

# PLAINFIELD FIRE STATION 124

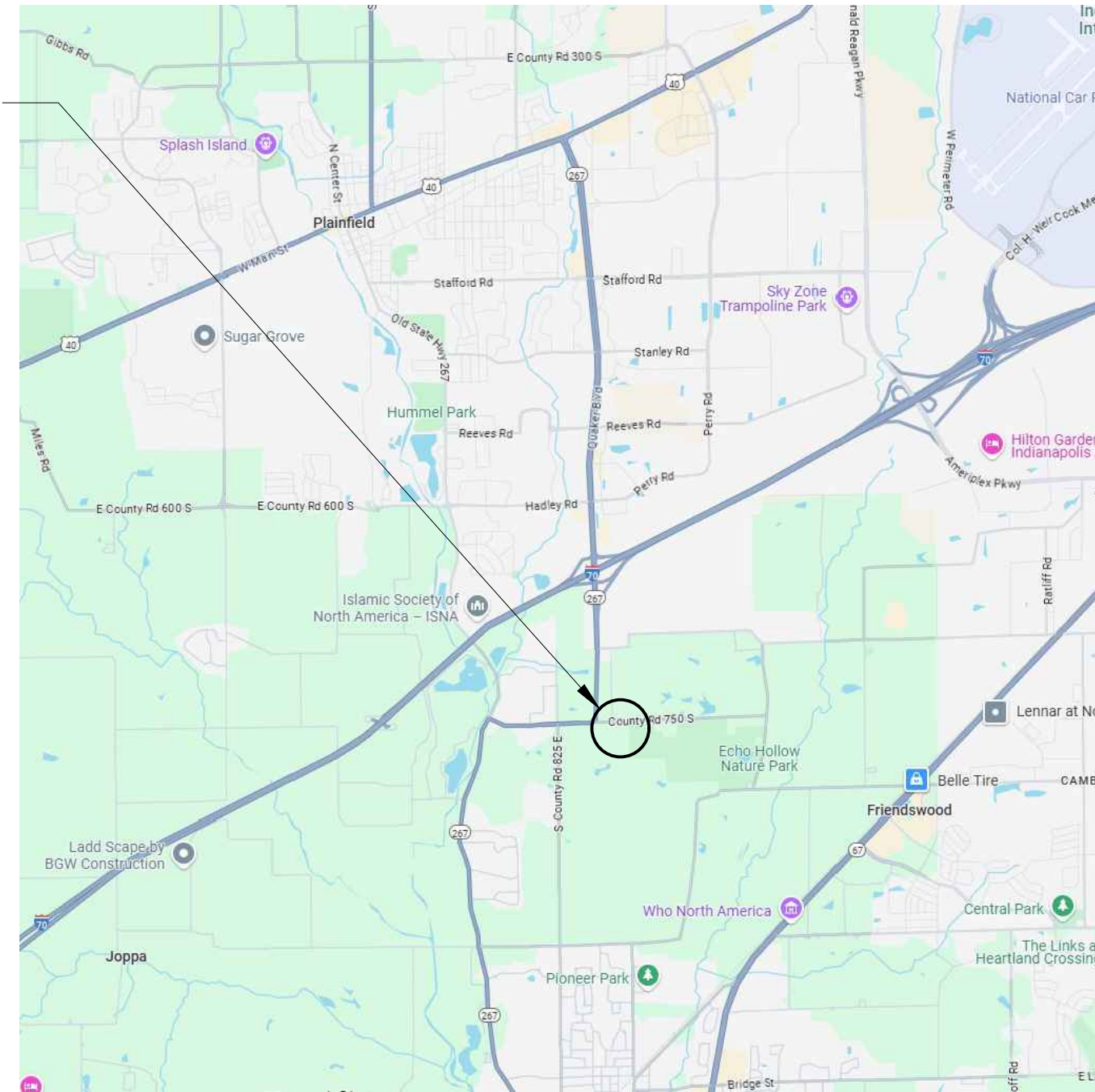
SE 1/4, SEC. 13-T14N-R1E, HENDRICKS COUNTY, GUILFORD TOWNSHIP, PLAINFIELD, INDIANA

PROJECT ADDRESS: CR 750 SOUTH

ZONED:

PLANS PREPARED FOR:  
GM DEVELOPMENT  
5140 E. WASHINGTON STREET, APT.1  
INDIANAPOLIS, IN 46219  
317-210-0508  
CONTACT: GREG MARTZ  
EMAIL: greg@gm-development.com

PROJECT LOCATION

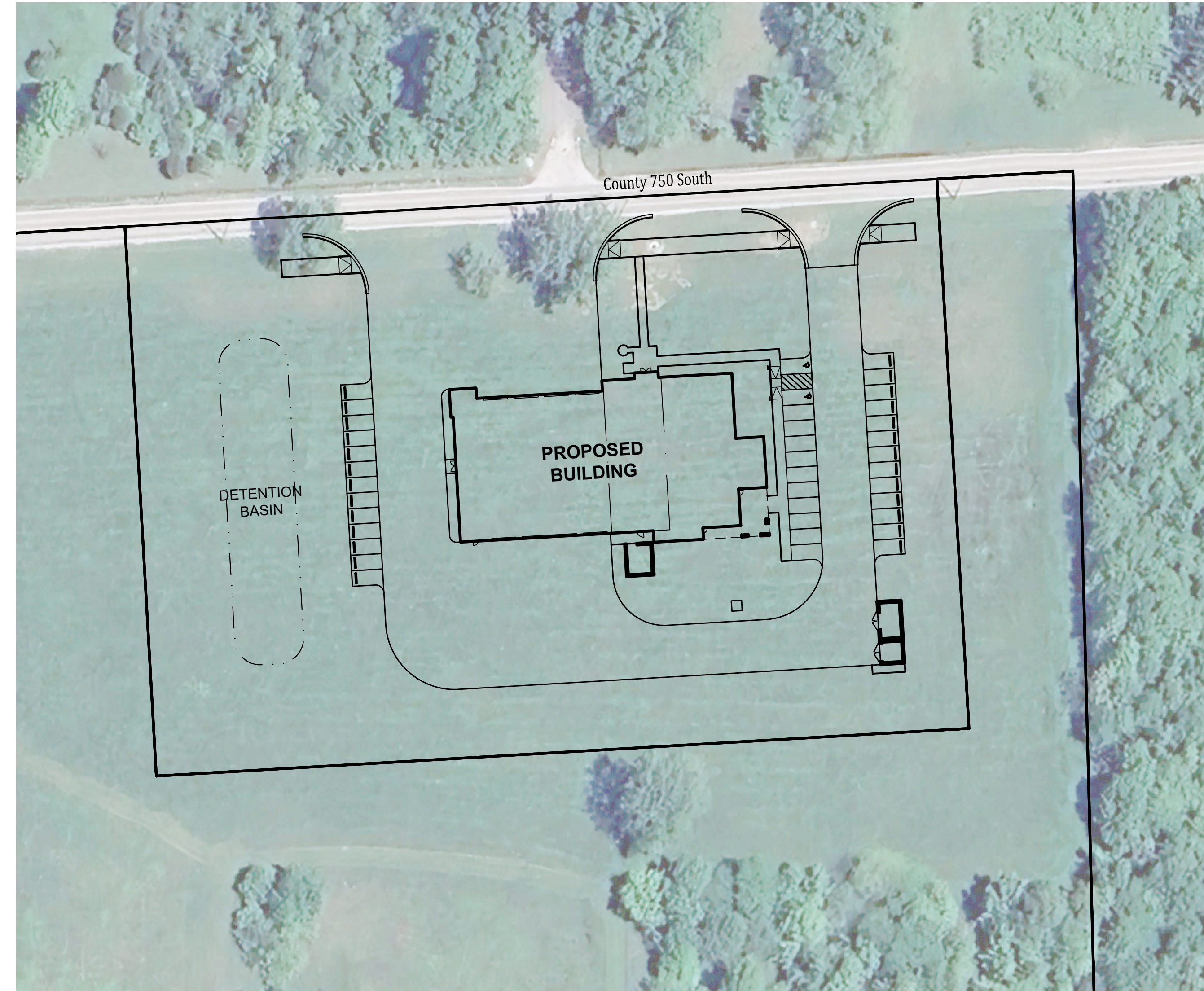


VICINITY MAP  
NO SCALE

PROJECT LOCATION



LOCATION MAP  
NO SCALE



SITE MAP

SCALE: 1" = 50'

**OPERATING AUTHORITIES**

<b>GAS</b> CenterPoint Energy 1995 E. Main Street Danville, IN 46122 317-718-3617	<b>CABLE TV / FIBER OPTIC</b> Charter Communications 1392 Trade Centre Traverse City, MI 49696 231-941-3819	<b>WATER</b> Plainfield Public Works Dept. 986 S. Center Street Plainfield, IN 46168 317-839-9490
<b>ELECTRIC</b> Duke Energy 5095 E. Main Street P.O. Box 29 Danville, IN 46122 317-745-4481	<b>FIBER OPTIC</b> Everstream, LLC 342 Massachusetts Ave, Suite 203 Indianapolis, IN 46237	<b>TELEPHONE</b> AT&T 240 N. Meridian St. Indianapolis, IN 46207 317-722-2299
<b>SANITARY</b> Plainfield Public Works Dept. 986 S. Center Street Plainfield, IN 46168 317-839-3490	<b>STORM</b> Plainfield Public Works Dept. 986 S. Center Street Plainfield, IN 46168 317-839-9490	<b>FIRE DEPARTMENT</b> Plainfield Fire Territory 591 Moon Road Plainfield, IN 46168 317-839-6939
<b>SCHOOL DISTRICT</b> Plainfield Community School Corporation 985 Longfellow Lane Plainfield, IN 46168 317-839-2578		

PLANS PREPARED BY:



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CONTACT: RYAN LINDLEY  
EMAIL: rlindley@banning-eng.com

SHEET INDEX	
SHEET NO	DESCRIPTION
C100	TITLE SHEET
C101	EXISTING TOPOGRAPHY
C102	SITE LAYOUT PLAN
C110	GRADING AND DRAINAGE PLAN
C300	UTILITY PLAN
L100	LANDSCAPE PLAN
	PHOTOMETRIC PLAN

REVISIONS		
NUMBER	DESCRIPTION	DATE
	REMOVED FRONT PARKING	08-08-2025

**NOT FOR CONSTRUCTION**

CERTIFIED BY: \_\_\_\_\_

Date: 07-25-2025  
Project No: 24115  
Sheet No:

C100



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- LEGEND**  
**EXISTING**
- T UNDERGROUND TELEPHONE LINE
  - UFO UNDERGROUND FIBER OPTIC LINE
  - CATV UNDERGROUND CABLE TV LINE
  - E UNDERGROUND ELECTRIC LINE
  - OHE OVERHEAD ELECTRIC LINE
  - OHU OVERHEAD UTILITY LINE
  - W WATER LINE
  - G GAS LINE
  - Tree/Bush Line
  - ST STORM SEWER PIPE
  - S SANITARY SEWER PIPE
  - GUY WIRE
  - FLOWLINE
  - WATER VALVE
  - GUY ANCHOR
  - UTILITY POLE
  - GAS VALVE
  - POLE/POST
  - SIGN
  - STORM SEWER STRUCTURE
  - SANITARY SEWER STRUCTURE
  - TELEPHONE STRUCTURE
  - UTILITY VAULT
  - DECIDUOUS TREE

**SITE BENCHMARKS**

**TBM #50**  
Benchtie in the North Face of power pole.  
30' Southwest of a manhole.  
140' Southwest of the intersection of State Road 267 & E County Road 750 S.  
Elevation = 763.15' (NAVD 88)

**TBM #51**  
Benchtie in the South face of power pole.  
26' Northeast of Control Point #2.  
85' Southwest from the West end of 12" CMP pipe.  
830' Southeast of the intersection of State Road 267 & E County Road 750 S.  
Elevation = 771.45' (NAVD 88)

**NOTES:**  
The elevations shown hereon were derived from GPS observation using NAVD 88 Datum from the VRS (Virtual Reference Station) Control Network established by Seler Company. The elevations were established for this network by continuously streaming data through fixed reference stations (CORS)-Continuously Operating Reference Station) distributed throughout the network area to a control server running Trimble GPSnet and RTKNet software. Through previous survey work, the elevations derived from GPS observations are relatively accurate to published benchmarks (usually within +/-0.2 feet). TBM #50 was used as the benchmark and levels were run through the temporary benchmarks shown below.

This drawing is not intended to be represented as a retracement or original boundary survey, a route survey, or a Surveyor Location Report.

**Notes:**  
Per 865 IAC 1-12-12 this drawing is not intended to be represented as a retracement or original boundary survey, a route survey, or a Surveyor Location Report.

The horizontal data shown on this exhibit is based upon standard radial survey techniques and by global positioning equipment, utilizing the VRS Network, a real-time kinematic (RTK) correction service over the internet. The coordinate values shown are in Indiana State Plane West Zone on the 1983 North American Datum.

The topographic information shown hereon was obtained in the field during March 2025. The topographic data was gathered using a robotic total station and data collector applying standard radial surveying techniques and by global positioning equipment, utilizing the VRS Network, a real-time kinematic (RTK) correction service over the internet.

Elevations on hard surfaces or structures are accurate to within 0.05 feet, elevations on natural surfaces are accurate to within 0.15 feet. The contours shown hereon were plotted based upon interpolation of spot elevations and other topographic information and are accurate to within one half of the contour interval.

This survey reflects above ground indications of utilities and information available from utility companies. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated, although they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities.

Underground utilities shown per Indiana 811 ticket numbers 2503254922, 2503254961.

**FLOOD STATEMENT**  
The surveyed property appears to be located in Zone "X" (areas determined to be outside the 0.2% annual chance floodplain) per the Flood Insurance Rate Map (FIRM) for Hendricks County, Indiana, community panel 18063C0288D, revised date 9/25/2009, Federal Emergency Management Agency, National Flood Insurance Program. Per said FIRM, this parcel does not lie within the boundary of a Special Flood Hazard Area. The limits of the zone is shown on the survey plat as scaled from said FIRM. The accuracy of any flood hazard statement is subject to map scale uncertainty.

CONTROL POINT TABLE			
POINT #	NORTHING	EASTING	ELEVATION
1	1605036.693	3153598.891	764.64
2	1605090.445	3154271.956	769.83
3	1605115.665	3153580.245	765.11

Date	Revisions
08-08-2025	REMOVED FRONT PARKING

Designed: S.J.H.R.E.L.  
Drawn: S.J.H.  
Checked: R.R.L.  
Scale: 1"=30'  
Date: 07-25-2025

**EXISTING TOPOGRAPHY**  
**PLAINFIELD FIRE STATION 124**  
**GUILFORD TOWNSHIP**  
**PLAINFIELD, INDIANA**

**NOT FOR CONSTRUCTION**

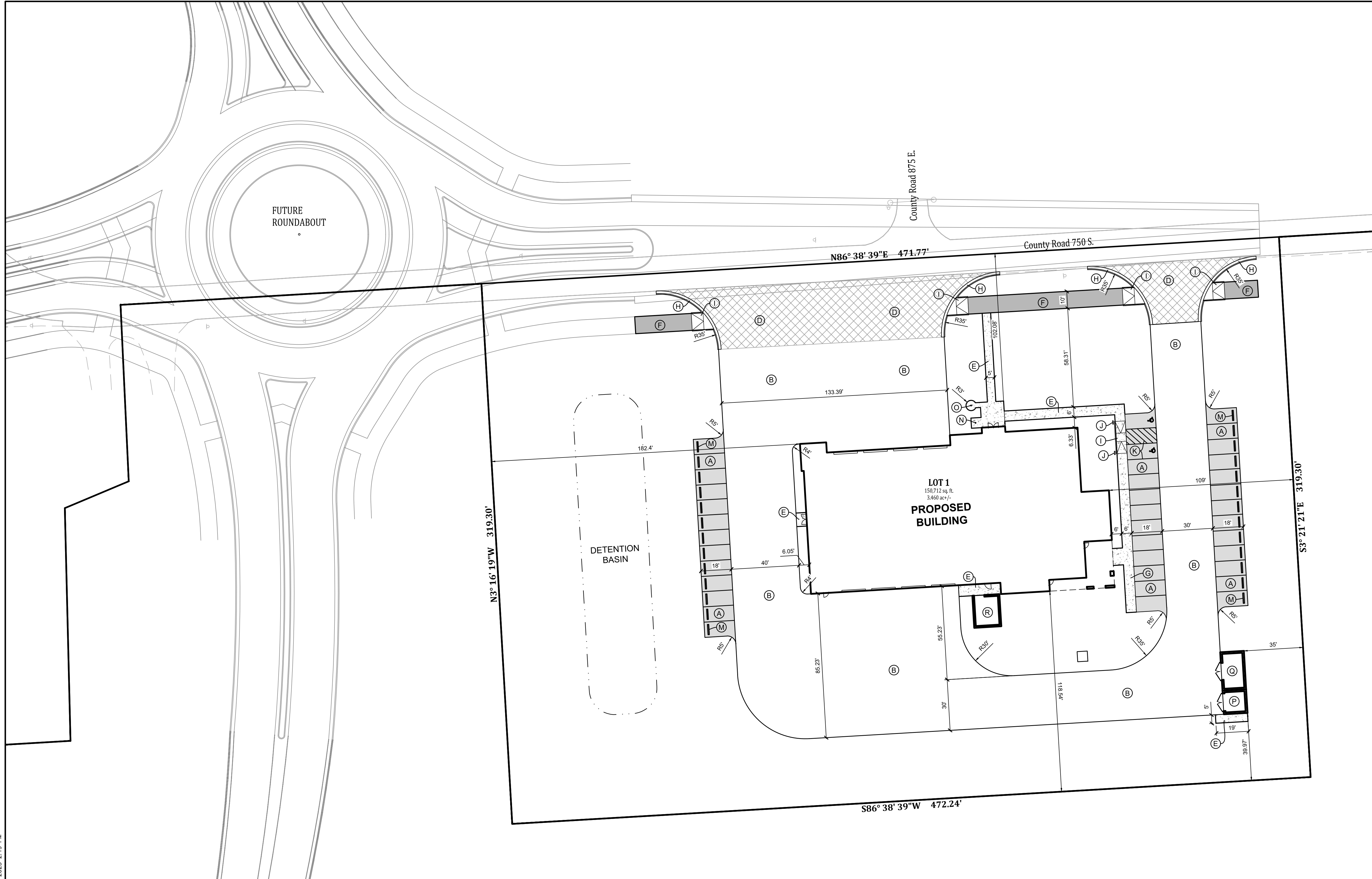
**BANNING ENGINEERING**  
653 COLUMBIA ROAD, SUITE #101  
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Project No: 24115  
Sheet No:



C101

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Block A  
54,525 ac +/-

**FIRE STATION DESCRIPTION**

Part of the west half of the southeast quarter of Section 13, Township 14 North, Range 1 East of the Second Principal Meridian in Hendricks County, Indiana being described as follows:  
 Commencing at the northeast corner of said west half; thence South 86 degrees 38 minutes 39 seconds West along the north line of said west half 443.10 feet to the POINT OF BEGINNING; thence South 03 degrees 21 minutes 21 seconds East 319.30 feet; thence South 86 degrees 38 minutes 39 seconds West 472.24 feet; thence North 03 degrees 16 minutes 19 seconds West 319.30 feet to the north line of said west half; thence North 86 degrees 38 minutes 39 seconds East along said north line 471.77 feet to the POINT OF BEGINNING, containing 3.460 acres, more or less.

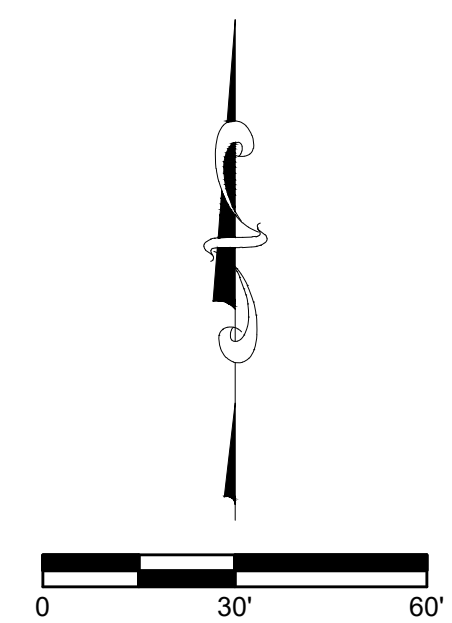
**GENERAL NOTES**

- All work shall be performed in conformance with the Subdivision Control Ordinance of the Town of Plainfield and all other ordinances which pertain to this type of work.
- No changes in or departure from the plans or specifications shall be made without prior approval, in writing, by the Engineer.
- The Contractor shall be responsible for obtaining all Federal, State, County and Town of Plainfield permits, or any other permits required.
- Before construction begins, the Contractor shall field verify the location of all utilities shown on the plans, and contact all utility companies to locate all mains, conduits, service lines, etc., in the construction area, and shall protect all such utilities during construction.
- Before construction begins, the Contractor shall notify the Owners, and/or the Owner's Engineer, so that an inspector may be present.
- It shall be the responsibility of the Contractor to maintain quality control throughout the project; failure to do so may result in removal and replacement of the defective work. It is recommended that the Owner have a qualified inspector on the job site at all times during construction.
- The Engineer shall be notified of all field tile located on the site during construction. All such field tile shall be incorporated into the storm sewer system so that it remains in working condition.
- Plans shall be bid as a working system. Any errors or omissions shall be brought to the attention of the Engineer prior to construction. In the event of the Contractor's failing to give such notice, they shall be held responsible for the results of any such errors or omissions, and the cost of rectifying the same.
- Structural fill shall be compacted in maximum 6" lifts to 95% standard proctor.
- Liability Insurance Policy shall be furnished to the Owner before any work is started.
- The contractor shall notify the Town of Plainfield at least 72 hours prior to any bonded or bank credit letter site improvements are installed. A pre-construction meeting shall be set up with the Town of Plainfield, Contractor, engineer & owner prior to any construction.
- All accessible pathways, sidewalks and drive crossings shall not exceed 5% running slope and 2% cross slope or the latest requirements of the Americans with Disabilities Act (ADA). Handicap ramps shall not exceed 1/12 slope and 2% cross slope or the latest requirements of the Americans with Disabilities Act (ADA).
- These plans shall be used in conjunction with Town of Plainfield standards, refer to sheet 1 of 29 for "directions for use."
- Refer to general note #11 on sheet 1 of 29 of the Town of Plainfield standards for "Land Disturbing Mitigation Options".

**SITE PLAN NOTES**

- (A) LIGHT DUTY ASPHALT
- (B) CONCRETE PAVEMENT
- (C) NOT USED
- (D) COMMERCIAL DRIVE PRIVATE DRIVE, SEE DETAIL DS-R01 ON SHEET 04 OF 29 OF THE TOWN OF PLAINFIELD STANDARDS
- (E) CONCRETE SIDEWALK, SEE DETAIL ON SHEET 03 OF 29 OF THE TOWN OF PLAINFIELD STANDARDS
- (F) TRAIL, SEE DETAIL DS-G06 ON SHEET 08 OF 29 OF THE TOWN OF PLAINFIELD STANDARDS
- (G) INTEGRAL CURB / WALK
- (H) 2' COMBINED CURB & GUTTER, SEE DETAIL ON SHEET 03 OF 29 ON THE TOWN OF PLAINFIELD STANDARDS
- (I) ACCESSIBLE RAMP
- (J) ACCESSIBLE PARKING SIGN
- (K) 4" PAINTED BLUE PAVEMENT MARKING
- (L) PAINTED BLUE ACCESSIBLE SYMBOL
- (M) NOT USED
- (N) PARKING BUMPER
- (O) BICYCLE RACK
- (P) FLAG POLE
- (Q) TRASH ENCLOSURE, SEE ARCHITECT PLANS
- (R) GENERATOR ENCLOSURE
- (S) MECHANICAL YARD ENCLOSURE

DIMENSIONS ARE TO THE INSIDE FACE OF CURB UNLESS NOTED OTHERWISE.  
 PARKING SPACES ARE 9.0' WIDE UNLESS NOTED OTHERWISE.  
 PAINT STRIPING FOR CAR PARKING ARE 4" PAINTED WHITE UNLESS NOTED OTHERWISE.



Date	Revisions
08-08-2025	REMOVED FRONT PARKING

Designed:	Drawn:	Checked:	Scale:	Date:
SJH/REL	SJH	RRL	1"=30'	07-25-2025

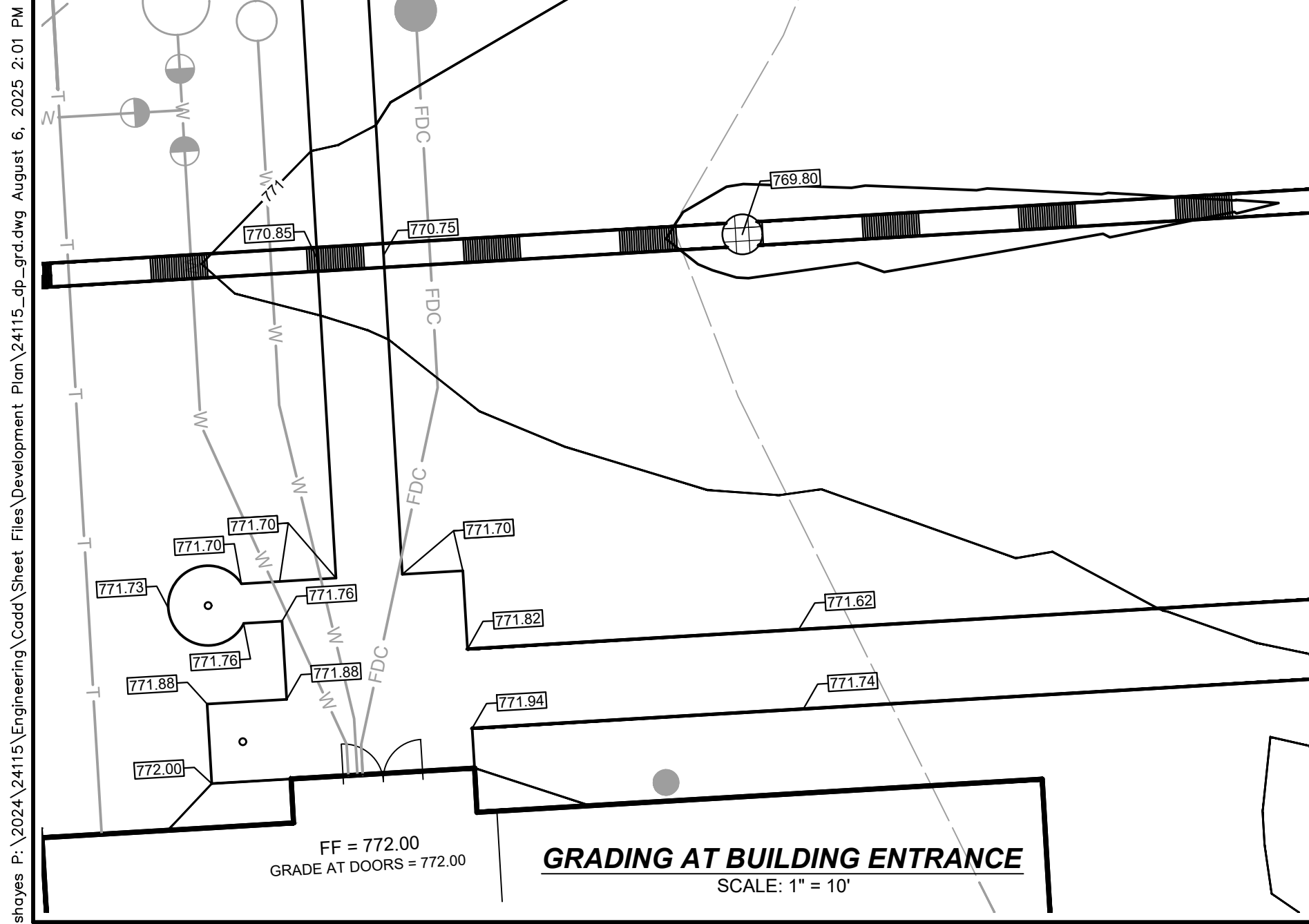
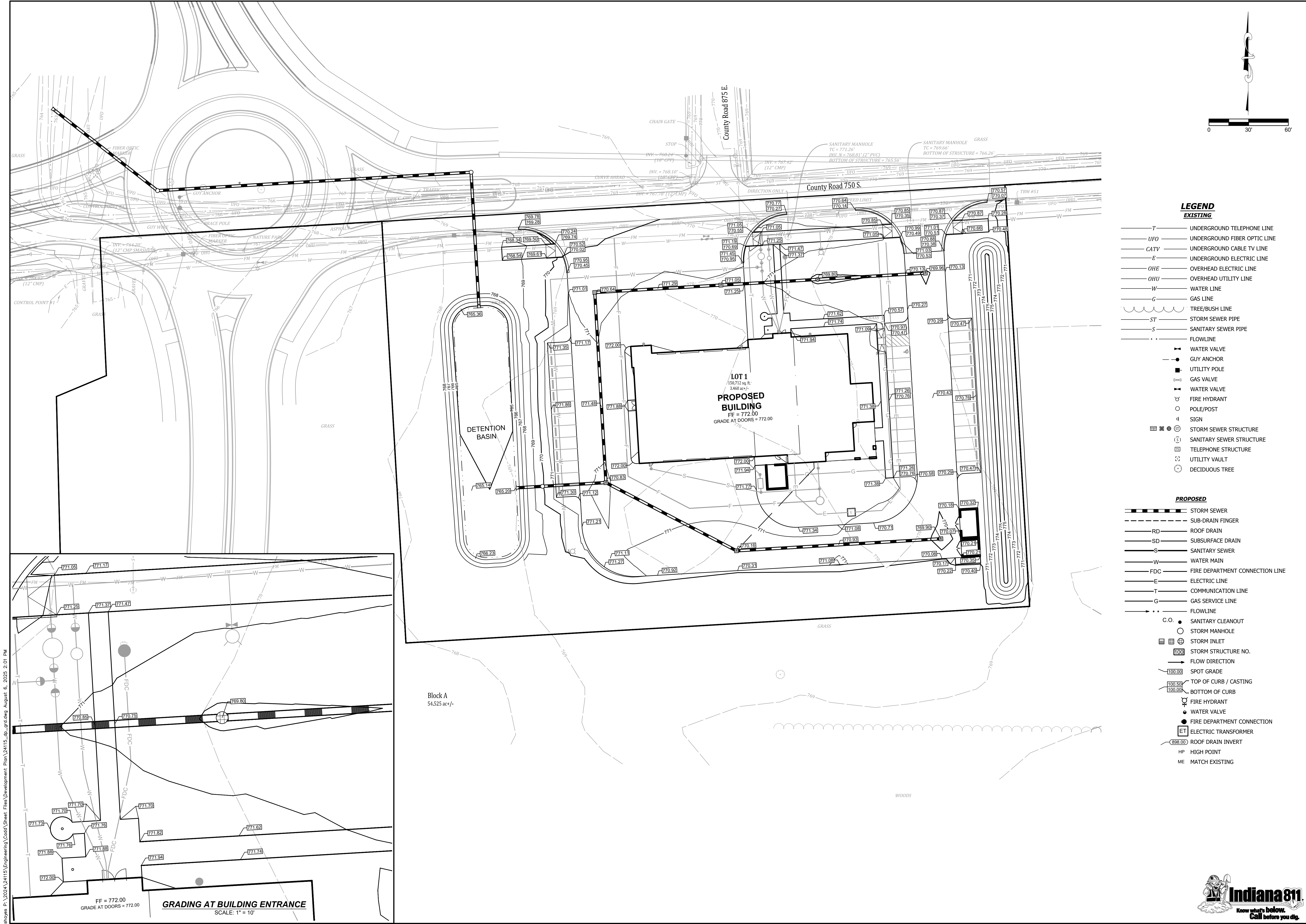
**SITE LAYOUT PLAN**  
**PLAINFIELD FIRE STATION 124**  
**GUILFORD TOWNSHIP**  
**PLAINFIELD, INDIANA**

**NOT FOR CONSTRUCTION**

**BANNING ENGINEERING**  
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Project No: 24115  
 Sheet No:





- LEGEND**
- EXISTING**
- T UNDERGROUND TELEPHONE LINE
  - UFO UNDERGROUND FIBER OPTIC LINE
  - CATV UNDERGROUND CABLE TV LINE
  - E UNDERGROUND ELECTRIC LINE
  - OHE OVERHEAD ELECTRIC LINE
  - OHU OVERHEAD UTILITY LINE
  - W WATER LINE
  - G GAS LINE
  - Tree/Bush Line
  - ST STORM SEWER PIPE
  - S SANITARY SEWER PIPE
  - Flowline
  - Water Valve
  - GUY ANCHOR
  - UTILITY POLE
  - GAS VALVE
  - WATER VALVE
  - FIRE HYDRANT
  - POLE/POST
  - SIGN
  - STORM SEWER STRUCTURE
  - SANITARY SEWER STRUCTURE
  - TELEPHONE STRUCTURE
  - UTILITY VAULT
  - DECIDUOUS TREE
- PROPOSED**
- Storm Sewer
  - SUB-DRAIN FINGER
  - RD ROOF DRAIN
  - SD SUBSURFACE DRAIN
  - S SANITARY SEWER
  - W WATER MAIN
  - FDC FIRE DEPARTMENT CONNECTION LINE
  - E ELECTRIC LINE
  - T COMMUNICATION LINE
  - G GAS SERVICE LINE
  - Flowline
  - C.O. SANITARY CLEANOUT
  - Storm Manhole
  - Storm Inlet
  - Storm Structure No.
  - Flow Direction
  - Spot Grade
  - TOP OF CURB / CASTING
  - BOTTOM OF CURB
  - FIRE HYDRANT
  - WATER VALVE
  - FIRE DEPARTMENT CONNECTION
  - E1 ELECTRIC TRANSFORMER
  - ROOF DRAIN INVERT
  - HP HIGH POINT
  - ME MATCH EXISTING

Date	Revisions
08-08-2025	REMOVED FRONT PARKING

Designed: S.HIREL  
 Drawn: S.J.H  
 Checked: R.L  
 Scale: 1"=30'  
 Date: 07-25-2025

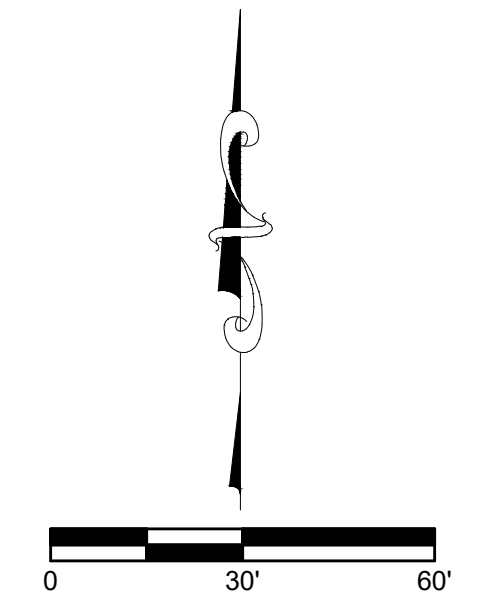
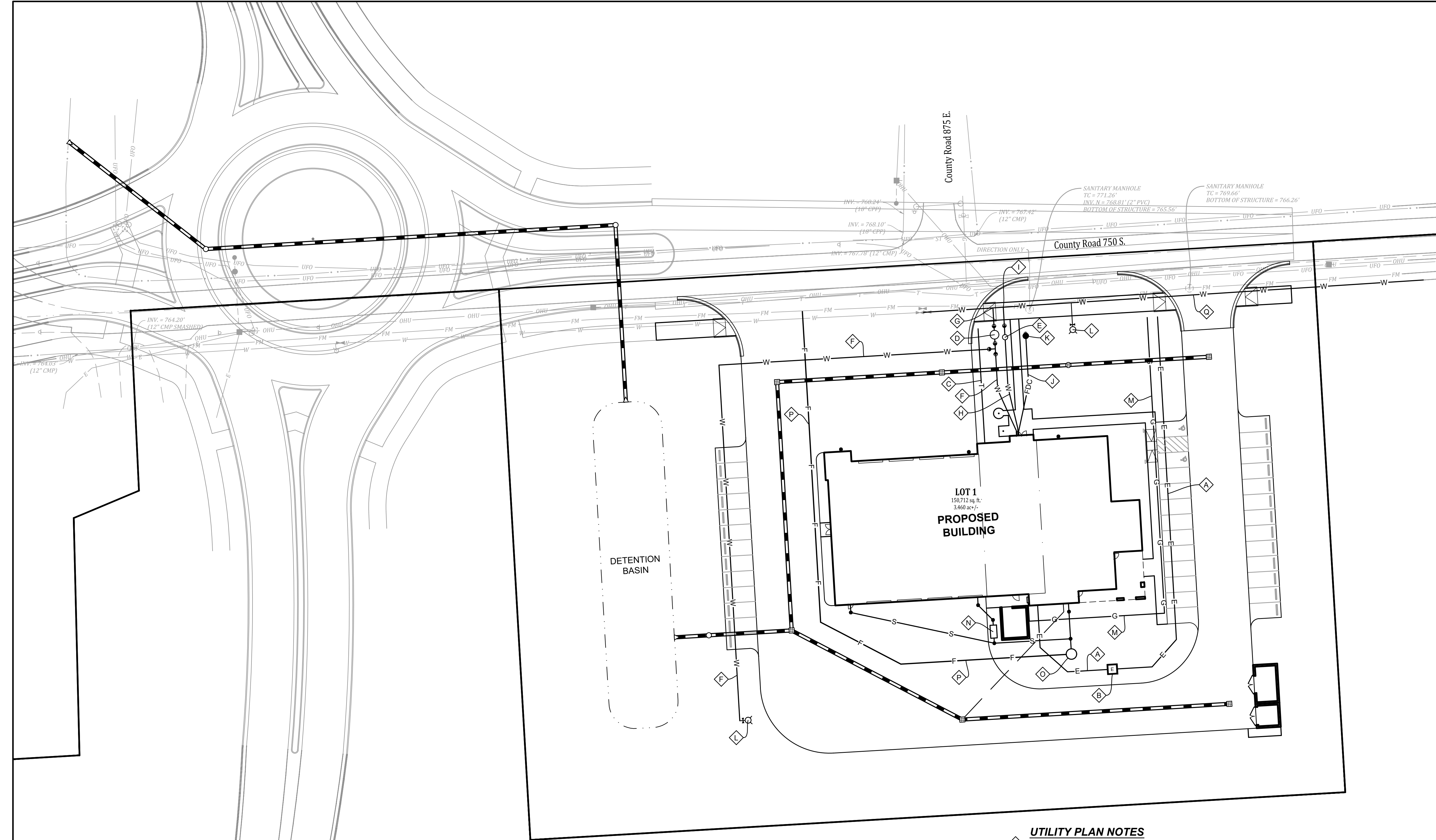
**GRADING AND DRAINAGE PLAN**  
**PLAINFIELD FIRE STATION 124**  
**GUILFORD TOWNSHIP**  
**PLAINFIELD, INDIANA**

**NOT FOR CONSTRUCTION**

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Project No: 24115  
 Sheet No: C110





**LEGEND**

**EXISTING**

- T UNDERGROUND TELEPHONE LINE
- UFO UNDERGROUND FIBER OPTIC LINE
- E UNDERGROUND ELECTRIC LINE
- OHE OVERHEAD ELECTRIC LINE
- OHU OVERHEAD UTILITY LINE
- W WATER LINE
- G GAS LINE
- ST STORM SEWER PIPE
- S SANITARY SEWER PIPE
- Water Valve
- GUY ANCHOR
- UTILITY POLE
- GAS VALVE
- WATER VALVE
- FIRE HYDRANT
- POLE/POST
- Storm Sewer Structure
- SANITARY SEWER STRUCTURE
- TELEPHONE STRUCTURE
- UTILITY VAULT

**PROPOSED**

- Storm Sewer
- SUB-DRAIN FINGER
- RD ROOF DRAIN
- SD SUBSURFACE DRAIN
- S SANITARY SEWER
- W WATER MAIN
- FDC FIRE DEPARTMENT CONNECTION LINE
- E ELECTRIC LINE
- T COMMUNICATION LINE
- G GAS SERVICE LINE
- C.O. SANITARY CLEANOUT
- Storm Manhole
- Storm Inlet
- Storm Structure No.
- FIRE HYDRANT
- WATER VALVE
- FIRE DEPARTMENT CONNECTION
- ET ELECTRIC TRANSFORMER

**UTILITY PLAN GENERAL NOTES**

1. SANITARY LATERAL SADDLE TAPS SHALL COMPLY WITH DETAIL DS-S02 ON SHEET 17 OF 27 OF THE TOWN OF PLAINFIELD STANDARD DETAILS.
2. SANITARY LATERALS SHALL BE PVC SDR 26 PER DETAIL DS-S01 ON SHEET 18 OF 29 OF THE TOWN OF PLAINFIELD STANDARD DETAILS.
3. A MINIMUM HORIZONTAL DISTANCE OF TEN (10) FEET SHALL BE MAINTAINED BETWEEN PARALLEL WATER LINES AND SEWER LINES. PERPENDICULAR OR ANGLED CROSSINGS OF WATER AND SEWER LINES SHALL GENERALLY BE AT A SPACING OF NOT LESS THAN EIGHTEEN (18) INCHES.
6. FOR STORM SEWER STRUCTURE AND PIPE INFORMATION SEE STORM PROFILES, SHEET C7??.
5. SEE DETAIL DS-S07 ON SHEET 18 OF 29 OF THE TOWN OF PLAINFIELD STANDARD DETAILS FOR SANITARY CLEANOUT.
6. STRUCTURE BACKFILL IS REQUIRED WHEN UTILITY TRENCH OPENINGS ENCR OACH WITH 5' OF A STREET, PRIVATE DRIVE OR SIDEWALK.

Block A  
54,525 ac +/-

**UTILITY PLAN NOTES**

- A ELECTRIC SERVICE, VERIFY WITH UTILITY
- B ELECTRIC TRANSFORMER, VERIFY WITH UTILITY
- C COMMUNICATION SERVICES, VERIFY WITH UTILITY
- D FIRE PROTECTION METER VAULT, SEE DETAIL DS-W06 ON SHEET 14 OF 29 OF THE TOWN OF PLAINFIELD DETAILS
- E 1 1/2" DOMESTIC WATER METER, SEE DETAIL DS-W03 ON SHEET 14 OF 29 OF THE TOWN OF PLAINFIELD DETAILS
- F 6" D.I. FIRE SERVICE
- G 6" TAPPING VALVE AND SLEEVE, SEE DETAIL DS-W01 ON SHEET 13 OF 27 OF THE TOWN OF PLAINFIELD STANDARDS
- H 2" K' COPPER WATER SERVICE
- I 2' SADDLE AND CORPORATION STOP VALVE, PER DETAIL DS-W03 ON SHEET 14 OF 29 OF THE TOWN OF PLAINFIELD STANDARDS
- J 6" D.I. FIRE DEPARTMENT CONNECTION LINE
- K FIRE DEPARTMENT CONNECTION, PER TOWN OF PLAINFIELD STANDARDS
- L FIRE HYDRANT, SEE DETAIL ON SHEET 13 OF 29 OF THE TOWN OF PLAINFIELD STANDARDS
- M GAS SERVICE, VERIFY WITH UTILITY
- N 1000 GAL. GREASE INTERCEPTOR, SEE DETAIL DS-S04 ON SHEET 18 OF 29 OF THE OF PLAINFIELD STANDARDS.
- O SANITARY GRINDER PUMP STATION, SEE DETAIL
- P ??" DR-11 HDPE FORCE MAIN
- Q 12" D.I. WATER MAIN

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Date	08-08-2025
Revisions	
Sym.	REMOVED FRONT PARKING
Designed:	SJH/REL
Drawn:	SJH
Checked:	REL
Scale:	1"=30'
Date:	07-25-2025

**UTILITY PLAN**  
**PLAINFIELD FIRE STATION 124**  
**GUILFORD TOWNSHIP**  
**PLAINFIELD, INDIANA**

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Project No: 24115  
Sheet No:

C300

**NORTH PERIMETER PROPERTY LINE**

**LANDSCAPE PLANTINGS**  
**LEVEL 1 PLANTING**  
 EVERGREEN TREE = 0.50 PTS  
 CANOPY TREE = 0.75 PTS

N1	2	CANOPY TREE	= 1.50 PTS
N2	1	CANOPY TREE	= 0.75 PTS
N3	1	CANOPY TREE	= 0.75 PTS
N4	3	CANOPY TREE	= 2.25 PTS
N5	1	CANOPY TREE	= 0.75 PTS

TOTAL POINTS SHOWN ON PLAN = 6.00 PTS  
 TOTAL POINTS REQUIRED = 5.0 PTS  
 1 POINTS/100' REQUIRED FOR LEVEL 1 PLANTING

**EAST PERIMETER PROPERTY LINE**

**LANDSCAPE PLANTINGS**  
**LEVEL 1 LANDSCAPE PLANTING**  
 CANOPY TREE = 0.75 PTS  
 EVERGREEN TREE = 0.50 PTS

E1	2	EVERGREEN TREE	= 1.0 PTS
E2	3	EVERGREEN TREE	= 1.5 PTS
E3	1	CANOPY TREE	= 1.5 PTS
E3	1	EVERGREEN TREE	= 0.5 PTS

TOTAL POINTS SHOWN ON PLAN = 4.50 PTS  
 TOTAL POINTS REQUIRED = 3.0 PTS  
 1 POINTS/100' REQUIRED FOR LEVEL 1 PLANTING

**SOUTH PERIMETER PROPERTY LINE**

**LANDSCAPE PLANTINGS**  
**LEVEL 1 LANDSCAPE PLANTING**  
 ORNAMENTAL TREE = 0.50 PTS  
 EVERGREEN TREE = 0.50 PTS

S1	2	EVERGREEN TREE	= 1.0 PTS
S2	1	CANOPY TREE	= 0.75 PTS
S3	2	EVERGREEN TREE	= 1.0 PTS
S4	2	EVERGREEN TREE	= 1.0 PTS
S5	2	EVERGREEN TREE	= 1.0 PTS

TOTAL POINTS SHOWN ON PLAN = 5.25 PTS  
 TOTAL POINTS REQUIRED = 5.0 PTS  
 1 POINTS/100' REQUIRED FOR LEVEL 1 PLANTING

**WEST PERIMETER PROPERTY LINE**

**LANDSCAPE PLANTINGS**  
**LEVEL 1 LANDSCAPE PLANTING**  
 EXIST. CANOPY TREE = 0.75 PTS

W1	1	CANOPY TREES	= 1.25 PTS
W2	2	EVERGREEN TREE	= 1.0 PTS
W3	1	CANOPY TREES	= 1.25 PTS
W3	1	EVERGREEN TREE	= 0.75 PTS

TOTAL POINTS SHOWN ON PLAN = 3.50 PTS  
 TOTAL POINTS REQUIRED = 3.0 PTS  
 1 POINTS/100' REQUIRED FOR LEVEL 1 PLANTING

**LANDSCAPE SPECIFICATIONS**

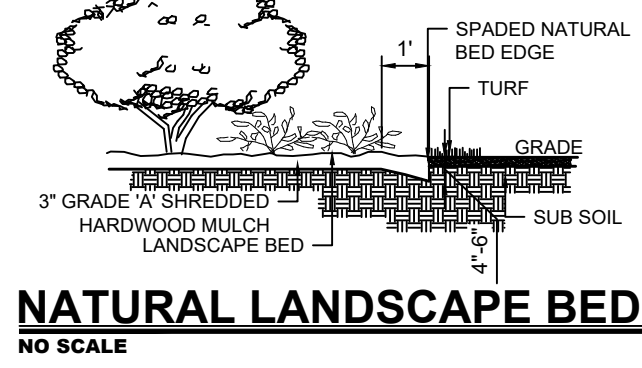
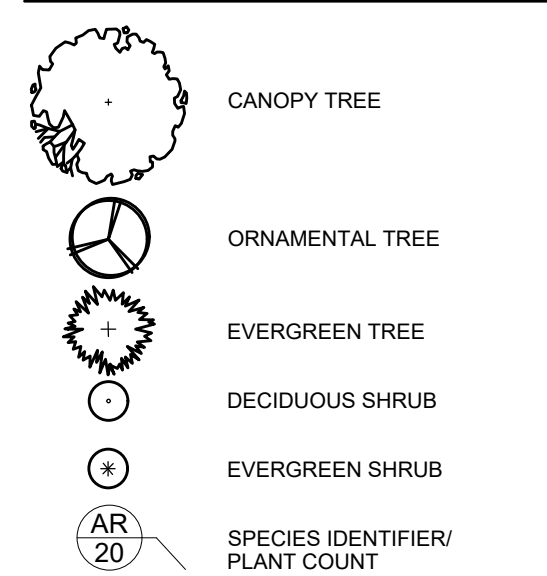
- GENERAL NOTES:**
- ALL UTILITIES SHALL BE LOCATED AND MARKED/FLAGGED BEFORE BEGINNING LANDSCAPE WORK. RELOCATED PLANTS THAT ARE UNDER OR OVER UTILITIES. THE RELOCATED PLANTS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT/DESIGNER PRIOR TO INSTALLATION. CONTRACTOR SHALL NOTIFY UTILITY LOCATE SERVICE (811) A MINIMUM OF TWO WORKING DAYS PRIOR TO EXCAVATION.
  - UTILITY LOCATION NOTE: ALL LOCATIONS SHOWN ON PLANS ARE APPROXIMATE AND BASED ON PROVIDED INFORMATION BY SURVEYOR OR CIVIL ENGINEER OR OWNER AND OR MEASURED IN THE FIELD. IF DISCREPANCIES EXIST OR ARE PRESENT, CONTRACTOR SHALL NOTIFY OWNER, OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT/DESIGNER PRIOR TO BEGINNING ANY WORK.
  - IN CASE OF DISCREPANCIES BETWEEN THE PLANS AND PLANT LIST, THE PLAN SHALL DICTATE.
  - THESE SPECIFICATIONS COVER THE FURNISHING OF LABOR, PLANTS, EQUIPMENT, AND MATERIALS TO PERFORM LANDSCAPE OPERATIONS IN CONNECTION WITH THIS CONSTRUCTION PROJECT AT THE LOCATIONS SHOWN ON THE LANDSCAPE DRAWING.
  - PLANTS AND ALL LANDSCAPE MATERIAL TO BE STORED ON SITE WILL BE PLACED WHERE THEY ARE NOT IN CONFLICT WITH CONSTRUCTION OPERATIONS.
  - REMOVE AND CLEAN UP ALL DEBRIS AND REMOVE FROM SITE, REPAIR DAMAGED OR DISTURBED AREAS CAUSED BY LANDSCAPE CONTRACTOR.
  - TOPSOIL, TOPSOIL SHALL BE FRIABLE, NATURAL LOAM, SURFACE SOIL, AND FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS, LITTER, ROOTS, STONES DOMESTIC AND AGRICULTURE FERTILIZERS, HERBICIDES, AND OTHER TOXIC MATERIALS HARMFUL TO PLANT GROWTH AND ENVIRONMENT. WASTE SOILS, BORROW, OR HEAVY CLAY BASED SOILS WILL NOT BE ACCEPTED. TOPSOIL SHALL HAVE A PH VALUE OF 6.0-7.4. SUBMIT SOIL SAMPLES, PH SAMPLES, PH LEVELS AND NPK ANALYSIS PRIOR TO DELIVERY.

- PLANTING NOTES:**
- REMOVE WEEDS, ORGANIC MATTER, ROCKS LARGER THAN 1.5" FROM SOIL.
  - LANDSCAPE MATERIALS: FERTILIZER: GRANULAR NON-BURNING PRODUCT COMPOSED OF NOT LESS THAN 50% ORGANIC SLOW ACTING, GUARANTEED ANALYSIS PROFESSIONAL FERTILIZER; 20% NITROGEN, 10% PHOSPHORIC ACID, AND 5% POTASH BY WEIGHT OR SIMILARLY APPROVED COMPOSITION.
  - PLANTING BACKFILL SOIL: BACKFILL PLANT PITS WITH THE FOLLOWING TOPSOIL MIXTURE: 1 PART ON-SITE TOPSOIL, 1 PART IMPORTED TOPSOIL, 1 PART COMPOST AND 1/2 POUND PLANT SPECIFIED FERTILIZER PER CUBIC YARD.
  - PLANT MATERIALS: PROVIDE TREES AND SHRUBS AS INDICATED. COMPLY WITH SIZING AND GRADING STANDARDS OF "AMERICAN STANDARD FOR NURSERY STOCK". PROVIDE ONLY SOUND, HEALTHY VIGOROUS PLANTS FREE FROM DEFECTS, DISFIGURING KNOTS, SUNSCALD INJURIES, FROST CRACKS, PLANT DISEASES, INSECTS OR ANY OTHER FORM OF DISEASE OR INFESTATION. ALL PLANTS SHALL HAVE FULLY DEVELOPED FORM WITHOUT VOIDS OR OPEN SPACES.
  - NO SUBSTITUTIONS OF PLANT MATERIAL WILL NOT BE ALLOWED. IF PLANTS ARE NOT AVAILABLE, THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT/DESIGNER, OWNERS REPRESENTATIVE IN WRITING. ALL PLANTS SHALL BE INSPECTED AND TAGGED WITH PROJECT I.D. AT NURSERY OR CONTRACTORS OPERATIONS PRIOR TO MOVING TO JOB SITE. PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOB SITE BY LANDSCAPE ARCHITECT/DESIGNER OR OWNERS REPRESENTATIVE.
  - LANDSCAPE ARCHITECT/DESIGNER OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY AND ALL PLANT MATERIALS DURING THE COURSE OF THE PROJECT.
  - PLANTING BED MULCH: 3 INCHES OF GRADE 'A' SHREDDED HARDWOOD MULCH WHERE PLANTING BED ADJOINS EITHER PAVEMENT OR TURF.
  - PLANTING BED FABRIC: DEWITT PRO 5 WEED BARRIER. INSTALL ONLY IN PLANTING BEDS.
  - SEE PLANTING DETAILS FOR PLANTING, PRUNING AND STAKING REQUIREMENTS.

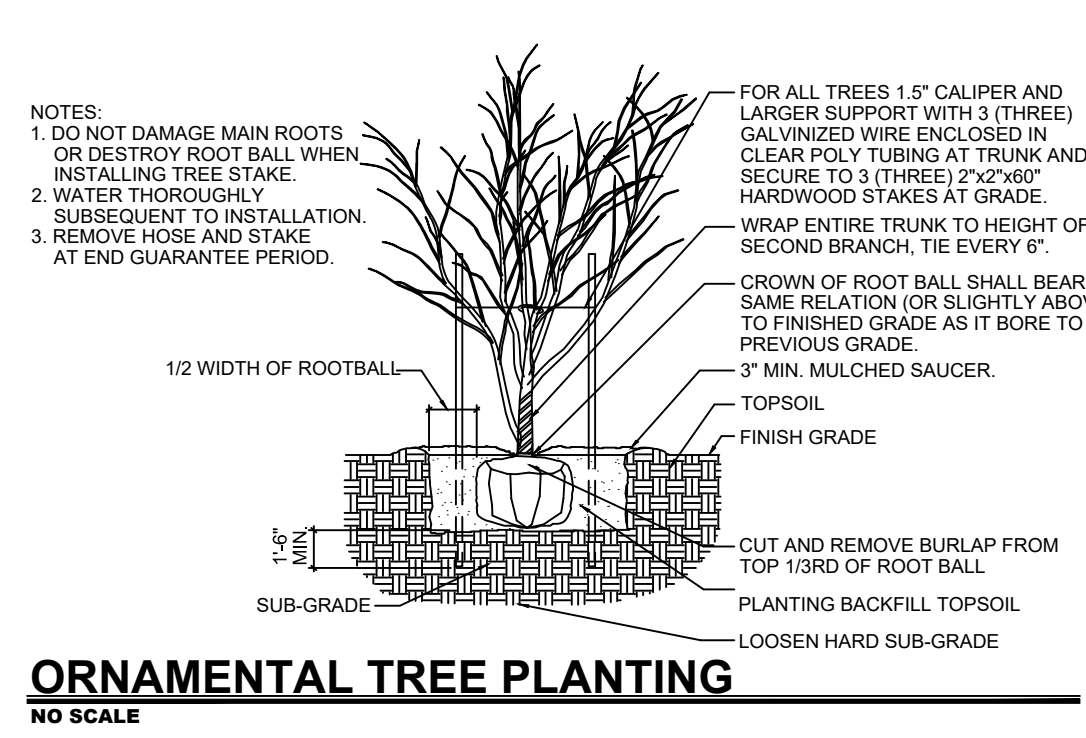
- SEEDING AND SODDING PREPARATION:**
- LANDSCAPE CONTRACTOR TO FINE GRADE AND PREPARE ALL SITE AREAS TO RECEIVE SODDING OR SEEDING. FINE GRADE SITE SMOOTH TO FINAL GRADING PLAN ELEVATIONS. FILL IN DEPRESSIONS, LOW SPOTS AND GRADE SMOOTH.
  - ALL TURF AREAS WITHIN LIMIT LINES TO RECEIVE 6" TOPSOIL PRIOR TO OPERATIONS. ONCE TOPSOIL HAS BEEN PLACED, CONSTRUCTION ACTIVITY OF ANY KIND (EXCLUDING LANDSCAPING) SHALL NOT BE PERMITTED ON OR ACROSS ANY PLANTING AREA.
  - TURF AREAS TO BE SCARIFIED/CULTIVATE TO A DEPTH OF 4" AND LIGHTLY ROLLED (NOT COMPACTED) PRIOR TO BEING SODDED OR SEEDED.
  - LAWNS TO BE FERTILIZED WITH 12-12-12 AT A RATE OF 10 LBS/1000 SQ.FT. PRIOR TO INSTALLATION.
  - WATER AND MAINTAIN GRASS STAND IS ESTABLISHED AND READY FOR MOWING AT A MINIMUM 4" HEIGHT. CONTRACTOR SHALL MAINTAIN LAWN FOR A PERIOD OF 60 DAYS BEYOND FINAL ACCEPTANCE BY MOWING AND WATERING AS REQUIRED TO MAINTAIN VIGOROUS GROWTH DURING ESTABLISHMENT.

- DIAMOND-BLEND BLUEGRASS - SEED.**
- COMPLETE ALL OTHER LANDSCAPE PLANTINGS, MULCHING, FINE GRADING AND STAKING PRIOR TO SEEDING LAWN AREAS.
  - PROVIDE SEEDED LAWN FOR ALL LAWN AREAS UTILIZING AMER-TURF FRONT-RUNNER TURF TYPE TALL FESCUE BLEND SEED.
  - APPLY SEED AT A RATE OF 5 POUNDS PER 1000 SQUARE FEET.
  - SEED BED SHALL BE IN A FIRM BUT UNCOMPACTED CONDITION WITH A RELATIVELY FINE TEXTURE AT TIME OF SEEDING.
  - CONTRACTOR SHALL MAINTAIN SEEDING LAWN FOR A PERIOD OF 60 DAYS BEYOND FINAL ACCEPTANCE BY MOWING AND WATERING AS REQUIRED TO MAINTAIN VIGOROUS GROWTH DURING ESTABLISHMENT PERIOD.
  - LAWN AREAS SHALL NOT HAVE VOIDS LARGER THAN 6"x6". IF VOIDS ARE LARGER THAN ACCEPTABLE SIZE AN OVERSEEDING SHALL BE COMPLETED BY THE CONTRACTOR DURING THE NEXT AVAILABLE GROWING SEASON.
  - FALL GROWING SEASON AUGUST 15TH - SEPTEMBER 20TH. SPRING GROWING SEASON MARCH 20TH - APRIL 20TH.
- PROJECT WARRANTY:**
- CONTRACTOR SHALL WARRANT TREES, SHRUBS, AND PLANTS FOR A PERIOD OF ONE YEAR AFTER DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLIGENCE BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND INSTALLER'S CONTROL. REMOVE AND REPLACE TREES, SHRUBS OR OTHER PLANTS FOUND TO BE DEAD OR IN UNHEALTHY CONDITION DURING WARRANTY PERIOD. REPLACE TREES AND SHRUBS WHICH ARE IN DOUBTFUL CONDITION AT END OF WARRANTY PERIOD.

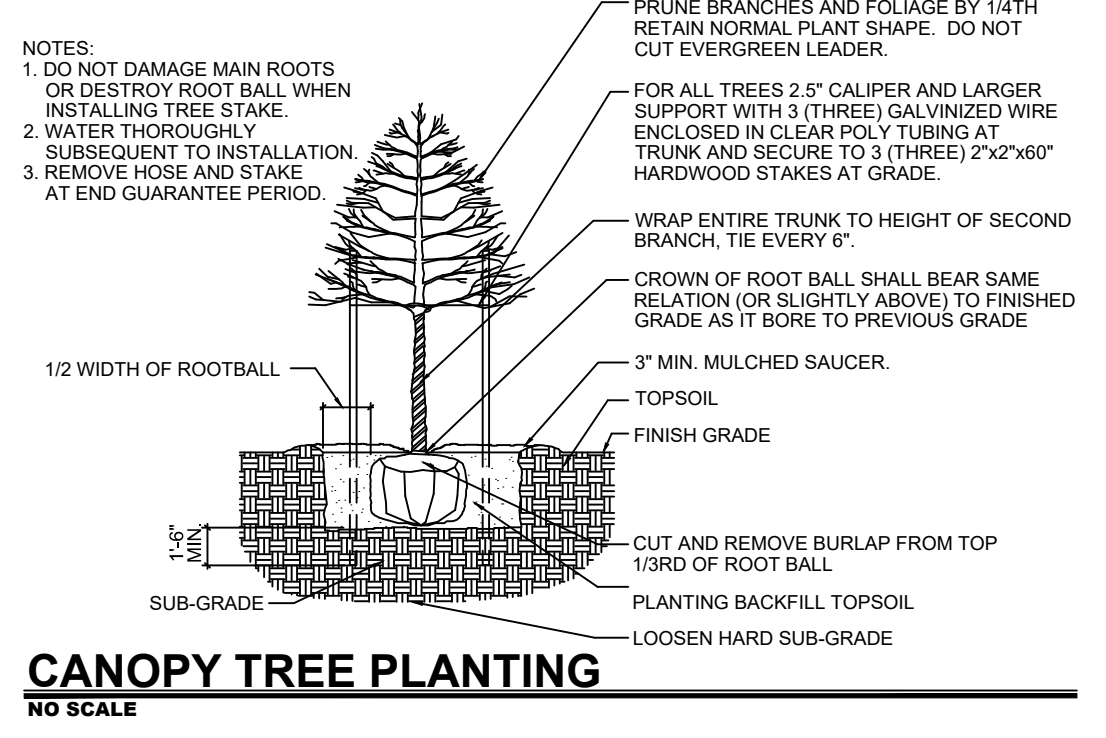
**LANDSCAPE SYMBOLOGY**



**SHRUB PLANTING**



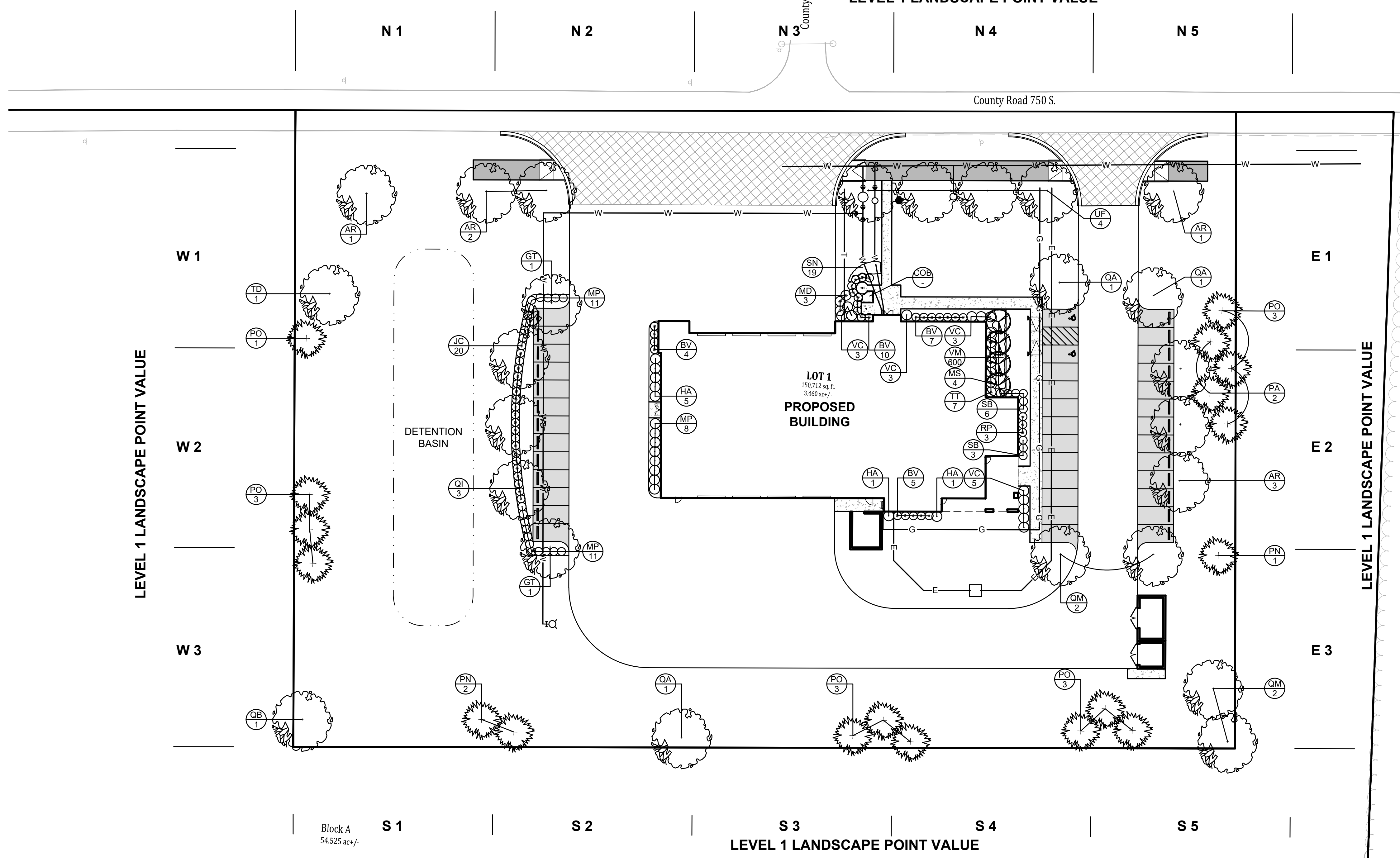
**EVERGREEN TREE PLANTING**



**CANOPY TREE PLANTING**

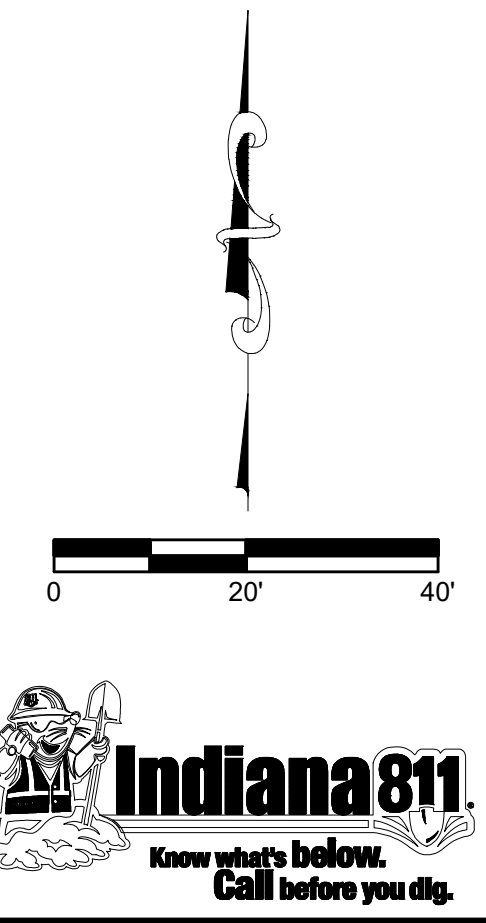


**LEVEL 1 LANDSCAPE POINT VALUE**



**LEVEL 1 LANDSCAPE POINT VALUE**

KEY	QTY	PLANT NAME BOTANICAL NAME COMMON NAME	SIZE	SPACING	REMARKS
AC		Amelanchier canadensis Serviceberry	8' Height	SEE PLAN	FULL, DENSE BRANCHING, WIDTH NOT LESS THAN 60" OF HEIGHT
AR		Acer rubrum 'Autumn Blaze' Red Sunset Maple	3.5" Caliper	SEE PLAN	CENTRAL LEADER
BV		Buxus x koreana 'Green Velvet' Green Velvet Boxwood	18" Height	SEE PLAN	FULL IN POT
COB		Change Out Bed Annuals	50/Fat	SEE PLAN	
CV		Crataegus viridis 'Winter King' Winter King Hawthorn	1.5" Caliper	SEE PLAN	FULL, DENSE BRANCHING, WIDTH NOT LESS THAN 60" OF HEIGHT
GT		Gleditsia tricanthos 'nemis 'Skycole' Skyline Honeylocust	3.5" Caliper	SEE PLAN	CENTRAL LEADER
HA		Hydrangea arborescens 'Annabelle' Annabelle Hydrangea	3 Gallon	SEE PLAN	FULL IN POT
JC		Juniperus chinensis 'Sea Green' Sea Green Juniper	24" Height	SEE PLAN	FULL IN POT
MP		Myrica pensylvanica Northern Bayberry	24" Height	SEE PLAN	FULL IN POT
MS		Magnolia stellata Star Magnolia	8' Height	SEE PLAN	FULL, DENSE BRANCHING, WIDTH NOT LESS THAN 60" OF HEIGHT MULTI-STEM
PA		Picea abies Norway Spruce	6' Height	SEE PLAN	CENTRAL LEADER
PN		Pinus nigra Austrian Pine	3.5" Caliper	SEE PLAN	CENTRAL LEADER
PO		Picea omorika Serbian Spruce	6' Height	SEE PLAN	CENTRAL LEADER
QA		Quercus alba White Oak	3.5" Caliper	SEE PLAN	CENTRAL LEADER
QB		Quercus bicolor Swamp White Oak	3.5" Caliper	SEE PLAN	CENTRAL LEADER
QI		Quercus imbricaria Shingle Oak	3.5" Caliper	SEE PLAN	CENTRAL LEADER
QM		Quercus muhlenbergii Chinquapin Oak	3.5" Caliper	SEE PLAN	CENTRAL LEADER
SB		Spiraea x bumalda 'Gold Flame' Gold Flame Spirea	24" Spread	SEE PLAN	FULL IN POT
SN		Salvia nemerosa 'May Night' May Night Perennial Salvia	1 Gallon	SEE PLAN	FULL IN POT
TD		Taxodium distichum Common Baldcypress	3.5" Caliper	SEE PLAN	CENTRAL LEADER
TT		Taxus x media 'tauntonii' Tauntion Yew	24" Height	SEE PLAN	FULL IN POT
UF		Ulmus x 'Frontier' Frontier Elm	3.5" Caliper	SEE PLAN	CENTRAL LEADER
VC		Viburnum cerasifolium Koreanspice Viburnum	30" Height	SEE PLAN	FULL IN POT
VM		Vinca minor Myrtle	50/Fat	SEE PLAN	FULL IN POT



Date: 08-08-2025  
 Revisions: REMOVED FRONT PARKING  
 Designer: S.HIREL  
 Drawn: S.J.H  
 Checked: R.R.L  
 Scale: 1"=20'  
 Date: 07-25-2025

**LANDSCAPE PLAN**  
**PLAINFIELD FIRE STATION 124**  
**GUILFORD TOWNSHIP**  
**PLAINFIELD, INDIANA**

**NOT FOR CONSTRUCTION**

**BANNING ENGINEERING**  
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Project No: 24115  
 Sheet No: L100

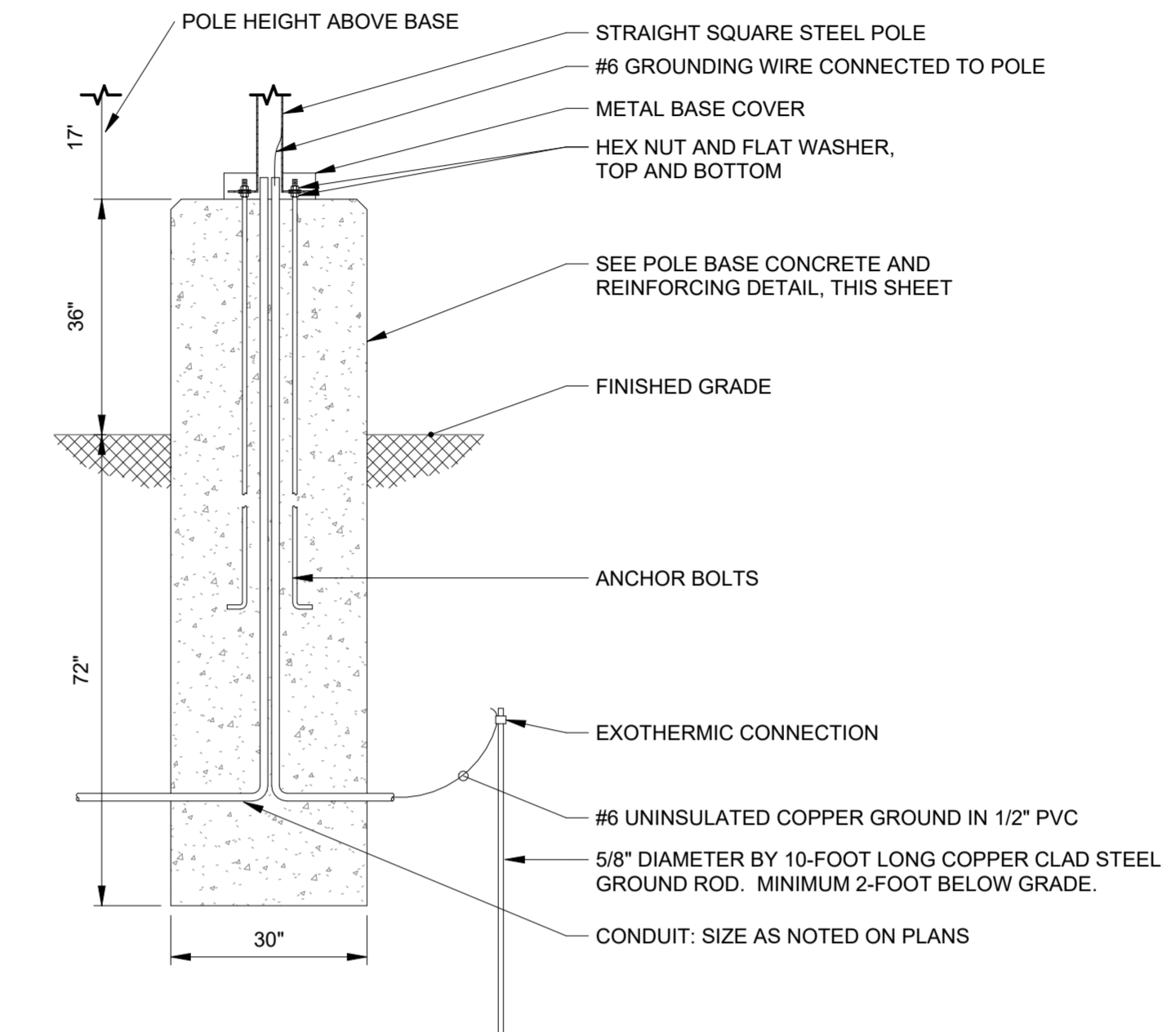
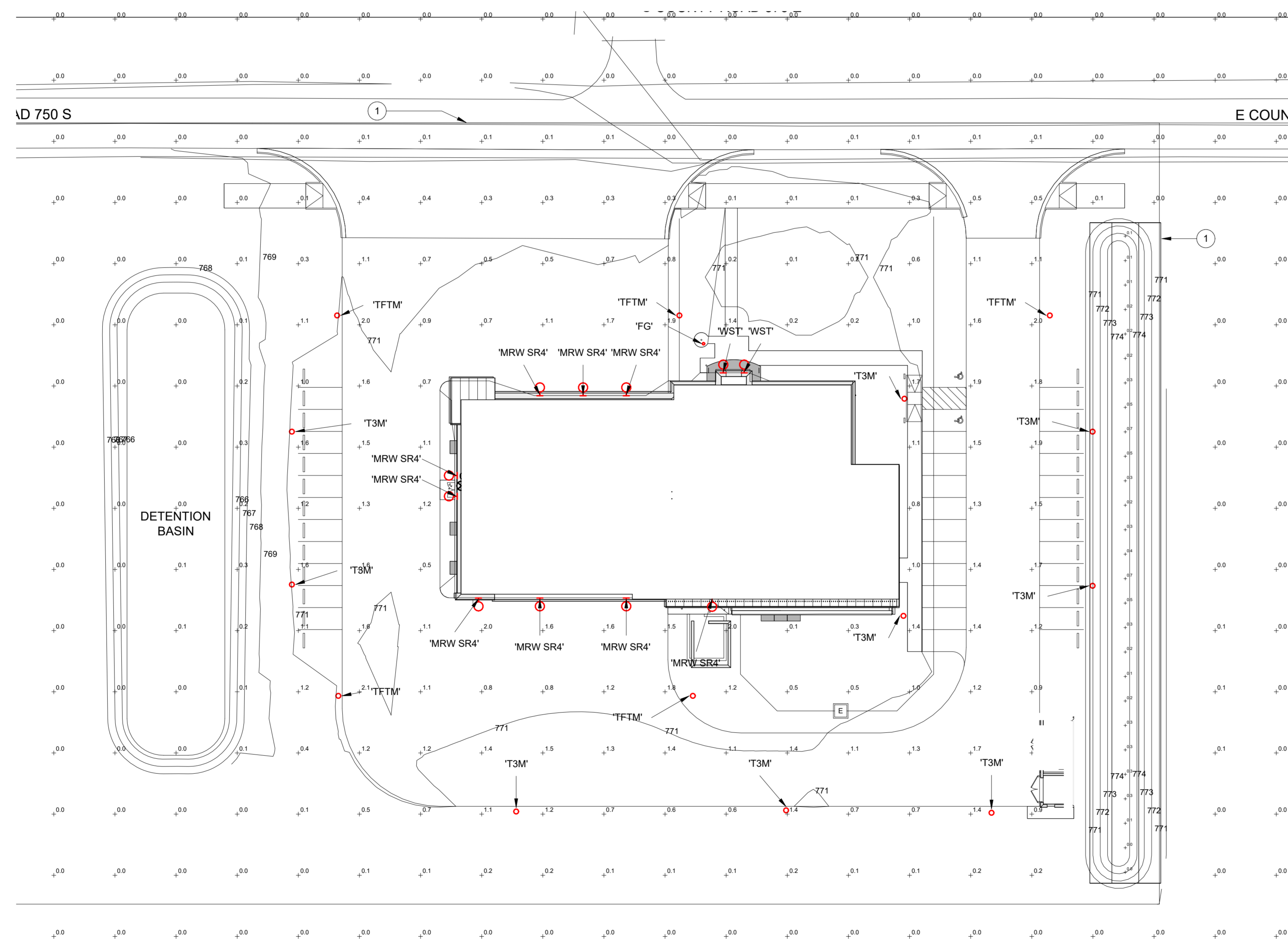
**Indiana 811**  
 Know what's below. Call before you dig.

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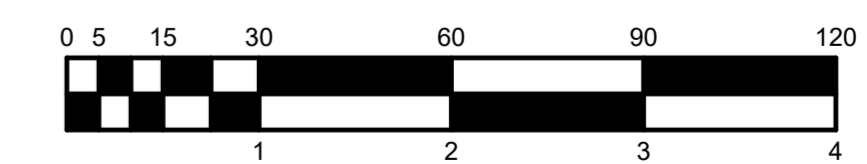
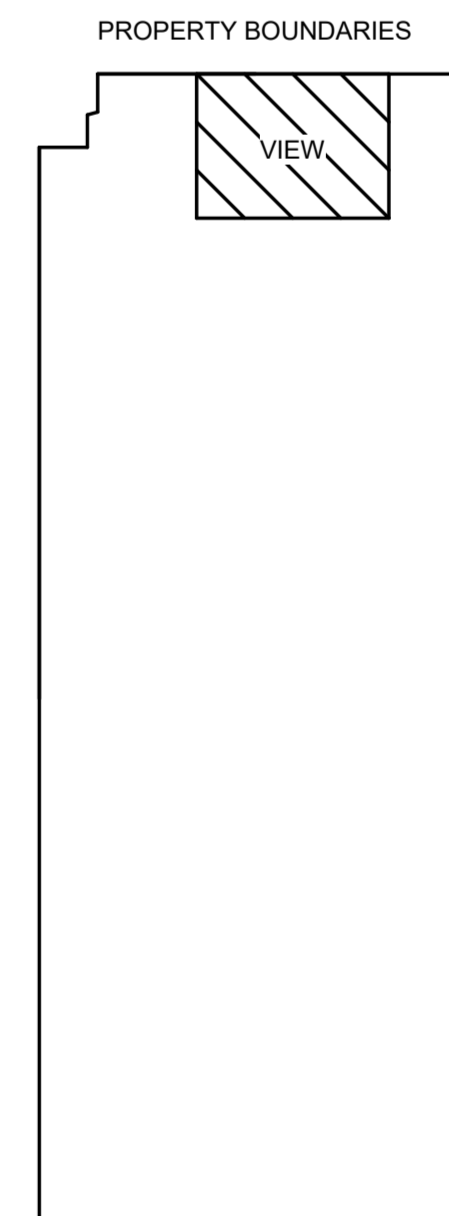
EXTERIOR LIGHT FIXTURE SCHEDULE										
MARK	DESCRIPTION	MOUNTING	WATTS	CRI	COLOR	LUMENS	VOLTS	MANUFACTURER(S)	MARK	
FG	7-INCH IN-GRADE FLAG POLE LIGHT, IP67, CONCRETE OR LANDSCAPE MOUNTING TYPE, COMPRESSION MOLDED UV STABILIZED POLYESTER HOUSING, TEMPERED CLEAR BOROSILICATE GLASS LENS ASSEMBLY WITH CAPTIVE SCREW	IN-GRADE	25 W	70	4000K	1200	120-277V	HYDREL PARADOX 7 / PDX7-BSS-12LED-WHT41K-NSP-FLC; EQUALS: KIM LIGHTING, LUMIERE BEGA 77 090 SERIES HOLM NBECKON-26 SERIES	FG	
MRW SR4	MRW LED WITH P1-PERFORMANCE PACKAGE, 4000K, AND SR4 OPTIC TYPE	SURFACE WALL	20 W	70	4000K	2200	120-277V	LITHONIA LIGHTING MRW LED ARCHITECTURAL WALL SCONCE	MRW SR4	
T3M	D-SERIES SIZE 0 AREA LUMINAIRE P2 PERFORMANCE PACKAGE 4000K CCT 70 CRI TYPE 3 MEDIUM, MOUNTED TO 17" 7GA 5"x5" SQ POLE	POLE	45 W	70	4000K	6600	120-277V	LITHONIA LIGHTING D-SERIES SIZE 0 LED AREA LUMINAIRE	T3M	
TFTM	D-SERIES SIZE 0 AREA LUMINAIRE P2 PERFORMANCE PACKAGE 4000K CCT 70 CRI FORWARD THROW, MOUNTED TO 17" 7GA 5"x5" SQ POLE	POLE	45 W	70	4000K	6600	120-277V	LITHONIA LIGHTING D-SERIES SIZE 0 LED AREA LUMINAIRE	TFTM	
WST	WST LED, PERFORMANCE PACKAGE 1, 4000 K, VISUAL COMFORT FORWARD THROW, MVOLT	SURFACE WALL	12 W	70	4000K	1660	120-277V	LITHONIA LIGHTING WST LED ARCHITECTURAL WALL SCONCE	WST	

# PLAN NOTES:

- PROPERTY LINE.



PARKING LOT POLE BASE DETAIL



**SITE PLAN - EXTERIOR PHOTOMETRIC**  
SCALE: 1" = 30'-0"  
NORTH