3S	
ADDITIONAL 1ST FLOOR - HEATED	0
<b>TOTAL 1ST FLOOR</b>	<b>1324</b>
ADDITIONAL 2ND FLOOR - HEATED	0
<b>TOTAL 2ND FLOOR</b>	<b>1575</b>
<b>TOTAL ELEV. HEATED</b>	<b>2899</b>
ADDITIONAL GARAGE - 2 CAR FRONT	0
<b>TOTAL GARAGE</b>	<b>707</b>
ADDITIONAL BASEMENT	0
<b>TOTAL BASEMENT</b>	<b>1242</b>
FRONT PORCH	131
<b>TOTAL ELEV. FOOTPRINT</b>	<b>2162</b>

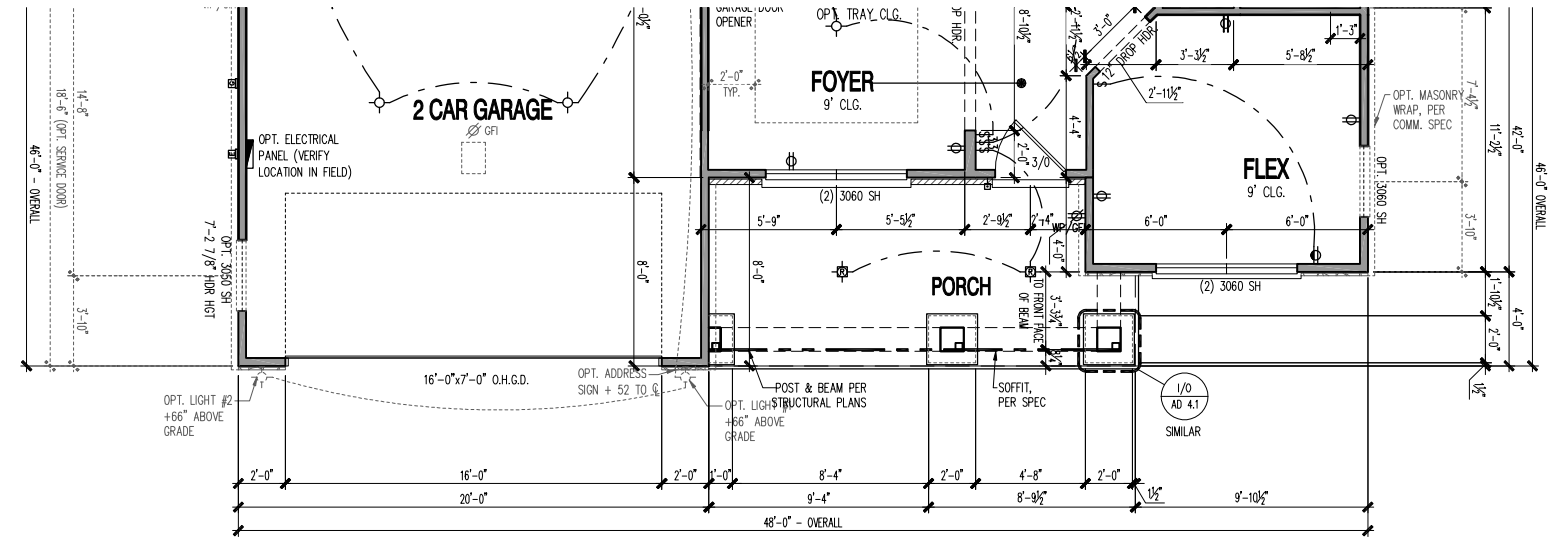
LIGHT & VENT SCHEDULE					
ROOM NAME	AREA	REQUIRED		SUPPLIED	
		LIGHT	VENT	LIGHT	VENT
LOFT	208.71	16.70	8.35	35.10	15.00

\*\* REFER TO LIGHT & VENT SCHEDULE ON COVER SHT. FOR INFORMATION NOT SHOWN HERE.



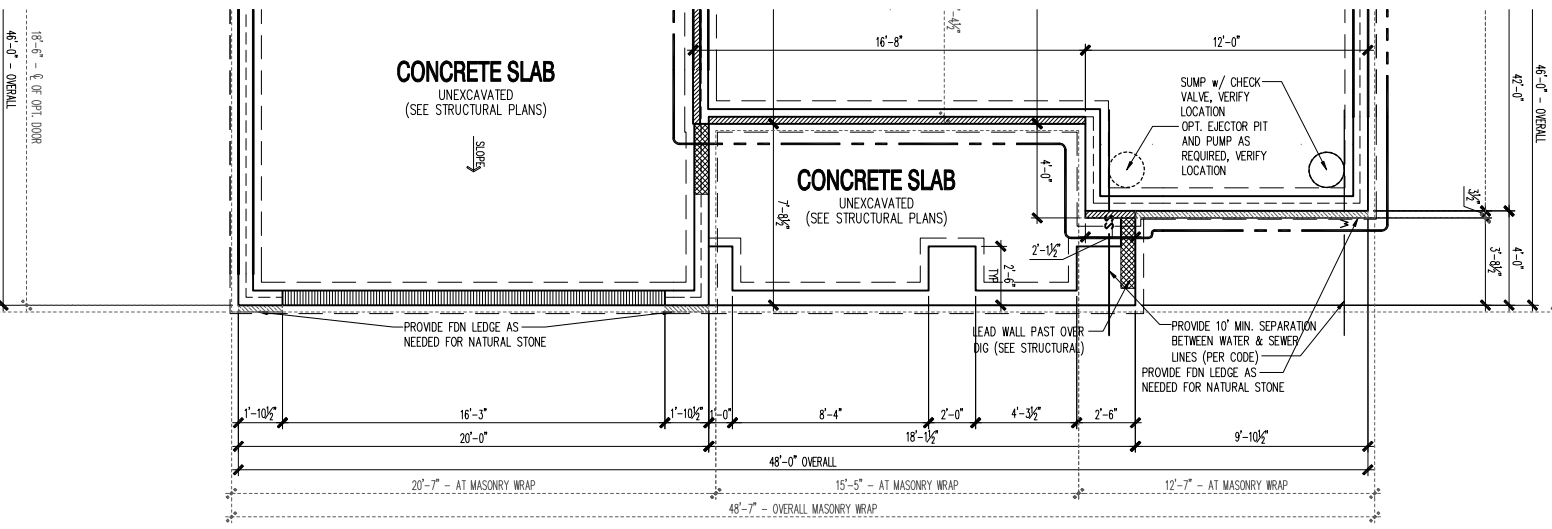
**2ND FLOOR PLAN - 4" EXTERIOR WALLS**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



**1ST FLOOR PLAN - 4" EXTERIOR WALLS**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



**BASEMENT FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN

PLOTTED: November 5, 2019 / Arnie Lee / A3-HR3S\_2FB4.2.DWG

**Midwest Zone Office**  
1900 Golf Road - Suite 300  
Schaumburg, Illinois 60173



**Partial Plans and General Notes**  
2 Car Front Entry  
Heartland 3S

PRODUCT MANAGER	Rick Starkey
INITIAL RELEASE	
DATE:	1/18/2019
REV#	DATE/DESCRIPTION
1	1/18/2019 PLAN REVISIONS
2	2/15/2019 PLAN UPDATES
3	11/27/2019 PCR REVISIONS

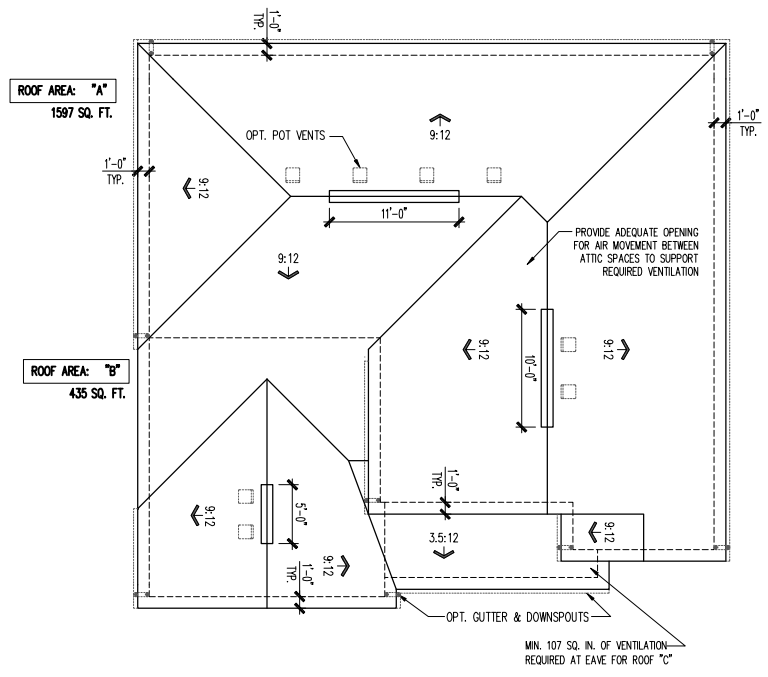
**GARAGE HANDING**  
Single Family

SPECIFICATION LEVEL

PLAN NAME  
**Hilltop**  
NPC CHILD NUMBER  
1851.302

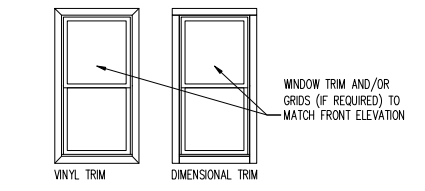
SHEET  
**A3-HR3S**  
**2FB4.2**

REV#	DATE/DESCRIPTION
1	1/18/2019
2	PLAN REVISIONS
3	2/15/2019
4	PLAN UPDATES
5	11/27/2019
6	PCR REVISIONS

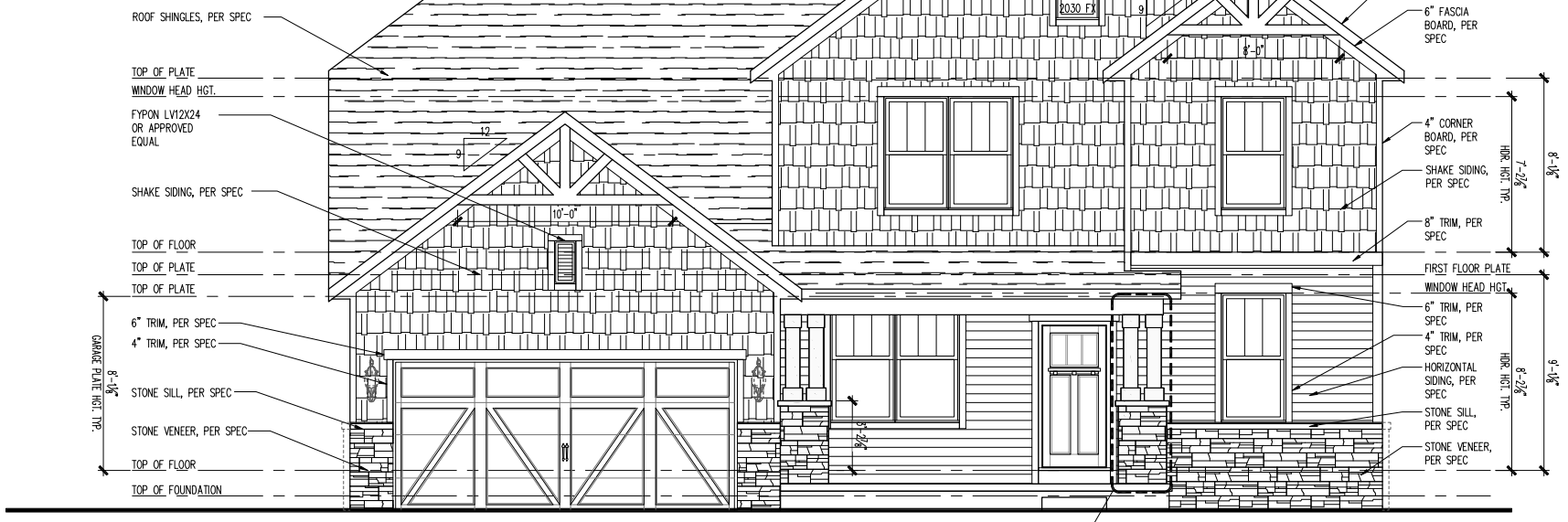


**ROOF PLAN**  
 SCALE: 1/8" = 1'-0"

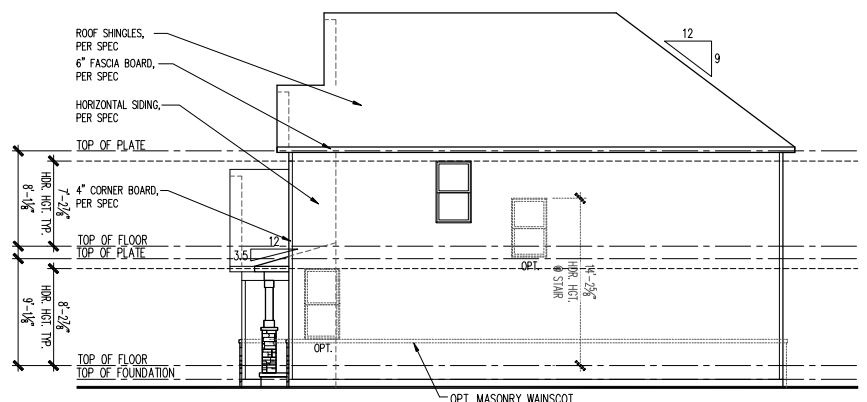
ATTIC VENT SCHEDULE									
Northern Craftsman 2G									
ROOF AREA "A"	SQ. FTG.	1597	AT / NEAR RIDGE			AT / NEAR EAVE			
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	FOR LARGE SPANNERS	FOR SMALL SPANNERS	RIDGE VENT SPANNERS	EAVE VENT SPANNERS	CONC. VENT SPANNERS	
MINI-POP VENT ONLY	0.13	2.44	0.84	47.28	6	0			
AT VENT	3.19	2.44	2.76	62.23				0	40.00
<b>TOTAL #44</b>	<b>5.32</b>	<b>5.32</b>	<b>5.32</b>	<b>100.00</b>					
MINI-POP VENT	0.13	2.44	2.45	48.9	0	0	91.00		40.00
AT VENT	3.19	2.44	2.76	51.41				0	40.00
<b>TOTAL #44</b>	<b>5.32</b>	<b>5.32</b>	<b>5.40</b>	<b>100.00</b>					
ADDITIONAL POP VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT ROOF AVAILABLE									
ROOF AREA "B"	SQ. FTG.	435	AT / NEAR RIDGE			AT / NEAR EAVE			
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	FOR LARGE SPANNERS	FOR SMALL SPANNERS	RIDGE VENT SPANNERS	EAVE VENT SPANNERS	CONC. VENT SPANNERS	
MINI-POP VENT ONLY	0.88	0.73	0.83	46.84	2	0			
AT VENT	0.87	0.73	0.77	63.44				0	14.00
<b>TOTAL #44</b>	<b>1.45</b>	<b>1.45</b>	<b>1.82</b>	<b>100.00</b>					
MINI-POP VENT	0.88	0.73	0.83	43.84	0	0	8.00		12.00
AT VENT	0.87	0.73	0.80	51.14				0	12.00
<b>TOTAL #44</b>	<b>1.45</b>	<b>1.45</b>	<b>1.46</b>	<b>100.00</b>					
ADDITIONAL POP VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT ROOF AVAILABLE									



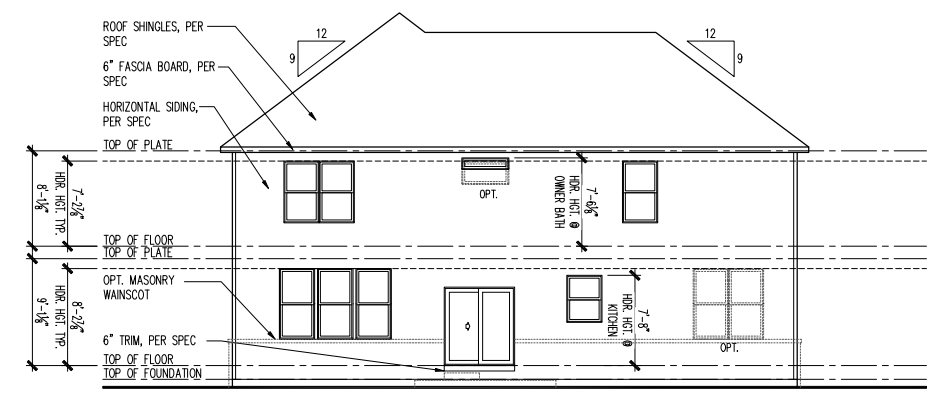
**SIDE AND REAR WINDOWS PER COMMUNITY SPECS**  
 SCALE: 1/4" = 1'-0"



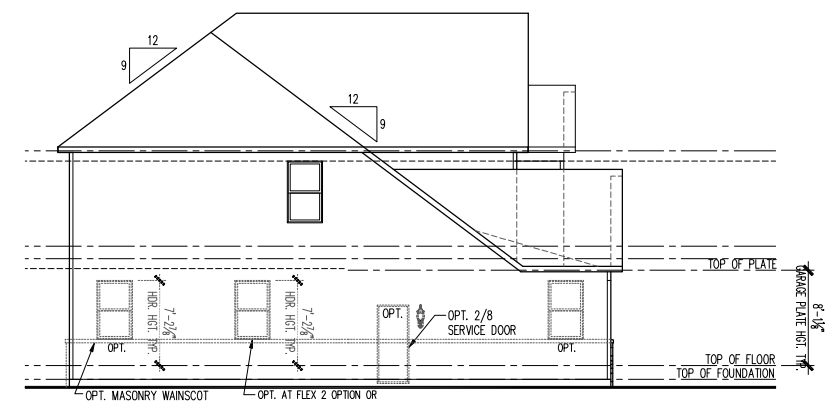
**FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
 SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
 SCALE: 1/8" = 1'-0"



**LEFT ELEVATION**  
 SCALE: 1/8" = 1'-0"

### SCHEDULE of AREAS

BASE HOUSE - HEATED	
FIRST FLOOR	1324
SECOND FLOOR	1575
<b>TOTAL BASE HEATED</b>	<b>2899</b>
BASE HOUSE - UNDER ROOF	
GARAGE - 2 CAR FRONT ENTRY	707
BASEMENT	1242
<b>TOTAL BASE UNDER ROOF</b>	<b>2031</b>
BASE OPTIONS - HEATED	
ADDITIONAL AREA W/ SUNROOM	144
ADDITIONAL AREA W/ GATHERING RM EXTENSION	63
ADDITIONAL AREA W/ SUNROOM/ GATHERING RM EXTENSION	205
FINISHED BASEMENT OPTIONS	
FINISHED BASEMENT	787
BEDROOM 7 OPTION	153
BATH 7 OPTION	45
ADDITIONAL AREA W/ SUNROOM	129
ADDITIONAL AREA W/ GATHERING RM EXTENSION	57
ADDITIONAL AREA W/ SUNROOM & GATHERING RM EXTENSION	190
MECHANICAL	69
STORAGE	346
BASE OPTIONS	
BASEMENT / SUNROOM	1386
BASEMENT / GATHERING RM EXTENSION	1304
BASEMENT / SUNROOM/ GATHERING RM EXTENSION	1447
2 CAR SIDE ENTRY GARAGE	707
3 CAR FRONT ENTRY GARAGE	910
WOOD DECK	158
CONCRETE PATIO	144

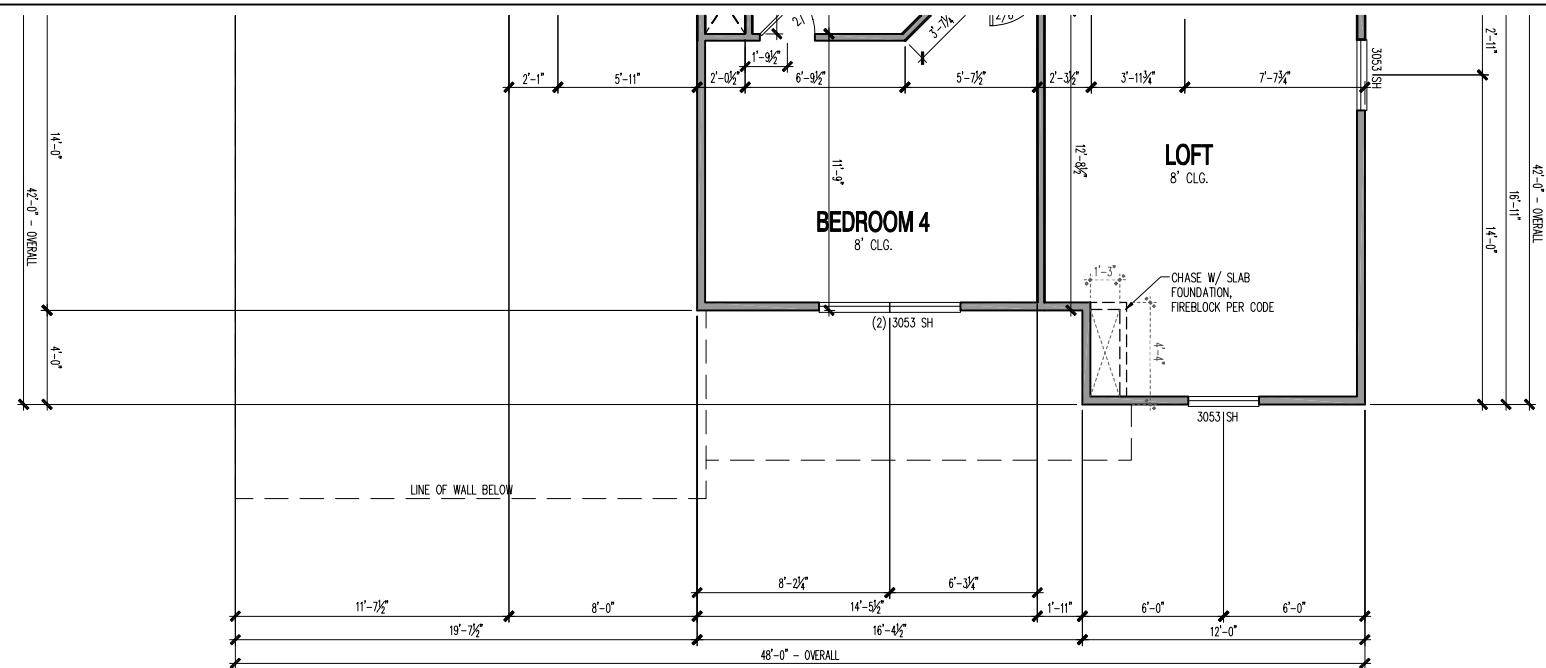
### ELEVATION NC2G

ADDITIONAL 1ST FLOOR - HEATED	0
<b>TOTAL 1ST FLOOR</b>	<b>1324</b>
ADDITIONAL 2ND FLOOR - HEATED	0
<b>TOTAL 2ND FLOOR</b>	<b>1575</b>
<b>TOTAL ELEV. HEATED</b>	<b>2899</b>
ADDITIONAL GARAGE - 2 CAR FRONT	0
<b>TOTAL GARAGE</b>	<b>707</b>
ADDITIONAL BASEMENT	0
<b>TOTAL BASEMENT</b>	<b>1242</b>
FRONT PORCH	107
<b>TOTAL ELEV. FOOTPRINT</b>	<b>2138</b>

### LIGHT & VENT SCHEDULE

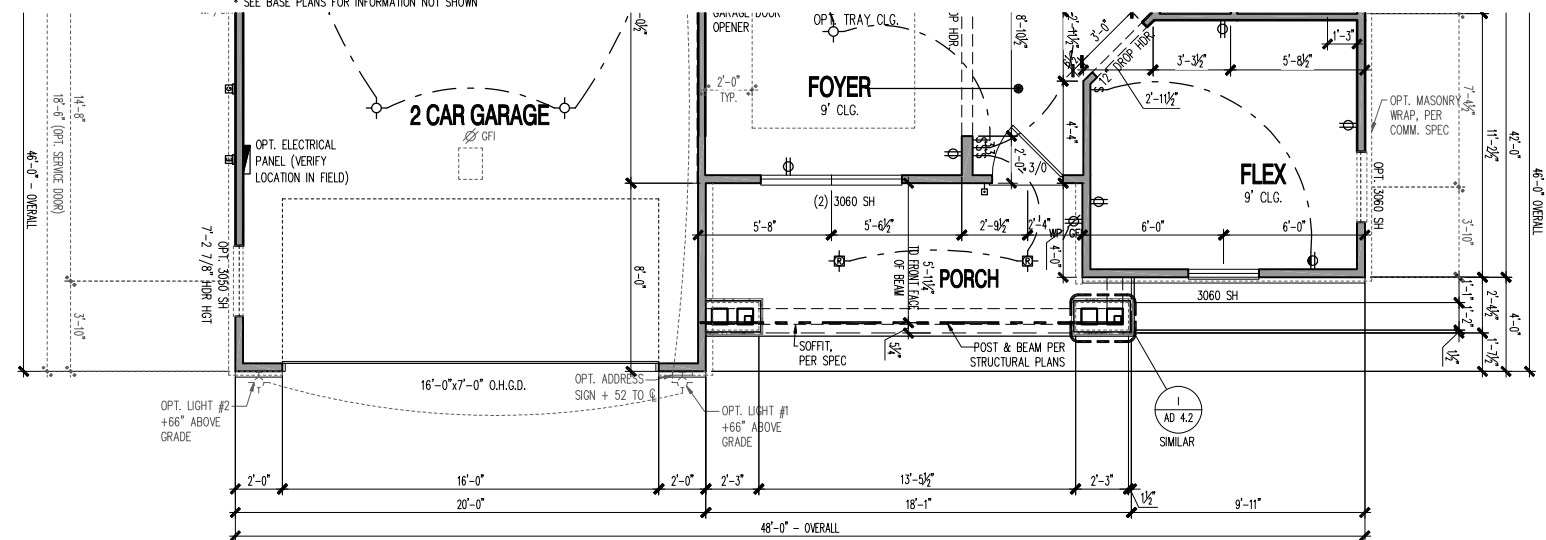
ROOM NAME	AREA	REQUIRED		SUPPLIED	
		LIGHT	VENT	LIGHT	VENT
FLEX	116.29	9.30	4.65	13.70	5.90

\*\* REFER TO LIGHT & VENT SCHEDULE ON COVER SH. FOR INFORMATION NOT SHOWN HERE.



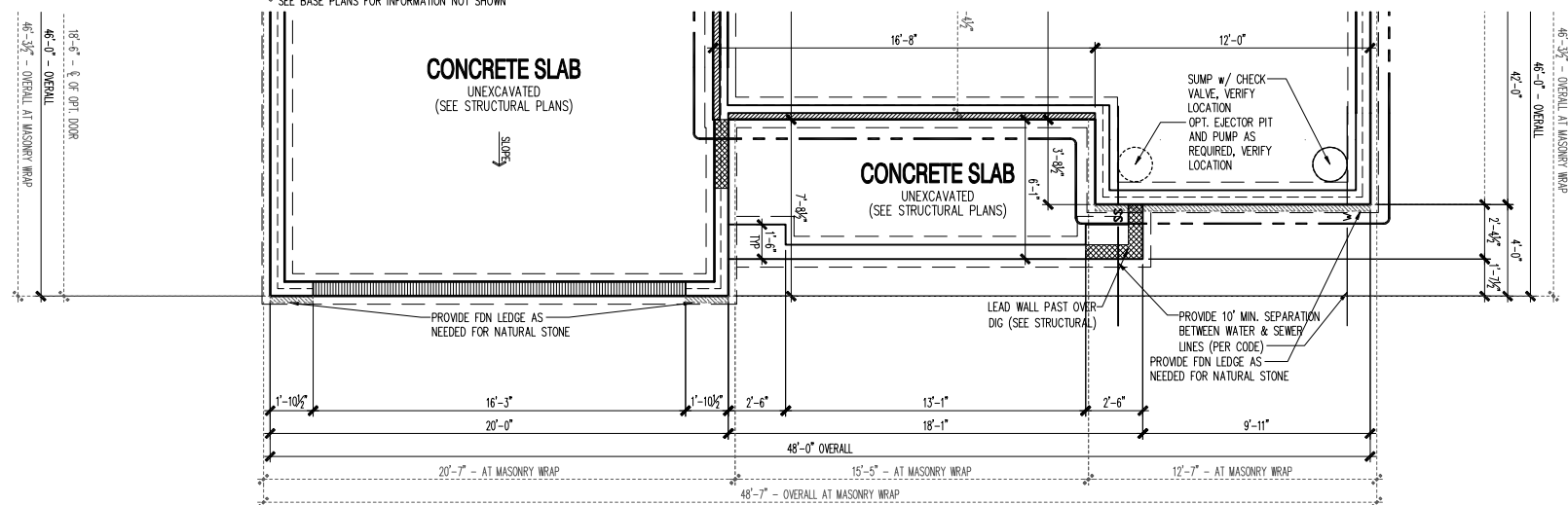
**2ND FLOOR PLAN - 4" EXTERIOR WALLS**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



**1ST FLOOR PLAN - 4" EXTERIOR WALLS**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



**BASEMENT FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN

**Midwest Zone Office**  
1900 Golf Road - Suite 300  
Schaumburg, Illinois 60173



**Partial Plans and General Notes**  
2 Car Front Entry  
Northern Craftsman 2G

PRODUCT MANAGER  
Rick Starkey  
INITIAL RELEASE  
DATE: 1/18/2019

REV#	DATE/DESCRIPTION
1	1/18/2019 PLAN REVISIONS
2	2/15/2019 PLAN UPDATES
3	11/27/2019 PCR REVISIONS

GARAGE HANDING  
**Single Family**

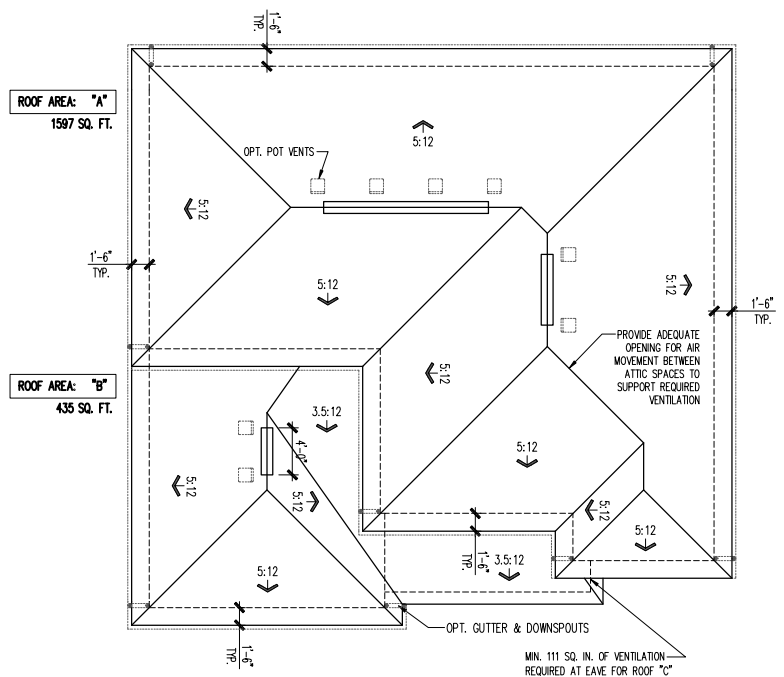
SPECIFICATION LEVEL

PLAN NAME  
**Hilltop**  
NPC CHILD NUMBER  
1851.302

SHEET  
**A3-NC2G**  
**2FB4.2**

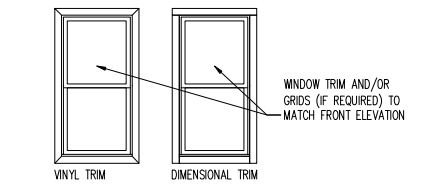
REV#	DATE/DESCRIPTION
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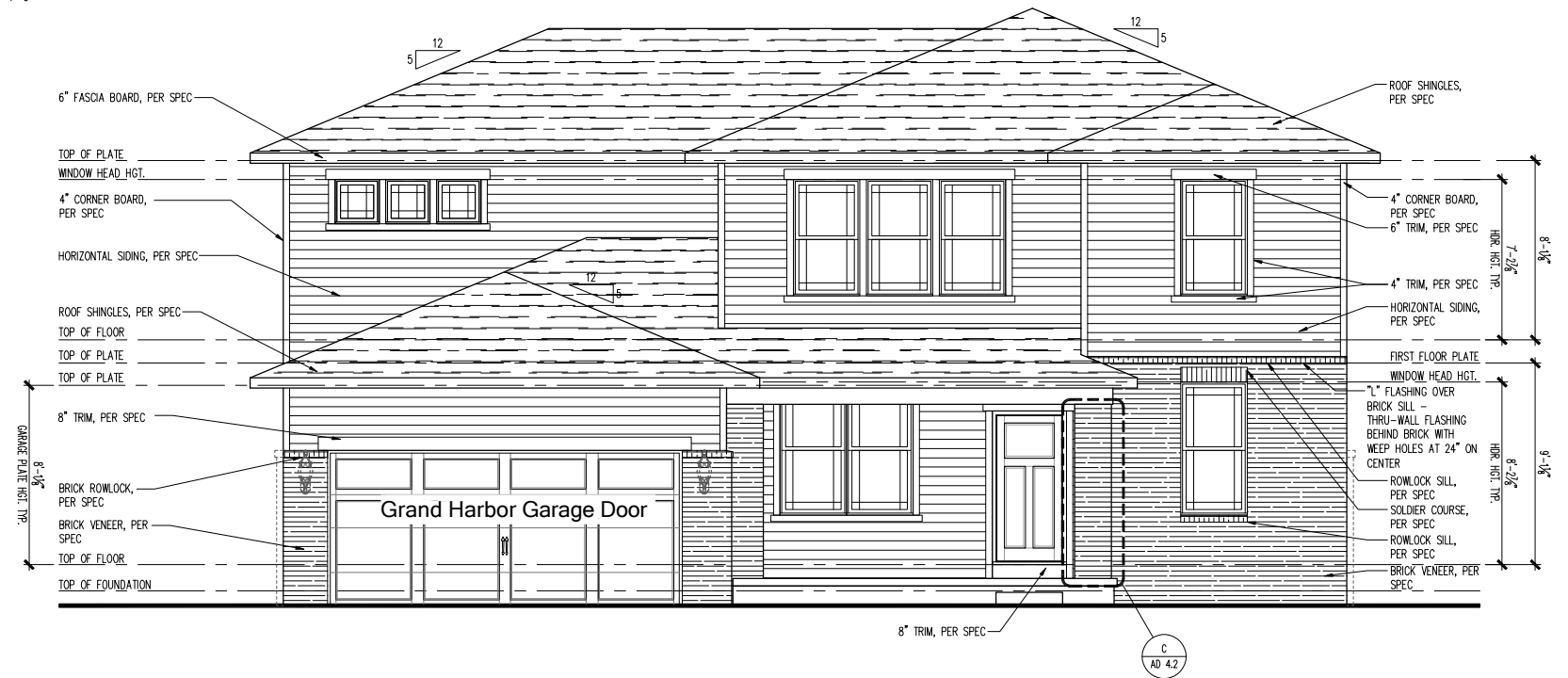


**ROOF PLAN**  
 SCALE: 1/8" = 1'-0"

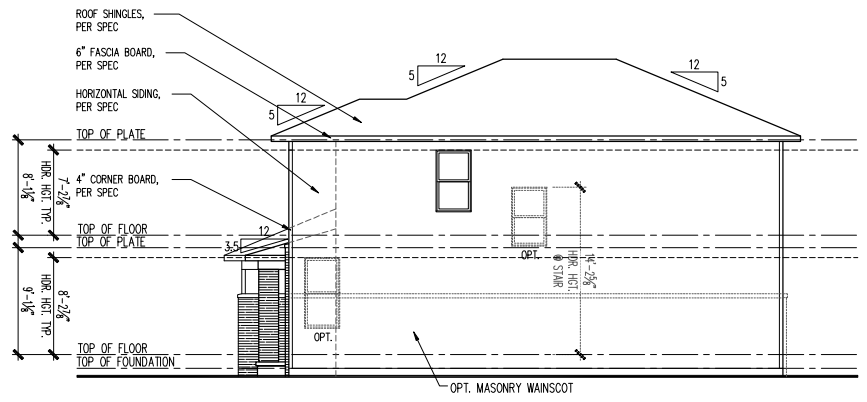
ATTIC VENT SCHEDULE									
Prairie 2M									
ROOF AREA "A"		SQ. FTG		1597		AT / NEAR RIDGE		AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	FOR LARGE BALANCE	FOR SMALL BALANCE	RIDGE VENT BALANCE	EAVE VENT BALANCE	CONC. VENT BALANCE	
MINI-POP VENT ONLY	3.13	2.44	3.84	47.78	6	0			
AT VENT	3.19	2.44	3.76	63.22				0	40.00
TOTAL 1597	6.32	4.88	8.60	100.00					
MINI-POP VENT ONLY	3.13	2.44	3.80	47.37	0	0	30.00	0	40.00
AT VENT	3.19	2.44	3.76	63.22					
TOTAL 1597	6.32	4.88	8.56	100.00					
ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE									
ROOF AREA "B"		SQ. FTG		435		AT / NEAR RIDGE		AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	FOR LARGE BALANCE	FOR SMALL BALANCE	RIDGE VENT BALANCE	EAVE VENT BALANCE	CONC. VENT BALANCE	
MINI-POP VENT ONLY	0.88	0.73	0.83	62.41	2	0			
AT VENT	0.87	0.73	0.83	49.89				0	12.00
TOTAL 435	1.45	1.46	1.66	100.00					
MINI-POP VENT ONLY	0.88	0.73	0.80	97.90	0	0	4.00		
AT VENT	0.87	0.73	0.83	43.80					
TOTAL 435	1.45	1.46	1.63	100.00					
ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE									



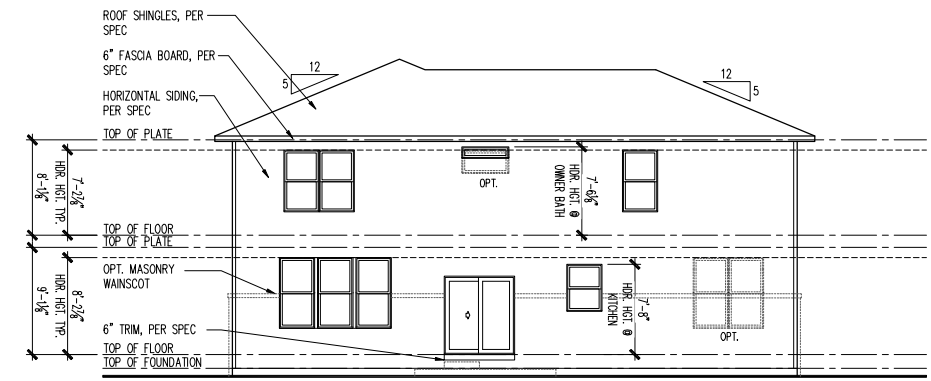
**SIDE AND REAR WINDOWS PER COMMUNITY SPECS**  
 SCALE: 1/4" = 1'-0"



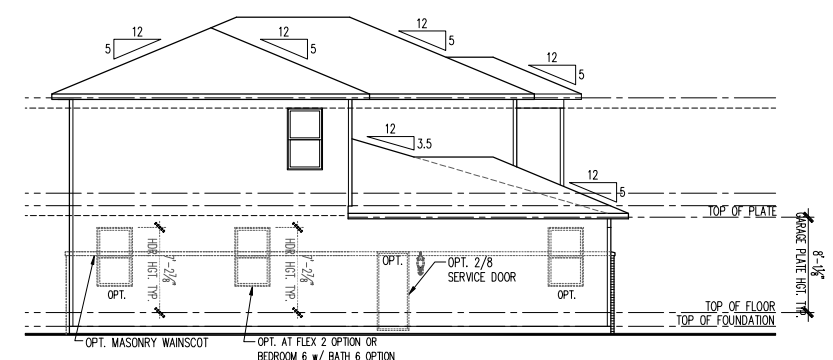
**FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
 SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
 SCALE: 1/8" = 1'-0"



**LEFT ELEVATION**  
 SCALE: 1/8" = 1'-0"

PLOTTED: November 5, 2019 / Armit Lee / A3-PR2M 2FB.1.DWG

### SCHEDULE of AREAS

BASE HOUSE - HEATED	
FIRST FLOOR	1324
SECOND FLOOR	1575
<b>TOTAL BASE HEATED</b>	<b>2899</b>
BASE HOUSE - UNDER ROOF	
GARAGE - 2 CAR FRONT ENTRY	707
BASEMENT	1242
<b>TOTAL BASE UNDER ROOF</b>	<b>2031</b>
BASE OPTIONS - HEATED	
ADDITIONAL AREA W/ SUNROOM	144
ADDITIONAL AREA W/ GATHERING RM EXTENSION	63
ADDITIONAL AREA W/ SUNROOM/ GATHERING RM EXTENSION	205
FINISHED BASEMENT OPTIONS	
FINISHED BASEMENT	787
BEDROOM 7 OPTION	153
BATH 7 OPTION	45
ADDITIONAL AREA W/ SUNROOM	129
ADDITIONAL AREA W/ GATHERING RM EXTENSION	57
ADDITIONAL AREA W/ SUNROOM & GATHERING RM EXTENSION	190
MECHANICAL	69
STORAGE	346
BASE OPTIONS	
BASEMENT / SUNROOM	1386
BASEMENT / GATHERING RM EXTENSION	1304
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2 CAR SIDE ENTRY GARAGE	707
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WOOD DECK	158
CONCRETE PATIO	144

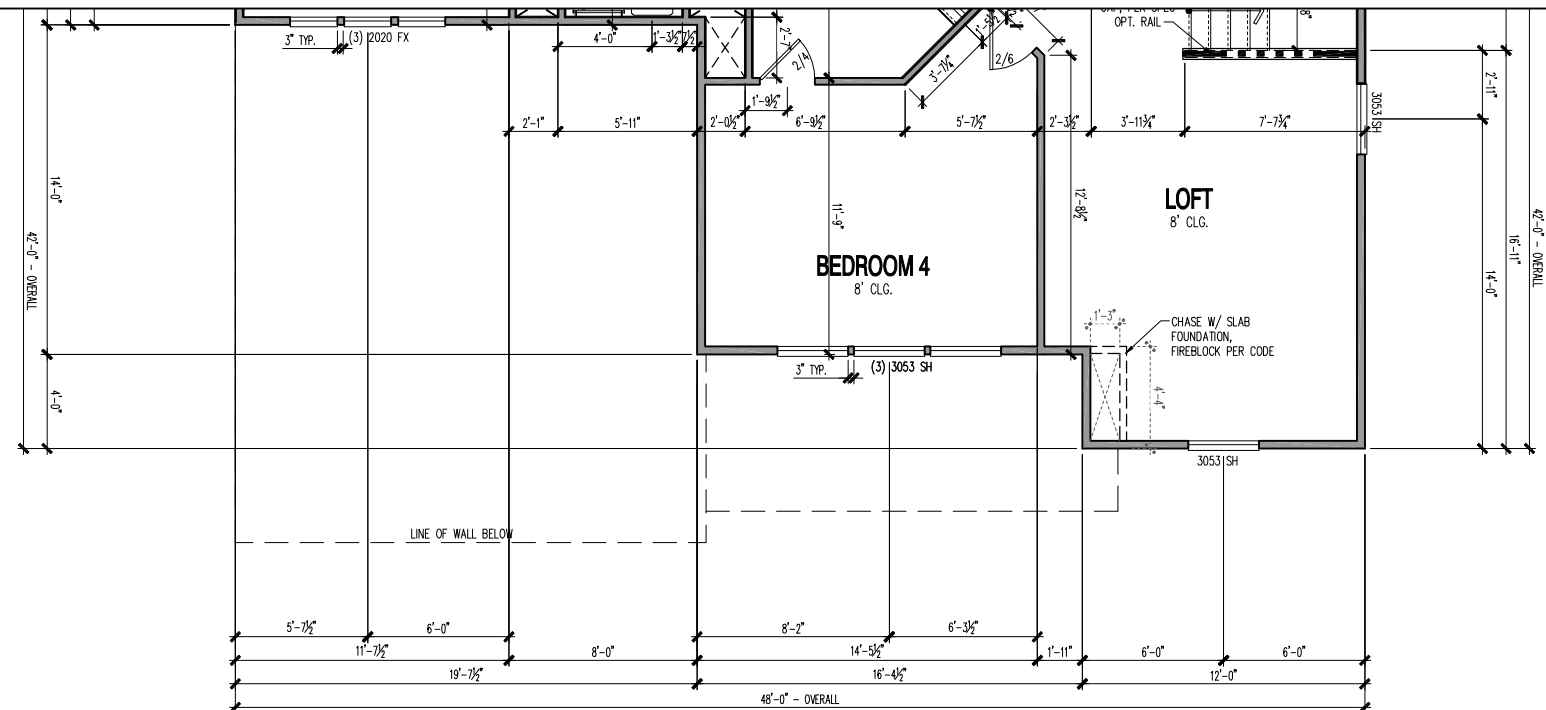
### ELEVATION PR2M

ADDITIONAL 1ST FLOOR - HEATED	0
<b>TOTAL 1ST FLOOR</b>	<b>1324</b>
ADDITIONAL 2ND FLOOR - HEATED	0
<b>TOTAL 2ND FLOOR</b>	<b>1575</b>
<b>TOTAL ELEV. HEATED</b>	<b>2899</b>
ADDITIONAL GARAGE - 2 CAR FRONT	0
<b>TOTAL GARAGE</b>	<b>707</b>
ADDITIONAL BASEMENT	0
<b>TOTAL BASEMENT</b>	<b>1242</b>
FRONT PORCH	107
<b>TOTAL ELEV. FOOTPRINT</b>	<b>2138</b>

### LIGHT & VENT SCHEDULE

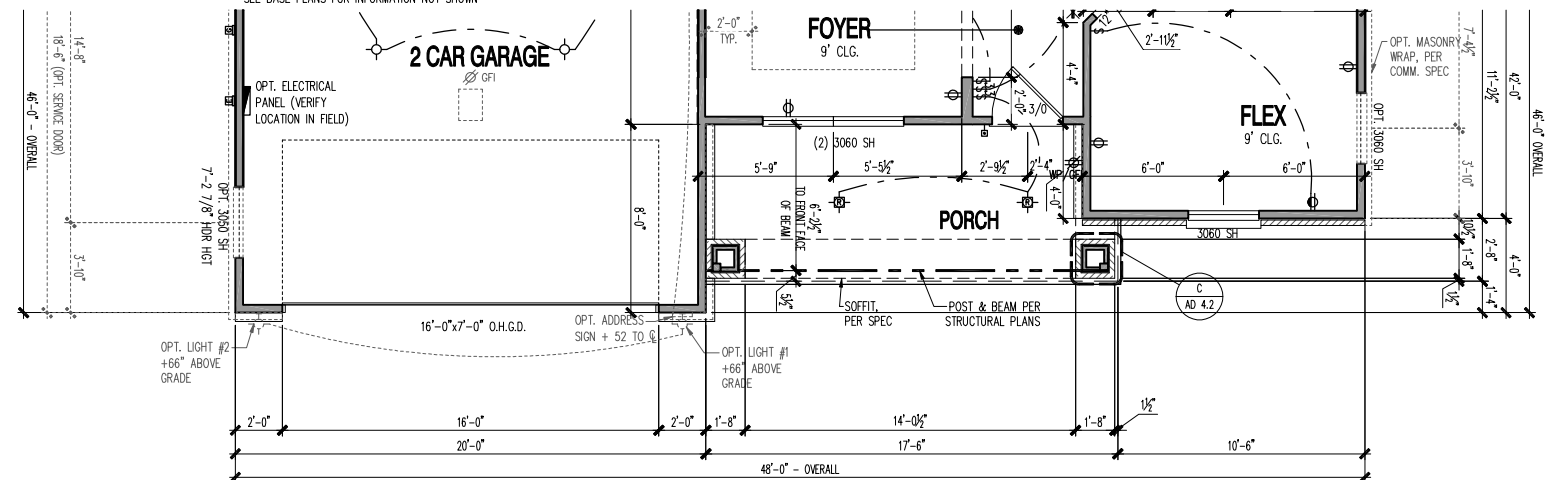
ROOM NAME	AREA	REQUIRED		SUPPLIED	
		LIGHT	VENT	LIGHT	VENT
FLEX	116.29	9.30	4.65	13.70	5.90
BEDROOM 3	136.90	10.95	5.48	18.90	5+MECH.
BEDROOM 4	167.91	13.43	6.72	35.10	15.00

\*\* REFER TO LIGHT & VENT SCHEDULE ON COVER SHT. FOR INFORMATION NOT SHOWN HERE.



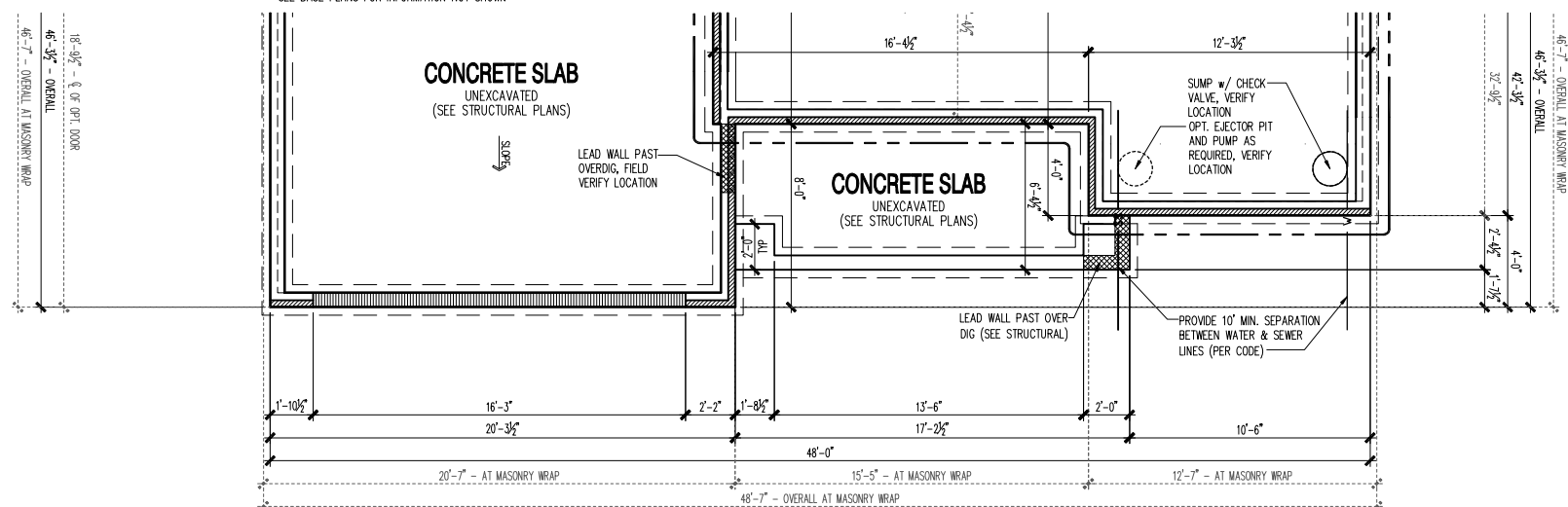
### 2ND FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



### 1ST FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"  
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### BASEMENT FOUNDATION PLAN

SCALE: 1/4" = 1'-0"  
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Partial Plans and General Notes  
2 Car Front Entry  
Prairie 2M

PRODUCT MANAGER  
Rick Starkey  
INITIAL RELEASE  
DATE: 1/18/2019

REV#	DATE/DESCRIPTION
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GARAGE HANDING  
Single Family

SPECIFICATION LEVEL

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Hilltop  
NPC CHILD NUMBER  
1851.302

SHEET  
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