

CULVER'S OF PLAINFIELD SOUTH

PROJECT DESCRIPTION

REDEVELOPMENT OF A FORMER GOLDEN CORRAL RESTAURANT SITE FOR THE CONSTRUCTION OF A CULVER'S RESTAURANT WITH A DOUBLE DRIVE THRU

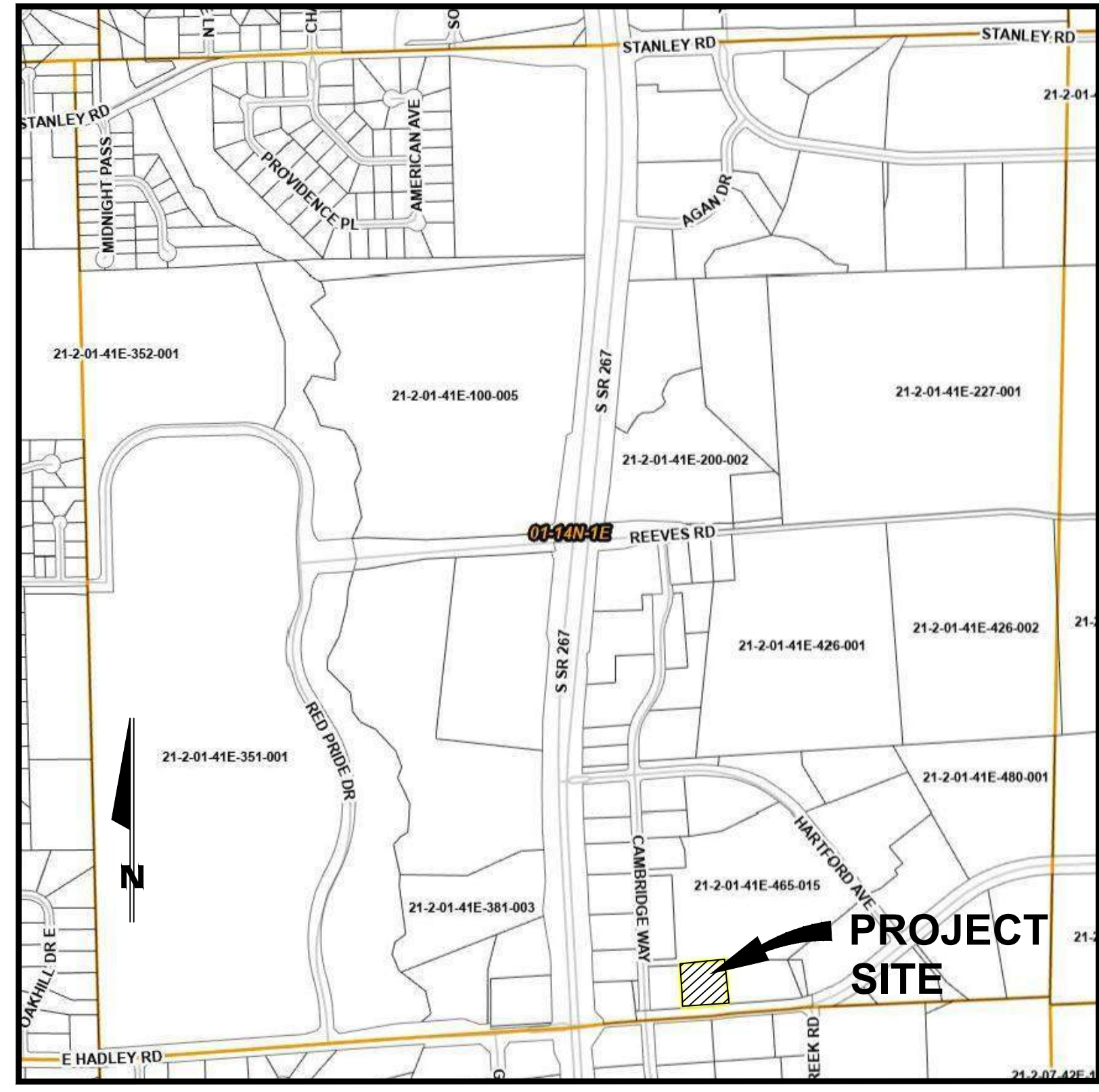
TOWN OF PLAINFIELD

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LOCATION MAP
PART OF PLAINFIELD, INDIANA
SECTION 1, TOWNSHIP 14 NORTH, RANGE 1 EAST,
GUILFORD TOWNSHIP, HENDRICKS COUNTY, INDIANA

THE PROPOSED CONSTRUCTION WILL NOT BE LOCATED WITHIN THE 100 YEAR FLOODPLAIN, ZONE X, PER FEMA FLOOD MAP 18063C0286, EFFECTIVE 9/25/2009.

OWNER/DEVELOPER
S & L PROPERTIES PLAINFIELD SOUTH, LLC
2651 KIRKING COURT
PORTAGE, WI 53901

SURVEYOR/ENGINEER
SAM LLC
2810 DEXTER DRIVE
ELKHART, IN 46516

IMPORTANT UNDERGROUND UTILITY NOTES

EXISTING UNDERGROUND UTILITIES SHOWN IN THESE PLANS ARE BASED ON EVIDENCE OF ABOVE GROUND FEATURES, ON LOCATIONS MARKED IN THE FIELD BY OTHERS, OR ON RECORD INFORMATION PROVIDED BY UTILITY COMPANIES. PIPE INVERT ELEVATIONS WERE MEASURED WITHOUT ENTERING CONFINED SPACES. NO EXCAVATION SHOULD OCCUR WITHOUT NOTIFICATION OF APPROPRIATE AGENCIES AND UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF PIPE INVERT ELEVATIONS AND UTILITY LOCATIONS, AND SHALL NOTIFY THE PROFESSIONAL SURVEYOR IMMEDIATELY IF CONFLICTS ARE DISCOVERED.

GENERAL NOTES

FOR PROTECTION OF UNDERGROUND UTILITIES, CONTRACTOR SHALL CALL 1-800-362-5544 A MINIMUM OF TWO WORKING DAYS PRIOR TO EXCAVATING IN THE VICINITY OF UTILITY LINES. ALL INDIANA 811 PARTICIPATING MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE PART OF THE INDIANA 811 ALERT SYSTEM.

IF ANY ERRORS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

THE CONTRACTOR SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE LOCAL GOVERNMENT, INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT, AND THE INDIANA DEPARTMENT OF TRANSPORTATION.

THE CONTRACTORS SHALL MAKE WHATEVER SOIL BORINGS NECESSARY TO FULLY ACQUAINT THEMSELVES WITH CONDITIONS AS THEY EXIST SO THAT THEY MAY FULLY UNDERSTAND THE CONDITIONS WHICH MAY AFFECT THE COST OF THE WORK. FAILURE TO MAKE SUCH BORINGS OR ANY BORINGS MADE WHICH DO NOT PROVIDE A COMPLETE UNDERSTANDING OF THE CONDITIONS ENCOUNTERED SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR CARRYING OUT ALL THE WORK TO COMPLETION AS SHOWN ON THE PLANS, OR AS SPECIFIED, AT THE PRICE SPECIFIED TO BE PAID FOR THE WORK. WHERE THE RESULTS OF ANY TEST BORINGS ARE SHOWN ON THE PLANS, THE INFORMATION IS NOT GUARANTEED AND THE CONTRACTOR MUST SATISFY HIMSELF AS TO THE CHARACTER OF MATERIALS THAT MAY BE ENCOUNTERED.

THE CONTRACTOR SHALL FOLLOW THE OSHA REGULATIONS 29 C.F.R. 1926 SUBPART P, FOR TRENCH SAFETY SYSTEMS. THE COST FOR TRENCH SAFETY SYSTEMS SHALL BE MERGED INTO THE PAY ITEM OF THE PRINCIPAL WORK WITH WHICH THE SAFETY SYSTEMS ARE ASSOCIATED. THE CONTRACTOR SHALL OTHERWISE BE RESPONSIBLE FOR SAFETY IN REGARD TO THE PROJECT'S CONSTRUCTION.

Preliminary Drawing – Not for Construction

PRINTED Thursday, April 25, 2024 10:12:26 AM
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NO.	REVISIONS	BY	DATE



2810 Dexter Drive
Elkhart, IN 46514
Phone: 574-266-1010
Email: info@sam.biz

DRAWING FILE: 1 - COVER.DWG
CERTIFICATION DATE: 4/25/2024
HORIZONTAL SCALE: NONE
VERTICAL SCALE: NONE
SURVEYOR: MIKEL CURRIER, P.S.
TECHNICIAN: MDC

COVER SHEET	
S & L Properties Plainfield South LLC, 2224 Perry Road, PT. SE 1/4, SEC. 1, T14N, R1E, Town of Plainfield, Hendricks County, Indiana	
JOB NUMBER: 1023085769	

SHEET 1
OF 9

GENERAL NOTES

1. A PRE-CONSTRUCTION MEETING BETWEEN THE DEVELOPER, THE DEVELOPER'S CONTRACTOR, AND THE APPROPRIATE COUNTY AND/OR CITY PERSONNEL MUST BE SCHEDULED PRIOR TO ANY WORK BEING PERFORMED ON THE SITE.
2. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
3. CONTRACTOR SHALL RETAIN A LICENSED LAND SURVEYOR TO ESTABLISH GRADES AND LOCATE BUILDINGS.
4. FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53.1974, THE CONTRACTOR SHALL CALL INDIANA 811, AT 800-382-5544 A MINIMUM OF TWO FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS, PRIOR TO BEGINNING EACH EXCAVATION IN ANY AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THIS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE IUPPS ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
5. THE CONTRACTOR SHALL INSTALL A TEMPORARY PEDESTRIAN SECURITY FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
6. ALL CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE INDIANA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. REGULATORY SIGNAGE AS NECESSARY FOR MAINTAINING SAFE TRAFFIC ON ADJACENT ROADWAYS SHALL BE PER THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT). THE CONTRACTOR IS RESPONSIBLE FOR PROPER TRAFFIC CONTROL AND WARNING SIGNING AND DEVICES FOR THE DURATION OF CONSTRUCTION ON ANY PUBLIC STREET.
7. WHEN WORKING WITHIN PUBLIC RIGHTS-OF-WAY, THE CONTRACTOR SHALL MAINTAIN FLASHING WARNING LIGHTS ON CONSTRUCTION SIGNS AND BARRICADES ON A MINIMUM WEEKLY BASIS, AND SHALL PROMPTLY RESPOND TO PROBLEMS WITH THESE AS DIRECTED, (I.E. FALLEN SIGNS, OBSTRUCTED SIGNS, ETC.).
8. ALL SITE IMPROVEMENTS ON-SITE OR OFF ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR MUST OBTAIN ALL PERMITS TO WORK IN RIGHTS-OF-WAY UNLESS OTHERWISE NOTED.
9. THE CONTRACTOR SHALL PROMPTLY RE-GRADE AND RE-VEGETATE ERODED AREAS, AND CLEAN UP SEDIMENTATION RESULTING FROM CONSTRUCTION.
10. THE CONTRACTOR SHALL UTILIZE AND MAINTAIN (AT ALL TIMES) TEMPORARY EROSION AND SEDIMENTATION CONTROL FEATURES SO AS TO PREVENT ERODED SOILS FROM ENTERING STORM WATER STRUCTURES, PIPES, AND RETENTION PONDS. SEDIMENTATION SHALL BE REMOVED FROM THESE AREAS PRIOR TO PROJECT COMPLETION.
11. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
12. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
13. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER/SURVEYOR PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
14. THERE ARE NO SIGNIFICANT IMPACTS TO OFFSITE WATER SHED PATTERNS.
15. THE ENTERING AND EXITING OF EQUIPMENT AND HAULING TRAFFIC FROM THE WORK SITE SHALL BE DONE IN A SAFE MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT EQUIPMENT OPERATORS AND HAUL TRUCK DRIVERS, ETC., USE CAUTION AND ACCEPTABLE SPEEDS DURING WORK.

PAVING AND GRADING NOTES

1. CURB TO BE PROVIDED WHERE SHOWN AND INTEGRAL WITH SIDEWALK AT PAVING EDGE.
2. ALL ELEVATIONS SHOWN ARE TO FINISHED PAVEMENT UNLESS OTHERWISE NOTED ON PLANS.
3. SLOPE GRADES UNIFORMLY BETWEEN ELEVATIONS SHOWN. SLOPE SIDEWALKS AWAY FROM BUILDING AT 2% (MAX) ON ENTRY WALK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE THROUGHOUT THE PROJECT. FINISHED PAVEMENT ELEVATION SHALL BE MARKED ON CURBING AS NEEDED. THE CONTRACTOR SHALL AVOID PONDING AT INVERTED CROWNED PAVEMENT.
5. EXPANSION JOINTS IN CONCRETE PAVEMENT AND SIDEWALKS SHALL BE 1/2" ASPHALT IMPREGNATED FILL DEPTH 40" O.C. MAXIMUM AND AT SIDEWALK INTERSECTIONS. CRACK CONTROL SCORING REQUIRED AT SIDEWALK WIDTH DIMENSION. EXTERIOR CONCRETE SHALL BE 4,000 PSI, 4-6% AIR ENTRAINED, LIMESTONE AGGREGATE, WITH A BROOM FINISH AND CURING SEAL.
6. STANDARD HMA PAVEMENT SHALL BE:
 - 165#/SYD (1-1/2") HMA SURFACE, TYPE B, 9.5 MM ON TACK COAT OVER
 - 330#/SYD (3") HMA BASE, TYPE B, 25.0 MM OVER
 - 6" INDOT COMPACTED AGGREGATE, NO. 53 BASE OVER COMPACTED SUBGRADE
 RECYCLED BITUMINOUS PAVEMENT (RAP) SHALL BE ALLOWED IN BITUMINOUS PAVEMENT ACCORDING TO CURRENT INDOT SPECIFICATIONS.
7. CONCRETE PAVEMENT REQUIREMENTS: (EXCLUDING SIDEWALKS)
 - 6" REINFORCED CONCRETE WITH 6"x6" - #10X#10 WIRE FABRIC OVER
 - 6" COMPACTED AGGREGATE, NO. 53 OVER COMPACTED SUBGRADE
 CONCRETE TO BE CAPABLE OF REACHING 4,000 PSI IN 28 DAYS. SUBBASE TO BE ADEQUATELY DRAINED.
8. THE OWNER OR OWNER'S REPRESENTATIVE SHALL APPROVE EACH BITUMINOUS MIXTURE LIFT PRIOR TO THE PLACEMENT OF THE FOLLOWING LIFTS.
9. AFTER SUBGRADE TREATMENT IN ACCORDANCE WITH THE SITE GEOTECHNICAL EVALUATION THE COMPACTION SHALL BE ACCOMPLISHED BY PLACING THE MATERIAL IN MAXIMUM 8" LOOSE LIFTS AND MECHANICALLY COMPACTING EACH LIFT TO THE SPECIFIED DENSITY OR AS DIRECTED BY THE SOILS ENGINEER. FIELD DENSITY TESTS SHALL BE PERFORMED ON EACH LIFT AS NECESSARY TO INSURE THAT ADEQUATE MOISTURE CONDITIONS AND COMPACTION ARE BEING ACHIEVED. ANY FAILED DENSITY TESTS SHALL BE RETAKEN AT THE SAME LOCATION, AFTER CORRECTIVE MEASURES AT NO EXPENSE TO THE OWNER, UNTIL PASSING RESULTS ARE OBTAINED.
10. SOILS EXPOSED IN THE BASE OF ALL SATISFACTORY FOUNDATION EXCAVATIONS SHOULD BE PROTECTED AGAINST ANY DETRIMENTAL CHANGES IN CONDITION SUCH AS FROM DISTURBANCE, RAIN AND FREEZING. SURFACE RUN-OFF WATER SHALL BE DRAINED AWAY FROM THE EXCAVATION AND NOT ALLOWED TO POND. IF POSSIBLE, ALL FOOTING CONCRETE SHOULD BE POURED THE SAME DAY THE EXCAVATION IS MADE. IF THIS IS NOT PRACTICAL, THE FOOTING EXCAVATIONS SHOULD BE ADEQUATELY PROTECTED.
11. REMOVE AND REPLACE WITH CONTROLLED FILL ANY AREAS THAT HAVE BEEN SOFTENED BY RAINS, FREEZING, CONSTRUCTION EQUIPMENT, ETC.
12. OVERLOT GRADING OR MASS FILLING SHALL BE DONE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS PERTAINING TO THE SITE. BACKFILL OR MASS FILL WITHIN BUILDING PAD AREAS SHALL BE IN ACCORDANCE WITH THE ARCHITECT'S REQUIREMENTS OR AS SPECIFIED BY THE GEOTECHNICAL ENGINEER.
13. MATERIALS WHICH INHIBIT DRAINAGE, SUCH AS CLAY, ORGANIC SOILS, OR MISCELLANEOUS DEBRIS FILL MATERIAL SHALL NOT BE PLACED UNDER PROPOSED RETENTION POND BOTTOMS. CONTRACTOR SHALL NOT ALLOW HEAVY EQUIPMENT TO COMPACT SOILS IN THE BOTTOM OF THE RETENTION POND. 3" OF TOPSOIL SHALL BE PLACED AT RETENTION POND AREAS OVER EXISTING UNCOMPACTED SOILS AND SEEDED AS DETAILED ON THE LANDSCAPE PLAN.
14. ALL FILL FOR THIS PROJECT MUST BE OBTAINED AND PLACED BY THE EXCAVATION CONTRACTOR. ALL REQUIRED FILL SHALL BE SELECTED EXCAVATED MATERIAL FROM THE SITE APPROVED BY THE ENGINEER, OR MDOT STRUCTURAL BACKFILL MATERIAL. EXCESS FILL SHALL BE REMOVED FROM SITE BY THE EXCAVATION CONTRACTOR AS DIRECTED BY THE OWNER AFTER SUBSTANTIAL COMPLETION. NOTE: NO BORROW OR SOIL REMOVAL ARRANGEMENTS HAVE BEEN PREARRANGED BY THE OWNER, AND IT SHALL BE THE RESPONSIBILITY OF THE EXCAVATION CONTRACTOR TO COORDINATE WITH THE OWNER. ENCOUNTERED TOPSOIL MATERIALS SHALL BE STOCKPILED SEPARATELY FOR REUSE AT AREAS TO SUPPORT VEGETATION. NO EARTH MATERIALS SHALL BE REMOVED FROM THE SITE PRIOR TO RECEIVING PERMISSION FROM THE OWNER/ENGINEER OR SURVEYOR.
15. ALL GRANULAR FILL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR (ASTM D1557) DENSITY. ALL SUBGRADE AND SUBBASE MATERIALS SHALL BE COMPACTED TO 98% MODIFIED PROCTOR (ASTM D1557) DENSITY BEFORE PARKING LOT AND DRIVEWAY ASPHALT PLACEMENT.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROCTOR TESTING AND IN-PLACE DENSITY TESTING OF COMPACTED AGGREGATE SUBBASE AS SPECIFIED BY THE GEOTECHNICAL ENGINEER. NO PAVEMENT MATERIAL SHALL BE PLACED ON COMPACTED AGGREGATE PRIOR TO THE GEOTECHNICAL ENGINEER'S APPROVAL OF SUBBASE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK REQUIRED TO REACH AN ACCEPTABLE MOISTURE CONTENT AT ANY TIME PRIOR TO PAVING (I.E. WETTING OR AERATING OF SUBBASE) AS PER MDOT SPECIFICATIONS. THIS SHALL ALSO APPLY TO THE CONTROL OF MOISTURE CONTENT ON SUBGRADE AND COMPACTED FILL.
17. ALL TOPSOIL AND OTHER UNSUITABLE MATERIAL AS DESCRIBED ABOVE LOCATED BENEATH THE PROPOSED PAVEMENT AND BUILDING AREA SHALL BE REMOVED. ALL TOPSOIL REMOVED MAY BE STOCKPILED AND REUSED AS TOPSOIL SURFACE - 6" THE SURFACE SOIL MATERIALS IN THE FLOOR SLAB AND PAVEMENT AREAS OF THE SITE SHALL BE STRIPPED AND REMOVED FROM THE CONSTRUCTION AREAS. THE EXPOSED SUBGRADE SHALL BE VISUALLY EXAMINED AND PROOF ROLLED WITH A MEDIUM WEIGHT VIBRATORY ROLLER. ANY UNSUITABLE MATERIALS (I.E., ACCUMULATIONS OF FROZEN SOIL, TOPSOIL, NON-SOIL FILL, SOFT OR LOOSE MATERIALS, ETC.) THIS EXPOSED SHOULD BE REMOVED AND REPLACED WITH A WELL COMPACTED, STRUCTURAL BACKFILL AS DEFINED BY MDOT.
18. SUBGRADE FOR ALL PAVEMENT SHALL BE PROOF-ROLLED PRIOR TO PAVING. ANY ENCOUNTERED "PUMPING" AREAS SHALL BE UNDERCUT AND BACKFILLED WITH MDOT STRUCTURAL BACKFILL, OR APPROVED EQUAL, AT THE NEAT LINE LIMITS AS APPROVED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING PONDING OF STORM WATER ON SUBGRADE AND SUBBASE.
19. CONCRETE TESTING - CONTRACTOR SHALL EMPLOY AN INDEPENDENT TESTING ENGINEER TO VERIFY THAT THE SLUMP & AIR ENTRAINMENT MEET CURRENT & APPLICABLE MDOT STANDARDS. CONTRACTOR TO PROVIDE (3) CYLINDER SAMPLES FROM EACH DAYS' POUR, OR FOR EACH 50 C.Y. OF CONCRETE POURED.

SITE UTILITY NOTES

1. DESIGN, INSTALLATION AND SPECIFICATION FOR IMPROVEMENTS RELATED TO GAS, TELEPHONE, ELECTRIC AND CABLE TELEVISION SERVICES SHALL BE COORDINATED BY THE CONTRACTOR. APPROVAL OF THE DESIGN, SCHEDULE, AND INSTALLATION SHALL BE BY THE OWNER OR OWNER'S REPRESENTATIVE.
2. CONTRACTOR SHALL COORDINATE TELEPHONE, ELECTRIC, AND CABLE TELEVISION CONDUITS WITH THE APPROPRIATE UTILITY PRIOR TO PAVEMENT INSTALLATION.
3. CONTRACTOR IS TO UNCOVER AND CONFIRM ALL TAP LOCATIONS. LOCATION DISCREPANCIES ARE TO BE BROUGHT TO THE ENGINEER'S/SURVEYOR'S ATTENTION FOR RESOLUTION.
4. THE CONTRACTOR SHALL NOTIFY THE TOWN OF PLAINFIELD WATER & SEWER 48 HOURS PRIOR TO COMMENCING CONSTRUCTION OF WATER AND SANITARY SEWER TAPS. THE TOWN OF PLAINFIELD WATER & SEWER CAN AID IN LOCATING EXISTING UTILITY LINES AND REQUIRES INSPECTION OF UTILITY CONSTRUCTION CONNECTIONS.
5. TAPPING OF PUBLIC WATER MAINS MUST BE PERFORMED BY THE TOWN OF PLAINFIELD PUBLIC WORKS DEPARTMENT. TO SCHEDULE TAPS, CONTACT THE TOWN OF PLAINFIELD PUBLIC WORKS AT 317-839-3490. ALL FEES FOR WATER CONNECTION SHALL BE PAID BY CONTRACTOR.
6. MAINTAIN 10' MINIMUM HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION BETWEEN WATER UTILITIES AND SANITARY SEWER AND/OR STORM SEWER.
7. COMMERCIAL WATER SERVICES SHALL BE FITTED WITH EITHER INTERIOR OR EXTERIOR BACKFLOW PREVENTION DEVICES. EXTERIOR BACKFLOW PREVENTION DEVICES ARE TO BE PLACED IN ABOVE GROUND ENCLOSURES THAT ARE INSULATED AND HEATED TO RESIST FREEZING.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND ALL FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
9. SANITARY SEWER UTILITY SERVICE LATERALS SHALL BE A MINIMUM OF 6" IN DIAMETER AND LAID WITH A MINIMUM SLOPE TO PERMIT A 2.0 FT/SEC CLEANING VELOCITY. (I.E. 6" PIPE REQUIRES 0.6% SLOPE).
10. WATER SERVICES UNDER 4" SHALL BE TYPE "K" COPPER OR PE CTS DR9 PLASTIC WITH TWO #10 COPPER TRACER WRES.
11. WATER SERVICES 4" AND UP SHALL BE C900 PVC, BLUE COLOR, OR AN ENGINEER APPROVED EQUAL WITH TWO #10 COPPER TRACER WIRES. THE PIPE SHALL MEET THE REQUIREMENTS OF THE LATEST REVISION OF AWWA C900 AND ANS/NSF 61 DRINKING WATER SYSTEM COMPONENTS - HEALTH EFFECTS. C900 PVC PIPE SHALL HAVE A PRESSURE CLASS OF 200, DR WATER MAIN PIPE SHALL BE MANUFACTURED TO CAST IRON OUTSIDE DIAMETERS. THE SEAL SHALL MEET THE REQUIREMENTS OF ASTM F477.
12. ANY SANITARY SEWER, SANITARY SEWER SERVICE LEADS, WATER MAIN, WATER SERVICES, AND/OR STORM SEWER WHICH IS DAMAGED BY THE CONTRACTOR DURING HIS OPERATIONS SHALL BE REPAIRED TO THE OWNER OR OWNER'S REPRESENTATIVE'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
13. UTILITY TRENCHES SHALL BE BACKFILLED WITH GRANULAR MATERIAL AND COMPACTED IN 8" TYPICAL LIFTS TO 98% STANDARD PROCTOR DENSITY.
14. MANHOLE AND CATCH BASIN STRUCTURES SHALL BE PRE-CAST AND HAVE A MAXIMUM OF 2 ADJUSTING RINGS FOR FINISH GRADE ADJUSTMENT.
15. ALL WATER MAINS TO HAVE A BURIAL DEPTH AS REQUIRED BY THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT FOR THE SPECIFIC REGION OF WORK (60" MIN. IN HENDRICKS COUNTY).
16. SANITARY PIPE SHALL BE SDR26 PVC WITH BELL AND SPIGOT JOINTS AND CONFORM TO ASTM D3034. STORM SEWER SHALL BE HDPE IN ACCORDANCE WITH ASTM D3350 OR APPROVED EQUAL.
17. THE CONTRACTOR SHALL TERMINATE THE SANITARY SEWER STUB AND WATER SERVICE FIVE (5) FEET FROM THE EDGE OF THE BUILDING. THE SEWER STUB AND WATER SERVICE SHALL BE PLUGGED WATER TIGHT.
18. INCIDENTAL TO ALL UTILITY PIPE WORK SHALL BE STRUCTURAL BACKFILL BEDDING AND BACK FILL. EXISTING MATERIAL SHALL NOT BE ALLOWED FOR PIPE BACKFILL UNLESS APPROVED IN WRITING FOR SPECIFIC LOCATIONS BY THE ENGINEER/SURVEYOR.
19. ALL MANHOLE, CATCH BASIN, AND INLET CASTINGS SHALL BE BICYCLE SAFE.
20. ALL WATER MAINS SHALL BE INSTALLED AND TESTED AS PER MANUFACTURER'S INSTRUCTION, UTILITY PROVIDER, AND AS PER AWWA C600. WATER MAINS SHALL BE DISINFECTED AS PER AWWA C651. HYDROSTATIC PRESSURE AND LEAKAGE TEST AND BACTERIOLOGICAL TESTS SHALL BE COORDINATED WITH THE CITY OF FORT WAYNE WATER DEPARTMENT. CERTIFIED COPIES OF ALL TEST RESULTS SHALL BE PROVIDED TO THE CITY OF FORT WAYNE WATER DEPARTMENT.

DEMOLITION NOTES

1. ALL LANDSCAPE SHRUBS AND TREES SHALL BE REMOVED UNLESS OTHERWISE NOTED ON THE PLAN, OR AS DIRECTED BY OWNER OR OWNER'S REPRESENTATIVE.
 2. REMOVE EXISTING CURB, CONCRETE PAVEMENT, ASPHALT PAVEMENT, ETC. AS REQUIRED, AS SHOWN ON PLANS, OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
 3. REMOVE THE EXISTING GRAVEL BASE BELOW PAVED SURFACES AS REQUIRED FOR NEW CONSTRUCTION TO OBTAIN PROPOSED FINISHED GRADES AND TO ACCOMMODATE THE PROPOSED PAVEMENT SECTION.
 4. ALL EXISTING DRAINAGE STRUCTURES, PIPING AND GREASE TRAPS SHALL BE REMOVED UNLESS OTHERWISE NOTED.
 5. ALL EXISTING SITE SIGNAGE SHALL REMAIN, UNLESS OTHERWISE NOTED.
 6. ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE IN A LAWFUL MANNER AT THE CONTRACTOR'S DISCRETION.
- SITE PLAN NOTES**
1. ALL SITE IMPROVEMENTS ARE DIMENSIONED TO THE BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. RADII ARE MEASURED TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 2. HEIGHT, STYLE AND DESIGN OF BUILDING FACADE AND ELEVATIONS WILL BE AS PER THE ARCHITECTURAL PLANS.
 3. TEMPORARY PROJECT IDENTIFICATION SIGNS SHALL BE REMOVED UPON COMPLETION OF THE PROJECT.
 4. ALL SITE SIGNAGE SHALL BE AS SHOWN, OR AT THE OWNER'S DIRECTION.
 5. INTERIOR TRAFFIC CIRCULATION SIGNS SHOWN FOR LOCATION ONLY - OWNER TO SELECT MATERIAL AND DESIGN.
 6. PAVEMENT MARKINGS FOR PARKING AND RESTRICTING AREAS SHALL BE A 30 MIL APPLICATION OF CHLORINATED RUBBER TRAFFIC MARKING PAINT, AND OF SUFFICIENT APPEARANCE AS APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE. INSUFFICIENT PAVEMENT MARKINGS SHALL BE REDONE AS DEEMED NECESSARY BY THE OWNER OR OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE. ALL LINES SHALL BE 4" WIDE, STRAIGHT, EVENLY SPACED, AND UNIFORM IN LENGTH.
 7. ALL HANDICAPPED SIGNAGE SHALL COMPLY WITH THE STATE OF INDIANA'S BARRIER FREE DESIGN REQUIREMENTS AND THE AMERICANS WITH DISABILITIES ACT.
 8. IN ADDITION TO PAVEMENT MARKINGS FOR PARKING SPACES, LANE ARROW AND "ONLY" MARKINGS FOR "RIGHT-IN, RIGHT-OUT" AND INTERIOR TRAFFIC FLOW, ETC. SHALL BE INCIDENTAL TO THE PROJECT AND SHALL BE PLACED IN ACCORDANCE WITH INDOT STANDARD SPECIFICATIONS.

EROSION CONTROL NOTES

1. THE CONTRACTOR IS ADVISED THAT THE WORK MUST BE DONE IN COMPLIANCE WITH THE FOLLOWING SPECIFICATIONS, SOME OF WHICH RESULT FROM THE REQUIREMENTS OF THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT'S STORM WATER PERMITS SECTION. AN APPROVED PERMIT FROM THIS AGENCY IS BASED ON THE CONTRACTOR'S COMPLIANCE WITH THE SPECIFICATIONS AND THE ACTUAL PERMIT DOCUMENTS.
2. THE CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY AND WITHIN 24 HOURS AFTER STORM EVENTS OF 1/2" OR MORE PRECIPITATION OR AFTER HEAVY USE AND REPAIR IMMEDIATELY.
3. THE CONTRACTOR SHALL KEEP A LOG OF THE CONTRACTOR'S INSPECTION OF TEMPORARY EROSION CONTROL MEASURES. THE LOG SHALL BE AVAILABLE AT THE JOB SITE FIELD OFFICE DURING ALL WORK DAY HOURS FOR REVIEW BY VISITING IDEM INSPECTORS, SWCD INSPECTORS, CITY INSPECTORS AND THE ENGINEER/SURVEYOR. THE LOG SHALL BE BRIEF, BUT SHALL INCLUDE THE NAME OF CONTRACTOR'S INSPECTOR, DATE OF INSPECTION, MAN HOURS OF CONTRACTOR'S INSPECTION TIME AND COMMENTS ON ANY AND ALL FAILED OR FAILING EROSION CONTROL FEATURES ALONG WITH THE MEASURES TAKEN FOR PROMPT CORRECTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL PRACTICES UNTIL COMPLETION OF PROJECT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH UTILITIES WITH RESPECT TO AVOIDING CONFLICTS AND DISTURBANCE OF SERVICES.
6. THE CONTRACTOR SHALL HAVE ON FILE, AT THE SITE, THE "INDIANA STORM WATER QUALITY MANUAL."
7. THE CONTRACTOR SHALL CLEAN OUT ALL CATCH BASINS AND STORM SEWER UPON COMPLETION OF THE PROJECT.
8. THE CONTRACTOR SHALL STRIP AND STOCKPILE TOPSOIL AND REMOVE EXCESS FROM SITE TO A PROPERLY PERMITTED SITE AS APPROVED BY THE OWNER UPON SUBSTANTIAL COMPLETION OF THE WORK.
9. ANY TOPSOIL STOCKPILES ARE TO BE PROTECTED FROM EROSION. TEMPORARY TOPSOIL STOCKPILES WILL BE PERMITTED IN AREAS APPROVED BY THE ENGINEER/SURVEYOR.
10. THE CONTRACTOR SHALL CONTROL DUST ON THE PROJECT SITE WHEN NECESSARY USING METHODS WHICH COMPLY WITH THE "INDIANA STORM WATER QUALITY MANUAL."
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL AND CONTAINING OF LIQUID OR SOLUBLE CONSTRUCTION MATERIALS FOR THE PROTECTION OF THE GROUNDWATER RESOURCE. ANY ACCIDENTAL SPILLAGE SHALL BE CLEANED UP IMMEDIATELY BY ACCEPTABLE MEANS, REGARDLESS OF THE TIME OF DAY OR DAY OF WEEK.
12. THE CONTRACTOR IS ADVISED THAT THE ENVIRONMENTAL REVIEW FOR THIS PROJECT HAS DETERMINED THAT THE PROJECT HAS LIMITED POTENTIAL TO ADVERSELY AFFECT THE WATER BEARING AQUIFER. THE CONTRACTOR'S OPERATIONS SHALL BE SUCH AS TO AVOID THE CREATION OF THE POTENTIAL FOR STORM WATER TO ENTER THE GROUND WATER.
13. STOCKPILES OF EARTH MATERIALS SHALL BE SHAPED AS PER STATE STANDARDS. TOPSOIL MATERIALS SHALL BE STOCKPILED SEPARATELY FROM OTHER SOILS.
14. REMOVE ALL VEGETATION AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA AND GRADE AND CROWN FOR POSITIVE DRAINAGE. CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE "INDIANA STORM WATER QUALITY MANUAL."
15. THE CONTRACTOR'S BID SHALL INCLUDE THE USE OF TEMPORARY GRAVEL ENTRANCE PADS (INCIDENTAL TO THE CONTRACT) WHERE APPROVED HAULING ROUTES CONNECT TO ROADWAYS. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT PADS PRIOR TO OTHER SITE OPERATIONS. THE WORK SHALL INCLUDE THE EVENTUAL REMOVAL OF SUCH GRAVEL PADS, AND THE INCIDENTAL GRADING, SEEDING, OR SODDING REQUIRED TO RETURN THE PAD AREAS TO ORIGINAL CONDITION. THE TEMPORARY GRAVEL PADS SHALL HAVE A MINIMUM 6" THICK APPLICATION OF 2" TO 3" COARSE AGGREGATE AT A MINIMUM 12' WIDE AND 50' LONG, WITH SUFFICIENT RADII AT THE ROADWAY. GEOTEXTILE FOR STABILIZATION BELOW THE GRAVEL PADS SHALL BE INCLUDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPTLY CLEANING UP ANY MATERIALS FROM PUBLIC ROADWAYS, WHICH ARE THE RESULT OF WORK OPERATIONS.
16. THE CONTRACTOR SHALL PERMANENTLY SEED, FERTILIZE, AND MULCH ALL FINAL GRADE AREAS (I.E., LANDSCAPE BERMS, RETENTION SWALES, ETC.) AS EACH IS COMPLETED. SEEDING, FERTILIZING, AND MULCHING SHALL BE IN COMPLIANCE WITH THE "INDIANA STORM WATER QUALITY MANUAL."
17. TEMPORARY GRASS SEEDING SHALL BE PERFORMED ON ALL AREAS SCHEDULED, OR LIKELY, TO REMAIN INACTIVE FOR A PERIOD OF 7 DAYS TEMPORARY AND 14 DAYS PERMANENTLY. TEMPORARY SEEDING SHALL BE INCIDENTAL TO THE CONTRACT AND SHALL INCLUDE THE FOLLOWING SPECIES AND RATES:

SPECIES	RATE/ACRE	OPTIMUM PLANTING
WHEAT OR RYE	150#	9/15 TO 10/30
SPRING OATS	100#	3/1 TO 4/15
ANNUAL RYE GRASS	40#	3/1 TO 5/1, 8/1 TO 9/1

 A FERTILIZER APPLICATION OF 400#/ACRE OF 12-12-12 ANALYSES MATERIAL SHALL ACCOMPANY THE SEEDING APPLICATION. MULCHING OF TEMPORARY SEEDING SHALL BE 'AS NEEDED'.
18. PERMANENT SEEDING SHALL BE INDOT TYPE 'U' MULCHED SEEDING AS PER CURRENT INDOT STANDARD SPECIFICATIONS OR ALTERNATE SEEDING IF PROVIDED WITH LANDSCAPING PLANS NOTES. PERMANENT SEEDING SHOULD BE APPLIED FROM MARCH 1ST THRU MAY 10TH OR FROM AUGUST 10TH THRU SEPTEMBER 30TH, ANY PERMANENT SEEDING BETWEEN JUNE 1ST AND AUGUST 10TH MUST BE IRRIGATED TO ALLOW FOR PROPER SEED GERMINATION.
19. SEEDING SHALL BE DONE PROMPTLY AND PROGRESSIVELY AS WORK IS COMPLETED IN ORDER TO ALLOW FOR THE EARLIEST POSSIBLE ESTABLISHMENT OF STABILIZED GRASS. MULTIPLE MOBILIZATIONS FOR THE SEEDING OF SPECIFIC SECTIONS SHALL BE INCLUDED IN THE WORK.
20. THE JOB WIDE SEQUENCE OF GENERAL WORK OPERATIONS RELATING TO EARTH DISTURBING ACTIVITIES SHALL BE SUCH AS TO PREVENT THE POTENTIAL FOR EROSION AND SEDIMENTATION. THE SEQUENCE SHALL BE GENERALLY AS FOLLOWS, WHILE ALSO CONSIDERING MAINTENANCE OF TRAFFIC:
 - A. SITE CLEARING
 - B. ROUGH GRADING & CONSTRUCTION OF DETENTION BASINS
 - C. TEMPORARY SEEDING AS NEEDED - INCIDENTAL APPLICATIONS THROUGHOUT CONSTRUCTION
 - D. UNDERGROUND CONSTRUCTION
 - E. ROUGH GRADING/FINE GRADING
 - F. BUILDING CONSTRUCTION
 - G. PAVEMENT CONSTRUCTION
 - H. COMPLETION OF PERMANENT SEEDING
 - I. MISCELLANEOUS CONSTRUCTION
 - J. FINAL CLEANUP
21. TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED AT THE TIME OF SITE CLEARING AS EARLY IN THE ABOVE SEQUENCE AS NEEDED, AND SHALL BE MAINTAINED THROUGHOUT THE SEQUENCE AS NEEDED. DURING THE COURSE OF WORK, CLEANUP SHALL BE DONE AS NEEDED AND AS DIRECTED TO AVOID EROSION AND SEDIMENTATION.
22. THE EROSION AND SEDIMENTATION CONTROL MEASURES AS SHOWN SHALL BE CONSIDERED A MINIMUM APPLICATION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING EROSION AND SEDIMENTATION CONTROL BEST MANAGEMENT PRACTICES AS NEEDED THROUGHOUT THE CONSTRUCTION.
23. THE CONTRACTOR SHALL LOCATE AND MAINTAIN A CONCRETE WASHOUT AREA FOR THE DURATION OF CONCRETE POURING ACTIVITIES. THE CONTRACTOR SHALL REMOVE ALL DRIED CONCRETE FROM THE WASHOUT AREA BY THE END OF THE PROJECT.
24. THE CONTRACTOR SHALL PROVIDE RIP-RAP DAMS ACROSS ALL DITCHES, SWALES, AND ROUGH CUT ROADS WHICH EXIT FROM THE SITE TO ELIMINATE SEDIMENT RUN-OFF.
25. THE CONTRACTOR SHALL AVOID UNNECESSARILY DISTURBING OR REMOVING EXISTING VEGETATED TOPSOIL OR EARTH COVER ALONG THE PROJECT PERIMETER. THESE AREAS ACT AS SEDIMENT FILTERS.
26. ALL TEMPORARY SOIL EROSION AND SEDIMENTATION PROTECTION SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF THE WORK AND THE AFFILIATED AREA IS PERMANENTLY STABILIZED.
27. REMOVAL OF TEMPORARY EROSION AND SEDIMENTATION PROTECTION IS REQUIRED FOR FINAL PROJECT ACCEPTANCE.

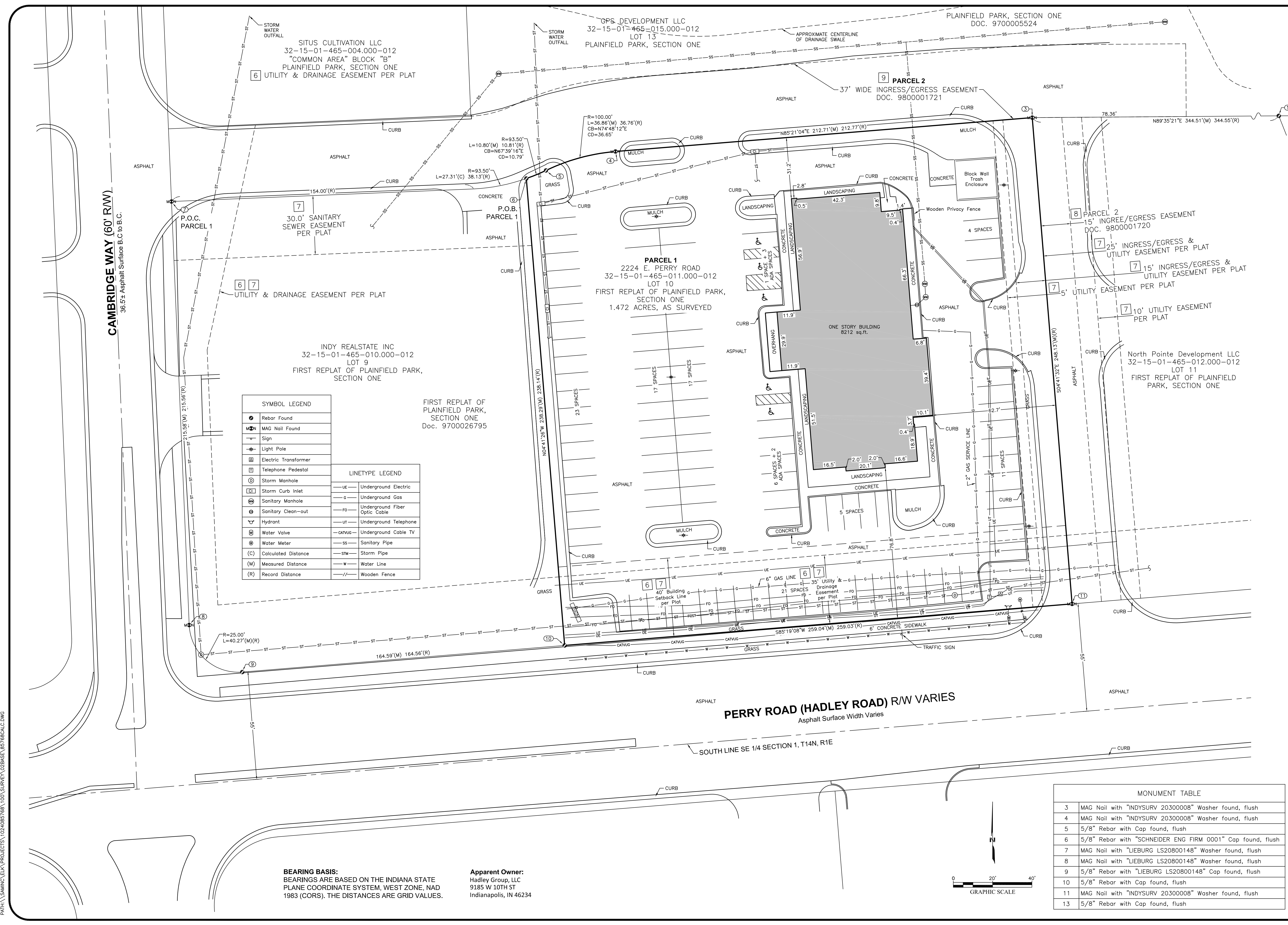
Preliminary Drawing - Not for Construction

PRINTED Thursday, April 25, 2024 10:41:10 AM DATA:\ADMIN\ELCA\PROJECTS\2024\0228\24\115230\DWG\DWG\SHEET\DRAWINGS\3 - NOTES.DWG

NO.	REVISIONS	BY	DATE

 <p>2810 Dexter Drive Elkhart, IN 46514 Phone: 574-266-1010 Email: info@sam.biz</p>	DRAWING FILE: 2 - NOTES.DWG
	CERTIFICATION DATE: 4/25/2024
	HORIZONTAL SCALE: NONE
	VERTICAL SCALE: NONE
	SURVEYOR: Mikel Currier, P.S.
TECHNICIAN: MDC	

GENERAL NOTES	SHEET 2 OF 9
S & L Properties Plainfield South LLC, 2224 Perry Road, PT. SE 1/4, SEC. 1, T14N, R1E, Town of Plainfield, Hendricks County, Indiana	
JOB NUMBER: 1023085769	

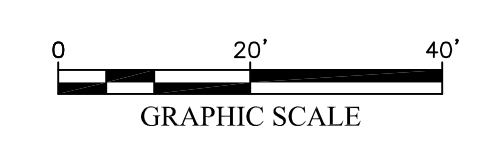


SYMBOL LEGEND		LINETYPE LEGEND	
⊙	Rebar Found	—UE—	Underground Electric
⊙	MAG Nail Found	—G—	Underground Gas
⊙	Sign	—FO—	Underground Fiber Optic Cable
⊙	Light Pole	—UT—	Underground Telephone
⊙	Electric Transformer	—CATVUG—	Underground Cable TV
⊙	Telephone Pedestal	—SS—	Sanitary Pipe
⊙	Storm Manhole	—STM—	Storm Pipe
⊙	Storm Curb Inlet	—W—	Water Line
⊙	Sanitary Manhole	—WF—	Wooden Fence
⊙	Sanitary Clean-out		
⊙	Hydrant		
⊙	Water Valve		
⊙	Water Meter		
(C)	Calculated Distance		
(M)	Measured Distance		
(R)	Record Distance		

BEARING BASIS:
 BEARINGS ARE BASED ON THE INDIANA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NAD 1983 (CORS). THE DISTANCES ARE GRID VALUES.

Apparent Owner:
 Hadley Group, LLC
 9185 W 10TH ST
 Indianapolis, IN 46234

MONUMENT TABLE	
3	MAG Nail with "INDYSURV 20300008" Washer found, flush
4	MAG Nail with "INDYSURV 20300008" Washer found, flush
5	5/8" Rebar with Cap found, flush
6	5/8" Rebar with "SCHNEIDER ENG FIRM 0001" Cap found, flush
7	MAG Nail with "LIEBURG LS20800148" Washer found, flush
8	MAG Nail with "LIEBURG LS20800148" Washer found, flush
9	5/8" Rebar with "LIEBURG LS20800148" Cap found, flush
10	5/8" Rebar with Cap found, flush
11	MAG Nail with "INDYSURV 20300008" Washer found, flush
13	5/8" Rebar with Cap found, flush



PERRY ROAD (HADLEY ROAD) R/W VARIES
 Asphalt Surface Width Varies

SOUTH LINE SE 1/4 SECTION 1, T14N, R1E

LEGAL DESCRIPTION per First American Title Insurance Company, Commitment No. NCS-1204920-MAD, Commitment Date January 04, 2024

PARCEL 1:

A PART OF LOTS NUMBER 9, 10, 11 AND 13 IN PLAINFIELD PARK, SECTION ONE, AS PER PLAT THEREOF RECORDED ON MARCH 26, 1997, IN PLAT CABINET 4, SLIDE 79, PAGES 1 AND 2, AND SLIDE 80, PAGE 1, IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 9 MARKED BY 5/8 INCH REBAR WITH YELLOW CAP STAMPED "SCHNEIDER ENGINEERING FIRM #0001" (HEREINAFTER REFERRED TO AS A "CAPPED REBAR"), THENCE NORTH 87 DEGREES 36 MINUTES 15 SECONDS EAST ALONG THE NORTH LINE OF SAID LOT 9 A DISTANCE OF 154.00 FEET TO A "CAPPED REBAR" AT THE POINT OF CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS OF 93.50 FEET, THE RADIUS POINT OF WHICH BEARS NORTH 02 DEGREES 23 MINUTES 45 SECONDS WEST; THENCE NORTHEASTERLY ALONG SAID CURVE AN ARC DISTANCE OF 27.32 FEET TO A "CAPPED REBAR" AT THE POINT OF BEGINNING (WHICH POINT BEARS SOUTH 19 DEGREES 08 MINUTES 12 SECONDS EAST FROM SAID RADIUS POINT); THENCE CONTINUING NORTHEASTERLY ALONG SAID CURVE AN ARC DISTANCE OF 10.81 FEET TO A "CAPPED REBAR" AT THE POINT OF CURVATURE OF A REVERSE CURVE TO THE RIGHT HAVING A RADIUS OF 100.00 FEET, THE RADIUS POINT OF WHICH BEARS SOUTH 25 DEGREES 45 MINUTES 40 SECONDS EAST; THENCE NORTHEASTERLY ALONG SAID CURVE AN ARC DISTANCE OF 36.79 FEET TO A "CAPPED REBAR" AT A POINT WHICH BEARS NORTH 04 DEGREES 40 MINUTES 48 SECONDS WEST FROM SAID RADIUS POINT; THENCE NORTH 85 DEGREES 19 MINUTES 12 SECONDS EAST PARALLEL WITH THE SOUTH LINE OF SAID LOT 10 A DISTANCE OF 212.77 FEET TO A CAPPED REBAR; ON THE NORTH LINE OF SAID LOT 11 WHICH LIES 25.07 FEET EAST OF THE NORTHWEST CORNER THEREOF; THENCE SOUTH 04 DEGREES 40 MINUTES 48 SECONDS EAST PARALLEL WITH THE WEST LINE OF SAID LOT 11 A DISTANCE OF 248.13 FEET TO A "CAPPED REBAR" ON THE SOUTH LINE OF SAID LOT 11 WHICH LIES 25 FEET EAST OF THE SOUTHWEST CORNER THEREOF; THENCE SOUTH 85 DEGREES 19 MINUTES 12 SECONDS WEST ALONG THE SOUTH LINE OF SAID LOTS 11, 10 AND 9 RESPECTIVELY A DISTANCE OF 259.03 FEET TO A "CAPPED REBAR"; THENCE NORTH 04 DEGREES 40 MINUTES 48 SECONDS WEST PARALLEL WITH THE EAST LINE OF SAID LOT 9 A DISTANCE OF 238.14 FEET TO THE POINT OF BEGINNING, CONTAINING 1.472 ACRES, MORE OR LESS.

ALSO DESCRIBED AS LOT 10 IN THE FIRST REPLAT OF PLAINFIELD PARK, SECTION ONE, AS PER PLAT THEREOF, RECORDED IN PLAT CABINET 4, SLIDE 166, PAGES 1 AND 2, AND CORRECTED BY CORRECTION CERTIFICATE RECORDED JANUARY 2, 1998 AS INSTRUMENT NO. 9800000037, IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA.

PARCEL 2:

A NON-EXCLUSIVE, PERPETUAL AND RECIPROCAL EASEMENT FOR ACCESS, INGRESS AND EGRESS, AND PARKING SET FORTH IN DECLARATION OF COVENANTS, RESTRICTIONS AND CROSS EASEMENTS RECORDED JUNE 4, 1996 AS INSTRUMENT NO. 9600011683 IN MISCELLANEOUS RECORD 154, PAGE 454, AND AMENDED BY FIRST AMENDMENT RECORDED MARCH 3, 1997 AS INSTRUMENT NO. 9700003806 IN BOOK 1, PAGE 1207, AND SECOND AMENDMENT RECORDED JUNE 20, 1997 AS INSTRUMENT NO. 9700012276 IN BOOK 14, PAGE 1287, AND THIRD AMENDMENT RECORDED AUGUST 5, 2002 AS INSTRUMENT NO. 200200025509 IN BOOK 349, PAGE 394; AND

TOGETHER WITH A NON-EXCLUSIVE, PERPETUAL FOR VEHICULAR AND PEDESTRIAN ACCESS, INGRESS AND EGRESS, AS SET FORTH IN EASEMENT AGREEMENT RECORDED JANUARY 26, 1998 AS INSTRUMENT NO. 9800001720 IN BOOK 41, PAGE 620, AND AS SET FORTH IN THE SPECIAL WARRANTY DEED RECORDED JANUARY 26, 1998 AS INSTRUMENT NO. 9800001721 IN BOOK 41, PAGE 625.

Table A Items

1. Monuments are shown on survey.
2. Address of subject is 2224 E. Perry Road, Plainfield, IN 46168.
3. Flood Statement: According to the F.E.M.A. Map No. 18063C0286D, dated 9/25/2009, this property does not lie within a flood zone. This statement is for insurance purposes only and is not a guarantee that the property will or will not flood.
4. Gross land area is 1.472 Acres of land, more or less.
- 6(a). Zoning report not provided.
- 6(b). Zoning report not provided.
- 7(a). Exterior dimensions of all buildings at ground level are shown.
- 7(b)(1) Square footage of exterior footprint of all buildings at ground level are shown.
8. Substantial features observed in the process of conducting the fieldwork are shown.
9. Number and type of parking space are shown. There are 105 regular parking spaces and 5 handicap parking spaces for a total of 110 parking spaces.
11. Evidence of underground utilities existing on or serving the surveyed property are shown as marked or observed in the field. Indiana 811 was contacted on January 23, 2024, February 16, 2024 and February 19, 2024 requesting the location of buried utilities for this project. Ticket numbers 2401233885, 2401233920, 2402163139 and 2402190885 were issued. All buried utilities marked as a result of the contact were located in the field and are shown. Other buried utilities may exist on this site that were not marked.
13. Names of adjoining owners according to current tax records are shown.
16. No evidence of recent earth moving, building construction, or building additions on the subject property were observed in the process of conducting the field work.
17. There were no observed changes of recent street or sidewalk construction while conducting the fieldwork.
18. The plottable offsite (i.e. appurtenant) easements disclosed in the provided documents are shown.

SCHEDULE B, PART II - EXCEPTIONS, PART TWO:

4. Restrictions and any other terms, covenants and conditions disclosed by Declaration of Covenants, Restrictions and Cross Easements recorded June 4, 1996 as Instrument No. 9600011683 in Miscellaneous Record 154, Page 454, and amended by First Amendment recorded March 3, 1997 as Instrument No. 9700003806 in Book 1, Page 1207, and Second Amendment recorded June 20, 1997 as Instrument No. 9700012276 in Book 14, Page 1287, and Third Amendment recorded August 5, 2002 as Instrument No. 200200025509 in Book 349, Page 394, and any subsequent instruments pertinent thereto.
Surveyor's Comments: Not plottable.
5. Restrictions and any other terms, covenants and conditions disclosed by Declaration of Easements, Covenants and Restrictions recorded June 4, 1996 as Instrument No. 9600011682 in Book 154, Page 423, and First Amendment recorded April 3, 1997 as Instrument No. 9700006258 in Book 5, Page 368, and Clarification Amendment recorded August 5, 2002 as Instrument No. 200200025510 in Book 349, Page 397, and any subsequent instruments pertinent thereto.
Surveyor's Comments: Not plottable.
6. Covenants, Conditions, Restrictions, Utility and Drainage easements and setback lines and any amendments thereto as disclosed on the plat of subdivision recorded March 26, 1997 in Plat Cabinet 4, Slide 79, Pages 1 and 2, and Plat Cabinet 4, Slide 80, Page 1.
Surveyor's Comments: Utility and Drainage easements and setback lines disclosed on said plat are shown.
7. Covenants, Conditions, Restrictions, Utility and Drainage easements and setback lines and any amendments thereto as disclosed on the plat of subdivision recorded in Plat Cabinet 4, Slide 166, Pages 1 and 2, and corrected by Correction Certificate recorded January 2, 1998 as Instrument No. 9800000037.
Surveyor's Comments: Utility and Drainage easements and setback lines disclosed on said plat are shown.
8. Terms, provisions and conditions and rights of others in and to, easements granted in Easement Agreement recorded January 26, 1998 as Instrument No. 9800001720 in Book 41, Page 620.
Surveyor's Comments: Ingress/Egress easement disclosed in said document is shown.
9. Terms, provisions and conditions and rights of others in and to, easements granted and reserved, including an obligation to contribute to a prorata share of maintenance expenses, as set forth in the Special Warranty Deed recorded January 26, 1998 as Instrument No. 9800001721 in Book 41, Page 625.
Surveyor's Comments: Ingress/Egress easement disclosed in said document is shown.

Surveyor's Report

As required by Title 865, I.A.C. Article 1, Chapter 12, of the Indiana Administrative Code (IAC).

The relative positional accuracies (due to random errors in measurement) of the corners of the subject tract established in this survey is within the specifications for an urban class survey (0.07 feet plus 50 parts per million) as defined in I.A.C. 865.

Prior Surveys, plats, plans or documents used in the performance of this survey are as follows:

- Plat of Plainfield Park, Section One recorded in Plat Cabinet 4, Slide 79, Pages 1 and 2, and Plat Cabinet 4, Slide 80, Page 1, and as Document No. 9700005524 in the Office of the Recorder of Hendricks County, Indiana.
- Plat of First replat of Plainfield Park, Section One recorded in Plat Cabinet 4, Slide 166, Pages 1 and 2, and as Document No. 9700026795, in the Office of the Recorder of Hendricks County, Indiana, and corrected by Correction Certificate recorded January 2, 1998 as Instrument No. 9800000037 in the Office of the Recorder of Hendricks County, Indiana.

This is a retracement survey of land conveyed to Hadley Group, LLC by Trustee's Deed recorded in Document Number 202226648 in the Office of the Recorder of Hendricks County, Indiana.

All monuments were found and accepted as perpetuation of the original monuments for the subject tract.

Bearings for this survey are relative to Indiana State Plane Coordinates, Indiana West Zone.

As a result of the above observations, it is my opinion that the uncertainties of the lines and corners established in this survey are as follows: ±0.2'

Due to inconsistencies in occupation lines or evidence of possession: Negligible.

I am a professional surveyor licensed in the State of Indiana and this survey has been conducted under my direct supervision.

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each social security number in this document, unless required by law.

ALTA/NSPS LAND TITLE SURVEY CERTIFICATE

To: S & L Properties Plainfield South LLC, First American Title Insurance Company, MUFG Bank, Ltd., as Administrative Agent, its successors and assigns.

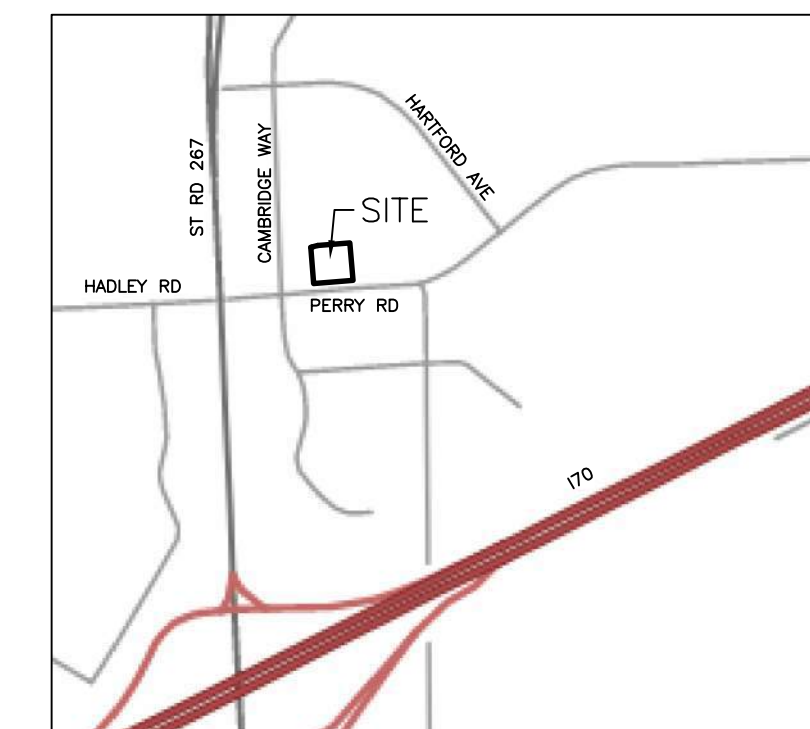
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 8, 9, 11, 13, 16, 17, 18 & 19 of Table A thereof. The field work was completed on February 21, 2024.

Date of Plat or Map: March 5, 2024.

PRO-FORMA 3-5-2024

Mikel Currier, PS # LS20800152

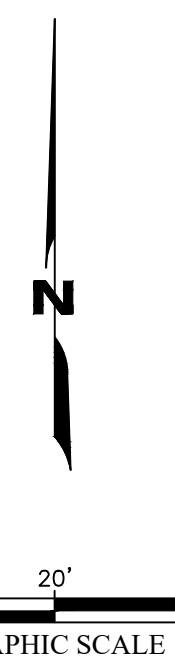
Reference Title Commitment: First American Title Insurance Company, Commitment No. NCS-1204920-MAD, Commitment Date January 04, 2024



PROJECT: S&L Properties, LLC
JOB NUMBER: 1024085768
DATE: 3/5/2024
SCALE: 1"=20'
SURVEYOR: Mikel Currier, PS
TECHNICAL: Mikel Currier, PS
DRAWING: 85768calc.dwg
TRACT ID: 32-15-01-465-011.000-012
PARTY/CHIEF: STP
FIELDBOOKS:

2810 Dexter Drive
Elkhart, IN 46514
Phone: 574-266-1010
Email: info@sam.biz





SITUS CULTIVATION LLC
32-15-01-465-004.000-012
"COMMON AREA" BLOCK "B"
PLAINFIELD PARK, SECTION ONE
UTILITY & DRAINAGE EASEMENT PER PLAT

LOT 13
PLAINFIELD PARK, SECTION ONE

2224 E. PERRY ROAD
32-15-01-465-011.000-012
LOT 10
FIRST REPLAT OF PLAINFIELD PARK,
SECTION ONE

North Pointe
Development LLC
32-15-01-465-012.000-012
LOT 11
FIRST REPLAT OF
PLAINFIELD PARK,
SECTION ONE

INDY REALSTATE INC
32-15-01-465-010.000-012
LOT 9
FIRST REPLAT OF PLAINFIELD PARK,
SECTION ONE

FIRST REPLAT OF
PLAINFIELD PARK,
SECTION ONE
Doc. 9700026795

- LEGEND**
- STANDARD HMA PAVEMENT, WITHIN BOUNDARY
 - CONCRETE, THICKNESS PER DETAILS

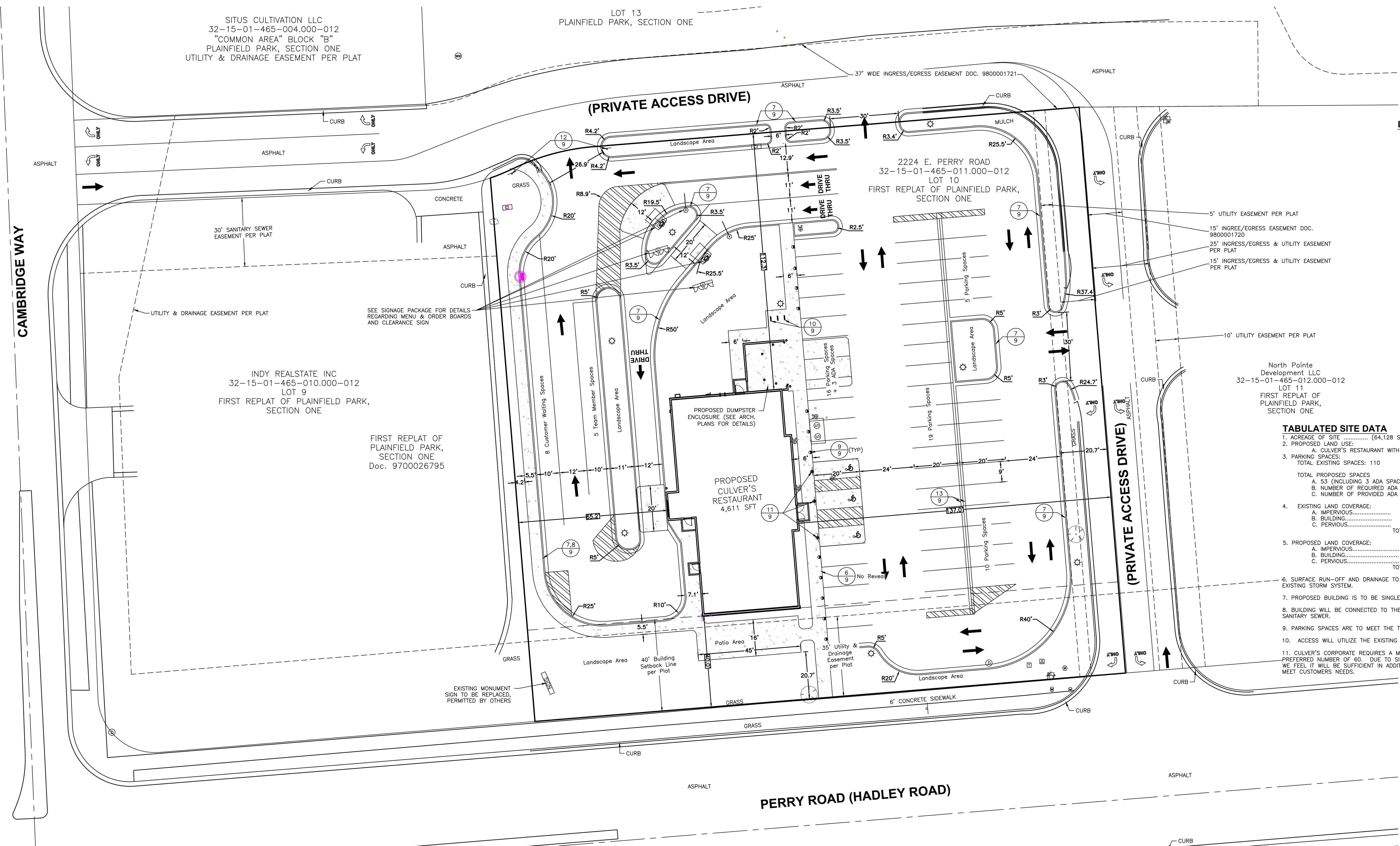
- ZONING & SETBACKS**
- ZONING**
EXISTING ZONING - GENERAL COMMERCIAL DISTRICT (C5)
- BUILDING SETBACKS**
FRONT YARD (PER PLAT) 40'
SIDE YARD 5'
REAR YARD 10'
MAX BUILDING HEIGHT 75'

TABULATED SITE DATA

1. ACREAGE OF SITE (64,128 SF) 1.47 ACRES
2. PROPOSED LAND USE:
A. CULVER'S RESTAURANT WITH DRIVE THRU FACILITIES
3. PARKING SPACES:
TOTAL EXISTING SPACES: 110
TOTAL PROPOSED SPACES:
A. 53 (INCLUDING 3 ADA SPACES)
B. NUMBER OF REQUIRED ADA SPACES - 3
C. NUMBER OF PROVIDED ADA SPACES - 3
4. EXISTING LAND COVERAGE:

	SQUARE FOOTAGE	% OF SITE
A. IMPERVIOUS.....	47,237	73.66%
B. BUILDING.....	8,212	12.81%
C. PERVIOUS.....	8,679	13.53%
TOTAL	64,128	100.00%
5. PROPOSED LAND COVERAGE:

	SQUARE FOOTAGE	% OF SITE
A. IMPERVIOUS.....	45,092	70.32%
B. BUILDING.....	4,611	7.19%
C. PERVIOUS.....	14,425	22.49%
TOTAL	64,128	100.00%
6. SURFACE RUN-OFF AND DRAINAGE TO BE COLLECTED ON-SITE INTO THE EXISTING STORM SYSTEM.
7. PROPOSED BUILDING IS TO BE SINGLE STORY.
8. BUILDING WILL BE CONNECTED TO THE TOWN OF PLAINFIELD WATER SYSTEM & SANITARY SEWER.
9. PARKING SPACES ARE TO MEET THE TOWN OF PLAINFIELD STANDARDS.
10. ACCESS WILL UTILIZE THE EXISTING PRIVATE DRIVE, AS SHOWN.
11. CULVER'S CORPORATE REQUIRES A MINIMUM OF 50 PARKING STALLS WITH A PREFERRED NUMBER OF 60. DUE TO SITE RESTRAINTS, 53 ARE PROPOSED AND WE FEEL IT WILL BE SUFFICIENT IN ADDITION TO THE DOUBLE DRIVE THRU TO MEET CUSTOMERS NEEDS.



Preliminary Drawing - Not for Construction

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NO.	REVISIONS	BY	DATE



2810 Dexter Drive
Elkhart, IN 46514
Phone: 574-266-1010
Email: info@sam.biz

DRAWING FILE: 5 - SITE PLAN.DWG
CERTIFICATION DATE: 4/25/2024
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: N/A
SURVEYOR: Mikel Currier
TECHNICIAN: MDC

PROPOSED SITE PLAN

S & L Properties Plainfield South LLC, 2224 Perry Road,
PT. SE 1/4, SEC. 1, T14N, R1E,
Town of Plainfield, Hendricks County, Indiana

JOB NUMBER: 1024085795

SHEET 5
OF 9

SITUS CULTIVATION LLC
 32-15-01-465-004.000-012
 "COMMON AREA" BLOCK "B"
 PLAINFIELD PARK, SECTION ONE
 UTILITY & DRAINAGE EASEMENT PER PLAT

GPS DEVELOPMENT LLC
 32-15-01-465-015.000-012
 LOT 13
 PLAINFIELD PARK, SECTION ONE

PLAINFIELD PARK, SECTION ONE
 DOC. 970005524

(PRIVATE ACCESS DRIVE)

CAMBRIDGE WAY

INDY REALSTATE INC
 32-15-01-465-010.000-012
 LOT 9
 FIRST REPLAT OF PLAINFIELD PARK,
 SECTION ONE

PROPOSED
 CULVER'S
 RESTAURANT
 FF = 745.35
 4,611 SFT

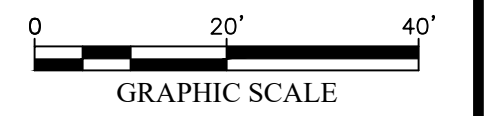
North Pointe
 Development LLC
 32-15-01-465-012.000-012
 LOT 11
 FIRST REPLAT OF
 PLAINFIELD PARK,
 SECTION ONE

(PRIVATE ACCESS DRIVE)

PERRY ROAD (HADLEY ROAD)

LEGEND

- EXISTING GRADE
- - - - - PROPOSED GRADE
- ⊕ EXISTING CATCH BASIN/STORM INLET
- ⊕ PROPOSED CATCH BASIN/STORM INLET
- - - - - PROPOSED GRADE BREAK
- TC PROPOSED TOP OF CURB
- EP PROPOSED EDGE OF PAVEMENT
- FG PROPOSED FINISHED GRADE



PRINTED Thursday, April 25, 2024 11:42:40 AM
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Preliminary Drawing - Not for Construction

NO.	REVISIONS	BY	DATE

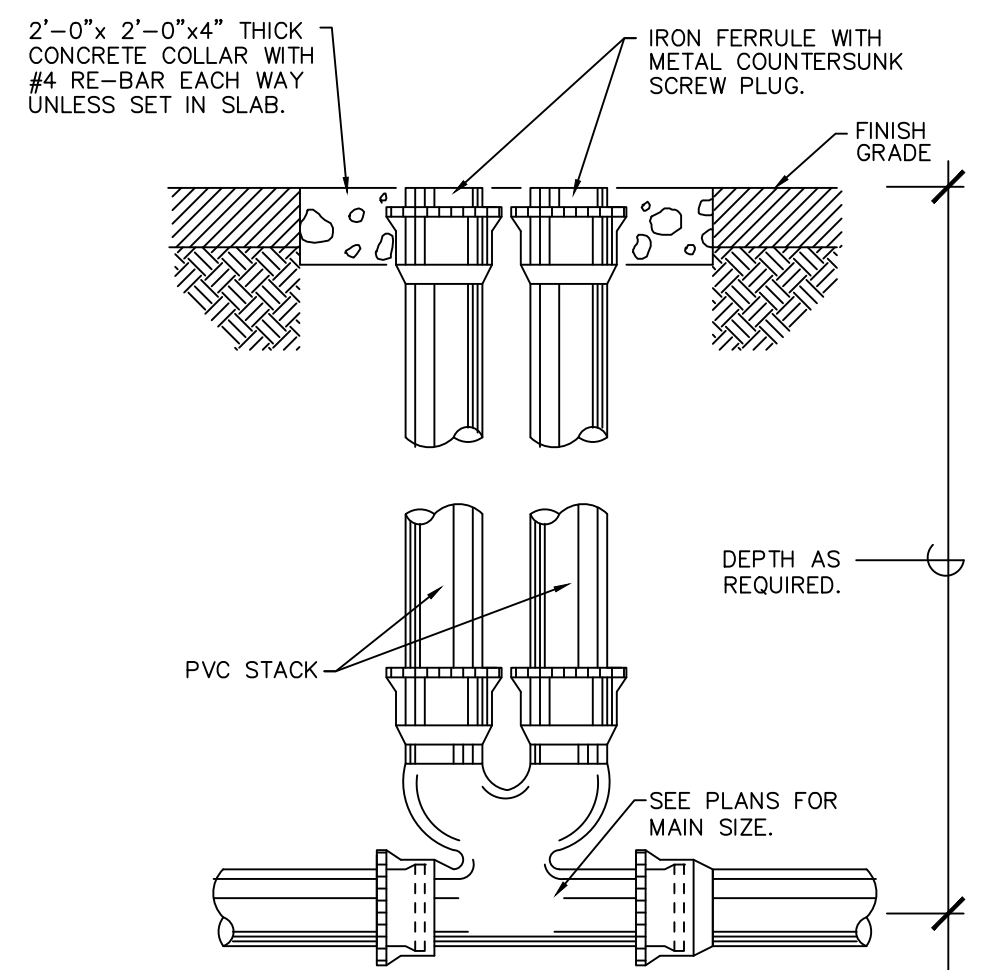


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 Phone: 574-266-1010
 Email: info@sam.biz

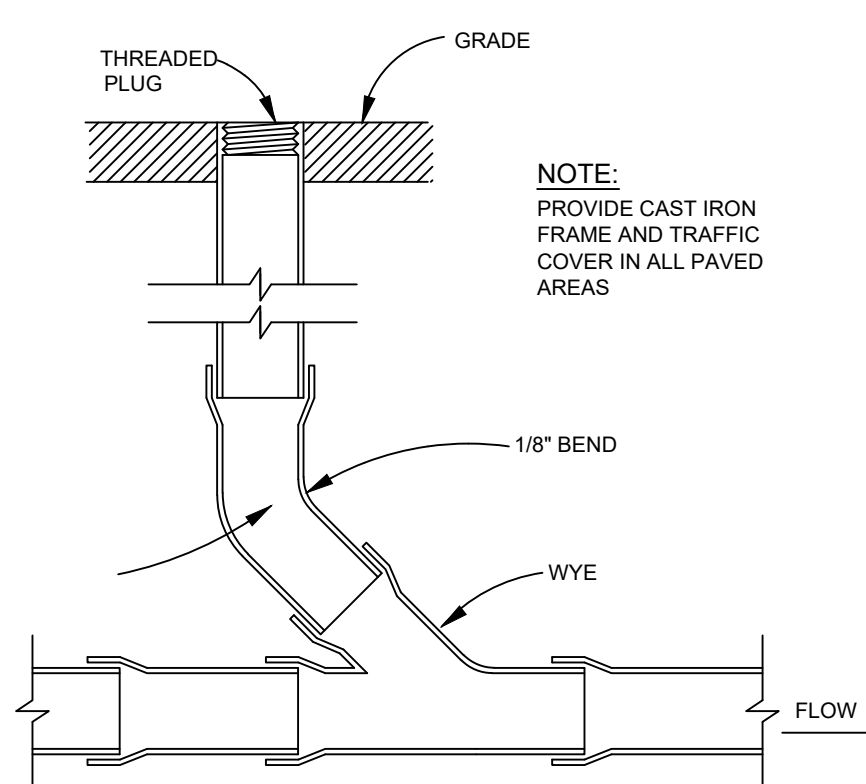
DRAWING FILE: 6 - DRAINAGE PLAN.DWG
CERTIFICATION DATE: 4/25/2024
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: N/A
SURVEYOR: Mikel Currier
TECHNICIAN: MDC

PROPOSED DRAINAGE PLAN
S & L Properties Plainfield South LLC, 2224 Perry Road, PT. SE 1/4, SEC. 1, T14N, R1E, Town of Plainfield, Hendricks County, Indiana
JOB NUMBER: 1024085769

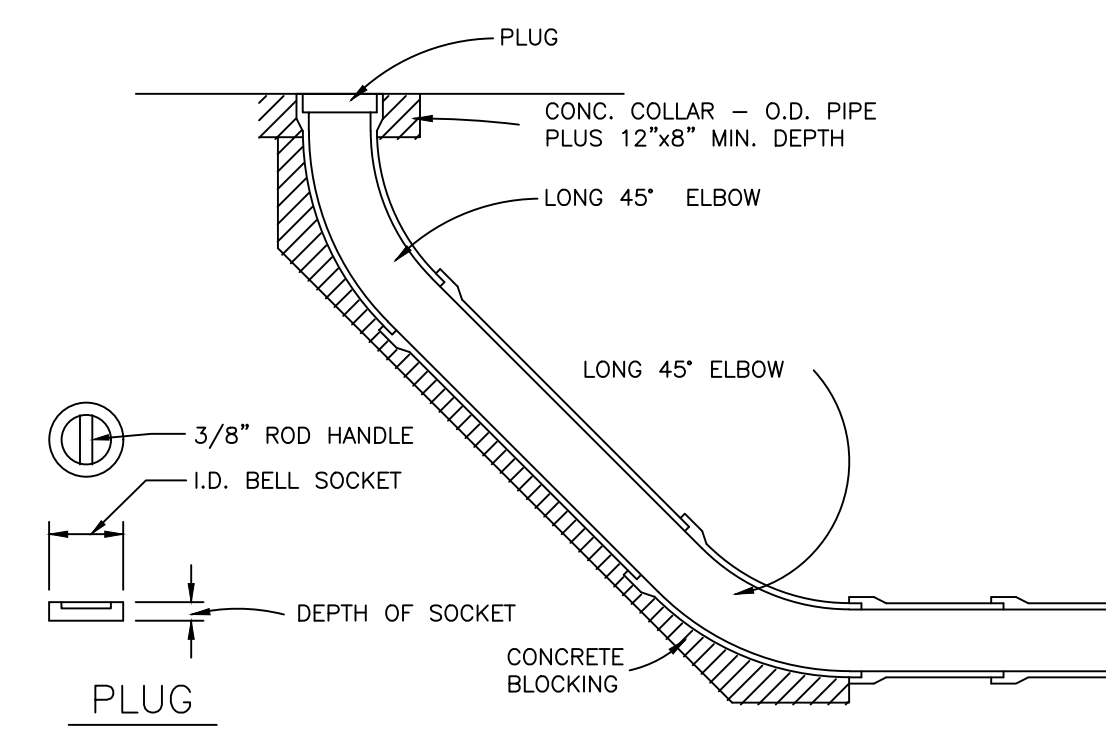
SHEET 6
 OF 9



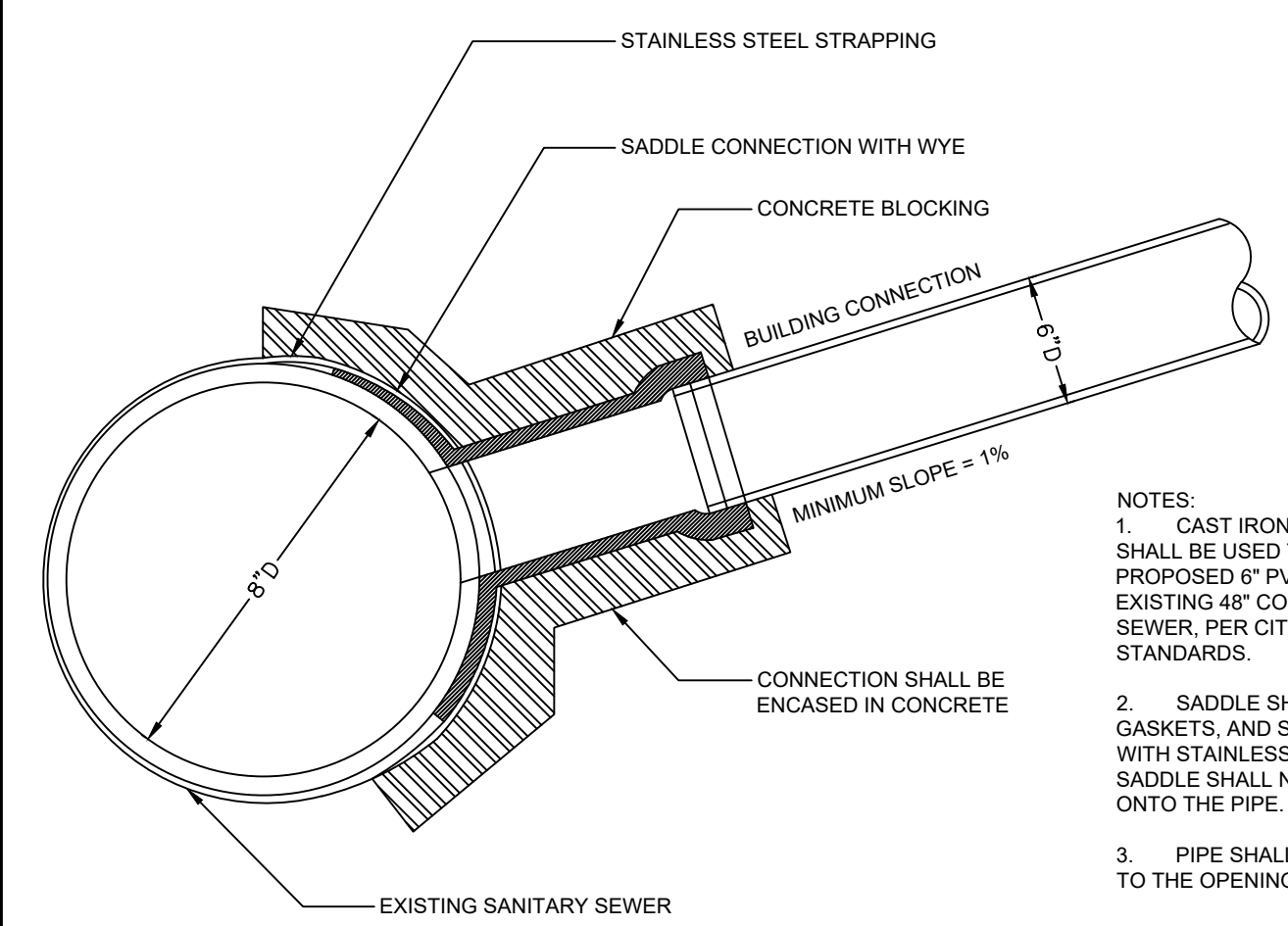
DOUBLE CLEANOUT DETAIL (1/7)
NOT TO SCALE



CLEANOUT DETAIL (2/7)
NOT TO SCALE

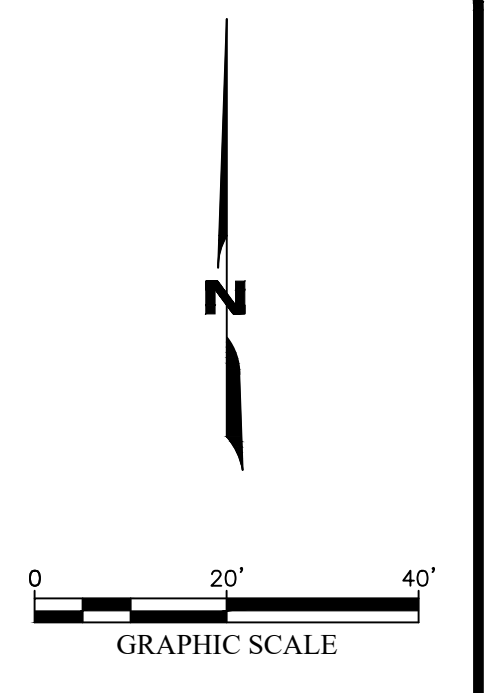
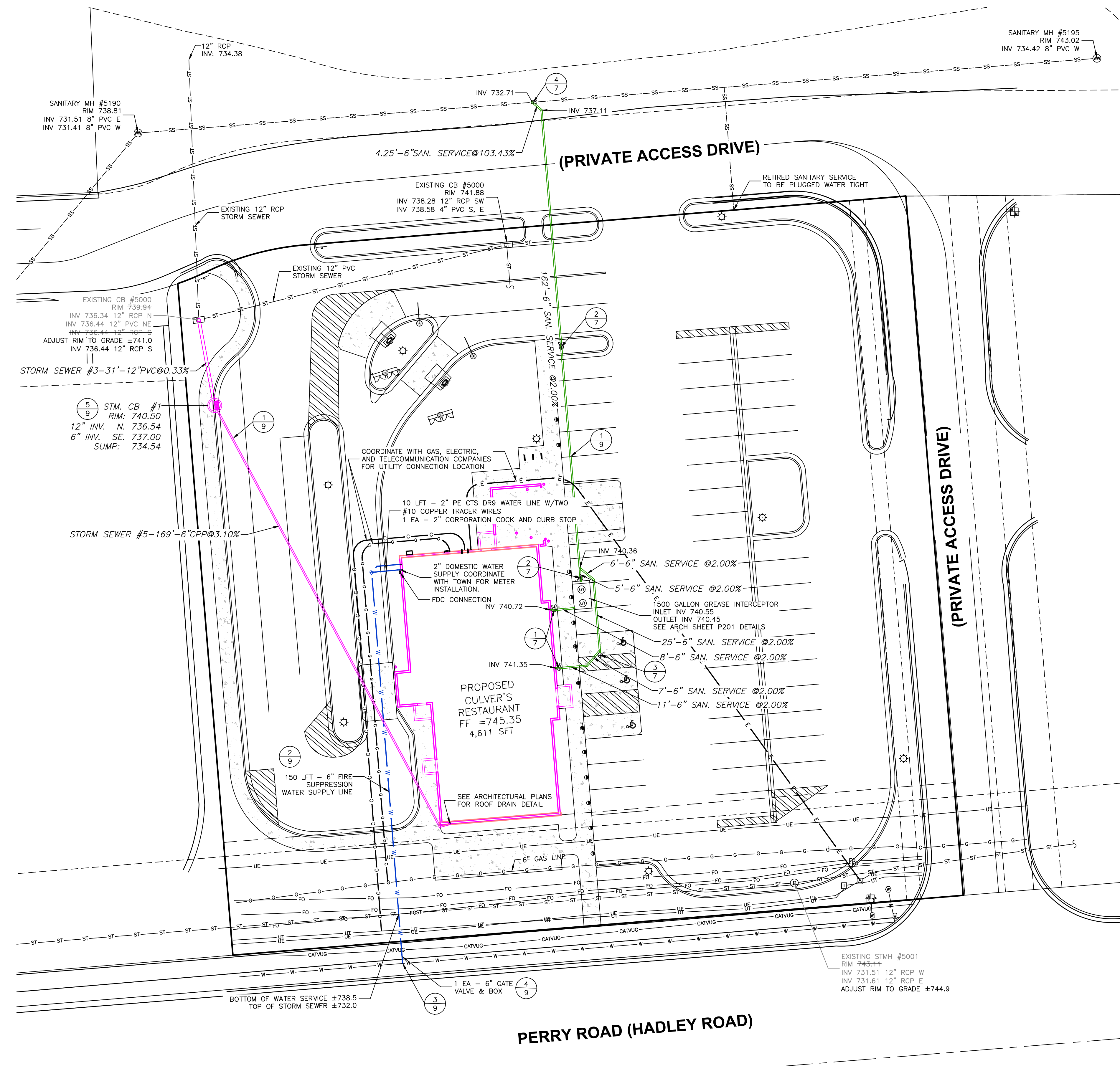


SANITARY ELBOW CONNECTION CLEANOUT DETAIL (3/7)
NOT TO SCALE



SAN SADDLE CONNECTION DETAIL (4/7)
NOT TO SCALE

- NOTES:
1. CAST IRON SADDLE CONNECTION SHALL BE USED TO CONNECT PROPOSED 6" PVC SANITARY SEWER TO EXISTING 48" CONCRETE SANITARY SEWER, PER CITY OF FORT WAYNE STANDARDS.
 2. SADDLE SHALL HAVE RUBBER GASKETS, AND SHALL BE TIGHTENED WITH STAINLESS STEEL STRAPS. THE SADDLE SHALL NOT BE CEMENTED ONTO THE PIPE.
 3. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.



Preliminary Drawing - Not for Construction

DATE: 11/25/2024 11:50:42 AM PRINTED Thursday, April 25, 2024 11:50:42 AM DATA: \\SAM\ENR\ELVA\PROJECTS\20240825\24-000000\11\DESIGN\DWG\UTILITY PLAN.DWG - UTILITY PLAN.DWG

NO.	REVISIONS	BY	DATE



2810 Dexter Drive
Elkhart, IN 46514
Phone: 574-266-1010
Email: info@sam.biz

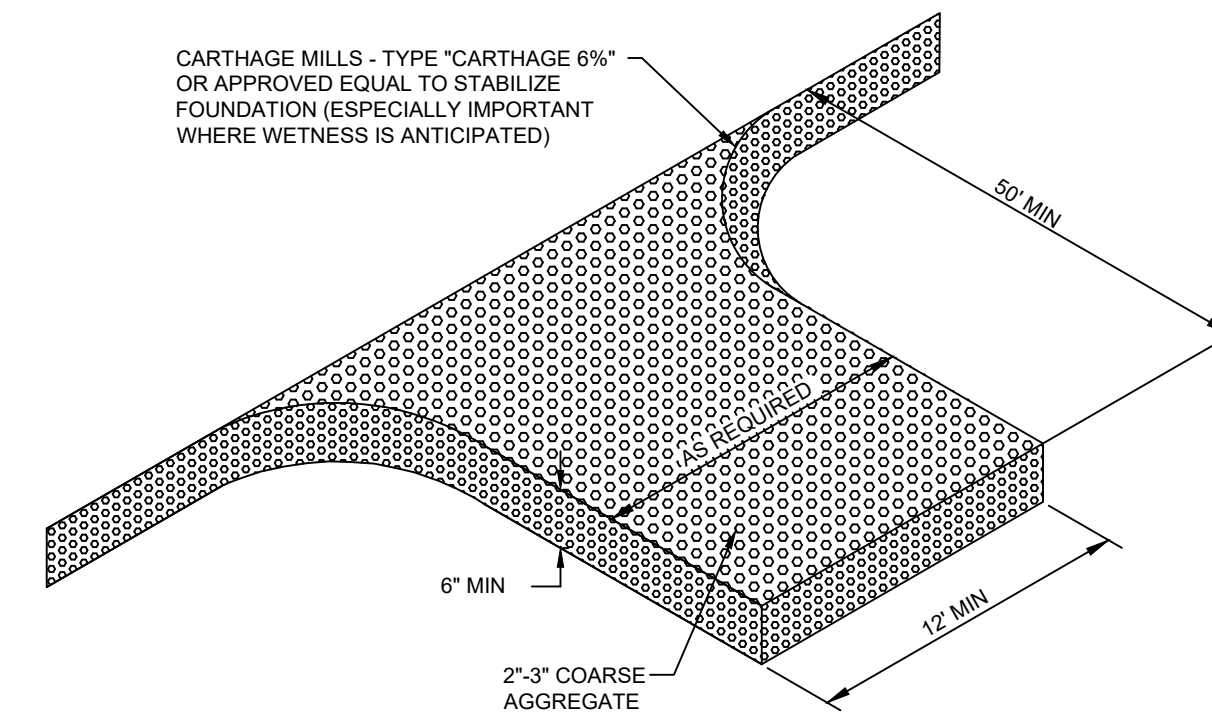
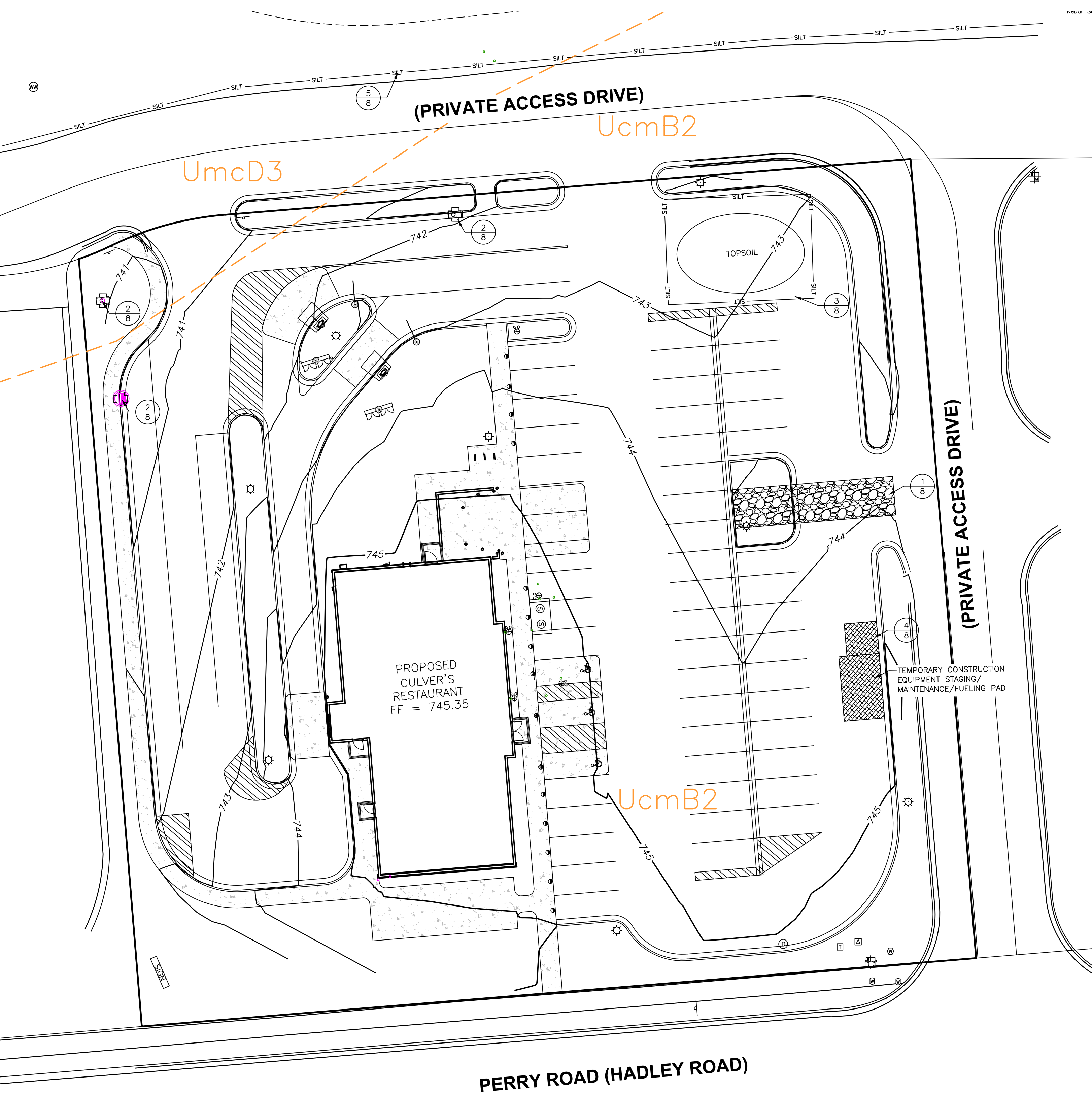
DRAWING FILE: 7 - UTILITY PLAN.DWG
CERTIFICATION DATE: 4/25/2024
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: NONE
SURVEYOR: Mikel Currier, PS
TECHNICIAN: MDC

PROPOSED UTILITY PLAN	
S & L Properties Plainfield South LLC, 2224 Perry Road, PT. SE 1/4, SEC. 1, T14N, R1E, Town of Plainfield, Hendricks County, Indiana	
JOB NUMBER: 1024085769	

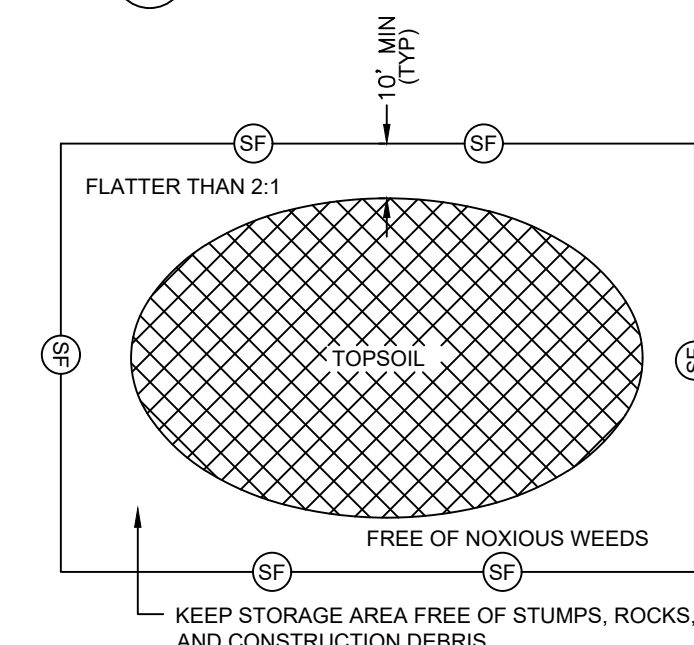
SHEET 7
OF 9

SOILS LEGEND

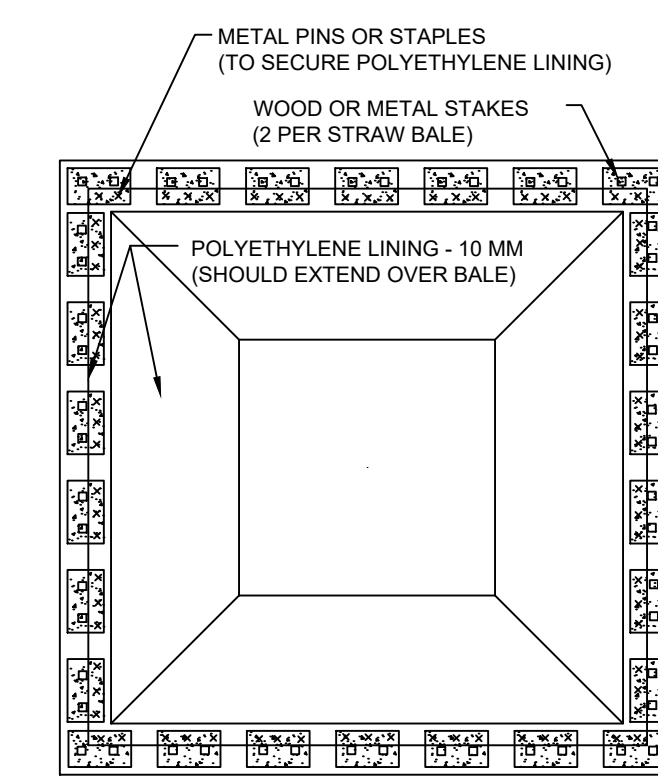
- UcmB2 Urban land-Crosby-Miami silt loams complex, 2 to 4 percent slopes, eroded
- UcmD3 Urban land-Miami clay loam complex, 12 to 18 percent slopes, severely eroded



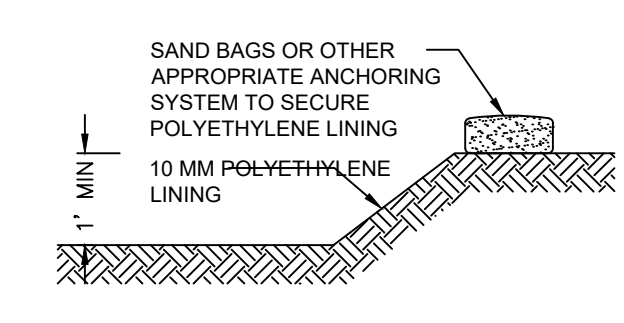
TEMPORARY GRAVEL ACCESS PAD
NOT TO SCALE



TOPSOIL STOCKPILE
NOT TO SCALE



CONCRETE WASHOUT ABOVE GRADE SYSTEM
NOT TO SCALE

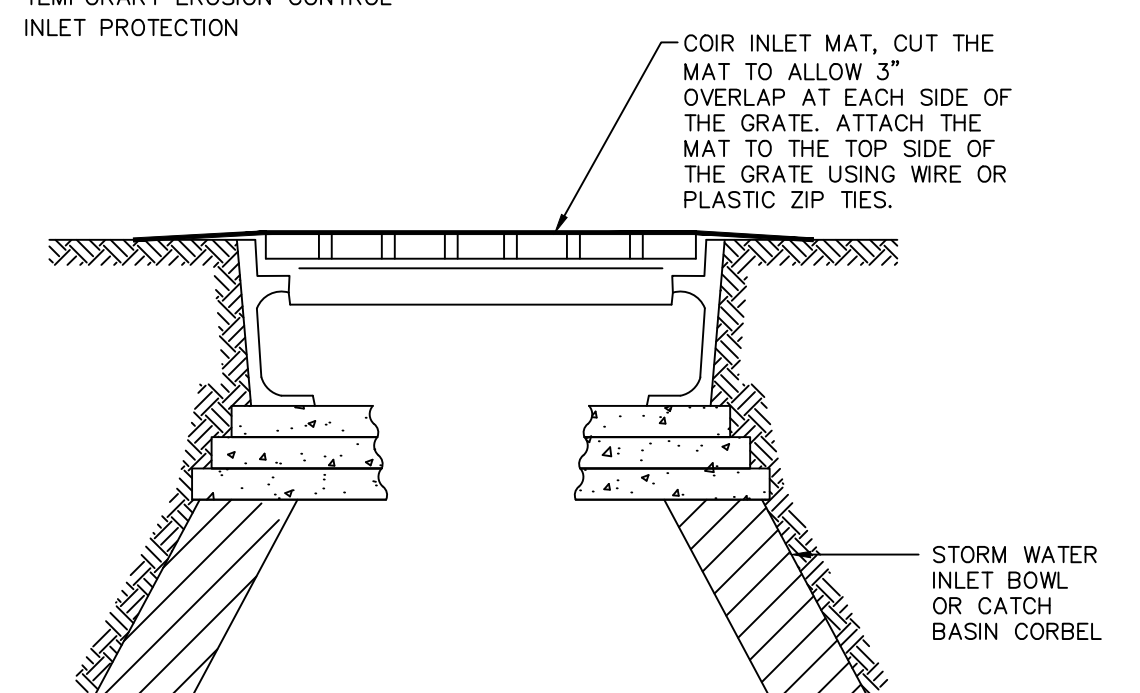
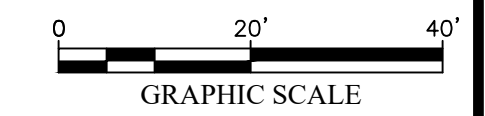


CONCRETE WASHOUT BELOW GRADE SYSTEM
NOT TO SCALE

HAZ-MAT/CHEMICAL SPILL NOTIFICATION
State Fire Marshals Office: 1-800-469-7362
IDEM Environmental Emergencies: 1-888-233-7745
PETROLEUM PRODUCT SPILLS IN THE AMOUNT OF 55 GALLONS OR MORE MUST BE REPORTED TO IDEM REGARDLESS OF CLEANUP METHODS.
HYDROLOGIC UNIT CODE 051202011310 - Clarks Creek-White Lick Creek
LATITUDE / LONGITUDE: 39°40'32"N / 86°22'06"W

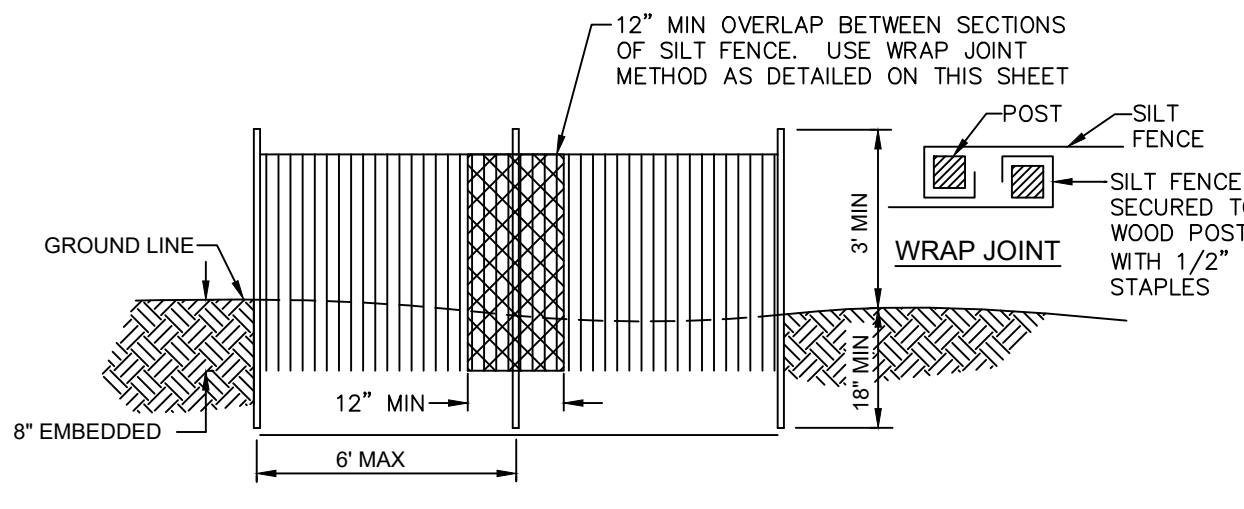
EROSION CONTROL LEGEND

- SILT Silt fence, properly anchored, area of disturbance
- TEMPORARY ACCESS PAD
- CONCRETE WASHOUT/VEHICLE STAGING
- TEMPORARY EROSION CONTROL INLET PROTECTION



INLET PROTECTION
NOT TO SCALE

NOTE:
SILT FENCE SHALL BE INSTALLED ON AN AS NEEDED BASIS TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION AREA. IT IS NOT INTENDED TO BE NEEDED IN ALL AREAS HOWEVER IF DURING CONSTRUCTION SILT FENCE IS REQUIRED IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL IN ACCORDANCE WITH THE INDIANA STORM WATER QUALITY MANUAL.



SILT FENCE - PERIMETER PROTECTION
NOT TO SCALE

NOTE:
1. CONCRETE WASHOUT LOCATION TO BE DETERMINED BY CONTRACTOR. CONTRACTOR TO SELECT EITHER AN ABOVE OR BELOW GRADE SYSTEM AS DETAILED OR A PREFABRICATED WASHOUT SYSTEM CONTAINER. ALL OTHER METHODS SHALL BE APPROVED BY THE SOIL AND WATER CONSERVATION DISTRICT PRIOR TO USE.
2. ABOVE AND BELOW GRADE SYSTEMS SHALL BE A MINIMUM OF 10 FEET X 10 FEET AND INCLUDE A MINIMUM OF 12" OF FREE BOARD IS REQUIRED FOR BELOW GRADE AND 4" MINIMUM FOR ABOVE GRADE SYSTEMS TO ENSURE THE AREA WILL NOT OVERFLOW DURING A RAINFALL EVENT.
3. SYSTEM SHALL BE SIZED TO CONTAIN ALL LIQUID AND WASTE THAT IS EXPECTED TO BE GENERATED BETWEEN CLEANOUT PERIODS.
4. CONTRACTOR SHALL INSTALL THE SELECTED SYSTEM IN ACCORDANCE WITH THE INDIANA STORM WATER QUALITY MANUAL.

Preliminary Drawing - Not for Construction

DRAWN: LAMAR, LISA; PROJECTS: 1024085769; 11/25/2024 11:53:00 AM

NO.	REVISIONS	BY	DATE



2810 Dexter Drive
Elkhart, IN 46514
Phone: 574-266-1010
Email: info@sam.biz

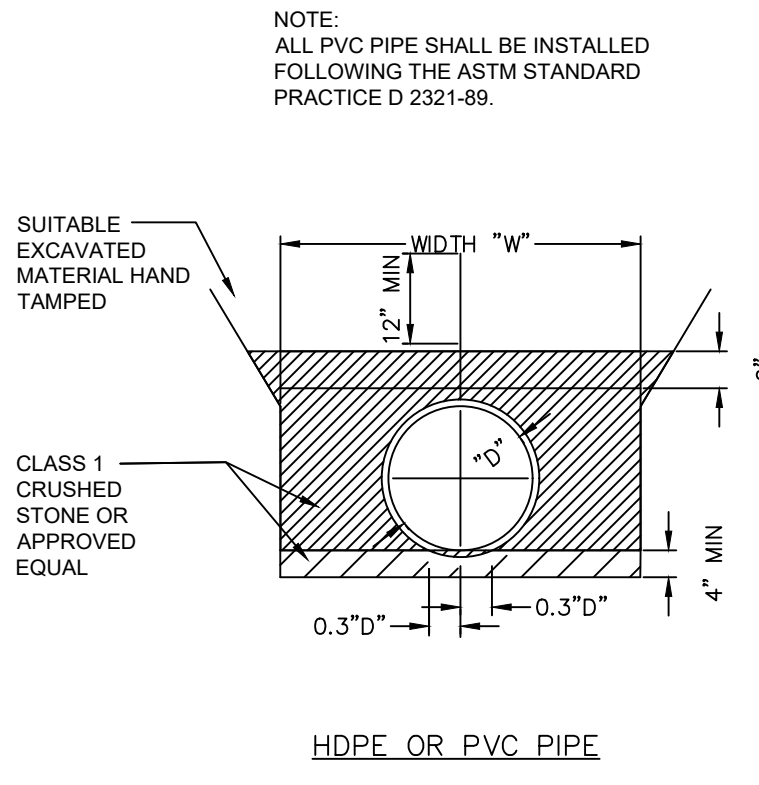
DRAWING FILE: 8 - EROSION PLAN.DWG
CERTIFICATION DATE: 4/25/2024
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: NONE
SURVEYOR: Mikel Currier, PS
TECHNICIAN: MDC

EROSION CONTROL PLAN	
S & L Properties Plainfield South LLC, 2224 Perry Road, PT. SE 1/4, SEC. 1, T14N, R1E, Town of Plainfield, Hendricks County, Indiana	
JOB NUMBER: 1024085769	

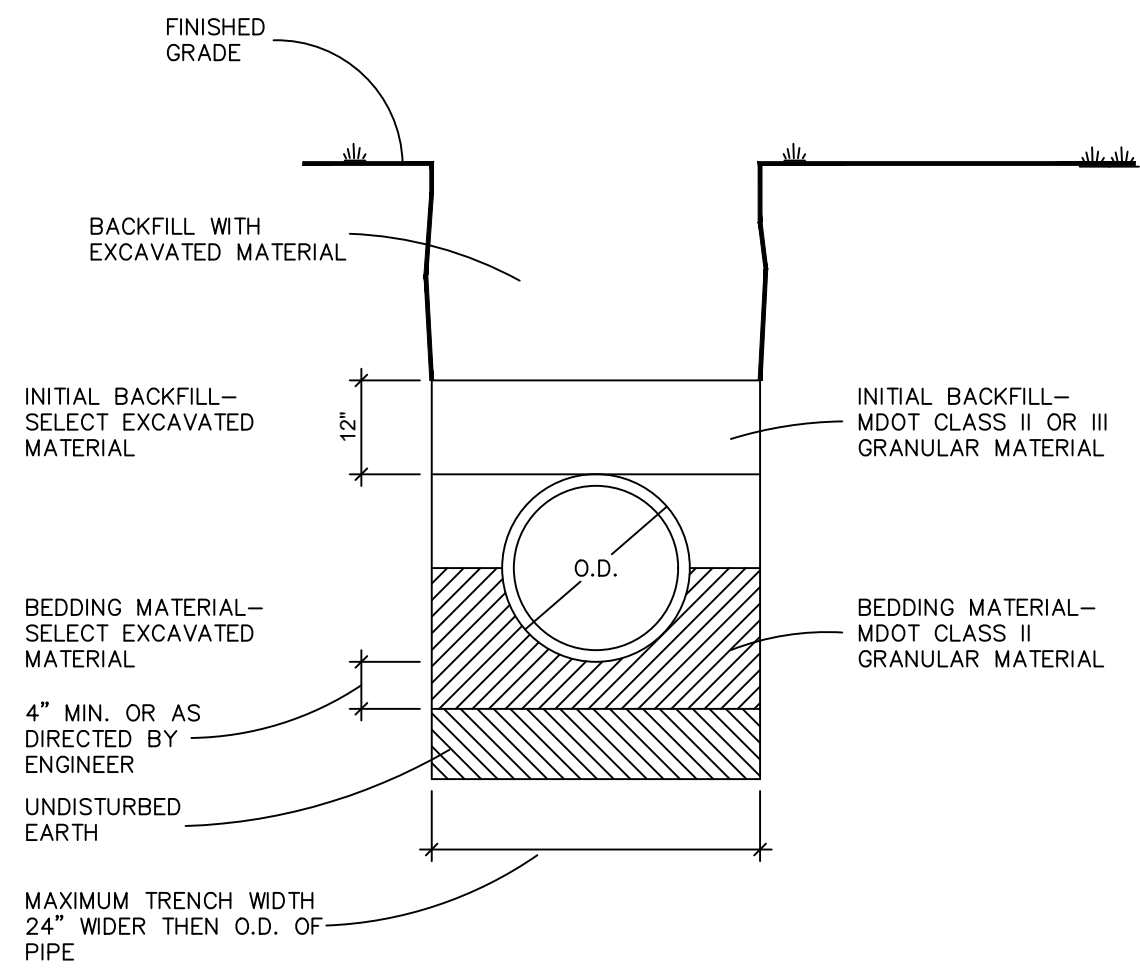
SHEET 8
OF 9

MIN THICKNESS "T"	
TO 15"	6"
18" TO 30"	9"
OVER 30"	12"

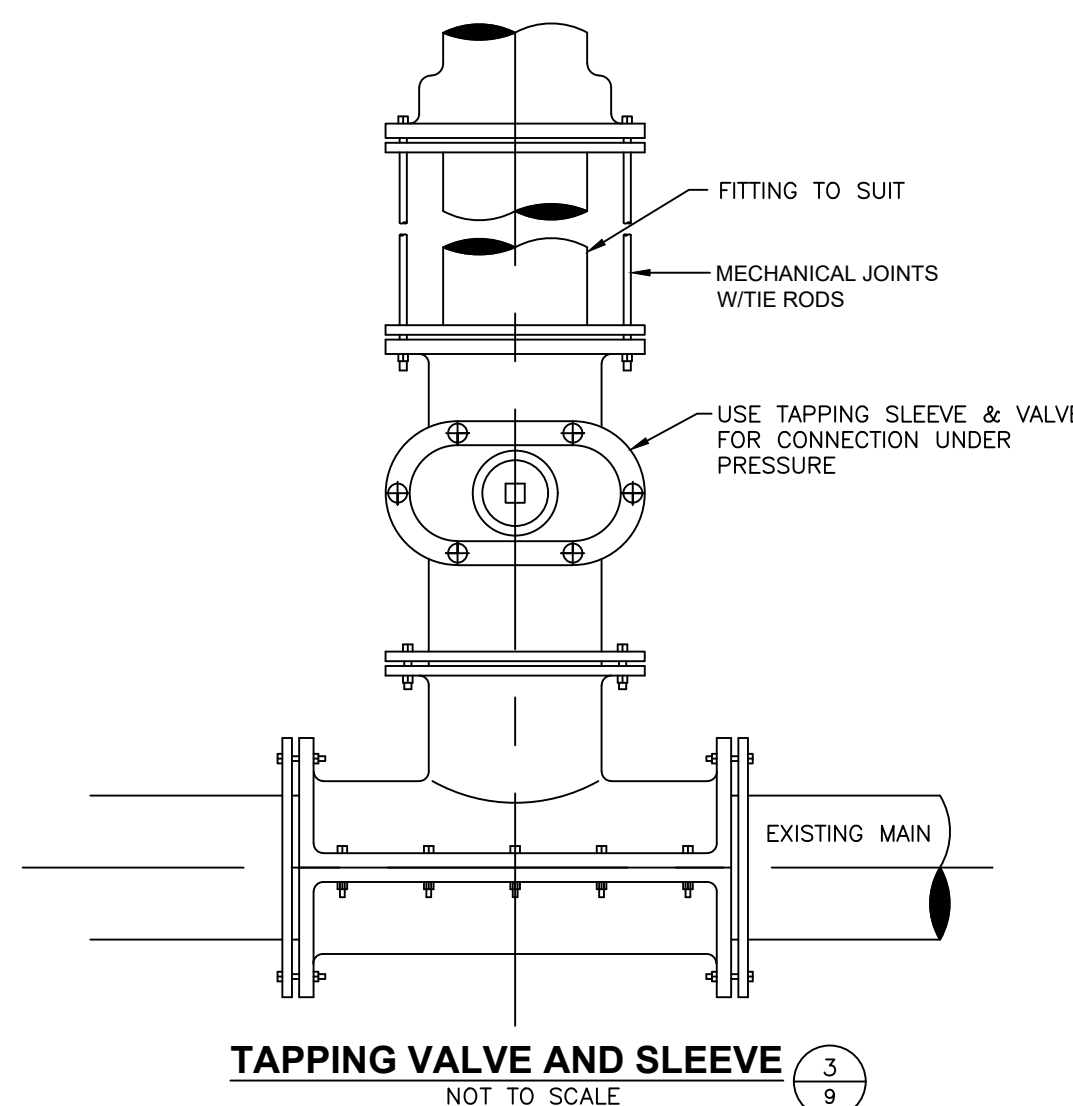
MAX TRENCH WIDTH AT TOP OF PIPE	
DIA "D"	WIDTH "W"
6"	18"
8"	24"
10"	24"
12"	30"
15"	36"
18"	39"
21"	42"
24"	45"
27"	48"
30"	53"
36"	66"
42"	75"
48"	82"



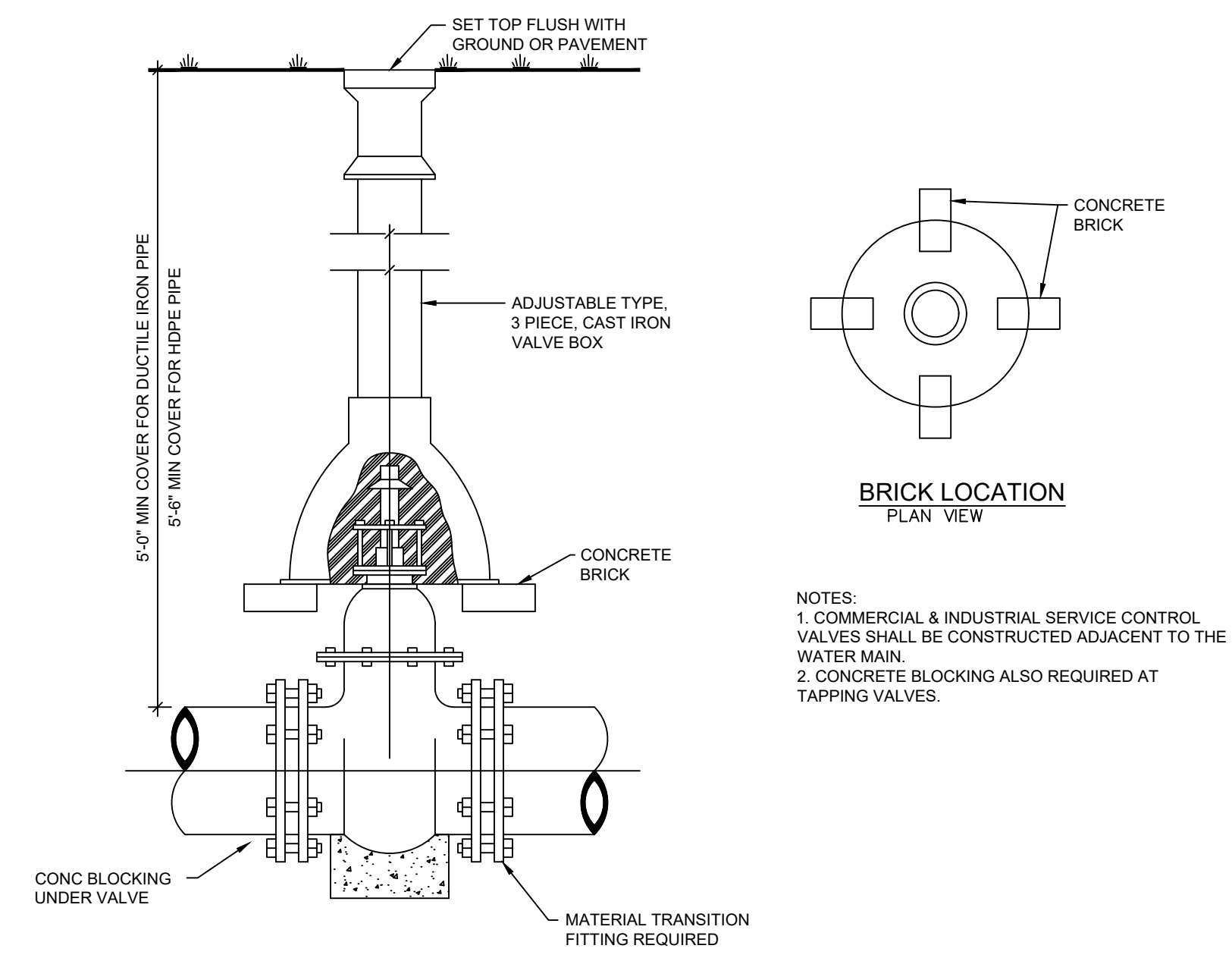
TYPICAL TRENCH, STORM & SANITARY SEWER PIPE LAYING AND BEDDING 1/9
NOT TO SCALE



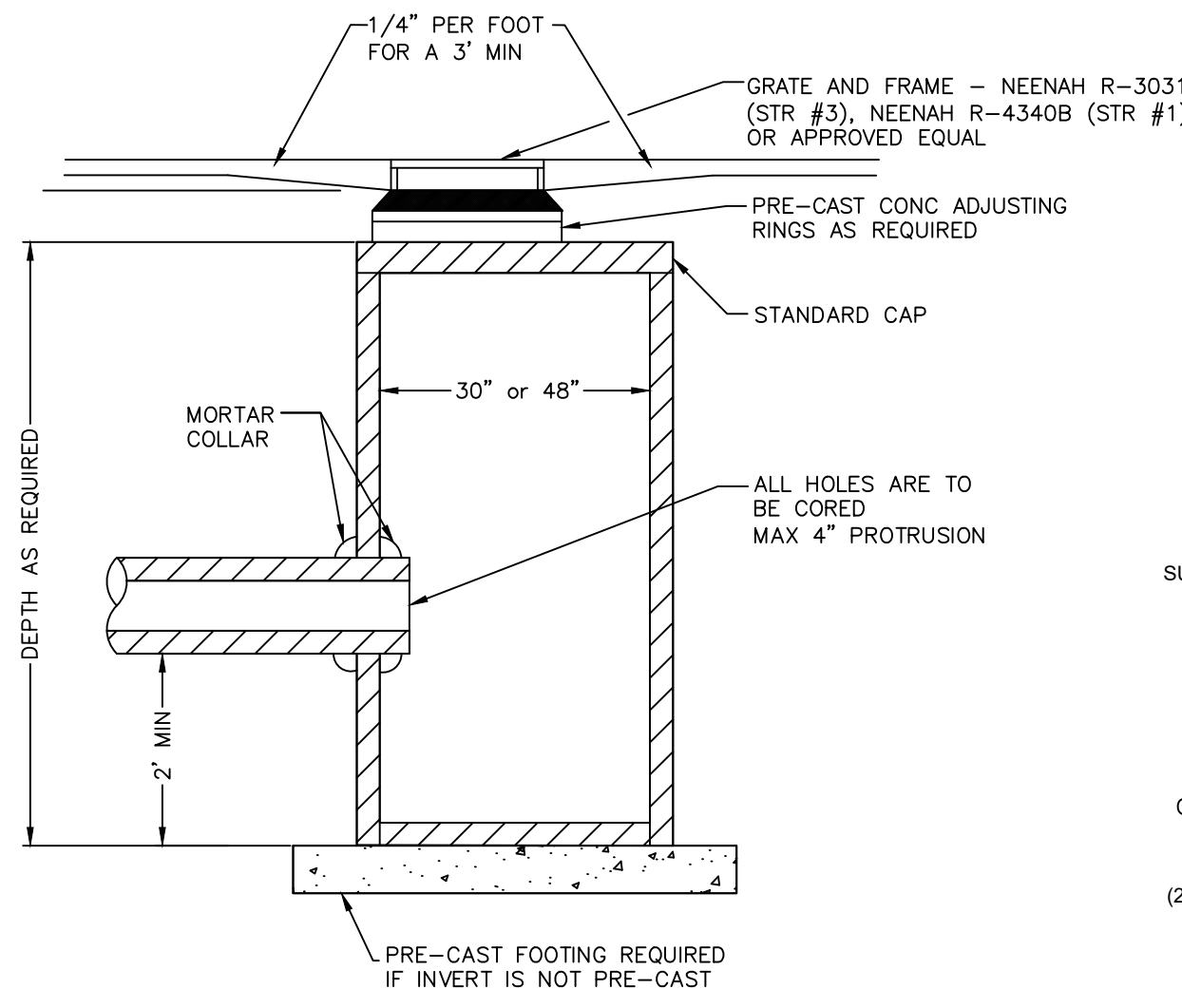
WATER MAIN TRENCH DETAIL 2/9
NOT TO SCALE



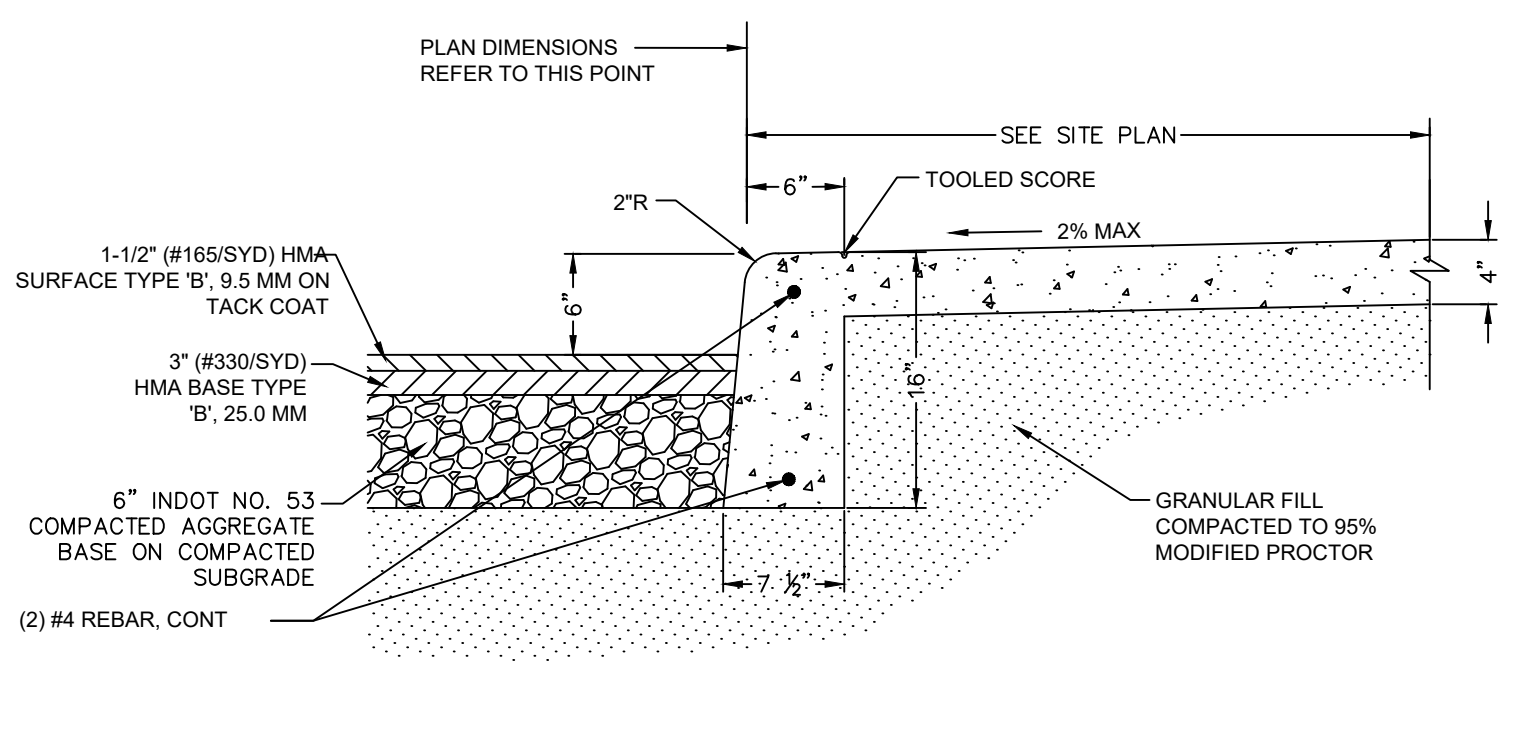
TAPPING VALVE AND SLEEVE 3/9
NOT TO SCALE



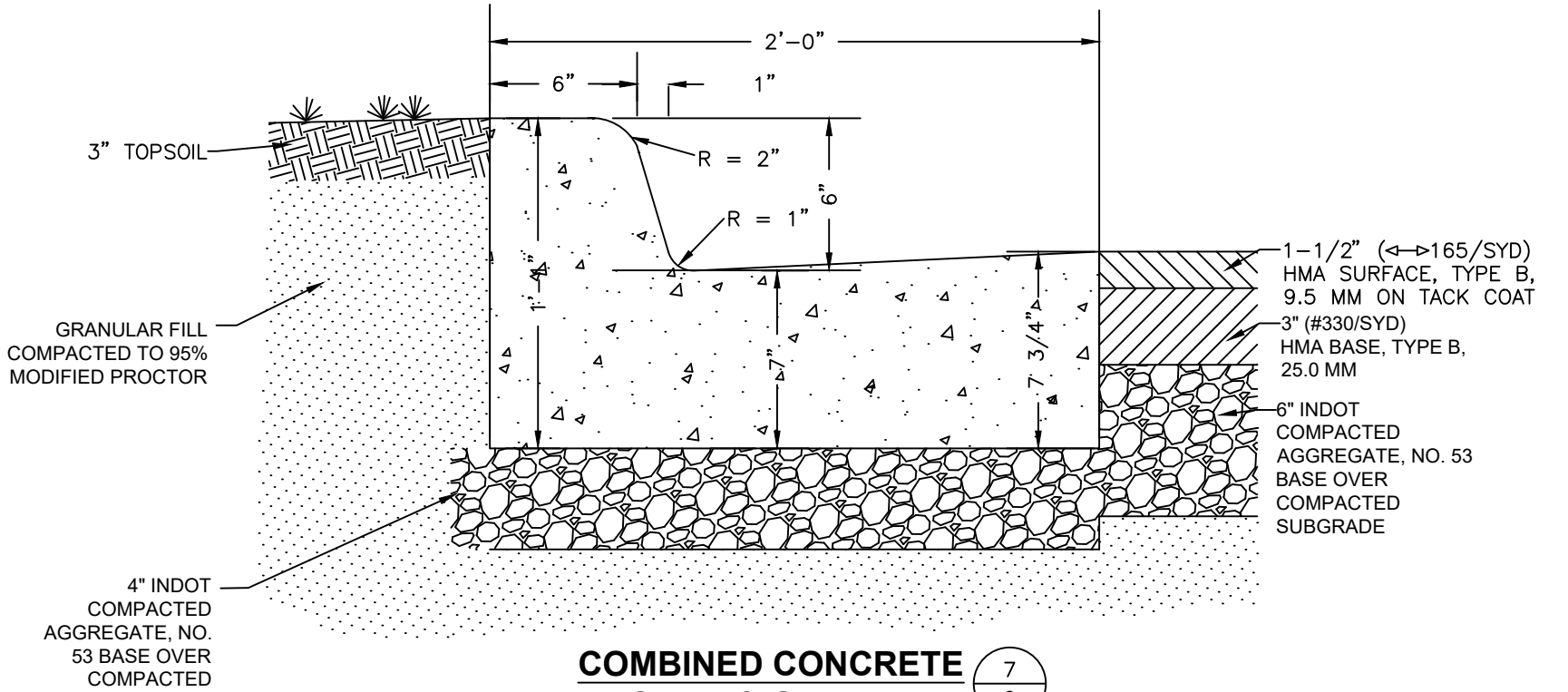
TYPICAL GATE VALVE & VALVE BOX 4/9
NOT TO SCALE



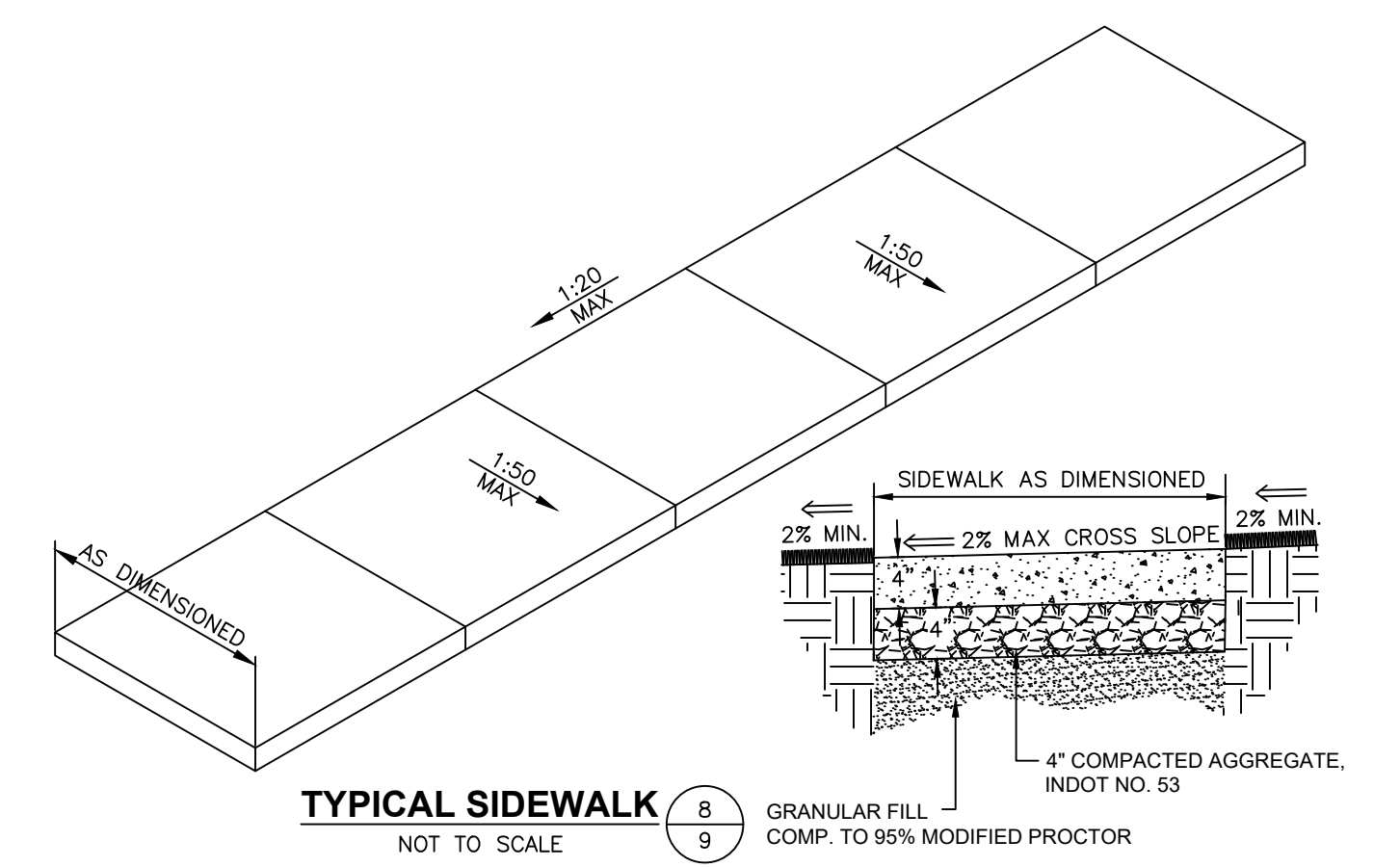
STANDARD CATCH BASIN 5/9
NOT TO SCALE



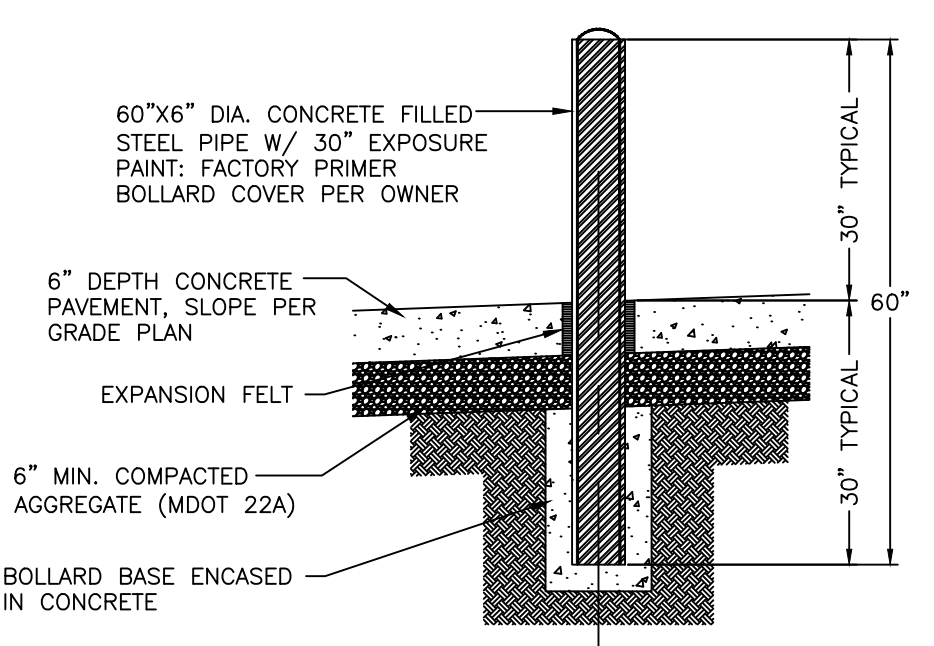
STRAIGHT CURB WALK & PAVEMENT SECTION 6/9
NOT TO SCALE



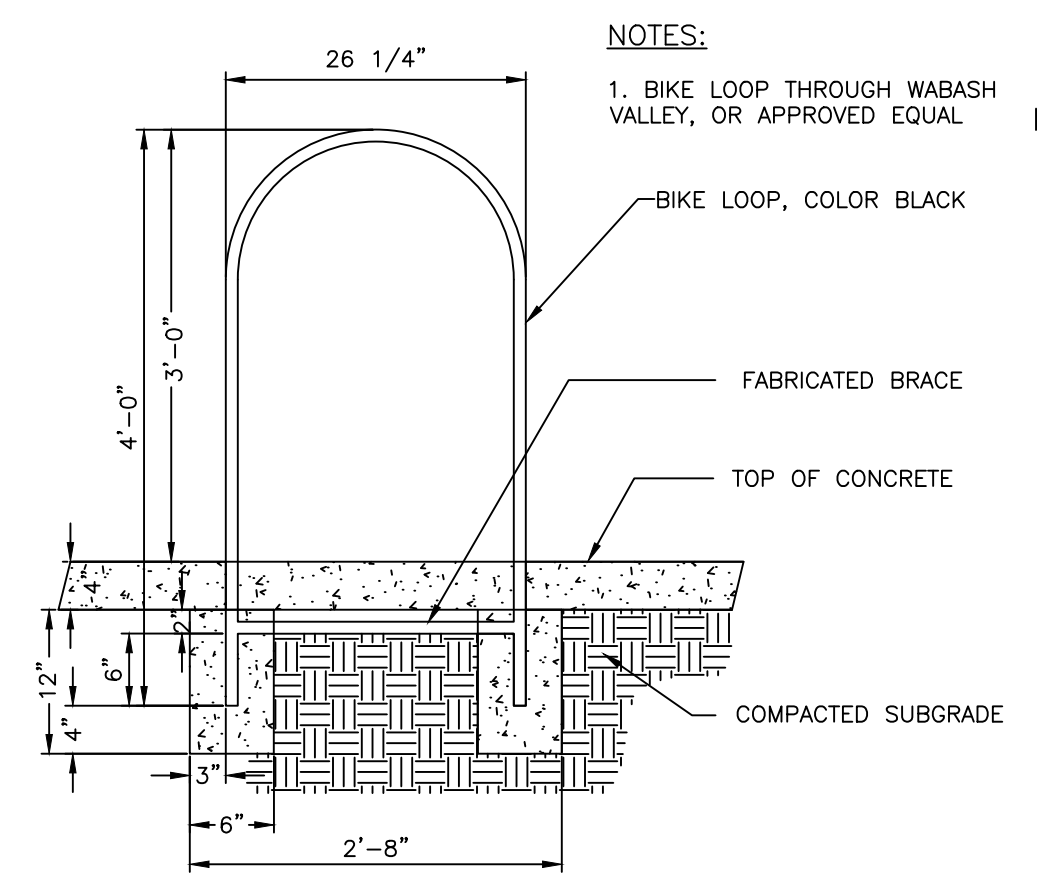
COMBINED CONCRETE CURB & GUTTER 7/9
NOT TO SCALE



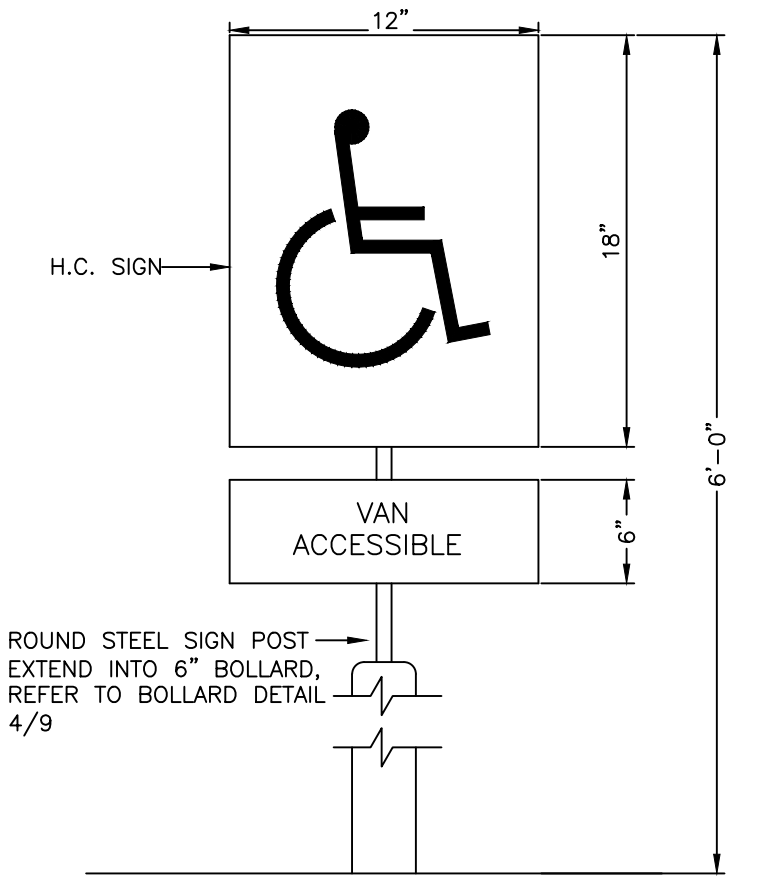
TYPICAL SIDEWALK 8/9
NOT TO SCALE



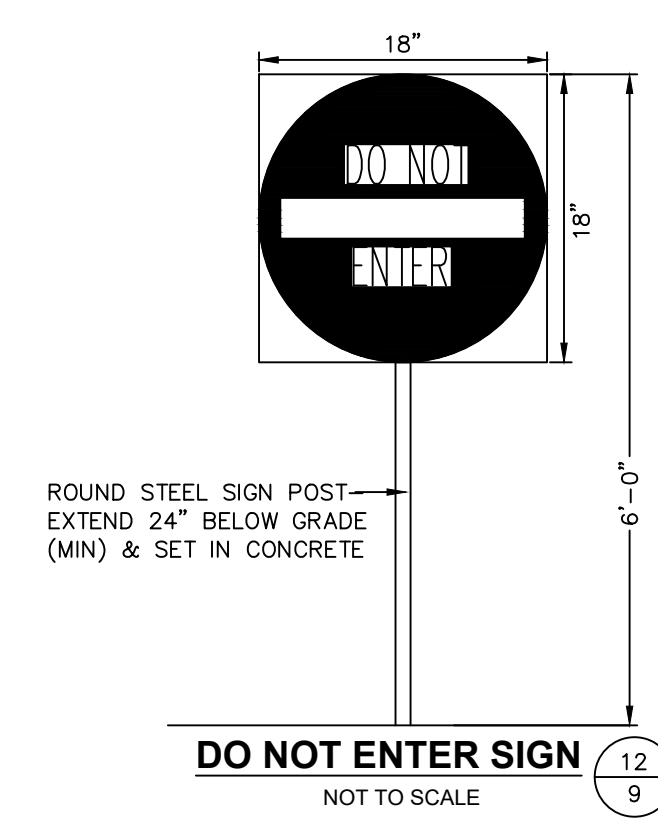
BOLLARD DETAIL 9/9
NOT TO SCALE



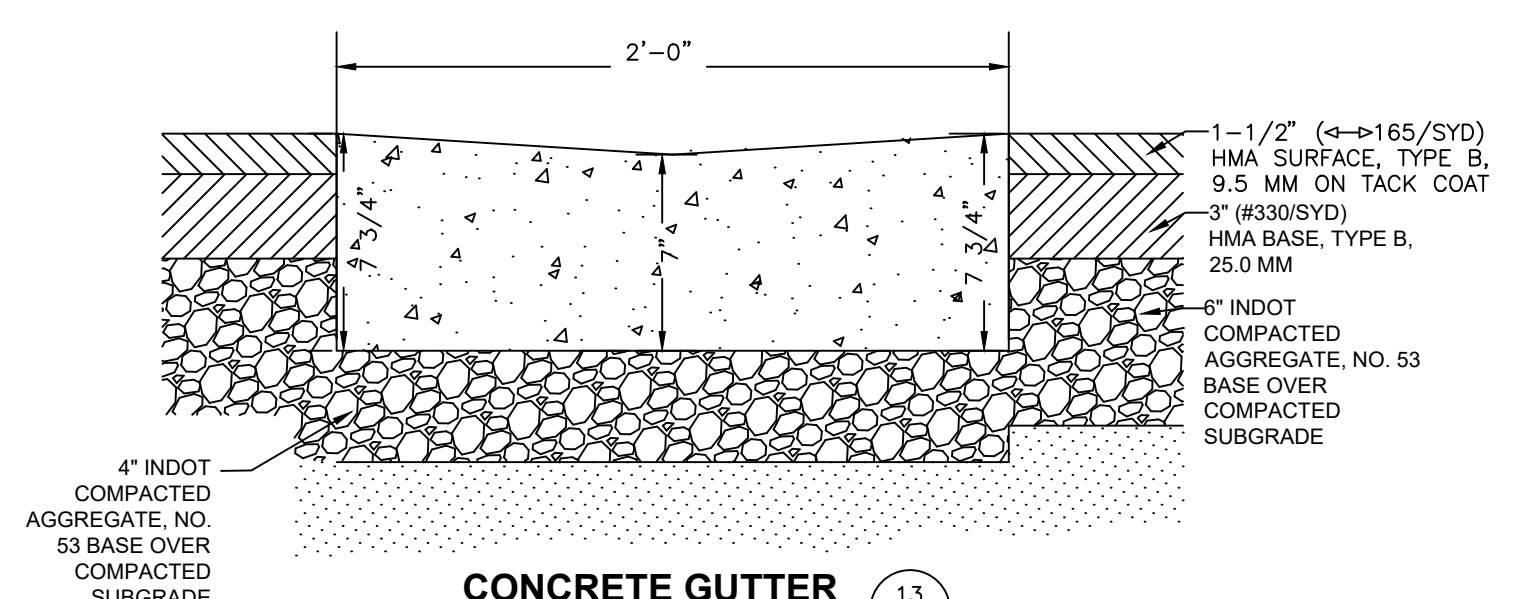
BIKE LOOP 10/9
NOT TO SCALE



HANDICAP SIGN 11/9
NOT TO SCALE



DO NOT ENTER SIGN 12/9
NOT TO SCALE



CONCRETE GUTTER 13/9
NOT TO SCALE

DRAWN: SAMANUEL, PROJECTS: 100408787A, 11/20/2024, 11:53:53 AM

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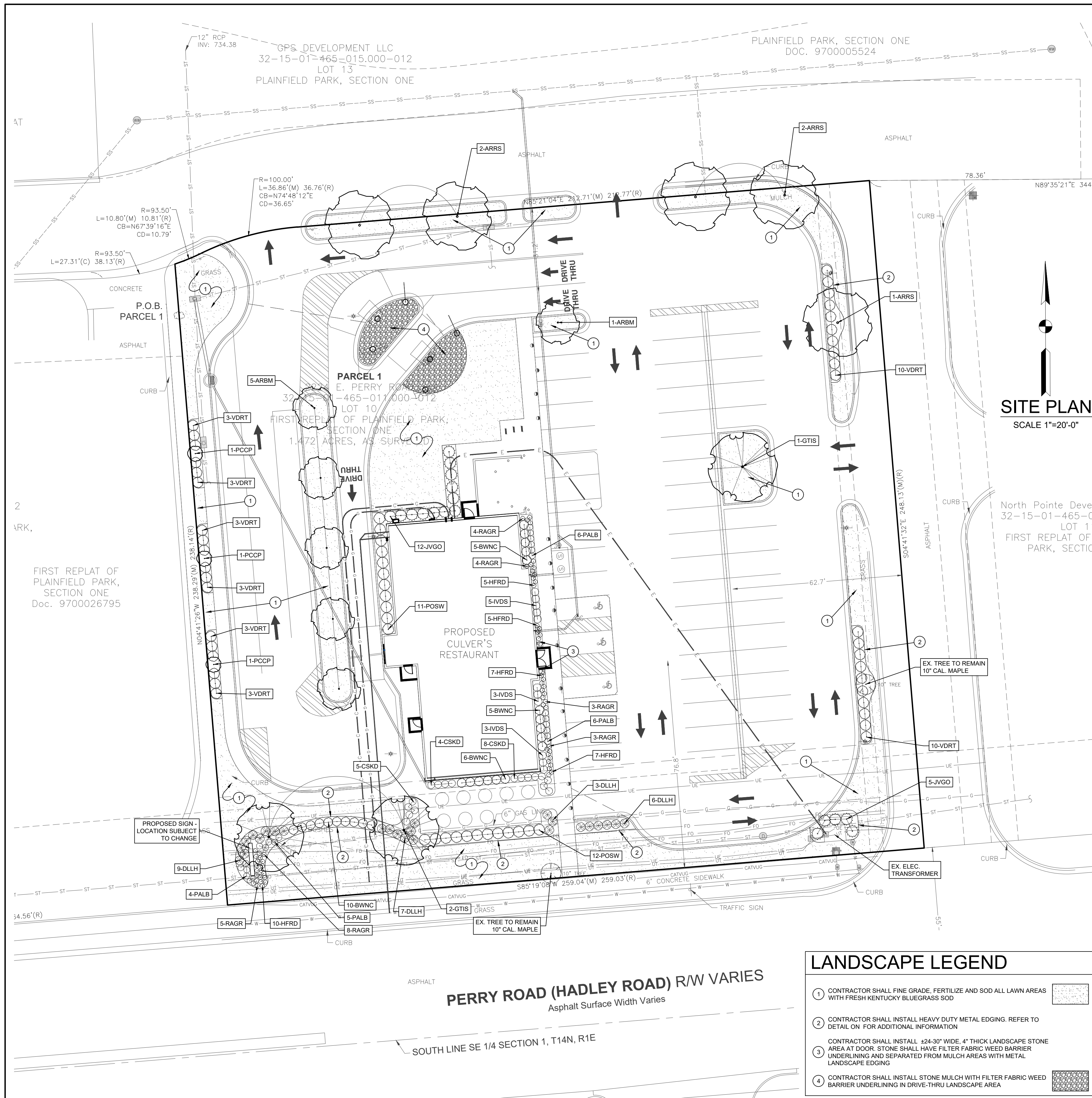


2810 Dexter Drive
Elkhart, IN 46514
Phone: 574-266-1010
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DRAWING FILE: 9 - UTILITY, MISC DETAILS.DWG
CERTIFICATION DATE: 4/25/2024
HORIZONTAL SCALE: NONE
VERTICAL SCALE: NONE
SURVEYOR: Mikel Currier, P.S.
TECHNICIAN: MDC

UTILITY & MISC. DETAILS
S & L Properties Plainfield South LLC, 2224 Perry Road,
PT. SE 1/4, SEC. 1, T14N, R1E,
Town of Plainfield, Hendricks County, Indiana
JOB NUMBER: 102308569

SHEET 9
OF 9



LANDSCAPE NOTES

- BEFORE COMMENCING ANY WORK, CONTRACTOR SHALL CONTACT "INDIANA 811" TO VERIFY LOCATIONS OF UNDERGROUND PUBLIC UTILITIES. CONTRACTOR SHALL ALSO VERIFY LOCATIONS OF UNDERGROUND PRIVATE UTILITIES.
- ALL EXISTING UTILITY VALVES, MANHOLES, ETC. FOUND ON SITE AND NOT SHOWN ON THESE PLANS SHALL BE BROUGHT TO THE GENERAL CONTRACTOR'S ATTENTION. LANDSCAPE WORK SHALL ACCOMMODATE SUCH EXISTING STRUCTURES.
- ALL LAWN AREAS ARE TO BE FREE OF DEBRIS AND WEEDS PRIOR TO INSTALLATION. IF WEEDS EXIST PRIOR TO INSTALLATION, LANDSCAPE CONTRACTOR SHALL TREAT ALL AREAS WITH HERBICIDE AND WAIT MANUFACTURER RECOMMENDED DAYS BEFORE COMMENCING WITH PLANTINGS AND LAWN INSTALLATION.
- ALL LAWN AREAS ARE TO BE FREE OF STONES AND DEBRIS WITHIN 1-1/2" DIA. TOPSOIL SHALL BE RAKED BY LANDSCAPE CONTRACTOR PRIOR TO SODDING AND PLANTING OPERATIONS. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING CLEAN QUALITY TOPSOIL, WHERE NECESSARY, TO ENSURE SUCCESSFUL PLANT ESTABLISHMENT.
- ALL LAWN AREAS TO BE SODDED. CONTRACTOR SHALL SUPPLY 100% KENTUCKY BLUEGRASS BLENDS. AFTER SODDING IS COMPLETED AND HAS BEEN APPROVED, IT SHALL BE ROLLED IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER.
- ALL AREAS NOTED TO RECEIVE SOD SHALL BE FERTILIZED AT A RATE OF 2 LBS. OF NITROGEN PER 1000 SF. PRIOR TO LAYING OF SOD.
- ALL TREE AND SHRUBS SHALL RECEIVE COMMERCIAL FERTILIZER: COMPLETE FERTILIZER OF NEUTRAL CHARACTER, WITH SOME ELEMENTS DERIVED FROM ORGANIC SOURCES AND CONTAINING FOLLOWING PERCENTAGES OF AVAILABLE PLANT NUTRIENTS:
FOR TREES PROVIDE TWO FERTILIZER PACKETS PER 1" CALIBER AND FOR SHRUBS PROVIDE ONE PACKET PER 12" OF PLANT SPREAD OR HEIGHT. FERTILIZER PACKETS BY:
NUTRI-PAK
JRP INTERNATIONAL, INC.
244 WEST PIONEER ROAD
FOND DU LAC, WI 54935
(1-877-688-7472)
OR APPROVED EQUAL
- PERENNIAL AND ORNAMENTAL GRASSES SHALL BE SURFACE FERTILIZED AT TIME OF PLANTING AT A RATE OF 1/2 LB OF NITROGEN PER 1000 SF OF PLANTING BED.
- LANDSCAPE CONTRACTOR SHALL USE ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND PAVEMENTS, WALKS, SIGNS, UTILITIES, FENCING, TREES, AND OTHER FEATURES IN ORDER TO PREVENT UNDERMINING OF WALKS AND PAVEMENTS, DISRUPTING UTILITY SERVICES, DISTURBING TREE ROOTS, AND DAMAGE IN GENERAL TO EXISTING OR RECENTLY INCORPORATED ITEMS. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING BUILT COMPONENTS.
- ALL PLANTING LOCATIONS ARE TO BE FIELD STAKED BY THE LANDSCAPE CONTRACTOR AND APPROVED BY THE GENERAL CONTRACTOR OR OWNER PRIOR TO INSTALLATION. FAILURE TO REVIEW PLANTING LAYOUT PRIOR TO INSTALLATION MAY RESULT IN REJECTION OF THE LANDSCAPE INSTALLATION. LANDSCAPE CONTRACTOR TO MODIFY OR REVISE THE PLANTINGS AT NO ADDITIONAL COST TO THE OWNER.
- ALL PROPOSED PLANT MATERIALS ARE SHOWN AT MATURE GROWTH. PLANTS SHALL BE SPACED AS NOTED OR TO PROPER HORTICULTURAL METHODS IF NOT STATED.
- LANDSCAPE CONTRACTOR SHALL INFORM THE GENERAL CONTRACTOR AND OWNER IMMEDIATELY (IN WRITING) OF ANY SUBSTANCE ENCOUNTERED THAT MAY BE DAMAGING TO PLANT MATERIAL PRIOR TO INSTALLATION.
- ALL TREES SHALL BE BALLED & BURLAPPED (B&B) UNLESS OTHERWISE NOTED IN PLANT MATERIAL LIST OR BUREAU OF PUBLIC UTILITIES. CONTRACTOR SHALL ALSO VERIFY LOCATIONS OF UNDERGROUND PRIVATE UTILITIES.
- ALL TREES SHALL BE KEPT MOIST UNTIL INSTALLATION. IF PLANT MATERIAL CANNOT BE INSTALLED IMMEDIATELY, THEY ARE TO BE HEALED IN AND ROOTBALLS COVERED WITH MULCH.
- LANDSCAPE CONTRACTOR SHALL INSTALL 4" DIA. 3" DEPTH MULCHED SAUCER UNDER ALL TREES SHOWN IN LAWN AREAS. DO NOT MOUND MULCH AROUND TRUNK OF TREE.
- PLANT STOCK MUST BE TRUE TO BOTANICAL NAME AND COMPLY WITH SIZING AND GRADING STANDARDS ACCORDING TO THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK".
- ALL PLANTS ARE TO BE NURSERY GROWN AND BE FROM USDA PLANT HARDINESS ZONE 5 OR LOWER (4.3).
- PLANTING BACKFILL SOIL SHALL BE OF ORIGINAL MATERIAL AUGMENTED WITH PEAT MOSS OR OTHER SOIL AMENDMENTS TO PROMOTE PROPER ESTABLISHMENT AND GROWTH.
- ALL PLANT MATERIAL SHALL BE HEALTHY REPRESENTATIVES OF THEIR SPECIES OR VARIETY AS SPECIFIED.
- GENERAL CONTRACTOR AND OWNER HAVE THE RIGHT TO INSPECT AND REJECT ANY TREE/PLANT. REJECTION OF ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS SET FORTH SHALL BE REPLACED AT NO COST TO THE OWNER.
- IF REQUESTED, LANDSCAPE CONTRACTOR SHALL PROVIDE GENERAL CONTRACTOR OR OWNER WITH A LIST OF STATE INSPECTED NURSERIES WHERE PLANT MATERIAL IS SELECTED FROM.
- PLANT AND MATERIAL QUANTITIES HAVE ONLY BEEN SHOWN AS A REFERENCE AND TO AID THE LANDSCAPE CONTRACTOR DURING BIDDING. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND PROVIDING ALL PLANT AND MATERIAL QUANTITIES FOR A COMPLETE PROJECT. PLAN SYMBOLS SHALL GOVERN OVER PLANT QUANTITIES NOTED IN THE PLANT LIST.
- ALL AREAS DISTURBED BY LANDSCAPE OPERATIONS SHALL BE REPAIRED AND SODDED.
- LANDSCAPE CONTRACTOR SHALL REVIEW FINAL GRADE AND ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS, PAVEMENTS AND WALKWAYS PRIOR TO PLANTING OPERATIONS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINE LANDSCAPE GRADING WORK OVER ALL DISTURBED AREAS AND FOR SPREADING TOPSOIL IN AREAS WHERE IT IS NECESSARY TO BRING UP GRADE AND PROMOTE PROPER PLANT GROWTH.
- ALL LANDSCAPE BEDS SHALL BE MULCHED WITH MINIMUM 3" LAYER OF SHREDDED HARDWOOD MULCH. SHRUBS SHALL BE MULCHED IN A CONTINUOUS BED WITH LANDSCAPE EDGING AS NOTED ON THE PLAN.
- CONTRACTOR SHALL WARRANT PLANT MATERIAL FOR MINIMUM OF ONE-YEAR PROVIDED THE OWNER CONTINUES THE MAINTENANCE PROGRAM ESTABLISHED BY THE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL INFORM THE GENERAL CONTRACTOR/OWNER IMMEDIATELY (IN WRITING) IF A CHANGE IN PLANTING MATERIALS IS REQUESTED DUE TO AVAILABLE QUANTITIES, SIZES, ETC. PRIOR TO CONSTRUCTION.
- ALL LAWN AND LANDSCAPE AREAS TO BE IRRIGATED WITH UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. IRRIGATION SYSTEM TO BE DESIGNED AND INSTALLED UPON COMPLETION OF THE SITE INFRASTRUCTURE AND PRIOR TO FINAL LANDSCAPING.
- EXISTING TREES TO REMAIN SHALL BE LIMBED/PRIUNED TO A MINIMUM BRANCH HEIGHT OF 6'.

SITE PLAN
SCALE 1"=20'-0"

PLANT LIST

TREES						
CODE	QUANTITY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	REMARKS	MATURE SIZE
ARBW	6	ACER RUBRUM 'BRANDYWINE'	BRANDYWINE RED MAPLE	2.5" CAL.	B&B	H:20'-25' W:10'-12'
ARRS	5	ACER RUBRUM 'FRANKSRED'	RED SUNSET RED MAPLE	2.5" CAL.	B&B	H:45'-50' W:35'-40'
GTIS	3	GLEDTISIA TRICANTHOS VAR. 'INERMIS 'SKYCOLE'	SKYLINE HONEYLOCUST	2.5" CAL.	B&B	H:40'-45' W:40'-45'
PCCP	3	PRUNUS X CERASIFERA 'CRIOPAZAM'	CRIMSON POINT PLUM	1.5" CAL.	B&B	H:15'-20' W:5'-6'
SHRUBS						
BWNC	26	BUXUS x 'WILSONII'	NORTHERN CHARM BOXWOOD	24"		H:3'-4' W:3'-4'
CSKD	17	CORNUS SERICEA 'KELSEYI'	KELSEY'S DWARF RED-OSIER DOGWOOD	18"		H:2'-3' W:3'-4'
DLH	25	DIERVILLA LONICERA 'RUBEE WREN'	LOW BUSH HONEYSUCKLE	18"		H:2'-3' W:2'-3'
IVDS	11	ITEA VIRGINICA 'SPRICH'	LITTLE HENRY DWARF SWEETSPIRE	18"		H:3'-4' W:2'-3'
JVGO	17	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	24"		H:2'-3' W:5'-6'
POSW	23	PHYSOCLARUS OPULIFOLIUS 'SEWARD'	SUMMER WINE NINEBARK	24"		H:5'-6' W:5'-6'
VVRT	38	VIBURNUM DENTATUM 'RASTZAM'	RASPBERRY TART VIBURNUM	24"		H:4'-8' W:4'-8'
PERENNIALS & ORNAMENTAL GRASSES						
HFRD	34	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	#1 CONT.		H:16" W:16"
RAGR	27	RUDBECKIA 'AMERICAN GOLD RUSH'	AMERICAN GOLD RUSH CONEFLOWER	#1 CONT.		H:18" W:18"
PALB	21	PENNISSETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	#1 CONT.		H:18" W:24"
MISC. LANDSCAPE MATERIALS						
EDGING	4577 LFT	4" 14ga HEAVY DUTY STEEL EDGING				
SOD	±10,815 SFT	100% KENTUCKY BLUEGRASS BLEND				
MULCH	±22 CYD	SHREDDED HARDWOOD LANDSCAPE MULCH, MIN. 3" THICK				
L-STONE	±12 TON	2" LANDSCAPE STONE MULCH, 3/4" THICK, WITH WEED BARRIER FILTER FABRIC UNDERLINING				

FOUNDATION PLANTING AREA CALCULATIONS

WALL LENGTH	LANDSCAPE AREA REQUIRED (WLx2)	LANDSCAPE AREA PROVIDED	LEVEL 1 PLANT UNIT VALUE REQUIRED	LEVEL 1 PLANT UNIT VALUE PROVIDED	PLANT COUNT
NORTH WALL = 56'-10"	113.66 SF	140 SF	0.57	0.60	(12) 24" SHRUBS @ 0.05 PUV = 0.60
SOUTH WALL = 56'-10"	113.66 SF	172 SF	0.57	1.05	(14) 18" SHRUBS @ 0.025 PUV = 0.35 (14) 24" SHRUBS @ 0.05 PUV = 0.70 (15) 18" SHRUBS @ 0.025 PUV = 0.38 (12) 24" SHRUBS @ 0.05 PUV = 0.60
EAST WALL = 95'-11"	191.82 SF	338 SF	0.96	0.98	(11) 24" SHRUBS @ 0.05 PUV = 0.55 (5) 2.5" CAL TREES @ 0.75 PUV = 3.75
WEST WALL = 95'-11"	191.82 SF	228 SF	0.96	4.30	
TOTAL	610.96 SF	878 SF	3.06	6.93	

PERIMETER PLANTING CALCULATIONS

LOT LINE LENGTH	LEVEL 1 PLANT UNIT VALUE REQUIRED	LEVEL 1 PLANT UNIT VALUE PROVIDED	PLANT COUNT
NORTH LOT LINE = 259'	2.59	3.00	(4) 2.5" CAL. TREE @ 0.75 PUV = 3.00 (24) 18" SHRUBS @ 0.025 PUV = 0.60 (14) 24" SHRUBS @ 0.05 PUV = 0.70 (2) 2.5" CAL TREES @ 0.75 PUV = 1.50 (1) 10" CAL. EX. TREE @ 1.25 PUV = 1.25
SOUTH LOT LINE = 259'	2.59	4.05	(20) 24" SHRUBS @ 0.05 PUV = 1.00 (1) 2.5" CAL. TREE @ 0.75 PUV = 0.75 (3) 1.5" CAL. EX. TREE @ 1.25 PUV = 1.25
EAST LOT LINE = 248'	2.48	3.00	(1) 2.5" CAL. TREE @ 0.75 PUV = 0.75 (1) 10" CAL. EX. TREE @ 1.25 PUV = 1.25
WEST LOT LINE = 238'	2.38	2.40	(18) 24" SHRUBS @ 0.05 PUV = 0.90 (3) 1.5" CAL TREES @ 0.50 PUV = 1.50

PARKING LOT LANDSCAPE CALCS.

PROPOSED PARKING SPACES	ONE INTERIOR LANDSCAPE ISLAND PER 15 PARKING SPACES	MINIMUM AREA OF INTERIOR LANDSCAPE ISLAND 5x19 = 144 SF	AREA OF INTERIOR LANDSCAPE ISLANDS PROVIDED
53	53/15 = 3.53 ISLANDS REQUIRED	3.53x144 = 508.32 SF REQUIRED	1,694 SF PROVIDED
ONE TREE FOR EACH PARKING LOT ISLAND REQUIRED	NUMBER OF LANDSCAPE ISLANDS PROVIDED	NUMBER OF INTERIOR PARKING LOT TREES PROVIDED	
3.53 ISLANDS = 4 TREES REQUIRED	3	7	

LANDSCAPE LEGEND

- CONTRACTOR SHALL FINE GRADE, FERTILIZE AND SOD ALL LAWN AREAS WITH FRESH KENTUCKY BLUEGRASS SOD
- CONTRACTOR SHALL INSTALL HEAVY DUTY METAL EDGING. REFER TO DETAIL ON FOR ADDITIONAL INFORMATION
- CONTRACTOR SHALL INSTALL ±24-30" WIDE, 4" THICK LANDSCAPE STONE AREA AT DOOR. STONE SHALL HAVE FILTER FABRIC WEED BARRIER UNDERLINING AND SEPARATED FROM MULCH AREAS WITH METAL LANDSCAPE EDGING
- CONTRACTOR SHALL INSTALL STONE MULCH WITH FILTER FABRIC WEED BARRIER UNDERLINING IN DRIVE-THRU LANDSCAPE AREA

LANDSCAPE ARCHITECT
LEHMAN & LEHMAN
Transforming Horizons

MICHAEL J. BULTINK
REGISTERED
No. 20400089
STATE OF INDIANA
LANDSCAPE ARCHITECT

[Signature]
4.29.24
DATE

NEW CULVER'S RESTAURANT
2224 PERRY ROAD
PLAINFIELD, INDIANA
LANDSCAPE PLAN

REVISIONS

4.11.24 LANDSCAPE PLAN SUBMITTAL	
4.29.24 LANDSCAPE PLAN RESUBMITTAL	

DRAWN BY: MJB
CHECKED BY: MJB

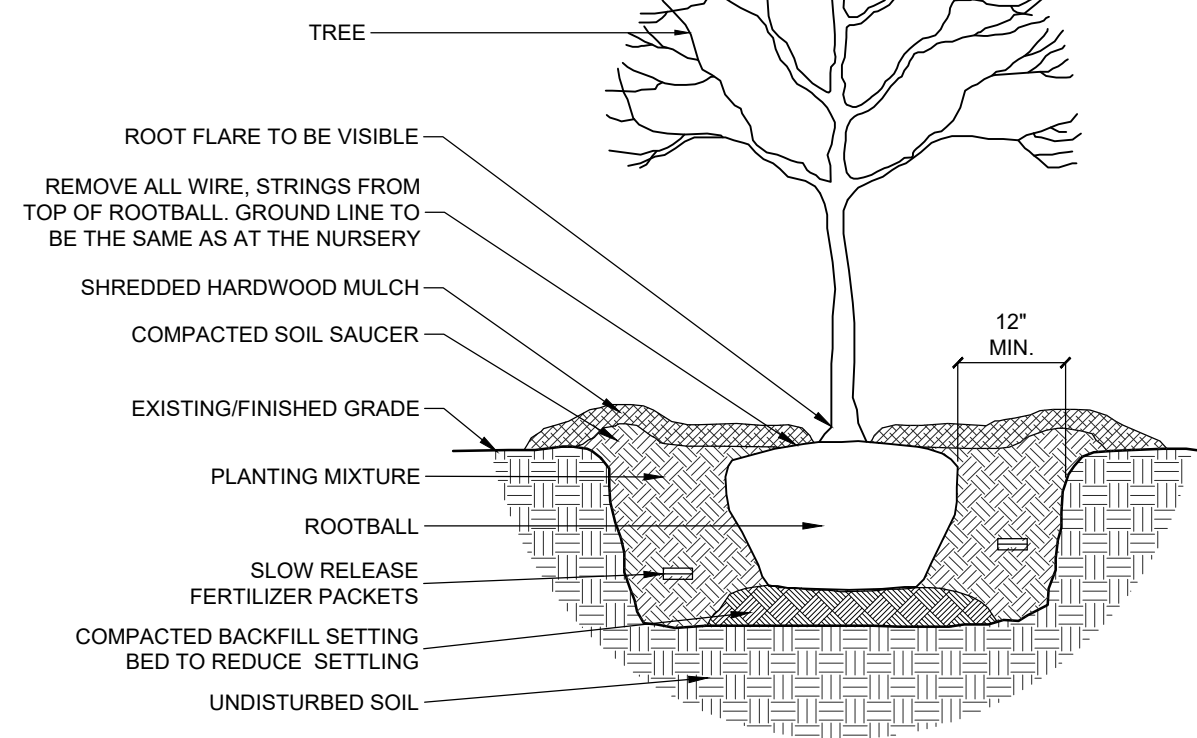
PROJECT NUMBER
24-008
DATE
APRIL 2024
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SHEET NO.
L1.0

NOTE:
PLANT TREES 6" HIGHER THAN EXISTING GRADE IN POOR SOIL DRAINAGE CONDITIONS.

IN POOR SOIL CONDITIONS, AMEND PLANTING MIXTURE OF EXISTING SOIL WITH GOOD QUALITY TOP SOIL, PEAT OR HUMUS FOR GOOD ROOT GROWTH PLANTING MEDIUM.

WATER AND TAMP PLANTING MIXTURE AREA TO REMOVE AIR POCKETS.

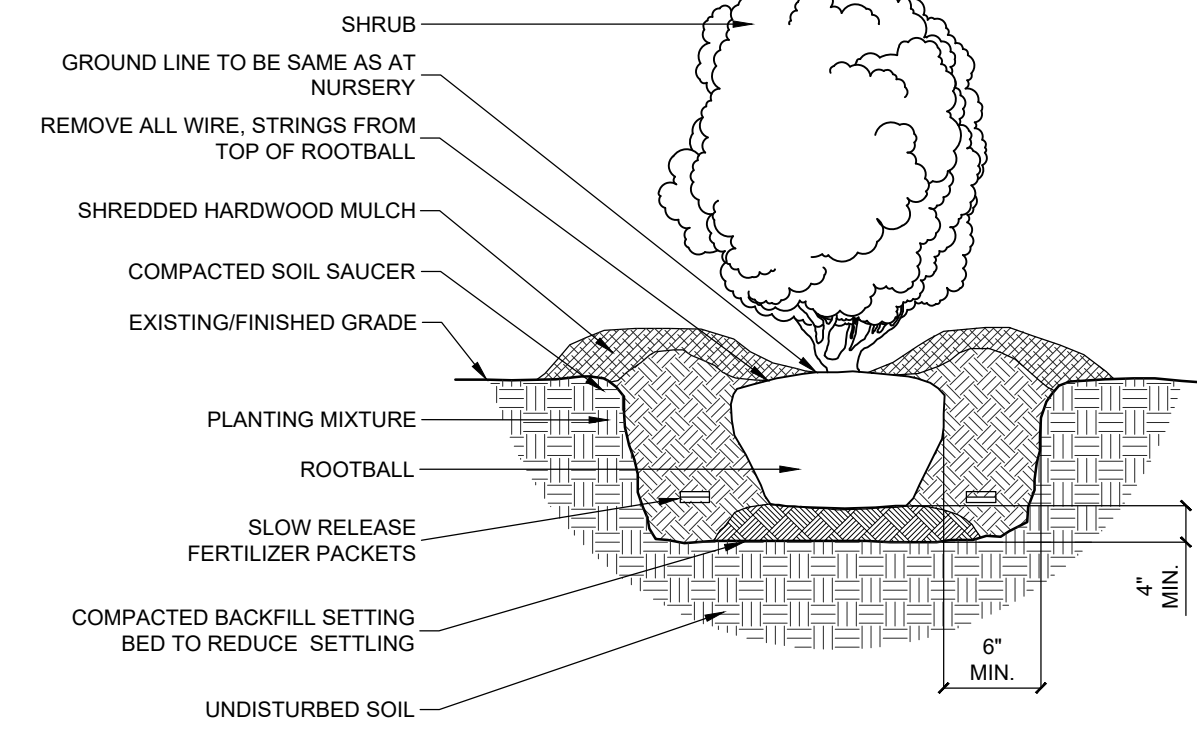


DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

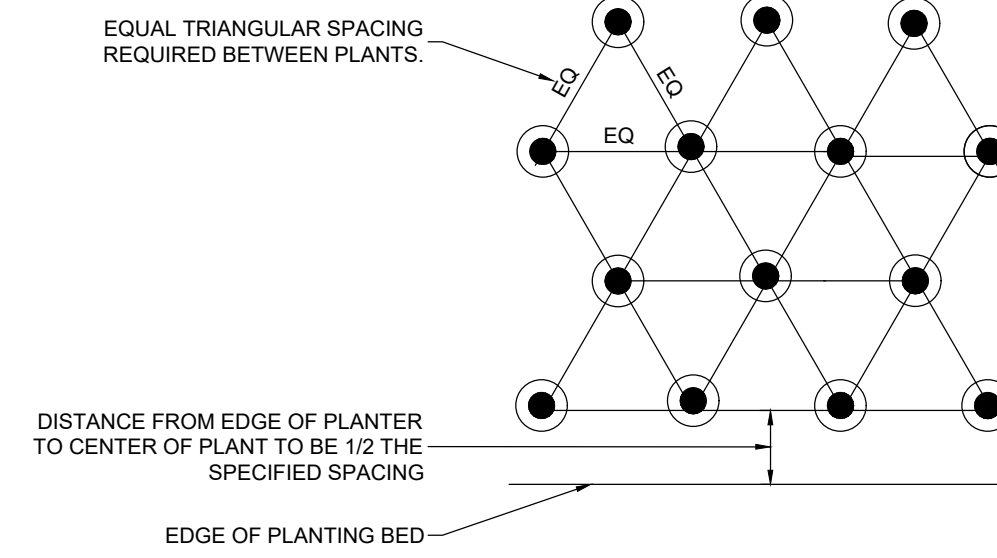
NOTE:
PLANT TREES 6" HIGHER THAN EXISTING GRADE IN POOR SOIL DRAINAGE CONDITIONS.

IN POOR SOIL CONDITIONS, AMEND PLANTING MIXTURE OF EXISTING SOIL WITH GOOD QUALITY TOP SOIL, PEAT OR HUMUS FOR GOOD ROOT GROWTH PLANTING MEDIUM.

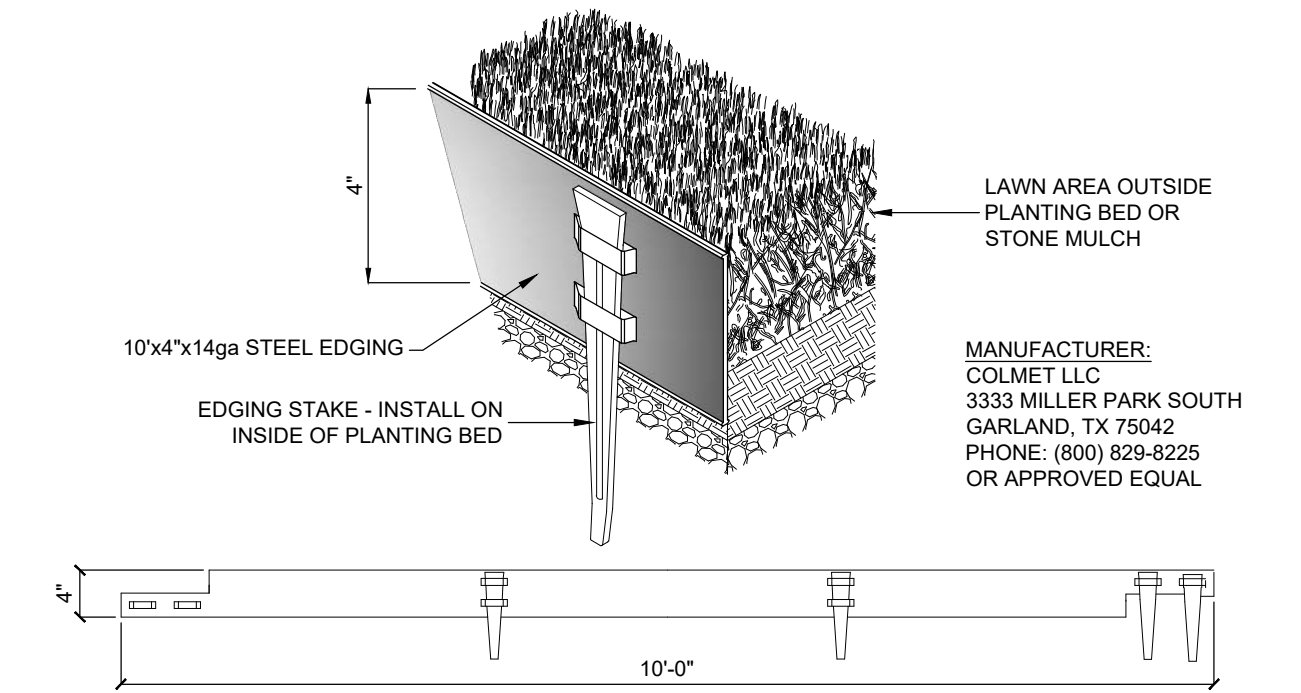
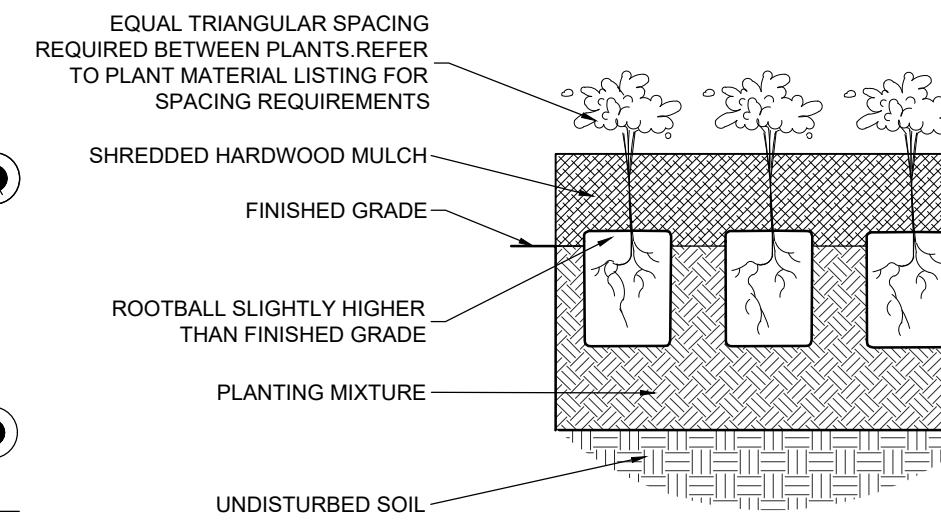
WATER AND TAMP PLANTING MIXTURE AREA TO REMOVE AIR POCKETS.



SHRUB PLANTING DETAIL
NOT TO SCALE

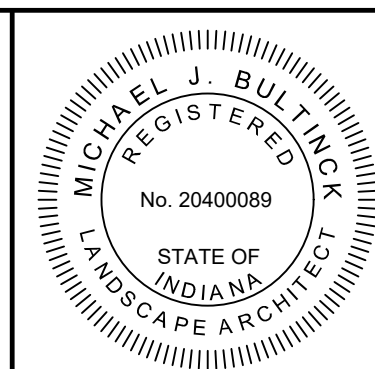


PERENNIAL/GROUNDCOVER PLANTING DETAIL
NOT TO SCALE



LANDSCAPE EDGING
NOT TO SCALE

LANDSCAPE ARCHITECT



[Signature]
4.29.24
DATE

NEW CULVER'S RESTAURANT

2224 PERRY ROAD
PLAINFIELD, INDIANA

LANDSCAPE
DETAILS

REVISIONS

4.11.24 LANDSCAPE PLAN SUBMITTAL
4.29.24 LANDSCAPE PLAN RESUBMITTAL

DRAWN BY: MJB

CHECKED BY: MJB

PROJECT NUMBER

24-008

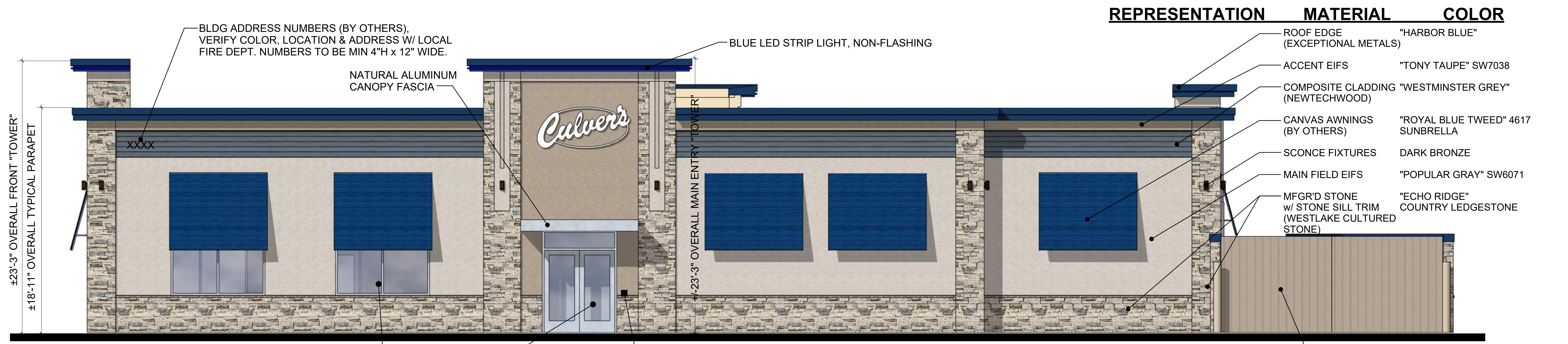
DATE

APRIL 2024

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SHEET NO.

L1.1



REPRESENTATION	MATERIAL	COLOR
ROOF EDGE (EXCEPTIONAL METALS)	"HARBOR BLUE"	
ACCENT EIFS	"TONY TAUPE" SW7038	
COMPOSITE CLADDING (NEWTECHWOOD)	"WESTMINSTER GREY"	
CANVAS AWNINGS (BY OTHERS)	"ROYAL BLUE TWEED" 4617 SUNBRELLA	
SCONCE FIXTURES	DARK BRONZE	
MAIN FIELD EIFS	"POPULAR GRAY" SW6071	
MFGR'D STONE w/ STONE SILL TRIM (WESTLAKE CULTURED STONE)	"ECHO RIDGE" COUNTRY LEDGESTONE	

EAST / MAIN ENTRY ELEVATION



SOUTH / FRONT ELEVATION

NORTH / REAR ELEVATION



WEST / DRIVE THRU ELEVATION

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 County of HENDRICKS

Culver Franchising System, Inc
 1240 Water Street
 Prairie du Sac, WI 53578
 608-643-7960

OLLMANN ERNEST MARTIN ARCHITECTS
 200 South State Street
 Belvidere, Illinois 61008
 815-544-7790 Phone

2D ELEVATIONS
 NOTE: THOUGH THESE IMAGES HAVE PHOTO
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 Date: 5-9-2024 Revision:

2024-052

A1



REAR LEFT VIEW (NWC)



REAR RIGHT VIEW (NEC)



FRONT RIGHT VIEW (SEC)

BLUE LED STRIP LIGHTING
(NON-FLASHING)



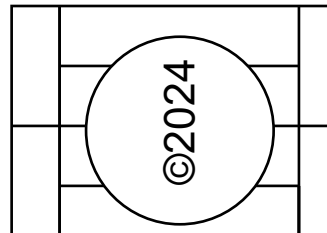
FRONT LEFT VIEW (SWC)

BLUE LED STRIP LIGHTING
(NON-FLASHING)
CAN LIGHTING RECESSED
IN SOFFIT

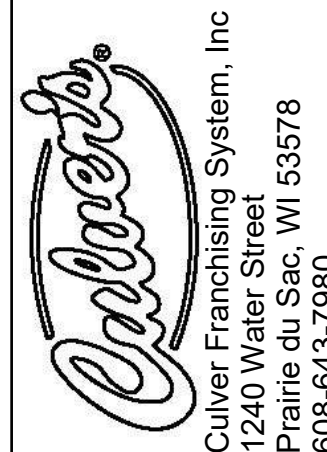


LEFT PERSPECTIVE (WEST VIEW)

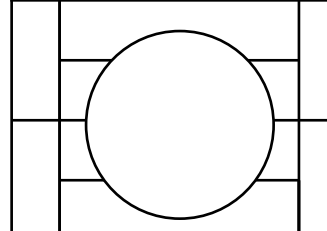
RIGHT PERSPECTIVE (EAST VIEW)



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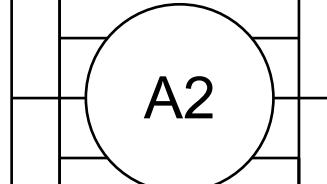


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Belvidere, Illinois 61008
815-544-7790 Phone



3D IMAGES
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Date: 5-9-2024 Revision:

2024-052



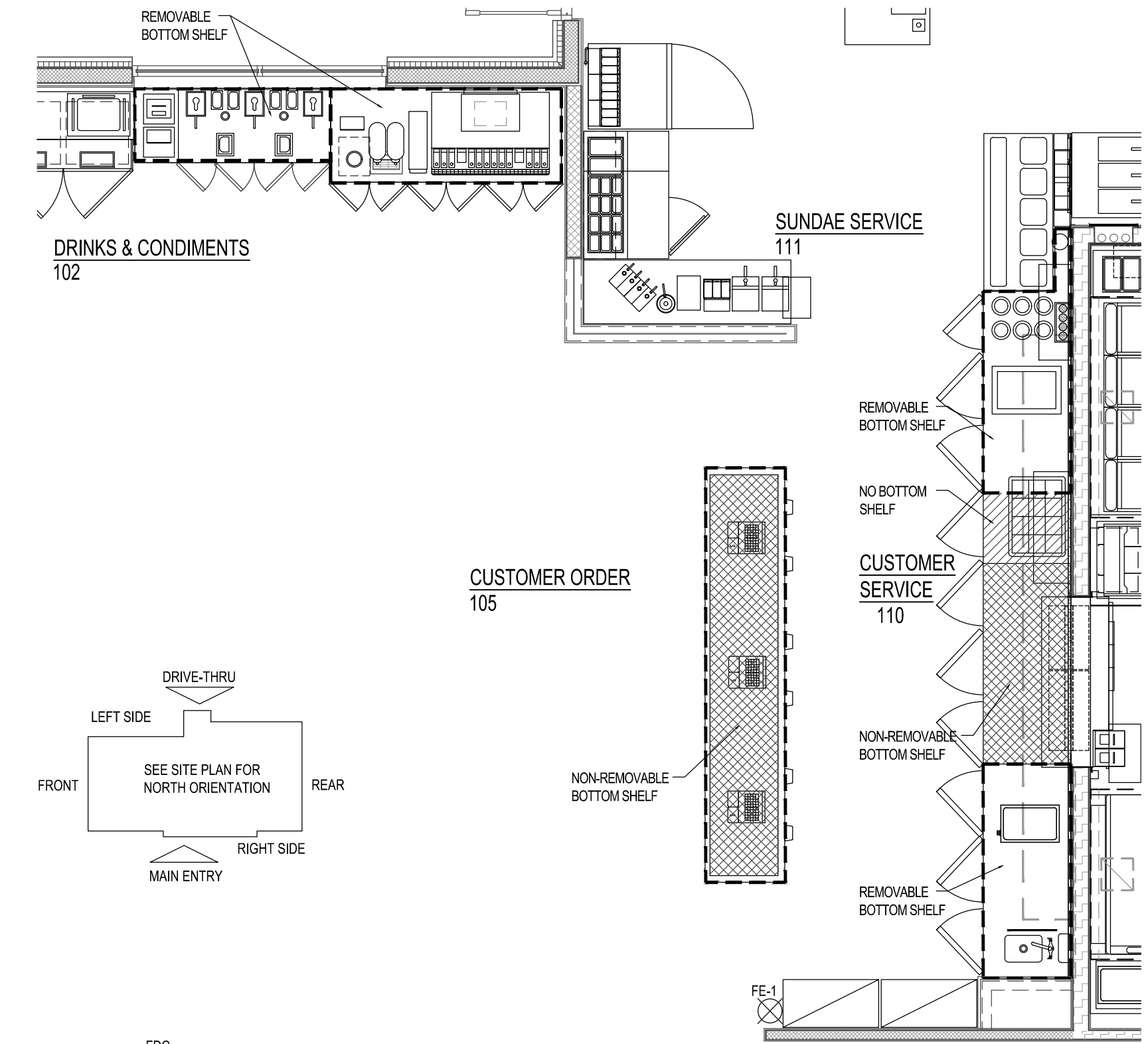
OWNER FURNISHED, FOOD SERVICE EQUIPMENT CONTRACTOR (FSEC) INSTALLED			
ITEM	EQUIPMENT SCHEDULE	ITEM	EQUIPMENT SCHEDULE
1	WALK-IN COOLER (BOX, LINE SETS, & COIL DRAIN PIPES)	46	BOTTOM HEATED FRY PAN
2	WALK-IN FREEZER (BOX, LINE SETS, & COIL DRAIN PIPES)	47	FRONT PASS-THRU STAINLESS STEEL CHANNEL TRIM
3	WALK-IN COOLER RACKS	48	REFRIGERATED MEAT CART
4	WALK-IN COOLER DUNNAGE RACKS	50	MOBILE WORKTABLE
4A	MOBILE CUSTARD MIX RACKS	51	GRILL AND STAND
5	WALK-IN FREEZER SHELVING	52	FRIED FOOD TRANSFER CABINET - ROUGH-IN ONLY
6	WALK-IN FREEZER DUNNAGE RACKS	53A	SANDWICH WRAP STATION LEFT
7	WORKTABLE / SINK	53B	SANDWICH WRAP STATION RIGHT
8	WALL SHELF	53C	WALL SHELF
11	LOCKERS	54	ORDER BARS
14	STAINLESS STEEL WALL CORNER GUARDS, SHOWN (14)	57	STAINLESS STEEL REFRIGERATION CHASE COVER
16	WIRE SHELVING	58	FRY STATION HEAT LAMP - ROUGH-IN ONLY
20	DISHABLES AND UTENSIL SINKS	60	FRYERS
21	WALL SHELF	61	CUSTOM FISH REFRIGERATOR
24	OPEN NUMBER	62	OPEN NUMBER
27	SLANTING WALL SHELF	65	MOBILE STAINLESS STEEL WORKTABLE
29	CLEAN PAN SHELVING	66	ICE MACHINE WITH BIN - ROUGH-IN ONLY
31	JANITOR'S SHELVING	66A	REMOTE ICE MAKER
34	REACH-IN FREEZER	67	OPEN NUMBER
35	NOT USED	68	WALL SHELF
37	REFRIGERATED DRAWER BASE	71	WORK TABLE
38	OPEN NUMBER	74	REFRIGERATED TOPPING TABLE
39	OPEN NUMBER	75	CUSTARD DIPPING CABINET
40	BREAD SHELF - NOT INCLUDED	76	CAKE CONE DISPENSER
41	REFRIGERATED WORKTABLES	77A	COUNTER TOP CANDY DISPENSER
42	MOBILE WORKTABLE / OVERSHELF	77B	12"x48" WALL MOUNT SHELF
44	GRILL SIDE WARMER CART	78	DISH / CUP DISPENSERS
45	STAINLESS STEEL WALLCAP / ELEC CHASE COVER	79	WALL SHELVES
80	REFRIGERATED S/S BACKCOUNTER	81	HEATED PASS-THRU UNIT
82	TOOL SHELF	83	REACH IN REFRIGERATOR - NOT INCLUDED
90	FRONT SERVICE COUNTER	92	CUP DISPENSERS
93	STAINLESS STEEL DRIVE-THRU COUNTER	95	CUP DISPENSERS
96	STAINLESS STEEL DRIVE-THRU COUNTER	99	DISPLAY CABINET - NOT INCLUDED
101	TRAY / TRASH / RECYCLE CABINETS	102	TRAY / TRASH CABINET - NOT INCLUDED
106	RETAIL FREEZER	107	CONDIMENT CUP DISPENSERS
108	TABLES / CHAIRS / BOOTHS	109	CONDIMENT DISPENSERS
110	NAPKIN DISPENSERS	111	BEVERAGE COUNTER
113	CONDIMENT COUNTER	114	CONDIMENT COUNTER
115	OPEN NUMBER	119	WASTE RECEPTACLES
120	HIGH TOP TABLES AND CHAIRS	121	DROP IN CUSTARD COLD PAN
123	WORKTOP REFRIGERATOR	124	WORKTABLE
125	MOBILE WORKTABLE	126	SLANTING WALL SHELF
128	REFRIGERATION LINE SETS (SEE H6 / A105)	505	REFRIGERATION LINE SETS (SEE H6 / A105)

OWNER FURNISHED, VENDOR INSTALLED			
ITEM	EQUIPMENT SCHEDULE	ITEM	EQUIPMENT SCHEDULE
9	COOKER / WARMERS	98	ICED TEA BREWER / DISPENSER
12	WASTE OIL RECOVERY SYSTEM	103	ICE AND SODA DISPENSER
15	BAG-IN-BOX SYSTEM	104	CARBONATOR
17	TRASH CANS / CART	105	SELF SERVICE LID DISPENSER
18	BUN RACKS	111	STRAW DISPENSERS
33	CHEMICAL DISPENSING SYSTEM	112	CONDIMENT PANS
36	MICROWAVE OVEN	118	MONITOR BRACKETS
43	BUN TOASTER		
55	WRAP PAPER HOLDERS		
56	HEATED BUN WARMER		
63	TRIPLE CUSTARD MACHINE		
69	ASTRO BLENDERS		
70	MILKSHAKE MACHINE		
72	HEATED SYRUP DISPENSERS		
73	LIQUID TOPPING DISPENSERS		
81	COFFEE MAKER		
84	POWER WASHER - NOT INCLUDED		
85	MENU BOARD / SIGNAGE PACKAGE		
87	WAFFLE CONE DISPENSER		
89	FOOD LABEL MARKER		
91	CASH REGISTER / POS SYSTEM		
96	ICE AND SODA DISPENSER		
97	CARBONATOR		

NOTE: G.G. TO COORDINATE SOME ITEMS PLACED BY OWNER & NOT BY VENDOR - CONFIRM

OWNER FURNISHED, CONTRACTOR INSTALLED	
ITEM	EQUIPMENT SCHEDULE
10	KETCHUP VOL. PAK DISPENSER
13	WASHER / DRYER
19	HAND SINK
22	PRE-RINSE SPRAY ASSEMBLY
23	PRE-RINSE SPRAY ASSEMBLY
25	DISHWASHER
26	BOOSTER HEATER
30	EYE WASH STATION (CONTRACTOR TO PROVIDE MIXING VALVE PER PLUMBING SCHEDULE)
64	WATER FILTER
116	HAND TOWEL DISPENSERS
117	TOILET PAPER DISPENSERS
300	TRIM PACKAGE (SEE H2 / A103)
	FOOD SERVICE EQUIP. COUNTER BASES (SEE FINISH PLAN)
	SHARPS CONTAINERS
	AED OPTIONAL - CONFIRM WITH OWNER
	MOP HANGER
	ARTWORK (SEE SHEET A103.1)

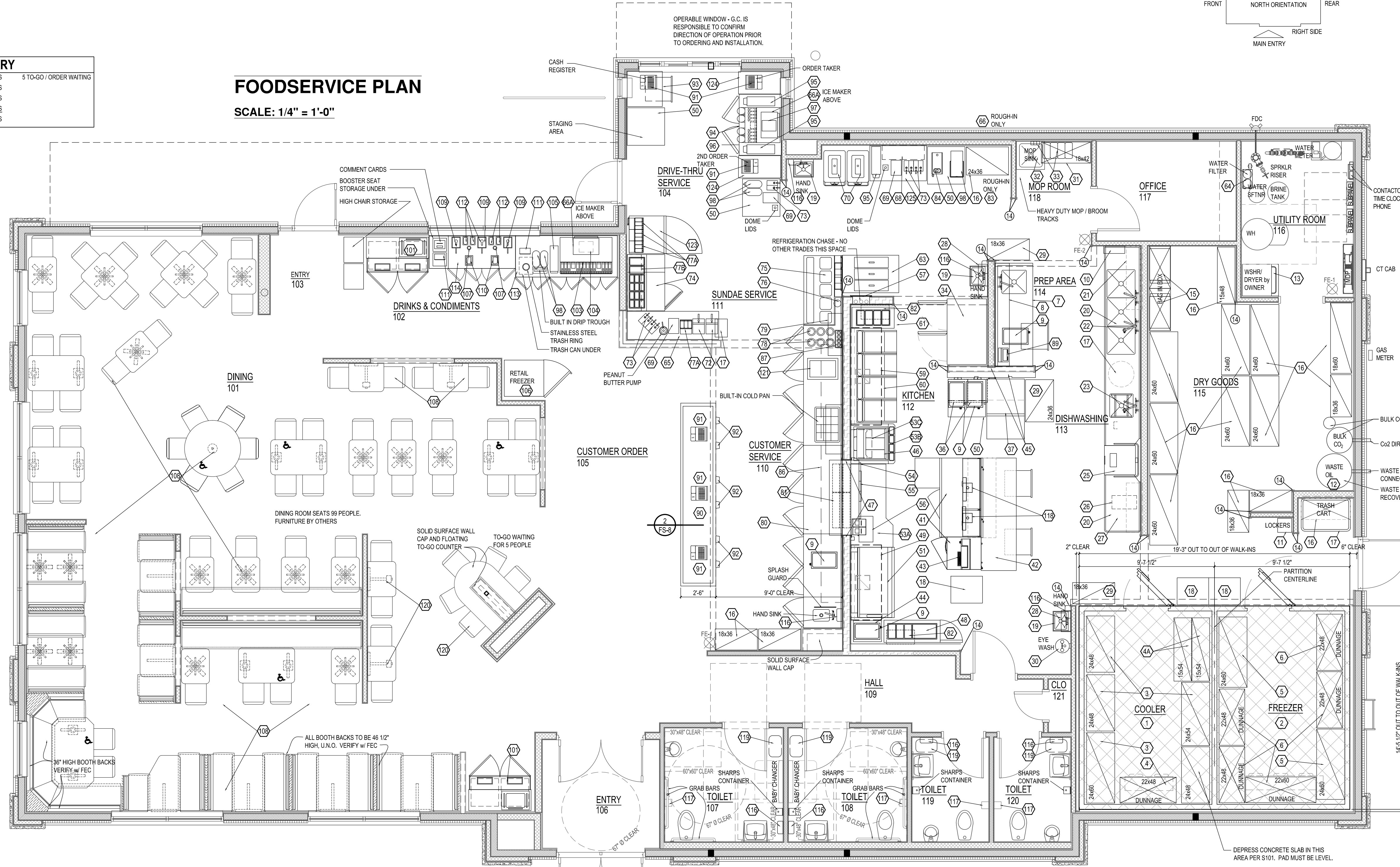
NOTE: SOME ITEMS INSTALLED BY OTHERS REQUIRE ROUGH-IN AND/OR WIRING BY CONTRACTOR AS NOTED IN PLUMBING AND ELECTRICAL SCHEDULES.



SEATING SUMMARY	
2	6-PERSON TABLES = 12 SEATS
12	4-PERSON TABLES = 44 SEATS
1	3-PERSON TABLES = 3 SEATS
18	2-PERSON TABLES = 36 SEATS
33	TOPS
	99 SEATS

FOODSERVICE PLAN

SCALE: 1/4" = 1'-0"



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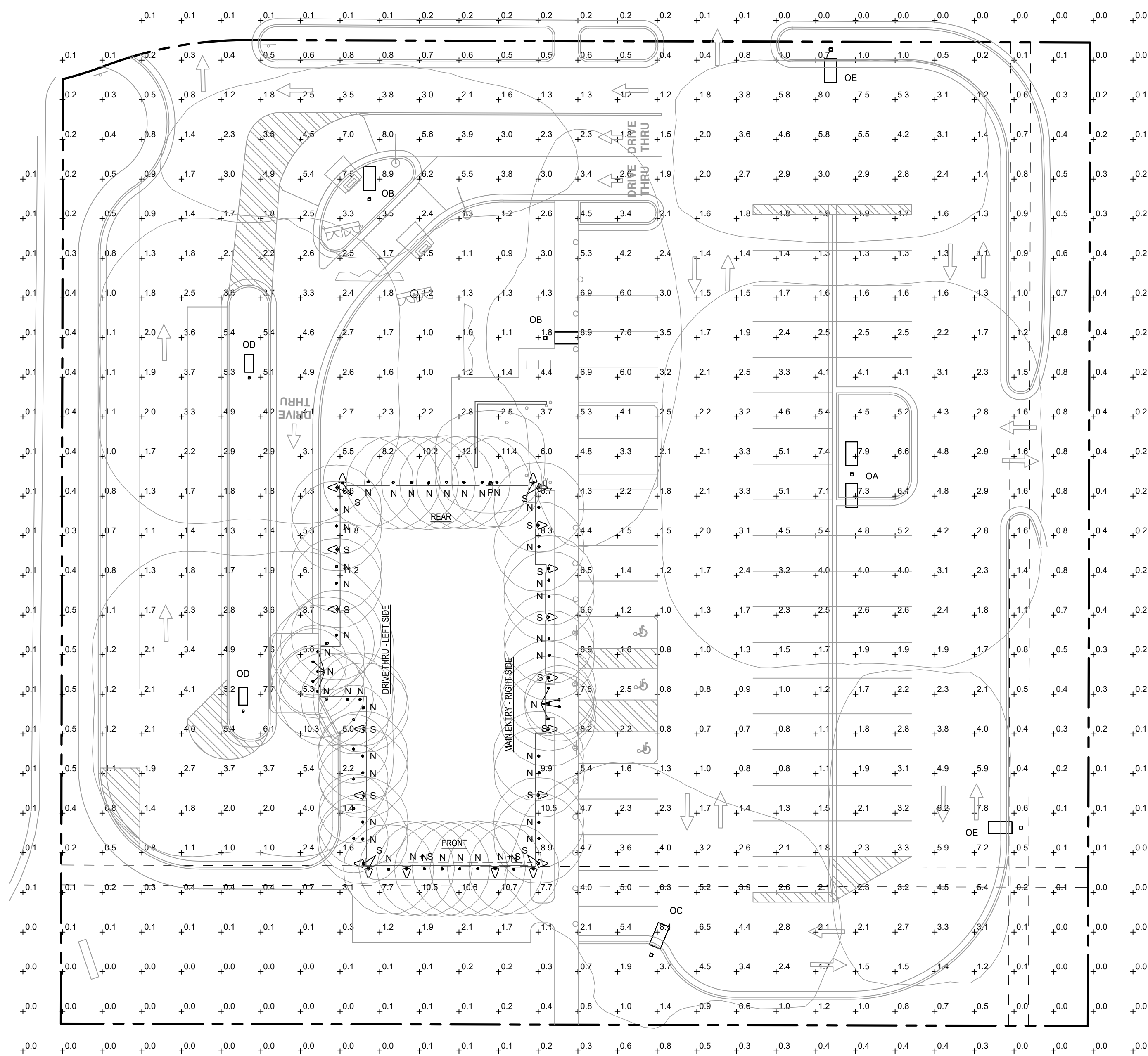
OWNER:
 OLLMANN ASSOCIATES ARCHITECTS, P.C.
 200 South State Street
 Belvidere, Illinois 61008
 815-544-7190 Phone
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FOOD SERVICE PLAN

Date: 4-29-2024
 Revision:

2024-052

FS-1



PERRY ROAD (HADLEY ROAD)

H3 SITE PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"

LUMINAIRE SCHEDULE - SITE LIGHTING				
SYMBOL	LABEL	CATALOGUE NUMBER	LAMP	WATTS
□ = □	OA	(2) DSX1 LED P6 40K T5W MVOLT 15' POLE; POLE BASE @ 6' ABOVE GRADE	LED	326
□ = □	OB	DSX1 LED P6 40K T2M MVOLT 15' POLE; POLE BASE @ 6' ABOVE GRADE	LED	163
□ = □	OC	DSX1 LED P6 40K T4M MVOLT 15' POLE; POLE BASE @ 6' ABOVE GRADE	LED	163
□ = □	OD	DSX1 LED P6 40K T5M MVOLT 15' POLE; POLE BASE @ 6' ABOVE GRADE	LED	163
□ = □	OE	DSX1 LED P6 40K 70CRI BLC4 15' POLE; POLE BASE @ 6' ABOVE GRADE	LED	165

LUMINAIRE SCHEDULE - BUILDING MOUNT				
SYMBOL	LABEL	CATALOGUE NUMBER	LAMP	WATTS
●	N	LDN6 4015 LOGAR LS MVOLT GZ10 WL LITHONIA	LED	19
□	P	SLM17FA15ADJ RAB LIGHTING	LED	15
○	S	OLLWU LED P1 40K 120 DOB LITHONIA	LED	11

PRELIMINARY

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 Culver Franchising System, Inc. 1240 Water Street Prairie du Sac, WI 53578 608-543-7980
OWNER: 2651 Kicking Court Portage, WI 53901 Jeff Liegel, Realty Manager / Member 608-742-2893
OLLMANN ASSOCIATES ARCHITECTS, P.C. 200 South State Street Belvidere, Illinois 61008 815-544-7190 Phone <small>© OAA. All rights reserved. any copying, transmission or disclosure subject to OAA written approval.</small>
SITE PHOTOMETRIC PLAN Date: 4-29-2024 Revision:
2024-052 <div style="border: 1px solid black; border-radius: 50%; width: 40px; height: 40px; display: flex; align-items: center; justify-content: center; margin: 0 auto;"> SE 101 </div>



FEATURES & SPECIFICATIONS

INTENDED USE
Provides years of maintenance-free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and stairways for safety and security.

CONSTRUCTION
Cast aluminum housing with corrosion-resistant paint in either dark bronze or white finish.
ADA compliant.

OPTICS

4000K CCT LEDs.
Polycarbonate lens protects the LED from moisture, dirt and other contaminants.

LUMEN MAINTENANCE: The LED will deliver 70% of its initial lumens at 50,000 hour average LED life. See Lighting Facts label on page 2 for performance details.

ELECTRICAL
MVOLT driver operates on any line voltage from 120-277V
Operating temperature: -30°C to 40°C
1KV surge protection standard.

INSTALLATION

Surface mounts to universal junction box (provided by others).

LISTINGS

UL Listed to U.S. and Canadian safety standards for wet locations.

Tested in accordance with IESNA LM-79 and LM-80 standards.

WARRANTY — 5-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25°C.

Note: Specifications subject to change without notice.

Catalog Number
Notes
Type

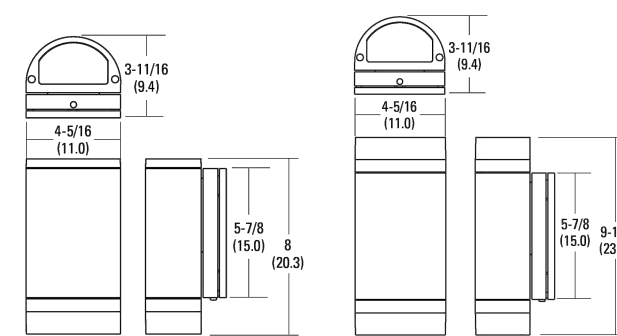
OLLWD & OLLWU

Outdoor General Purpose

LED WALL CYLINDER LIGHT



Specifications
All dimensions are inches (centimeters)



ORDERING INFORMATION For shortest lead times, configure products using **bolded options**.

Example: OLLWD LED P1 40K MVOLT DDB

Series	Performance Package	Color temperature (CCT)	Voltage	Finish
OLLWD Downlight	P1	40K 4000K	MVOLT 120V-277V	DOB Dark bronze
OLLWU Up & Downlight			120 120V ¹	WH White

Notes
1 Only available with OLLWD and in DOB.

DECORATIVE INDOOR & OUTDOOR

OLLWD-OLLWU



FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.
CONSTRUCTION — Galvanized steel mounting plate/frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Reflectors are retained by tension springs. Vertically adjustable mounting brackets with commercial bar hangers provide 3.34" total adjustment. Two combination 1/2"-3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C.
Accommodates 1/2"-2" (just) spacing.
Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling.
Max ceiling thickness 1-1/2".
OPTICS — LEDs are bonded to a 3-step SDCAL 80 CRI minimum.
LED light source concealed with diffusing optical lens.
General illumination lighting with 1.0 S/MH and 55° cutoff for source and source image. Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.

ELECTRICAL — Made with 120-277V, 50/60Hz e/d/d LED 0-10V dimming drivers mounted to junction box. 10% or 1% minimum dimming level available.
0-10V dimming feature requires two (2) additional low-voltage wires to be pulled.
70% lumen maintenance at 50,000 hours.

LISTINGS — Certified to US and Canadian safety standards. Dump location standard (wet location, covered ceiling optional). ENERGY STAR[®] certified product.

WARRANTY — 5-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25°C.

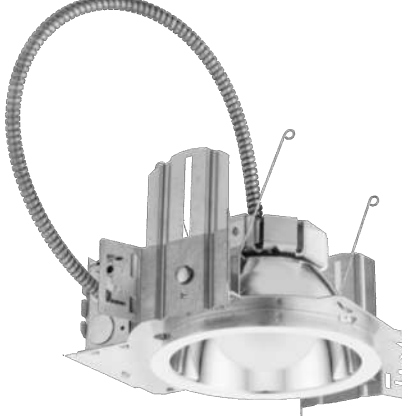
Specifications subject to change without notice.

Catalog Number
Notes
Type

LDN6

6" OPEN and WALL WASH LED

New Construction Downlight



A+ Capable options indicated by this color background.

ORDERING INFORMATION Lead times will vary depending on options selected. Consult with your sales representative.

Series	Color temperature	Lumens ¹	Aperture/Trim Color	Finish	Voltage
LDN6 Clear	277 2700K	05 500 lumens	LD6 Downlight	AB Clear	MVOLT Multi-volt
	30/ 3000K	10 1000 lumens	LW6 Wallwash	WR ¹ White	120 120V
	35/ 3500K	15 1500 lumens		BR ¹ Black	277 277V
	40 4000K	20 2000 lumens		LS Specular	
	50/ 5000K	25 2500 lumens			

Driver	Options	Notes
EZ10 0-10V e/d/d LED driver with smooth and flicker-free deep dimming performance down to 10%	SP ¹ Single fuse TRW ¹ White painted flange TRB ¹ Black painted flange EL ¹ Emergency battery pack with integral test switch, CEC compliant ELR Emergency battery pack with integral test switch, CEC compliant NPS002Z ¹ nLight [®] dimming pack controls 0-10V e/d/d LED drivers. ER controls features an emergency circuit.	N80 nLight [®] Lumens Conservation HAD ¹ High ambient option REL Wet Locations REL ¹ RELC ¹ ready-luminaire connectors enable a simple and consistent factory-installed option across all ABL luminaire brands. Refer to REL for complete nomenclature. Available only in RRLA, RRLB, RRLAE, and RRLC2S. USPOM US point of manufacture
EZ1 0-10V e/d/d LED driver with smooth and flicker-free deep dimming performance down to 1%		

Accessories: Order as separate catalog number.

EAC ISSM 325	Compact interruptible emergency AC power system
EAC ISSM 125	Compact interruptible emergency AC power system
GRAB8 IZ	Oversized trim ring with 8" outside diameter ¹
SCA6	Staged ceiling adapter. Refer to TECH-SCA for more options.

- Notes
- Overall height varies based on lumen package; refer to dimensional chart on page 3.
 - Not available with finishes.
 - 120V only.
 - Available with clear (AB) reflector only.
 - Add "SD" for self-diagnostic option (i.e. ELSD).
 - Must specify voltage 120V or 277V.
 - Fixture begins at 80% light level. Must be specified with NPS002Z or NPS002Z-ER only available with EZ10 and EZ1 drivers.
 - Fixture height is 6.5" for all lumen packages with HAD.

DOWNLIGHTING

LDN6

SLIM17FA15ADJ



Color: Bronze

Weight: 3.0 lbs

Project:	Type:
Prepared By:	Date:

Driver Info		LED Info	
Type	Constant Current	Watts	15W
120V	0.13A	Color Temp	3000K/4000K/5000K
208V	0.07A	Color	70 CRI
240V	0.06A	Accuracy	100,000 Hours
277V	0.05A	L70 LifeSpan	1761/1504/1852 lm/W
Input Watts	14.2/14.1/4.2W	Lumens	1241/136.2/130.3 lm/W
		Efficacy	

Technical Specifications

Field Adjustability

Color temperature selectable by 3000K, 4000K and 5000K

Compliance

UL Listed:
Suitable for wet locations

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80

IP Rating:

Ingress protection rating of IP65 for dust and water

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.
DLC Product Code: PLOM/JCV62Q3

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:

Equivalent to 70W Metal Halide

LED Characteristics

LEDs:
Long-life, high-efficiency, surface-mount LEDs

Driver:

Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.13A, 208V: 0.07A, 240V: 0.06A, 277V: 0.05A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

Photocell:

120-277V Integrated button photocell included.

Construction

Cold Weather Starting:
The minimum starting temperature is -40°C (-40°F)

Maximum Ambient Temperature:

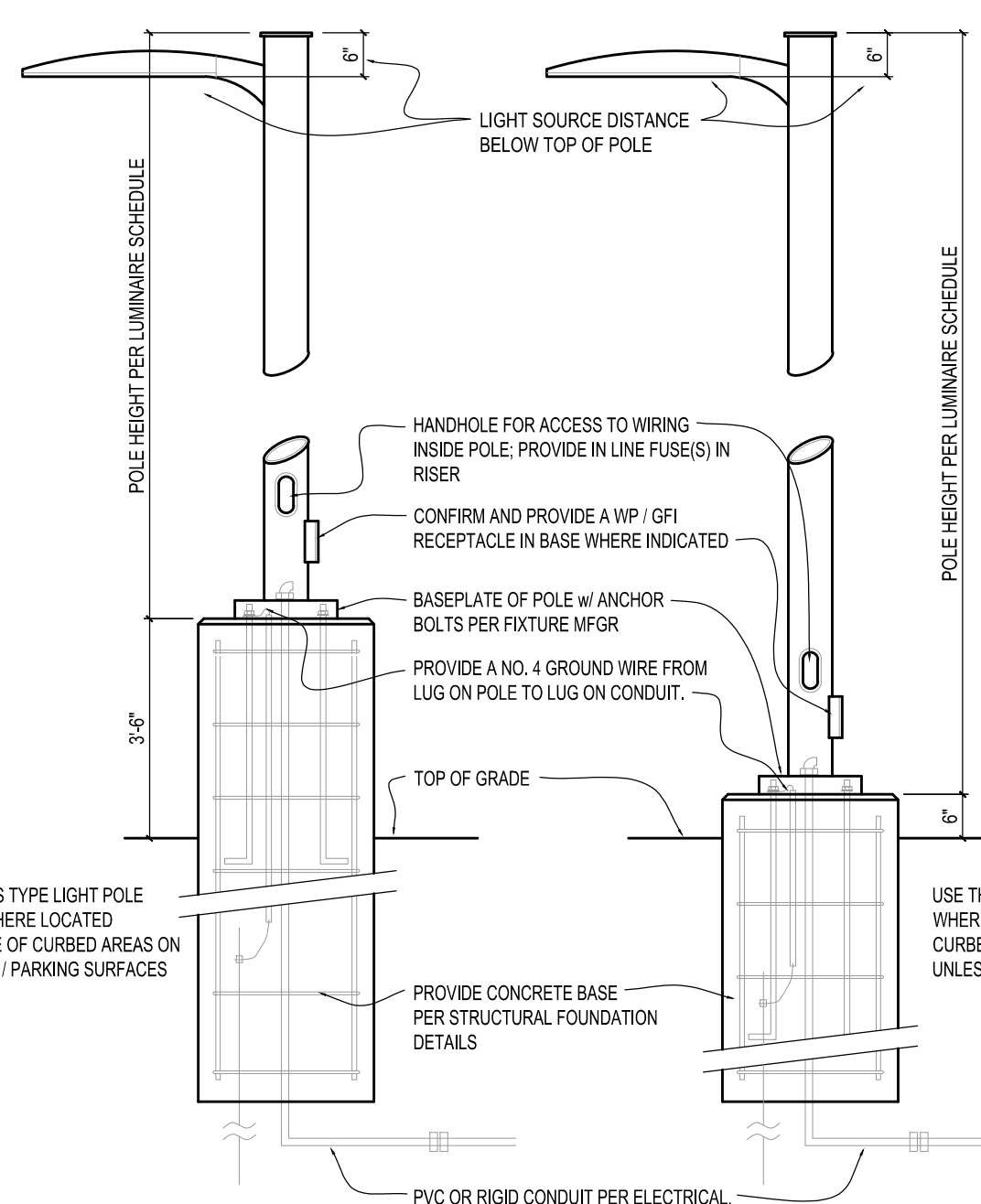
Suitable for use in up to 50°C (122°F)

Housing:

Precision die-cast aluminum housing and door frame

Need help? Tech help line: (888) 722-1000 Email: sales@rablighting.com Website: www.rablighting.com
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LIGHT POLE DETAIL

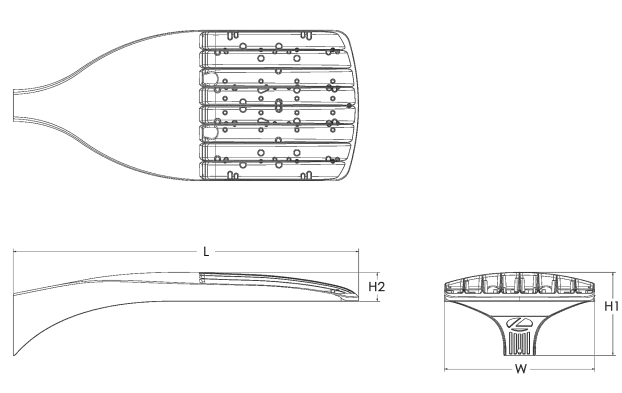
NO SCALE

D-Series Size 1 LED Area Luminaire



Specifications

EPA:	0.69 ft ² (0.06 m ²)
Length:	32.71" (83.1 cm)
Width:	14.26" (36.2 cm)
Height H1:	7.88" (20.0 cm)
Height H2:	2.73" (6.9 cm)
Weight:	34 lbs (15.4 kg)



Catalog Number
Notes
Type

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65%, and expected service life of over 100,000 hours.

Ordering Information

Series	LEDs	Color temperature	Color Rendering Index	Distribution	Voltage	Mounting
DSX1 LED	Forward optics	(This section 70CRI only)	70CRI	AFR Automatic front row	MVOLT 120V-277V ¹	Shipped included
	P1	30K 3000K	70CRI	T1S Type I short	HVOLT 147V-480V ^{1,2}	SPA Square pole mounting (#8 drilling)
	P2	40K 4000K	70CRI	T2M Type II medium	XVOLT 177V - 480V ^{1,2}	BPA Round pole mounting (#8 drilling)
	P3	50K 5000K	70CRI	BLC3 Type III backlight corner ³		SRMS Square pole mounting #5 drilling ³
	P4			T3LG Type III low glare ³		RRS Round pole mounting #5 drilling ³
	P5	(This section 80CRI only, extended lead times apply)	80CRI	T4M Type IV medium		SPRSM Square luminaire pole mounting #8 drilling
	P10 ¹	27K 2700K	80CRI	T4LG Type IV low glare ³	LCO Left corner cutoff ⁴	WBA Wall bracket ⁵
	P12 ¹	30K 3000K	80CRI	T4TM Type IV throw medium	RCCO Right corner cutoff ⁴	BA Back arm adapter (mounts on 2.18" OD horizontal beam)
	P13 ¹	35K 3500K	80CRI			
	P14 ¹	40K 4000K	80CRI			
	P15 ¹	50K 5000K	80CRI			

Control options	Other options	Finish options
Shipped installed	PER7 Seven-pin receptacle only (brackets ordered separately) ^{6,7}	DOBK Dark Bronze
NLTAIR2 PIRH nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 20'-14'-4"	FR0 Field adjustable bezel ^{8,9}	DBLK Black
PIR High-flow, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 20'-14'-4"	BL20 Bi-level switched dimming, 20% ^{10,11}	DNAID Natural Aluminum
PER NEMA twist-lock receptacle only (brackets ordered separately) ^{6,7}	BL30 Bi-level switched dimming, 50% ^{10,11}	DWHD White
PERS Five-pin receptacle only (brackets ordered separately) ^{6,7}	DMG 0-10V dimming wires pulled outside fixture. For use with an external control, ordered separately ¹²	DWTD Textured dark bronze
	DS Dual switching ^{13,14}	DRBD Textured dark blue
		DNAID Textured natural aluminum
		DWIKAD Textured white

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OLLMANN ASSOCIATES ARCHITECTS, P.C.
2651 Kicking Court
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Jeff Liegel, Realty Manager / Member
608-742-2883

DATE: 4-29-2024

REVISION:

2024-052

PRELIMINARY