



Mitchell Base

MIDWEST ZONE
1900 E. GOLF RD. - SUITE 300 - SCHAUMBURG, IL 60173

MUNICIPALITY	ARCHITECT	
STRUCT. ENGINEER	MECH. ENGINEER	DESIGN LOADS and CRITERIA
Mulhern & Kulp Engineers 20 S. Maple Street Suite 150 Ambler, PA 19002 215.646.8001 www.mulhernkulp.com		SEE STRUCTURAL PLANS FOR DESIGN CRITERIA
BUILDING CODE ANALYSIS	APPLICABLE CODES	
ZONING ORDINANCE: USE GROUP: One & Two Family dwelling CONSTRUCTION CLASS: Unprotected Frame HEIGHT & AREA: OTHER REQUIREMENTS:	BUILDING CODE: FIRE CODE: ELECTRICAL CODE: ENERGY CODE: PLUMBING CODE: MECHANICAL CODE: MUNICIPAL CODE:	

SHEET INDEX

Sheet No.	Sheet Description	Sheet No.	Sheet Description	Sheet No.	Sheet Description	Sheet No.	Sheet Description
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CZ 0.20	Cover Sheet / General Notes / Abbreviations	A4 SR4L.1	Sunroom - 2x4 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / In-Grade Basement	A4 EX4SR.1	Gathering Rm. Extension w/ Sunroom - 2x4 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / Slab	U1 4-2.10	Second Floor Utility Plan / _ / 2x4 Exterior Walls
CZ 0.30	Cover Sheet / Revision Log	A4 SR4L.13	Sunroom - 2x4 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / In-Grade Basement - 10" w/ 4 1/4" Brick Ledge	A4 EX4SRI.1	Gathering Rm. Extension w/ Sunroom - 2x4 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / In-Grade Basement	U1 4-2.11	Second Floor Utility Plan / Optional Lighting Package / 2x4 Exterior Walls
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A0 MI-1.1	Basement Foundation Plan w/ 10" Foundation w/ 4 1/4" Brick ledge/ / _	A4 SR4W.13	Sunroom - 2x4 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / Walkout Basement - 10" w/ 4 1/4" Brick Ledge	A4 EX4SRD.13	Gathering Rm. Extension w/ Sunroom - 2x4 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / Daylight Basement - 10" w/ 4 1/4" Brick ledge	U1 6-1.11	First Floor Utility Plan / Optional Lighting Package / 2x6 Exterior Walls
A1 0.1	Finished Basement Floor Plan / _ / All Basement Walls	A4 SR6S.1	Sunroom - 2x6 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / Slab	A4 EX4SRW.1	Gathering Rm. Extension w/ Sunroom - 2x4 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / Walkout Basement	U1 6-1.20	First Floor Utility Plan / Options / 2x6 Exterior Walls
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A1 4-2.2	Second Floor Plan / Options / 2x4 Exterior Walls	A4 SR6D.12	Sunroom - 2x6 Exterior Walls / Floor, Exterior Insulation Foundation, Utility Plans and Elevations / Daylight Basement	A4 EX6SRD.13	Gathering Rm. Extension w/ Sunroom - 2x6 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / Daylight Basement	U1 6-2.21	Second Floor Utility Plan / Options - Optional Lighting Package / 2x6 Exterior Walls
A1 6-1.1	First Floor Plan / _ / 2x6 Exterior Walls	A4 EX4S.1	Gathering Rm. Extension - 2x4 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / Slab	A4 EX6SRW.1	Gathering Rm. Extension w/ Sunroom - 2x6 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / Walkout Basement	FLOORING DRAWINGS	
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A1 6-2.1	Second Floor Plan / _ / 2x6 Exterior Walls	A4 EX4L.13	Gathering Rm. Extension - 2x4 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / In-Grade Basement - 10" w/ 4 1/4" Brick Ledge	A4 EX6SRD.12	Gathering Rm. Extension w/ Sunroom - 2x6 Exterior Walls / Floor, Exterior Insulation Foundation, Utility Plans and Elevations / Daylight Basement	FL 0.2	Finished Basement Floor Plan / Options / All Basement Walls
A1 6-2.2	Second Floor Plan / Options / 2x6 Exterior Walls	A4 EX4D.1	Gathering Rm. Extension - 2x4 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / Walkout Basement	A4 EX6SRW.12	Gathering Rm. Extension w/ Sunroom - 2x6 Exterior Walls / Floor, Exterior Insulation Foundation, Utility Plans and Elevations / Daylight Basement	FL 4-1.1	First Floor Flooring Plan / _ / 2x4 Exterior Walls
A2 S.1	Building Sections 1 and 2 / _ / Slab Foundation	A4 EX4D.13	Gathering Rm. Extension - 2x4 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / Daylight Basement - 10" w/ 4 1/4" Brick Ledge	A4 GX4.1	Garage Extension - 2x4 Exterior Walls / Floor, Foundation and Utility Plans	FL 4-1.2	First Floor Flooring Plan / Options / 2x4 Exterior Walls
A2 B.1	Building Sections 1 and 2 / _ / Basement Foundation	A4 EX4W.1	Gathering Rm. Extension - 2x4 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / Walkout Basement	A4 GX6.1	Garage Extension - 2x6 Exterior Walls / Floor, Foundation and Utility Plans	FL 4-1.3	First Floor Flooring Plan / Options / 2x4 Exterior Walls
A3 HR1B 2FS.1	Heartland 1B / 2 Car Front Entry / Front, Side and Rear Elevation, Roof Plan and Attic Vent Schedule	A4 EX4W.13	Gathering Rm. Extension - 2x4 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / Walkout Basement - 10" w/ 4 1/4" Brick Ledge	UTILITY DRAWINGS			
A3 HR1B 2FS.2	Heartland 1B / 2 Car Front Entry / Partial Foundation Plans	A4 EX6S.1	Gathering Rm. Extension - 2x6 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / Slab	U0 S-1.10	Slab Utility Plan / _ /	FL 4-2.1	Second Floor Flooring Plan / _ / 2x4 Exterior Walls
A3 HR1B 2FS4.3	Heartland 1B / 2 Car Front Entry / Partial Floor and Utility Plans - 2x4 Exterior Walls	A4 EX6L.1	Gathering Rm. Extension - 2x6 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / In-Grade Basement	U0 S-1.20	Slab Utility Plan / Options /	FL 4-2.2	Second Floor Flooring Plan / Options / 2x4 Exterior Walls
A3 HR1B 2FS6.3	Heartland 1B / 2 Car Front Entry / Partial Floor and Utility Plans - 2x6 Exterior Walls	A4 EX6D.1	Gathering Rm. Extension - 2x6 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / Daylight Basement	U0 B-1.10	Basement Utility Plan / _ / All Basement Walls	FL 6-1.1	First Floor Flooring Plan / _ / 2x6 Exterior Walls
A3 HR1B 3FS.1	Heartland 1B / 3 Car Front Entry / Front, Side and Rear Elevation, Roof Plan and Attic Vent Schedule	A4 EX6D.1	Gathering Rm. Extension - 2x6 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / Daylight Basement	U1 0.10	Finished Basement Utility Plan / _ / All Basement Walls	FL 6-1.2	First Floor Flooring Plan / Options / 2x6 Exterior Walls
A3 HR1B 3FS.2	Heartland 1B / 3 Car Front Entry / Partial Foundation Plans	A4 EX6W.1	Gathering Rm. Extension - 2x6 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / Walkout Basement	U1 0.20	Finished Basement Utility Plan / Options / All Basement Walls	FL 6-1.3	First Floor Flooring Plan / Options / 2x6 Exterior Walls
A3 HR1B 3FS4.3	Heartland 1B / 3 Car Front Entry / Partial Floor and Utility Plans - 2x4 Exterior Walls	A4 EX6L.12	Gathering Rm. Extension - 2x6 Exterior Walls / Floor, Exterior Insulation Foundation, Utility Plans and Elevations / In-Grade Basement	U1 0.21	Finished Basement Utility Plan / Options - Optional Lighting Package / All Basement Walls	FL 6-2.1	Second Floor Flooring Plan / _ / 2x6 Exterior Walls
A3 HR1B 3FS6.3	Heartland 1B / 3 Car Front Entry / Partial Floor and Utility Plans - 2x6 Exterior Walls	A4 EX6D.12	Gathering Rm. Extension - 2x6 Exterior Walls / Floor, Exterior Insulation Foundation, Utility Plans and Elevations / In-Grade Basement	U1 0.30	Finished Basement Utility Plan / Options / All Basement Walls	FL 6-2.2	Second Floor Flooring Plan / Options / 2x6 Exterior Walls
****	Elevations Follow The A3 Sheet Numbering Used For The Heartland 1B Elevations Above	A4 EX6D.12	Gathering Rm. Extension - 2x6 Exterior Walls / Floor, Exterior Insulation Foundation, Utility Plans and Elevations / Daylight Basement	U1 4-1.10	First Floor Utility Plan / _ / 2x4 Exterior Walls	TRIM OPTION LAYOUTS	
A4 DB4.1	Daylight Basement - 2x4 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / _	A4 EX6D.12	Gathering Rm. Extension - 2x6 Exterior Walls / Floor, Exterior Insulation Foundation, Utility Plans and Elevations / Daylight Basement	U1 4-1.11	First Floor Utility Plan / Optional Lighting Package / 2x4 Exterior Walls	TR 4-1.1	First Floor Plan / Trim Option Layouts / 2x4 Exterior Walls
A4 DB4.13	Daylight Basement - 10" w/ 4 1/4" Brick Ledge - 2x4 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / _	A4 EX6D.12	Gathering Rm. Extension - 2x6 Exterior Walls / Floor, Exterior Insulation Foundation, Utility Plans and Elevations / Daylight Basement	U1 4-1.20	First Floor Utility Plan / Options / 2x4 Exterior Walls	TR 4-1.2	First Floor Plan Options / Trim Option Layouts / 2x4 Exterior Walls
A4 WB4.1	Walkout Basement - 2x4 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / _	A4 EX6D.12	Gathering Rm. Extension - 2x6 Exterior Walls / Floor, Exterior Insulation Foundation, Utility Plans and Elevations / Daylight Basement	STRUCTURAL DRAWINGS			
A4 WB4.13	Walkout Basement - 10" w/ 4 1/4" Brick Ledge - 2x4 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / _	A4 EX6D.12	Gathering Rm. Extension - 2x6 Exterior Walls / Floor, Exterior Insulation Foundation, Utility Plans and Elevations / Daylight Basement	S-0 Sheets	Structural Notes	TR 4-2.1	Second Floor Plan / Trim Option Layouts / 2x4 Exterior Walls
A4 DB6.1	Daylight Basement - 2x6 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / _	A4 EX6D.12	Gathering Rm. Extension - 2x6 Exterior Walls / Floor, Exterior Insulation Foundation, Utility Plans and Elevations / Daylight Basement	S-1 Sheets	Foundation & First Floor Framing Plans	TR 4-2.2	Second Floor Plan / Trim Option Layouts / 2x4 Exterior Walls
A4 WB6.1	Walkout Basement - 2x6 Exterior Walls / Floor, Foundation, Utility Plans and Elevations / _	A4 EX6D.12	Gathering Rm. Extension - 2x6 Exterior Walls / Floor, Exterior Insulation Foundation, Utility Plans and Elevations / Daylight Basement	S-2 Sheets	Second Floor Framing Plans	TR 6-1.1	First Floor Plan / Trim Option Layouts / 2x6 Exterior Walls
A4 DB6.12	Daylight Basement - 2x6 Exterior Walls / Floor, Exterior Insulation Foundation, Utility Plans and Elevations / _	A4 EX6D.12	Gathering Rm. Extension - 2x6 Exterior Walls / Floor, Exterior Insulation Foundation, Utility Plans and Elevations / Daylight Basement	S-3 Sheets	Roof Framing Plans	TR 6-1.2	First Floor Plan Options / Trim Option Layouts / 2x6 Exterior Walls
A4 WB6.12	Walkout Basement - 2x6 Exterior Walls / Floor, Exterior Insulation Foundation, Utility Plans and Elevations / _	A4 EX6D.12	Gathering Rm. Extension - 2x6 Exterior Walls / Floor, Exterior Insulation Foundation, Utility Plans and Elevations / Daylight Basement	S0-1 Sheets	Plan Options	TR 6-2.1	Second Floor Plan / Trim Option Layouts / 2x6 Exterior Walls
				S0-2 Sheets	Plan Options	TR 6-2.2	Second Floor Plan / Trim Option Layouts / 2x6 Exterior Walls
				S0-3 Sheets	Deck Framing Plans	STRUCTURAL Details	
				SD Sheets	Structural Details		

PLOTTED: February 14, 2025 / Seen: Lehey / CZ 0.10.DWG

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Midwest Zone Office
1900 E. Golf Road, - Suite 300
Schaumburg, Illinois 60173



Cover Sheet
Project Information / Sheet Index
Midwest Zone

PRODUCTION MANAGER
Rick Starkey
INITIAL RELEASE DATE:
03-31-2020
CURRENT RELEASE DATE:
11-11-2022

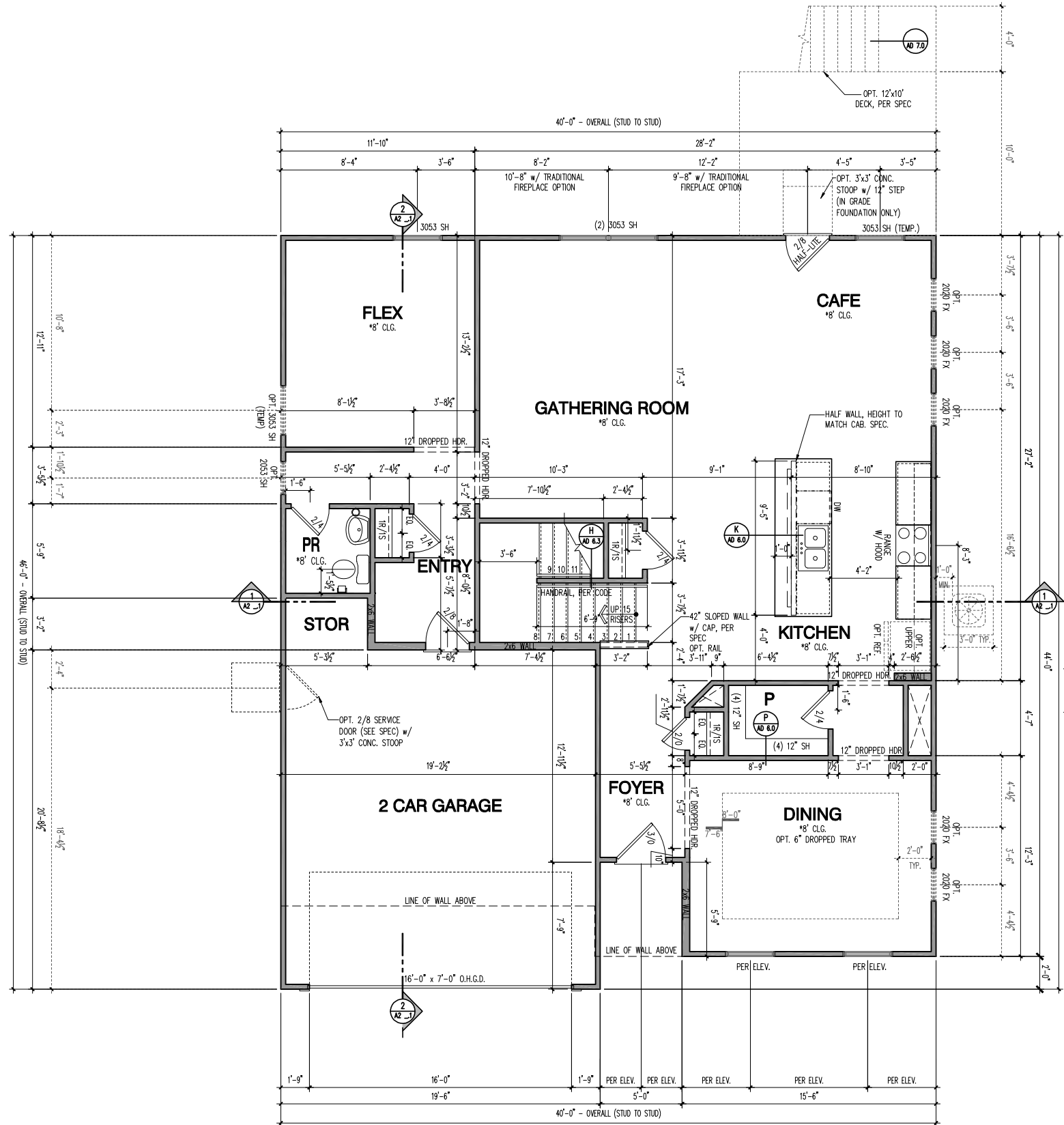
REV #	DATE / DESCRIPTION
1	03-31-2020 PLAN REFRESH
2	06-18-2021 PLAN UPDATES
3	10-29-2021 PCR UPDATES
4	11-11-2022 PCR UPDATES
5	05-05-2023 REVISIONS
6	01-19-2024 PCR REVISIONS

GARAGE HANDING
LEFT

PLAN NAME
MITCHELL
NPC PLAN NUMBER
8636.301.00.CPM
LAWSON PLAN ID
--

SHEET
CZ
0.10

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



LIGHT & VENT SCHEDULE						
ROOM NAME	AREA (SF)	LIGHT 8%		VENT 4%		MECH (CFM)
		REQ	ACT	REQ	ACT	REQ
FLEX	145.70	11.7	11.7	5.8	5.9	---
PR	26.69	2.1	*	1.1	***	27.8 80
DINING	172.08	13.8	23.4	6.9	11.8	---
BEDROOM 6 OPTION	127.42	10.2	11.7	5.1	5.9	---
LOFT	115.42	9.2	11.7	4.6	5.9	---
LAUNDRY	53.21	4.3	*	2.1	**	---
BEDROOM 2	149.40	12.0	28.7	6.0	12.7	---
BEDROOM 3	226.30	18.1	35.1	9.1	17.7	---
BEDROOM 4	127.44	10.2	11.7	5.1	5.9	---
OWNER'S SUITE	259.32	20.7	23.4	10.4	11.8	---
BATH 2	51.88	4.2	*	2.1	**	54.0 60
GAME ROOM OPTION	246.22	19.7	23.4	9.8	11.8	---
OWNER'S RETREAT OPTION	127.44	10.2	11.7	5.1	5.9	---
OWNER'S BATH 1 OPTION	110.29	8.8	2*	4.4	**	114.7 120
OWNER'S BATH 2 & 3 OPTIONS	98.02	7.8	2*	3.9	**	101.9 120
OWNER'S BATH 5 OPTION	108.77	8.7	5.5*	4.4	**	113.1 120
OWNER'S BATH 5 OPTION	109.35	8.7	2*	4.4	**	113.7 120
SUNROOM OPTION	110.84	8.9	64.4	4.4	47.2	---
KITCHEN / CAFE / GATHERING ROOM	655.42	52.4	41*	26.2	35.4	---
KITCHEN / CAFE / GATHERING ROOM W/ SUNROOM	767.38	61.4	87.8	30.7	59	---
KITCHEN / CAFE / GATHERING ROOM W/ 4' EXT	719.09	57.5	41*	28.8	35.4	---
KITCHEN / CAFE / GATHERING ROOM W/ 4' EXT W/ SUNROOM	832.07	66.6	76.1	33.3	53.1	---
BEDROOM 7 OPTION	117.32	9.4	24.4	4.7	13.4	---
BATH 7 OPTION	44.70	3.6	*	1.8	**	46.5 60

* ARTIFICIAL LIGHT
 ** FAN REQ: LxWxH of ROOM x 0.13 = MIN. CFM RATING REQUIRED
 THE TABLE ABOVE SHOWS CALCULATIONS THAT APPLY FOR ALL ELEVATIONS, U.N.O.
 *** DWELLING WILL BE EQUIPPED WITH WHOLE HOUSE MECHANICAL VENTILATION SYSTEM INSTALLED PER IRC SECTION M1505.

SQUARE FOOTAGES	
BASE HOUSE - HEATED	
FIRST FLOOR	1353
SECOND FLOOR	1701
TOTAL BASE HEATED	3054
BASE HOUSE - UNDER ROOF	
GARAGE - 2 CAR FRONT ENTRY	417
COVERED PORCH	0
BASEMENT	1367
TOTAL BASE UNDER ROOF	1770
OPTIONS	
SECOND FLOOR	1701
BASEMENT	1367
SUNROOM	120
GATHERING ROOM EXTENSION	67
SUNROOM w/ GATHERING ROOM EXTENSION	185

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

Midwest Zone Office
 1900 E. Golf Road, Suite 300
 Schaumburg, Illinois 60173



First Floor Plan - Slab Condition
 2x4 Exterior Walls

PRODUCTION MANAGER Rick Storkey	
INITIAL RELEASE DATE: 03-31-2020	
CURRENT RELEASE DATE: 11-11-2022	
REV #	DATE / DESCRIPTION
1	03-31-2020
2	06-18-2021
3	10-29-2021
4	11-11-2022
5	05-05-2023
6	01-19-2024

GARAGE HANDING
LEFT

PLAN NAME
MITCHELL
 NPC PLAN NUMBER
8636.301.00.CPM
 LAWSON PLAN ID

SHEET
A1
4-1.1



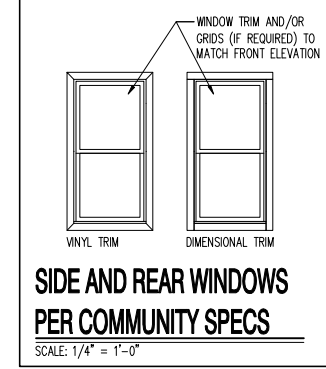
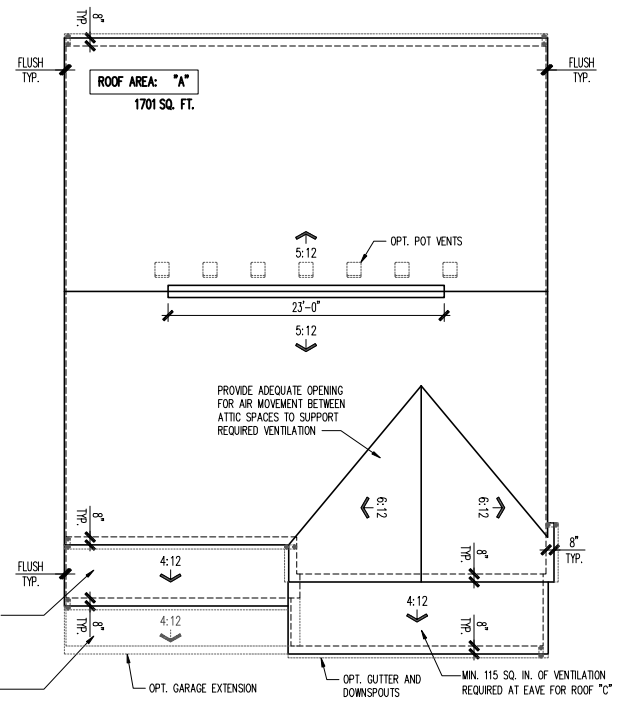


ATTIC VENT SCHEDULE			
CR2G	2-CAR FRONT ENTRY	ROOF AREA 'A'	
ATTIC AREA (SF)		1701	
TOTAL NET FREE VENTED AREA REQ.		816 IN ²	
LOW - REQUIRED (**)		408 IN ²	
LOW - ACTUAL w/ EAVE VENTS (**)		420 IN ² 15 EAVE VENTS	
LOW - ACTUAL w/ CONTINUOUS VENTED SOFFITS (**)		410 IN ² 41 LINEAR FEET	
HIGH - REQUIRED (**)		408 IN ²	
HIGH - ACTUAL w/ POT VENTS (***)		427 IN ² 7 POTS	
HIGH - ACTUAL w/ CONT. RIDGE VENTS (***)		414 IN ² 23 LF	

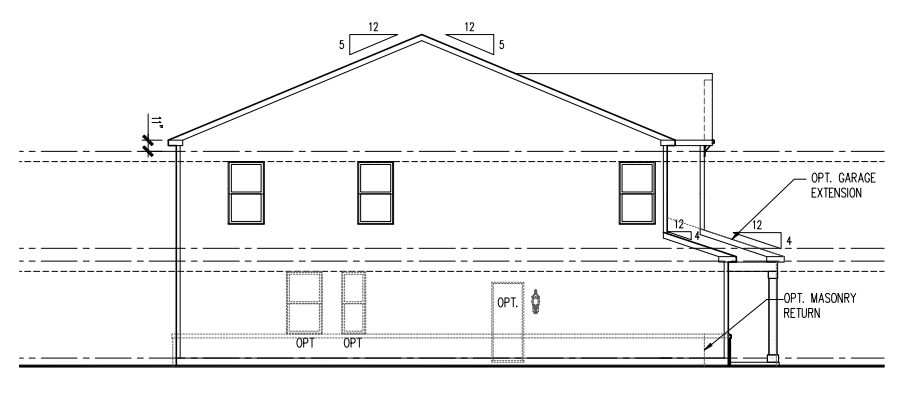
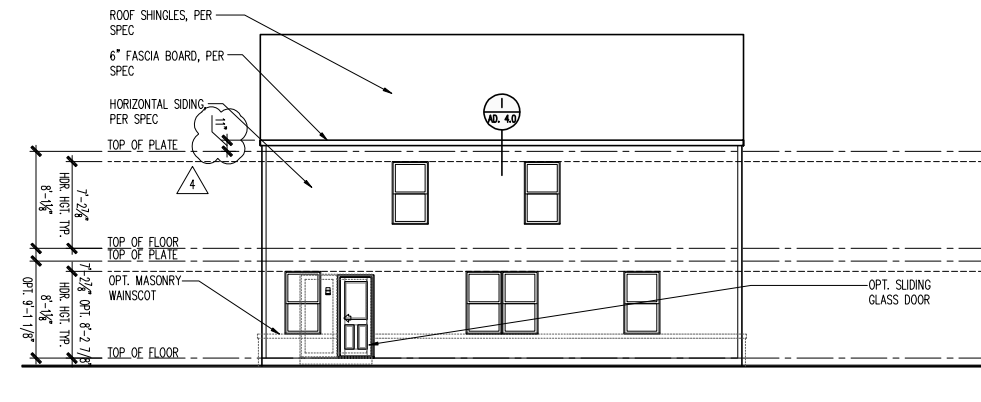
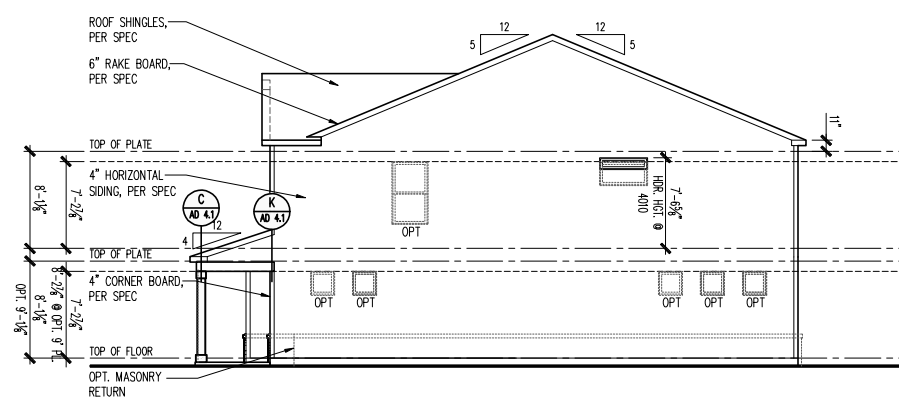
* REQUIRED NET FREE VENTED AREA IS CALCULATED BY MULTIPLYING THE ATTIC AREA (FT²) BY 1/300 AND THEN MULTIPLYING BY 144 (CONVERTING FT² TO IN²). 50% OF TOTAL NET FREE VENTED AREA IS REQUIRED NEAR THE RIDGE (HIGH) AND 50% IS REQUIRED AT THE SOFFIT (LOW). WHEN BOTH (HIGH) & (LOW) ARENT PROVIDED, THE REQ'D NET FREE AREA IS 1/150 OF THE ACTUAL AREA INSTEAD.

** ACTUAL NET FREE VENTED SOFFIT AREA IS CALCULATED BY DIVIDING THE REQUIRED (LOW) AREA BY THE MFRS STATED ACTUAL VENTED NET FREE AREA PER VENT:
 LOW OPT 1: EAVE VENTS = 28.0 IN²/VENT (OR)
 LOW OPT 2: CONT. VENTED SOFFITS = 10.0 IN²/LINEAR FT

*** ACTUAL NET FREE VENTED RIDGE AREA IS CALCULATED BY DIVIDING THE REQUIRED (HIGH) AREA BY THE MFRS STATED ACTUAL VENTED NET AREA PER VENT:
 HIGH OPT 1: POT ROOF VENTS = 61.0 IN²/VENT (OR)
 HIGH OPT 2: CONT. RIDGE VENTS = 18.0 IN²/LINEAR FT



ENERGYSTAR 3.1 REVISIONS:
 ENERGY HEELS ADDED



NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

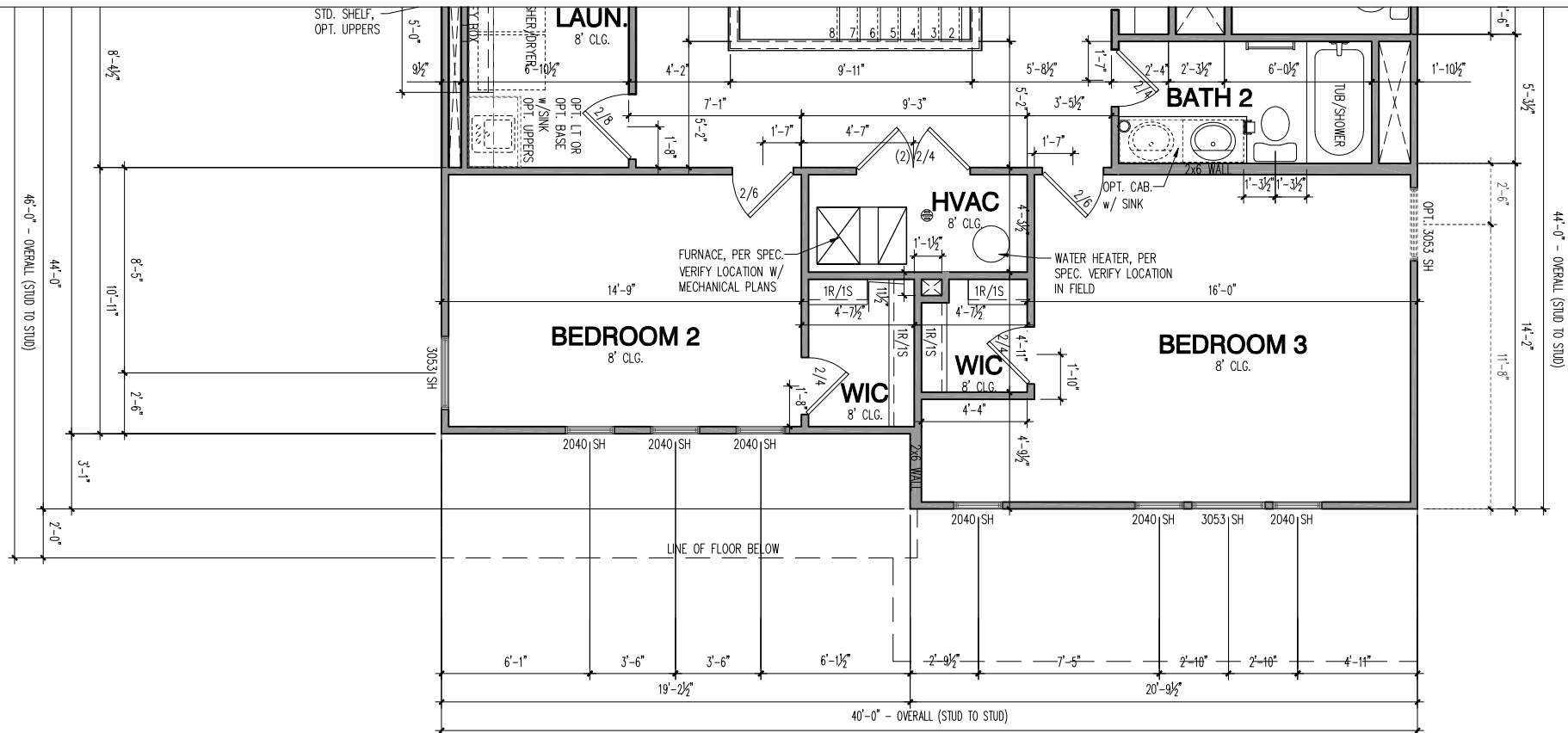
PRODUCTION MANAGER
 Rick Starkey
 INITIAL RELEASE DATE:
 03-31-2020
 CURRENT RELEASE DATE:
 11-11-2022

REV #	DATE / DESCRIPTION
1	03-31-2020
2	PLAN REFRESH
3	06-18-2021
4	PLAN UPDATES
5	10-29-2021
6	PCR UPDATES
7	11-11-2022
8	PCR UPDATES
9	05-05-2023
10	REVISIONS
11	01-19-2024
12	PCR REVISIONS

GARAGE HANDING
LEFT

PLAN NAME
MITCHELL
 NPC PLAN NUMBER
8636.301.00.CPM
 LAWSON PLAN ID

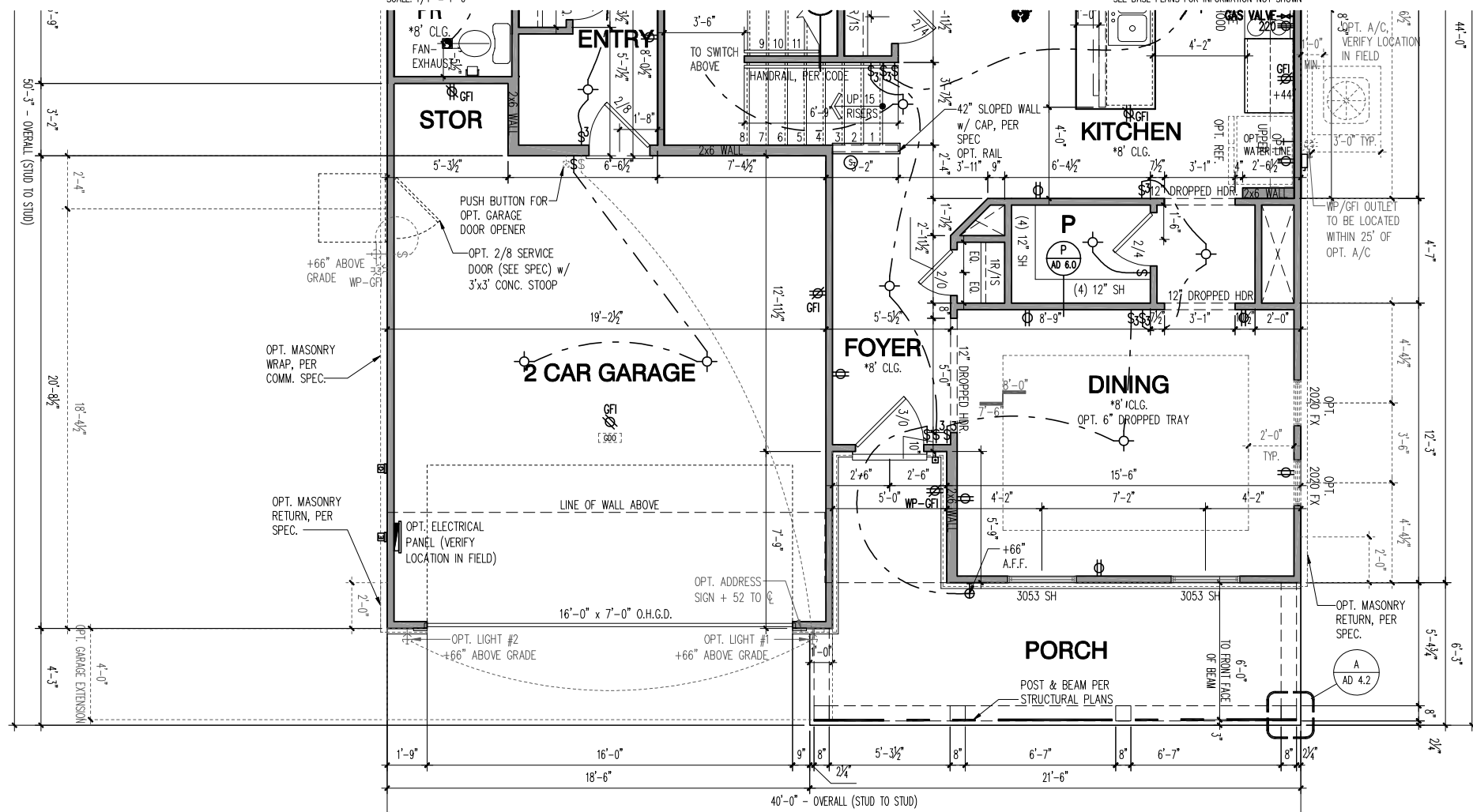
SHEET
A3-CR2G
2FS.1



SECOND FLOOR PLAN - 2x4 EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

SEE BASE PLANS FOR INFORMATION NOT SHOWN



FIRST FLOOR PLAN - 2x4 EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

SEE BASE PLANS FOR INFORMATION NOT SHOWN

SQUARE FOOTAGES	
BASE HOUSE - HEATED	
FIRST FLOOR	1353
SECOND FLOOR	1701
TOTAL BASE HEATED	3054
BASE HOUSE - UNDER ROOF	
GARAGE - 2 CAR FRONT ENTRY	417
COVERED PORCH	0
BASEMENT	1367
TOTAL BASE UNDER ROOF	1770
OPTIONS	
SECOND FLOOR	1701
BASEMENT	1367
SUNROOM	120
GATHERING ROOM EXTENSION	67
SUNROOM w/ GATHERING ROOM EXTENSION	185

ELEVATION CR2G	
ADDITIONAL 1ST FLOOR - HEATED	0
TOTAL 1ST FLOOR	1353
ADDITIONAL 2ND FLOOR - HEATED	0
TOTAL 2ND FLOOR	1701
TOTAL ELEV. HEATED	3054
ADDITIONAL GARAGE - 2 CAR FRONT	0
TOTAL GARAGE	417
FRONT PORCH	161
TOTAL ELEV. FOOTPRINT	1931

LIGHT & VENT SCHEDULE ELEVATION CR2G							
ROOM NAME	AREA (SF)	LIGHT 8%		VENT 4%		MECH (CFM)	
		REQ	ACT	REQ	ACT	REQ	ACT
DINING	172.08	13.8	23.4	6.9	11.8	---	---
BEDROOM 2	149.40	12.0	27.3	6.0	12.2	---	---
BEDROOM 3	226.30	18.1	27.3	9.1	12.2	---	---

* ARTIFICIAL LIGHT
 ** FAN REQ: LxWxH OF ROOM x 0.13 = MIN. CFM RATING REQUIRED
 THE TABLE ABOVE SHOWS CALCULATIONS THAT APPLY FOR ALL ELEVATIONS, U.N.O.
 *** DWELLING WILL BE EQUIPPED WITH WHOLE HOUSE MECHANICAL VENTILATION SYSTEM INSTALLED PER IRC SECTION M1505.
 REFER TO BASE "LIGHT & VENT SCHEDULE" FOR REMAINING ROOMS

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

Midwest Zone Office
 1900 E. Golf Road, Suite 300
 Schaumburg, Illinois 60173



Craftsman 2G
 2 Car Front Entry
 First and Second Floor Partial Plans, Square Footages and Light & Vent

PRODUCTION MANAGER
 Rick Starkey
 INITIAL RELEASE DATE:
 03-31-2020
 CURRENT RELEASE DATE:
 11-11-2022

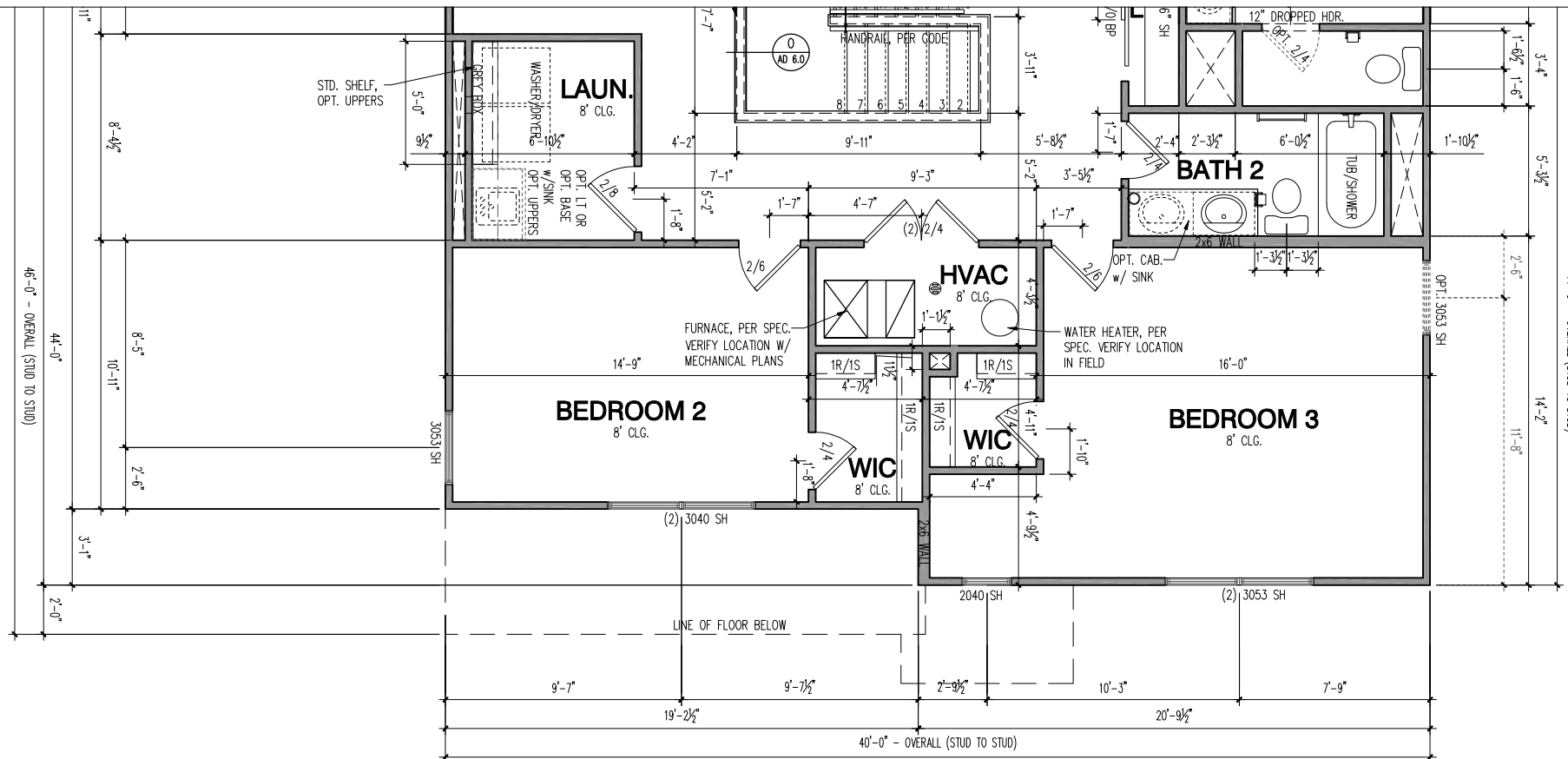
REV #	DATE / DESCRIPTION
03-31-2020	PLAN REFRESH
06-18-2021	PLAN UPDATES
10-29-2021	PCR UPDATES
11-11-2022	PCR UPDATES
05-05-2023	REVISIONS
01-19-2024	PCR REVISIONS

GARAGE HANDING
LEFT

PLAN NAME
MITCHELL
 NPC PLAN NUMBER
8636.301.00.CPM
 LAWSON PLAN ID

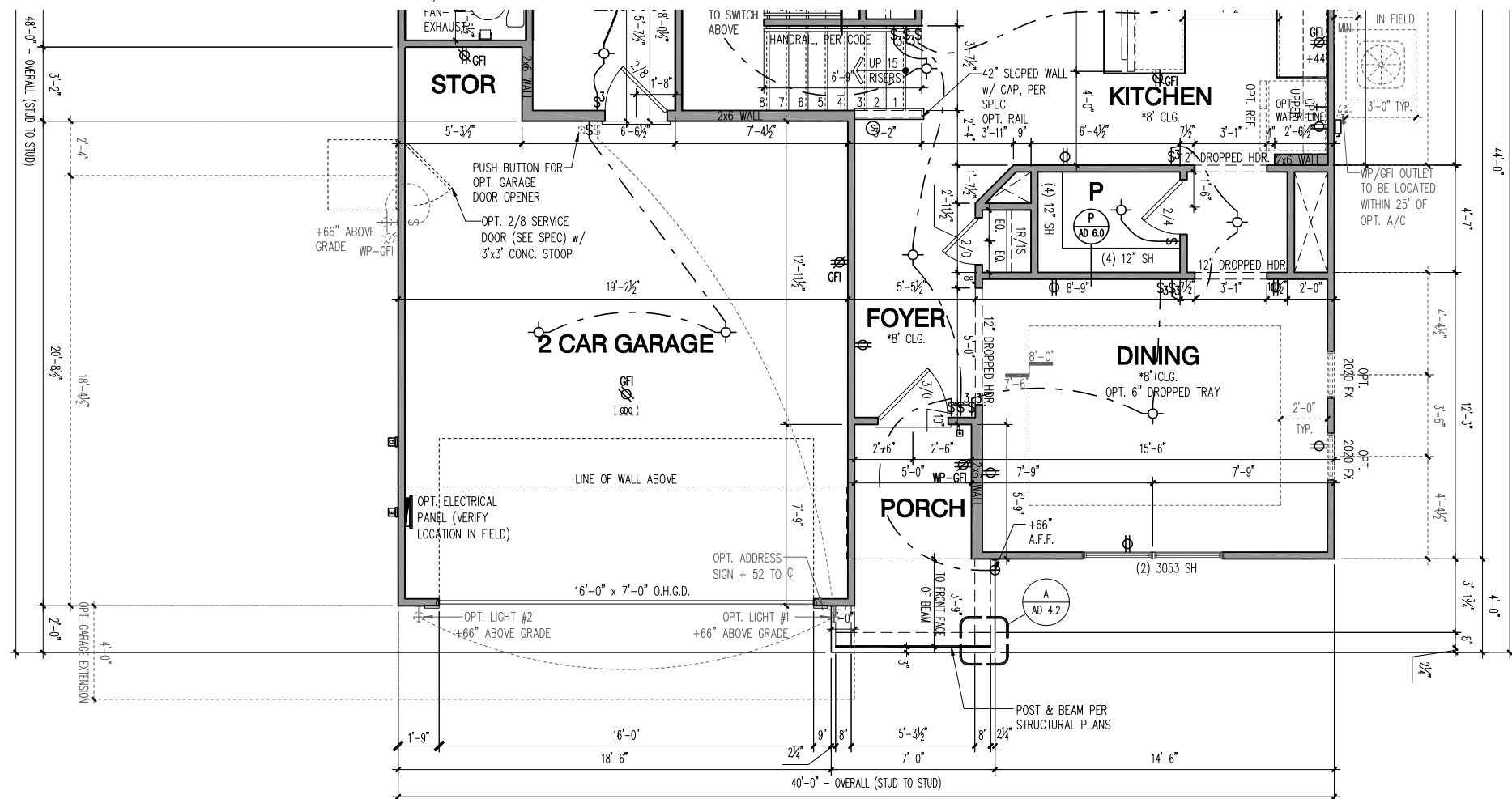
SHEET
A3-CR2G
2FS4.3





SECOND FLOOR PLAN - 2x4 EXTERIOR WALLS

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN - 2x4 EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

SEE BASE PLANS FOR INFORMATION NOT SHOWN

SQUARE FOOTAGES	
BASE HOUSE - HEATED	
FIRST FLOOR	1353
SECOND FLOOR	1701
TOTAL BASE HEATED	3054
BASE HOUSE - UNDER ROOF	
GARAGE - 2 CAR FRONT ENTRY	417
COVERED PORCH	0
BASEMENT	1367
TOTAL BASE UNDER ROOF	1770
OPTIONS	
SECOND FLOOR	1701
BASEMENT	1367
SUNROOM	120
GATHERING ROOM EXTENSION	67
SUNROOM w/ GATHERING ROOM EXTENSION	185

ELEVATION HR 1B	
ADDITIONAL 1ST FLOOR - HEATED	0
TOTAL 1ST FLOOR	1353
ADDITIONAL 2ND FLOOR - HEATED	0
TOTAL 2ND FLOOR	1701
TOTAL ELEV. HEATED	3054
ADDITIONAL GARAGE - 2 CAR FRONT	0
TOTAL GARAGE	417
FRONT PORCH	55
TOTAL ELEV. FOOTPRINT	1825

LIGHT & VENT SCHEDULE ELEVATION HR 1B							
ROOM NAME	AREA (SF)	LIGHT 8%		VENT 4%		MECH (CFM)	
		REQ	ACT	REQ	ACT	REQ	ACT
DINING	172.08	13.8	23.4	6.9	11.8	---	---
BEDROOM 2	149.40	12.0	28.7	6.0	12.7	---	---
BEDROOM 3	226.30	18.1	28.6	9.1	13.9	---	---

* ARTIFICIAL LIGHT
 ** FAN REQ: LW/WH OF ROOM x 0.13 = MIN. CFM RATING REQUIRED
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NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

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 Schaumburg, Illinois 60173



Heartland 1B
 2 Car Front Entry
 First and Second Floor Partial Plans, Square Footages and Light & Vent

PRODUCTION MANAGER
 Rick Starkey
 INITIAL RELEASE DATE:
 03-31-2020
 CURRENT RELEASE DATE:
 11-11-2022

REV #	DATE / DESCRIPTION
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06-18-2021	PLAN UPDATES
10-29-2021	PCR UPDATES
11-11-2022	PCR UPDATES
05-05-2023	REVISIONS
01-19-2024	PCR REVISIONS

GARAGE HANDING
LEFT

PLAN NAME
MITCHELL
 NPC PLAN NUMBER
8636.301.00.CPM
 LAWSON PLAN ID

SHEET
A3-HR1B
2FS42



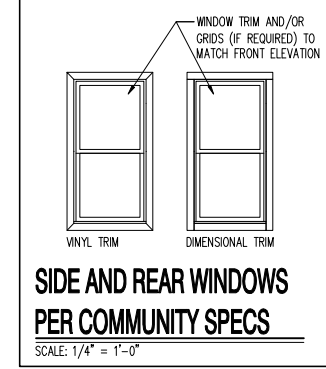
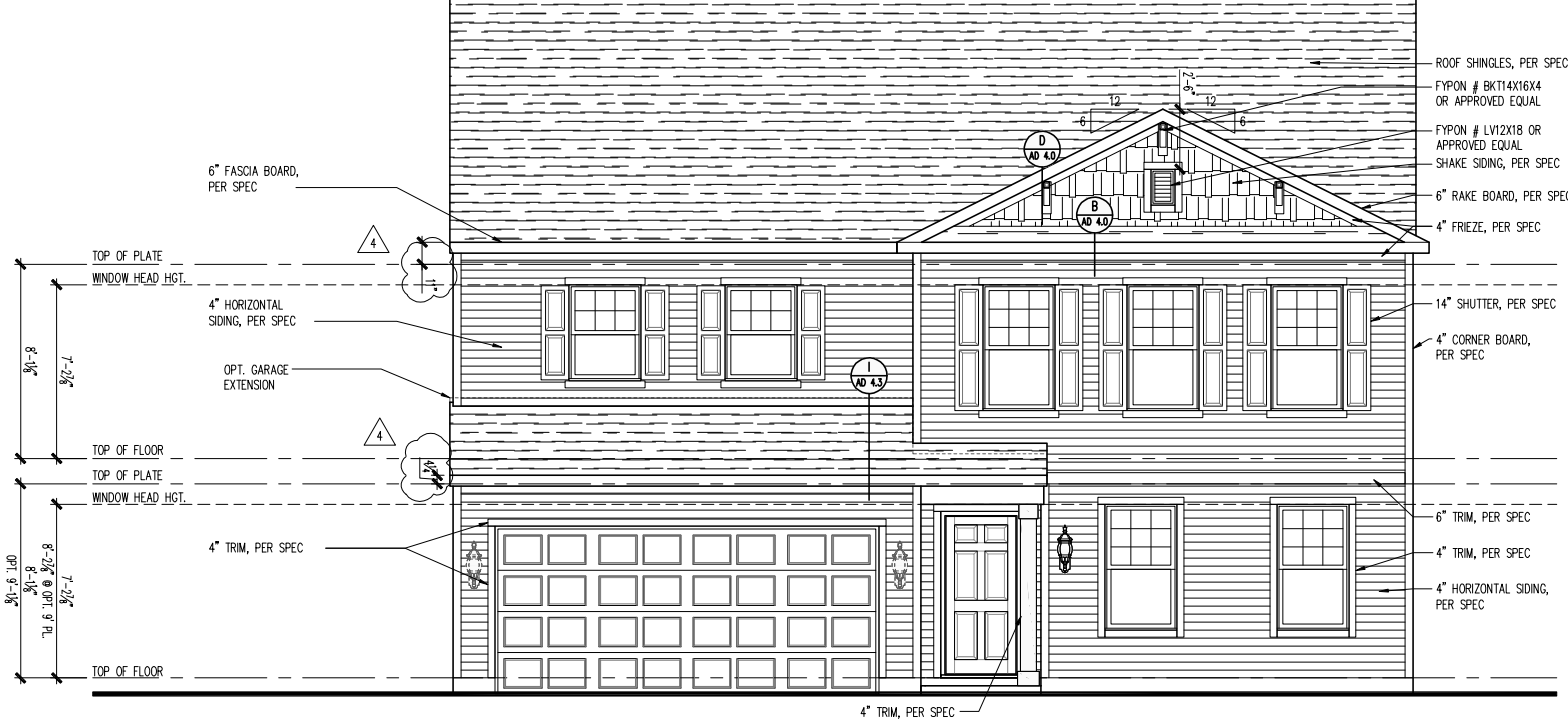
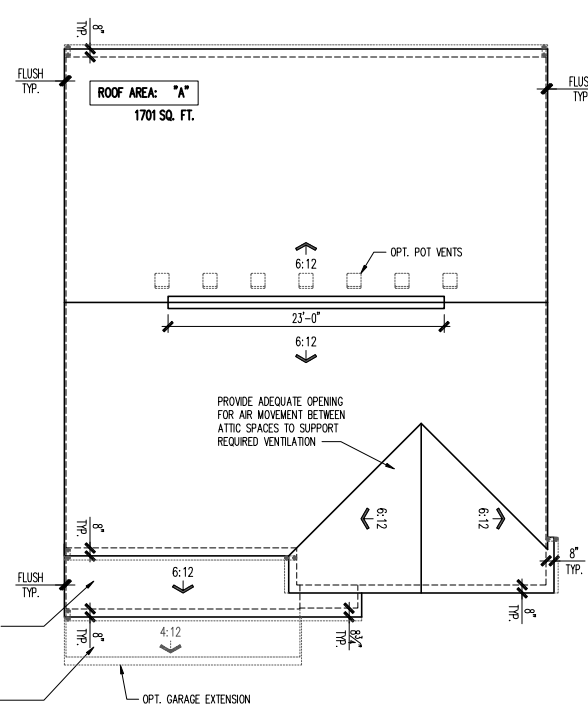


ATTIC VENT SCHEDULE			
HR2M 2-CAR FRONT ENTRY	ROOF AREA 'A'		
ATTIC AREA (SF)	1701		
TOTAL NET FREE VENTED AREA REQ.	816 IN ²		
LOW - REQUIRED (**)	408 IN ²		
LOW - ACTUAL w/ EAVE VENTS (**)	420 IN ² 15 EAVE VENTS		
LOW - ACTUAL w/ CONTINUOUS VENTED SOFFITS (**)	410 IN ² 41 LINEAR FEET		
HIGH - REQUIRED (**)	408 IN ²		
HIGH - ACTUAL w/ POT VENTS (***)	427 IN ² 7 POTS		
HIGH - ACTUAL w/ CONT. RIDGE VENTS (***)	414 IN ² 23 LF		

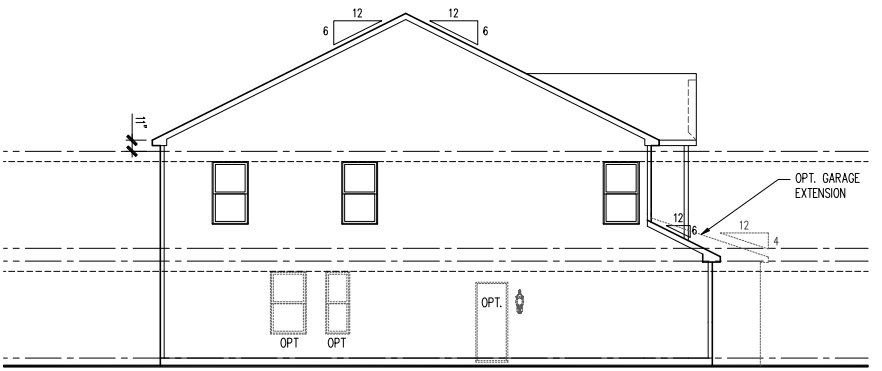
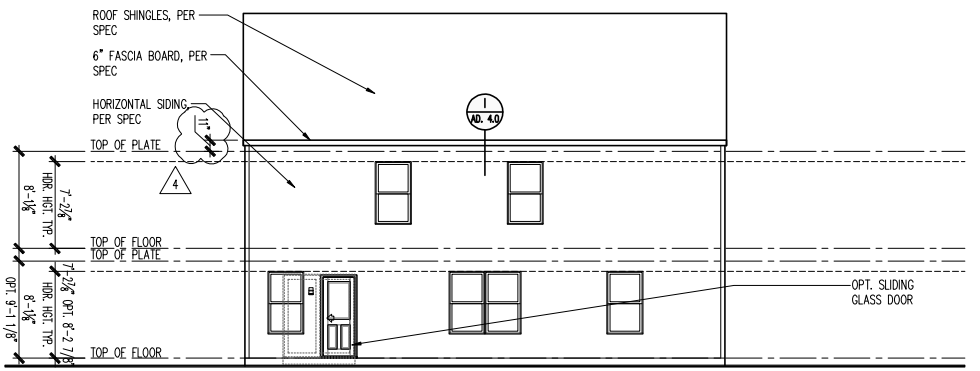
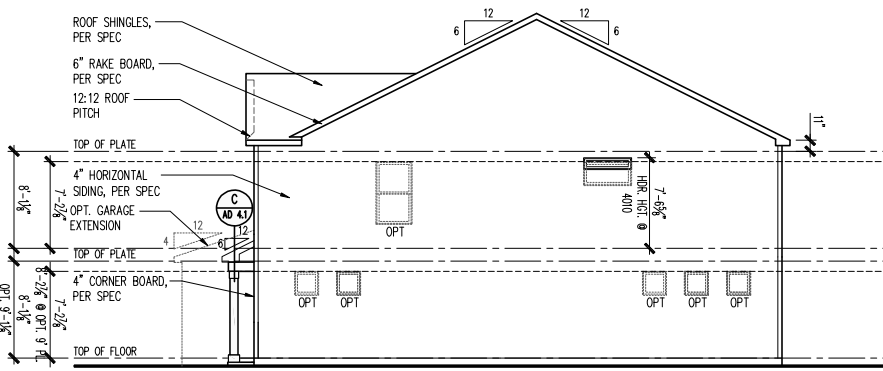
* REQUIRED NET FREE VENTED AREA IS CALCULATED BY MULTIPLYING THE ATTIC AREA (FT²) BY 1/300 AND THEN MULTIPLYING BY 144 (CONVERTING FT² TO IN²). 50% OF TOTAL NET FREE VENTED AREA IS REQUIRED NEAR THE RIDGE (HIGH) AND 50% IS REQUIRED AT THE SOFFIT (LOW). WHEN BOTH (HIGH) & (LOW) ARE NOT PROVIDED, THE REQ'D NET FREE AREA IS 1/150 OF THE ACTUAL AREA INSTEAD.

** ACTUAL NET FREE VENTED SOFFIT AREA IS CALCULATED BY DIVIDING THE REQUIRED (LOW) AREA BY THE MFRS STATED ACTUAL VENTED NET FREE AREA PER VENT:
 LOW OPT 1: EAVE VENTS = 28.0 IN²/VENT (OR)
 LOW OPT 2: CONT. VENTED SOFFITS = 10.0 IN²/LINEAR FT

*** ACTUAL NET FREE VENTED RIDGE AREA IS CALCULATED BY DIVIDING THE REQUIRED (HIGH) AREA BY THE MFRS STATED ACTUAL VENTED NET AREA PER VENT:
 HIGH OPT 1: POT ROOF VENTS = 61.0 IN²/VENT (OR)
 HIGH OPT 2: CONT. RIDGE VENTS = 18.0 IN²/LINEAR FT



ENERGYSTAR 3.1 REVISIONS:
 ENERGY HEELS ADDED



NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

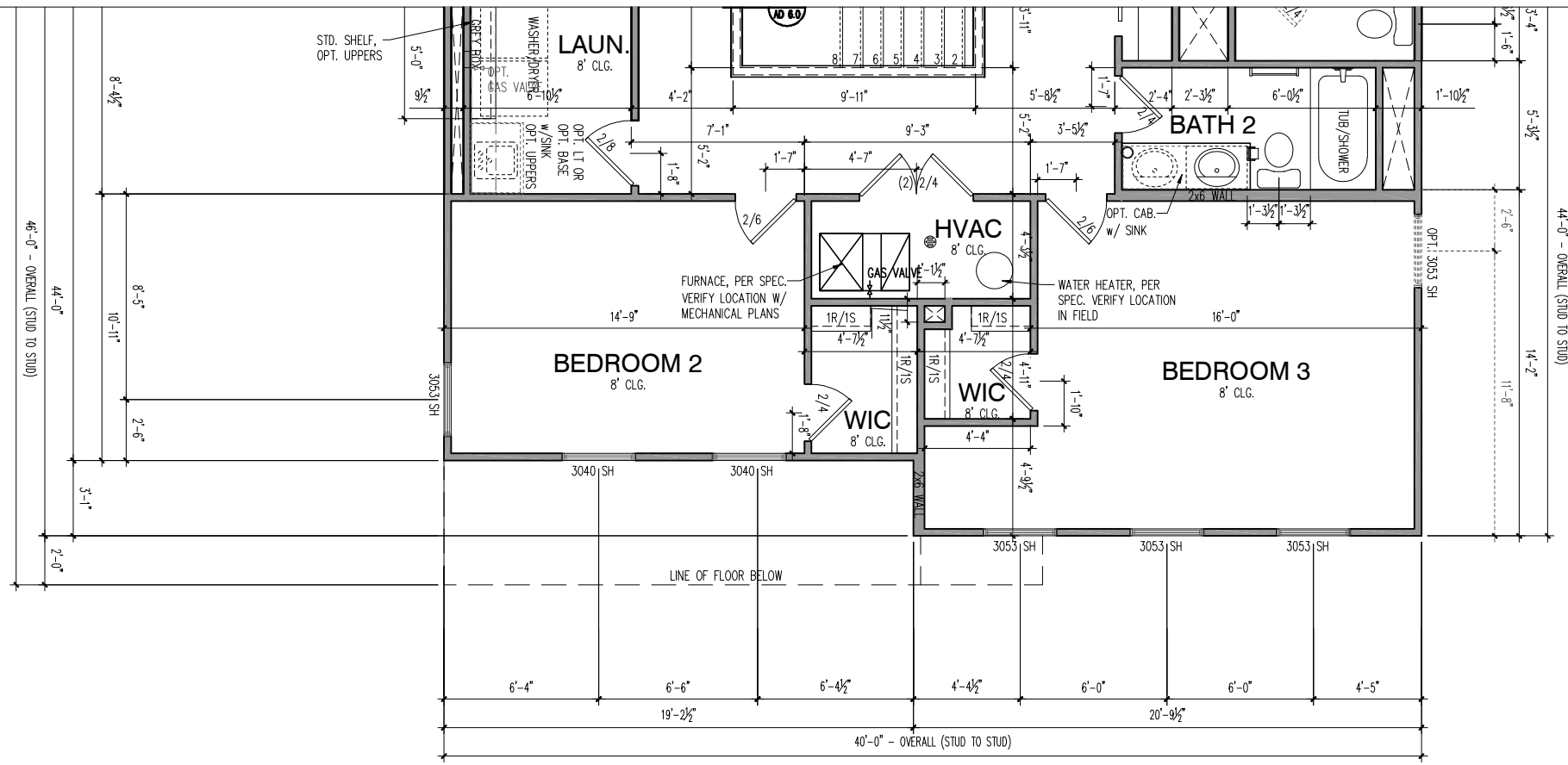
PRODUCTION MANAGER
 Rick Starkey
 INITIAL RELEASE DATE:
 03-31-2020
 CURRENT RELEASE DATE:
 11-11-2022

REV #	DATE / DESCRIPTION
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△	PCR REVISIONS

GARAGE HANDING
LEFT

PLAN NAME
MITCHELL
 NPC PLAN NUMBER
8636.301.00.CPM
 LAWSON PLAN ID

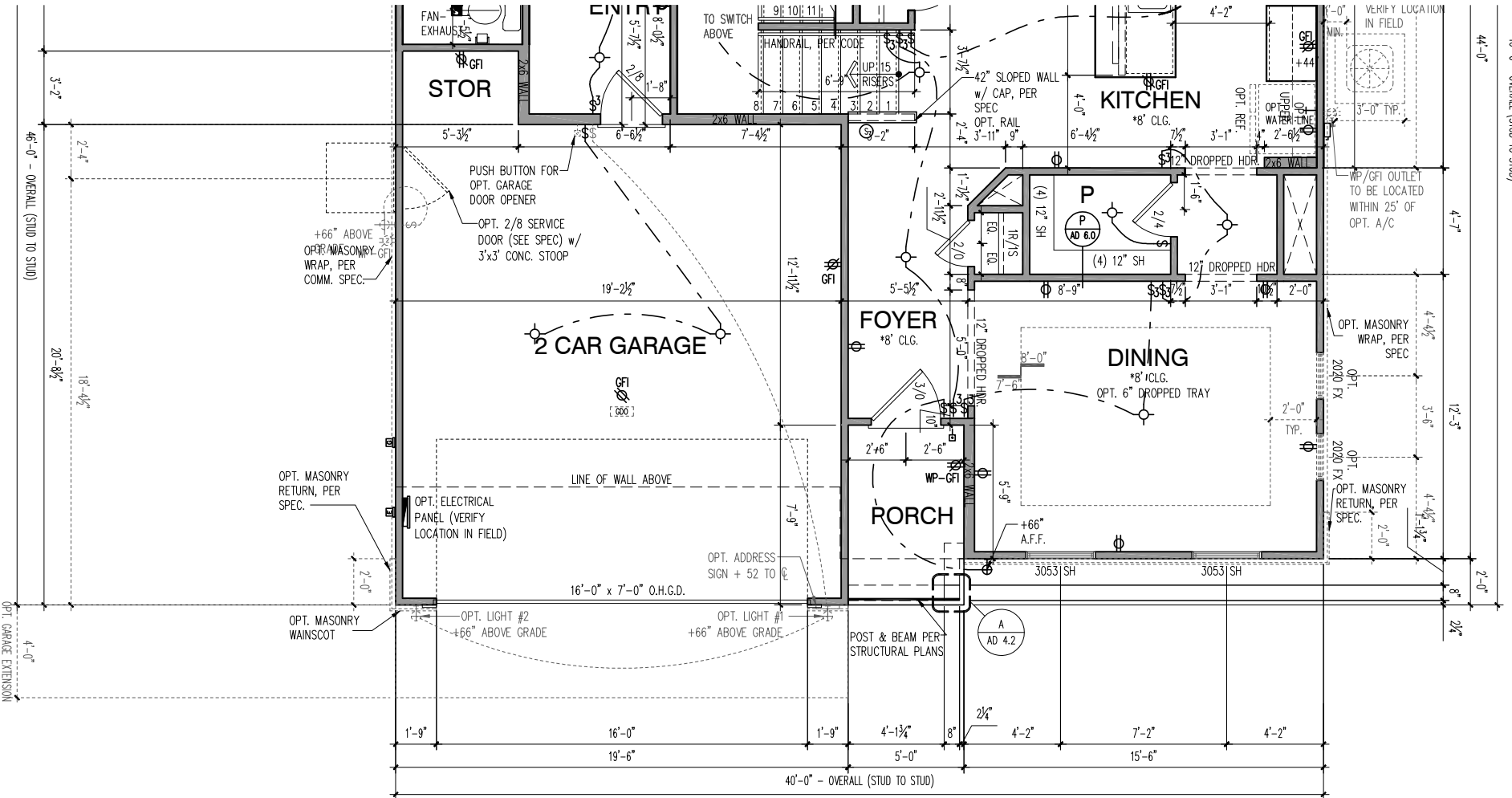
SHEET
A3-HR2M
2FS.3



SECOND FLOOR PLAN - 2x4 EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

SEE BASE PLANS FOR INFORMATION NOT SHOWN



FIRST FLOOR PLAN - 2x4 EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

SEE BASE PLANS FOR INFORMATION NOT SHOWN

SQUARE FOOTAGES	
BASE HOUSE - HEATED	
FIRST FLOOR	1353
SECOND FLOOR	1701
TOTAL BASE HEATED	3054
BASE HOUSE - UNDER ROOF	
GARAGE - 2 CAR FRONT ENTRY	417
COVERED PORCH	0
BASEMENT	1367
TOTAL BASE UNDER ROOF	1770
OPTIONS	
SECOND FLOOR	1701
BASEMENT	1367
SUNROOM	120
GATHERING ROOM EXTENSION	67
SUNROOM w/ GATHERING ROOM EXTENSION	185

ELEVATION HR2M	
ADDITIONAL 1ST FLOOR - HEATED	0
TOTAL 1ST FLOOR	1353
ADDITIONAL 2ND FLOOR - HEATED	0
TOTAL 2ND FLOOR	1701
TOTAL ELEV. HEATED	3054
ADDITIONAL GARAGE - 2 CAR FRONT	0
TOTAL GARAGE	417
FRONT PORCH	33
TOTAL ELEV. FOOTPRINT	1803

LIGHT & VENT SCHEDULE						
ELEVATION HR2M						
ROOM NAME	AREA (SF)	LIGHT 8%		VENT 4%		MECH (CFM)
		REQ	ACT	REQ	ACT	REQ
DINING	172.08	13.8	23.4	6.9	11.8	---
BEDROOM 2	149.40	12.0	28.7	6.0	12.7	---
BEDROOM 3	226.30	18.1	35.1	9.1	17.7	---

* ARTIFICIAL LIGHT
 ** FAN REQ: LxWxH OF ROOM x 0.13 = MIN. CFM RATING REQUIRED
 THE TABLE ABOVE SHOWS CALCULATIONS THAT APPLY FOR ALL ELEVATIONS, U.N.O.
 *** DWELLING WILL BE EQUIPPED WITH WHOLE HOUSE MECHANICAL VENTILATION SYSTEM INSTALLED PER IRC SECTION M1505.
 REFER TO BASE "LIGHT & VENT SCHEDULE" FOR REMAINING ROOMS

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Heartland 2M
 2 Car Front Entry
 First and Second Floor Partial Plans, Square Footages and Light & Vent

PRODUCTION MANAGER
 Rick Starkey
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 CURRENT RELEASE DATE:
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REV #	DATE / DESCRIPTION
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△	10-29-2021
△	11-11-2022
△	05-05-2023
△	01-19-2024

GARAGE HANDING
LEFT

PLAN NAME
MITCHELL
 NPC PLAN NUMBER
8636.301.00.CPM
 LAWSON PLAN ID

SHEET
A3-HR2M
2FS4.3



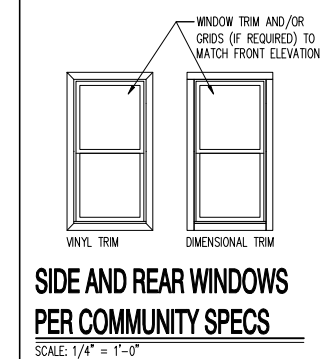


ATTIC VENT SCHEDULE			
HR35 2-CAR FRONT ENTRY	ROOF AREA 'A'		
ATTIC AREA (SF)	1701		
TOTAL NET FREE VENTED AREA REQ.	816 IN ²		
LOW - REQUIRED (**)	408 IN ²		
LOW - ACTUAL w/ EAVE VENTS (**)	420 IN ² 15 EAWE VENTS		
LOW - ACTUAL w/ CONTINUOUS VENTED SOFFITS (**)	410 IN ² 41 LINEAR FEET		
HIGH - REQUIRED (**)	408 IN ²		
HIGH - ACTUAL w/ POT VENTS (***)	427 IN ² 7 POTS		
HIGH - ACTUAL w/ CONT. RIDGE VENTS (***)	414 IN ² 23 LF		

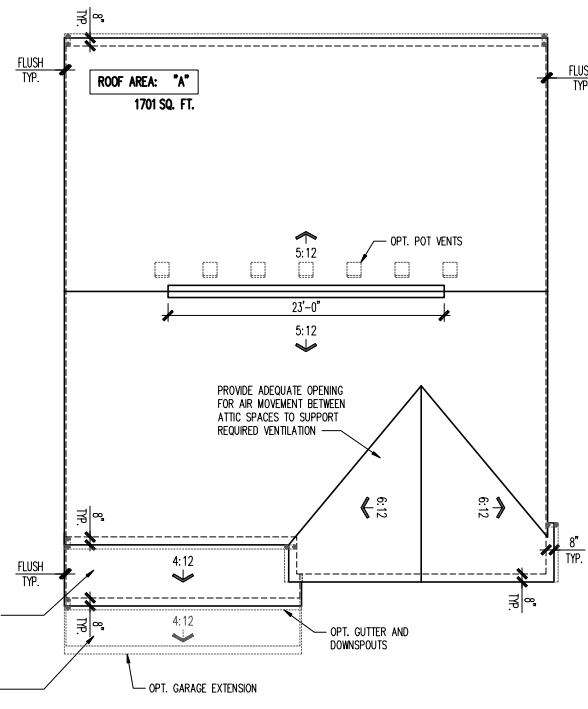
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** ACTUAL NET FREE VENTED SOFFIT AREA IS CALCULATED BY DIVIDING THE REQUIRED (LOW) AREA BY THE MFRS STATED ACTUAL VENTED NET FREE AREA PER VENT:
 LOW OPT 1: EAWE VENTS = 28.0 IN²/VENT (OR)
 LOW OPT 2: CONT. VENTED SOFFITS = 10.0 IN²/LINEAR FT

*** ACTUAL NET FREE VENTED RIDGE AREA IS CALCULATED BY DIVIDING THE REQUIRED (HIGH) AREA BY THE MFRS STATED ACTUAL VENTED NET AREA PER VENT:
 HIGH OPT 1: POT ROOF VENTS = 61.0 IN²/VENT (OR)
 HIGH OPT 2: CONT. RIDGE VENTS = 18.0 IN²/LINEAR FT



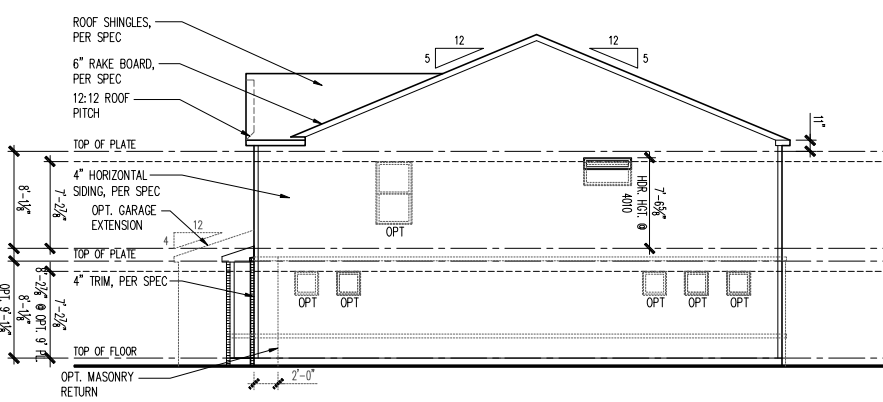
ENERGYSTAR 3.1 REVISIONS:
 ENERGY HEELS ADDED



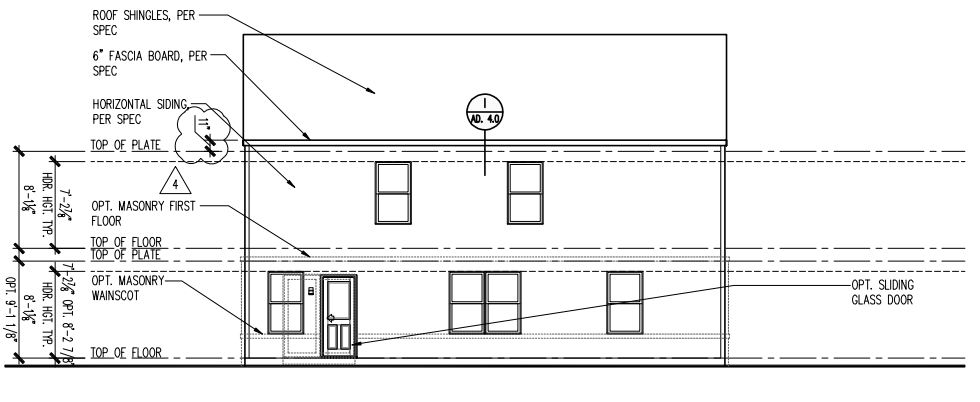
ROOF PLAN
 SCALE: 1/8" = 1'-0"



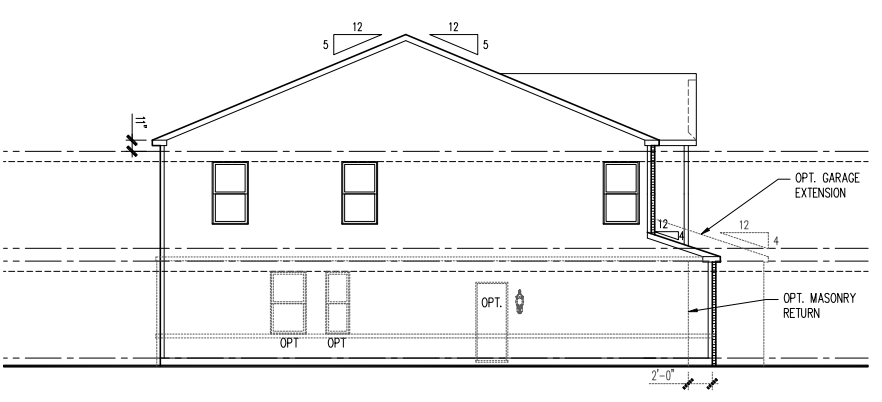
FRONT ELEVATION HR35
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"



REAR ELEVATION
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION
 SCALE: 1/8" = 1'-0"

PRODUCTION MANAGER	Rick Starkey
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7	11-11-2022
8	PCR UPDATES
9	05-05-2023
10	REVISIONS
11	01-19-2024
12	PCR REVISIONS

GARAGE HANDING
LEFT

PLAN NAME
MITCHELL
 NPC PLAN NUMBER
8636.301.00.CPM
 LAWSON PLAN ID

SHEET
A3-HR35
2FS.1



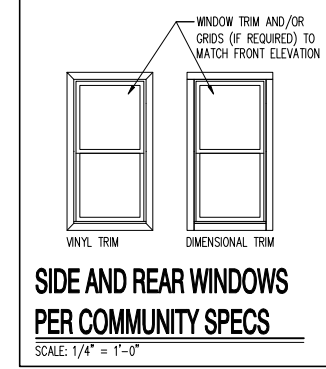
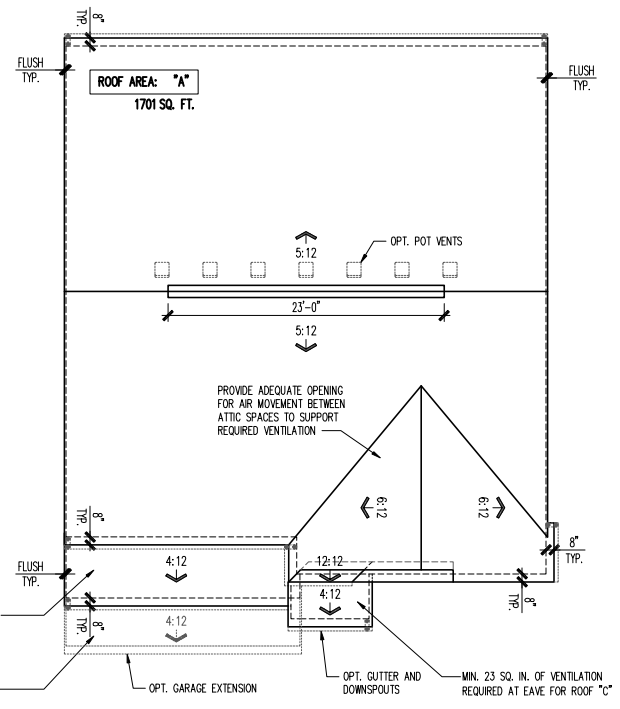


ATTIC VENT SCHEDULE			
HR3T 2-CAR FRONT ENTRY	ROOF AREA 'A'		
ATTIC AREA (SF)	1701		
TOTAL NET FREE VENTED AREA REQ.	816 IN ²		
LOW - REQUIRED (*)	408 IN ²		
LOW - ACTUAL w/ EAVE VENTS (**)	420 IN ² 15 EAVE VENTS		
LOW - ACTUAL w/ CONTINUOUS VENTED SOFFITS (**)	410 IN ² 41 LINEAR FEET		
HIGH - REQUIRED (*)	408 IN ²		
HIGH - ACTUAL w/ POT VENTS (***)	427 IN ² 7 POTS		
HIGH - ACTUAL w/ CONT. RIDGE VENTS (***)	414 IN ² 23 LF		

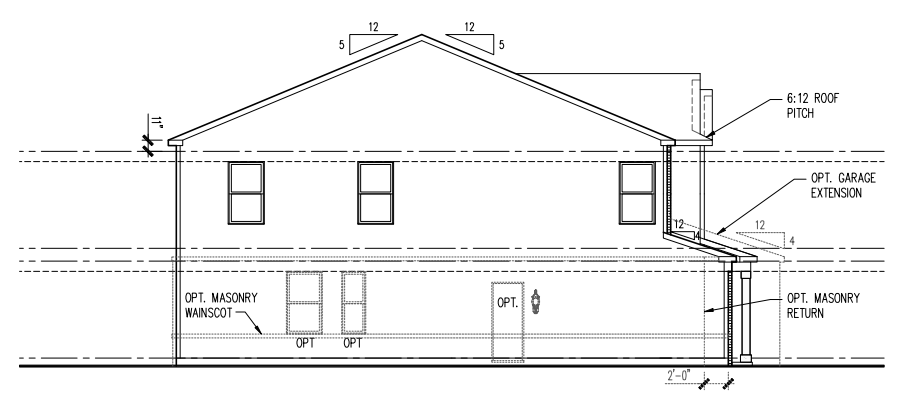
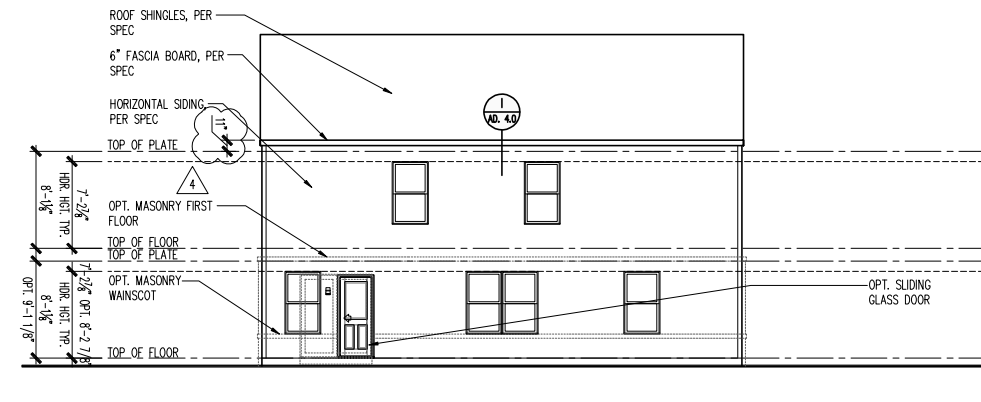
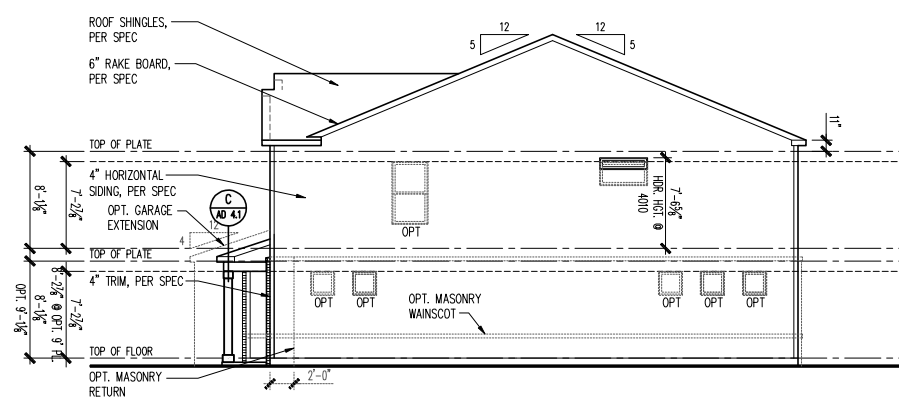
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 LOW OPT 2: CONT. VENTED SOFFITS = 10.0 IN²/LINEAR FT

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 HIGH OPT 2: CONT. RIDGE VENTS = 18.0 IN²/LINEAR FT



ENERGYSTAR 3.1 REVISIONS:
 ENERGY HEELS ADDED



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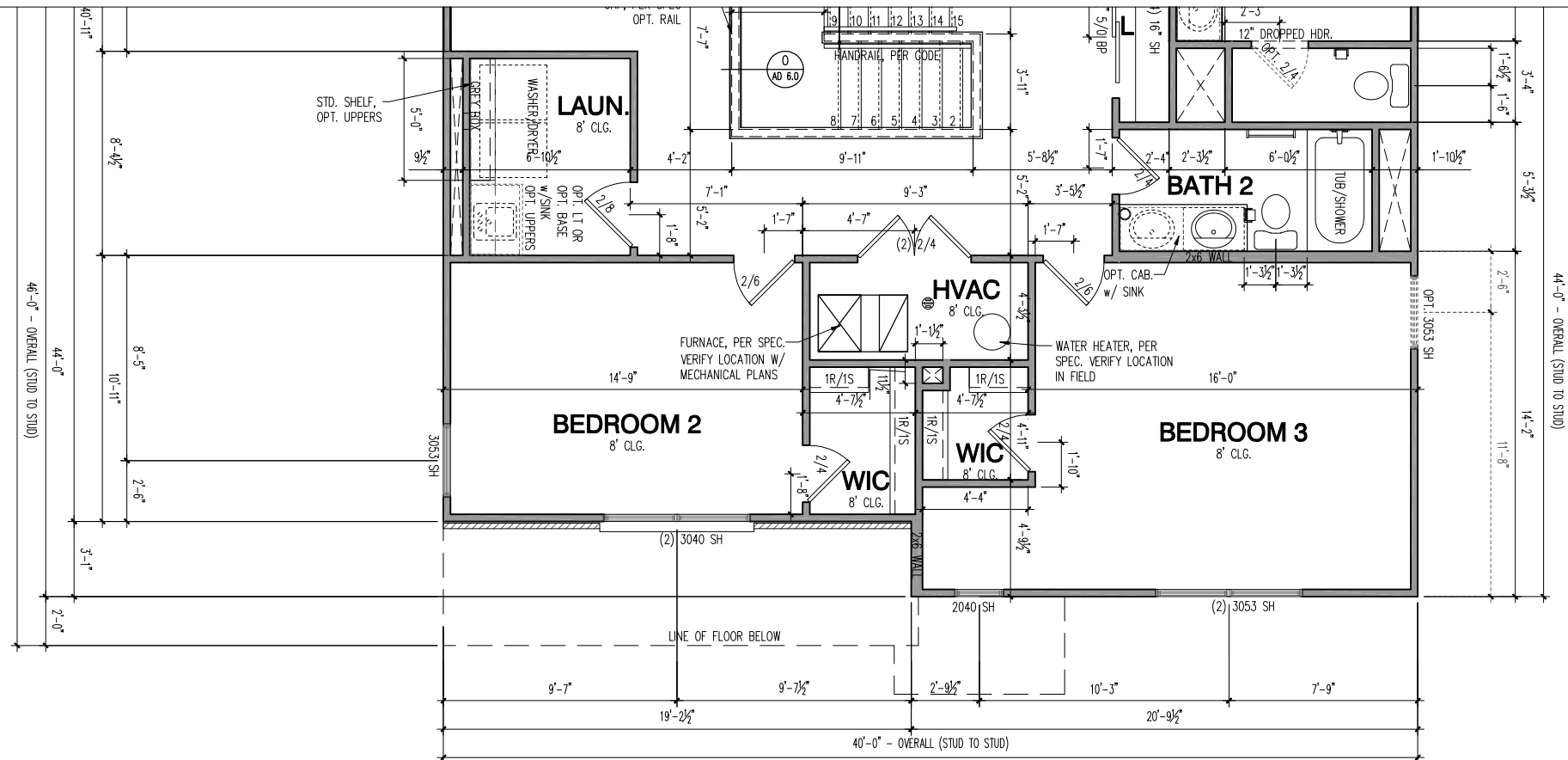
PRODUCTION MANAGER
 Rick Starkey
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REV #	DATE / DESCRIPTION
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7	11-11-2022
8	PCR UPDATES
9	05-05-2023
10	REVISIONS
11	01-19-2024
12	PCR REVISIONS

GARAGE HANDING
LEFT

PLAN NAME
MITCHELL
 NPC PLAN NUMBER
8636.301.00.CPM
 LAWSON PLAN ID

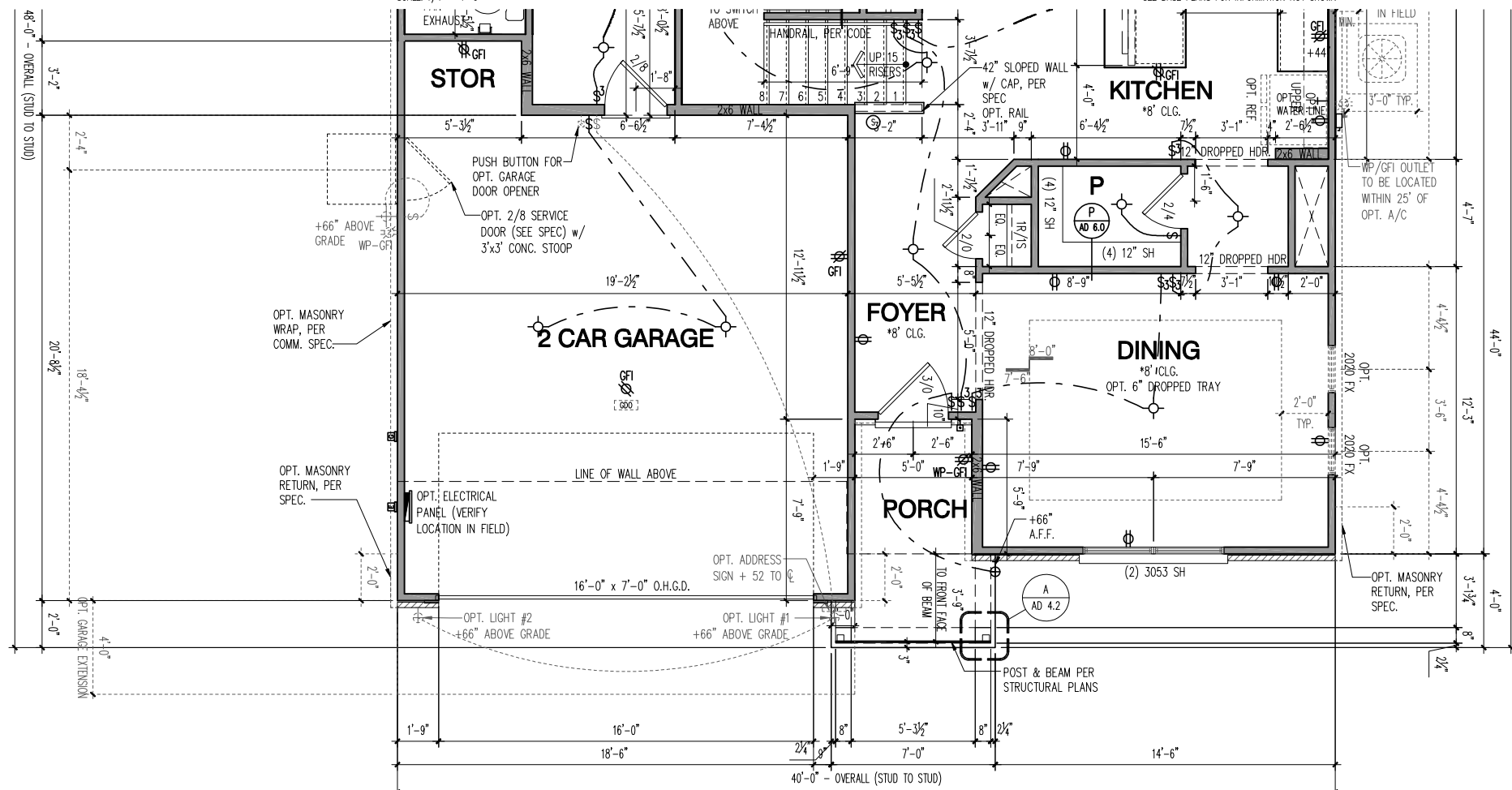
SHEET
A3-HR3T
2FS.1



SECOND FLOOR PLAN - 2x4 EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

SEE BASE PLANS FOR INFORMATION NOT SHOWN



FIRST FLOOR PLAN - 2x4 EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

SEE BASE PLANS FOR INFORMATION NOT SHOWN

SQUARE FOOTAGES	
BASE HOUSE - HEATED	
FIRST FLOOR	1353
SECOND FLOOR	1701
TOTAL BASE HEATED	3054
BASE HOUSE - UNDER ROOF	
GARAGE - 2 CAR FRONT ENTRY	417
COVERED PORCH	0
BASEMENT	1367
TOTAL BASE UNDER ROOF	1770
OPTIONS	
SECOND FLOOR	1701
BASEMENT	1367
SUNROOM	120
GATHERING ROOM EXTENSION	67
SUNROOM w/ GATHERING ROOM EXTENSION	185

ELEVATION HR3T	
ADDITIONAL 1ST FLOOR - HEATED	0
TOTAL 1ST FLOOR	1353
ADDITIONAL 2ND FLOOR - HEATED	0
TOTAL 2ND FLOOR	1701
TOTAL ELEV. HEATED	3054
ADDITIONAL GARAGE - 2 CAR FRONT	0
TOTAL GARAGE	417
FRONT PORCH	55
TOTAL ELEV. FOOTPRINT	1825

LIGHT & VENT SCHEDULE							
ELEVATION HR3T							
ROOM NAME	AREA (SF)	LIGHT 8%		VENT 4%		MECH (CFM)	
		REQ	ACT	REQ	ACT	REQ	ACT
DINING	172.08	13.8	23.4	6.9	11.8	---	---
BEDROOM 2	149.40	12.0	28.7	6.0	12.7	---	---
BEDROOM 3	226.30	18.1	35.1	9.1	17.7	---	---

* ARTIFICIAL LIGHT
 ** FAN REQ: LxWxH OF ROOM x 0.13 = MIN. CFM RATING REQUIRED
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Heartland 3T
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PRODUCTION MANAGER
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GARAGE HANDING
LEFT

PLAN NAME
MITCHELL
 NPC PLAN NUMBER
8636.301.00.CPM
 LAWSON PLAN ID

SHEET
A3-HR3T
2FS42