

PROJECT

SAL'S FAMOUS PIZZERIA

350 E Main St, Plainfield, IN 46168



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OWNER

SALVATORE AND ROCIO RUSSO

3100 S. County Road 475 E, Plainfield In 46168

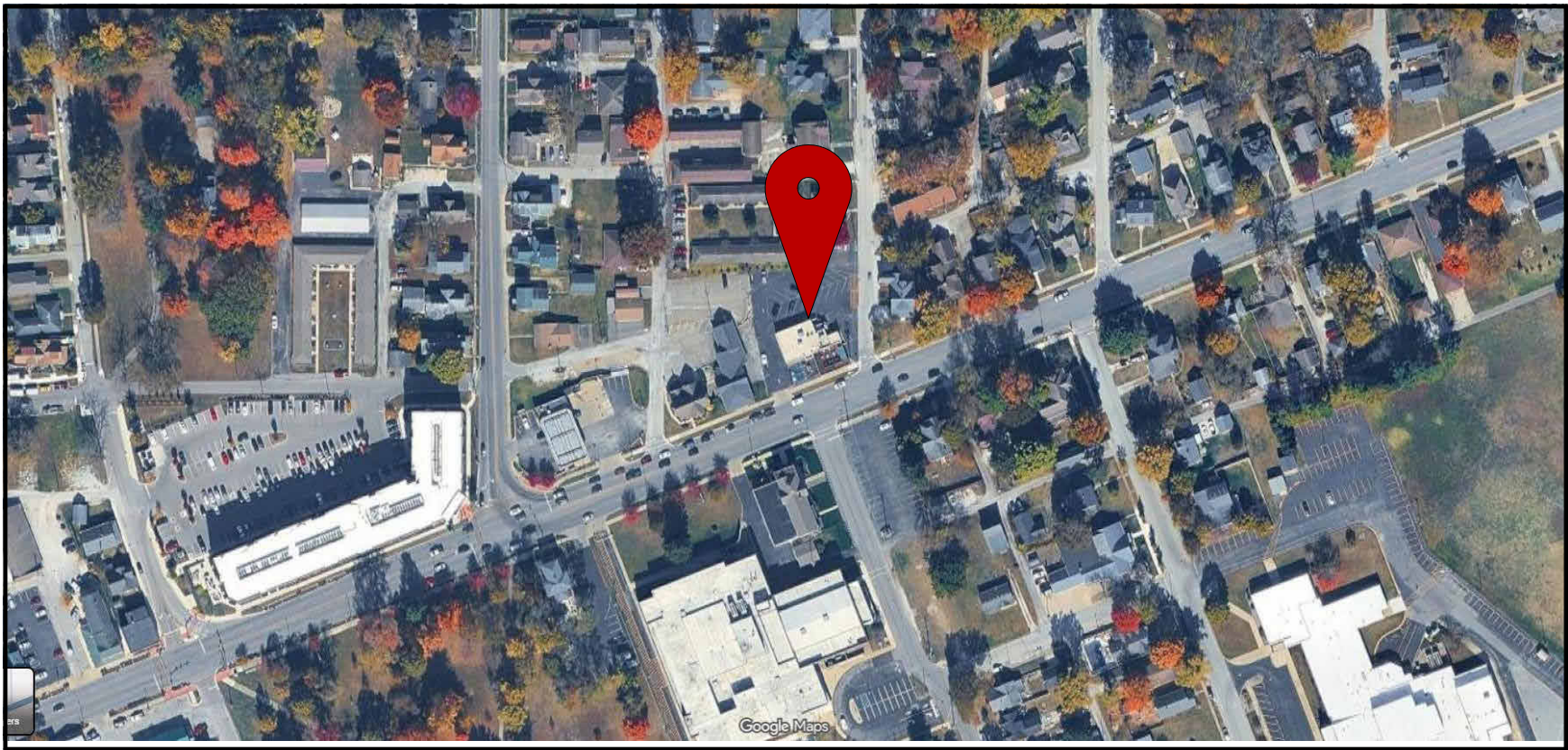
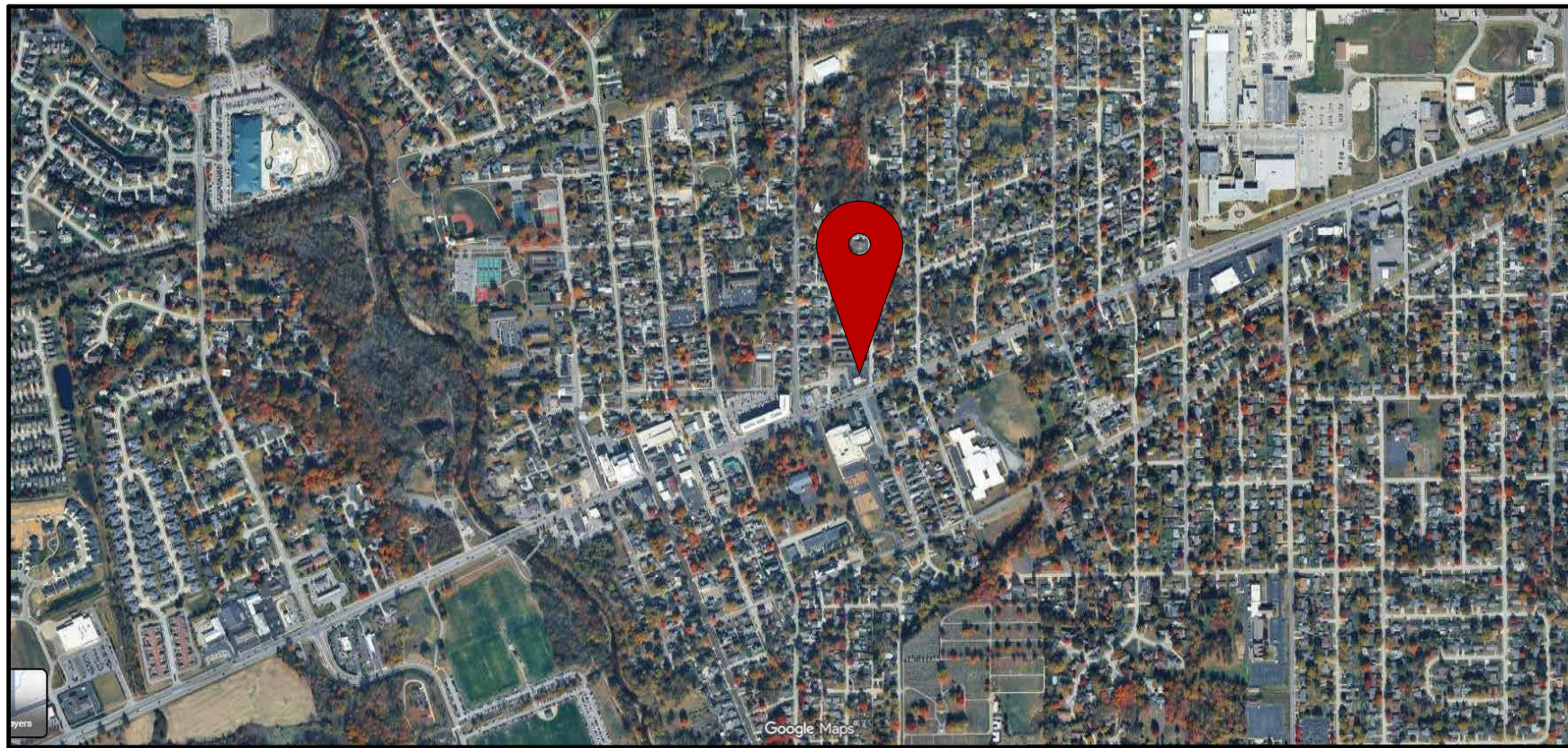
ARCHITECT



850 S. MERIDIAN ST.,
INDIANAPOLIS, IN 46225

PHONE: 317-261-0070

WWW.PRINCEALEXANDER.BIZ



VICINITY MAP

LOCATION MAP

SUMMARY OF WORK

BUILDING ADDITION AND REMODEL FOR A SINGLE STORY ITALIAN RESTAURANT. THIS REMODEL ADDS A SECOND STORY

APPLICABLE CODES

- 2014 INDIANA BUILDING CODE (2012 INTERNATIONAL BUILDING CODE)
- 2014 INDIANA FIRE CODE (2012 INTERNATIONAL FIRE CODE)
- 2009 INDIANA ELECTRICAL CODE (2008 NFPA 70)
- 2014 INDIANA MECHANICAL CODE (2012 INTERNATIONAL MECHANICAL CODE)
- 2007 ASHRAE 90.1
- 2008 ELECTRIC CODE (NFPA 70) WITH INDIANA AMENDMENTS
- 2009 ANSI / ICC (A117.1) INDIANA ACCESSIBILITY CODE
- 2010 INDIANA ENERGY CONSERVATION CODE (ASHRAE 90.1, 2007, AS AMENDED)
- 2012 INTERNATIONAL FIRE CODE (IFC) WITH INDIANA AMENDMENTS
- 2012 INDIANA PLUMBING CODE
- 2012 INTERNATIONAL MECHANICAL CODE (IMC) WITH INDIANA AMENDMENTS
- 2012 INTERNATIONAL BUILDING CODE (IBC) WITH INDIANA AMENDMENTS

princealexander

850 S. Meridian St., Indianapolis, IN 46225, United States

Phone: 317-261-0070

www.princealexander.biz

PROJECT

Sal's Pizzeria

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Project Status

NOT FOR CONSTRUCTION

REVISIONS - SCAN FOR LATEST		
No.	Description	Date

SHEET TITLE
COVER

DATE
Issue Date

R000

ABBREVIATIONS

A	-	ACCOUSTICAL	G	-	GAUGE	Q	-	QUARRY TILE
AC	-	AREA DRAIN	GALV	-	GALVANIZED	QTR	-	QUARTER
ADJ	-	ADJACENT	G.C.	-	GENERAL CONTRACTOR			
A.F.F.	-	ABOVE FINISH FLOOR	GL	-	GLASS			
AGG.	-	AGGREGATE	GND	-	GROUND			
ALT	-	ALTERNATE OR ALTERNATIVE	G.O.	-	GLASS OPENING			
ALUM	-	ALUMINUM	GR	-	GRADE			
ADR	-	ACCESS DOOR	G.W.B.	-	GYPSUM WALLBOARD			
A.P.	-	ACCESS PANEL	GYP	-	GYPSUM			
APPROX.	-	APPROXIMATELY	GYP BD.	-	GYPSUM BOARD			
ARCH	-	ARCHITECTURAL/ARCHITECT						
ASPH	-	ASPHALT						
A.C.T.	-	ACOUSTICAL CEILING TILE						
A.C.P.	-	ACOUSTICAL CEILING PANEL						
B	-		H	-				
BD	-	BOARD	H.A.C	-	HEATING/AIR CONDITIONING CONTRACTOR			
BITUM	-	BITUMINOUS	HB	-	HOSE BIBB			
B.L.	-	BRICK LEDGE	HNDC	-	HANDICAP			
BLDG	-	BUILDING	H.C.	-	HOLLOW CORE			
BLK	-	BLOCK	HD	-	HEAD			
BLKG	-	BLOCKING	HDW	-	HARDWARE			
BM	-	BEAM	HDWD	-	HARDWOOD			
B.O.	-	BOTTOM OF	H.M.	-	HOLLOW METAL			
BRG	-	BEARING	HORIZ	-	HORIZONTAL			
BSMT	-	BASEMENT	H.P.	-	HIGH POINT			
B.U.R.	-	BUILT-UP ROOFING	HR	-	HOOR			
			HRSK	-	HOUSE KEEPING			
			HT	-	HEIGHT			
			HVAC	-	HEATING/VENTILATION/AIR CONDITIONING			
C	-		I	-		S	-	
CA	-	CARPET	ID	-	INSIDE DIAMETER/DIMENSION	S.A.B.	-	SOUTH
CAB(S)	-	CABINET(S)	IN	-	INCH	SAN	-	SANITARY
CA.T.	-	CARPET TILE	INT	-	INTERIOR	SCHED	-	SCHEDULE
CA.TV.	-	CABLE TELEVISION	INT	-	INTERIOR	S.D.	-	SMOKE DETECTOR
CEM.	-	CEMENT				SECT	-	SECTION
CL	-	CONTRACTOR FURNISHED/INSTALLED				S.F.	-	SQUARE FEET
C.G.	-	CORNER GUARD				S.F.T.U.	-	STRUCTURAL FACING TILE UNIT
C.J.	-	CONTROL JOINT				SHR	-	SHOWER
CL	-	CEILING				SHT	-	SHEET
CLO	-	CLOSET				SHTG	-	SHEATHING
CLR	-	CLEAR				SL	-	SLATE
C.M.U.	-	CONCRETE MASONRY UNIT				SND	-	SOUND
COL	-	COLUMN				S.P.	-	STAND PIPE
CONC	-	CONCRETE				S.P.D.	-	SOAP DISPENSER
CONN	-	CONNECTION				SPEC	-	SPECIFICATION
CONST	-	CONSTRUCTION				S.P.M.R.	-	SINGLE-PLY MEMBRANE ROOFING
CONT	-	CONTINUOUS				SPAN	-	SPANDREL
CONTR	-	CONTRACTOR				SQ	-	SQUARE
CORR	-	CORRIDOR				S.SK.	-	SERVICE SINK
C.T.	-	CERAMIC TILE				ST.STL.	-	STAINLESS STEEL
CW	-	CASEWORK				STD	-	STANDARD
			K	-		STL	-	STEEL
			LAM	-	LAMINATE	STOR	-	STORAGE
			LAV	-	LAVATORY	STRUC	-	STRUCTURAL
			LBR	-	LUMBER	SUSP	-	SUSPENDED
			L.C.B.	-	LIQUID CHALK BOARD	SYM	-	SYMETRICAL
			LKR	-	LOOKER			
			LCC	-	LOCATION			
			L.P.	-	LOW POINT			
			L.T.	-	LIGHT			
D	-		M	-		T	-	
U	-	DEEP, DEPTH	M	-	MALE	T	-	TREAD
DBL	-	DOUBLE	MA	-	MACHINE	T. & B.	-	TOP AND BOTTOM
DEG	-	DEGREE	MAG	-	MAGNESIUM	T. & G.	-	TONGUE AND GROOVE
DET	-	DETAIL	M.D.O.	-	MEDIUM DENISTY OVERLAY	TELE	-	TELEPHONE
D.F.	-	DRINKING FOUNTAIN	MAS	-	MASONRY	TEMP	-	TEMPERATURE
DIA	-	DIAMETER	MAX	-	MAXIMUM	TERR	-	TERRAZZO
DIAG	-	DIAGONAL	M.B.	-	MOP BASIN	THK	-	THICK
DIFF	-	DIFFUSER	MECH	-	MECHANICAL	THRU	-	THROUGH
DIM	-	DIMENSION	MECH CONT.	-	MECHANICAL CONTRACTOR	TLT	-	TOILET
DISP	-	DISPENSER	MEMB	-	MEMBRANE	T.O.	-	TOP OF
DN	-	DOWN	MH	-	MANHOLE	T.O.C.	-	TOP OF CONCRETE/TOP OF CURB
DR	-	DOWNSPOUT	MET	-	METAL	T.O.P.	-	TOP OF PAVEMENT
D.S.	-	DRAIN TILE	MFR	-	MANUFACTURER	T.O.W.	-	TOP OF WALL
D.T.	-	DRAWING(S)	MIN	-	MINIMUM	T.P.	-	TOILET PARTITION
DWG(S)	-	DRAWING(S)	MISC	-	MISCELLANEOUS	TRANS	-	TRANSFORMER
DWR	-	DRAWER	M.O.	-	MASONRY OPENING	TV	-	TELEVISION
			M.P.	-	MOVABLE PARTITION	TYP	-	TYPICAL
			MTD	-	MOUNTED			
			MTL	-	MATERIAL			
			MULL	-	MULLION			
E	-		N	-		U	-	
E	-	EAST	N	-	NORTH	U.C.	-	UNDER CUT
EA	-	EACH	NIC	-	NOT IN CONTACT	U.C.L.	-	UNDER COUNTER LIGHT
E.C.	-	ELECTRICAL CONTRACTOR	NO	-	NUMBER	U.C.R.	-	UNDER COUNTER REFRIGERATOR
E.I.F.S.	-	EXTERIOR INSULATION FINISH SYSTEM	NOM	-	NOMINAL	U.H.	-	UNIT HEATER
E.F.	-	EACH FACE	NTS	-	NOT TO SCALE	UNFIN	-	UNFINISHED
E.F.S.	-	EXTERIOR FINISH SYSTEM				U.N.	-	UNDERWRITERS LABORATORY
E.J.	-	EXPANSION JOINT				U.N.O	-	UNLESS NOTED OTHERWISE
ELEV	-	ELEVATION				UR	-	URINAL
ELEC	-	ELECTRICAL						
ELEV	-	ELEVATOR						
ENCL	-	ENCLOSURE						
ENGR	-	ENGINEER						
E.P.	-	ELECTRICAL PANEL						
EQ	-	EQUAL						
EQUIP	-	EQUIPMENT						
ESMT	-	EASEMENT						
E.W.	-	EACHWAY						
E.W.C	-	ELECTRIC WATER COOLER						
EX	-	EXISTING						
EXH	-	EXHAUST						
EXP AGG.	-	EXPOSED AGGREGATE						
EXP	-	EXPANSION						
EXT	-	EXTERIOR						
F	-		O	-		V	-	
F	-	FEMALE	O.A.	-	OVER ALL	V	-	VINYL
F.A.	-	FIRE ALARM	O.C.	-	ON CENTER	V.C.T.	-	VINYL COMPOSITE TILE
F.C.U.	-	FAN COIL UNIT	O.D.	-	OUTSIDE DIAMETER	V.T.	-	VINYL TILE
F.D.	-	FLOOR DRAIN	OF	-	OWNER-FURNISHED CONTRACTOR-INSTALLED	VENT	-	VENTILATOR
F.F.	-	FINISH FLOOR	OFF	-	OFFICE	VERT	-	VERTICAL
F.F.	-	FINISH GRADE	OF	-	OWNER FURNISHED/INSTALLED	VEST	-	VESTIBULE
F.H.	-	FLAT HEAD	OH	-	OVERHEAD	V.T.R.	-	VENT THROUGH ROOF
F.H.C.	-	FIRE HOSE CABINET	OPNG	-	OPENING	V.S.F.	-	VINYL SHEET FLOORING
FIN	-	FINISH	OZ	-	OUNCE	V.W.C.	-	VINYL WALL COVERING
FLASH	-	FLASHING						
FLR	-	FLOOR						
FLUOR	-	FLUORESCENT						
F.O.C.	-	FACE OF CONCRETE						
F.P.	-	FABRIC PANEL						
F.P.C.	-	FIRE PROTECTION CONTRACTOR						
FR	-	FRAME						
F.RET.	-	FIRE RETARDANT						
FT	-	FEET(FOOT)						
FTG	-	FOOTING						
FUR	-	FURRING						
FUT	-	FUTURE						
F.V.C.	-	FIRE VALVE CABINET						
F.W.C.	-	FIBER WALL COVERING						

SYMBOLS LEGEND

	EXTERIOR ELEVATION REFERENCE		EXISTING GRADE CONTOUR
	DRAWING NUMBER SHEET NUMBER		NEW GRADE CONTOUR
	DETAIL REFERENCE		PROPERTY LINE
	DRAWING NUMBER SHEET NUMBER		EASEMENT LINE
	BUILDING/ WALL SECTION REFERENCE		EXISTING POINT OF ELEVATION
	DRAWING NUMBER SHEET NUMBER		NEW POINT OF ELEVATION
	INTERIOR ELEVATION REFERENCE		POINT OF ELEVATION @ TOP OF CURB
	DRAWING		POINT OF ELEVATION @ BASE OF CURB
	WORK POINT		FENCING
	NORTH ARROW		CENTER LINE
	REVISION NUMBER		BREAK LINE
	ROOM NAME		NOTE REFERENCE LINE
	SPACE IDENTIFICATION		KEY NOTE REFERENCE LINE
	KEYED NOTE		STRUCTURAL REFERENCE GRID
	EQUIPMENT TAG		REVISION
	WINDOW TYPE		REVISED AREA
	NEW COLUMN BUBBLE		REVISION NUMBER
	EQUIPMENT / FURNITURE TAG		ROOM NAME
	WALL TYPE		SPACE IDENTIFICATION
	DEMOLITION NOTE		DEMOLITION SYMBOL
	CEILING HEIGHT/CEILING SPOT ELEVATION		OBJECT TO BE REMOVED/DEMOLISHED
	FLOOR SPOT ELEVATION		PLAN/ELEVATION KEYNOTE
	ELEVATION REFERENCE TARGET HEIGHT		DEMOLITION KEYNOTE
	ANGLE		WINDOW TYPE
	AT		WALL FOOTING TYPE
	CHANNEL		EQUIPMENT REFERENCE NUMBER
	CENTERLINE		EMERGENCY EXIT SIGN
	PENNYWEIGHT		THERMOSTAT
	PERPENDICULAR		FIRE ALARM
	PARALLEL		OCCUPANCY SENSOR
	PLATE		FIRE EXTINGUISHER CABINET
	NEW DOOR NUMBER		OUTLET
	EXISTING DOOR NUMBER		DATA
			TV OUTLET
			SWITCH

PLAN LEGEND

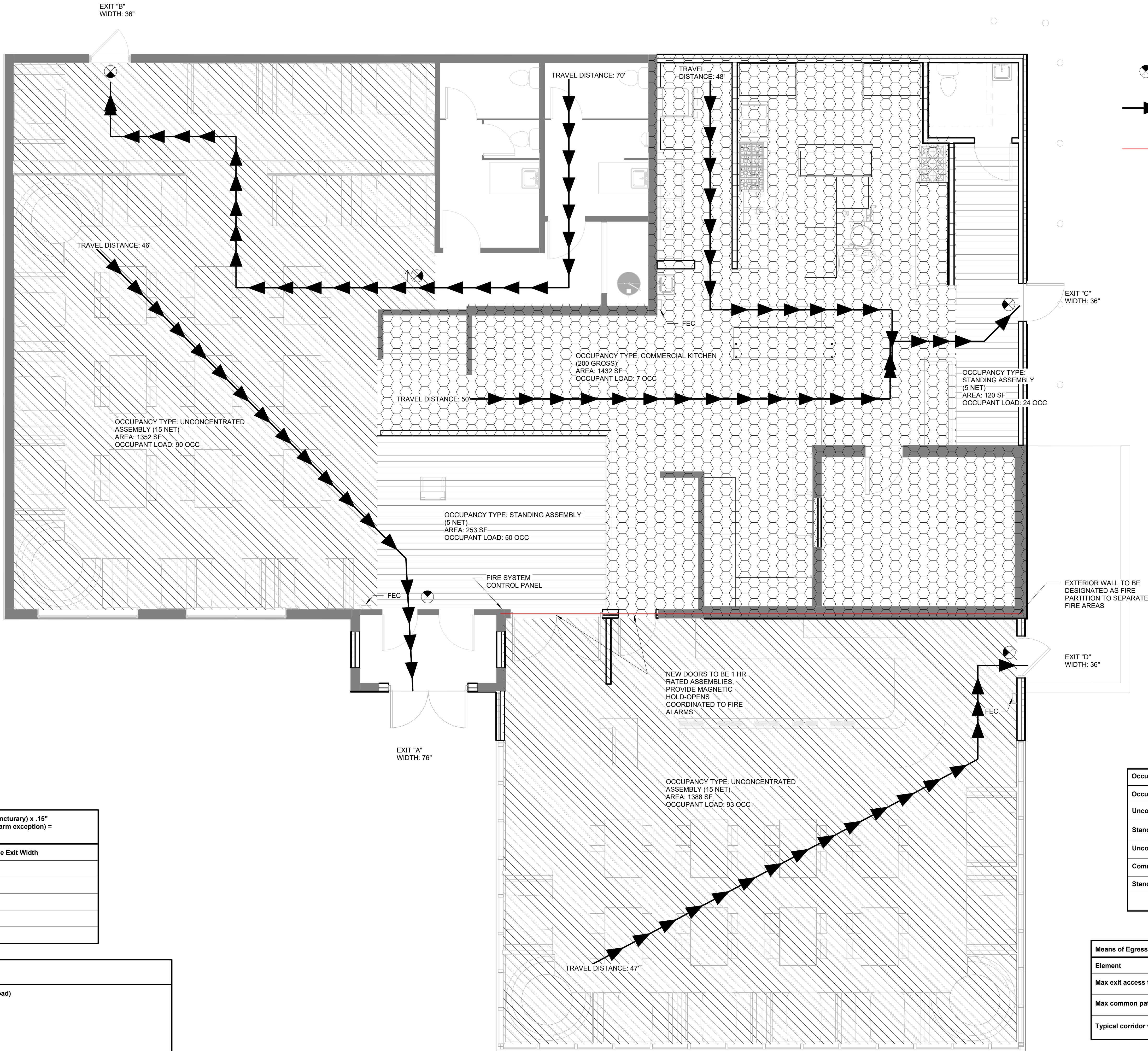
	NEW CONSTRUCTION
	DOOR # SAME AS ROOM # U.N.O.
	CONTRACT LIMIT LINE
	1 HOUR FIRE PARTITION
	2 HOUR FIRE PARTITION
	1 HOUR SMOKE PARTITION
	2 HOUR FIRE/ 1 HOUR SMOKE PARTITION
	SMOKE PARTITION
	PROPERTY LINE
	MATCH LINE
	COLUMN LINE

MATERIALS LEGEND

	CONCRETE
	EARTH
	INSULATION
	ASPHALT
	GYPSUM BOARD/PLASTER ELEVATION
	WOOD FRAMING
	WOOD SHIM OR BLOCKING

GENERAL NOTES:

- THE ARCHITECT/ENGINEER DOES NOT DEFINE THE SCOPE OF INDIVIDUAL TRADES. SUBCONTRACTORS MATERIAL SUPPLIERS OR VENDORS. THE SHEET NUMBERING SYSTEM USED, WHICH IDENTIFIES DISCIPLINES, IS SOLELY FOR THE ARCHITECTS/ENGINEERS CONVENIENCE, AND IS NOT INTENDED TO DEFINE A SUBCONTRACTORS SCOPE OF WORK REGARDING INDIVIDUAL TRADES. SUBCONTRACTORS MATERIAL SUPPLIERS AND VENDORS SCOPE, THESE ASPECTS MAY BE DETAILED, DESCRIBED AND INDICATED AT DIFFERENT LOCATIONS THROUGHOUT THE CONTRACT DOCUMENTS INCLUDING THE PLANS AND SPECIFICATIONS. ADDENDUM AND OTHER WRITTEN COMMUNICATIONS DURING BIDDING AND CONTRACT PREPARATION SHALL BE GIVEN TO THE ARCHITECT FOR REQUESTS FOR CHANGE ORDERS FOR FAILURE TO OBTAIN AND REVIEW THE COMPLETE SET OF DRAWINGS AND SPECIFICATIONS WHEN PREPARING THE BIDS. QUOTES AND PRICES FOR QUANTITIES AND QUALITY OF WORK.
- DO NOT SCALE DRAWINGS. REFER DISCREPANCIES AND OR CONFLICTS TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- PLAN DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, OR TO FACE OF STRUCTURAL SURFACE SUCH AS CONCRETE OR MASONRY WALL, UNLESS OTHERWISE NOTED. MASONRY DIMENSIONS ARE NOMINAL DIMENSIONS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROJECT CONSTRUCTION. NO ALLOWANCE OR COMPENSATION WILL BE GRANTED FOR A FAILURE TO PROTECT OR PREVENT DAMAGE FROM HAPPENING TO THE OWNERS EQUIPMENT.
- CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND COORDINATE INSTALLATION OF PERMANENT AND TEMPORARY COMPONENTS WITH OTHER TRADES. TO AVOID DAMAGE TO FINISHED PRODUCTS OR REDUNDANT INSTALLATION PROCEDURES.
- CONTRACTOR SHALL INSTALL TEMPORARY FILTERS IN ANY HVAC UNITS AND/OR DUCTS TO PREVENT CONSTRUCTION DUST OR AIRBORNE PARTICLES RESULTING FROM THE WORK FROM ENTERING THE AIR HANDLING SYSTEM. CONTRACTOR SHALL REPLACE THE FILTERS AS OFTEN AS NECESSARY TO PREVENT DAMAGE FROM HAPPENING TO THE OWNERS EQUIPMENT.
- THE USE OF OPEN FLAME HEATING EQUIPMENT, CUTTING AND WELDING ACETYLENE TORCHES OR OTHER SIMILAR DEVICES IS PROHIBITED WITHIN THE BUILDING. CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES WITHIN THE WORKSITE FIRE EXTINGUISHERS OF THE TYPES AND OPERATION REQUIRED BY OSHA, THE CITY AND STATE.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE RESULTING FROM CARELESS HANDLING OR ACCIDENTAL BREAKAGE OF ANY EQUIPMENT OR COMPONENTS.
- PROVIDE AND INSTALL WOOD BLOCKING, BACKING, FRAMING AND HANGERS IN THE WALLS, CEILINGS AND FLOORS IN ALL AREAS REQUIRED FOR ATTACHMENT OF EQUIPMENT, FIXTURES, HARDWARE, CABINETRY, GRAB BARS AND ACCESSORIES.
- COORDINATE BLOCKING WITH ALL TRADES AND MEP CONTRACTORS.
- REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS OF STRUCTURAL IMPROVEMENTS.
- ALL WOOD BELOW GRADE OR IN CONTACT WITH CONCRETE SHALL BE CCA TREATED. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR THE PROJECT INCLUDING DEMOLITION, RIGHT-OF-WAY AND DRIVEWAY PERMITS AS WELL AS ANY OTHER REQUIRED PERMITS FOR THE WORK OF THEIR SCOPE.
- CONTRACTOR SHALL SECURE VERIFICATION OF THE LOCATION OF ALL EXISTING UTILITIES WITHIN THE SITE AND ANY UNDERGROUND CONDUITS, CHASES OR SPECIAL SOIL CONDITIONS PRIOR TO BEGINNING EXCAVATION OR DEMOLITION AND/OR CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANIES TO ENSURE PROPER INSTALLATION AND REMOVAL PROCEDURES FOR EXISTING UTILITIES.
- TO PREVENT INTERRUPTION OR DESTRUCTION OF SERVICES, CONTRACTOR SHALL NOTIFY THE OWNER AND ANY OTHER PROPER AGENCIES PRIOR TO THE EVENT OF A TEMPORARY SHUT DOWN.
- CONTRACTOR SHALL PROVIDE PROPER SHORING AND/OR BRACING OF SOILS, STRUCTURES AND AREAS AFFECTED BY DEMOLITION. SHOP DRAWINGS OF SHORING AND BRACING SHALL BE PROVIDED BY THE CONTRACTOR.
- NO WORK IS TO OCCUR ON EXISTING ROOF SURFACES EXCEPT AS NOTED ON DRAWINGS.
- SOUND ATTENUATION BLANKETS (1" THICK TO FIT SNUG BETWEEN STUDS) SHALL BE PROVIDED IN INTERIOR WALLS IDENTIFIED IN WALL TYPES AND ON SHEET 1.
- PROVIDE 4" WALL SPACE BETWEEN FACE OF WALL AND OUTSIDE EDGE OF DOOR FRAMES AT ALL INTERIOR DOOR LOCATIONS UNLESS OTHERWISE DIMENSIONED.
- EACH CONTRACTOR, SUBCONTRACTOR, SUPPLIER OR OTHER SERVICE PROVIDER SHALL BECOME COMPLETELY FAMILIAR WITH THE DOCUMENTS AND OTHER ASPECTS OF THE PROJECT, EVEN IN THOSE AREAS OF WORK TO BE PROVIDED BY OTHERS. THIS FAMILIARIZATION INCLUDES FULL AND COMPLETE UNDERSTANDING OF ALL SHEETS IN THE DRAWINGS AND ALL PORTIONS OF THE SPECIFICATIONS. FAILURE TO DO SO, BY THE CONTRACTORS, SUBCONTRACTORS SUPPLIERS OR OTHER SERVICE PROVIDERS, SHALL BECOME COMPLETELY FAMILIAR WITH THE DOCUMENTS AND COGNIZANT OF ALL ASPECTS OF THE WORK SHALL, NOT RELIEVE THOSE CONTRACTORS AND SUPPLIERS PROVIDE THE MATERIALS, ASSEMBLIES, LABOR OR SERVICES INDICATED OR REFERRED TO IN THE CONTRACT DOCUMENTS.
- THE CONSTRUCTION DOCUMENTS ARE TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION, MATERIAL, AND WORKMANSHIP THROUGHOUT. NOT EVERY PIECE OF MATERIAL AND ITEM OF CONSTRUCTION IS SPECIFICALLY DRAWN. THE DRAWINGS ARE INTENDED TO BE A REPRESENTATION OF THE WORK. THE CONTRACTOR IS ASSUMING RESPONSIBILITY FOR THE WORK INDICATED AND INTENDED AND SHALL COMPLY WITH THE SPIRIT AND INTENT OF THE WHICH THEY WERE WRITTEN OR DRAWN.
- EACH CONTRACTOR SHALL REVIEW, IN ADVANCE, ALL PORTIONS OF THE WORK TO VERIFY THAT THEIR WORK WILL NOT PROHIBIT COMPLETION OF THE PROJECT AS INTENDED IN THESE DOCUMENTS. ANY CONFLICT OR QUESTIONS SHALL BE PROMPTLY REFERRED TO THE ARCHITECT FOR RESOLUTION.
- EACH CONTRACTOR SHALL VERIFY, IN THE FIELD, ALL EXISTING APPLICABLE CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWINGS AND AS IT RELATES TO THEIR PORTION OF THE WORK. THE CONTRACTOR SHALL COORDINATE THEIR SHOP DRAWINGS AND FABRICATION DRAWINGS WITH SAID FIELD DIMENSIONS. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF COMMENCEMENT OF ANY WORK AFFECTED BY, OR RELATED TO, SUCH DISCREPANCY. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION COSTS ASSOCIATED WITH, OR CAUSED BY, FAILURE TO COMPLY WITH THESE REQUIREMENTS.
- NOTHING SET FORTH IN THESE DRAWINGS SHALL RELEASE ANY CONTRACTOR FROM RESPONSIBILITY TO PROVIDE APPROPRIATE QUANTITIES, FIELD MEASUREMENTS, DIMENSIONAL, STABILITY, INSTALLATION, ANCHORAGE AND COORDINATION WITH OTHER TRADES. WAIVE THE CONTRACTORS RESPONSIBILITY TO IDENTIFY AND RESOLVE DEVIATIONS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, OR WAIVE THE CONTRACTORS RESPONSIBILITY TO ALERT THE OWNERS TECHNICAL REPRESENTATIVE AND THE ARCHITECT TO SAID DISCREPANCIES.
- THE CONTRACTOR SHALL PROTECT ANY



- EXIT SIGN
- PATH OF EGRESS TRAVEL
- FIRE PARTITION

PROJECT DESIGN CRITERIA

PROJECT ADDRESS: 350 E. MAIN ST
PLAINFIELD, IN 46168

COUNTY: HENDRICKS

ZONING CATEGORY: TC

BUILDING CODES:

2012 INTERNATIONAL BUILDING CODE (IBC) WITH INDIANA AMENDMENTS
2012 INTERNATIONAL MECHANICAL CODE (IMC) WITH INDIANA AMENDMENTS
2012 INDIANA PLUMBING CODE
2008 ELECTRIC CODE (NFPA 70) WITH INDIANA AMENDMENTS
2012 INTERNATIONAL FIRE CODE (IFC) WITH INDIANA AMENDMENTS
2010 INDIANA ENERGY CONSERVATION CODE (ASHRAE 90.1, 2007, AS AMENDED)

OCCUPANCY TYPE: A-2

CONSTRUCTION TYPE: V-B

SPRINKLER SYSTEM: NO

UTILITIES: PUBLIC WATER, SEWER,
GAS & HEAT

ALLOWABLE AREA PER IBC TABLE 503: 6000 SF, 40' HEIGHT

EXISTING AREA: 4187 SF

PROPOSED AREA: 4959 SF

EXISTING HEIGHT: 13' (BLDG)

PROPOSED HEIGHT: 17' (BLDG)

Occupancy Load		
Occupancy Type	Factor/Area	Occ Load
Unconcentrated Assembly: A-2 (Restaurant)	15 NET/ 1352 SF	90
Standing Assembly: A-2 (Restaurant)	5 NET/ 253 SF	50
Unconcentrated Assembly: A-2 (Restaurant)	15 NET/ 1388 SF	93
Commercial Kitchen	200 GROSS/ 1432 SF	7
Standing Assembly: A-2 (Restaurant)	5 NET/ 120 SF	24
		Total= 264

Means of Egress (Non-Sprinkler Bldg)		
Element	Required	Provided
Max exit access travel distance	200'	70'
Max common path of travel	75'	35'
Typical corridor width	44"	49" MIN

Exits: total required: 372 (Largest Occ Space (Sanctuary) x .15" (per IBC 1005.3.1 sprinkler & emergency voice/alarm exception) = 55.8")	
Exit	Available Exit Width
A	76"
B	36"
C	36"
D	36"
Total=	184"

PLUMBING FIXTURE CALCULATIONS	
Occupancy Load total = 352 (Sanctuary Seating Load)	
Fixtures provided: womens= 3 w.c., 2 lavs.	
Fixtures provided: mens= 2 w.c., 1 urinal, 2 lavs.	
2 unisex restrooms provided	
2 drinking fountains provided	
1 service sink provided	

1 FIRST FLOOR LIFE SAFETY PLAN
1/4" = 1'-0"

prince alexander

850 S. Meridian St., Indianapolis, IN 46225, United States
Phone: 317-261-0070 www.princealexander.biz

Sal's Pizzeria

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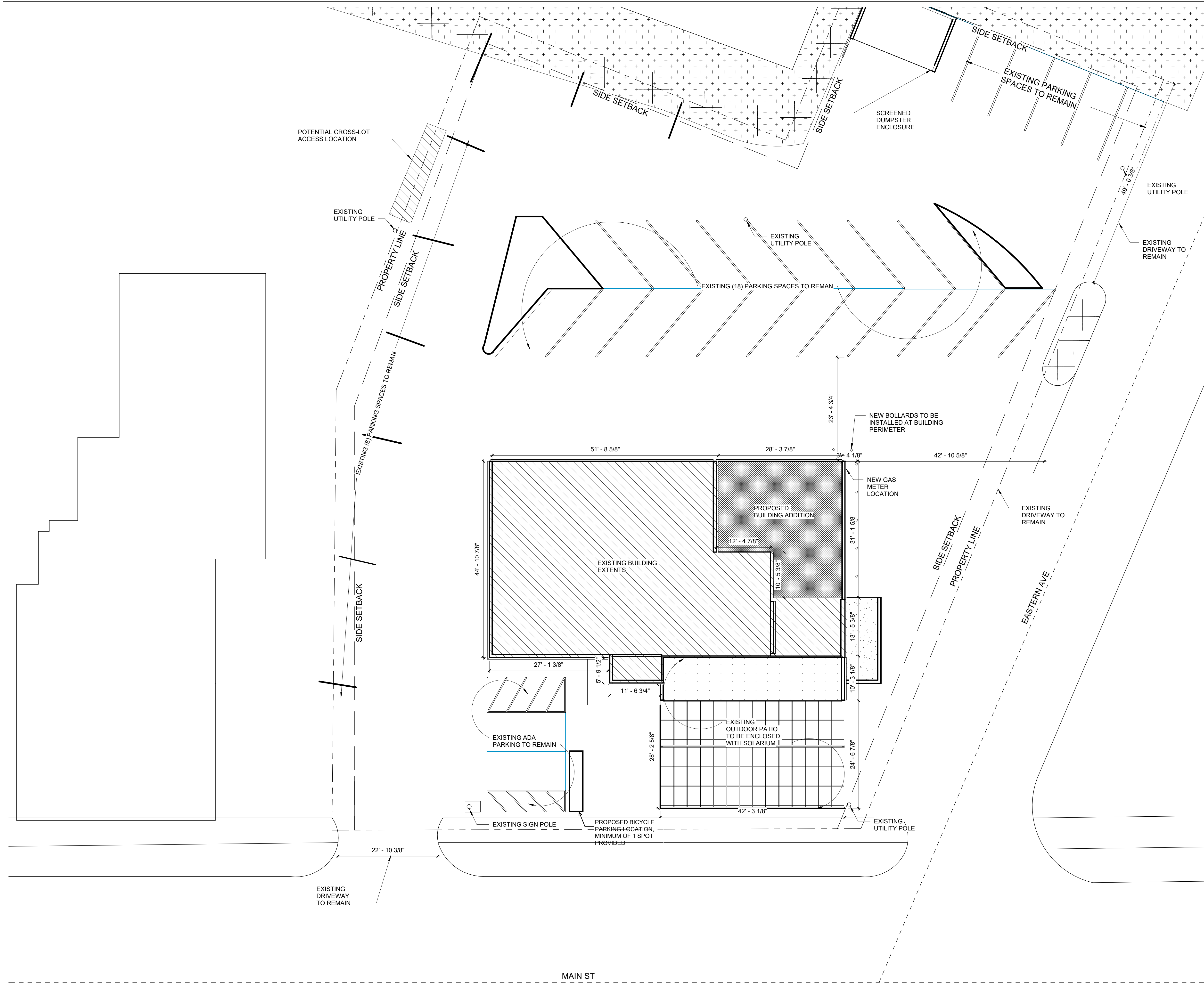
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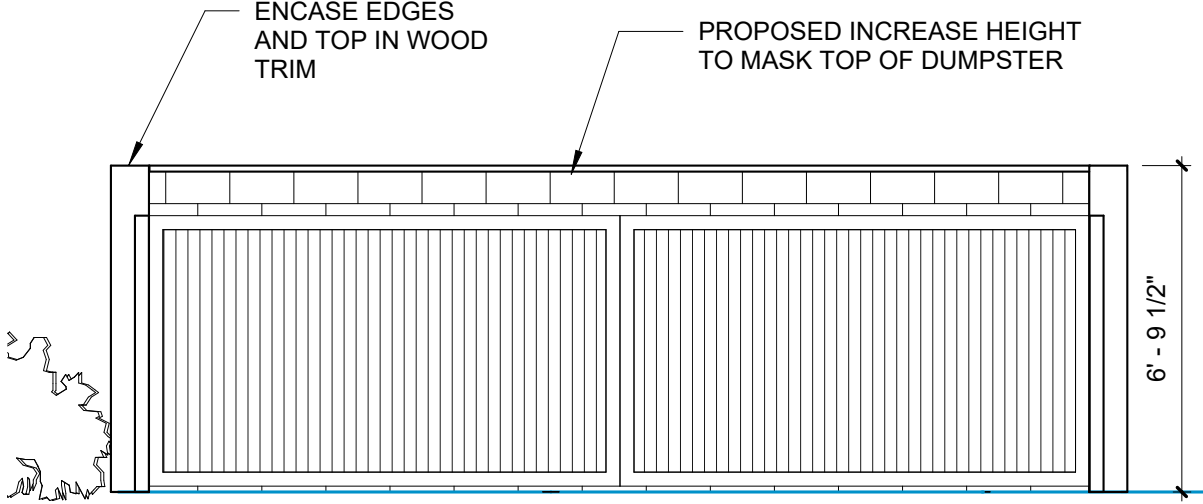
SHEET TITLE
LIFE SAFETY & ADA STANDARDS

DATE
Issue Date

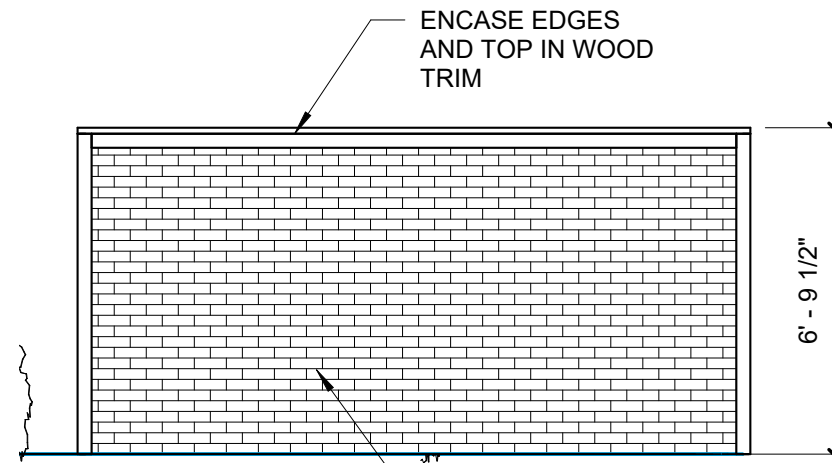
LS101



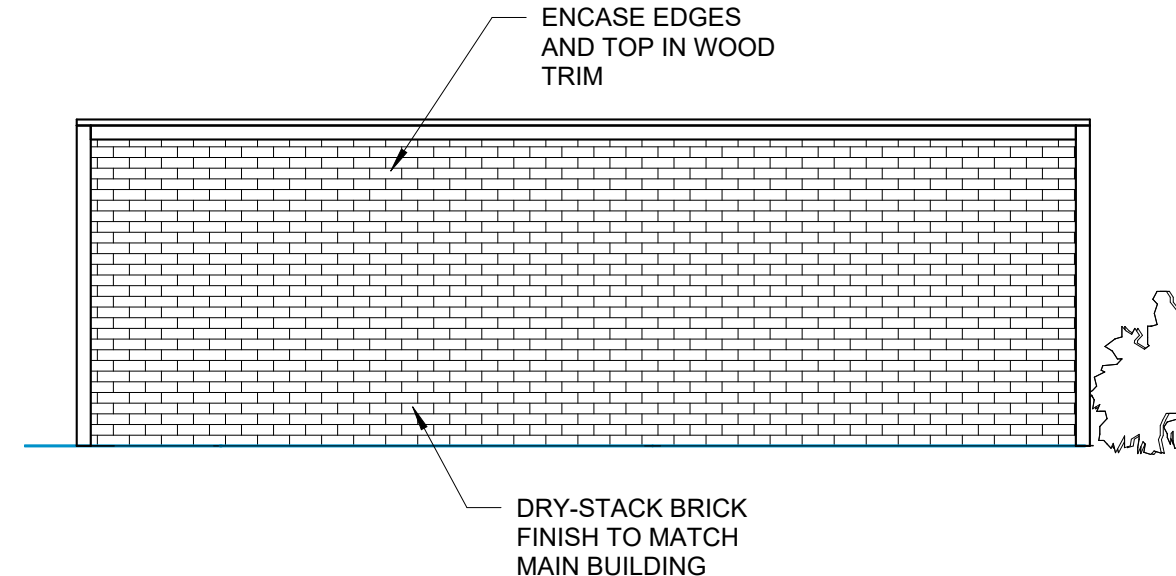
SITE PLAN KEY	
LINE	DESCRIPTION
	PROPERTY LINE
	STREET CENTERLINE
	SET BACK LINE
	SEWAGE LINE



2 DUMPSTER FRONT ELEVATION
1/4" = 1'-0"



3 DUMPSTER SIDE ELEVATION
1/4" = 1'-0"

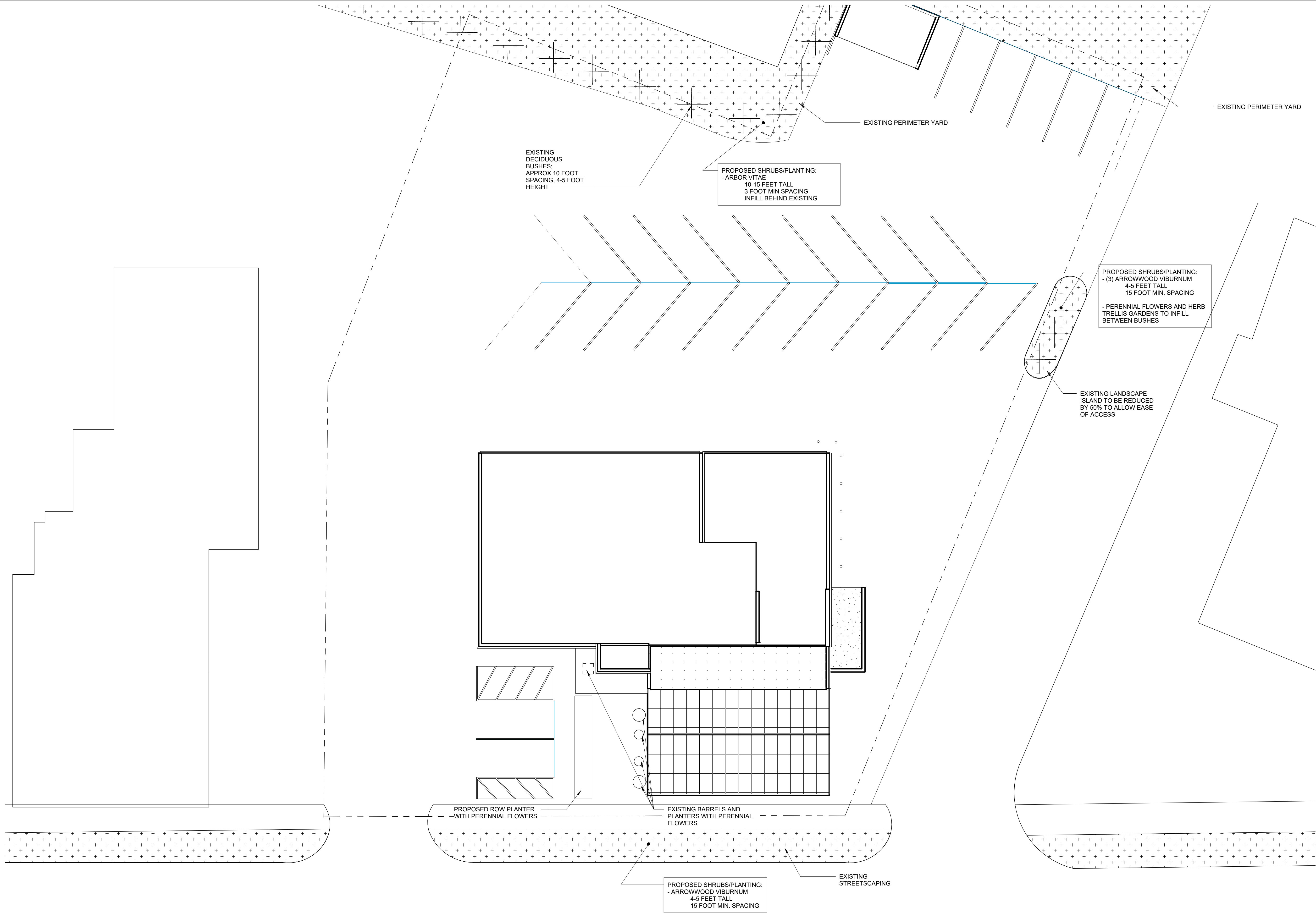


4 DUMPSTER BACK ELEVATION
1/4" = 1'-0"

1 SITE PLAN
3/32" = 1'-0"

No.	Description	Date



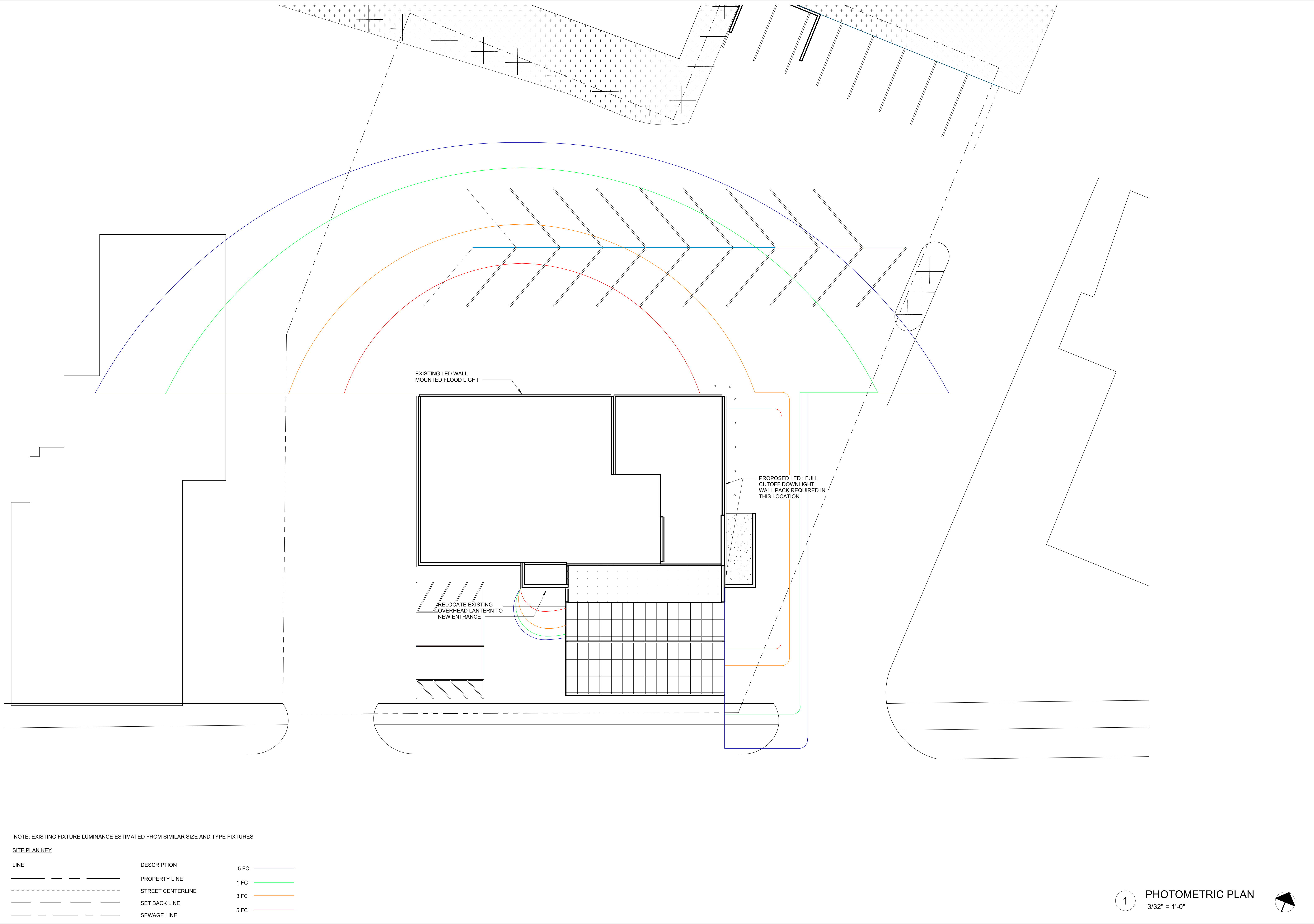


SITE PLAN KEY	
LINE	DESCRIPTION
	PROPERTY LINE
	STREET CENTERLINE
	SET BACK LINE
	SEWAGE LINE



No.	Description	Date





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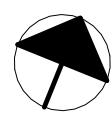
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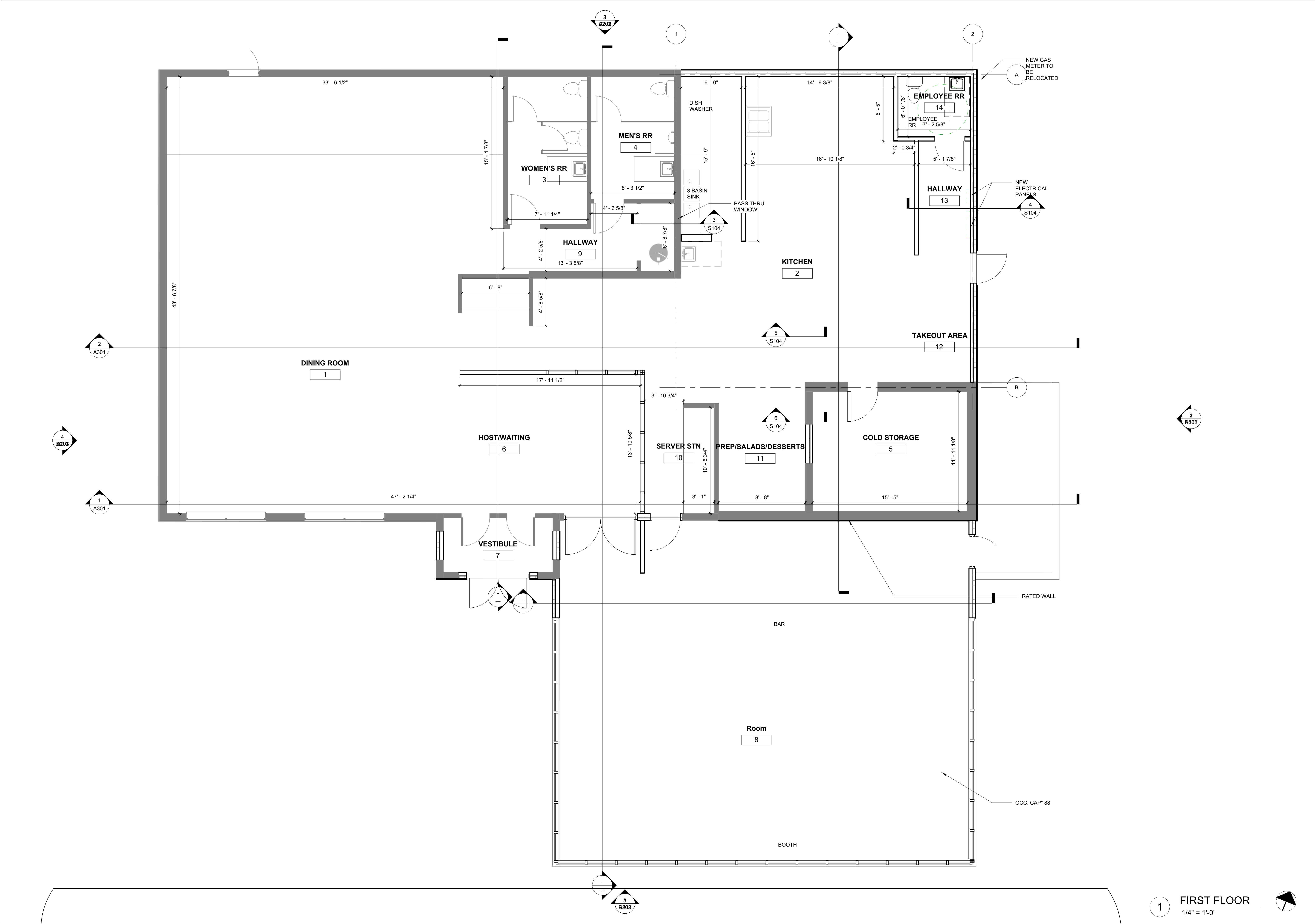


SHEET TITLE
**PHOTOMETRIC
PLAN**

DATE
Issue Date

C103





1 FIRST FLOOR
1/4" = 1'-0"



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prince alexander

850 S. Meridian St., Indianapolis, IN 46225, United States
Phone: 317-261-0070 www.princealexander.biz

PROJECT

Sal's Pizzeria

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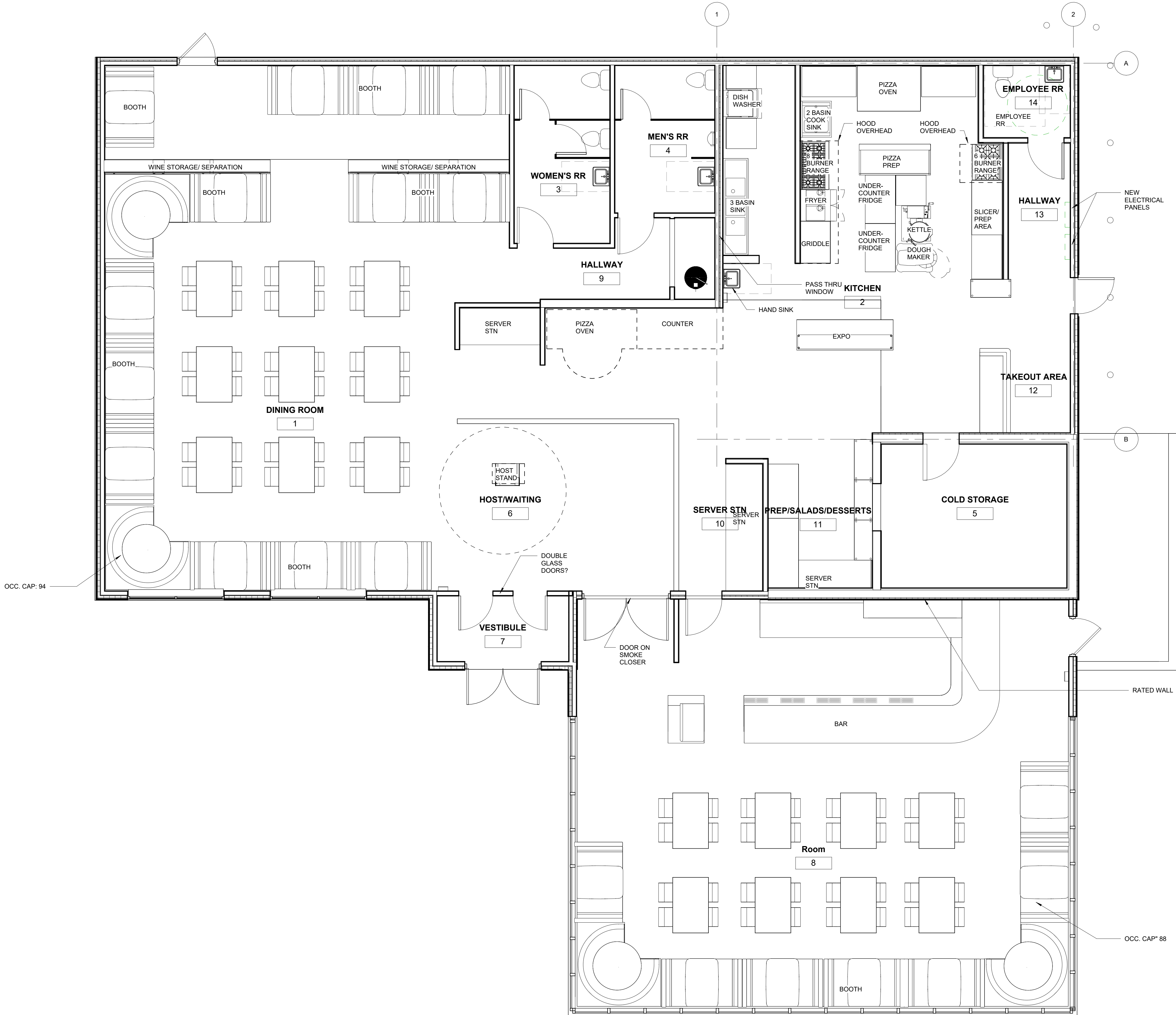
No.	Description	Date



SHEET TITLE
1ST FL.
PLAN

DATE
Issue Date

A101

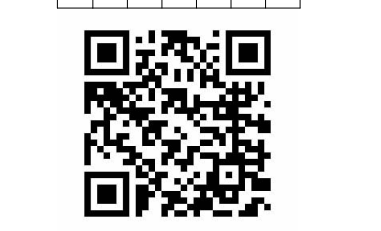


1 FIRST FLOOR EQUIPMENT PLAN
1/4" = 1'-0"

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CONSTRUCTION**

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No.	Description	Date



SHEET TITLE
**1ST FL.
EQUIP
PLAN**

DATE
Issue Date



- GENERAL NOTES:
- THE ARCHITECT/ENGINEER DOES NOT DEFINE THE SCOPE OF INDIVIDUAL TRADES, SUBCONTRACTORS, MATERIAL SUPPLIERS OR VENDORS. THE SHEET NUMBERING SYSTEM USED, WHICH IDENTIFIES DISCIPLINES, IS SOLELY FOR THE ARCHITECT/ENGINEER'S CONVENIENCE, AND IS NOT INTENDED TO DEFINE A SUBCONTRACTORS SCOPE OF WORK REGARDING INDIVIDUAL TRADES. SUBCONTRACTORS, MATERIAL SUPPLIERS, AND VENDORS SCOPE, THESE ASPECTS MAY BE DETAILED, DESCRIBED AND INDICATED AT DIFFERENT LOCATIONS THROUGHOUT THE CONTRACT DOCUMENTS INCLUDING THE PLANS AND SPECIFICATIONS, ADDENDUM AND OTHER WRITTEN COMMUNICATIONS DURING BIDDING AND CONTRACT PREPARATION. NO CONSIDERATION WILL BE GIVEN TO REQUESTS FOR CHANGE ORDERS FOR FAILURE TO OBTAIN AND REVIEW THE COMPLETE SET OF DRAWINGS AND SPECIFICATIONS WHEN PREPARING THE BIDS, QUOTES AND PRICES FOR QUANTITIES AND QUALITY OF WORK.
 - DO NOT SCALE DRAWINGS. REFER DISCREPANCIES AND OR CONFLICTS TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 - PLAN DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, OR TO FACE OF STRUCTURAL SURFACE SUCH AS CONCRETE OR MASONRY WALL, UNLESS OTHERWISE NOTED. MASONRY DIMENSIONS ARE NOMINAL DIMENSIONS.
 - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION ENGINEERING THAT IS THE LOGICAL, EFFICIENT ENGINEERING FOR PROJECT CONSTRUCTION. NO ALLOWANCE OR COMPENSATION WILL BE GRANTED TO A FAILURE TO PROPERLY PLAN ALL COMPONENTS OF PRODUCTION, DELIVERY AND INSTALLATION THAT FACILITATES ONE TIME INSTALLATION COSTS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND COORDINATE INSTALLATION OF PERMANENT AND TEMPORARY COMPONENTS WITH OTHER TRADES, TO AVOID DAMAGE TO FINISHED PRODUCTS OR REDUNDANT INSTALLATION PROCEDURES.
 - CONTRACTOR SHALL INSTALL TEMPORARY FILTERS IN ANY HVAC UNITS AND/OR DUCTS TO PREVENT CONSTRUCTION DEBRIS, DUST OR AIRBORNE PARTICLES RESULTING FROM THE WORK FROM ENTERING THE AIR HANDLING SYSTEM. CONTRACTOR SHALL REPLACE THE FILTERS AS OFTEN AS NECESSARY TO PROTECT AND PREVENT DAMAGE FROM HAPPENING TO THE OWNER'S EQUIPMENT.
 - THE USE OF OPEN FLAME HEATING EQUIPMENT, CUTTING AND WELDING, ACETYLENE TORCHES OR OTHER SIMILAR DEVICES IS PROHIBITED WITHIN THE BUILDING.
 - CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES WITHIN THE WORKSITE FIRE EXTINGUISHERS OF THE TYPES AND OPERATION REQUIRED BY OSHA, THE CITY AND STATE.
 - CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE RESULTING FROM CARELESS HANDLING OR ACCIDENTAL BREAKAGE OF ANY EQUIPMENT OR COMPONENTS. PROVIDE AND INSTALL WOOD BLOCKING, BACKING, FRAMING AND HANGERS IN THE WALLS, CEILINGS AND FLOORS IN ALL AREAS REQUIRED FOR ATTACHMENT OF EQUIPMENT, FIXTURES, HARDWARE, CABINETRY, GRAB BARS AND ACCESSORIES. COORDINATE BLOCKING WITH ALL TRADES AND MEP CONTRACTORS.
 - REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS OF STRUCTURAL IMPROVEMENTS.
 - ALL WOOD BELOW GRADE OR IN CONTACT WITH CONCRETE SHALL BE CCA TREATED.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR THE PROJECT INCLUDING DEMOLITION, RIGHT-OF-WAY AND DRIVEWAY PERMITS AS WELL AS ANY OTHER REQUIRED PERMITS FOR THE WORK OF THEIR SCOPE.
 - CONTRACTOR SHALL SECURE VERIFICATION OF THE LOCATION OF ALL EXISTING UTILITIES WITHIN THE SITE AND ANY UNDERGROUND CONDUITS, CHASES OR SPECIAL SOIL CONDITIONS PRIOR TO BEGINNING EXCAVATION OR DEMOLITION AND/OR CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANIES TO ENSURE PROPER INSTALLATION AND/OR REMOVAL PROCEDURES OR FOR TAPPING UTILITIES. TO PREVENT INTERRUPTION OR DESTRUCTION OF SERVICES, CONTRACTOR SHALL NOTIFY THE OWNER AND ANY OTHER PROPER PARTIES PRIOR TO THE EVENT OF A TEMPORARY SHUT DOWN.
 - CONTRACTOR SHALL PROVIDE PROPER SHORING AND/OR BRACING OF SOILS, STRUCTURES AND AREAS AFFECTED BY DEMOLITION. SHOP DRAWINGS OF SHORING AND BRACING SHALL BE PROVIDED BY THE CONTRACTOR. NO WORK IS TO OCCUR ON EXISTING ROOF SURFACES EXCEPT AS NOTED ON DRAWINGS.
 - SOUND ATTENUATION BLANKETS (1" THICK TO FIT SNUG BETWEEN STUDS) SHALL BE PROVIDED IN INTERIOR WALLS IDENTIFIED IN WALL TYPES AND ON SHEET A.
 - PROVIDE 4" WALL SPACE BETWEEN FACE OF WALL AND OUTSIDE EDGE OF DOOR FRAMES AT ALL INTERIOR DOOR LOCATIONS UNLESS OTHERWISE DIMENSIONED.
 - EACH CONTRACTOR, SUBCONTRACTOR, SUPPLIER OR OTHER SERVICE PROVIDER SHALL BECOME COMPLETELY FAMILIAR WITH THE FULL SET OF CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, ADDENDUM, SHOP DRAWINGS AND OTHER ASPECTS OF THE PROJECT. EVEN IN THOSE AREAS OF WORK TO BE PROVIDED BY OTHERS, THIS FAMILIARIZATION INCLUDES FULL AND COMPLETE UNDERSTANDING OF ALL SHEETS IN THE DRAWINGS AND ALL PORTIONS OF THE SPECIFICATIONS. FAILURE TO DO SO BY THE CONTRACTORS, SUBCONTRACTORS, SUPPLIERS OR OTHER SERVICE PROVIDERS TO BECOME COMPLETELY FAMILIAR WITH THE DOCUMENTS AND COORDINATE OF ALL ASPECTS OF THE WORK SHALL NOT RELIEVE THOSE CONTRACTORS AND SUPPLIERS TO PROVIDE THE MATERIALS, ASSEMBLIES, LABOR OR SERVICES INDICATED OR REFERRED TO IN THE CONTRACT DOCUMENTS.
 - THE CONSTRUCTION DOCUMENTS ARE TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION, MATERIAL, AND WORKMANSHIP THROUGHOUT. NOT EVERY PIECE OF MATERIAL AND ITEM OF CONSTRUCTION IS SPECIFICALLY DRAWN, AS THE DRAWINGS ARE INTENDED TO BE A REPRESENTATION OF THE WORK. THE CONTRACTOR IS ASSUMING RESPONSIBILITY FOR THE WORK INDICATED AND INTENDED AND SHALL COMPLY WITH THE SPIRIT AND INTENT OF THE WHICH THEY WERE WRITTEN OR DRAWN. EACH CONTRACTOR SHALL REVIEW, IN ADVANCE, ALL PORTIONS OF THE WORK TO VERIFY THAT THEIR WORK WILL NOT PROHIBIT COMPLETION OF THE PROJECT AS INTENDED IN THESE DOCUMENTS. ANY CONFLICT OR QUESTIONS SHALL BE PROMPTLY REFERRED TO THE ARCHITECT FOR RESOLUTION. EACH CONTRACTOR SHALL VERIFY, IN THE FIELD, ALL EXISTING APPLICABLE CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWINGS AND AS IT RELATES TO THEIR PORTION OF THE WORK. THE CONTRACTOR SHALL COORDINATE THEIR SHOP DRAWINGS AND FABRICATION DRAWINGS WITH SAID FIELD DIMENSIONS. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF COMMENCEMENT OF ANY WORK AFFECTED BY, OR RELATED TO, SUCH DISCREPANCY. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION COSTS ASSOCIATED WITH, OR CAUSED BY FAILURE TO COMPLY WITH THESE REQUIREMENTS.
 - NOTHING SET FORTH IN THESE DRAWINGS SHALL RELEASE ANY CONTRACTOR FROM RESPONSIBILITY TO PROVIDE APPROPRIATE QUANTITIES, FIELD MEASUREMENTS, DIMENSIONAL STABILITY, INSTALLATION, ANCHORAGE AND COORDINATION WITH OTHER TRADES. WAIVE THE CONTRACTORS RESPONSIBILITY TO IDENTIFY AND RESOLVE DEVIATIONS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, OR WAIVE THE CONTRACTORS RESPONSIBILITY TO ALERT THE OWNER'S TECHNICAL REPRESENTATIVE AND THE ARCHITECT TO SAID DISCREPANCIES.
 - THE CONTRACTOR SHALL PROTECT ANY COMPLETED WORK OR STORED MATERIALS WHETHER NEW OR EXISTING CONDITIONS, FROM DAMAGE THAT COULD OCCUR DURING CONSTRUCTION, INCLUDING DEMOLITION, DUST, WATER, OVERSPRAY, ETC. DAMAGE TO EXISTING AND/OR FINISHED WORK, INCLUDING MATERIAL, FINISHES, EQUIPMENT, FIXTURES, AND OTHER WORK, IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY DAMAGED COMPONENTS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL PROTECT FROM PAINT, ALL SURFACES NOT INTENDED TO RECEIVE PAINT OR OTHER COLORS OF PAINT. THESE SURFACES SHALL INCLUDE BUT ARE NOT LIMITED TO: FLOORS, CEILINGS, DOOR HARDWARE, ALUMINUM FRAMES, GLASS TILE OR ANY OTHER SIMILAR NATURALLY FINISHED SURFACE OR EXPOSED MATERIAL INTENDED AS THE FINISHED SURFACE. THE CONTRACTOR SHALL CLEAN OR REPLACE ANY SUCH SURFACE DECEASED OR DAMAGED AT CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL PROVIDE PROPERLY SELECTED SEALANTS AT ALL DISSIMILAR MATERIAL ON THE INTERIOR AND EXTERIOR OF THE BUILDING AND INSURE TIGHT JOINTS IN SAID MATERIALS ALL AROUND THEIR PERIMETERS. EACH CONTRACTOR IS RESPONSIBLE FOR THEIR RESPECTIVE CUTTING AND PATCHING, AND SHALL IMMEDIATELY NOTIFY THE SITE SUPERVISOR OF CUTTING OF OTHERS WORK SO THAT IT CAN BE IMMEDIATELY REPAIRED AT THE CONTRACTOR'S EXPENSE.
 - IF HAZARDOUS MATERIALS ARE UNCOVERED AT ANY TIME DURING THE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY. ALL HAZARDOUS MATERIAL SHALL BE REMOVED BY THE OWNER AT THE OWNER'S EXPENSE UNDER A SEPARATE CONTRACT.
 - THE CONTRACTOR SHALL REMOVE ALL RUBBISH, DEBRIS AND WASTE MATERIALS ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OF CLEANLINESS ON THE JOBSITE TO PREVENT ANY DIRT OR DEBRIS FROM AFFECTING SAFETY, SIGHTLINES AND COMPLETION OF THE WORK.
 - SITE SECURITY IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT UNAUTHORIZED VISITORS FROM ENTERING THE SITE WITHOUT PROPER SAFETY PROTECTION. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND FABRICATION DRAWINGS AS REQUIRED TO SECURE APPROVALS FOR FABRICATED ELEMENTS OF THE BUILDING, AND SHALL PROVIDE CUT SHEETS AND/OR SAMPLES OF ALL FIXTURES AND EQUIPMENT AND FINISHES, PRIOR TO ORDERING OR FABRICATION OF THE SUBJECT MATERIAL, OBJECTS OR PRODUCTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND SHALL CONDUCT WHATEVER AND ALL NECESSARY PROCEDURES, CLASSES, WARNINGS AND DIRECTIVES TO ALL PERSONS ENTERING THE SITE AT ANY TIME.

FINISH SCHEDULE			
MARK	TYPE	DESCRIPTION	
PT-1	PAINTED FINISH	GLOSSY GREEN EXTERIOR PAINT OVER COMPOSITE OR WOOD SURFACE TO MATCH EXISTING	
BRK-1	DRY-STACK THIN BRICK	GLOSSY RED PAINTED BRICK FINISH TO MATCH EXISTING	
BRK-2	EXISTING FADED BRICK	ACID WASHED DARK BRICK TO MATCH EXISTING	
EIFS-1	EXTERIOR INSULATED FINISH SYSTEM	PALE YELLOW, ROUGH FINISH PAINTED EIFS	
AL-1	ALUMINUM FINISH MEMBERS	DARK ALUMINUM FINISH TO BE SPECIFIED BY OWNER AND SOLARIUM MFCTR	
GL-1	STOREFRONT GLAZING	DARK GLAZING TO BE SPECIFIED BY OWNER AND SOLARIUM MFCTR	

princealexander

PROJECT

Sal's Pizzeria

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Project Status

NOT FOR CONSTRUCTION

REVISIONS - SCAN FOR LATEST

No.	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

DATE

Issue Date

A201

850 S. Meridian St., Indianapolis, IN 46225, United States

Phone: 317-261-0070

www.princealexander.biz

PRINCE ALEXANDER, LLC

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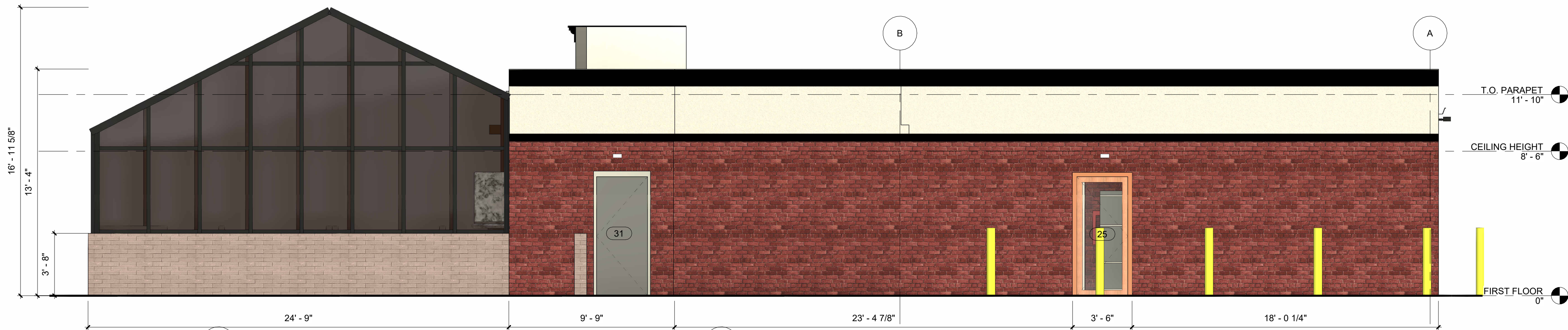
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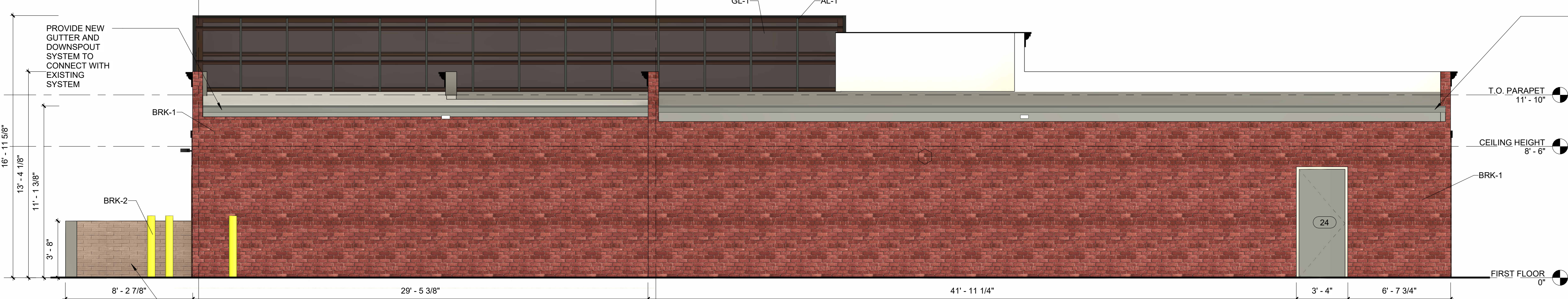
SOUTH FACADE MATERIAL MATRIX		
MATERIAL	COVERAGE	PERCENTAGE
BRK-1	244 SQ. FT.	19%
BRK-2	155 SQ. FT.	12%
EIF-1	80 SQ. FT.	6%
EIF-2	63 SQ. FT.	5%
PT-1	54 SQ. FT.	4%
SOLARIUM	559 SQ. FT.	44%
DOORS	45 SQ. FT.	4%
WINDOWS	66 SQ. FT.	5%
TOTAL	1266 SQ. FT.	

1 RENDERED SOUTH ELEVATION
1/4" = 1'-0"



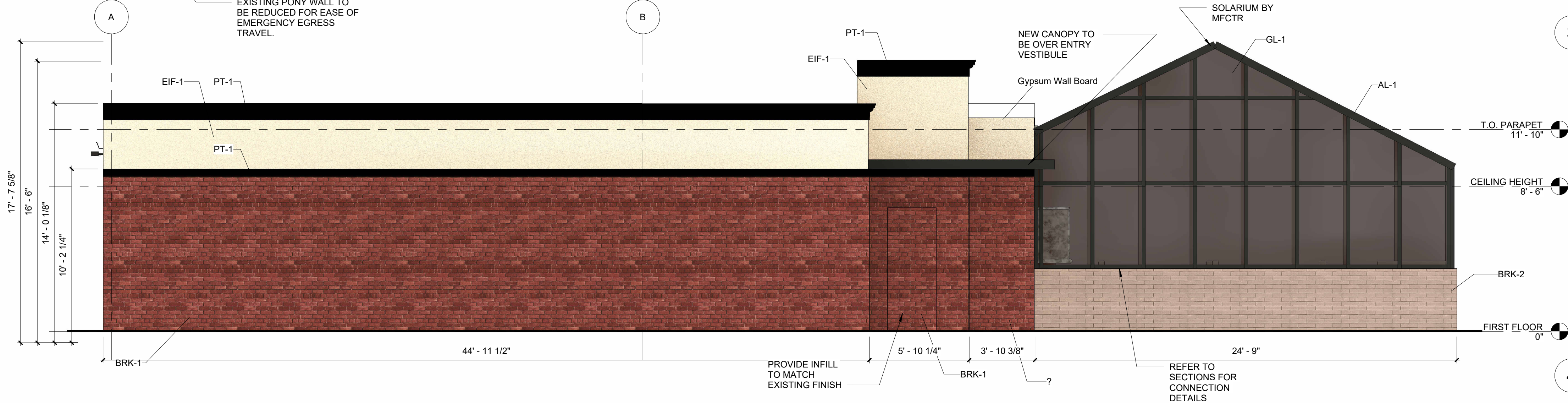
EAST FACADE MATERIAL MATRIX		
MATERIAL	COVERAGE	PERCENTAGE
BRK-1	447 SQ. FT.	41%
BRK-2	91 SQ. FT.	8%
EIF-1	157 SQ. FT.	14%
EIF-2		
PT-1	78 SQ. FT.	7%
SOLARIUM	251 SQ. FT.	23%
DOORS	50 SQ. FT.	5%
WINDOWS		
TOTAL	1087 SQ. FT.	

2 RENDERED EAST ELEVATION
1/4" = 1'-0"



NORTH FACADE MATERIAL MATRIX		
MATERIAL	COVERAGE	PERCENTAGE
BRK-1	881 SQ. FT.	97%
BRK-2		
EIF-1		
EIF-2		
PT-1		
SOLARIUM		
DOORS	24 SQ. FT.	3%
WINDOWS		
TOTAL	905 SQ. FT.	

3 RENDERED NORTH ELEVATION
1/4" = 1'-0"



WEST FACADE MATERIAL MATRIX		
MATERIAL	COVERAGE	PERCENTAGE
BRK-1	495 SQ. FT.	46%
BRK-2	91 SQ. FT.	8%
EIF-1	172 SQ. FT.	16%
EIF-2		
PT-1	73 SQ. FT.	7%
SOLARIUM	251 SQ. FT.	23%
DOORS		
WINDOWS		
TOTAL	1087 SQ. FT.	

4 RENDERED WEST ELEVATION
1/4" = 1'-0"

No.	Date	Description

