

January 4, 2024

Mr. Kevin Whaley, Director of Planning
Town of Plainfield
206 W. Main Street
Plainfield, IN 46168

**RE: Kid City Plainfield
Part of 1410 E. Main Street
FES Project # 2310004**

Dear Mr. Whaley,

Please accept the enclosed applications, plans, supporting documents and the following Project Narrative for a Detailed Development Plan petition related to the proposed **Kid City Plainfield** project. The applicant, David Nash with metaCRE, proposes the design and construction of a new 10,200 SF childcare facility and onsite utility services, parking and drainage infrastructure on a proposed 1.3 acre split of the 3.15 acre Meijer Subdivision Outlot 1.

Zoning

As noted, the site is located within the Zoning Classification GC-General Commercial as well as the Gateway Corridor Overlay. The proposed childcare use is permitted within the GC district. There are no surrounding protected districts that require additional buffers or greenspace. No zoning bulk standard variances are proposed with the project. Below is a table of the required and proposed site development standards.

SITE DEVELOPMENT SUMMARY TABLE		
ZONING CLASSIFICATION, TOWN OF PLAINFIELD, IN.	GC GENERAL COMMERCIAL, GATEWAY CORRIDOR (USE PERMITTED BY ZONING CLASSIFICATION)	
	REQUIRED	PROVIDED
PARCEL SIZE	N/A	1.30 Acres
MIN. STREET FRONTAGE	50 FT	154 FT. (WEST)
MAX. LOT COVERAGE	N.A.	18% (BUILDING ONLY)
MAX. BLDG HEIGHT	75 FT.	25 FT.
SETBACKS		
FRONT	20 FT.	21 FT (WEST)
SIDE	10 FT.	10 FT (SOUTH)
REAR	20 FT. (PER PLAT)	193 FT (EAST)
BUFFERYARDS / GREENBELTS		
FRONT	N/A	N/A
SIDE	N/A	N/A
REAR	N/A	N/A
PARKING REQUIRED	PER DEVELOPER	38 STANDARD SPACES 2 ADA SPACES 40 SPACES TOTAL
BICYCLE PARKING	1 PER MAIN BUILDING ENTRANCE	1
VEHICLE STACKING	N/A	N/A
NOTES:		

Existing Site Description

The Meijer Subdivision Outlot 1 is addressed as 1410 E. Main Street, Plainfield. An existing multi-tenant commercial building was constructed on the southern portion of the Outlot in 2016. The proposed development will utilize the currently vacant northern portion of Outlot 1 and will require a Replat to create the proposed development lot. The proposed development lot will be approximately 1.3 acres and the remaining Outlot 1 will be comprised of approximately 1.8 acres.

Vehicular Access and Parking

Traffic will access the proposed development from a new commercial drive on the west side of the site known as Meijer Drive which is a private street. A second vehicular access along the north side of the site will connect to another private drive.

Onsite parking will be provided including 38 standard parking spaces and 2 ADA Accessible spaces for a total of 40 onsite parking spaces. The fully staffed building is anticipated to have no more than 20 total employees onsite during any shift. Childcare customers generally drop off and pick up their children throughout the day with peak times in the morning between 7am and 8am and evening between 5pm and 6pm. Each visit generally lasts 5 minutes or less. The peak volume during the morning/evening times are 3-4 vehicles. Therefore, the total onsite parking required is 24 parking spaces and 40 are provided.

Utility Services

Water – Plainfield Public Works/Utilities provides water service to this site. An existing 8” water main is located on the west side of Meijer Drive, immediately west of the project site. It is anticipated this water main will be sufficiently sized to provide service to the proposed building. A 1.5” domestic service is proposed to serve the building. No fire suppression water service is proposed.

Sanitary – Plainfield Public Works/Utilities provides sanitary sewer service to this site. There is an existing 8” sanitary main along the east side of the project site. A new 6” lateral is proposed to extend and connect to the existing main.

Gas – Centerpoint Energy provides gas services to this site. The developer will work with Centerpoint on the required gas service.

Electricity – Duke Energy provides electrical service to this area. The developer will work with Duke to provide power for the proposed development.

Telephone/Data/Cable – There are a few providers for telephone/data/cable in the project area. The developer will work with the providers to serve the development.

Stormwater Infrastructure

Outlot 1 was developed in 2016 with the existing building. At that time, an existing dry detention basin that was constructed with the overall Meijer Subdivision was reconstructed to provide dry detention along the southern portion and eastern portion of the development. The original design and reconstruction design data is unavailable. However, a drainage narrative was identified that provided some insight into the master drainage plan for Outlot 1. At the time of the Outlot 1 development in 2016, the reconstructed detention system was provided for the improvements at that time only. Future development within Outlot 1 would require additional stormwater management to accommodate the full approved masterplan detention volume. As a result, the proposed onsite stormwater management system consists of onsite stormwater collection inlets, conveyance piping and an expansion of the dry detention basin along the east side of the site. The expansion of the dry detention basin will provide the volume listed in the 2016 design information as being required when/if future development occurred on Outlot 1.



Building Design & Architecture

10,200sf, single story daycare facility. 9 classrooms for children ranging from infants to after-school care in a safe and exciting environment designed for learning and growth.

Development Schedule

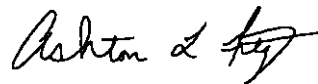
The proposed development timeline is as follows:

Plainfield Process

- Project Review Meeting Filing – December 11, 2023
- Project Review Meeting – December 28, 2023
- Design Review Meeting Filing – January 2, 2024
- Design Review Meeting – January 9, 2024
- Docketed for Plan Commission – January 12, 2024
- Plan Commission Public Hearing – February 5, 2024
- Construction Start – March 1, 2024
- Construction Completion – December 1, 2024

Best Regards,

Fritz Engineering Services, LLC



Ashton L. Fritz, PE
Principal

Cc: David Nash, metaCRE
Plainfield TAC Members

