

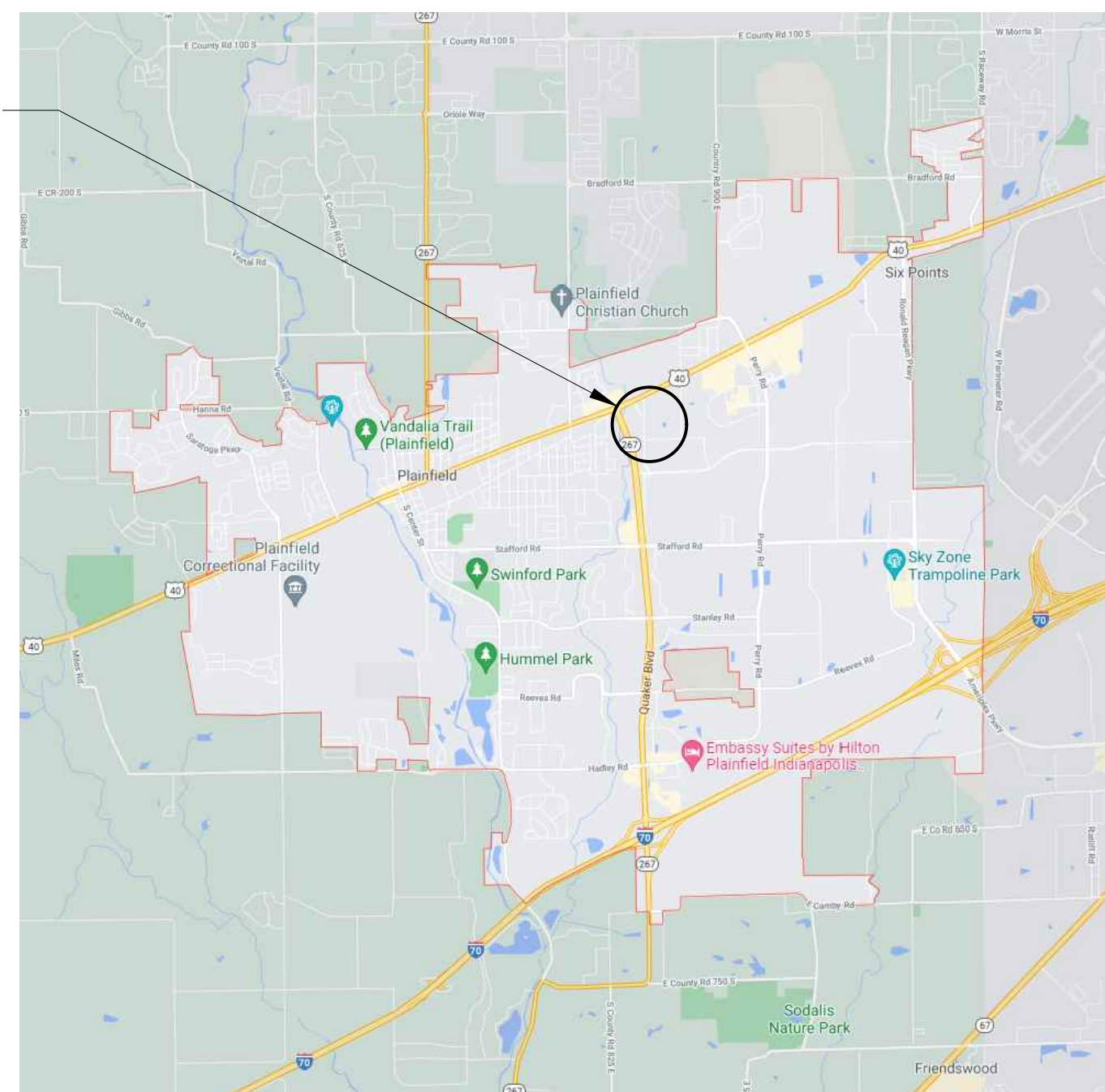
SITE PLAN

LOT 1 CARR COMMERCIAL PARK

SE 1/4, SEC.25-T15N-R1E, HENDRICKS COUNTY, GUILFORD TOWNSHIP, PLAINFIELD, INDIANA
PROJECT ADDRESS: 1916 CROWN PLAZA BLVD.
ZONED: GC

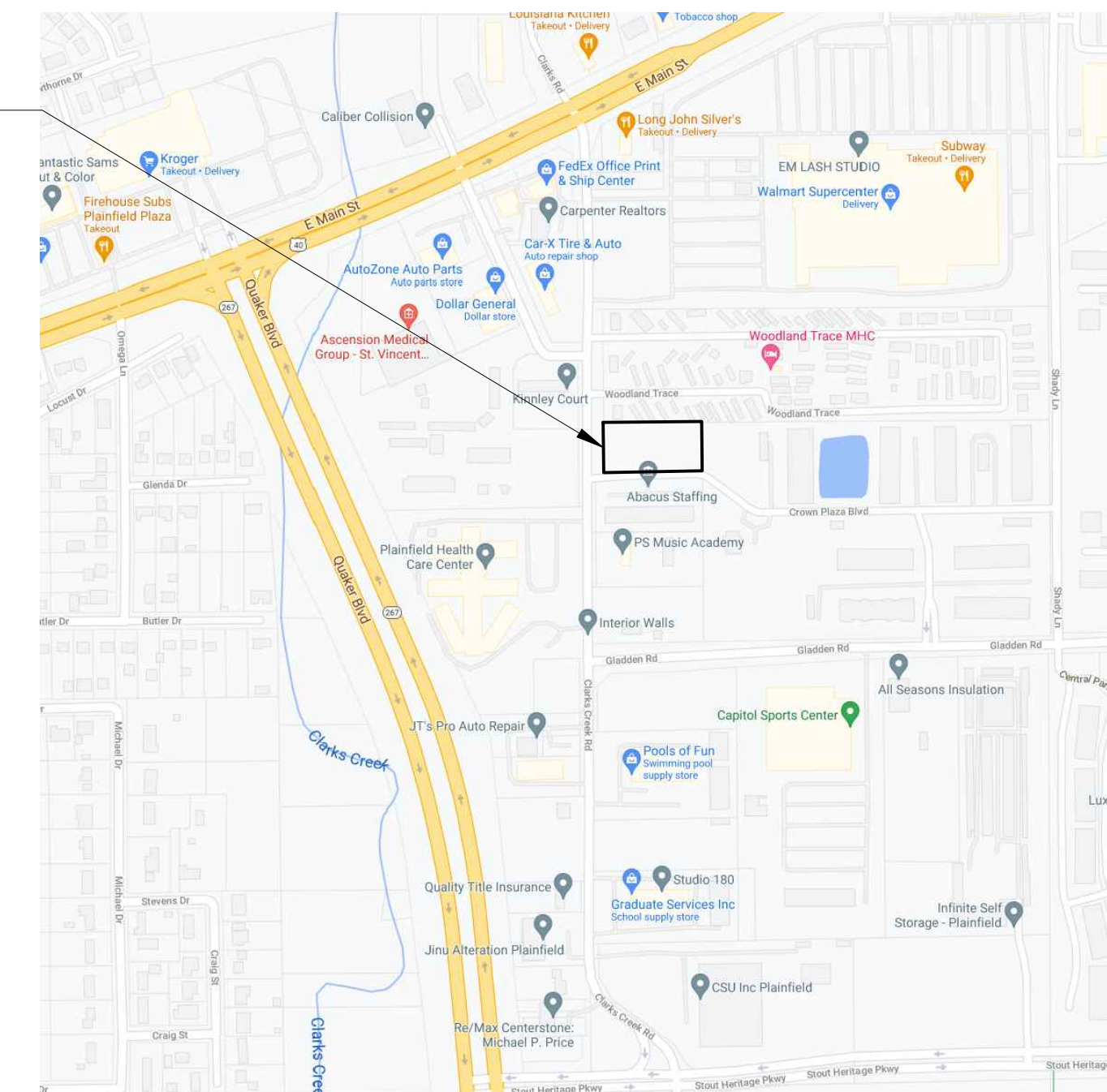
PLANS PREPARED FOR:
ROBERT R. CARR PROPERTIES INC.
3717 CLARKS CREEK ROAD
PLAINFIELD, IN 46168
317-839-5944
CONTACT: ROBERT CARR
rcarr@carrpropertygroup.com

PROJECT LOCATION

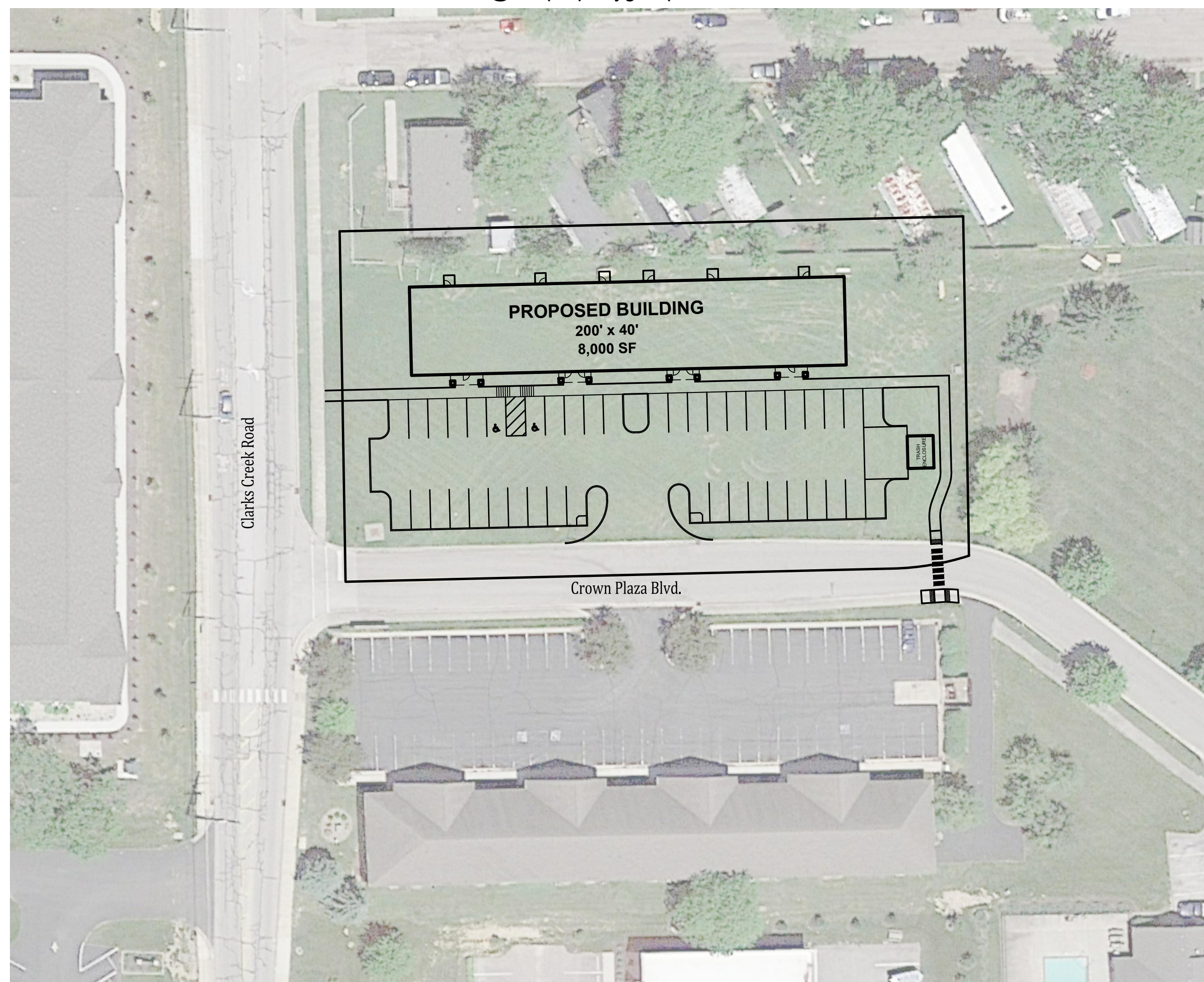


VICINITY MAP
NO SCALE

PROJECT LOCATION



LOCATION MAP
NO SCALE



SITE MAP
SCALE" 1" = 40'

OPERATING AUTHORITIES

GAS Centerpoint Energy 1995 East Main St. Danville, IN 46112 317-718-3618	CABLE TELEVISION Bright House Networks 3030 Roosevelt Ave. Indianapolis, IN 46218 317632-9077	WATER Town of Plainfield 986 S. Center Street Plainfield, IN 46168 317-839-3490
ELECTRIC Duke Energy 390 N. Main Street Martinsville, IN 46151 765-349-4012	CABLE TELEVISION Comcast Cable 5330 E. 65th St. Indianapolis, IN 46220 317-872-2225	TELEPHONE AT&T 240 N. Meridian St. Indianapolis, IN 46204 317-265-3050
ELECTRIC Hendricks Power Cooperative 86 N. 500 E Danville, IN 46112 317-745-5473	STORM Town of Plainfield 986 S. Center Street Plainfield, IN 46168 317-839-3490	FIRE DEPARTMENT Plainfield Fire Territory 591 Moon Road Plainfield, IN 46168 317-839-6939
FIBER OPTIC MCI 400 Internation Pkwy Richardson, TX 75061 469-886-4238	SANITARY Town of Plainfield 986 S. Center Street Plainfield, IN 46168 317-839-3490	SCHOOL DISTRICT Plainfield Community School Corporation 985 S. Longfellow Lane Plainfield, IN 46168 317-839-2578
FIBER OPTIC TCS Communications, LLC 4355 Lafayette Blvd. Indianapolis, IN 46254 812-623-1233		

PLANS PREPARED BY:

BANNING ENGINEERING

853 COLUMBIA ROAD, SUITE #101
PLAINFIELD, IN 46168
BUS: (317) 707-3700, FAX: (317) 707-3800
E-MAIL: Banning@BanningEngineering.com
WEB: www.BanningEngineering.com

CONTACT: RYAN LINDLEY
EMAIL: rlindley@banning-eng.com

CONSTRUCTION DOCUMENTS

PROJECT MANAGER: _____ DATE: _____

THESE PLANS ARE NOT TO BE CONSIDERED FINAL OR TO BE UTILIZED FOR CONSTRUCTION UNLESS SIGNED AND DATED BY THE APPROPRIATE BANNING ENGINEERING PROJECT MANAGER.

THESE PLANS ARE NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR ORIGINAL BOUNDARY SURVEY, A ROUTE SURVEY, OR A SURVEYOR LOCATION REPORT.

NOT FOR CONSTRUCTION

CERTIFIED BY: _____

REVISIONS		
NUMBER	DESCRIPTION	DATE

SHEET INDEX	
SHEET NO	DESCRIPTION
C100	TITLE SHEET
C101	EXISTING TOPOGRAPHY
C102	SITE LAYOUT PLAN
C103	UTILITY PLAN
L100 - L101	ALTERNATE LANDSCAPE PLAN

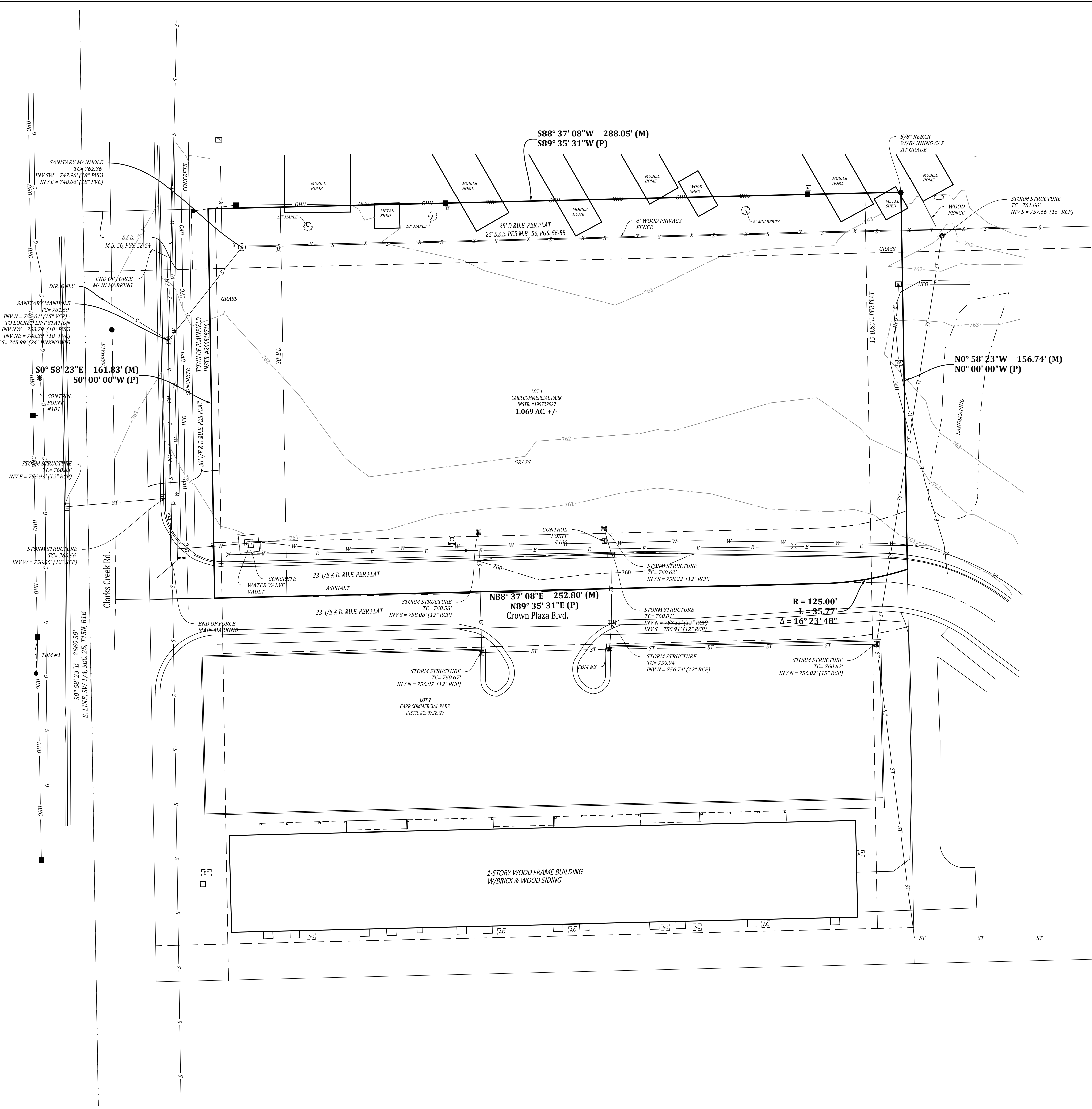
Date: 06-15-2021
Project No: 19286
Sheet No:
C100

P:\2019\19286\Engineering\Cadd\Sheet Files\Site Plan\19286_sp_tl.dwg Jun 16, 2021 8:09am

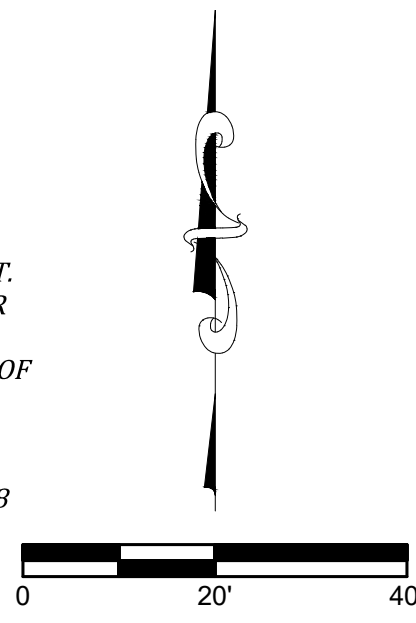


LOT 1 CARR COMMERCIAL PARK

shows P:\2019\19286\Engineering\Cadd\Sheet Files\Site Plan\19286_sp_enz.dwg Jun 16, 2021 8:09am



PROJECT BENCHMARK:
 DNR TBM CLARK 6, 1995
 IN HENDRICKS COUNTY, BRIDGEPORT QUAD., IN THE NW 1/4 OF SECTION 36, T. 15 N., R. 1 E., 2ND P.M.; AT PLAINFIELD; AT THE STAFFORD ROAD BRIDGE OVER CLARKS CREEK; SET IN THE TOP OF THE NORTHEAST CORNER OF THE CONCRETE BRIDGE DECK/SIDEWALK, 13.5 FEET NORTH OF THE CENTERLINE OF THE WEST BOUND LANE, 6.0 FEET NORTH OF THE SOUTH EDGE OF THE CONCRETE SIDEWALK, 3.0 FEET ABOVE THE GROUND, 0.7 FOOT EAST OF THE NORTHEAST CORNER OF AN ALUMINUM BASE PLATE OF A ALUMINUM GUARDRAIL POST ANCHORED IN THE CONCRETE BRIDGE DECK/SIDEWALK, 0.8 FOOT ABOVE THE LEVEL OF THE ROAD; A CHISELED SQUARE.
 ELEV. = 740.54' (NAVD 88)



TBM #1
 BENCHTIE 1 FOOT ABOVE GRADE IN NORTH SIDE OF POWER POLE #112-171 LOCATED 15 FEET SOUTH OF CENTERLINE OF CROWN PLAZA BOULEVARD AND 10 FEET WEST OF CLARKS CREEK ROAD.
 ELEVATION = 761.89' (NAVD 88)

TBM #3
 CUT "X" IN BACK OF CONCRETE IN PARKING AREA, APPROXIMATELY 200 FEET EAST OF THE INTERSECTION OF CLARKS CREEK ROAD AND CROWN PLAZA BOULEVARD; EAST CURB ISLAND ENTRANCE SOUTH OF CROWN PLAZA BOULEVARD.
 ELEVATION = 761.20' (NAVD 88)

NOTES:
 Per 865 IAC 1-12-12 this drawing is not intended to be represented as a retracement or original boundary survey, a route survey, or a Surveyor Location Report.

The topographic information shown hereon was obtained in the field during May 6th, 2021. The topographic data was gathered using a robotic total station and data collector applying standard radial surveying techniques and by global positioning equipment, utilizing the VRS Network, a real-time kinematic (RTK) correction service over the internet.

Elevations on hard surfaces or structures are accurate to within 0.05 feet, elevations on natural surfaces are accurate to within 0.10 feet. The contours shown hereon were plotted based upon interpolation of spot elevations and other topographic information and are accurate to within one half of a contour interval.

This survey reflects above ground indications of utilities and information available from utility companies. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated, although they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities.

LEGEND

- X FENCE LINE
- FM FORCE MAIN
- OHH OVERHEAD UTILITY
- ST STORM SEWER LINE
- S SANITARY SEWER LINE
- E UNDERGROUND ELECTRIC LINE
- UFO UNDERGROUND FIBER OPTIC LINE
- W UNDERGROUND WATER LINE
- G UNDERGROUND GAS MAIN
- CI CURB INLET
- DT DECIDUOUS TREE
- EB ELECTRIC BREAKER BOX
- EM ELECTRIC MANHOLE
- ES ELECTRIC SPLICE BOX
- ET ELECTRIC TRANSFORMER
- FH FIRE HYDRANT
- FM FIBER OPTIC MARKER
- GW GUY WIRE
- LP LIGHT POLE
- MU MANHOLE UNKNOWN
- MF MONUMENT FOUND
- PP POWER POLE
- SM SANITARY MANHOLE
- SD SATELLITE DISH
- SIGN SIGN
- SR STORM INLET - ROUND
- SS STORM INLET - SQUARE
- TS TELEPHONE SPLICE BOX
- VC VERTICAL CONTROL
- V VAULT
- WV WATER VALVE
- SS SANITARY SEWER
- D DRAINAGE
- U UTILITY
- I/E INGRESS/EGRESS
- E EASEMENT
- (P) PLAT

POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
100	1625660.331	3153380.938	760.10	5/8" REBAR WITH BANNING CAP
101	1625728.441	3153146.164	761.89	5/8" REBAR WITH BANNING CAP

Project No: 19286
 Sheet No: C101
 Date: 06-15-2021
 Scale: 1"=20'
 Checked: S.J.H.
 Drawn: S.J.H.
 Designed: S.J.H.
 Revisions:

EXISTING TOPOGRAPHY
LOT 1 CARR COMMERCIAL PARK
GUILFORD TOWNSHIP
PLAINFIELD, INDIANA

NOT FOR CONSTRUCTION

BANNING ENGINEERING
 853 COLUMBIA ROAD, SUITE #101
 PLAINFIELD, IN 46169
 BUS: (317) 707-3700 FAX: (317) 707-3800
 E-MAIL: Banning@BanningEngineering.com
 WEB: www.BanningEngineering.com

Project No: 19286
 Sheet No: C101



ZONED: R6
LEVEL 6

ZONED: GC
LEVEL 1

ZONED: GC
PROPOSED BUILDING
200' x 40'
8,000 SF

FOUNDATION PLANTING
LEVEL 1 LANDSCAPING
480 LF - 90 LF (STOOPS & PORCHES) = 390 LF
390 LF = 3.9 PTS REQUIRED
79 SHRUBS @ 0.05 PTS = 3.95 PTS SHOWN

LANDSCAPE SPECIFICATIONS

These specifications cover the furnishing of labor, plants, equipment, and materials to perform landscape operations in connection with this construction project at the locations shown on the landscape drawing.

LANDSCAPE MATERIALS: FERTILIZER:

Granular non-burning product composed of not less than 50% organic slow acting, guaranteed analysis professional fertilizer; 20% nitrogen, 10% phosphoric acid, and 5% potash by weight or similarly approved composition.

PLANTING BACKFILL SOIL:

Backfill plant pits with the following topsoil mixture: 1 part on-site topsoil, 1 part imported topsoil, 1 part compost and 1/2 pound plant specified fertilizer per cubic yard.

PLANT MATERIALS:

Provide trees and shrubs as indicated. Comply with sizing and grading standards of "American Standard for Nursery Stock". Provide only sound, healthy vigorous plants free from defects, disfiguring knots, sunscald injuries, frost cracks, plant diseases, insects or any other form of disease or infestation. All plants shall have fully developed form without voids or open spaces.

PLANTING BED MULCH:

3 inches of Grade 'A' Shredded Hardwood mulch where planting bed adjoins either pavement or turf.

PLANTING BED FABRIC:

Dewitt Pro 5 Weed Barrier. Install only in planting beds.

PROJECT EXECUTION: SUBSURFACE UTILITIES:

Contractor shall determine utility line locations prior to commencing work. Any conflicts between utility locations, excavation and/or landscape operations shall be brought to Owner's attention prior to commencing excavation and/or grading work. Contractor assumes responsibility for any utility damage resulting from landscape operations. CONTRACTOR SHALL NOTIFY UTILITY LOCATE SERVICE (811) A MINIMUM OF TWO WORKING DAYS PRIOR TO EXCAVATION.

PLANTING EXCAVATION:

When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage or obstructions, notify owner before planting. See planting details for planting, pruning and staking requirements.

SEEDED LAWN:

Complete all other landscape plantings, mulching, fine grading and staking prior to seeding lawn areas. Provide seeded lawn for all lawn areas utilizing Amer-Turf Front-Runner Turf Type Tall Fescue Blend Seed. Apply Seed at a rate of 5 pounds per 1000 square feet. Apply fertilizer at a rate of 4 pounds of actual nitrogen per 1,000 square feet. Spread topsoil over lawn areas to a depth of two inches and cultivate soil to a depth of three inches prior to seeding. Seed bed shall be in a firm but uncompacted condition with a relatively fine texture at time of seeding. Contractor shall maintain seeding lawn for a period of 60 days beyond final acceptance by mowing and watering as required to maintain vigorous growth during establishment period. Lawn areas shall not have voids larger than 6"x6". If voids are larger than acceptable size an overseeding shall be completed by the contractor during the next available growing season. Fall growing season August 15th - September 20th. Spring growing season March 20th - April 20th.

PROJECT WARRANTY:

Contractor shall warrant trees, shrubs, and plants for a period of two years after date of substantial completion against defects including death and unsatisfactory growth, except for defects resulting from neglect by the Owner, abuse or damage by others, or unusual phenomena or incidents which are beyond installer's control. Remove and replace trees, shrubs or other plants found to be dead or in unhealthy condition during warranty period. Replace trees and shrubs which are in doubtful condition at end of warranty period.

PERIMETER LANDSCAPING

- EVERGREEN TREE = 0.50 PTS
- ORNAMENTAL TREE = 0.50 PTS
- CANOPY TREE = 0.75 PTS
- SHRUBS = 0.05 PTS
- 6' TALL FENCE = 0.75 / 100 LF

WEST PROPERTY LINE

- LEVEL 4 LANDSCAPING
- POINTS REQUIRED = 6.50 PTS
- POINTS SHOWN = 3.00 PTS
- 3.50 POINTS TO BE PLANTED IN CROWN PLAZA APARTMENTS. SEE SHEET L101

W1	3	ORNAMENTAL TREE	= 1.50 PTS
W2	3	EVERGREEN TREE	= 1.50 PTS

SOUTH PROPERTY LINE

- LEVEL 1 LANDSCAPING
- POINTS REQUIRED = 3.50 PTS
- POINTS SHOWN = 0.00 PTS
- 3.50 POINTS TO BE PLANTED IN CROWN PLAZA APARTMENTS. SEE SHEET L101

S1	0	NONE	= 0.00 PTS
S2	0	NONE	= 0.00 PTS
S3	0	NONE	= 0.00 PTS
S4	0	NONE	= 0.00 PTS

EAST PROPERTY LINE

- LEVEL 4 LANDSCAPING
- POINTS REQUIRED = 6.50 PTS
- POINTS SHOWN = 3.00 PTS
- 3.50 POINTS TO BE PLANTED IN CROWN PLAZA APARTMENTS. SEE SHEET L101

E1	4	EVERGREEN TREE	= 2.00 PTS
E2	2	EVERGREEN TREE	= 1.00 PTS

NORTH PROPERTY LINE

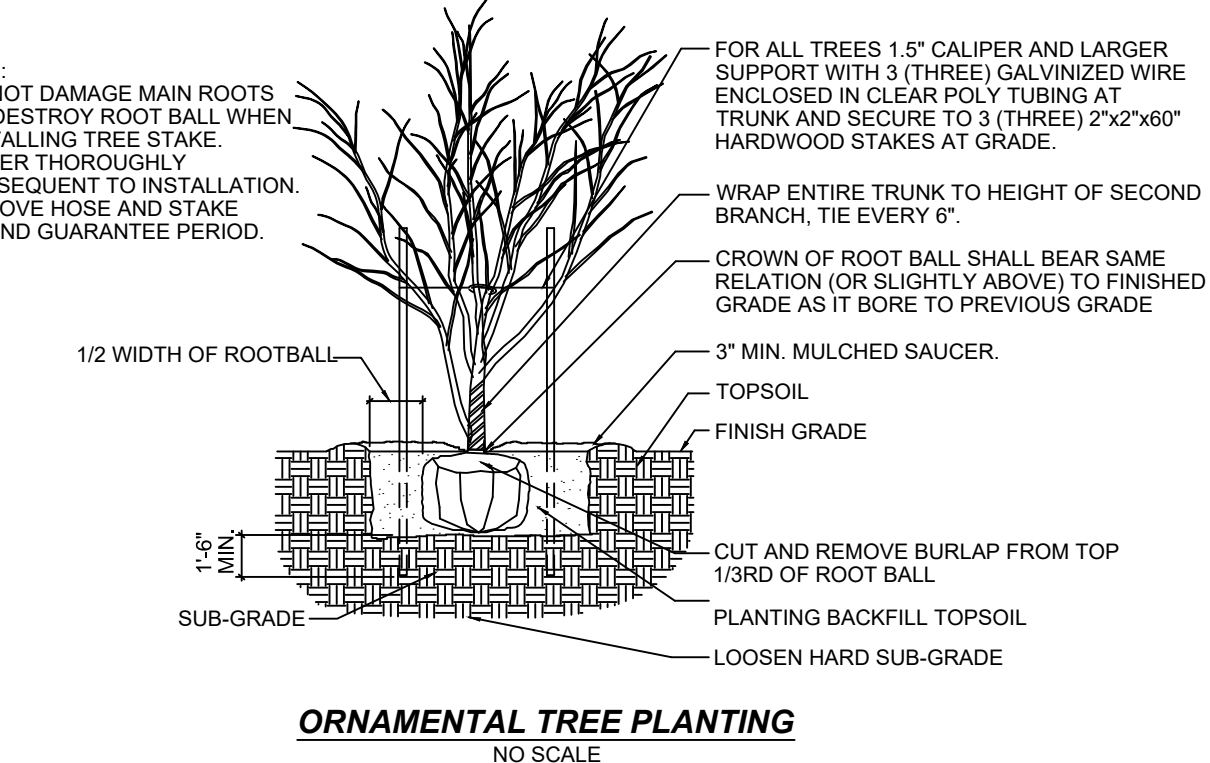
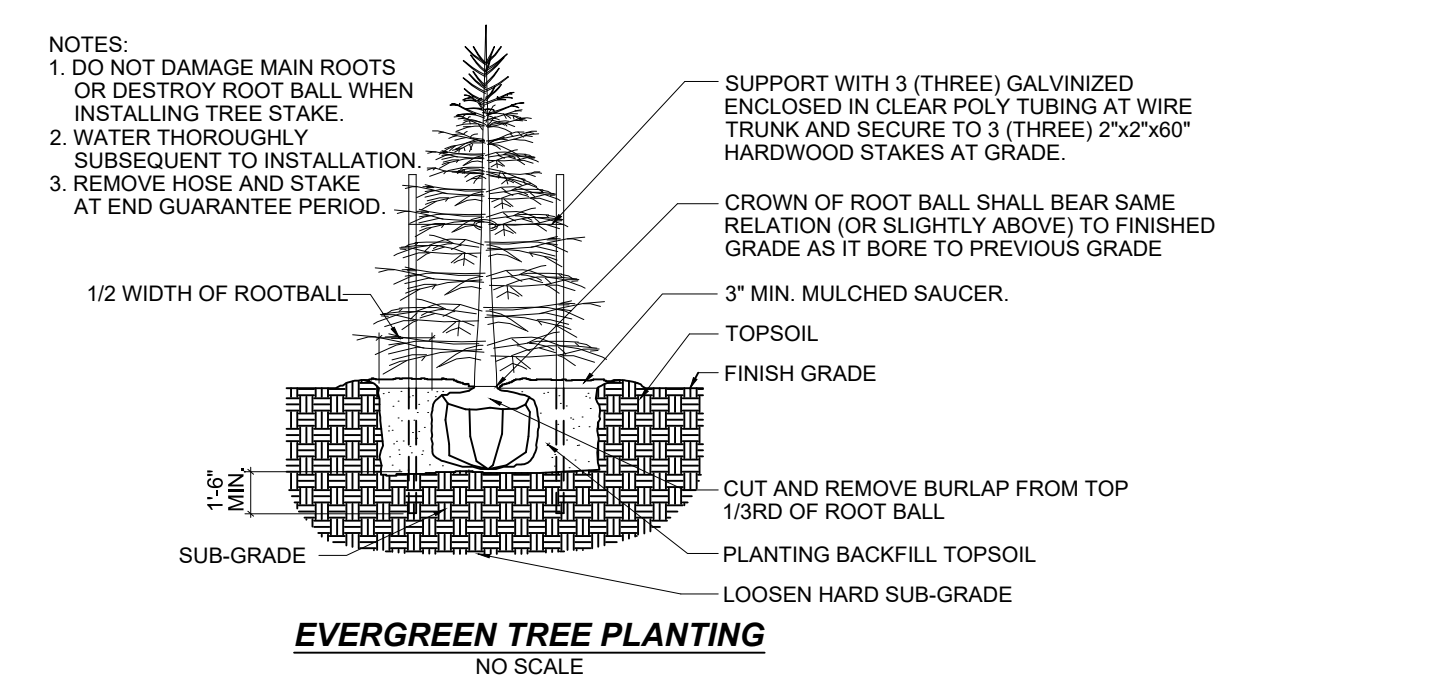
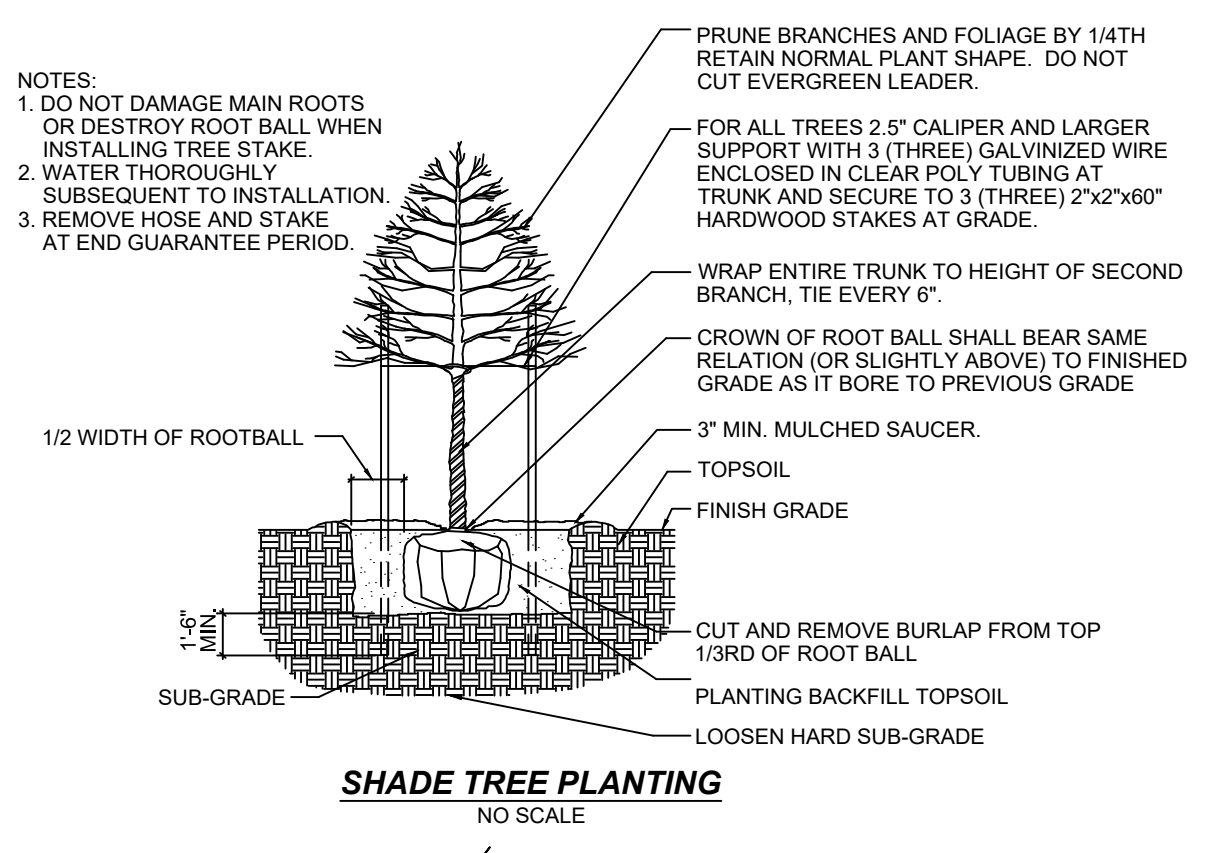
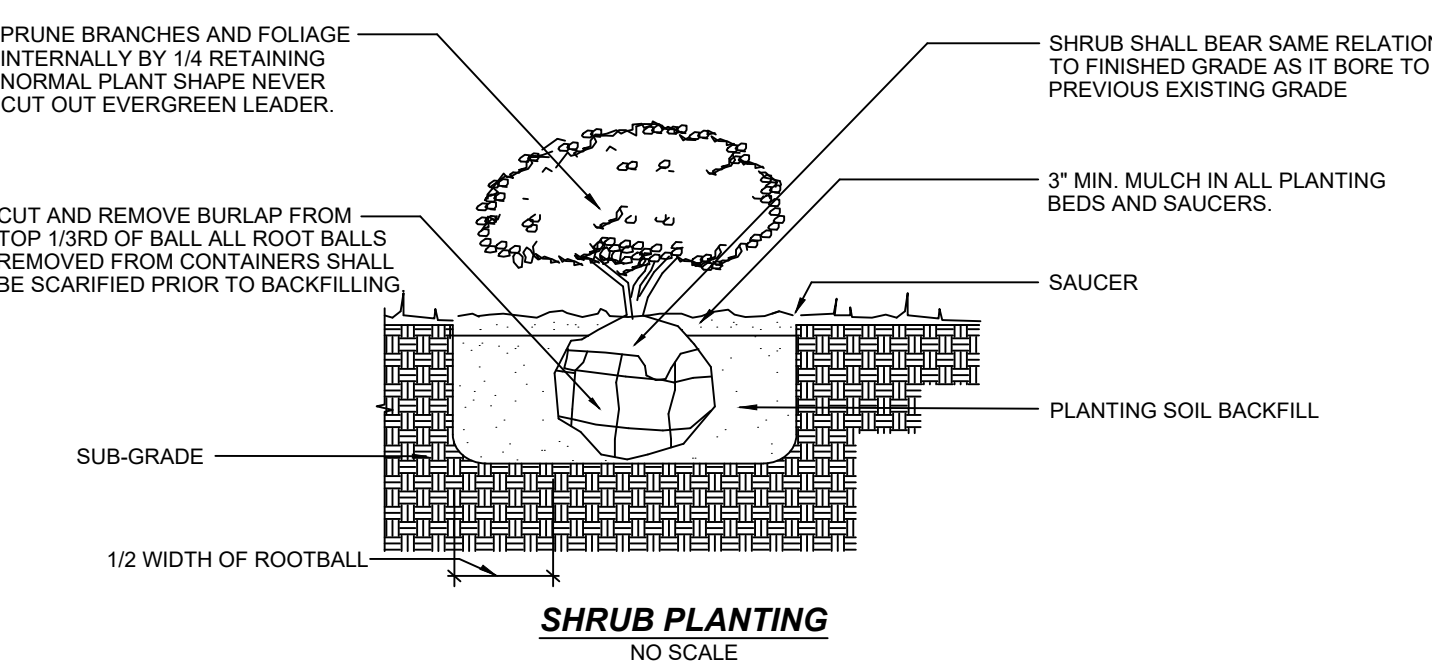
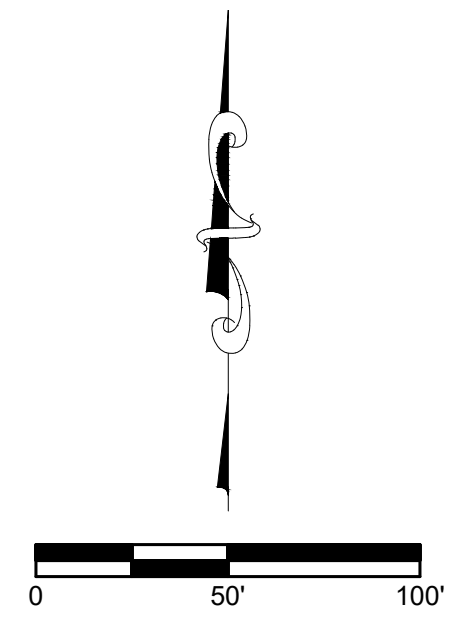
- LEVEL 4 LANDSCAPING
- POINTS REQUIRED = 3.50 PTS
- POINTS SHOWN = 2.75 PTS
- 0.75 POINTS TO BE PLANTED IN CROWN PLAZA APARTMENTS. SEE SHEET L101

N1	100'	EXISTING 6' FENCE	= 0.75 PTS
N2	100'	EXISTING 6' FENCE	= 0.75 PTS
N3	100'	EXISTING 6' FENCE	= 0.75 PTS
	1	EVERGREEN TREE	= 0.50 PTS

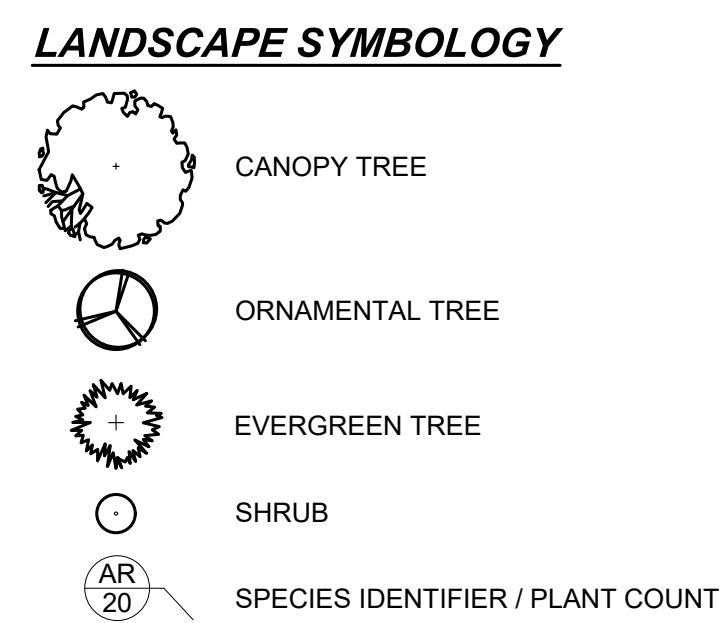
ALTERNATE APARTMENTS LANDSCAPING

- POINTS REQUIRED = 11.25 PTS
- POINTS SHOWN = 11.25 PTS

APARTMENTS	12	ORNAMENTAL TREE	= 6.00 PTS
	7	CANOPY TREE	= 5.25 PTS



PLANT LIST		
KEY	PLANT NAME BOTANICAL NAME COMMON NAME	SIZE
AC	Amelanchier laevis 'Cumulus' Cumulus Allegheny Serviceberry	1.5" Caliper
AR	Acer rubrum 'Autumn Blaze' Autumn Blaze Red Maple	2.5" Caliper
BG	Buxus x koraeana 'Green Velvet' Green Velvet Boxwood	18" Height
CV	Crataegus viridis 'Winter King' Winter King Hawthorn	1.5" Caliper
GT	Gleditsia tricanthos var. inermis 'Sunburst' Sunburst thornless honey locust	2.5" Caliper
JC	Juniperus chinensis 'Sea Green' Sea Green Juniper	24" Height
PA	Picea abies Norway Spruce	6' Height
PO	Picea omirika Serbian Spruce	6' Height
TM	Taxus x media 'Densiformis' Dense Yew	24" Height



ALTERNATE LANDSCAPE PLAN
 LOT 1 CARR COMMERCIAL PARK
 GUILFORD TOWNSHIP
 PLAINFIELD, INDIANA

NOT FOR
 CONSTRUCTION

BANNING
 ENGINEERING
 853 COLUMBIA ROAD, SUITE #101
 PLAINFIELD, IN 46166
 BUS: (317) 707-3700 FAX: (317) 707-3800
 E-MAIL: Banning@BanningEngineering.com
 WEB: www.BanningEngineering.com



Project No: 19286
Sheet No:

L100

shows P:\2019\19286\Engineering\Cadd\Sheet Files\Site Plan\19286_ap_ind_Alternate.dwg Jun 16, 2021 8:00am

