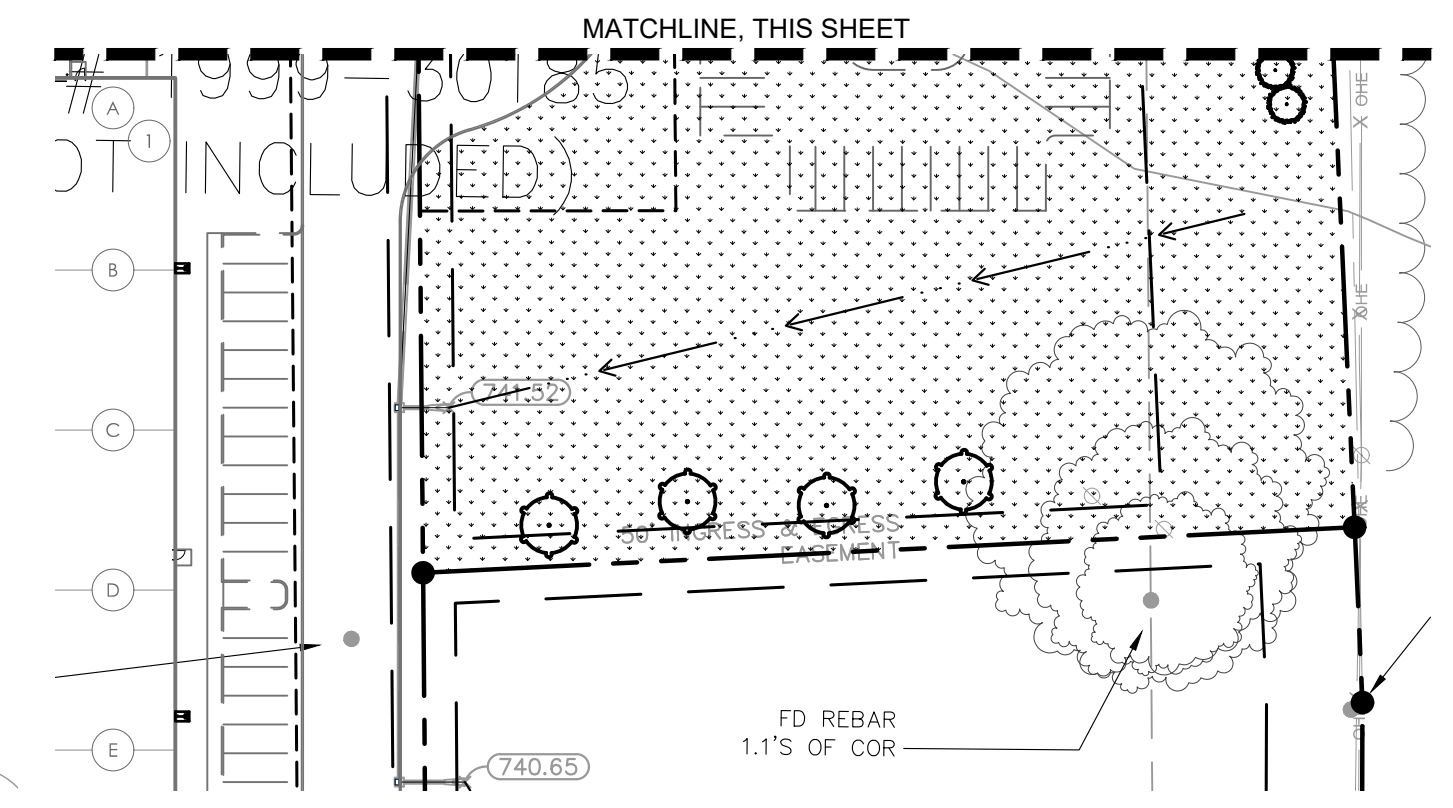
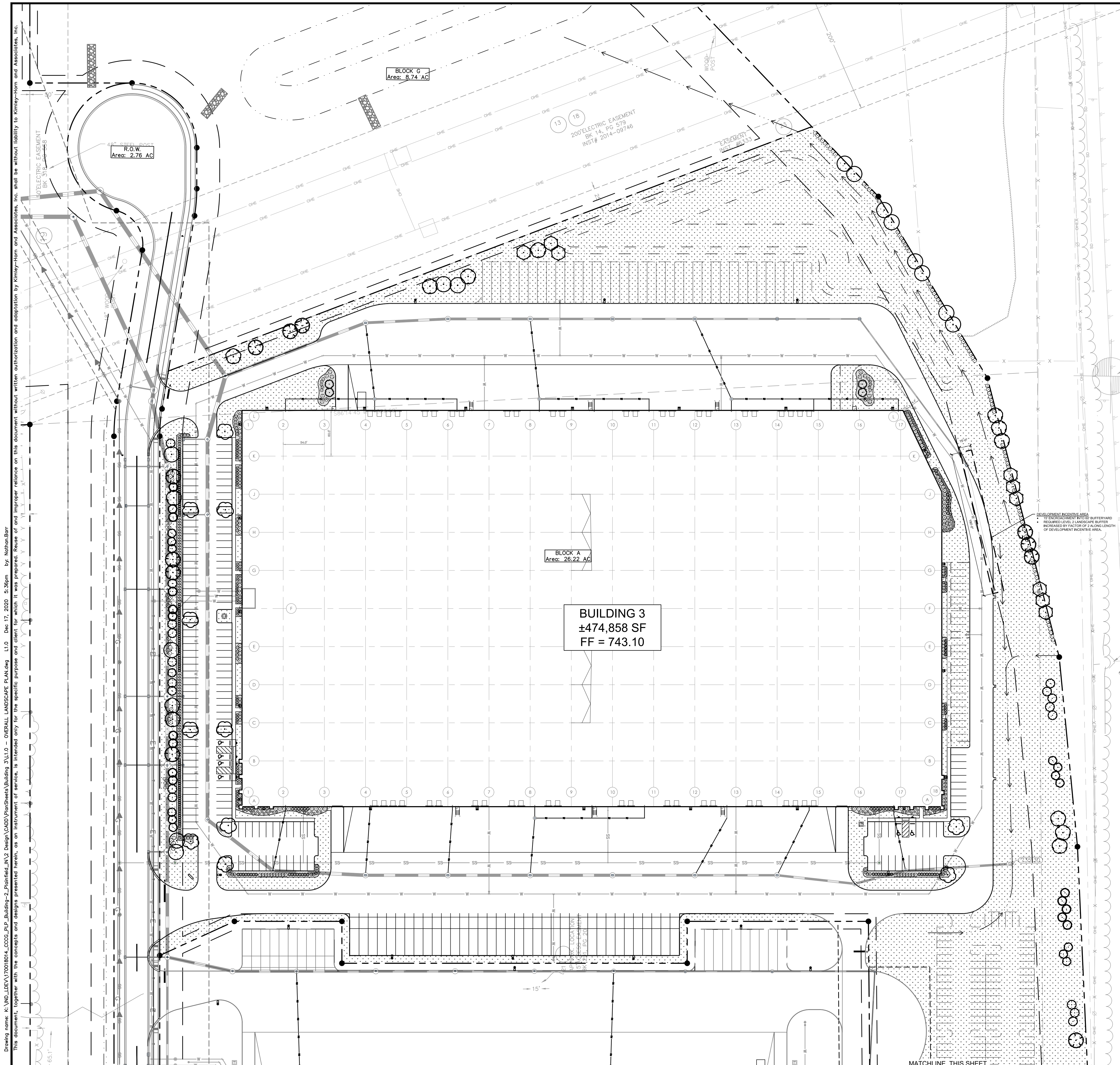
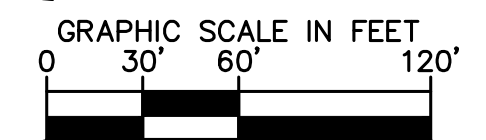
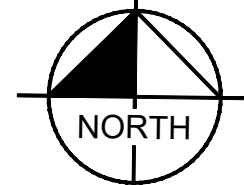


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Indiana Utilities Protection Service



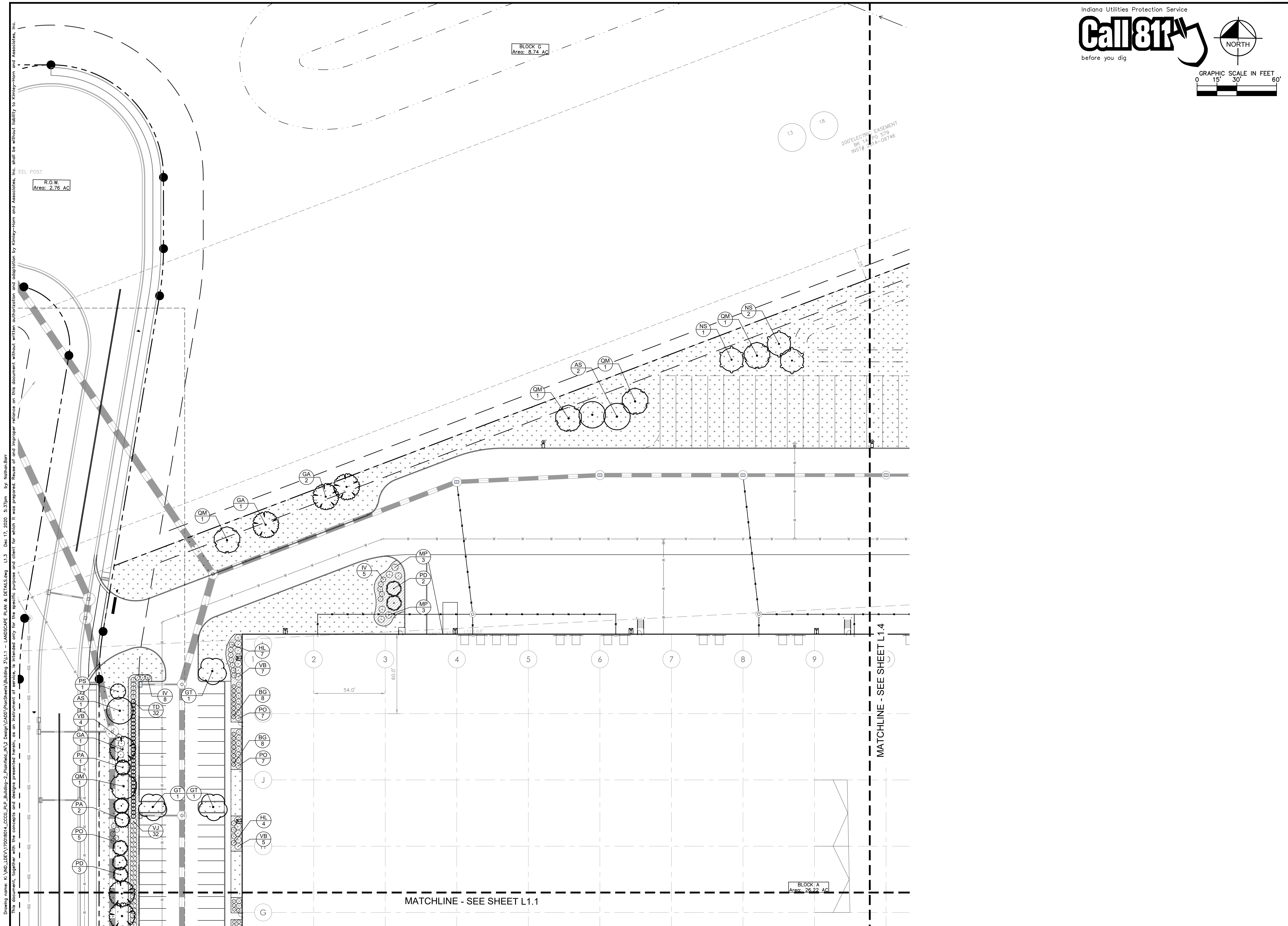
DEVELOPMENT INCENTIVE AREA
 TO ENCOURAGEMENT BY 10' BUFFER
 INCREASED LEVEL 2 LANDSCAPE BUFFER
 INCREASED BY FACTOR OF 2 ALONG LENGTH
 OF DEVELOPMENT INCENTIVE AREA.

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SCALE: AS NOTED DESIGNED BY: LDS DRAWN BY: NAB CHECKED BY: BAS	
OVERALL LANDSCAPE PLAN	
PLAINFIELD LOGISTICS PARK BUILDING 3 PLAINFIELD, IN 46168	
ORIGINAL ISSUE: 12/18/2020 KHA PROJECT NO. 170018015 SHEET NUMBER	
L1.0	
REVISIONS No. DATE BY	DATE BY

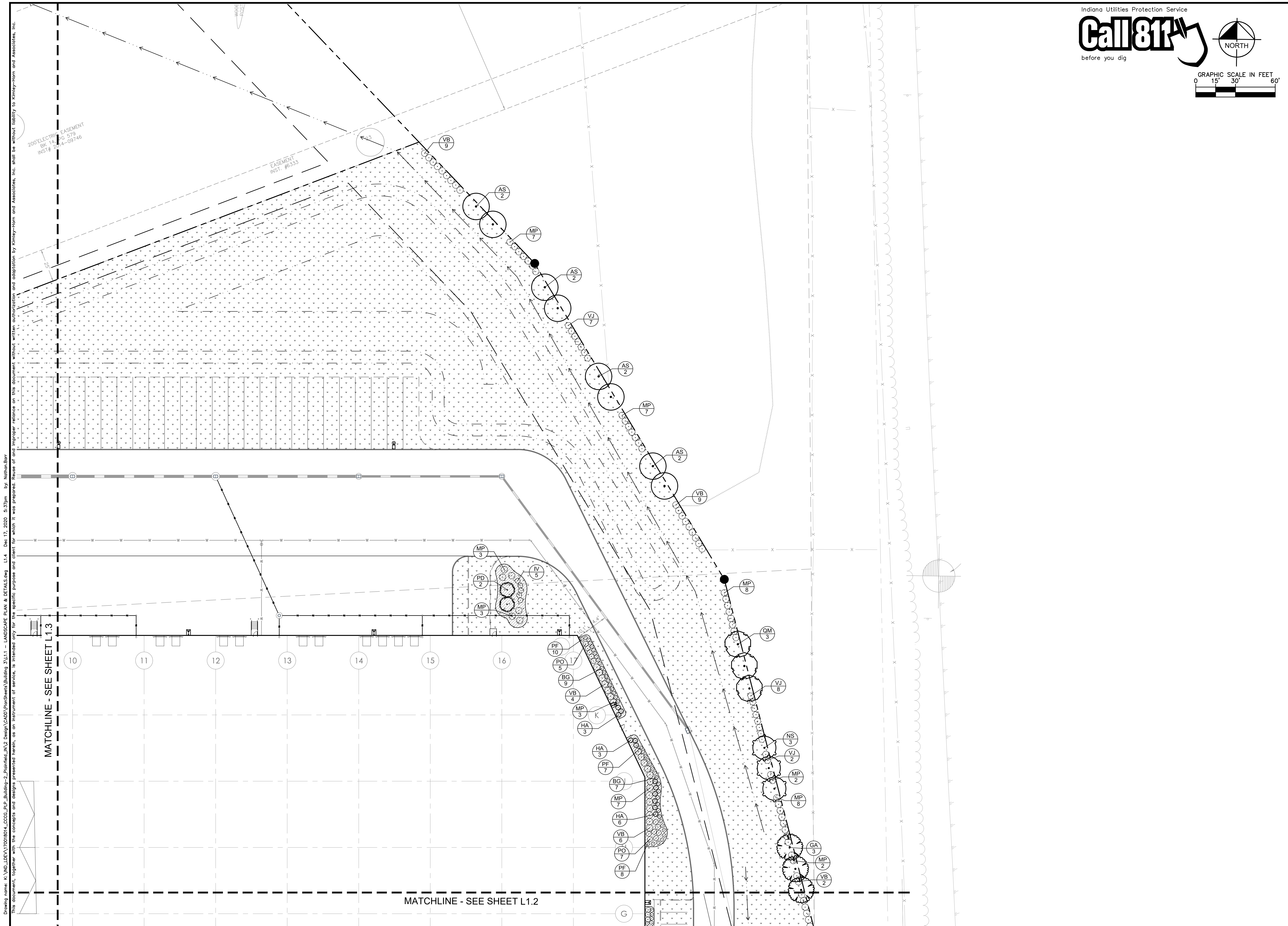
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Indiana Utilities Protection Service
Call 811
 before you dig

GRAPHIC SCALE IN FEET
 0 15' 30' 60'



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No.	DATE	BY						
<p>NOT APPROVED FOR CONSTRUCTION</p> <p>Michele C. Gerber, AIA, LEED AP ARCHITECT</p> <p>12/17/2020</p>	<p>ambrose compass COMMERCIAL CONSTRUCTION GROUP</p>	<p>PLAINFIELD LOGISTICS PARK BUILDING 3 PLAINFIELD, IN 46168</p>						
<p>ORIGINAL ISSUE: 12/18/2020 KHA PROJECT NO. 170018015</p>	<p>SHEET NUMBER</p> <p>L1.3</p>							



Indiana Utilities Protection Service
Call 811
 before you dig

NORTH

GRAPHIC SCALE IN FEET
 0 15' 30' 60'

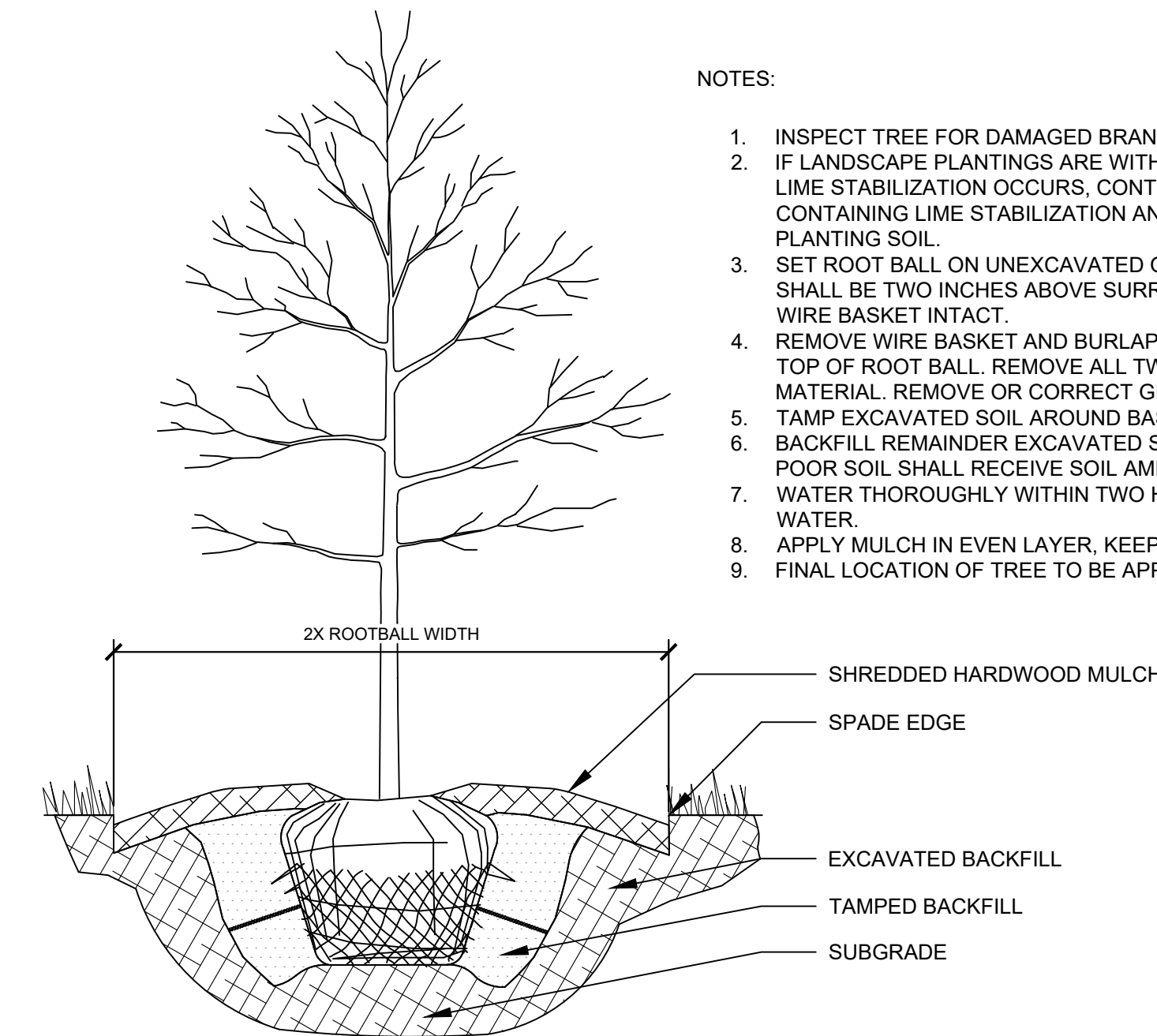
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SCALE: AS NOTED DESIGNED BY: LDS DRAWN BY: NAB CHECKED BY: BAS	REVISIONS NO. DATE BY
PLAINFIELD LOGISTICS PARK BUILDING 3 LANDSCAPE PLAN (4 OF 4) <small>PLAINFIELD, IN 46168</small>	
ORIGINAL ISSUE: 12/18/2020 KHA PROJECT NO. 170018015 SHEET NUMBER L1.4	



ORDINANCE CHART

ZONING: I2 - Office, Warehouse, Distribution Industrial		
REQUIREMENT	REQUIRED	PROVIDED
FOUNDATION PLANTING <ul style="list-style-type: none"> 2' x length of wall = area for foundation planting, planted at Level 1 PV Planting to begin within 15' of building Planting bed to be 6' minimum width 	North: 867 LF <ul style="list-style-type: none"> (867*2) = 1,734 SF planting area (217 LF plantable building facade LF/100)*1 PV = 2.17 PV South: 925 LF <ul style="list-style-type: none"> (925*2) = 1,850 SF planting area (247 LF plantable building facade LF/100)*1 PV = 2.47 PV East: 525.5 LF <ul style="list-style-type: none"> (535.5*2) = 1,071 SF planting area (521 LF plantable building facade LF/100)*1 PV = 5.21 PV West: 523 LF <ul style="list-style-type: none"> (523*2) = 1,046 SF planting area (497 LF plantable building facade LF/100)*1 PV = 4.97 PV 	North: <ul style="list-style-type: none"> 1,738 SF > 1,734 SF 3.1 PV > 2.17 PV South: <ul style="list-style-type: none"> 1,918 SF > 1,850 SF 3.1 PV > 2.47 PV East: <ul style="list-style-type: none"> 2,423 SF > 1,071 SF 5.23 PV > 5.21 PV West: <ul style="list-style-type: none"> 2,519 SF > 1,046 SF 5.0 PV > 4.97 PV
PARKING LOT PERIMETER LANDSCAPING <ul style="list-style-type: none"> A compact hedgerow planted 3' o.c. 	West & Southwest parking lot perimeter: 641 LF <ul style="list-style-type: none"> 641/3 = 214 shrubs Southeast parking lot perimeter: 100 LF <ul style="list-style-type: none"> 100/3 = 33 shrubs 	West & Southwest parking lot perimeter: <ul style="list-style-type: none"> 214 shrubs Southeast parking lot perimeter: <ul style="list-style-type: none"> 33 shrubs
PARKING LOT INTERIOR LANDSCAPING <ul style="list-style-type: none"> 1 landscape island per 15 parking spaces 1 tree per island 	West & Southwest parking lot interior: 129 spaces <ul style="list-style-type: none"> 129/15 = 9 islands + 9 trees Southeast parking lot interior: 31 spaces <ul style="list-style-type: none"> 31/15 = 2 islands + 2 trees 	West & Southwest parking lot interior: <ul style="list-style-type: none"> 9 islands + 9 trees Southeast parking lot interior: <ul style="list-style-type: none"> 2 islands + 2 trees
PERIMETER LANDSCAPE YARDS <ul style="list-style-type: none"> North = Level 1 Buffer South = Level 1 Buffer East = Level 2 Buffer + Development Incentive per Section 5.4.B.3 to increase the PV by a factor of 2 along length of encroachment West = Level 3 Buffer 	North: 903 LF <ul style="list-style-type: none"> (903/100)*1 = 9.0 PV South: 1,230 LF <ul style="list-style-type: none"> (1,230/100)*1 = 12.3 PV East: 1,477 LF <ul style="list-style-type: none"> (1,287/100)*2 = 25.7 PV (190/100)*4 = 7.6 PV West: 767 LF <ul style="list-style-type: none"> (767/100)*3 = 23.0 PV 	North: <ul style="list-style-type: none"> 9.0 PV = 9.0 PV South: <ul style="list-style-type: none"> (3.0 PV + 9.75 PV credited from Building 2 shared parking perimeter) = 12.75 PV 12.75 PV = 12.3 PV East: <ul style="list-style-type: none"> 25.7 PV 7.6 PV West: <ul style="list-style-type: none"> 23.0 PV = 23.0 PV



NOTES:

- INSPECT TREE FOR DAMAGED BRANCHES, APPLY CORRECTIVE PRUNING.
- IF LANDSCAPE PLANTINGS ARE WITHIN OR ADJACENT TO AREAS WHERE LIME STABILIZATION OCCURS, CONTRACTOR SHALL FULLY REMOVE SOIL CONTAINING LIME STABILIZATION AND REPLACE WITH HIGH QUALITY PLANTING SOIL.
- SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
- REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWINE AND (IF USED), SYNTHETIC MATERIAL. REMOVE OR CORRECT GIRDLING ROOTS.
- TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
- BACKFILL REMAINDER EXCAVATED SOIL TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
- WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
- APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
- FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.

PLANT SCHEDULE

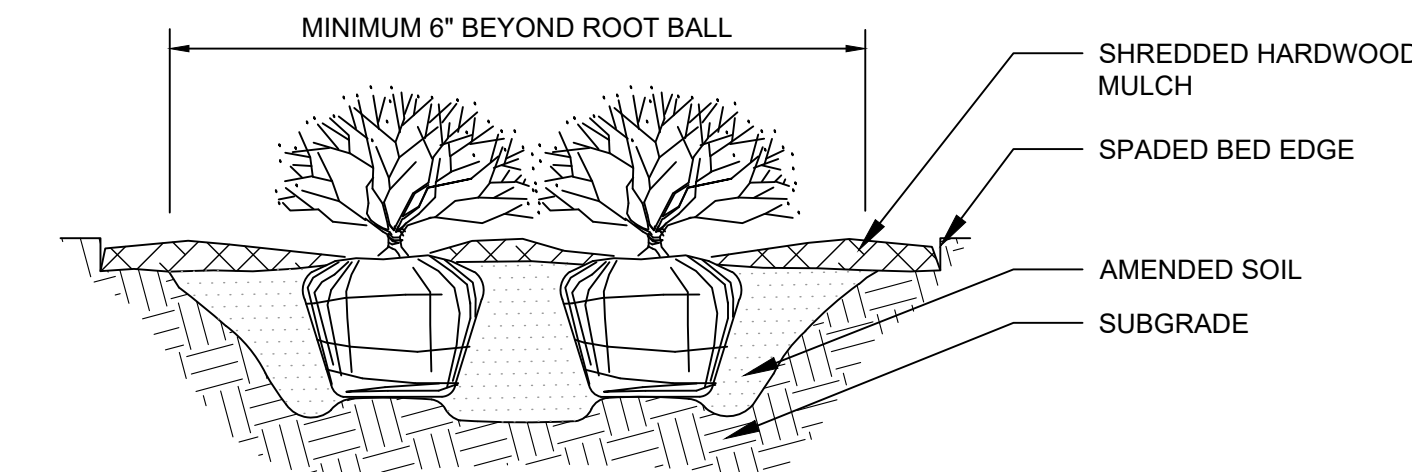
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT
AS	14	ACER SACCHARUM	SUGAR MAPLE	B & B	2.5" CAL MIN	---
GA	11	GINKGO BILOBA 'AUTUMN GOLD' TM	AUTUMN GOLD MAIDENHAIR TREE	B & B	2.5" CAL MIN	---
GT	11	GLEDITSIA TRIACANTHOS INERMIS 'IMPERIAL'	IMPERIAL HONEY LOCUST	B & B	2.5" CAL MIN	---
NS	13	NYSSA SYLVATICA 'WILDFIRE'	WILDFIRE BLACK GUM	B & B	2.5" CAL MIN	---
QM	13	QUERCUS MUEHLENBERGII	CHINKAPIN OAK	B & B	2.5" CAL MIN	---
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT
PA	17	PICEA ABIES	NORWAY SPRUCE	B & B	---	6' HT MIN
PD	18	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	B & B	---	6' HT MIN
PS	17	PINUS STROBUS	WHITE PINE	B & B	---	6' HT MIN
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
BG	91	BUXUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD	---	SEE PLAN	18" HT MIN
HA	40	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE SMOOTH HYDRANGEA	---	SEE PLAN	24" HT MIN
HL	15	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA	---	SEE PLAN	24" HT MIN
IV	47	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	---	SEE PLAN	24" HT MIN
MP	78	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	---	SEE PLAN	24" HT MIN
PF	90	POTENTILLA FRUTICOSA 'GOLDFINGER'	GOLDFINGER POTENTILLA	---	SEE PLAN	18" HT MIN
PO	74	PHYSOCARPUS OPULIFOLIUS 'DIABOLO'	DIABLO NINEBARK	---	SEE PLAN	24" HT MIN
TD	128	TAXUS X MEDIA 'DENSIFORMIS'	DENSE YEW	---	SEE PLAN	24" HT MIN
VB	88	VIBURNUM X BURKWOODII	BURKWOOD VIBURNUM	---	SEE PLAN	24" HT MIN
VJ	99	VIBURNUM X JUDDII	JUDD VIBURNUM	---	SEE PLAN	24" HT MIN

LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION AND PLANTING.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- ALL NURSERY STOCK SHALL BE WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. DECIDUOUS TREES SHALL BE FREE OF FRESH SCARS. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS A PART OF THIS CONTRACT.
- ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
- AMENDED SOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO A 6" DEPTH BELOW FINISHED GRADE IN TURF AREAS AND A 12" DEPTH IN PLANTING AREAS.
- PLANTING AREA TOPSOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 65% PULVERIZED SOIL FOR ALL SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS. AMENDED TURF AREA SOIL SHALL BE STANDARD TOPSOIL.
- SEED LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED MIXES.
- CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL, AND GROUND COVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
- DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
- PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
- THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
- THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED BY LANDSCAPE CONTRACTOR DURING WARRANTY PERIOD IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.

1 TREE PLANTING

NTS



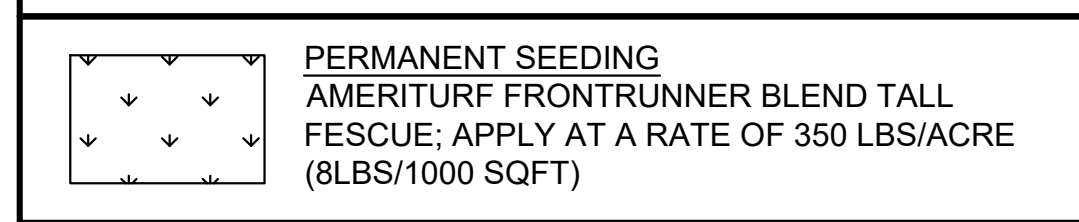
NOTES:

- APPLY CORRECTIVE PRUNING.
- SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR THOSE SHRUBS.
- REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL. TWINE AND (IF USED) SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
- REMOVE OR CORRECT GIRDLING ROOTS.
- PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
- APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED. SEE PLANS FOR BED LAYOUTS.

2 SHRUB PLANTING

NTS

SEEDING LEGEND



Drawing name: K:\IND_DEV\17001801\CCCC_P\PlanSheet\Building\1.1 - LANDSCAPE PLAN & DETAILS.dwg L1.5 - DETAILS Jun 04, 2021 10:10am by michelcayer
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